SUBMITTAL TO THE BOARD OF COMMISSIONERS
HOUSING AUTHORITY
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

ITEM: 10.1
(ID # 21028)
MEETING DATE:
Tuesday, March 28, 2023

FROM : HOUSING AUTHORITY:

SUBJECT: HOUSING AUTHORITY: Approval of the Form of the Section 8 Project-Based Voucher Program Agreement to Enter Into A Housing Assistance Payments Contract for New Construction and Approval of the Form of Consent to Assignment of AHAP and HAP Contract for Oak View Ranch Family Apartments (formerly known as Murrieta Apartments Phase I), Located in the City of Murrieta, By and Between NCRC Murrieta Family Housing LP and the Housing Authority of the County of Riverside; District 3. [$0]

RECOMMENDED MOTION: That the Board of Commissioners:

1. Approve the form of the attached Section 8 Project-Based Voucher Program Agreement to enter into A Housing Assistance Payments Contract for New Construction, Oak View Ranch Family Apartments (formerly known as Murrieta Apartments Phase I) (AHAP Contract), located in the City of Murrieta, by and between NCRC Murrieta Family Housing LP and the Housing Authority of the County of Riverside;

Continued on Page 2

ACTION:Policy

Heidi Marshall, Director of Housing, Homelessness Prevention 2/2/2023

MINUTES OF THE BOARD OF COMMISSIONERS

On motion of Commissioner Perez, seconded by Commissioner Spiegel and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes:	Jeffries, Spiegel, Washington, Perez and Gutierrez
Nays:	None
Absent:	None
Date:	March 28, 2023
xc:	Housing Authority

Kimberly A. Rector
Clerk of the Board
By: Deputy

SUBMITTAL TO THE BOARD OF COMMISSIONERS HOUSING AUTHORITY
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

RECOMMENDED MOTION: That the Board of Commissioners:

2. Approve the form of the Section 8 Project-Based Voucher Program Housing Assistance Payments Contract - New Construction or Rehabilitation Part 1 of HAP Contract (HAP Contract);

3. Approve the forms of the Consent to Assignment of HAP Contract as Security for Financing (Consent to Assignment) and Consent to Assignment of Agreement to Enter into Housing Assistance Payment Contract (AHAP Consent to Assignment); and

4. Authorize the Executive Director of the Housing Authority of the County of Riverside, or designee, to execute a form of the attached AHAP Contract, a form of the attached HAP Contract, a form of the attached Consent to Assignment, and a form of the attached AHAP Consent to Assignment, each substantially conforming in form and substance to the attached AHAP Contract, HAP Contract, Consent to Assignment, and AHAP Consent to Assignment, subject to approval as to form by County Counsel; and to take all necessary steps to implement the AHAP Contract, HAP Contract, the Consent to Assignment and the AHAP Consent to Assignment including, but not limited to, signing subsequent necessary and relevant documents, subject to approval as to form by County Counsel.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	$ 0	$ 0	$ 0	$ 0
NET COUNTY COST	$ 0	$ 0	$ 0	$ 0
SOURCE OF FUNDS: N/A			**Budget Adjustment:**	No
			For Fiscal Year:	22/23

C.E.O. RECOMMENDATION: Approve

BACKGROUND:
Summary

National Community Renaissance of California, also known as National CORE, a California nonprofit public benefit corporation and an affordable housing developer (Developer), was awarded 8 Housing Choice Voucher Program (HCVP) Project-Based Vouchers (PBVs) for the proposed Murrieta Apartments Phase I (Project) located in the City of Murrieta by the Housing Authority of the County of Riverside (HACR). The PBVs have an estimated value of $3,619,200 over the 20-year term of the agreement, and at the end of the 20 years - subject to availability and Board approval - the PBV agreement can be extended for an additional 20 years. The PBVs were awarded pursuant to a Request for Proposal released by the HACR on Wednesday, April 07, 2021. The County of Riverside (County) has already committed $4,500,000 from American Rescue Plan Act (ARPA) Funds to Developer, or its Affiliate, for the development of Murrieta Apartments Phase I Multi-family Housing Project in the City of Murrieta. The

commitment of funds was made through Resolution No. 2022-055 approved by the Board of Supervisors on June 28, 2022, as Minute Order 3.31. Upon approval by the Board of Supervisors, the County of Riverside (County) will commit an additional $1,500,000 for a total of $6,000,000 (ID#21261 tentatively scheduled on the agenda for April 18, 2023) in American Rescue Plan Act (ARPA) funds. The Developer has formed a limited partnership known as NCRC Murrieta Family Housing LP, a California limited partnership (Owner), for the purpose of developing and financing the proposed Project.

The PBVs will serve as a rental subsidy for clients on the HACR's Section 8 Housing Choice Voucher Program waiting list who are at or below 30% of the Area Median Income for the proposed Oak View Ranch Family Apartments (formerly known as Murrieta Apartments Phase I) Multi-Family development, a 119-unit (which includes 1 manager's unit) multi-family affordable rental housing complex for low-income families. The proposed Project will consist of 24 one-bedroom units, 60 two-bedroom units and 35 three-bedroom units located on 6.22 acres of land located at 24960 Adams Avenue in the City of Murrieta, identified as Assessor Parcel Numbers 906-080-018 (Property). The Housing Authority will enter into an Agreement to Enter into Housing Assistance Payments (AHAP) with Developer subject to approval by the Housing Authority's Board of Commissioners.

The proposed Project will be financed using low-income housing tax credits and owned by Owner. The proposed Project has a funding gap of $6,000,000 which Developer applied to the County requesting assistance in the form of APRA funds. Other financing sources for the Proposed Project are anticipated to include $35,179,965 in investor equity, $6,644,000 from Bank of America Financing, $9,325,000 (including a land loan) from the City of Murrieta, $500,000 in General Partnership Deferred Cost, and $4,700,000 in General Partnership Equity. The total cost of development during the permanent financing period is approximately $62,348,965.

An Environmental Assessment was completed and adopted by the County Board of Supervisors (Board) on January 24, 2023 (Minute Order 3.29), and it was determined that there was a Finding of No Significant Impact (FONSI) on the environment.

The proposed Project and the Section 8 Project-Based Voucher Program Housing Assistance Payments Contract meets the conditions of categorical exclusion under Title 24 Code of Federal Regulations (CFR) Section 58.35 (a) in accordance with the provisions of the National Environmental Policy Act of 1969 (NEPA).

Impact on Residents and Businesses

The rental assistance that the PBVs are providing the Project will have a positive impact on the residents to stabilize housing and operation of the rehabilitation housing complex in addition to providing affordable housing to the community of Murrieta.

SUBMITTAL TO THE BOARD OF COMMISSIONERS HOUSING AUTHORITY
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

SUPPLEMENTAL:

Additional Fiscal Information

No impact upon the County's General Fund. The HACR's contribution to the Project includes the Section 8 Project-Based Vouchers which are fully funded by the United States Department of Housing and Urban Development.

Attachments:

- Form of AHAP Contract
- Form of HAP Contract
- Consent to Assignment to the HAP Contract

Brianna Lontajo, Principal Management Analyst 3/21/2023

Ronak Patel, Deputy County Counsel 3/15/2023

Kristine Bell-Valdez, Supervising Deputy County Counsel 3/14/2023

WHEN DOCUMENT IS FULLY EXECUTED RETURN
CLERK'S COPY
to Riverside County Clerk of the Board, Stop 1010
Post Office Box 1147, Riverside, Ca 92502-1147
Thank you.

OMB Approval No. 2577-0169
(exp. 07/31/2022)

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

SECTION 8 PROJECT-BASED VOUCHER PROGRAM

AGREEMENT TO ENTER INTO A
HOUSING ASSISTANCE PAYMENTS CONTRACT

NEW CONSTRUCTION OR REHABILITATION

PART I

Public reporting burden for this collection of information is estimated to average 0.5 hours. This includes the time for collecting, reviewing and reporting the data. The information is being collected as required by 24 CFR 983.152, which requires the PHA to enter into an Agreement with the owner prior to execution of a HAP contract for PBV assistance as provided in §983.153. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number. Assurances of confidentiality are not provided under this collection.

Privacy Act Statement. HUD is committed to protecting the privacy of individuals' information stored electronically or in paper form, in accordance with federal privacy laws, guidance, and best practices. HUD expects its third-party business partners, including Public Housing Authorities, who collect, use maintain, or disseminate HUD information to protect the privacy of that information in Accordance with applicable law.

1.1 Parties

This Agreement to Enter into Housing Assistance Payments Contract ("Agreement") is between:

Housing Authority of the County of Riverside ("PHA") and

NCRC MURRIETA FAMILY HOUSING LP ("owner").

1.2 Purpose

The owner agrees to develop the Housing Assistance Payments Contract ("HAP Contract") units to in accordance with Exhibit B and to comply with Housing Quality Standards ("HQS"), and the PHA agrees that, upon timely completion of such development in accordance with the terms of the Agreement, the PHA will enter into a HAP Contract with the owner of the Contract units.

10.1 MAR 28 2023

1.3 Contents of Agreement

This Agreement consists of Part I, Part II, and the following Exhibits:

EXHIBIT A: The approved owner's PBV proposal. (Selection of proposals must be in accordance with 24 CFR 983.51.)

EXHIBIT B: Description of work to be performed under this Agreement, including:

- if the Agreement is for rehabilitation of units, this exhibit must include the rehabilitation work write-up and, where the PHA has determined necessary, specifications and plans.
- if the Agreement is for new construction of units, the work description must include the working drawings and specifications.
- any additional requirements beyond HQS relating to quality, design and architecture that the PHA requires.
- work items resulting from compliance with the design and construction requirements of the Fair Housing Act and implementing regulations at 24 CFR 100.205, the accessibility requirements under section 504 of the Rehabilitation Act of 1973 and implementing regulations at 24 CFR 8.22 and 8.23, and accessibility requirements under Titles II and III of the Americans with Disabilities Act at 28 CFR parts 35 and 36, as applicable.

EXHIBIT C: Description of housing, including:

- project site.
- total number of units in project covered by this Agreement.
- locations of contract units on site.
- number of contract units by area (size) and number of bedrooms and bathrooms.
- services, maintenance, or equipment to be supplied by the owner without charges in addition to the rent to owner.
- utilities available to the contract units, including a specification of utility services to be paid by the owner (without charges in addition to rent) and utility services to be paid by the tenant.

- estimated initial rent to owner for the contract units.

EXHIBIT D: The HAP contract.

1.4 Significant Dates

A. Effective Date of the Agreement: The Agreement must be executed promptly after PHA notice of proposal selection to the owner has been given. The PHA may not enter this Agreement with the owner until a subsidy layering review has been performed and an environmental review has been satisfactorily completed in accordance with HUD requirements.

B. A project may either be a single-stage or multi-stage project. A single-stage project will have the same Agreement effective date for all contract units. A multi-stage project will separate effective dates for each stage.

X____Single-stage project

i. Effective Date for all contract units: 04/18/2023_____

ii. Date of Commencement of the Work: The date for commencement of work is not later than 45_____ calendar days after the effective date of this Agreement.

iii. Time for Completion of Work: The date for completion of the work is not later than 730_____calendar days after the effective date of this Agreement.

_____Multi-Stage Project

Enter the information for each stage upon execution of the Agreement for the corresponding stage.

STAGE	NUMBER OF UNITS	EFFECTIVE DATE	DATE OF COMMENCEMENT OF WORK	TIME FOR COMPLETION OF WORK

1.5 Nature of the Work

X____This Agreement is for **New Construction** of units to be assisted by the project-based Voucher program.

_____This Agreement is for **Rehabilitation** of units to be assisted by the project-based Voucher program.

1.6 Schedule of Completion

A. Timely Performance of Work: The owner agrees to begin work no later than the date for commencement of work as stated in Section 1.4. In the event the work is not commenced, diligently continued and completed as required under this Agreement, the PHA may terminate this Agreement or take other appropriate action. The owner agrees to report promptly to the PHA the date work is commenced and furnish the PHA with progress reports as required by the PHA.

B. Time for Completion: All work must be completed no later than the end of the period stated in Section 1.4. Where completion in stages is provided for, work related to units included in each stage shall be completed by the stage completion date and all work on all stages must be completed no later than the end of the period stated in Section 1.4.

C. Delays: If there is a delay in the completion due to unforeseen factors beyond the owner's control as determined by the PHA, the PHA agrees to extend the time for completion for an appropriate period as determined by the PHA in accordance with HUD requirements.

1.7 Changes in Work

A. The owner must obtain prior PHA approval for any change from the work specific in Exhibit B which would alter the design or quality of the rehabilitation or construction. The PHA is not required to approve any changes requested by the owner. PHA approval of any change may be conditioned on establishment of a lower initial rent to owner at the amounts determined by PHA.

B. If the owner makes any changes in the work without prior PHA approval, the PHA may establish lower initial rents to owner at the amounts determined by PHA in accordance with HUD requirements.

C. The PHA (or HUD in the case of insured or coinsured mortgages) may inspect the work during rehabilitation or construction to ensure that work is proceeding on schedule, is being accomplished in accordance with the terms of the Agreement, meets the level of material described in Exhibit B and meets typical levels of workmanship for the area.

1.8 Work completion

A. Conformance with Exhibit B: The work must be completed in accordance with Exhibit B. The owner is solely responsible for completion of the work.

B. Evidence of Completion: When the work in completed, the owner must provide the PHA with the following:

1. A certification by the owner that the work has been completed in accordance with the HQS and all requirements of this Agreement.

2. A certification by the owner that the owner has complied with labor standards and equal opportunity requirements in the development of the housing. (See 24 CFR 983.155(b)(1)(ii).)

3. Additional Evidence of Completion: At the discretion of the PHA, or as required by HUD, this Agreement may specify additional documentation that must be submitted by owner as evidence of completion of the housing. Check the following that apply:

X____ A certificate of occupancy or other evidence that the contract units comply with local requirements.

X____ An architect's or developer's certification that the housing complies with:

X____ the HQS;

X____ State, local, or other building codes;

_____ Zoning;

_____ The rehabilitation work write-up for rehabilitated housing;

_____ The work description for newly constructed housing; or

_____ Any additional design or quality requirements pursuant to this Agreement.

1.9 Inspection and Acceptance by the PHA of Completed Contract Units

A. Completion of Contract Units: Upon receipt of owner notice of completion of Contract units, the PHA shall take the following steps:

1. Review all evidence of completion submitted by owner.

2. Inspect the units to determine if the housing has been completed in accordance with this Agreement, including compliance with the HQS and any additional requirements imposed by the PHA under this Agreement.

B. Non-Acceptance: If the PHA determines the work has not been completed in accordance with this Agreement, including non-compliance with the HQS, the PHA shall promptly notify the owner of this decision and the reasons for the non-acceptance. The parties must not enter into the HAP contract.

C. Acceptance: If the PHA determines housing has been completed in accordance with this Agreement, and that the owner has submitted all required evidence of completion, the PHA must submit the HAP contract for execution by the owner and must then execute the HAP contract.

1.10 Acceptance where defects or deficiencies are reported:

A. If other defects or deficiencies exist, the PHA shall determine whether and to what extent the defects or deficiencies are correctable, whether the units will be accepted after correction of defects or deficiencies, and the requirements and procedures for such correction and acceptance.

B. Completion in Stages: Where completion in stages is provided for, the procedures of this paragraph shall apply to each stage.

1.11. Execution of HAP Contract

A. Time and Execution: Upon acceptance of the units by the PHA, the owner and the PHA execute the HAP contract.

B. Completion in Stages: Where completion in stages is provided for the number and types of units in each stage, and the initial rents to owner for such units, shall be separately shown in Exhibit C of the contract for each stage. Upon acceptance of the first stage, the owner shall execute the contract and the signature block provided in the contract for that stage. Upon acceptance of each subsequent stage, the owner shall execute the signature block provided in the contract for such stage.

C. Form of Contract: The terms of the contract shall be provided in Exhibit D of this Agreement. There shall be no change in the terms of the contract unless such change is approved by HUD headquarters. Prior to execution by the owner, all blank spaces in the contract shall be completed by the PHA.

D. Survival of owner Obligations: Even after execution of the contract, the owner shall continue to be bound by all owner obligations under the Agreement.

1.12 Initial determination of rents

A. The estimated amount of initial rent to owner shall be established in Exhibit C of this Agreement.

B. The initial amount of rent to owner is established at the beginning of the HAP contract term.

C. The estimated and initial contract rent for each units may in no event exceed the amount authorized in accordance with HUD regulations and requirements. Where the estimated initial rent to owner exceeds the amount authorized in accordance with HUD regulations, the PHA shall establish a lower initial rent tow owner, in accordance with HUD regulations and requirements.

1.13 Uniform Relocation Act

A. A displaced person must be provided relocation assistance at the levels described in and in accordance with the requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970

(URA) (42 U.S.C. 4201-4655) and implementing regulations at 49 CFR part 24.

B. The cost of required relocation assistance may be paid with funds provided by the owner, or with local public funds, or with funds available from other sources. Payment of relocation assistance must be paid in accordance with HUD requirements.

C. The acquisition of real property for a project to be assisted under the program is subject to the URA and 49 CFR part 24, subpart B.

D. The PHA must require the owner to comply with the URA and 49 CFR part 24.

E. In computing a replacement housing payment to a residential tenant displaced as a direct result of privately undertaken rehabilitation or demolition of the real property, the term "initiation of negotiations" means the execution of the Agreement between the owner and the PHA.

1.14 Protection of In-Place Families

A. In order to minimize displacement of in-place families, if a unit to be placed under Contract is occupied by an eligible family on the proposal selection date, the in-place family must be placed on the PHA's waiting list (if they are not already on the list) and, once their continued eligibility is determined, given an absolute selection preference and referred to the project owner for an appropriately sized unit in the project.

B. This protection does not apply to families that are not eligible to participate in the program on the proposal selection date.

C. The term "in-place family" means an eligible family residing in a proposed contract unit on the proposal selection date.

D. Assistance to in-place families may only be provided in accordance with the program regulations and other HUD requirements.

1.15 Termination of Agreement and Contract

The Agreement or HAP contract may be terminated upon at least 30 days notice to the owner by the PHA or HUD if the PHA or HUD determines that the contract units were not eligible for selection in conformity with HUD requirements.

1.16 Rights of HUD if PHA Defaults Under Agreement

If HUD determines that the PHA has failed to comply with this Agreement, or has failed to take appropriate action to HUD's satisfaction or as directed by HUD, for enforcement of the PHA's rights under this Agreement, HUD may assume the PHA's rights and obligations under the Agreement, and may perform the obligations and enforce the rights of the PHA under the Agreement. HUD will, if it determines that the owner is not in default, pay Annual Contributions for the purpose of providing housing assistance payments with respect to the dwelling unit(s) under this Agreement for the duration of the HAP contract.

1.17 Owner Default and PHA Remedies

A. Owner Default

Any of the following is a default by the owner under the Agreement:

1. The owner has failed to comply with any obligation under the Agreement.

2. The owner has violated any obligation under any other housing assistance payments contract under Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f).

3. The owner has committed any fraud or made any false statement to the PHA or HUD in connection with the Agreement.

4. The owner has committed fraud, bribery, or any other corrupt or criminal act in connection with any Federal housing assistance program.

5. If the property where the contract units are located is subject to a lien or security interest securing a HUD loan or mortgage insured by HUD and:

   a. The owner has failed to comply with the regulations for the applicable HUD loan or mortgage insurance program, with the mortgage or mortgage note, or with the regulatory agreement; or

   b. The owner has committed fraud, bribery, or any other corrupt or criminal act in connection with the HUD loan or HUD-insured mortgage.

6. The owner has engaged in any drug-related criminal activity or any violent criminal activity.

B. PHA Remedies

1. If the PHA determines that a breach has occurred, the PHA may exercise any of its rights or remedies under the Agreement.

2. The PHA must notify the owner in writing of such determination. The notice by the PHA to the owner may require the owner to take corrective action (as verified by the PHA) by a time prescribed in the notice.

3. The PHA's rights and remedies under the Agreement include, but are not limited to: (i) terminating the Agreement; and (ii) declining to execute the HAP contract for some or all of the units.

C. PHA Remedy is not Waived

The PHA's exercise or non-exercise of any remedy for owner breach of the Agreement is not a waiver of the right to exercise that remedy or any other right or remedy at any time.

1.18 PHA and Owner Relation to Third Parties

A. Selection and Performance of Contractor

1. The PHA has not assumed any responsibility or liability to the owner, or any other party for performance of any contractor, subcontractor or supplier, whether or not listed by the PHA as a qualified contractor or supplier under the program. The selection of a contractor, subcontractor or supplier is the sole responsibility of the owner and the PHA is not involved in any relationship between the owner and any contractor, subcontractor or supplier.

2. The owner must select a competent contractor to undertake rehabilitation or construction. The owner agrees to require from each prospective contractor a certification that neither the contractor nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in contract by the Comptroller General or any federal Department or agency. The owner agrees not to award contracts to, otherwise engage in the service of, or fund any contractor that does not provide this certification.

B. Injury Resulting from Work under the Agreement: The PHA has not assumed any responsibility for or liability to any person, including a worker or a resident of the unit undergoing work pursuant to this Agreement, injured as a result of the work or as a result of any other action or failure to act by the owner, or any contractor, subcontractor or supplier.

C. Legal Relationship: The owner is not the agent of the PHA and this Agreement does not create or affect any relationship between the PHA and any lender to the owner or any suppliers, employees, contractor or subcontractors used by the owner in the implementation of the Agreement.

D. Exclusion of Third Party Claims: Nothing in this Agreement shall be construed as creating any right of any third party (other than HUD) to enforce any provision of this Agreement or the Contract, or to assert any claim against HUD, the PHA or the owner under the Agreement or the Contract.

E. Exclusion of owner Claims against HUD: Nothing in this Agreement shall be construed as creating any right of the owner to assert any claim against HUD.

1.19 PHA-Owned Units

Notwithstanding Section 1.18 of this Agreement, a PHA may own units assisted under the project-based voucher program, subject to the special requirements in 24 CFR 983.59 regarding PHA-owned units.

1.20 Conflict of Interest

A. Interest of Members, Officers, or Employees of PHA, Members of Local Governing Body, or Other Public Officials

1. No present or former member or officer of the PHA (except tenant-commissioners), no employee of the PHA who formulates policy or influences decisions with respect to the housing choice voucher program or project-based voucher program, and no public official or member of a governing body or State or local legislator who exercises functions or responsibilities with respect to these programs, shall have any direct or indirect interest, during his or her tenure or for one year thereafter, in the Agreement or HAP contract.

2. HUD may waive this provision for good cause.

B. Disclosure

The owner has disclosed to the PHA any interest that would be a violation of the Agreement or HAP contract. The owner must fully and promptly update such disclosures.

1.21 Interest of Member or Delegate to Congress

No member of or delegate to the Congress of the United States of America or resident-commissioner shall be admitted to any share or part of the Agreement or HAP contract or to any benefits arising from the Agreement of HAP contract.

1.22 Transfer of the Agreement, HAP Contract, or Property

A. PHA Consent to Transfer

The owner agrees that the owner has not made and will not make any transfer in any form, including any sale or assignment, of the Agreement, HAP contract, or the property without the prior written consent of the PHA. A change in ownership in the owner, such as a stock transfer or transfer of the interest of a limited partner, is not subject to the provisions of this section. Transfer of the interest of a general partner is subject to the provisions of this section.

B. Procedure for PHA Acceptance of Transferee

Where the owner requests the consent of the PHA for a transfer in any form, including any sale or assignment, of the Agreement, the HAP contract, or the property, the PHA must consent to a transfer of the Agreement or HAP contract if the transferee agrees in writing (in a form acceptable to the PHA) to comply with all the terms of the Agreement and HAP contract, and if the transferee is acceptable to the PHA. The PHA's criteria for acceptance of the transferee must be in accordance with HUD requirements.

C. When Transfer is Prohibited

The PHA will not consent to the transfer if any transferee, or any principal or interested party, is debarred, suspended, subject to a limited denial of participation, or otherwise excluded under 2 CFR part 2424, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or nonprocurement programs.

1.23 Exclusion from Federal Programs

A. Federal Requirements

The owner must comply with and is subject to requirements of 2 CFR part 2424.

B. Disclosure

The owner certifies that:

1. The owner has disclosed to the PHA the identity of the owner and any principal or interested party.

2. Neither the owner nor any principal or interested party is listed on the U.S. General Services Administration list of parties excluded from Federal procurement and nonprocurement programs; and none of such parties are debarred, suspended, subject to a limited denial of participation, or otherwise excluded under 2 CFR part 2424.

1.24 Lobbying Certifications

A. The owner certifies, to the best of the owner's knowledge and belief, that:

1. No Federally appropriated funds have been paid or will be paid, by or on behalf of the owner, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of the Agreement or HAP contract, or the extension, continuation, renewal, amendment, or modification of the HAP contract.

2. If any funds other than Federally appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the Agreement or HAP contract, the owner must complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

B. This certification by the owner is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352.

1.25 Subsidy Layering

A. Owner Disclosure

The owner must disclose to the PHA, in accordance with HUD requirements, information regarding any related assistance from the Federal government, a State, or a unit of general local government, or any agency or instrumentality thereof, that is made available or is expected to be made available with respect to the contract units. Such related assistance includes, but is not limited to, any loan, grant, guarantee, insurance, payment, rebate, subsidy, credit, tax benefit, or any other form of direct or indirect assistance.

B. Limit of Payments

Housing assistance payments under the HAP contract must not be more than is necessary, as determined in accordance with HUD requirements, to provide affordable housing after taking account of such related assistance. The PHA will adjust in accordance with HUD requirements the amount of the housing assistance payments to the owner to compensate in whole or in part for such related assistance.

1.26 Prohibition of Discrimination

A. The owner may not refuse to lease contract units to, or otherwise discriminate against, any person or family in leasing of a contract unit, because of race, color, religion, sex, national origin, disability, age, or familial status.

B. The owner must comply with the following requirements:

1. The Fair Housing Act (42 U.S.C. 3601–19) and implementing regulations at 24 CFR part 100 *et seq.*;

2. Executive Order 11063, as amended by Executive Order 12259 (3 CFR 1959–1963 Comp., p. 652, and 3 CFR, 1980 Comp., p. 307) (Equal Opportunity in Housing Programs) and implementing regulations at 24 CFR part 107;

3. Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d–2000d–4) (Nondiscrimination in Federally Assisted Programs) and implementing regulations at 24 CFR part 1;

4. The Age Discrimination Act of 1975 (42 U.S.C. 6101–6107) and implementing regulations at 24 CFR part 146;

5. Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at part 8 of this title;

6. Title II of the Americans with Disabilities Act, 42 U.S.C. 12101 *et seq.*;

7. 24 CFR part 8;

9. Executive Order 11246, as amended by Executive Orders 11375, 11478, 12086, and 12107 (3 CFR, 1964–1965 Comp., p. 339; 3 CFR, 1966–1970 Comp., p. 684; 3 CFR, 1966–1970 Comp., p. 803; 3 CFR, 1978 Comp., p. 230; and 3 CFR, 1978 Comp., p. 264, respectively) (Equal Employment Opportunity Programs) and implementing regulations at 41 CFR chapter 60;

10. Executive Order 11625, as amended by Executive Order 12007 (3 CFR, 1971–1975 Comp.., p. 616 and 3 CFR, 1977 Comp., p. 139) (Minority Business Enterprise Development); and

11. Executive Order 12138, as amended by Executive Order 12608 (3 CFR, 1977 Comp., p. 393, and 3 CFR, 1987 Comp., p. 245) (Women's Business Enterprise).

12. HUD's Equal Access Rule at 24 CFR 5.105. [OGC-Nonconcurrence: This section failed to reference protections with respect to actual or perceived sexual orientation, gender identity, or marital status in accordance with HUD's Equal Access Rule at 24 CFR 5.105(a). Revising as indicated above is sufficient to resolve this concern.

C. The PHA and the owner must cooperate with HUD in the conducting of compliance reviews and complaint investigations pursuant to all applicable civil rights statutes, Executive Orders, and all related rules and regulations.

1.27 Owner Duty to Provide Information and Access to HUD and PHA

A. The owner must furnish any information pertinent to this Agreement as may be reasonably required from time to time by the PHA or HUD. The owner shall furnish such information in the form and manner required by the PHA or HUD.

B. The owner must permit the PHA or HUD or any of their authorized representatives to have access to the premises during normal business hours and, for the purpose of audit and examination, to have access to any books, documents, papers, and records of the owner to the extent necessary to determine compliance with this Agreement.

1.28 Notices and Owner Certifications

A. Where the owner is required to give any notice to the PHA pursuant to this Agreement, such notice shall be in writing and shall be given in the manner designated by the PHA.

B. Any certification or warranty by the owner pursuant to the Agreement shall be deemed a material representation of fact upon which reliance was placed when this transaction was entered into.

1.29 HUD Requirements

A. The Agreement and the HAP contract shall be interpreted and implemented in accordance with all statutory requirements, and will all HUD requirements, including amendments or changes in HUD requirements. The owner agrees to comply with all such laws and HUD requirements.

B. HUD requirements are requirements that apply to the project-based voucher program. HUD requirements are issued by HUD Headquarters as regulations, *Federal Register* notices, or other binding program directives.

1.30 Applicability of Part II Provisions — Check All that Apply

X____ Training, Employment, and Contracting Opportunities
Section 2.1 applies if the total of the contract rents for all units under the proposed HAP contract, over the maximum term of the contract, is more than $200,000.

X____ Equal Employment Opportunity
Section 2.2 applies only to construction contracts of more than $10,000.

X___ Labor Standards Requirements
Sections 2.4, 2.8, and 2.10 apply only when this Agreement covers nine or more units.

____ Flood Insurance
Section 2.11 applies if units are located in areas having special flood hazards and in which flood insurance is available under the National Flood Insurance Program.

EXECUTION OF THE AGREEMENT

PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)** **Housing Authority of the County of Riverside**
By:
Signature of authorized representative
Carrie Harmon, Deputy Executive Director
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

FORM APPROVED COUNTY COUNSEL
BY: Amit P. Dhillon 3/1/2023 DATE

MAR 28 2023 10.1

SIGNATURE, NOTARY AND NOTICE BLOCKS

BORROWER/ OWNER

NCRC MURRIETA FAMILY HOUSING, L.P.,
a California limited partnership

By: NCRC Murrieta Family MGP, LLC,
a California limited liability company,
its general partner

By: National Community Renaissance of California,
a California nonprofit public benefit corporation,
its manager

By: _____
Name: Michael Finn
Title: Chief Financial Officer

BORROWER/ OWNER NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)
On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

MANAGING GENERAL PARTNER

NCRC MURRIETA FAMILY MGP, LLC,
a California limited liability company

By: National Community Renaissance of California,
a California nonprofit public benefit corporation,
its manager

By: _____
Name: Michael Finn
Title: Chief Financial Officer

MANAGING GENERAL PARTNER NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)
On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

DEVELOPER/GUARANTOR

NATIONAL COMMUNITY RENAISSANCE OF CALIFORNIA,
a California nonprofit public benefit corporation

By: _____
Name: Michael Finn
Title: Chief Financial Officer

DEVELOPER/GUARANTOR NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)
On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

NOTICE ADDRESSES

Borrower/Owner

NCRC MURRIETA FAMILY HOUSING L.P.
c/o National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: CFO
Email: mfinn@nationalcore.org

With copies to:

National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: General Counsel
Email: rdiaz@nationalcore.org

Klein Hornig LLP
1325 G Street NW, Suite 770
Washington, DC 20005
Attention: Jed D'Abravanel
Email: jdabravanel@kleinhornig.com

Developer/Guarantor

NATIONAL COMMUNITY RENAISSANCE OF CALIFORNIA
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: CFO
Email: mfinn@nationalcore.org

With copies to:

National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: General Counsel
Email: rdiaz@nationalcore.org

Klein Hornig LLP
1325 G Street NW, Suite 770
Washington, DC 20005
Attention: Jed D'Abravanel
Email: jdabravanel@kleinhornig.com

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

SECTION 8 PROJECT-BASED VOUCHER PROGRAM

AGREEMENT TO ENTER INTO A HOUSING ASSISTANCE PAYMENTS CONTRACT

NEW CONSTRUCTION OR REHABILITATION

PART II

Public reporting burden for this collection of information is estimated to average 0.5 hours. This includes the time for collecting, reviewing and reporting the data. The information is being collected as required by 24 CFR 983.152, which requires the PHA to enter into an Agreement with the owner prior to execution of a HAP contract for PBV assistance as provided in §983.153. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number. Assurances of confidentiality are not provided under this collection.

Privacy Act Statement. HUD is committed to protecting the privacy of individuals' information stored electronically or in paper form, in accordance with federal privacy laws, guidance, and best practices. HUD expects its third-party business partners, including Public Housing Authorities, who collect, use maintain, or disseminate HUD information to protect the privacy of that information in Accordance with applicable law.

2.1 Training, Employment, and Contracting Opportunities

A. The project assisted under this Agreement is subject to the requirements of section 3 of the Housing Urban Development Act of 1968, as amended, 12 U.S.C. 1701u. The owner shall carry out the provisions of section 3 and the regulations issued by HUD as set forth in 24 CFR part 135 and all applicable rules and orders of HUD issued thereunder prior to the execution of this Agreement. This shall be a condition of the Federal financial assistance provided to the project, binding upon the owner, the owner's contractors and subcontractors, successors and assigns. Failure to fulfill these requirements shall subject the owner, the owner's contractors and subcontractors, successors and assigns to the sanctions specified by this Agreement, and to such sanctions as are specified by 24 CFR part 135.

B. The owner shall incorporate or cause to be incorporated into any contract or subcontract for work pursuant to this Agreement in excess of $100,000 the following clause:

1. The work to be performed under this contract is subject to the requirements of section 3 of the Housing Urban Development Act of 1968, as amended, 12 U.S.C. 1701u. The purpose of section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by section 3 shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.

2. The parties to this Agreement agree to comply with HUD's regulations in 24 CFR part 135, which implement section 3. As evidenced by their execution of this Agreement, the parties to this Agreement certify that they are under no contractual or other impediment that would prevent them from complying with the part 135 regulations.

3. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this section 3 clause, and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the section 3 preference, and shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each; the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

4. The contractor agrees to include this section 3 clause in every subcontract subject to compliance with regulations in 24 CFR part 135, and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this section 3 clause, upon a finding that the subcontractor is in violation of the regulations in 24 CFR part 135. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR part 135.

5. The contractor will certify that any vacant employment positions, including training positions, that are filled (1) after the contractor is selected but before the contract is executed, and (2) with persons other than those to whom the regulations of 24 CFR part 135

require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR part 135.

6. Pursuant to 24 CFR §135.90, recipients of HUD financial assistance that is subject to Part 135 requirements, are required to submit Section 3 Annual Reports on Form HUD-60002 to the Office of Fair Housing and Equal Opportunity (FHEO). This form must be submitted electronically and can be found at www.hud.gov/section3.

7. Noncompliance with HUD's regulations in 24 CFR part 135 may result in sanctions, termination of this Agreement for default, and debarment or suspension from future HUD assisted contracts.

8. With respect to work performed in connection with section 3 covered Indian housing assistance, section 7(b) of the Indian Self-Determination and Education Assistance Act (25 U.S.C. 405e) also applies to the work to be performed under this contract. Section 7(b) requires that to the greatest extent feasible: (i) preference and opportunities for training and employment shall be given to Indians, and (ii) preference in the award of contracts and subcontracts shall be given to Indian organizations and Indian-owned Economic Enterprise. Parties to this contract that are subject to the provisions of section 3 and section 7(b) agree to comply with section 3 to the maximum extent feasible, but not in derogation of compliance with section 7(b).

2.2 Equal Employment Opportunity

A. The owner shall incorporate or cause to be incorporated into any contract in excess of $10,000 for construction work, or modification thereof, as defined in the regulations of the Secretary of Labor at 41 CFR chapter 60, which is to be performed pursuant to this Agreement, the following nondiscrimination clause:

During the performance of this contract, the contractor agrees as follows:

1. The contractor will not discriminate against any employee or applicant for employment because of race, color, creed, religion, sex, or national origin. The contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, color, religion, creed, sex, or national origin. Such action shall include, but not be limited to, the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising;

layoffs or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided by the contracting officer setting forth the provisions of this nondiscrimination clause.

2. The contractor will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, creed, sex, or national origin.

3. The contractor will send to each labor union or representative of workers with which the contractor has a collective bargaining agreement or other contract or understanding, a notice to be provided by or at the direction of the Government advising the labor union or workers representative of the contractor's commitments under this section, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.

4. The contractor of will comply with all provisions of Executive Order No. 11246 of September 24, 1965, and with the rules, regulations, and relevant orders of the Secretary of Labor.

5. The contractor will furnish all information and reports required by Executive Order No. 11246 of September 24, 1965, and by the rules, regulations, and orders of the Secretary of Labor, or pursuant thereto, and will permit access to its books, records, and accounts by HUD and the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations and orders.

6. In the event of the contractor's noncompliance with the nondiscrimination clauses of this contract or with any of the rules, regulations, or orders, the contract may be canceled, terminated, or suspended in whole or in part and the contractor may be declared ineligible for further contracts in accordance with procedures authorized in Executive Order No. 11246 of September 24, 1965, and such other sanctions as may be imported and remedies invoked as provided in Executive Order No. 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor or as otherwise provided by law.

7. The contractor will include the provisions of paragraphs (1) through (7) in every subcontract or purchase order unless exempted by the rules, regulations, or orders of the Secretary of Labor issued pursuant to section 204 of Executive Order No. 11246 of September 24, 1965, so that such provisions will be binding upon each subcontractor or vendor. The contractor will take such action with respect to any subcontract or purchase order as the Government may direct as a means of enforcing such provisions including sanctions for noncompliance; provided, however, that in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction by the Government, the contractor may request the United States to enter into such litigation to protect the interest of the United States.

B. The owner agrees to be bound by the above nondiscrimination clause with respect to his or her own employment practices when participating in federally assisted construction work.

C. The owner agrees to assist and cooperate actively with HUD and the Secretary of Labor in obtaining the compliance of contractors and subcontractors with the nondiscrimination clause and the rules, regulations, and relevant orders of the Secretary of Labor, to furnish HUD and the Secretary of Labor such information as they may require for the supervision of such compliance, and to otherwise assist HUD in the discharge of HUD's primary responsibility for securing compliance.

D. The owner further agrees to refrain from entering into any contract or contract modification subject to Executive Order No. 11246 of September 24, 1965, with a contractor debarred from, or who has not demonstrated eligibility for, Government contracts and federally assisted construction contracts pursuant to the Executive Order and will carry out such sanctions and penalties for violation of the nondiscrimination clause as may be imposed upon contractors and subcontractors by HUD or the Secretary of Labor pursuant to the Executive Order. In addition, if the owner fails or refuses to comply with these undertakings, HUD may take any or all of the following actions; cancel, terminate, or suspend in whole or in part this Agreement; refrain from extending any further assistance to the owner under the program with respect to which the failure or refusal occurred until satisfactory assurance of future compliance has been received from the owner, and refer the case to the Department of Justice for appropriate legal proceedings.

2.3 Reserved

2.4 HUD—Federal Labor Standards Provisions

The owner is responsible for inserting the entire text of section 2.4 of this Agreement in all construction contracts and, if the owner performs any rehabilitation work on the project, the owner must comply with all provisions of section 2.4. (Note: Sections 2.4(b) and (c) apply only when the amount of the prime contract exceeds $100,000.)

(a)(1) Minimum Wages. (i) All laborers and mechanics employed or working upon the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project) will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made part hereof regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under section l(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs, which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period.

Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-

1321)) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.

(ii)(A) Any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:

(1) The work to be performed by the classification requested is not performed by a classification in the wage determination;

(2) The classification is utilized in the area by the construction industry; and

(3) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.

(B) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, U.S. Department of Labor, Washington, D. C. 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.

(C) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.

(D) The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (1)(B) or (C) of this paragraph, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.

(iii) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determinations or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.

(iv) If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program: Provided, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.

(2) Withholding. HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractors under this contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee or helper, employed or working on the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), all or part of the wages required by the contract, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the contractor, disburse such amounts withheld for and

on account of the contractor or subcontractor to the respective employees to whom they are due.

(3)(i) Payrolls and Basic Records. Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work (or under the United States Housing Act of 1937, or under the Housing Act of 1949, in the construction or development of the project). Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section l(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the Secretary of Labor has found under 29 CFR 5.5 (a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in section l(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.

(ii)(A) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to HUD the PHA. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i), except that full social security numbers and home addresses shall not be included in weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee (e.g. the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH–347 is available for this purpose from the Wage and HourDivision Web site at: http://www.dol.gov/esa/whd/forms/wh347instr.htm or its successor

site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and current address of each covered worker, and shall provide them upon request to HUD or its designee if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit them to the applicant, sponsor, or owner, as the case may be, for transmission to HUD, the contractor, or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this section for a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its own records, without weekly submission to the sponsoring government agency (or the applicant, sponsor, or owner).

(B) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:

(1) That the payroll for the payroll period contains the information required to be provided under 29 CFR 5.5(a)(3)(ii), the appropriate information is being maintained under 29 CFR 5.5 (a)(3)(i) and that such information is correct and complete;

(2) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR part 3;

(3) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.

(C) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by paragraph (a)(3)(ii)(B) of this section.

(D) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution

under section 1001 of Title 18 and section 231 of Title 31 of the United States Code.

(iii) The contractor or subcontractor shall make the records required under paragraph (a)(3)(i) of this section available for inspection, copying, or transcription by authorized representatives of HUD or its designee or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.

(4) Apprentices and Trainees. (i) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the

contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employee and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(ii) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted

under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.

(iii) Equal Employment Opportunity. The utilization of apprentices, trainees and journeymen under this part shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR part 30.

(5) Compliance with Copeland Act Requirements. The contractor shall comply with the requirements of 29 CFR part 3 which are incorporated by reference in this Agreement.

(6) Subcontracts. The contractor or subcontractor will insert in any subcontracts the clauses contained in section 2.4(a)(1) through (11) and such other clauses as HUD or its designee may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all the contract clauses in this section 2.4(a).

(7) Contract Terminations; Debarment. A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract, and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.

(8) Compliance with Davis-Bacon and Related Act Requirements. All rulings and interpretations of the Davis-Bacon and related Acts contained in 29 CFR parts 1, 3, and 5 are herein incorporated by reference in this contract.

(9) Disputes Concerning Labor Standards. Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and the PHA, HUD, the U. S. Department of Labor, or the employees or their representatives.

(10) Certification of Eligibility. (i) By entering into this Agreement, the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR part 24.

(ii) No part of this Agreement shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR part 24.

(iii) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001. Additionally, U.S. Criminal Code, section 1010, Title 18, U.S.C., "Federal Housing Administration transactions, provides in part: "Whoever, for the purpose of ...influencing in any way the action of such Administration...makes, utters or publishes any statement, knowing the same to be false... shall be fined not more than $5,000 or imprisoned not more than two years, or both."

11. Complaints, Proceedings, or Testimony by Employees. No laborer or mechanic to whom the wage, salary, or other labor standards provisions of this Agreement are applicable shall be discharged or in any other manner discriminated against by the Contractor or any subcontractor because such employee has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable under this Agreement to his employer.

(b) Contract Work Hours and Safety Standards Act. The provisions of this paragraph (b) are applicable only where the amount of the prime contract exceeds $100,000. As used in this paragraph, the terms "laborers" and "mechanics" include watchmen and guards.

(1) Overtime Requirements. No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of forty hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the

basic rate of pay for all hours worked in excess of forty hours in such workweek.

(2) Violation; Liability for Unpaid Wages; Liquidated Damages. In the event of any violation of the clause set forth in subparagraph (1) of this paragraph, the contractor and any subcontractor responsible therefore shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in subparagraph (1) of this paragraph, in the sum of $25 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of forty hours without payment of the overtime wages required by the clause set forth in subparagraph (1) of this paragraph.

(3) Withholding for Unpaid Wages and Liquidated Damages. HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any monies payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by the same prime contractor such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in subparagraph (2) of this paragraph.

(4) Subcontractors. The contractor or subcontractor shall insert in any subcontracts the clauses set forth in subparagraph (1) through (4) of this paragraph and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in subparagraphs (1) through (4) of this paragraph.

(c) Health and Safety. The provisions of this paragraph (c) are applicable only where the amount of the prime contract exceeds $100,000.

(1) No laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous to his health and safety as established under construction safety and health standards promulgated by the Secretary of Labor by regulation.

(2) The contractor shall comply with all regulations issue by the Secretary of Labor pursuant to Title 29 part 1926 and failure to comply may result in imposition of sanctions pursuant to the Contract Work Hours and Safety Standards Act, 40 USC 3701 et seq.

(3) The contractor shall include the provisions of this paragraph in every subcontract so that such provisions will be binding on each subcontractor. The contractor shall take such action with respect to any subcontract as the Secretary of Housing and Urban Development or the Secretary of Labor shall direct as a means of enforcing such provisions.

2.5 Reserved

2.6 Reserved

2.7 Reserved

2.8 Wage and Claims Adjustments

The owner shall be responsible for the correction of all violations under section 2.4, including violations committed by other contractors. In cases where there is evidence of underpayment of salaries or wages to any laborers or mechanics (including apprentices and trainees) by the owner or other contractor or a failure by the owner or other contractor to submit payrolls and related reports, the owner shall be required to place an amount in escrow, as determined by HUD sufficient to pay persons employed on the work covered by the Agreement the difference between the salaries or wages actually paid such employees for the total number of hours worked and the full amount of wages required under this Agreement, as well as an amount determined by HUD to be sufficient to satisfy any liability of the owner or other contractor for liquidated damages pursuant to section 2.4. The amounts withheld may be disbursed by HUD for and on account of the owner or other contractor to the respective employees to whom they are due, and to the Federal Government in satisfaction of liquidated damages under section 2.4.

2.9 Reserved

2.10 Evidence of Unit(s) Completion; Escrow

A. The owner shall evidence the completion of the unit(s) by furnishing the PHA, in addition to the requirements listed in Part I of this Agreement, a certification of compliance with the provisions of sections 2.4 and 2.8 of this Agreement, and that to the best of the owner's knowledge and belief there are no claims of underpayment to laborers or mechanics in alleged violation of these provisions of the Agreement. In the event there are any such pending claims to the knowledge of the owner, the PHA, or HUD, the owner will place a sufficient amount in escrow, as directed by the PHA or HUD, to assure such payments.

B. The escrows required under this section and section 2.8 of shall be paid to HUD, as escrowee, or to an escrowee designated by HUD, and the conditions and manner of releasing such escrows shall be designated and approved by HUD.

2.11 Flood Insurance

If the project is located in an area that has been identified by the Federal Emergency Management Agency as an area having special flood hazards and if the sale of flood insurance has been made available under the National Flood Insurance Program, the owner agrees that: (1) the project will be covered, during the life of the property, by flood insurance in an amount at least equal to its development or project cost (less estimated land cost) or to the limit of coverage made available with respect to the particular type of property under the National Flood Insurance Act of 1968, whichever is less; and (2) that it will advise any prospective purchaser or transferee of the property in writing of the continuing statutory requirement to maintain such flood insurance during the life of the property.

Tenancy Addendum
Section 8 Project-Based
Voucher Program
(to be attached to the lease)

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

OMB Approval No. 2577–0169
(exp. 07/31/2022)

Public reporting burden for this collection of information is estimated to average 0.25 hours. This includes the time for collecting, reviewing and reporting the data. The information is being collected as required by 24 CFR 983.256(b)(3), under which the lease between the owner and the tenant must include a HUD-required tenancy addendum. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number. Assurances of confidentiality are not provided under this collection.

Privacy Act Statement. The Department of Housing and Urban Development (HUD) is authorized to collect the information required on this form by Section 8 of the U.S. Housing Act of 1937 (42 U.S.C. 1437f). Collection of the family members' names, unit address, and owner name is mandatory. The information is used to provide Section 8 PBV assistance in the form of housing assistance payments. The information also specifies what utilities and appliances are to be supplied by the owner and the tenant. HUD may disclose this information to Federal, State, and local agencies when relevant to civil, criminal, or regulatory investigations and prosecutions. It will not be otherwise disclosed or released outside of HUD, except as permitted or required by law. Failure to provide any of the information may result in delay or rejection of family or owner participation in the PBV program.

Instructions for use of Tenancy Addendum:

This tenancy addendum is used in the Section 8 project-based voucher (PBV) program. Under the program, HUD provides funds to a public housing agency (PHA) for rent subsidy on behalf of eligible families. The main regulation for this program is 24 Code of Federal Regulations Part 983.

The tenancy addendum has two parts:

Part A: Tenancy Addendum Information (fill-ins). See section by section instructions.
Part B: Tenancy addendum (no information is entered in this part).

How to fill in Part A - Section by Section Instructions:

Section 2: **Tenant**
Enter full name of tenant.

Section 3. **Contract Unit**
Enter address of unit, including apartment number, if any.

Section 4. **Household Members**
Enter full names of all PHA-approved household members. Specify if any such person is a live-in aide, which is a person approved by the PHA to reside in the unit to provide supportive services for a family member who is a person with disabilities.

Section 5. **Initial Lease Term**
Enter first date and last date of initial lease term. The initial lease term must be for at least one year. 24 CFR § 983.256(f).

Section 6. **Initial Rent to Owner**
Enter the amount of the monthly rent to owner during the initial lease term.

Section 7. **Initial Tenant Rent**
Enter the initial monthly amount of tenant rent.

Section 8. **Housing Assistance Payment**
Enter the initial amount of the monthly housing assistance payment.

Section 9. **Utilities and Appliances**
The lease must specify what utilities and appliances are to be supplied by the owner, and what utilities and appliances are to be supplied by the tenant. Fill in section 9 to show who is responsible to provide or pay for utilities and appliances.

Part A of the Tenancy Addendum

(Fill out all of the information in Part A.)

1. **Contents of Tenancy Addendum**
   This Tenancy Addendum has two parts:

   Part A: Tenancy Addendum Information

   Part B: Tenancy Addendum

2. **Tenant**

3. **Contract Unit**

4. **Household**

   The following persons may reside in the unit. Other persons may not be added to the household without prior written approval of the owner and the PHA.

5. **Initial Lease Term**

   The initial lease term begins on (mm/dd/yyyy): _____

   The initial lease term ends on (mm/dd/yyyy): _____

6. **Initial Rent to Owner**

   The initial rent to owner is: $ _____

7. **Initial Tenant Rent**

   The initial tenant rent is: $ _____ per month. The amount of the tenant rent is subject to change by the PHA during the term of the lease in accordance with HUD requirements.

8. **Initial Housing Assistance Payment**

   At the beginning of the Housing Assistance Payments (HAP) contract term, the amount of the housing assistance payment by the PHA to the owner is $ _____ per month. The amount of the monthly housing assistance payment by the PHA to the owner is subject to change during the HAP contract term in accordance with HUD requirements.

9. **Utilities and Appliances**

The owner shall provide or pay for the utilities and appliances indicated below by an "**O**". The tenant shall provide or pay for the utilities and appliances indicated below by a "**T**". Unless otherwise specified below, the owner shall pay for all utilities and appliances provided by the owner.

Item	Specify fuel type			Provided by	Paid by
Heating	☐ Natural gas	☐ Bottle gas ☐ Oil or Electric	☐ Coal or Other		
Cooking	☐ Natural gas	☐ Bottle gas ☐ Oil or Electric	☐ Coal or Other		
Water Heating	☐ Natural gas	☐ Bottle gas ☐ Oil or Electric	☐ Coal or Other		
Other Electric					
Water					
Sewer					
Trash Collection					
Air Conditioning					
					Provided by
Refrigerator					
Range/Microwave					
Other (specify)					

Signatures:

Owner

Print or Type Name of Owner

Signature

Print or Type Name and Title of Signatory

Date

Tenant

Print or Type Name of Family Representative

Signature

Print or Type Name of Family Representative

Date

Part B of the Tenancy Addendum

1. Section 8 Project-Based Voucher (PBV) Program

a. The owner is leasing the contract unit to the tenant for occupancy by the tenant's family with assistance for a tenancy under the Section 8 PBV program of the United States Department of Housing and Urban Development (HUD).

b. The owner has entered into a Housing Assistance Payments Contract (HAP contract) with the public housing agency (PHA) under the PBV program. Under the HAP contract, the PHA will make housing assistance payments to the owner to assist the tenant in leasing the unit from the owner.

2. Lease

a. The owner has given the PHA a copy of the lease, including any revisions agreed to by the owner and the tenant. The owner certifies that the terms of the lease are in accordance with HUD requirements and the lease includes the tenancy addendum.

b. The tenant shall have the right to enforce the tenancy addendum against the owner. If there is any conflict between the tenancy addendum and any other provisions of the lease, the language of the tenancy addendum shall control.

3. Use of Contract Unit

a. During the lease term, the family will reside in the contract unit with assistance under the PBV program.

b. The composition of the household must be approved by the PHA. The family must promptly inform the PHA of the birth, adoption or court-awarded custody of a child. Other persons may not be added to the household without prior written approval of the owner and the PHA.

c. The contract unit may be used for residence only by the PHA-approved household members. The unit must be the family's only residence. Members of the household may engage in legal profit-making activities incidental to primary use of the unit for residence by members of the family.

d. The tenant may not sublease or let the unit.

e. The tenant may not assign the lease or transfer the unit.

4. Rent to Owner

a. The initial and redetermined rent to owner are established in accordance with HUD requirements.

b. During the term of the lease (including the initial term of the lease and any extension term), the rent to owner may at no time exceed:

(1) The reasonable rent for the unit as most recently determined or redetermined by the PHA in accordance with HUD requirements, or

(2) Rent charged by the owner for comparable unassisted units in the premises.

5. Family Payment to Owner

a. The tenant rent is the portion of the monthly rent to owner paid by the family. The PHA determines the tenant rent in accordance with HUD requirements. Any changes in the amount of the tenant rent will be effective on the date stated in a notice by the PHA to the family and the owner.

b. Each month, the PHA will make a housing assistance payment to the owner on behalf of the family in accordance with the HAP contract. The amount of the monthly housing assistance payment will be determined by the PHA in accordance with HUD requirements for a tenancy under the Section 8 PBV program.

c. The monthly housing assistance payment shall be credited against the monthly rent to owner for the contract unit.

d. The tenant is not responsible for paying the portion of rent to owner covered by the PHA housing assistance payment under the HAP contract between the owner and the PHA. A PHA failure to pay the housing assistance payment to the owner is not a violation of the lease. The owner may not terminate the tenancy for nonpayment of the PHA housing assistance payment.

e. The owner may not charge or accept, from the family or from any other source, any payment for rent of the unit in addition to the rent to owner. The rent to owner includes all housing services, maintenance, utilities and appliances to be provided and paid by the owner in accordance with the lease. The rent to owner does not include charges for non-housing services such as food, furniture or supportive services provided by the owner.

f. The owner must immediately return any excess rent payment to the tenant.

6. Other Fees and Charges

a. With the exception of families receiving PBV assistance in assisted living developments (see paragraph b. below), the owner may not require the tenant or family members to pay charges for any meals or supportive services which may be provided by the owner. Nonpayment of any such charges is not grounds for termination of tenancy.

b. In assisted living developments receiving project-based assistance, the owner may charge tenants, family members, or both for meals or supportive services. Any such charges must be specified in the lease. These charges may not be included in the rent to owner, nor may the value of meals and supportive services be included in the calculation of the reasonable rent. Non-payment of such charges is grounds for termination of the lease by the owner in assisted living developments.

c. The owner may not charge the tenant extra amounts for items customarily included in rent to owner in the locality, or provided at no additional cost to unsubsidized tenants in the premises.

7. Maintenance, Utilities, and Other Services

a. Maintenance

(1) The owner must maintain the unit and premises in accordance with the HQS.

(2) Maintenance and replacement (including redecoration) must be in accordance with the standard practice for the building concerned as established by the owner.

b. Utilities and Appliances

(1) The owner must provide all utilities needed to comply with the HQS.

(2) The owner is not responsible for a breach of the HQS caused by the tenant's failure to:

(a) Pay for any utilities that are to be paid by the tenant.

(b) Provide and maintain any appliances that are to be provided by the tenant.

c. Family Damage. The owner is not responsible for a breach of the HQS because of damages beyond normal wear and tear caused by any member of the household or by a guest.

d. Housing Services. The owner must provide all housing services as agreed to in the lease.

8. Termination of Tenancy by Owner

a. Requirements. The owner may terminate the tenancy only in accordance with the lease and HUD requirements.

b. Grounds. During the term of the lease (the initial term of the lease or any extension term), the owner may terminate the tenancy only because of:

(1) Serious or repeated violation of the lease;

(2) Violation of Federal, State, or local law that imposes obligations on the tenant in connection with the occupancy or use of the unit and the premises;

(3) Criminal activity or alcohol abuse (as provided in paragraph c); or

(4) Other good cause (as provided in paragraph d).

c. Criminal Activity or Alcohol Abuse

(1) The owner may terminate the tenancy during the term of the lease if any member of the household, a guest or another person under a resident's control commits any of the following types of criminal activity:

(a) Any criminal activity that threatens the health or safety of, or the right to peaceful enjoyment of the premises by, other residents (including property management staff residing on the premises);

(b) Any criminal activity that threatens the health or safety of, or the right to peaceful enjoyment of their residences by, persons residing in the immediate vicinity of the premises;

(c) Any violent criminal activity on or near the premises; or

(d) Any drug-related criminal activity on or near the premises.

(2) The owner may terminate the tenancy during the term of the lease if any member of the household is:

(a) Fleeing to avoid prosecution, or custody or confinement after conviction, for a crime, or attempt to commit a crime, that is a felony under the laws of the place from which the individual flees, or that, in the case of the State of New Jersey, is a high misdemeanor; or

(b) Violating a condition of probation or parole under Federal or State law.

(3) The owner may terminate the tenancy for criminal activity by a household member in accordance with this section if the owner determines that the household member has committed the criminal activity, regardless of whether the household member has been arrested or convicted for such activity.

(4) The owner may terminate the tenancy during the term of the lease if any member of the household has engaged in abuse of alcohol that threatens the health, safety or right to peaceful enjoyment of the premises by other residents.

d. Other Good Cause for Termination of Tenancy

(1) During the initial lease term, other good cause for termination of tenancy must be something the family did or failed to do.

(2) During the initial lease term or during any extension term, other good cause includes:

(a) Disturbance of neighbors,

(b) Destruction of property, or

(c) Living or housekeeping habits that cause damage to the unit or premises.

(3) After the initial lease term, such good cause includes the tenant's failure to accept the owner's offer of a new lease or revision.

e. Automatic Renewal of the Lease

Although the lease automatically renews (for successive definite terms or for an indefinite extension of the term, as provided for in the lease), an owner may terminate the lease for good cause.

f. Protections for Victims of Domestic Violence, Dating Violence, Sexual Assault, or Stalking.

(1) Purpose: This section incorporates the protections for victims of domestic violence, dating violence, sexual assault, or stalking in accordance with subtitle N of the Violence Against Women Act of 1994, as amended (codified as amended at 42 U.S.C. 14043e et seq.) (VAWA) and implementing regulations at 24 CFR part 5, subpart L.

(2) Conflict with other Provisions: In the event of any conflict between this provision and any other provisions included in Part C of the HAP contract, this provision shall prevail.

(3) Effect on Other Protections: Nothing in this section shall be construed to supersede any provision of any Federal, State, or local law that provides greater protection than this section for victims of domestic violence, dating violence, sexual assault or stalking.

(4) Definition: As used in this section, the terms "actual and imminent threat," "affiliated individual," "bifurcate," "dating violence," "domestic violence," "sexual assault," and "stalking" are defined in HUD's regulations at 24 CFR part 5, subpart L. The terms "Household" and "Other Person Under the Tenant's Control" are defined at 24 CFR part 5, subpart A.

(5) VAWA Notice and Certification Form: The PHA shall provide the tenant with the "Notice of Occupancy Rights under VAWA" and the certification form described under 24 CFR 5.2005(a)(1) and (2).

(6) Protection for victims of Domestic Violence, Dating Violence, Sexual Assault, or Stalking:

(a) The landlord or the PHA will not deny admission to, deny assistance under, terminate from participation in, or evict the tenant on the basis of or as a direct result of the fact that the tenant is or has been a victim of domestic violence, dating violence, sexual assault, or stalking, if the tenant otherwise qualifies for admission, assistance, participation, or occupancy. 24 CFR 5.2005(b)(1).

(b) The tenant shall not be denied tenancy or occupancy rights solely on the basis of criminal activity engaged in by a member of the tenant's household or any guest or other person under the tenant's control, if the criminal activity is directly related to domestic violence, dating violence, sexual assault, or stalking, and the tenant or an affiliated individual of the tenant is the victim or the threatened victim of domestic violence, dating violence, sexual assault, or stalking. 24 CFR 5.2005(b)(2).

(c) An incident or incidents of actual or threatened domestic violence, dating violence, sexual assault, or stalking will not be construed as serious or repeated violations of the lease by the victim or threatened victim of the incident. Nor shall such incident or incidents be construed as other "good cause" for termination of the lease, tenancy, or occupancy rights of such a victim or threatened victim. 24 CFR 5.2005(c)(1) and (c)(2).

(7) Compliance with Court Orders: Nothing in this Addendum will limit the authority of the landlord, when notified by a court order, to comply with the court order with respect to the rights of access or control of property (including civil protection orders issued to protect a victim of domestic violence, dating violence, sexual assault, or stalking) or with respect to the distribution or possession of property among members of the tenant's household. 24 CFR 5.2005(d)(1).

(8) Violations Not Premised on Domestic Violence, Dating Violence, Sexual Assault, or Stalking: Nothing in this section shall be construed to limit any otherwise available authority of the landlord to evict or the public housing authority to terminate the assistance of a tenant for any violation not premised on an act of domestic violence, dating violence, sexual assault, or stalking that is in question against the tenant or an affiliated individual of the tenant. However, the landlord or the PHA will not subject the tenant, who is or has been a victim of domestic violence, dating violence, sexual assault, or stalking, to a more demanding standard than other tenants in determining whether to evict or terminate assistance. 24 CFR 5.2005(d)(2).

(9) Actual and Imminent Threats:

(a) Nothing in this section will be construed to limit the authority of the landlord to evict the tenant if the landlord can demonstrate that an "actual and imminent threat" to other tenants or those employed at or providing service to the property would be present if the tenant or lawful occupant is not evicted. In this context, words, gestures, actions, or other indicators will be construed as an actual and imminent threat if they meet the following standards for an actual and imminent threat: "Actual and imminent threat" refers to a physical danger that is real, would occur within an immediate time frame, and could result in death or serious bodily harm. In determining whether an individual would pose an actual and imminent threat, the factors to be considered include: the duration of the risk, the nature and severity of the potential harm, the likelihood that the potential harm will occur, and the length of time before the potential harm would occur. 24 CFR 5.2005(d)(3).

(b) If an actual and imminent threat is demonstrated, eviction should be used only when there are no other actions that could be taken to reduce or eliminate the threat, including, but not limited to, transferring the victim to a different unit, barring the perpetrator from the property, contacting law enforcement to increase police presence, developing other plans to keep the property safe, or seeking other legal remedies to prevent the perpetrator from acting on a threat. Restrictions predicated on public safety cannot be based on stereotypes, but must be tailored to particularized concerns about individual residents. 24 CFR 5.2005(d)(4).

(10) Emergency Transfer: A tenant who is a victim of domestic violence, dating violence, sexual assault, or stalking may request an emergency transfer in accordance with the PHA's emergency transfer plan. 24 CFR 5.2005(e). The PHA's emergency transfer plan, which must be made available upon request, must:

(a) Incorporate strict confidentiality measures to ensure that the PHA does not disclose a tenant's dwelling unit location to a person who committed or threatened to commit an act of domestic violence, dating violence, sexual assault, or stalking against the tenant;

(b) Give the victim priority to receive the next available opportunity for continued tenant-based rental assistance if they have been living in the PBV unit for one year or more. 24 CFR 983.261;

(c) Describe policies or efforts a PHA will take when the victim has been living in a unit for less than one year, or the victim seeks to move sooner than a tenant-based voucher will be available.

(d) For transfers in which the tenant would not be considered a new applicant, the PHA must ensure that a request for an emergency transfer receives, at a minimum, any applicable additional priority that is already provided to other types of emergency transfer requests. For transfers in which the tenant would be considered a new applicant, the plan must include policies for assisting a tenant with this transfer.

(11) Bifurcation: Subject to any lease termination requirements or procedures prescribed by Federal, State, or local law, if any member of the tenant's household engages in criminal activity directly relating to domestic violence, dating violence, sexual assault, or stalking, the landlord may "bifurcate" the lease, or remove that household member from the lease, without regard to whether that household member is a signatory to the lease, in order to evict, remove, or terminate the occupancy rights of that household member without evicting, removing, or otherwise penalizing the victim of the criminal activity who is also a tenant or lawful occupant. Such eviction, removal, termination of occupancy rights, or termination of assistance shall be effected in accordance with the procedures prescribed by Federal, State, and local law for the termination of leases or assistance under the Housing Choice Voucher program. 24 CFR 5.2009(a). If the Landlord bifurcates the Lease to evict, remove, or terminate assistance to a household member, and that household member is the sole tenant eligible to receive assistance, the landlord shall provide any remaining tenants or residents a period of 30 calendar days from the date of bifurcation of the lease to:

(a) Establish eligibility for the same covered housing program under which the evicted or terminated tenant was the recipient of assistance at the time of bifurcation of the lease;

(b) Establish eligibility under another covered housing program; or;

(c) Find alternative housing.

(12) Family Break-up: If the family break-up results from an occurrence of domestic violence, dating violence, sexual assault, or stalking, the PHA may offer the victim the opportunity for continued tenant-based rental assistance.

(13) Move with Continued Assistance: The public housing agency may not terminate assistance to a family or member of the family that moves out of a unit in violation of the lease, with or without prior notification to the public housing agency, if:

(a) The move was needed to protect the health or safety of the family or family member who is or has been a victim of domestic violence, dating violence, sexual assault, or stalking; and

(b) The family or member of the family reasonably believes that he or she was threatened with imminent harm from further violence if he or she remained in the dwelling unit. However, any family member that has been the victim of a sexual assault that occurred on the premises during the 90-calendar day period preceding the family's move or request to move is not required to believe that he or she was threatened with imminent harm from further violence if he or she remained in the dwelling unit. 24 CFR 983.261.

(14) Confidentiality:

(a) The Landlord shall maintain in strict confidence any information the Tenant (or someone acting on behalf of the Tenant) submits to the Landlord concerning incidents of domestic violence, dating violence, sexual assault or stalking, including the fact that the tenant is a victim of domestic violence, dating violence, sexual assault, or stalking.

(b) The Landlord shall not allow any individual administering assistance on its behalf, or any persons within its employ, to have access to confidential information unless explicitly authorized by the Landlord for reasons that specifically call for these individuals to have access to the information pursuant to applicable Federal, State, or local law.

(c) The Landlord shall not enter confidential information into any shared database or disclose such information to any other entity or individual, except to the extent that the disclosure is requested or consented to in writing by the individual in a time-limited release; required for use in an eviction proceeding; or is required by applicable law.

g. Eviction by Court Action. The owner may evict the tenant only by a court action.

h. Owner Notice of Grounds

(1) At or before the beginning of a court action to evict the tenant, the owner must give the tenant a notice that specifies the grounds for termination of tenancy. The notice may be included in or combined with any owner eviction notice.

(2) The owner must give the PHA a copy of any owner eviction notice at the same time the owner notifies the tenant.

(3) Eviction notice means a notice to vacate, or a complaint or other initial pleading used to begin an eviction action under State or local law.

9. PHA Termination of Assistance

The PHA may terminate program assistance for the family for any grounds authorized in accordance with HUD requirements. If the PHA terminates program assistance for the family, the lease terminates automatically.

10. Lease: Relation to HAP Contract

If the HAP contract terminates for any reason, the lease terminates automatically.

Upon termination or expiration of the HAP contract without extension, each family assisted under the contract may elect to use its assistance to remain in the same project if the family's unit complies with the inspection requirements, the rent for the unit is reasonable, and the family pays its required share of the rent and the amount, if any, by which the unit rent (including the amount for tenant-based utilities) exceeds the applicable payment standard.

11. Family Right to Move

a. The family may terminate its lease at any time after the first year of occupancy. The family must give the owner advance written notice of intent to vacate (with a copy to the PHA) in accordance with the lease. If the family has elected to terminate the lease in this manner, the PHA must offer the family the opportunity for tenant-based rental assistance in accordance with HUD requirements.

b. Before providing notice to terminate the lease under paragraph a, the family must first contact the PHA to request tenant-based rental assistance if the family wishes to move with continued assistance. If tenant-based rental assistance is not immediately available upon lease termination, the PHA shall give the family priority to receive the next available opportunity for tenant-based rental assistance.

12. Security Deposit

a. The owner may collect a security deposit from the tenant. (However, the PHA may prohibit the owner from collecting a security deposit in excess of private market practice, or in excess of amounts charged by the owner to unassisted tenants.)

b. When the family moves out of the contract unit, the owner, subject to State and local law, may use the security deposit, including any interest on the deposit, as reimbursement for any unpaid rent payable by the tenant, any damages to the unit or any other amounts that the tenant owes under the lease.

c. The owner must give the tenant a list of all items charged against the security deposit, and the amount of each item. After deducting the amount, if any, used to reimburse the owner, the owner must promptly refund the full amount of the unused balance to the tenant.

d. If the security deposit is not sufficient to cover amounts the tenant owes under the lease, the owner may collect the balance from the tenant.

13. Prohibition of Discrimination

In accordance with applicable equal opportunity statutes, Executive Orders, and regulations, the owner must not discriminate against any person because of race, color, religion, sex, national origin, age, familial status, or disability in connection with the lease. Eligibility for HUD's programs must be made without regard to actual or perceived sexual orientation, gender identity, or marital status.

14. Conflict with Other Provisions of Lease

a. The terms of the tenancy addendum are prescribed by HUD in accordance with Federal law and regulation, as a condition for Federal assistance to the tenant and tenant's family under the Section 8 PBV program.

b. In case of any conflict between the provisions of the tenancy addendum as required by HUD, and any other provisions of the lease or any other agreement between the owner and the tenant, the requirements of the HUD-required tenancy addendum shall control.

15. Changes in Lease and Rent

a. The tenant and the owner may not make any change in the tenancy addendum. However, if the tenant and the owner agree to any other changes in the lease, such changes must be in writing, and the owner must immediately give the PHA a copy of such changes. The lease, including any changes, must be in accordance with the requirements of the tenancy addendum.

b. The owner must notify the PHA in advance of any proposed change in lease requirements governing the allocation of tenant and owner responsibilities for utilities. Such changes may be made only if approved by the PHA and if in accordance with the terms of the lease relating to its amendment. The PHA must redetermine reasonable rent in accordance with HUD requirements, based on any changes in the allocation of responsibility for utilities between the owner and tenant, and the redetermined reasonable rent shall be used in the calculation of the rent to owner from the effective date of the change.

16. Written Notices

Any notice under the lease by the tenant to the owner or by the owner to the tenant must be in writing.

17. Definitions

Contract unit. The housing unit rented by the tenant with assistance under the program.

Excepted Unit. A contract unit in a multifamily building not counted against the per-building cap on PBV assistance (25 units or 25 percent of the units in the project, whichever is greater) (see 24 CFR § 983.56(b)).

Family. The persons who may reside in the unit with assistance under the program.

HAP contract. The housing assistance payments contract between the PHA and the owner. The PHA pays housing assistance payments to the owner in accordance with the HAP contract.

Household. The persons who may reside in the contract unit. The household consists of the family and any PHA-approved live-in aide. (A live-in aide is a person who resides in the unit to provide necessary supportive services for a member of the family who is a person with disabilities.)

Housing quality standards (HQS). The HUD minimum quality standards for housing assisted under the Section 8 PBV program.

HUD. The U.S. Department of Housing and Urban Development.

HUD requirements. HUD requirements for the Section 8 PBV program. HUD requirements are issued by HUD headquarters as regulations, Federal Register notices or other binding program directives. The Lease Addendum shall be interpreted and implemented in accordance with HUD requirements.

Lease. The written agreement between the owner and the tenant for the lease of the contract unit to the tenant. The lease includes the tenancy addendum prescribed by HUD.

PHA. Public Housing Agency.

Premises. The building or complex in which the contract unit is located, including common areas and grounds.

Program. The Section 8 project-based voucher program.

Rent to owner. The total monthly rent payable to the owner for the contract unit. The rent to owner is the sum of the portion of rent payable by the tenant plus the PHA housing assistance payment to the owner.

Section 8. Section 8 of the United States Housing Act of 1937 (42 United States Code 1437f).

Tenant. The family member (or members) who leases the unit from the owner.

Exhibit A

Approved PBV Proposal

HOUSING AUTHORITY
of the County of Riverside

Main Office
5555 Arlington Avenue
Riverside, CA 92504-2506
(951) 351-0700
FAX (951)354-6324
TDD (951) 351-9844

Indio Office
44-199 Monroe, Ste. B
Indio, CA 92201
(760) 863-2828
(760) 863-2838 FAX
TDD (760) 863-2830

Website:harivco.org

May 20, 2021

Ariana Bendle
National CORE
9421 Haven Avenue
Rancho Cucamonga, CA 91730

RE: Murrieta Apartments Phase I, Murrieta, CA

Dear Ariana Bendle:

The Housing Authority of the County of Riverside (HACR) is pleased to inform you that the above referenced project proposal was selected to receive Project Based Vouchers (PBVs) pursuant to the Request for Proposal released by the HACR on April 9, 2021. The HACR is reserving funding for eight (8) PBVs for a twenty (20) year contract term.

Final commitment of the Project Based Vouchers is subject to the following items:

- Project's receipt of all necessary capital funding for the construction of the project, including but not limited to a tax credit allocation.
- Subsidy layering requirements as defined by the U.S. Department of Housing and Urban Development (HUD).
- National Environmental Policy Act Clearance.
- Approval of an Agreement to Enter into Housing Assistance Payments (AHAP) Contract by the HACR's Board of Commissioners.

This commitment is also contingent on continued funding from HUD. In the event of a budget decrease, HACR reserves the right to rescind the commitment up until the execution of an AHAP contract. This letter of commitment is valid until December 31, 2022, all financing must be secured by this deadline extensions will not be granted. Therefore, all evidence of secured financing must be provided on or before December 31, 2022.

If you have any questions, please feel free to contact Diana Acosta at (951) 343-5439 or via e-mail at Diacosta@rivco.org.

Thank you,

Michael Walsh
Deputy Director
Housing Authority of the County of Riverside

HOUSING AUTHORITY
Of The County of Riverside

Main Office
5555 Arlington Avenue
Riverside, CA 92504-2506
(951) 351-0700
Admin FAX (951) 688-6873
Housing FAX (951) 354-6324
TDD (951) 351-9844

Indio Office
44-199 Monroe, Suite B
P.O. Box 1747
Indio, CA 92201-1747
(760) 863-2828
(760) 863-2838 FAX
TDD (760) 863-2830

Website:harivco.org

January 19, 2023

Ariana Bendle
National CORE
9421 Haven Avenue
Rancho Cucamonga, CA 91730

RE: Murrieta Apartments Phase I, Murrieta, CA

Dear Ariana Bendle:

The Housing Authority of the County of Riverside (HACR) is pleased to inform you that the extension requested for the above referenced project proposal was approved to receive Project Based Vouchers (PBVs) pursuant to the Request for Proposal released by the HACR on April 9, 2021. The HACR has reserved funding for eight (8) PBVs for a twenty (20) year contract term consisting of the following: two (2) 1-bedroom units, four (4) 2-bedroom units and two (2) 3-bedroom units for households at or below 30% of the Area Median Income.

Term and Estimated Amount of Subsidy:

Unit Size	Units	Subsidy	Monthly	Months	Annual	Term	AHAP Term 20 Years
1-Bedroom	2	$ 1,442.00	$ 2,884.00	12	$ 34,608.00	20	$ 692,160.00
2-Bedroom	4	$ 1,810.00	$ 7,240.00	12	$ 86,880.00	20	$ 1,737,600.00
3-Bedroom	2	$ 2,478.00	$ 4,956.00	12	$ 59,472.00	20	$ 1,189,440.00
	8					Total:	$ 3,619,200.00

Final commitment of the Project Based Vouchers is subject to the following items:

- Project's receipt of all necessary capital funding for the construction of the project, including but not limited to a tax credit allocation.
- Subsidy layering requirements as defined by the U.S. Department of Housing and Urban Development (HUD).
- National Environmental Policy Act Clearance.
- Approval of an Agreement to Enter into Housing Assistance Payments (AHAP) Contract by the HACR's Board of Commissioners.

This commitment is also contingent on continued funding from HUD. In the event of a budget decrease, HACR reserves the right to rescind the commitment up until the execution of an AHAP contract. **This letter of commitment is valid until June 30, 2023**, all financing must be secured by this deadline and no further extensions will be granted. Therefore, all evidence of secured

financing must be provided on or before June30, 2023. If you have any questions, please feel free to contact Diana Acosta at (951) 343-5439 or via e-mail at Diacosta@rivco.org.

Thank you,

Michael Walsh Deputy Director
Housing Authority of the County of Riverside

HOUSING AUTHORITY
of the County of Riverside

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Riverside, CA 92504-2506
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(760) 863-2838 FAX
TDD (760) 863-2830

Website:harivco.org

January 13, 2023

National Community Renaissance of California
Cameron Shariati
9421 Haven Avenue
Rancho Cucamonga, CA 91730

RE: Estimate of Initial Rents – HCV Project-Based Vouchers (PBV)
Oak View Ranch Phase I – Murrieta Apartments Phase I, Murrieta, CA

Dear Cameron Shariati,

The Housing Authority of the County of Riverside in accordance with Title 24 Code of Federal Regulations (CFR) 983.301 has completed a rent comparability analysis to determine the estimated initial rents for the 8 Project-Based Vouchers that will be utilized for the Oak View Ranch Phase I – Murrieta Apartments Phase I, Murrieta, CA. The estimated initial contract rent, current applicable utility allowance and gross contract rent are as follows:

PBV Contract Rent Determination

Bedroom Size	***1BR***	***2BR***	***3BR***
Reasonable Rent	$2100 per AffordableHousing.com	$2574 per AffordableHousing.com	$2964 per AffordableHousing.com
110% of 2023 FMR eff 10/1/22	$1537 ($1398 + 139)	$1926 ($1751 + $175)	$2613 ($2376 $237)
less Utility Allowance eff 7/1/22	$76	$102	$130
FMR Rent Cap	$1461	$1824	$2483
Rent Requested by Owner	$1442	$1810	$2478
Lower of Reasonable Rent, FMR Rent Cap or Rent Requested by Owner	**$1442**	**$1810**	**$2478**

Actual rents will be determined prior to execution of the Project-Based Voucher Program Housing Assistance Payment (HAP) Contract. If you have any questions, please feel free to contact me at (951) 343-5434 or Jennifer Graham at 951-343-5437.

Sincerely,

Georgia Barnett

Georgia Barnett
Supervising Development Specialist

24 Code of Federal Regulations (CFR) 983.301 Determining the rent to owner.
(a) *Initial and redetermined rents.* (1) The amount of the initial and redetermined rent to owner is determined in accordance with this section and § 983.302.
(b) *Amount of rent to owner.* Except for certain tax credit units as provided in paragraph (c) of this section, **the rent to owner must not exceed the lowest of:**
(1) An amount determined by the PHA, not to exceed 110 percent of the applicable fair market rent (or any exception payment standard approved by the Secretary) for the unit bedroom size minus any utility allowance; (2) The reasonable rent; or (3) The rent requested by the owner.
(c) Rent to owner for certain tax credit units. (1) This paragraph (c) applies if: (i) A contract unit receives a low-income housing tax credit under the Internal Revenue Code of 1986 (see 26 U.S.C. 42); (ii) The contract unit is not located in a qualified census tract; (iii) In the same building, there are comparable tax credit units of the same unit bedroom size as the contract unit and the comparable tax credit units do not have any form of rental assistance other than the tax credit; and (iv) The tax credit rent exceeds the applicable fair market rental (or any exception payment standard) as determined in accordance with paragraph (b) of this section. (2) In the case of a contract unit described in paragraph (c)(1) of this section, the rent to owner must not exceed the lowest of: (i) The tax credit rent minus any utility allowance; (ii) The reasonable rent; or (iii) The rent requested by the owner. (3) The "tax credit rent" is the rent charged for comparable units of the same bedroom size in the building that also receive the low-income housing tax credit but do not have any additional rental assistance (e.g., additional assistance such as tenant-based voucher assistance). (4) A "qualified census tract" is any census tract (or equivalent geographic area defined by the Bureau of the Census) in which: (i) At least 50 percent of households have an income of less than 60 percent of Area Median Gross Income (AMGI); or (ii) Where the poverty rate is at least 25 percent and where the census tract is designated as a qualified census tract by HUD.
(d) Rent to owner for other tax credit units. Except in the case of a tax-credit unit described in paragraph (c)(1) of this section, the rent to owner for all other tax credit units may be determined by the PHA pursuant to paragraph (b) of this section.
(e) *Reasonable rent.* The PHA shall determine the reasonable rent in accordance with § 983.303. The rent to the owner for each contract unit may at no time exceed the reasonable rent, except in cases where, the PHA has elected within the HAP contract not to reduce rents below the initial rent to owner and, upon redetermination of the rent to owner, the reasonable rent would result in a rent below the initial rent. If the PHA has not elected within the HAP contract to establish the initial rent to owner as the rent floor, the rent to owner shall not at any time exceed the reasonable rent.
(ii) *Redetermination of rent to owner.* When redetermining the rent to owner, the PHA shall use the most recently published FMR and the PHA utility allowance schedule in effect at the time of redetermination. At its discretion, the PHA may use the amounts in effect at any time during the 30-day period immediately before the redetermination date.
Note: 24 CFR 983.301(c) pertaining to tax credits mentioned above is not applicable when the development/unit is located within a Qualified Census Tract (QCT). If development is not within a qualified census tract), then we must complete analysis/calculation of paragraph (c) above as well.

24 CFR 983.302 Redetermination of rent to owner.
(a) The PHA must redetermine the rent to owner:
(1) Upon the owner's request; or (2) When there is a 10 percent decrease in the published FMR.
(b) *Rent increase.* (1) The PHA may not make any rent increase other than an increase in the rent to owner as determined pursuant to § 983.301. (Provisions for special adjustments of contract rent pursuant to 42 U.S.C. 1437f(b)(2)(B) do not apply to the voucher program.)
(2) The owner must request an increase in the rent to owner at the annual anniversary of the HAP contract by written notice to the PHA. The length of the required notice period of the owner request for a rent increase at the annual anniversary may be established by the PHA. The request must be submitted in the form and manner required by the PHA.

> *[Refer to 24 CFR 983.1, 983.2, 982.308(g)(4) The owner must notify the PHA of any changes in the amount of the rent to owner at least sixty days before any such changes go into effect, and any such changes shall be subject to rent reasonableness requirements.]*

(3) The PHA may not approve, and the owner may not receive any increase of rent to owner until and unless the owner has complied with all requirements of the HAP contract, including compliance with the HQS. The owner may not receive any retroactive increase of rent for any period of noncompliance.
(c) *Rent decrease.* (1) If there is a decrease in the rent to owner, as established in accordance with § 983.301, the rent to owner must be decreased, regardless of whether the owner requested a rent adjustment. (2) If the PHA has elected within the HAP contract to not reduce rents below the initial rent to owner, the rent to owner shall not be reduced below the initial rent to owner for dwelling units under the initial HAP contract, except: (i) To correct errors in calculations in accordance with HUD requirements; (ii) If additional housing assistance has been combined with PBV assistance after the execution of the initial HAP contract and a rent decrease is required pursuant to § 983.55; or (iii) If a decrease in rent to owner is required based on changes in the allocation of responsibility for utilities between the owner and the tenant.
(d) *Notice of rent redetermination.* Rent to owner is redetermined by written notice by the PHA to the owner specifying the amount of the redetermined rent (as determined in accordance with 24 CFR 983.301 and 983.302). The PHA notice of the rent adjustment constitutes an amendment of the rent to owner specified in the HAP contract.
(e) *Contract year and annual anniversary of the HAP contract.* (1) The contract year is the period of 12 calendar months preceding each annual anniversary of the HAP contract during the HAP contract term. The initial contract year is calculated from the first day of the first calendar month of the HAP contract term. (2) The annual anniversary of the HAP contract is the first day of the first calendar month after the end of the preceding contract year. The adjusted rent to owner amount applies for the period of 12 calendar months from the annual anniversary of the HAP contract.
(3) See § 983.207(c) for information on the annual anniversary of the HAP contract for contract units completed in stages.

24 CFR 983.207(c) Staged completion of contract units. Even if contract units are placed under the HAP contract in stages commencing on different dates, there is a single annual anniversary for all contract units under the HAP contract. The annual anniversary for all contract units is the annual anniversary date for the first contract units placed under the HAP contract. The expiration of the HAP contract for all the contract units completed in stages must be concurrent with the end of the HAP contract term for the units originally placed under HAP contract.

CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE

915 Capitol Mall, Suite 485
Sacramento, CA 95814
p (916) 654-6340
f (916) 654-6033
www.treasurer.ca.gov/ctcac

MEMBERS

FIONA MA, CPA, CHAIR
State Treasurer

MALIA M. COHEN
State Controller

JOE STEPHENSHAW
Director of Finance

GUSTAVO VELASQUEZ
Director of HCD

TIENA JOHNSON HALL
Executive Director of CalHFA

EXECUTIVE DIRECTOR
Nancee Robles

February 24, 2023

Laura Ishida, Division Director and Meena S. Bavan, Director
Los Angeles Office of Public Housing
U.S. Department of Housing and Urban Development
300 N. Los Angeles Street, Suite 4054
Los Angeles, CA 90012

Re: Project Name:	Murrietta Commons Phase I
CTCAC #:	CA-22-597
Address/Location:	24960 Adams Avenue, Murrieta, CA 92562
Owner:	National Community Renaissance of California
General Partner:	NCRC Murrieta Family Housing LP and NCRC Murrieta Family MGP LLC
Developer:	National Community Renaissance of California
Housing Authority:	Housing Authority of the County of Riverside(HACR)

Dear Ms. Ishida and Ms. Bavan:

Enclosed is a HERA Section 2835 Subsidy Layering Certification executed by Nancee Robles, Executive Director of the California Tax Credit Allocation Committee (CTCAC) for the captioned project. The review was conducted in accordance with Federal Register Volume 85, No. 40, published on Friday, February 28, 2020.

The project is receiving assistance under the HUD Section 8 Project-based Voucher program, Murrieta Housing Authority – ground lease land loan and development loan, County of Riverside - loan, tax-exempt bonds, and state and federal low-income housing tax credits.

Project Description: This project is being developed by National Community Renaissance of California with vouchers from HACR. This project involves the new construction of 119 units, of which all 118 units are tax-credit qualified affordable housing units. The project will serve low-income households. HACR plans to attach HUD Section 8 project-based vouchers to 2 one-bedroom units, 4 two-bedroom units and 2 three-bedroom units.

Section 8 Project-based Vouchers

The CTCAC review is based upon documentation submitted by the project owner and HACR. The proposed rents set by HACR for the project-based voucher assisted units do not exceed 110% of the 2023 Riverside-San Bernardino-Ontario, CA MSA FMRs and are deemed reasonable in comparison to market rents at:

BR Size	Number of Units	Contract Rent	Utility Allowance	Gross Rent
1	2	$1,381	$61	$1,442
2	4	$1,727	$83	$1,810
3	2	$2,372	$106	$2,478

Please contact me at (916) 653-0133 or cynthia.compton@treasurer.ca.gov if you have any questions regarding this certification.

Sincerely,

Cynthia Compton
Cynthia Compton
Program Analyst

Attachments

CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE
HOUSING AND ECONOMIC RECOVERY ACT OF 2008 (HERA)
SECTION 2835(a)(1)(M)(i) SUBSIDY LAYERING CERTIFICATION

For purposes of the provision of Section 8 Project Based Voucher Assistance authorized pursuant to 42 U.S.C. 8(o)13), pursuant to section 2835(a)(1)(M)(i) of the Housing and Economic Recovery Act of 2008 (HERA), Section 102 of the Department of Housing and Urban Development Reform Act of 1989, and in accordance with HUD's Administrative Guidelines, all of which address the prevention of excess governmental subsidy, I hereby certify that the Section 8 project-based voucher assistance provided by the United States Department of Housing and Urban Development to the Housing Authority to the County of Riverside, located in the County of Riverside, for **Murrieta Apartments Phase I, CTCAC #CA-22-597**, located in the city of Murrieta and county of Riverside, is not more than is necessary to provide affordable housing after taking into account other government assistance.

By: CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC)

for Nancee Robles
Executive Director

February 24, 2023
Date

Exhibit B

Project Description

Exhibit B

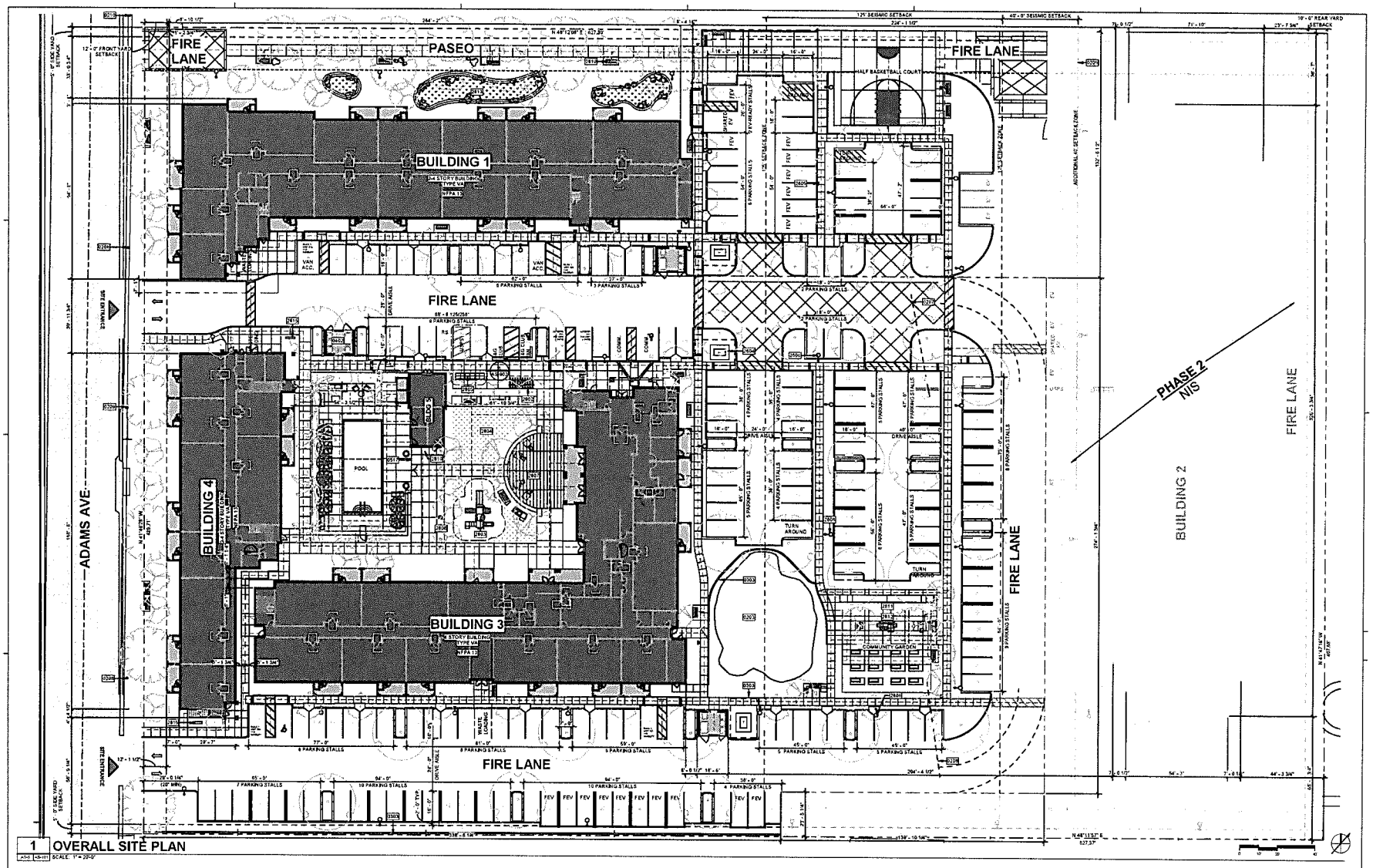
Project Description

The project consists of three (3) two and four-story multifamily residential buildings yielding a total of 119 multifamily units. The construction type will be type V-A with concrete slab foundations. Building A will consist of 42 units, including 8 one-bedroom units, 23 two-bedroom units, and 11 three-bedroom units. Building B-1 will consist of 20 units, including 12 one-bedroom units and 8 three-bedroom units. Building B-2 will consist of 57 units, including 3 one-bedroom units, 38 two-bedroom units, and 16 three-bedroom units (including 1 three-bedroom managers unit).

All three buildings yield a total of approximately 113,429 S.F. of habitable, income-restricted residential building area, 6,386 S.F. of interior amenity space, and 30,898 S.F. of common area (including offices and a 3-bedroom, 1,100 S.F. manager's unit). The development will also include one single-story maintenance building of approximately 266 S.F. All 3 residential buildings are designed with an elevator in addition to stairs to provide access to each floor. A total of 13 mobility-accessible units will be provided across all three buildings. Additionally, 3 units will be hearing-accessible.

The buildings have been designed with a craftsman style and provide articulation with the incorporation of wall plane and roof style changes, balconies, material changes, and tower elements. The proposed architecture and materials are complimentary with the existing single-family and multi-family residential development in the surrounding area. The buildings would have wood, stucco, and stone exteriors with sloped composite roofs. The proposed color palette for the building will consist of earth tones to complement the surrounding community. Exterior walls would be green, beige, and off-white and roof would be dark brown. For neighborhood compatibility with the adjacent buildings, buildings step up from two stories along Adams Avenue and along the shared northerly property line to three and four stories interior to the site and along Ivy and Jefferson property lines. The maximum building height for all proposed structures is four stories or 60' feet.

Amenities include open space for passive and active recreation, an outdoor pool and clubhouse, a children's playground/tot lot, ground-floor community center, a half basketball court, outdoor fitness stations & conversation areas, a community garden with raised garden beds, pet-friendly green space, a BBQ area with tables, and a Boys & Girls Club. In addition, the project includes the preservation of an existing 100-year oak tree on the site and with outdoor grass and seating areas. The site will feature pedestrian paseos that will integrate into the downtown Murrieta paseo network, providing pedestrian access throughout the site and to other areas of downtown. For children aged 2-12, the amenity courtyard features an 1100sf play area with play structure, accessible artificial lawn surfacing, and ample seating for children and caregivers. There is an associated 1100sf open play lawn directly adjacent to the space for overflow play while remaining in sight of the seating areas. The 1100sf open lawn is available for outdoor recreation, there is a 3500sf pool area with 1100sf pool, and a 950sf open courtyard with bench seating and café tables for gathering and doing schoolwork. There is also a 3300sf community garden space with bocce courts, vegetable beds, picnic tables and outdoor seating for teens to connect with nature. Lastly, near the paseo, there is a 2500sf half-court basketball court with full size hoop, striping, and seating areas. All spaces are located on an accessible path with accessible surfacing.



1 OVERALL SITE PLAN

A-04 AS-101 SCALE: 1" = 20'-0"

KEYNOTES

0201	(E) OAK TREE TO REMAIN
0205	ADDITIONAL 40' SETBACK ZONE
0206	FAULT (NOW, 40) PER REPORT FROM EEI (11/10/2021)
0207	FAULT (NOW, 50) PER REPORT FROM EEI (11/10/2021)
0208	UTILITY POLE
0209	SPEED SIGN
0210	STREET LIGHT POLE
0303	RETAINING WALL, SEE CIVIL DRAWINGS
0402	TRASH ENCLOSURE UNDER SEPARATE SUBMITTAL
0517	POOL FENCE, SEE SHEET L-1.5 FOR MORE INFORMATION
0703	KNOX BOX, MODEL AND LOCATION TO BE APPROVED BY MFD
0804	TRANSFORMER
0805	ELECTRICAL VEHICLE CHARGING STATION
0901	AREA LIGHT, SEE ELECTRICAL DRAWINGS
0902	BIKE PARKING, SEE LANDSCAPE DRAWINGS
0903	PLAYGROUND, SEE LANDSCAPE DRAWINGS
0904	LAWN AREA, SEE LANDSCAPE DRAWINGS
0905	MAILBOXES
0906	POOL, SEE LANDSCAPE DRAWINGS
0907	COMMUNITY GARDEN, SEE LANDSCAPE DRAWINGS
0908	BBQ & DINING TERRACE, SEE LANDSCAPE DRAWINGS
0910	SITE BENCH, TYP., SEE LANDSCAPE DRAWINGS (L-1.1, L-1.2)
0911	SOCCER COURT, SEE LANDSCAPE DRAWINGS
0912	PICNIC AREA, SEE LANDSCAPE DRAWINGS
0913	SOIL RETENTION FOAM, SEE LANDSCAPE DRAWINGS
0915	SITE MAP AND DIRECTORY, SEE LANDSCAPE DRAWINGS (L-1.1, L-1.2)

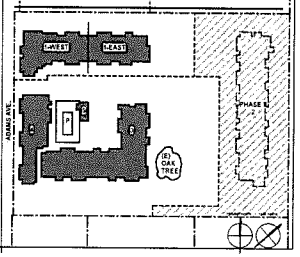
LEGEND

	PROPERTY LINE
	PARCEL LINE
	ASSUMED PROPERTY LINE
	SETBACK
	125' SETBACK ZONE DEFINED BY GEOSOILS
	ADDITIONAL 40' SETBACK ZONE
	EASEMENT
	ACCESSIBLE PATH OF TRAVEL (WHEEL BE AT LEAST 1.5 FT WIDE)
&	STANDARD ACCESSIBLE STALL
& VAN	VAN ACCESSIBLE STALL
EV	ELECTRICAL VEHICLE CHARGING STALL
BLDG XX UNIT XXX 11B MOBILITY	ACCESSIBLE STALL DESIGNATED TO ADA MOBILITY UNIT THIS IS A STALL THAT COMPLIES WITH CBC 11B-105.5 EXCEPTION 2. DO NOT PAINT OR PLACE A SIGN

SITE PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO CIVIL PLANS FOR FURTHER INFORMATION.
3. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
4. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
5. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
6. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
7. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
8. REFER TO PUBLIC IMPROVEMENT PLAN SUBMITTAL FOR OFFSITE IMPROVEMENTS (ANY WORK SHOWN IN THE PROW IS FOR REFERENCE ONLY).
9. REFER TO ARBORIST REPORT FOR TREE PROTECTION REQUIREMENTS INCLUDING FENCING, IRRIGATION AND CUTTING.
10. ALL SIDEWALKS, CROSSWALKS, COMMON AREAS AND BUILDING ENTRANCES SHALL BE ACCESSIBLE AND IN COMPLIANCE WITH 2019 CBC 11B.
    A. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
    B. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE >1/2".
    C. VERTICAL CHANGES IN LEVEL SHALL NOT EXCEED 1/4".
    D. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MIN.
11. ALL CURBING NOT WITHIN A PARKING SPACE SHALL BE PAINTED RED TO DESIGNATE THE FIRE LANES.
12. CONTRACTOR TO REVIEW LANDSCAPE PLANS TO AVOID CONFLICTS BETWEEN PLANTINGS AND UTILITIES, I.E. METER LOCATIONS, ELECTRIC TRANSFORMER, BACKFLOW PREVENTERS, SEWER LINES AND ELECTRIC CONDUIT (POLE, LIGHTING AT DRIVEWAY, ETC.
13. CONTRACTOR SHALL STOP OR REDIRECT WORK IMMEDIATELY IN THE EVENT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, CONSTRUCTION, LANDSCAPING OR OTHER CONSTRUCTION RELATED ACTIVITY.
14. ACCESSIBLE PATH OF TRAVEL
    A. THE ACCESSIBLE ROUTES OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES. SURFACE IS STABLE AND SLIP RESISTANT. THIS PATH SHALL BE MAINTAINED FREE OF OVERHANG OBSTRUCTIONS TO 80" MIN AND PROTRUDING OBJECTS OVER 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (2019 CBC 11B-403)
    B. ACCESSIBLE ROUTES OF TRAVEL ARE TO AND FROM THE FOLLOWING: SITE ARRIVAL POINTS ON RAYMOND AVE, AND PACKER PLACE, RESIDENTIAL ENTRANCES TO UNIT, ACCESSIBLE PARKING STALLS, TRASH ENCLOSURE, EVCA CHARGING STALL, BICYCLE PARKING, TOT LOT, AND COMMUNITY CENTER.
    C. FLOOR AND GROUND SURFACES: FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. (2019 CBC 11B-302.1)
    D. HAS DIFFERENT LEVELS: VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. (2019 CBC 11B-303, FIGURES 11B-303.2 & 11B-303.3)
    E. PROTRUDING OBJECTS: PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH CBC 11B-307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF ON GROUND PERMITTED TO PROTRUDE 4 1/2" MAXIMUM. (2019 CBC 11B-307.2)
    F. FREE-STANDING OBJECTS MOUNTED ON POSTS SHALL OVERHANG CIRCULATION PATHS 12" MAX WHEN LOCATED 27" MIN AND 80" MAX AFF, WHERE A SIGN OR OBSTRUCTION IS MOUNTED BETWEEN POSTS AND THE CLEAR DISTANCE BETWEEN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF SUH SIGN OR OBSTRUCTION SHALL BE 27" MAX OR 80" MIN AFF.
15. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO DCFA.
16. EXTERIOR BUILDING WALLS ARE DIMENSIONED TO STRUCTURAL FACE OF CONCRETE SLAB AND/OR SHEATHING. EDGE OF SLAB ALIGNS WITH FACE OF SHEATHING. TYP.
17. THE SITE IS TO REMAIN TRASH-FREE THROUGHOUT CONSTRUCTION. RECYCLING IMPLEMENTATION AND MONITORING SHALL COMPLY WITH CALGREEN CODE REQUIREMENTS.

KEY PLAN



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CONSULTANT

AGENCY

MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
SITE PLAN - OVERALL

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-101

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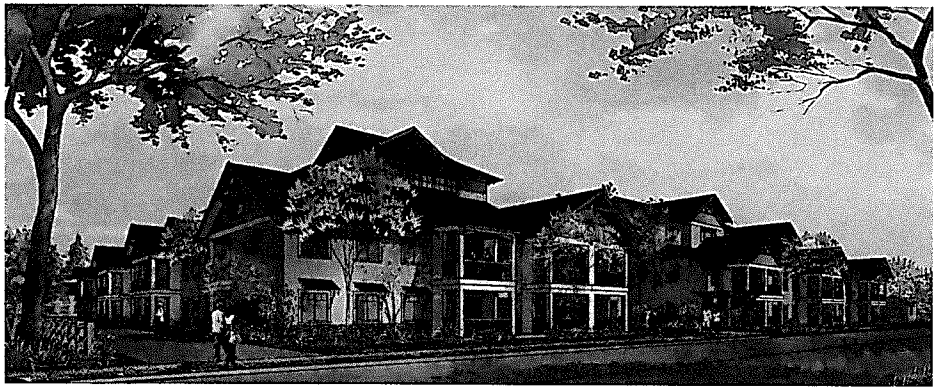
OAK VIEW RANCH - PHASE 1

24960 ADAMS AVE, MURRIETA CA 92562



UTILITIES

WATER AND SEWER SERVICE	WESTERN MUNICIPAL WATER DISTRICT
ELECTRICAL SERVICE	SOUTHERN CALIFORNIA EDISON
INTERNET	SPECTRUM
TELEPHONE SERVICE	FRONTIER COMMUNICATIONS
GARBAGE SERVICE	WASTE MANAGEMENT
CABLE SERVICE	DISH

BUILDING AREAS

BUILDING	GROSS SF	NET SF
BUILDING 1	51,920 SF	44,253 SF
BUILDING 3	75,618 SF	64,864 SF
BUILDING 4	25,602 SF	20,702 SF
BUILDING 5	832 SF	667 SF

PROJECT GENERAL NOTES

USE OF PLANS: THESE PLANS ARE THE PROPERTY OF RRM AND MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT.

THESE NOTES APPLY TO ALL PORTIONS, PHASES AND SUBCONTRACTORS OF THIS PROJECT.
APPLICABLE CODES AND STANDARDS:

- 2019 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS INCLUDING JANUARY 1, 2021 SUPPLEMENT EFFECTIVE JULY 1, 2021
- 2019 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
- 2019 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
- 2019 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
- 2019 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS
- CURRENT CITY OF MURRIETA MUNICIPAL CODE AND ORDINANCES.
- 2019 CALIFORNIA ADMINISTRATION CODE.
- 2019 CALIFORNIA REFERENCED STANDARDS CODE.
- FAIR HOUSING DESIGN MANUAL, 1998 & 1/3.3 SAFE HARBOR
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

1. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PROCEEDING AT HIS/HER OWN RISK.
2. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE ROUGH AND TO FACE OF FRAMING.
3. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
4. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
5. CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
6. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
7. TEMPORARY FACILITIES: CONTRACTOR SHALL PAY FOR, PROVIDE AND MAINTAIN TEMPORARY FACILITIES FOR PROJECT PROTECTION AND CONSTRUCTION, AND AS REQUIRED BY LOCAL REGULATION AND THESE DOCUMENTS. SUCH FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: TOILETS, LIGHTS, HEATERS, POWER, GAS, FANS, WATER, PHONES, FENCES, SIGNS, SHEDS, ETC. REMOVE FROM SITE UPON COMPLETION OF WORK, OBTAIN BUILDING OFFICIAL OR FIRE MARTIAL APPROVAL PRIOR TO USE OF ANY TEMPORARY HEATING DEVICE.
8. CONTRACTOR SHALL PROVIDE FOR PROTECTION AND SAFETY: RESPONSIBLE FOR ALL ITEMS (SIGNS, LIGHTS, FENCES, BRACING, ANCHORAGE, FIRE-EXTINGUISHERS, ETC.) NECESSARY FOR THE PROTECTION OF THE PUBLIC, WORKERS, MATERIALS, CONSTRUCTION AND PROPERTY PER LOCAL, STATE AND FEDERAL REQUIREMENTS (INCLUDING EARTHQUAKES, FIRES, SPILLS, ACCIDENTS, EROSION, MUD, DUST, ETC.).
9. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
10. THE SOILS ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS, AND FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.
11. A SEPERATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO ENSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT.
12. SHOP WELDS MUST BE PERFORMED BY A LICENSED FABRICATOR'S SHOP.
13. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
14. FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.
15. PROVIDE FIRE ALARM SYSTEM. FIRE ALARM SYSTEM SHALL ACTIVATE UPON FIRE SPRINKLER SYSTEM OPERATION.

PROJECT DIRECTORY

OWNER	MURRIETA FAMILY HOUSING PARTNERS LP ADDRESS: 9421 HAVEN AVENUE RANCHO CUCAMONGA, CA 91730 CONTACT: EMAIL:
APPLICANT	NATIONAL COMMUNITY RENAISSANCE ADDRESS: 9421 HAVEN AVENUE RANCHO CUCAMONGA, CA 91730 CONTACT: ALEXA WASHBURN EMAIL: P: (949) 394-7999
ARCHITECT	RRM DESIGN GROUP ADDRESS: 10 EAST FIGUEROA ST., STE 200 SANTA BARBARA, CA 93101 CONTACT: JOLIE HAAN EMAIL: JWHAN@RRMDESIGN.COM P: (805) 963-5200
CIVIL ENGINEER	DAN GUERRA & ASSOCIATES ADDRESS: 16371 TRADEMARK ST. #6 RANCHO CUCAMONGA, CA 91730 CONTACT: DAN GUERRA EMAIL: DAN@GUERRASCOC.COM P: (909) 987-4394
STRUCTURAL ENGINEER	RRM DESIGN GROUP ADDRESS: 3765 S. HIGUERA ST., STE 102 SAN LUIS OBISPO, CA 93401 CONTACT: MICHAEL DOREMUS EMAIL: MDOREMUS@RRMDESIGN.COM P: (805) 963-1241
MECHANICAL PLUMBING ENGINEER	METRIC 8 MECHANICAL ADDRESS: 510 STATE ST., STE 285 SANTA BARBARA, CA 93101 CONTACT: TYLER REYNOLDS EMAIL: TREYNOLDS@METRICSMECH.COM P: (805) 543-3190
ELECTRICAL ENGINEER	GRAY ELECTRICAL CONSULTING + ENGINEERING ADDRESS: 2520 PROFESSIONAL PARKWAY, STE A SANTA MARIA, CA 93455 CONTACT: HEATHER GRAY EMAIL: HEATHER@GECECONP.COM P: (805) 361-0525
LANDSCAPE ARCHITECT	RRM DESIGN GROUP ADDRESS: 32332 CAMINO CAPISTRANO #205 SAN JUAN CAPISTRANO, CA 92675 CONTACT: SCOTT NEMAN EMAIL: SNEMAN@RRMDESIGN.COM P: (949) 361-7950
EXTERIOR BUILDING MAINTENANCE	ACCESS SYSTEMS & SOLUTIONS, INC. ADDRESS: 183 A BEACON STREET SOUTH SAN FRANCISCO, CA 94080 CONTACT: EMAIL: JOAN@3ST-CO.COM P: (650) 588-4826

PROJECT INFORMATION

PROJECT SCOPE:

1. CONSTRUCTION OF THREE AFFORDABLE FAMILY RESIDENTIAL BUILDINGS AND ONE MAINTENANCE / POOL BUILDING.
2. ALL SITE WORK WITHIN THE PROPERTY LINE.
3. ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

DESCRIPTION:

THE OAK VIEW RANCH DEVELOPMENT IS A PUBLICALLY FUNDED HOUSING DEVELOPMENT INTENDED TO BE USED AS PUBLIC HOUSING. THE 200-UNIT DEVELOPMENT IS BROKEN UP INTO TWO PHASES. LOCATED AT 24960 ADAMS AVENUE IN MURRIETA CALIFORNIA. THE 4.22 ACRE SITE IS BROKEN INTO THREE PARCELS. PHASE 1 OF THE DEVELOPMENT IS 4.49 ACRES, OCCUPYING PARCELS 1 AND 2 AND CONSISTS OF 119 TOTAL UNITS OF FAMILY HOUSING DISTRIBUTED IN TWO RESIDENTIAL BUILDINGS AND 1 MIXED-USE BUILDING. PHASE 1 ALSO INCLUDES ONE MAINTENANCE / POOL BUILDING, THREE EXTERIOR WASTE ENCLOSURES, AND A POOL SITE AMENITIES INCLUDE PLAYGROUNDS, A HALF BASKETBALL COURT, COMMUNITY GARDEN, AND A PUBLIC PASEO AT THE NORTH EDGE OF THE SITE.

PHASE 1 INCLUDES TWO (2) PROPOSED MULTI-FAMILY RESIDENTIAL BUILDINGS FOR LARGE FAMILY UNITS (BUILDING 1, AND BUILDING 4) AND ONE (1) MIXED-USE BUILDING WITH COMMUNITY GATHERING SPACE, AFTER-SCHOOL PROGRAM SPACE, OFFICES, AND LARGE FAMILY RESIDENTIAL UNITS (BUILDING 3). ALL BUILDINGS ARE TYPE V-A CONSTRUCTION AND ARE SPRINKLERED WITH NFPA 13 SYSTEMS. THE RESIDENTIAL AND MIXED-USE BUILDINGS ARE FOUR-STORY. ELEVATOR SERVED BUILDINGS, AND CONTAIN A MIX OF ONE-BEDROOM, TWO-BEDROOM, AND THREE-BEDROOM STACKED UNITS. EACH WITH PRIVATE OUTDOOR SPACE.

PER 2019 CBC AND CTCAC FUNDING REQUIREMENTS, 15% OF ALL UNITS ARE ACCESSIBLE PER 2019 CBC CHAPTER 11B AND ADA GUIDELINES. ACCESSIBLE UNITS ARE DISTRIBUTED THROUGHOUT THE SITE, ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.12). ALL SITE AND COMMUNITY SPACES ARE ACCESSIBLE PER 2019 CBC CHAPTER 11B AND ADA GUIDELINES.

SITE INFORMATION:

STREET ADDRESS:	24960 ADAMS AVE, MURRIETA, CA 92562
APN:	958-080-018
ZONING:	MF-3
LOT SIZE:	195,310 SF = 4.48 ACRES
LAND USE:	RMF
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL

LOT COVERAGE

BUILDING:	47,468 SF
HARDSCAPE/PAVING:	110,940 SF
LANDSCAPE:	37,005 SF

SETBACKS

	REQUIRED	PROVIDED
FRONT YARD:	12'-0"	12'-0"
REAR YARD:	15'-0"	10'-0"
SIDE YARD:	5'-0"	5'-0"
SEISMIC:	50'-0"	50'-0"

BUILDING INFORMATION:

NUMBER OF STORIES:	1, 2 + 4
OCCUPANCY GROUP:	A, B, R-2, S
CONSTRUCTION TYPE:	TYPE V-A
SPRINKLERED:	NFPA 13
MAX. HEIGHT ALLOWED (PER 2019 CBC TABLE 504.3):	75'-0"
MAX. HEIGHT ALLOWED (PER CITY OF MURRIETA):	60'-0"
MAX. HEIGHT PROPOSED:	53'-0"
ROOF RATING:	CLASS B
HIGH FIRE ZONE:	No

PARKING CALCULATIONS

PHASE 01 PARKING:

REQUIRED NUMBER OF PARKING SPACES: 173

(24) 1 BEDROOM X 1.25 = 30
(60) 2 BEDROOM X 1.25 = 75
(35) 3 BEDROOM X 2 = 70

PROVIDED PARKING SPACES: 176

PARKING BREAKDOWN:

ACCESSIBLE SPACES:

PARKING FOR RESIDENTS PER 11B-208.2.3.1:
(119 UNITS) X .05 = 118 SPACES X .05 = 6

ADDITIONAL PARKING SPACES FOR RESIDENTS PER 11B-208.2.3.2:
(TOTAL SPACES - 1:1 UNITS - EV STALLS - NON-RESIDENT PARKING) X .02
= (176 - 119 - 19 - 5) X .02 = 1

PARKING FOR GUESTS, EMPLOYEES, AND OTHER NON-RESIDENTS PER 11B-208.2.3.3:
NON-RESIDENT PARKING STALLS PROVIDED: 5
MIN # OF ACCESSIBLE STALLS PER T11B-208.2: 1

TOTAL REQUIRED ACCESSIBLE STALLS: 9, 2 OF WHICH ARE VAN
TOTAL PROVIDED ACCESSIBLE STALLS: 10, 4 OF WHICH ARE VAN

EV READY SPACES:

TOTAL REQUIRED: (175 SPACES X .1) = 18
TOTAL PROVIDED: 18 FUTURE EV SPACES + 1 SHARED EV SPACE

EV READY ACCESSIBLE SPACES REQUIRED PER T11B-228.3.3.1:
1 VAN & 1 STANDARD ACCESSIBLE

EV READY ACCESSIBLE SPACES PROVIDED:
1 VAN & 1 STANDARD

BIKE PARKING:

TOTAL REQUIRED: 5% OF TOTAL CAR PARKING PROVIDED (176 X .05) = 9
TOTAL PROVIDED: 12

RECREATIONAL AMENITIES

FAMILY HOUSING

RECREATIONAL AMENITIES REQUIRED:
ONE PER 30 DWELLING UNITS
TOTAL DWELLING UNITS =
42 BUILDING 1 + 20 BUILDING 2 + 57 BUILDING 3 = 119
119 / 30 = 4 RECREATIONAL AMENITIES REQUIRED

RECREATIONAL AMENITIES PROVIDED

SWIMMING POOL	(1)
BASKETBALL COURT	(1)
COMMUNITY GARDEN	(1)
PICNIC AREA	(1)
PLAYGROUND	(1)

= 5 RECREATIONAL AMENITIES PROVIDED

OPEN SPACE

PHASE 01 COMMON OPEN SPACE:

REQUIRED COMMON OPEN SPACE:
150 SF PER UNIT = (50 X 119 = 17,850 SF

PROVIDED COMMON OPEN SPACE:
POOL, TOT LOT & COURTYARD, 1/2 BASKETBALL COURT, COMMUNITY GARDEN.
PASEO = 24,000 SF

PHASE 01 PRIVATE OPEN SPACE:

REQUIRED PRIVATE OPEN SPACE:
50 SF PER UNIT

PROVIDED PRIVATE OPEN SPACE:
60 MSF PER UNIT

SUPPORTING DOCUMENTS

STRUCTURAL CALCULATIONS	
PREPARED BY:	RRM DESIGN GROUP
DATE PREPARED:	NOVEMBER 3, 2022
JOB NUMBER:	1853-05-RS22
SOILS ENGINEERING REPORT	
PREPARED BY:	EEI ENGINEERING SOLUTIONS
DATE PREPARED:	MARCH 12, 2021
JOB NUMBER:	NCO-7313&4
ENERGY COMPLIANCE	
PREPARED BY:	-
DATE PREPARED:	-
JOB NUMBER:	-

DEFERRED SUBMITTALS

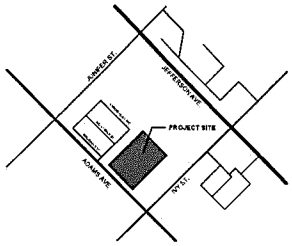
1. DAS
2. TRUSS
3. ELEVATOR
4. MASONRY

NOTE:
ALL DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SEPARATE SUBMITTALS

1. FBM
2. FIRE SPRINKLER
3. FIRE ALARM
4. SOLAR PHOTOVOLTAIC SYSTEM
5. POOL
6. ALUMINAWOOD ROOFS
7. RETAINING WALL
8. TRASH ENCLOSURES
9. SITE LIGHT POLES

VICINITY MAP



UNIT COUNT

PARCEL 1

	(8) 1-BED	(32) 2-BED	(11) 3-BED
BUILDING 1	42 TOTAL UNITS 87 TOTAL BEDROOMS		

PARCEL 2

	(4) 1-BED	(37) 2-BED	(16) 3-BED*
BUILDING 3	57 TOTAL UNITS 129 TOTAL BEDROOMS		
BUILDING 4	(12) 1-BED	(6) 2-BED	(8) 3-BED
	20 TOTAL UNITS 38 TOTAL BEDROOMS		

PARCEL 3 TOTALS:
77 TOTAL UNITS*
152 TOTAL BEDROOMS

PHASE 1 TOTAL:
119 TOTAL UNITS
248 TOTAL BEDROOMS

*INCLUDES (1) 3-BEDROOM MANAGER'S UNIT

UNIT AREAS

UNIT TYPE	GROSS SF*	NET RESIDENTIAL SF*
1 BEDROOM / 1 BATH	585 SF	522 SF
2 BEDROOM / 1 BATH	828 SF	751 SF
3 BEDROOM / 2 BATH	1,215 SF	1,028 SF

*GROSS SF CALCULATED TO INCLUDE 110 SF COVERED BALCONY OR PATIO

*NET RESIDENTIAL SF INCLUDES THE INTERIOR UNIT SQUARE FOOTAGE, INCLUDING THE WIDTH OF THE WALL, IF DOES NOT INCLUDE EXTERIOR SPACE.

UNIT INFO

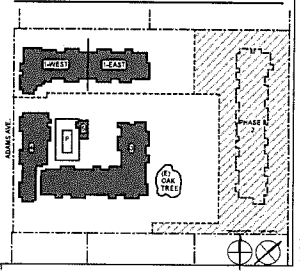
UNIT REFUSE AREA:
3 TY PROVIDED IN EACH UNIT FOR BOTH TRASH & RECYCLING.
PER MURRIETA, CA MUNICIPAL CODE 16.18.150

LAUNDRY MACHINE ALLOCATION:
1:10 LAUNDRY MACHINE TO UNIT RATIO REQUIRED PER TCAC REQUIREMENTS

BUILDING #	UNIT COUNT	REQUIRED W/D	PROVIDED W/D
BUILDING 1:	42	5	5
BUILDING 3:	57*	6	6
BUILDING 4:	20	2	2

*MANAGER'S UNIT TO HAVE IN-UNIT LAUNDRY

KEY PLAN



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CONSULTANT

AGENCY

MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
COVER SHEET

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-001

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A1-102b	BLDG 1 - SECOND LEVEL FLOOR PLAN - WEST
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A1-104a	BLDG 1 - FOURTH LEVEL FLOOR PLAN - EAST
A1-104b	BLDG 1 - FOURTH LEVEL FLOOR PLAN - WEST
A1-111a	BLDG 1 - ROOF PLAN - EAST
A1-111b	BLDG 1 - ROOF PLAN - WEST
A1-112	BLDG 1 - ROOF VENTILATION PLAN
A1-121	BLDG 1 - REFLECTED CEILING PLAN - GROUND LEVEL
A1-122	BLDG 1 - REFLECTED CEILING PLAN - SECOND LEVEL
A1-123	BLDG 1 - REFLECTED CEILING PLAN - THIRD LEVEL
A1-124	BLDG 1 - REFLECTED CEILING PLAN - FOURTH LEVEL
A1-201	BLDG 1 - EXTERIOR ELEVATIONS
A1-202	BLDG 1 - EXTERIOR ELEVATIONS
A1-301	BLDG 1 - BUILDING SECTIONS
A1-311	BLDG 1 - WALL SECTIONS
A1-312	BLDG 1 - WALL SECTIONS
A1-401	BLDG 1 - ENLARGED PLAN & INT. ELEV.
A1-402	BLDG 1 - ENLARGED PLAN & INT. ELEV.
A1-403	BLDG 1 - ENLARGED PLAN & INT. ELEV.
A1-411	BLDG 1 - ENLARGED PLANS & SECTIONS STAIR 1
A1-412	BLDG 1 - ENLARGED PLANS & SECTIONS STAIR 2
A1-413	BLDG 1 - ENLARGED PLANS & SECTIONS ELEVATOR
A1-501	BLDG 1 - FINISH SCHEDULE
A1-601	BLDG 1 - DOOR AND WINDOW SCHEDULES
03.3 - ARCHITECTURAL - BUILDING 3	
A3-312	BLDG 3 - WALL SECTIONS
A3-001	BLDG 3 - CODE ANALYSIS
A3-002	BLDG 3 - CODE ANALYSIS
A3-003	BLDG 3 - CODE ANALYSIS
A3-004	BLDG 3 - UNIT KEY PLANS
A3-100	BLDG 3 - SLAB PLAN
A3-101	BLDG 3 - GROUND LEVEL FLOOR PLAN
A3-102	BLDG 3 - SECOND LEVEL FLOOR PLAN
A3-103	BLDG 3 - THIRD LEVEL FLOOR PLAN
A3-104	BLDG 3 - FOURTH LEVEL FLOOR PLAN
A3-111	BLDG 3 - ROOF PLAN
A3-112	BLDG 3 - ROOF VENTILATION PLAN
A3-121	BLDG 3 - REFLECTED CEILING PLAN - GROUND LEVEL
A3-122	BLDG 3 - REFLECTED CEILING PLAN - SECOND LEVEL
A3-123	BLDG 3 - REFLECTED CEILING PLAN - THIRD LEVEL
A3-124	BLDG 3 - REFLECTED CEILING PLAN - FOURTH LEVEL
A3-201	BLDG 3 - EXTERIOR ELEVATIONS
A3-202	BLDG 3 - EXTERIOR ELEVATIONS
A3-301	BLDG 3 - BUILDING SECTIONS
A3-302	BLDG 3 - BUILDING SECTIONS
A3-311	BLDG 3 - WALL SECTIONS
A3-401	BLDG 3 - ENLARGED PLAN & INT. ELEV.
A3-402	BLDG 3 - ENLARGED PLAN & INT. ELEV.
A3-411	BLDG 3 - ENLARGED PLANS & SECTIONS STAIR 1
A3-412	BLDG 3 - ENLARGED PLANS & SECTIONS STAIR 2
A3-413	BLDG 3 - ENLARGED PLANS & SECTIONS ELEVATOR
A3-421	BLDG 3 - ENLARGED BOYS & GIRLS CLUB PLAN
A3-422	BLDG 3 - ENLARGED COMMUNITY ROOM
A3-423	BLDG 3 - ENLARGED WARMING KITCHEN
A3-431	BLDG 3 - ENLARGED RESTROOMS
A3-501	BLDG 3 - FINISH SCHEDULE
A3-601	BLDG 3 - COMMON AREA DOOR SCHEDULE
A3-602	BLDG 3 - DOOR AND WINDOW SCHEDULES
03.4 - ARCHITECTURAL - BUILDING 4	
A4-001	BLDG 4 - CODE ANALYSIS
A4-002	BLDG 4 - UNIT KEY PLANS
A4-100	BLDG 4 - SLAB PLAN
A4-101	BLDG 4 - GROUND LEVEL FLOOR PLAN
A4-102	BLDG 4 - SECOND LEVEL FLOOR PLAN
A4-103	BLDG 4 - THIRD LEVEL FLOOR PLAN
A4-104	BLDG 4 - FOURTH LEVEL FLOOR PLAN
A4-111	BLDG 4 - ROOF PLAN
A4-112	BLDG 4 - ROOF VENTILATION PLAN
A4-121	BLDG 4 - REFLECTED CEILING PLAN - GROUND LEVEL
A4-122	BLDG 4 - REFLECTED CEILING PLAN - SECOND LEVEL
A4-123	BLDG 4 - REFLECTED CEILING PLAN - THIRD LEVEL
A4-124	BLDG 4 - REFLECTED CEILING PLAN - FOURTH LEVEL
A4-201	BLDG 4 - EXTERIOR ELEVATIONS
A4-202	BLDG 4 - EXTERIOR ELEVATIONS
A4-301	BLDG 4 - BUILDING SECTIONS
A4-302	BLDG 4 - BUILDING SECTIONS
A4-311	BLDG 4 - WALL SECTIONS
A4-401	BLDG 4 - ENLARGED PLAN & INT. ELEV.
A4-402	BLDG 4 - ENLARGED PLAN & INT. ELEV.
A4-411	BLDG 4 - ENLARGED PLANS & SECTIONS STAIR 1
A4-412	BLDG 4 - ENLARGED PLANS & SECTIONS STAIRS 2 & 3
A4-413	BLDG 4 - ENLARGED PLANS & SECTIONS ELEVATOR
A4-501	BLDG 4 - FINISH SCHEDULE
A4-601	BLDG 4 - DOOR AND WINDOW SCHEDULES
03.5 - ARCHITECTURAL - BUILDING 5	
A5-001	BLDG 5 - CODE ANALYSIS
A5-101	BLDG 5 - FLOOR PLANS
A5-201	BLDG 5 - EXTERIOR ELEVATIONS
A5-301	BLDG 5 - BUILDING SECTIONS
A5-401	BLDG 5 - ENLARGED PLANS & INT. ELEV.
A5-601	BLDG 5 - DOOR, WINDOW & FINISHES SCHEDULES
03.5 - ARCHITECTURAL - ALL BUILDINGS	
A-001	COORD. ENLARGED UNIT PLANS
A-002	COORD. ENLARGED UNIT PLANS
A-003	COORD. ENLARGED UNIT PLANS
A-401	ENLARGED UNIT PLANS
A-402	ENLARGED UNIT PLANS
A-403	ENLARGED UNIT PLANS
A-901	WINDOW DETAILS
A-903	DOOR DETAILS
A-905	ARCHITECTURAL DETAILS - EXTERIOR
A-906	ARCHITECTURAL DETAILS - EXTERIOR
A-908	ARCHITECTURAL DETAILS - STAIR & BALCONY
A-910	ROOF DETAILS
A-911	ROOF DETAILS
A-921	WALL TYPE & ASSEMBLIES DETAILS
A-922	FIRE ASSEMBLIES DETAILS
A-925	ARCHITECTURAL DETAILS - INTERIOR
A-931	ADAPTABILITY REQUIREMENTS
A-932	ADAPTABILITY DETAILS
A-941	ACCESSIBILITY DETAILS - CLEARANCES
A-942	ACCESSIBILITY DETAILS - STAIRS
A-943	ACCESSIBILITY DETAILS - ELEVATORS
A-944	ACCESSIBILITY DETAILS - RESTROOMS
A-945	ACCESSIBILITY DETAILS - RESIDENTIAL
A-946	SIGNAGE DETAILS
04.0 - STRUCTURAL	
S-101	SHEET INDEX, ABBREVIATIONS & SYMBOLS
S-102	GENERAL NOTES
S-103	GENERAL NOTES
S-104	SPECIAL INSPECTIONS & TESTS
S1-201a	BLDG 1 - PARTIAL FOUNDATION PLAN - EAST
S1-201b	BLDG 1 - PARTIAL FOUNDATION PLAN - WEST
S1-202a	BLDG 1 - PARTIAL SECOND FLOOR FRAMING PLAN - EAST
S1-202b	BLDG 1 - PARTIAL SECOND FLOOR FRAMING PLAN - WEST
S1-203a	BLDG 1 - PARTIAL THIRD FLOOR FRAMING PLAN - EAST
S1-203b	BLDG 1 - PARTIAL THIRD FLOOR FRAMING PLAN - WEST
S1-204a	BLDG 1 - PARTIAL FOURTH FLOOR FRAMING PLAN - EAST
S1-204b	BLDG 1 - PARTIAL FOURTH FLOOR FRAMING PLAN - WEST
S1-206a	BLDG 1 - PARTIAL ROOF FRAMING PLAN - EAST
S1-206b	BLDG 1 - PARTIAL ROOF FRAMING PLAN - WEST
S3-201	BLDG 3 - FOUNDATION PLAN
S3-202	BLDG 3 - SECOND FLOOR FRAMING PLAN
S3-203	BLDG 3 - THIRD FLOOR FRAMING PLAN
S3-204	BLDG 3 - FOURTH FLOOR FRAMING PLAN
S3-205	BLDG 3 - ROOF FRAMING PLAN
S4-201	BLDG 4 - FOUNDATION PLAN
S4-202	BLDG 4 - SECOND FLOOR FRAMING PLAN
S4-203	BLDG 4 - THIRD FLOOR FRAMING PLAN
S4-204	BLDG 4 - FOURTH FLOOR FRAMING PLAN
S4-206	BLDG 4 - ROOF FRAMING PLAN
S5-201	BLDG 5 - FOUNDATION PLAN
S5-202	BLDG 5 - ROOF PLAN
S-301	TYPICAL CONCRETE DETAILS
S-311	CONCRETE DETAILS
S-312	CONCRETE DETAILS
S-321	TYPICAL MASONRY DETAILS
S-401	TYPICAL WOOD DETAILS
S-402	TYPICAL WOOD DETAILS
S-403	TYPICAL WOOD DETAILS
S-404	TYPICAL WOOD DETAILS
S-405	TYPICAL WOOD DETAILS
S-411	FLOOR FRAMING DETAILS
S-412	FLOOR FRAMING DETAILS
S-421	ROOF FRAMING DETAILS
S-601	TYPICAL STEEL DETAILS
S-612	SIMPSON WS DUAL MOMENT CONNECTION DETAILS
ATS-1	SIMPSON ATS DETAILS
ATS-2	SIMPSON ATS DETAILS
ATS-3	SIMPSON ATS DETAILS
ATS-4	SIMPSON ATS DETAILS
ATS-5	SIMPSON ATS DETAILS
05.0 - MECHANICAL	
M-001	GENERAL NOTES, SPECIFICATIONS, LEGENDS, ABBREVIATIONS, SCHEDULES
M-002	MECHANICAL DETAILS
M-003	MECHANICAL ENLARGED PLANS
M1-101a	BLDG 1 - GROUND FLOOR PLAN - EAST
M1-101b	BLDG 1 - GROUND FLOOR PLAN - WEST
M1-102a	BLDG 1 - SECOND FLOOR PLAN - EAST
M1-102b	BLDG 1 - SECOND FLOOR PLAN - WEST
M1-103a	BLDG 1 - THIRD FLOOR PLAN - EAST
M1-103b	BLDG 1 - THIRD FLOOR PLAN - WEST
M1-104a	BLDG 1 - FOURTH FLOOR PLAN - EAST
M1-104b	BLDG 1 - FOURTH FLOOR PLAN - WEST
M1-105a	BLDG 1 - ROOF PLAN - EAST
M1-105b	BLDG 1 - ROOF PLAN - WEST
M3-101	BLDG 3 - GROUND FLOOR PLAN
M3-102	BLDG 3 - SECOND FLOOR PLAN
M3-103	BLDG 3 - THIRD FLOOR PLAN
M3-104	BLDG 3 - FOURTH FLOOR PLAN
M3-105	BLDG 3 - ROOF PLAN
M4-101	BLDG 4 - GROUND FLOOR PLAN
M4-102	BLDG 4 - SECOND FLOOR PLAN
M4-103	BLDG 4 - THIRD FLOOR PLAN
M4-104	BLDG 4 - FOURTH FLOOR PLAN
M4-105	BLDG 4 - ROOF PLAN
M5-101	BLDG 5 - FLOOR PLANS
06.0 - PLUMBING	
P-001	GENERAL NOTES, SPECIFICATIONS, LEGENDS, ABBREVIATIONS, SCHEDULES
P-002	PLUMBING DETAILS
P-003	ENLARGED UNIT PLAN
P1-101a	BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - EAST
P1-101b	BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - WEST
P1-102a	BLDG 1 - SECOND FLOOR PLAN - DOMESTIC WATER - EAST
P1-102b	BLDG 1 - SECOND FLOOR PLAN - DOMESTIC WATER - WEST
P1-103a	BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - EAST
P1-103b	BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - WEST
P1-104a	BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - EAST
P1-104b	BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - WEST
P1-105a	BLDG 1 - ROOF PLAN - DOMESTIC WATER - EAST
P1-105b	BLDG 1 - ROOF PLAN - DOMESTIC WATER - WEST
P1-201a	BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - EAST
P1-201b	BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - WEST
P1-202a	BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - EAST
P1-202b	BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - WEST
P1-203a	BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - EAST
P1-203b	BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - WEST
P1-204a	BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - EAST
P1-204b	BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - WEST
P1-205a	BLDG 1 - ROOF PLAN - WASTE AND VENT - EAST
P1-205b	BLDG 1 - ROOF PLAN - WASTE AND VENT - WEST
P3-101	BLDG 3 - GROUND FLOOR PLAN - DOMESTIC WATER
P3-102	BLDG 3 - SECOND FLOOR PLAN - DOMESTIC WATER
P3-103	BLDG 3 - THIRD FLOOR PLAN - DOMESTIC WATER
P3-104	BLDG 3 - FOURTH FLOOR PLAN - DOMESTIC WATER
P3-105	BLDG 3 - ROOF PLAN - DOMESTIC WATER
P3-201	BLDG 3 - GROUND FLOOR PLAN - WASTE AND VENT
P3-202	BLDG 3 - SECOND FLOOR PLAN - WASTE AND VENT
P3-203	BLDG 3 - THIRD FLOOR PLAN - WASTE AND VENT
P3-204	BLDG 3 - FOURTH FLOOR PLAN - WASTE AND VENT
P3-205	BLDG 3 - ROOF PLAN - WASTE AND VENT
P4-101	BLDG 4 - GROUND FLOOR PLAN - DOMESTIC WATER
P4-102	BLDG 4 - SECOND FLOOR PLAN - DOMESTIC WATER
P4-103	BLDG 4 - THIRD FLOOR PLAN - DOMESTIC WATER
P4-104	BLDG 4 - FOURTH FLOOR PLAN - DOMESTIC WATER
P4-105	BLDG 4 - ROOF PLAN - DOMESTIC WATER
P4-201	BLDG 4 - GROUND FLOOR PLAN - WASTE AND VENT
P4-202	BLDG 4 - SECOND FLOOR PLAN - WASTE AND VENT
P4-203	BLDG 4 - THIRD FLOOR PLAN - WASTE AND VENT
P4-204	BLDG 4 - FOURTH FLOOR PLAN - WASTE AND VENT
P4-205	BLDG 4 - ROOF PLAN - WASTE AND VENT
P5-101	BLDG 5 - GROUND FLOOR PLAN - DOMESTIC WATER
P5-201	BLDG 5 - GROUND FLOOR PLAN - WASTE AND VENT
07.0 - ELECTRICAL	
E-001	GENERAL NOTES SYMBOLS AND ABBREVIATIONS
E-010	TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 1
E-011	TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 3
E-012	TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 4
E-013	TITLE 24 COMPLIANCE DOCUMENTATION - OUTDOOR LIGHTING
E-014	TITLE 24 COMPLIANCE DOCUMENTATION - OUTDOOR LIGHTING
E-020	SINGLE LINE DIAGRAM - BUILDING 1
E-021	SINGLE LINE DIAGRAM - BUILDING 1
E-022	SINGLE LINE DIAGRAM - BUILDING 3
E-023	SINGLE LINE DIAGRAM - BUILDING 3
E-024	SINGLE LINE DIAGRAM - BUILDING 4 & 5
E-030	ELECTRICAL SCHEDULES - BUILDING 1
E-031	ELECTRICAL SCHEDULES - BUILDING 1
E-032	ELECTRICAL SCHEDULES - BUILDING 1
E-033	ELECTRICAL SCHEDULES - BUILDING 1
E-040	ELECTRICAL SCHEDULES - BUILDING 3
E-041	ELECTRICAL SCHEDULES - BUILDING 3
E-042	ELECTRICAL SCHEDULES - BUILDING 3
E-043	ELECTRICAL SCHEDULES - BUILDING 3
E-050	ELECTRICAL SCHEDULES - BUILDING 4 & 5
E-051	ELECTRICAL SCHEDULES - BUILDING 4 & 5
E-052	ELECTRICAL SCHEDULES - BUILDING 4 & 5
E-060	LIGHTING SCHEDULES - BUILDING 4 & 5
E5-101	SITE POWER PLAN
E5-102	SITE LIGHTING PLAN
E5-103	SITE PHOTOMETRICS PLAN
E1-101a	BLDG 1 - GROUND FLOOR POWER PLAN - EAST
E1-101b	BLDG 1 - GROUND FLOOR POWER PLAN - WEST
E1-102a	BLDG 1 - SECOND FLOOR POWER PLAN - EAST
E1-102b	BLDG 1 - SECOND FLOOR POWER PLAN - WEST
E1-103a	BLDG 1 - THIRD FLOOR POWER PLAN - EAST
E1-103b	BLDG 1 - THIRD FLOOR POWER PLAN - WEST
E1-104a	BLDG 1 - FOURTH FLOOR POWER PLAN - EAST
E1-104b	BLDG 1 - FOURTH FLOOR POWER PLAN - WEST
E1-111a	BLDG 1 - ROOF ELECTRICAL PLAN - EAST
E1-111b	BLDG 1 - ROOF ELECTRICAL PLAN - WEST
E1-121a	BLDG 1 - GROUND FLOOR LIGHTING PLAN - EAST
E1-121b	BLDG 1 - GROUND FLOOR LIGHTING PLAN - WEST
E1-122a	BLDG 1 - SECOND FLOOR LIGHTING PLAN - EAST
E1-122b	BLDG 1 - SECOND FLOOR LIGHTING PLAN - WEST
E1-123a	BLDG 1 - THIRD FLOOR LIGHTING PLAN - EAST
E1-123b	BLDG 1 - THIRD FLOOR LIGHTING PLAN - WEST
E1-124a	BLDG 1 - FOURTH FLOOR LIGHTING PLAN - EAST
E1-124b	BLDG 1 - FOURTH FLOOR LIGHTING PLAN - WEST
E1-141	BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1
E1-142	BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2
E3-101	BLDG 3 GROUND FLOOR POWER PLAN
E3-102	BLDG 3 GROUND FLOOR POWER PLAN
E3-103	BLDG 3 THIRD FLOOR POWER PLAN
E3-104	BLDG 3 FOURTH FLOOR POWER PLAN
E3-121	BLDG 3 ROOF ELECTRICAL PLAN
E3-131	BLDG 3 - GROUND FLOOR LIGHTING PLAN
E3-132	BLDG 3 - SECOND FLOOR LIGHTING PLAN
E3-133	BLDG 3 - THIRD FLOOR LIGHTING PLAN
E3-134	BLDG 3 - FOURTH FLOOR LIGHTING PLAN
E3-141	BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1
E3-142	BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2
E3-421	BLDG 3 - ENLARGED BOYS & GIRLS CLUB ELECTRICAL PLANS
E3-431	BLDG 3 - ENLARGED COMMUNITY ROOM POWER PLAN
E3-432	BLDG 3 - ENLARGED COMMUNITY ROOM LIGHTING PLAN
E4-101	BLDG 4 - GROUND FLOOR POWER PLAN
E4-102	BLDG 4 - SECOND FLOOR POWER PLAN
E4-103	BLDG 4 - THIRD FLOOR POWER PLAN
E4-104	BLDG 4 - FOURTH FLOOR POWER PLAN
E4-111	BLDG 4 - ROOF ELECTRICAL PLAN
E4-121	BLDG 4 - GROUND FLOOR LIGHTING PLAN
E4-122	BLDG 4 - SECOND FLOOR LIGHTING PLAN
E4-123	BLDG 4 - THIRD FLOOR LIGHTING PLAN
E4-124	BLDG 4 - FOURTH FLOOR LIGHTING PLAN
E4-141	BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1
E4-142	BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2
E-491	BLDG 5 ELECTRICAL PLANS
E-491	TYPICAL UNIT ELECTRICAL PLANS
E-492	TYPICAL UNIT ELECTRICAL PLANS
E-491	ELECTRICAL DETAILS
E-492	ELECTRICAL DETAILS
E-493	ELECTRICAL DETAILS
E-494	ELECTRICAL DETAILS
08.0 - LANDSCAPE	
L0-0	COVER SHEET
L0-1	OVERALL LANDSCAPE SITE PLAN
L0-2	TREE DISPOSITION PLAN
L1-0	CONSTRUCTION NOTES AND SCHEDULE
L1-1	CONSTRUCTION PLAN
L1-2	CONSTRUCTION PLAN
L1-3	CONSTRUCTION PLAN
L1-4	CONSTRUCTION PLAN
L1-5	CONSTRUCTION DETAILS
L1-6	CONSTRUCTION DETAILS
L2-0	PLANTING NOTES AND SCHEDULE
L2-1	TREE PLAN
L2-2	PARKING SHADE DIAGRAM
L2-3	PLANTING PLAN
L2-4	PLANTING PLAN
L2-5	PLANTING PLAN
L2-6	PLANTING PLAN
L2-7	PLANTING PLAN
L3-0	IRRIGATION NOTES AND SCHEDULE
L3-1	MAINLINE ROUTING PLAN
L3-2	IRRIGATION PLAN
L3-3	IRRIGATION PLAN
L3-4	IRRIGATION PLAN
L3-5	IRRIGATION PLAN
L3-6	IRRIGATION DETAILS
L3-7	IRRIGATION DETAILS
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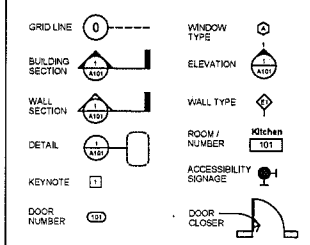
ABBREVIATIONS

(E)	Existing	FIXT	Fixture	PLYWD	Plywood
(P)	Proposed	FL	Flow Line	PNL	Panel
3D	3 Dimensional	FLASH	Flashing	PP	Power Pole
AC	Air Conditioning	FLUOR	Fluorescent	PR	Pair
ABV	Above	FO	Face of	PROJ	Project
ACOUS	Acoustical	FOC	Face of Concrete	PRTN	Partition
ACT	Acoustical Ceiling Tile	FOF	Face of Finish	PSF	Pounds per Square Foot
ADA	Americans with Disabilities Act	FOIC	Furnished by Owner Installed by Contractor	PSI	Pounds per Square Inch
ADJ	Adjacent			PSL	Parallel Strand Lumber
AFCI	Arc Fault Circuit Interrupter	FOM	Face of Masonry	PT	Point, Pressure Treated
AFF	Above Finished Floor	FOS	Face of Stud	PTD	Paper Towel Dispenser
AL	Aluminum	FPL	Fireplace	PTR	Paper Towel Receptacle
ALT	Alternate	FRP	Fiberglass Reinforced Panels	PV	Photo Voltaic
ANCH	Anchor	FT	Foot, Feet	PVC	Polyvinyl Chloride
ANG	Angle	FTG	Footing	PVMT	Pavement
ANOD	Anodized	FURN	Furnish(ed)	PWDR	Powder Room
AP	Access Panel	GA	Gauge, Gage	QTY	Quantity
ARCH	Architect(ural)	GALV	Galvanized	R	Radius, Riser
ASSOC	Associated	GB	Grab Bar	RB	Rubber Base
BD	Board	GC	General Contractor	RCP	Reflected Ceiling Plan
BDRM	Bedroom	GFCI	Ground Fault Circuit Interrupter	RD	Roof Drain
BIT	Bituminous	GWB	Gypsum Wall Board	REF	Refrigerator
BL	Building Line	GYP	Gypsum	RH	Right Hand
BLDG	Building	HB	Hose Bibb	RO	Rough Opening
BLKG	Blocking	HC	Hollow Core	S	South
BM	Beam, Bench Mark	HDW	Hardware	SA	Self Adhering, Supply Air
BOT	Bottom	HGT	Height	SAWP	Self Adhering Waterproofing
BSMT	Basement	HM	Hollow Metal	SC	Solid Core
BUR	Built-Up Roofing	HORIZ	Horizontal	SCD	Seat Cover Dispenser
BW	Both Ways	HVAC	Heating, Ventilation, A/C	SCHED	Schedule
CB	Catch Basin	HWD	Hardwood	SD	Soap Dispenser
CBC	California Building Code	ID	Inside Diameter	SECT	Section
CEM	Cement	IIC	Impact Insulation Class	SF	Square Foot
CFM	Cubic Feet Per Minute	IN	Inch	SHT	Sheet
CH	Coat Hook	INCAND	Incandescent	SHTHG	Sheathing
CIP	Cast In Place	INSUL	Insulation, Insulated	SIM	Similar
CJ	Control Joint	INT	Interior	SM	Sheet Metal
CL	Center Line	JB	Junction Box	SND	Sanitary Napkin Dispenser
CLG	Ceiling	JC	Janitor's Closet	SNR	Sanitary Napkin Receptacle
CLO	Closet	JT	Joint	SPEC	Specification(s)
CLR	Clear	KPL	Kickplate	SQ	Square
CMU	Concrete Masonry Unit	LAM	Laminated	SS	Solid Surface
CO	Clean Out	LAV	Lavatory	SSTL	Stainless Steel
COL	Column	LBS	Pounds	STC	Sound Transmission Class
CONC	Concrete	LEED	Leadership in Energy & Environmental Design	STL	Steel
CONST	Construction			STOR	Storage
CONT	Continuous	LF	Linear Feet	STRUCT	Structural
CONTR	Contractor	LH	Left Hand	SUSP	Suspended
CPT	Carpet	LIN	Linen Closet	SV	Sheet Vinyl
CT	Ceramic Tile	LINO	Linoleum	SYM	Symmetrical
CTR	Center	LT(G)	Light(ing)	T	Tread
DBL	Double	LVL	Laminated Veneer Lumber	TAG	Tongue & Groove
DF	Drinking Fountain	LW	Lightweight	TB	Towel Bar
DIA	Diameter, Diaphragm	MAG	Magnetic	TEL	Telephone
DIM	Dimension	MAS	Masonry	TEMP	Tempered
DISP	Dispenser	MAX	Maximum	TJI	Truss Joist Joist
DN	Down	MDF	Medium Density Fiberboard	TOS	Top of Slab
DR	Door	MECH	Mechanical	TOW	Top of Wall
DS	Downspout	MEMB	Membrane	TPD	Toilet Paper Dispenser
DTL	Detail	MEP	Mechanical, Electrical, Plumbing	TRANS	Transformer
DW	Dish Washer			TV	Television
DWG	Drawing	MFR	Manufacturer	TYP	Typical
E	East	MIN	Minimum	UFAS	Uniform Federal Accessibility Standards
EA	Each	MIR	Mirror		
EJ	Expansion Joint	MISC	Miscellaneous	UG	Underground
EL, ELEV	Elevation	MO	Masonry Opening	UNFIN	Unfinished
ELEC	Electrical	MTL	Metal	UNO	Unless Noted Otherwise
ENCL	Enclosure	N	North	UV	Ultraviolet
EQ	Equal	NIC	Not In Contract	VCT	Vinyl Composition Tile
EQUIP	Equipment	No.,	Number	W	West
EXH	Exhaust	NOM	Nominal	WI	With
EXP	Expansion	NTS	Not To Scale	WD	Washer Dryer
EXT	Exterior	OC	On Center	WO	Without
FACP	Fire Alarm Control Panel	OD	Overflow Drain	WC	Water Closet
FAU	Forced Air Unit	OPG	Opening	WD	Wood
FAWP	Fluid Applied Waterproofing	OPP	Opposite	WDW	Window
FD	Floor Drain	P	Pantry	WH	Water Heater
FDC	Fire Department Connection	PERF	Perforated	WI	Wrought Iron
FDN	Foundation	PERP	Perpendicular	WP	Waterproof(ing)
FEC	Fire Extinguisher Cabinet	PL	Plate, Property Line	WR	Weather Resistive
FF	Finished Floor Elevation	PLAM	Plastic Laminate	WT	Weight
FG	Finished Grade	PLBG	Plumbing	WWF	Welded Wire Fabric
FIN	Finish(ed)	PLF	Pounds per Linear Foot	YD	Yard

SYMBOLS LEGEND



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SHEET INDEX

NO.	REVISION	DATE

PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET G-002

INITIAL B&S SUBMITTAL

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GENERAL NOTES

1. ALL HORIZONTAL CEILING DRYWALL APPLIED TO TRUSSES SHALL BE 5/8" GYPSUM BOARD.
2. ALL EXTERIOR WINDOWS PER OWNER SPECS. REFER TO PLANS FOR SIZE AND EXTERIOR ELEVATIONS FOR ALL GRIDS & COLORS.
3. WATER HEATER: (REFER TO BUILDING ANALYSIS REPORT)
   a. HOT WATER INLET AND OUTLET PIPES INSULATED: EXTERNALLY WRAPPED WITH R-4 OR GREATER (FIRST 5 FEET IN UNCONDITIONED SPACES).
   b. PROVIDE A TEMPERATURE AND PRESSURE RELIEF VALVE WITH A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MINIMUM @ 2' MAX. ABOVE GRADE POINTING DOWNWARD TO THE TERMINATION - UNTHREADED.
   c. COMBUSTION AIR PER MANUFACTURE REQUIREMENTS.
   d. CLEARANCES PER MANUFACTURE REQUIREMENTS.
   e. THE BURNERS AND BURNER IGNITION DEVICES SHALL BE LOCATED 18" ABOVE THE GARAGE FLOOR UNLESS LISTED AS FLAMABLE VAPOR IGNITION RESISTANT (NFPA54:9.1.10.2) (CPC SEC. 508.14)
   f. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION; STRAPPING SHALL BE WITHIN UPPER 1/3 & LOWER 1/3 OF TANK. LOWER STRAP 4" ABOVE CONTROLS. (CPC SEC. 508.2)
   g. WHEN INSTALLED IN A GARAGE THE WATER HEATER SHALL BE GUARDED AGAINST DAMAGE. (CPC SEC. 508.14)
4. PROVIDE WATER RESISTIVE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO (2) LAYERS OF WATER RESISTIVE BARRIER COMPLYING WITH ASTM E2556 TYPE 1, WHEN PLASTER IS INSTALLED OVER WOOD BASED SHEATHING. (2019 CBC SEC. 2510.6)
5. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" W/ TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. MIN. DIA. 4". SMOOTH, METAL DUCT. (CMC SEC. 504.3)
6. ALL MANUFACTURED EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION AND DIMENSIONS VERIFIED WITH INSTALLATION REQUIREMENTS.
7. SHOWERS AND TUB-SHOWER COMBINATIONS: CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. (CPC SEC. 418.0)
8. PROVIDE TEMPERED GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, SAUNAS, STEAM ROOMS, HOT TUBS & SIMILAR USES WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60-INCHES ABOVE A STANDING SURFACE. (2019 CBC 2406.4.5)
9. HEATING AND AIR-CONDITIONING SYSTEM DESIGN SHALL CONFORM TO CALGREEN SEC. 4.507, ENVIRONMENTAL COMFORT.
10. PROVIDE 5/8" TYPE "X" GYPSUM BOARD AT GARAGE SIDE OF WALLS AND CEILINGS COMMON TO DWELLING AND COVER ALL BEAMS & POSTS, AS WELL AS SOFFITS & FURRED SPACES, ALSO AT UNDERSIDE OF ACCESSIBLE UNDER STAIR AREAS, ONE HOUR CONSTRUCTION FOR ALL WALLS & SOFFITS.

SITE ACCESSIBILITY

ACCESSIBLE PATH OF TRAVEL

1. THE ACCESSIBLE ROUTES OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES, SURFACE IS STABLE AND SLIP RESISTANT. THIS PATH SHALL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN AND PROTRUDING OBJECTS GREATER THAN A 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" 2019 CBC 11B-402
2. ACCESSIBLE ROUTES SHALL BE PROVIDED WHERE REQUIRED BY 2019 CBC SECTION 11B-206.2. EXISTING BUILDINGS AND FACILITIES SHALLY COMPLY WITH 2019 CBC 11B-202.
3. SITE ARRIVAL POINTS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER DROP-OFF AND LOADING ZONES; PUBLIC STREETS AND SIDEWALKS; AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PRIVIDED, ALL ROUTES MUST BE ACCESSIBLE (2019 CBC 11B-206.2.1)
4. WITHIN A SITE, AT LEAST ONE ACCESSIBLE AROUTE SHALL CONNECT ACCESSIBLE BUIDLINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE EXCEPT AS NOTED PER 2019 CBC 11B-206.2.2
5. FLOOR AND GROUND SURFACES: FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT2019 CBC 11B-302.1. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2 INCH DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL CBC 2019 11B-302.3
6. CHANGES IN LEVELS: VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE ¼ INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN ¼ INCH AND NOT EXCEEDING ½ INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. 2019 CBC 11B-303, FIGURES 11B-303.2 & 11B-303.3
7. PROTRUDING OBJECTS: PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH CBC 11B-307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF OR GROUND SHALL PROTRUDE 4" MAXIMUM INTO THE CIRCULATION PATH. HANDRAILS SHALL BE PERMITTED TO PROTRUDE 4 1/2" MAXIMUM. 2019 CBC11B-307.2
8. FREE STANDING OBJECTS MOUNTED ON POSTS SHALL OVERHANG CIRCULATION PATHS 12" MAX WHEN LOCATED 27" MIN AND 80" MAX AFF. WHERE A SIGN OR OBSTRUCTION IS MOUNTED BTWN POSTS AND THE CLEAR DISTANCE BTWN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF SUCH SIGN OR OBSTRUCTION SHALL BE 27" MAX OR 80" MIN AFF. 2019 CBC11B-307.3

PARKING SIGNAGE

1. ALL SIGNAGE SHALL NOT ENCROACH IN THE ACCESSIBLE PATH OF TRAVEL. PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION CBC 2019 11B-703.7.2.1. SEE ALSO CBC 2019 11B-502.6
2. PARKING IDENTIFICATION SIGNS AT ACCESSIBLE STALLS AND VAN ACCESSIBLE STALLS SHALL BE VISIBLE EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE. 2019 CBC 11B-502.6.3
3. AN ADDITIONAL SIGN SHALL BE POSTED IMMEDIATELY ADJACENT TO ON SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACE. 2019 CBC 11B-502.8
   1. THE ADDITIONAL SIGN SHALL NOT BE LESS THAN 17 INCHES WIDE BY 22 INCHES HIGH. 2019 CBC 11B-502.8.1
   2. THE ADDITIONAL SIGN SHALL CLEARLY STATE IN LETTERS WITH A MINIMUM HEIGHT OF 1 INCH THE FOLLOWING: 2019 CBC 11B-502.8.2 "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: ________ OR BY TELEPHONING ________." BLANK SPACES SHALL BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN. (TOWING COMPANY'S NAME AND TELEPHONE NOS. " MUST BE PROVIDED ON SIGN)

PARKING GROUND SURFACE IDENTIFICATION:

1. EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES: CBC 2019 11B-502.6.4
   a. THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION CBC 2019 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH. CBC 2019 11B-502.6.4.1
   b. THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION CBC 2019 11B-703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE. CBC 2019 11B-502.6.4.2

WUI REQUIREMENTS

1. ROOF COVERING SHALL COMPLY WITH 2019 CBC 705A.2.UNDERLAYMENT SHALL BE ONE LAYER OF MINUMIM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING.
2. ROOF VALLEYS SHALL COMPLY WITH 2019 CBC 705A.3. VALLEY FLASHING SHALL BE NOT LESS THAN 26 GAGE GALVANIZED SHEET CORROSIVE RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINUMIM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH OF THE VALLEY.
3. ROOF GUTTERS SHALL COMPLY WITH 2019 CBC 705A.4. ROOF GUTTERS SHALL BE PROVIDE WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
4. VENTILATION OPENINGS SHALL COMPLY WITH 2019 CBC 706A - VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS, OR OTHER DEVICES. REFER TO SECTIONS 706A.1 THROUGH 706A.3 FOR ADDITIONAL INFORMATION.
5. EXTERIOR COVERINGS SHALL COMPLY WITH 2019 CBC 707A EXTERIOR WALL COVERINGS OR WALL ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING REQUIREMENTS: BE OF NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, HEAVY TIMBER EXTERIOR WALL ASSEMBLY, LOG WALL CONSTRUCTION ASSEMBLY, OR WALL ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE WITH THE TEST PROCEDURES FOR A 10-MINUTE DIRECT FLAME CONTACT EXPOSURE TEST SET FORTH IN SFM STANDARD 12-7A-1. REFER TO SECTIONS 707A.1 THROUGH 707A.9 FOR ADDITIONAL INFORMATION.
6. PROVIDE FIRE PROTECTION IN ATTIC AREAS (AT LEST ONE PILOT HEAD). PER MURRIETA MUNICIPAL CODE SECTION 15.08.010

SOLAR READY REQUIREMENTS

PER: 2019 CENC SEC. 110.10(B) THROUGH SEC. 110.10(D)

(B) SOLAR ZONE.

1. MINIMUM SOLAR ZONE AREA. THE SOLAR ZONE SHALL HAVE A MINIMUM TOTAL AREA AS DESCRIBED BELOW. THE SOLAR ZONE SHALL COMPLY WITH ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS AS SPECIFIED IN TITLE 24, PART 9 OR OTHER PARTS OF TITLE 24 OR IN ANY REQUIREMENTS ADOPTED BY A LOCAL JURISDICTION. THE SOLAR ZONE TOTAL AREA SHALL BE COMPRISED OF AREAS THAT HAVE NO DIMENSION LESS THAN FIVE FEET AND ARE NO LESS THAN 80 SQUARE FEET EACH FOR BUILDINGS WITH ROOF AREAS LESS THAN OR EQUAL TO 10,000 SQUARE FEET OR NO LESS THAN 160 SQUARE FEET EACH FOR BUILDINGS WITH ROOF AREAS GREATER THAN 10,000 SQUARE FEET.

   B. LOW-RISE AND HIGH-RISE MULTIFAMILY BUILDINGS, HOTEL/MOTEL OCCUPANCIES, AND NONRESIDENTIAL BUILDINGS. THE SOLAR ZONE SHALL BE LOCATED ON THE ROOF OR OVERHANG OF THE BUILDING OR ON THE ROOF OR OVERHANG OF ANOTHER STRUCTURE LOCATED WITHIN 250 FEET OF THE BUILDING OR ON COVERED PARKING INSTALLED WITH THE BUILDING PROJECT, AND SHALL HAVE A TOTAL AREA NO LESS THAN 15 PERCENT OF THE TOTAL ROOF AREA OF THE BUILDING EXCLUDING ANY SKYLIGHT AREA. THE SOLAR ZONE REQUIREMENT IS APPLICABLE TO THE ENTIRE BUILDING,INCLUDING MIXED OCCUPANCY.

   EXCEPTION 1 TO SECTION 110.10(B)1B: HIGH-RISE MULTIFAMILY BUILDINGS, HOTEL/MOTEL OCCUPANCIES AND NONRESIDENTIAL BUILDINGS WITH A PERMANENTLY INSTALLED SOLAR ELECTRIC SYSTEM HAVING A NAMEPLATE DC POWER RATING, MEASURED UNDER STANDARD TEST CONDITIONS, OF NO LESS THAN ONE WATT PER SQUARE FOOT OF ROOF AREA.

   EXCEPTION 2 TO SECTION 110.10(B)1B: HIGH-RISE MULTIFAMILY BUILDINGS, HOTEL/MOTEL OCCUPANCIES WITH A PERMANENTLY INSTALLED DOMESTIC SOLAR WATER-HEATING SYSTEM COMPLYING WITH SECTION 150.1(C)8BIII.

   EXCEPTION 3 TO SECTION 110.10(B)1B: BUILDINGS WITH A DESIGNATED SOLAR ZONE AREA THAT IS NO LESS THAN 50 PERCENT OF THE POTENTIAL SOLAR ZONE AREA. THE POTENTIAL SOLAR ZONE AREA IS THE TOTAL AREA OF ANY LOW-SLOPED ROOFS WHERE THE ANNUAL SOLAR ACCESS IS 70 PERCENT OR GREATER AND ANY STEEP-SLOPED ROOFS ORIENTED BETWEEN 90 DEGREES AND 300 DEGREES OF TRUE NORTH WHERE THE ANNUAL SOLAR ACCESS IS 70 PERCENT OR GREATER. SOLAR ACCESS IS THE RATIO OF SOLAR INSOLATION INCLUDING SHADE TO THE SOLAR INSOLATION WITHOUT SHADE. SHADING FROM OBSTRUCTIONS LOCATED ON THE ROOF OR ANY OTHER PART OF THE BUILDING SHALL NOT BE INCLUDED IN THE DETERMINATION OF ANNUAL SOLAR ACCESS.

   EXCEPTION 4 TO SECTION 110.10(B)1B: LOW-RISE AND HIGH-RISE MULTIFAMILY BUILDINGS WITH ALL THERMOSTATS IN EACH DWELLING UNIT ARE DEMAND RESPONSE CONTROLS THAT COMPLY WITH SECTION 110.12(A), AND ARE CAPABLE OF RECEIVING AND RESPONDING TO DEMAND RESPONSE SIGNALS PRIOR TO GRANTING OF AN OCCUPANCY PERMIT BY THE ENFORCING AGENCY. IN ADDITION, EITHER A OR B BELOW:

   A. IN EACH DWELLING UNIT, COMPLY WITH ONE OF THE FOLLOWING MEASURES:

   I. INSTALL A DISHWASHER THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS WITH EITHER A REFRIGERATOR THAT MEETS OR EXCEEDS THE ENERGY STAR PROGRAM REQUIREMENTS OR A WHOLE HOUSE FAN DRIVEN BY AN ELECTRONICALLY COMMUTATED MOTOR; OR

   II. INSTALL A HOME AUTOMATION SYSTEM THAT COMPLIES WITH SECTION 110.12(A) AND IS CAPABLE OF, AT A MINIMUM, CONTROLLING THE APPLIANCES AND LIGHTING OF THE DWELLING AND RESPONDING TO DEMAND RESPONSE SIGNALS, OR

   III. INSTALL ALTERNATIVE PLUMBING PIPING TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER AND ALL SHOWERS AND BATHTUBS TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES; OR

   IV. INSTALL A RAINWATER CATCHMENT SYSTEM DESIGNED TO COMPLY WITH THE CALIFORNIA PLUMBING CODE AND ANY APPLICABLE LOCAL ORDINANCES, AND THAT USES RAINWATER FLOWING FROM AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA.

   B. MEET THE TITLE 24, PART 11, SECTION A4.106.8.2 REQUIREMENTS FOR ELECTRIC VEHICLE CHARGING SPACES.

   EXCEPTION 5 TO SECTION 110.10(B)1B: BUILDINGS WHERE THE ROOF IS DESIGNED AND APPROVED TO BE USED FOR VEHICULAR TRAFFIC OR PARKING OR FOR A HELIPORT.

2. AZIMUTH. ALL SECTIONS OF THE SOLAR ZONE LOCATED ON STEEP-SLOPED ROOFS SHALL BE ORIENTED BETWEEN 90 DEGREES AND 300 DEGREES OF TRUE NORTH.

3. SHADING.

   A. NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, ARCHITECTURAL FEATURES, AND ROOF MOUNTED EQUIPMENT, SHALL BE LOCATED IN THE SOLAR ZONE.

   B. ANY OBSTRUCTION, LOCATED ON THE ROOF OR ANY OTHER PART OF THE BUILDING THAT PROJECTS ABOVE A SOLAR ZONE SHALL BE LOCATED AT LEAST TWICE THE DISTANCE, MEASURED IN THE HORIZONTAL PLANE, OF THE HEIGHT DIFFERENCE BETWEEN THE HIGHEST POINT OF THE OBSTRUCTION AND THE HORIZONTAL PROJECTION OF THE NEAREST POINT OF THE SOLAR ZONE, MEASURED IN THE VERTICAL PLANE.

   EXCEPTION TO SECTION 110.10(B)3: ANY ROOF OBSTRUCTION, LOCATED ON THE ROOF OR ANY OTHER PART OF THE BUILDING, THAT IS ORIENTED NORTH OF ALL POINTS ON THE SOLAR ZONE.

4. STRUCTURAL DESIGN LOADS ON CONSTRUCTION DOCUMENTS. FOR AREAS OF THE ROOF DESIGNATED AS SOLAR ZONE, THE STRUCTURAL DESIGN LOADS FOR ROOF DEAD LOAD AND ROOF LIVE LOAD SHALL BE CLEARLY INDICATED ON THE CONSTRUCTION DOCUMENTS.

NOTE: SECTION 110.10(B)4 DOES NOT REQUIRE THE INCLUSION OF ANY COLLATERAL LOADS FOR FUTURE SOLAR ENERGY SYSTEMS.

(C) INTERCONNECTION PATHWAYS.

1. THE CONSTRUCTION DOCUMENTS SHALL INDICATE A LOCATION RESERVED FOR INVERTERS AND METERING EQUIPMENT AND A PATHWAY RESERVED FOR ROUTING OF CONDUIT FROM THE SOLAR ZONE TO THE POINT OF INTERCONNECTION WITH THE ELECTRICAL SERVICE.
2. FOR SINGLE FAMILY RESIDENCES AND CENTRAL WATER-HEATING SYSTEMS, THE CONSTRUCTION DOCUMENTS SHALL INDICATE A PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM.

(D) DOCUMENTATION. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

UNDER-FLOOR VENTING NOTES

1. THE SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING EXCEPT SPACES OCCUPIED BY BASEMENTS OR CELLARS SHALL BE PROVIDED WITH VENTILATION (CBC 2019 1202.4)
2. VENTILATION OPENINGS THROUGH FOUNDATION WALLS SHALL BE PROVIDED. THE OPENINGS SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE UNDER-FLOOR SPACE. THE NET AREA OF VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1202.4.1.1 OR 1202.4.1.2. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS, PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL BE NOT GREATER THAN 1/4 INCH.
   1. PERFORATED SHEET METAL PLATES NOT LESS THAN 0.070 INCH THICK.
   2. EXPANDED SHEET METAL PLATES NOT LESS THAN 0.047 INCH THICK.
   3. CAST-IRON GRILL OR GRATING.
   4. EXTRUDED LOAD-BEARING VENTS.
   5. HARDWARE CLOTH OF 0.035 INCH WIRE OR HEAVIER.
   6. CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION NOT GREATER THAN 1/8 INCH.
   7. OPERABLE LOUVERS, WHERE VENTILATION IS PROVIDED IN ACCORDANCE WITH SECTION 1202.4.1.2.
3. THE NET AREA OF VENTILATION OPENINGS FOR CRAWL SPACES WITH UNCOVERED EARTH FLOORS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE AREA. (CBC 2019 1202.4.1.1)
4. THE NET AREA OF VENTILATION OPENINGS FOR CRAWL SPACES WITH THE GROUND SURFACE COVERED WITH A CLASS I VAPOR RETARDER SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF CRAWL SPACE AREA. (CBC 2019 1202.4.1.2)
5. CRAWL SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESS OPENING THAT SHALL BE NOT LESS THAN 18 INCHES BY 24 INCHES. (CBC 2019 1209.1)

ELEVATOR NOTES

1. ELEVATORS SHALL COMPLY WITH 2019 CBC CHAPTER 30, 11B-407 AND WITH ASME A17.1.
2. PROVIDE CALL BUTTONS, KEYPADS, HALL SIGNALS AND SIGNAGE PER DETAILS ON SHEET GX-101
3. INSIDE CAR DIMENSIONS FOR ACCESSIBILITY COMPLIANCE AND/OR TO FIT A GURNEY SHALL BE AS INDICATED ON PLANS (3500 LB. ELEVATOR ACCOMODATES GURNEY; 2500 LB. ELEVATOR ACCOMODATES WHEELCHAIR.)
4. THE ELEVATOR SHALL BE AUTOMATIC AND BE PROVIDED WITH A SELF-LEVELING FEATURE THAT WILL AUTOMATICALLY BRING THE CAR TO THE FLOOR LANDING WITHIN A TOLERANCE OF PLUS OR MINUS 1/2". THE CLEARANCE BETWEEN THE CAR PLATFORM SILL AND THE EDGE OF THE HOISTWAY LANDING SHALL BE NO GREATER THAN 1 AND 1/4".
5. DOORS CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED WITH A DOOR-REOPENING DEVICE THAT WILL FUNCTION TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IN CASE THE CAR DOOR IS OBSTRUCTED WHILE CLOSING AND SHALL COMPLY WITH THE REQUIREMENTS OF 2019 CBC SECTION 1124A.9.
6. THE MINIMUM ACCEPTABLE TIME FOR NOTIFICATION THAT A CAR IS ANSWERING A CALL (LANTERN AND AUDIBLE SIGNAL) SHALL COMPLY WITH CBC 11B.
7. THE MINIMUM ACCEPTABLE TIME FOR DOORS TO REMAIN FULLY OPEN SHALL NOT BE LESS THAN FIVE SECONDS.
8. A VISUAL AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING TO THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS DIRECTION OF TRAVEL.
9. PROVIDE TWO WAY COMMUNICATION SYSTEM IN ACCORDANCE WITH 2019 CBC SECTION 1009.8 AND 11B-708
10. ELEVATOR LOBBIES-HOLD OPEN FIRE/SMOKE DOORS ARE REQUIRED AT ALL LEVELS.
11. AN ELEVATOR PERMIT IS TO BE OBTAINED FROM DOSH PRIOR TO FINAL OCCUPANCY.
12. SEE ELECTRICAL FOR LIGHTING AT PIT, DEDICATED TELEPHONE SERVING ELEVATOR, AND ELEVATOR MACHINE ROOM.
13. SUPPORTS FOR ELEVATOR RAILS AND RECESSED PIT HAVE BEEN PROVIDED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR FURTHER INFORMATION AND LIMITATIONS. SITE SPECIFIC CUT SHEET SUBMITTALS SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.

STAIRS AND HANDRAILS NOTES

1. VERIFY ALL DIMENSIONS AND FIELD VERIFY EXTERIOR FINISH GRADE ELEVATIONS AT EACH BUILDING FOR EACH STAIR
2. HANDRAIL: (1) +34"-38" ABOVE STAIR NOSING. (2019 CBC SEC.1014.2)
3. THE HAND GRIP PORTION OF THE HANDRAIL SHALL BE: TYPE 1: A MINIMUM DIAMETER OF 1-1/4" AND A MAXIMUM DIAMETER OF 2" IN CROSS SECTION DIMENSION (2019 CBC SEC. 1014.3.1) OR TYPE 2: A PERIMETER GREATER THAN 6 1/4" SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE (2019 CBC SEC. 1014.3.2). THE GRIP SHALL BE 1-1/2" CLEAR FROM WALL. (2019 CBC SEC. 1014.7)
4. HANDRAILS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN OR LANDING. (2019 CBC SEC. 1014.4, EXC. 1)
5. HEADROOM: PROVIDE A MINIMUM OF 80" (6'-8") CLEAR ABOVE ALL PORTIONS OF THE STAIRS AND LANDINGS. THIS DIMENSION SHALL BE MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. (2019 CBC SEC. 1011.3)
6. GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH, MEASURED VERTICALLY. (2019 CBC SEC. 1015.3)
7. FOR OCCUPANCIES IN GROUP R-3, AND WITHIN INDIVIDUAL DWELLING UNITS IN OCCUPANCIES IN GROUP R-2, GUARDS ON THE OPEN SIDES OF STAIRS ALSO SERVING AS A HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38". (2019 CBC SEC. 1015.3, EXC. 2)
8. USABLE SPACE UNDER STAIRS SHALL BE PROTECTED WITH 1/2" TYPE X GYPSUM BOARD OR ANOTHER ACCEPTABLE 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. (2019 CBC SEC. 1011.7.3, EXC)
9. FOR REQUIRED GUARDS, INTERMEDIATE MEMBERS SHALL BE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. (2019 CBC SEC. 1015.4)
10. MINIMUM TREAD DEPTH SHALL BE 10" (INTERIOR OF UNITS) AND 11" (EXTERIOR OF UNITS). (2019 CBC SEC. 1011.5.2, EXC. 3), MAXIMUM VARIATION OF 3/8" (2019 CBC SEC. 1011.5.4)
11. MAXIMUM RISE SHALL BE 7.75" (INTERIOR OF UNITS) AND 7" (EXTERIOR OF UNITS).(2019 CBC SEC. 1011.5.2, EXC. 3), MAXIMUM VARIATION OF 3/8" (2019 CBC SEC. 1011.5.4)
12. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A MINIMUM CLEAR WIDTH OF 36". (2019 CBC SEC. 1011.2, EXC. 1)
13. RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL NOT BE LESS THAN 1/16" AND NOT GREATER THAN 9/16". (2019 CBC SEC. 1011.5.5)
14. NOSING PROJECTIONS: THE LEADING EDGES OF TREADS SHALL NOT BE MORE THAN 1 1/4" BEYOND THE TREAD BELOW. (2019 CBC SEC. 1011.5.5.1)
15. SPACE BETWEEN HANDGRIP AND WALL SHALL BE NOT LESS THAN 1 1/2". (2019 CBC SEC. 1014.7)
16. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS AND RAMPS WHERE REQUIRED BY (2019 CBC 11B505.2) HANDRAILS AT ONE SIDE SHALL BE PERMITTED AS ALLOWED BY 2019 CBC 1011.11 EXCEPTION 1
17. EXCEPT AS NOTED PER (2019 CBC 1014.6), WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. AT RAMPS WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN RUNS, THE HANDRAILS SHALL EXTEND HORIZONTALLY ABOVE THE LANDING 12" MIN BEYOND THE TOP AND BOTTOM OF RAMP RUNS.
18. EXTERIOR LANDING OF EXTERIOR STAIR SHALL NOT HAVE A SLOPE OF MORE THAN 1/4" PER FOOT FOR DRAINAGE. COORDINATE WITH CIVIL DWGS.
19. INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MIN OF 2" WIDE TO A MAX OF 4" WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. GROOVES SHALL NOT BE USED TO SATISFY THIS REQUIREMENT. (2019 CBC 11B-504.4.1)

FIREBLOCKING/DRAFTSTOPPING NOTES

1. FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH 2019 CBC SECTION 718.
2. FIREBLOCKING SHALL COMPLY WITH SECTION 718.2.
   A. SECTION 718.2.1 - FIREBLOCKING MATERIALS SHALL CONSIST OF FOLLOWING MATERIALS:
      1. TWO-INCH NOMINAL LUMBER
      2. TWO THICKNESSES OF ONE-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS
      3. THE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
      4. THE THICKNESS OF 0.75-INCH PARTICLE BOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLE BOARD
      5. ONE-HALF-INCH GYPSUM BOARD
      6. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD
      7. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIAL INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
      8. CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.
   B. SECTION 718.2.2 - FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
      1. VERTICALLY AT CEILING AND FLOOR LEVELS
      2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
   C. SECTION 718.2.3 - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND SIMILAR.
   D. SECTION 718.2.4 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL ALSO COMPLY WITH 2019 CBC SECTION 1011.7.3.
   E. SECTION 718.2.5 - AT ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVELS. SHALL HAVE FIREBLOCKING INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.
   F. SECTION 717.2.5.1 - FACTORY-BUILT CHIMNEY AND FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127.
3. DRAFTSTOPPING IN FLOOR/CEILING SPACES SHALL COMPLY WITH SECTION 718.3.
   A. DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES WHERE REQUIRED BY SECTION 708.4.2. IN OTHER THAN GROUP R OCCUPANCIES, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE COMBUSTIBLE FLOOR/CEILING ASSEMBLIES SO THAT HORIZONTAL FLOOR AREAS DO NOT EXCEED 1,000 SQUARE FEET. EXCEPTION: BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
   B. DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH PARTICLEBOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER, OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. THE INTEGRITY OF DRAFTSTOPS SHALL BE MAINTAINED.
4. DRAFTSTOPPING IN ATTIC SPACES SHALL COMPLY WITH SECTION 718.4.
   A. DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES WHERE REQUIRED BY SECTION 708.4.2. IN OTHER THAN GROUP R, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE COMBUSTIBLE ATTIC SPACES AND COMBUSTIBLE CONCEALED ROOF SPACES SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 1202.2.1. EXCEPTION: BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
   B. MATERIALS UTILIZED FOR DRAFTSTOPPING OF ATTIC SPACES SHALL COMPLY WITH SECTION 718.3.1.
   C. OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

ROOF VENTILATION NOTES

PER 2019 CBC SECTION 1203.2.1 & 1203.2.2

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
2. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN AIRSPACE OF NOT LESS THAN 1-INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
3. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
4. THE NET-FREE CROSS VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE RQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
5. VENTILATORS SHALL BE INSTALLED IN ACCORDACE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, SQUIRRELS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES.
7. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH SHALL BE PERMITTED.
8. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4-INCH SHALL BE PROVIDED WITH WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH.

ENERGY CODE MANDATORY FEATURES

1. ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WETHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION (2019 CENC SEC. 110.7)
2. ATTTIC ACCESS DOORS SHALL HAVE PERMENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE (2019 CENC 150.0(a)2)
3. PERMENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS SHALL BE RATED TO CONSUME NO MORE THAN FIVE WATTS OF POWER PER LUMINAIRE OR EXHUAST FAN AS DETERMINED IN ACCORDANCE WITH 2019 CENC SEC. 130.0(c). NIGHT LIGHTS SHALL NOT BE REQUIRED TO BE CONTROLLED BY VACANCY SENSORS (2019 CENC 150(k)1E)
4. ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH CENC TABLE 150.0-A. (2019 CENC 150(k)1A)
5. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL. (2019 CENC 150(k)1B)

DOORS

1. EGRESS DOORS (2019 CBC 1010.1)
   a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF 2019 CBC 1010.1
   b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY (2019 CBC 1010.1.2.1)
   c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE (2019 CBC1010.1.5)
   d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED PER 2019 CBC 1010.1.6
   e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED PER 2019 CBC 1010.1.9
   f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED PER 2019 CBC 1010.1.9.6
   g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, I-2 OR I-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED PER 2019 CBC 1010.1.10.
   h. ELECTRICAL ROOMS WITH EQUIPMENT RATED 800-AMPERES OR MORE AND OVER 6 FEET WIDE, AND THAT CONTAIN OVERCURRENT DEVISES, SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. (2019 CBC 1010.1.10)
   i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH 2019 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-2
      - HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
      - LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE
2. ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES (2019 CBC 11B-404)
   a. MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (2019 CBC 11B-404.2.3)
   b. MANEUVERING CLEARANCES SHALL COMPLY WITH (2019 CBC 11B-404.2.4). REFER TO PLANS FOR MINIMUM CLEARANCES
   c. THRESHOLDS SHALL BE 1/2" HIGH MAX (2019 CBC 11B-404.2.5). REFER TO DOOR DETAILS
   d. MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. AT FIRE DOORS (2019 CBC 11B-404.2.9)
   e. HAND-ACTIVATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE (2019 CBC 11B-404.2.7 AND 2019 CBC 11B-309.4)
   f. OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR (2019 CBC 11B-404.2.7)
   g. CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM (2019 CBC 11B-404.2.8.1)
   h. SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED PER 2019 CBC 11B-404.2.10
3. OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES (2019 CBC 716 AND NFPA 80)
   a. FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF 2019 CBC 716 AND NFPA 80
   b. FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER 2019 CBC 716.2.6.1
   c. SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C (2019 CBC 716.2.1.1)
   d. UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGES SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED 2019 CBC 716.2.6.2
   e. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED PER 2019 CBC 716.2.2.1
   f. FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784 (2019 CBC 716.2.1.4)
   g. FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR OR FRAME 2019 CBC 716.2.9
   h. SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION 2019 CBC 716.2.9.1 AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR PER 2019 CBC 716.2.9.3
   i. FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND , WHERE REQUIRED FOR FIRE DOORS IN INTERIOR EXIST STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY 2019 CBC SECTION 716.2.2.3, THE MAXIMUM TRANSMITTED TEMPERATURE END POINT. 2019 CBC 716.2.9.1
4. GLAZING
   a. GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2019 CBC CHAPTER 24 - SAFETY GLAZING. LOCATIONS NOTED WITH "T"
   b. GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH 2019 CBC 716.1.2 IN ADDITION TO THE REQUIREMENTS OF SECTIONS 2019 CBC 716.2 AND 2019 CBC 716.3 RESPECTIVELY, AND NFPA 80
   c. IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST (2019 CBC 716.2.5.3) (TRANSOM AND SIDE-LITES SEE 2019 CBC 716.2.5.4)
   d. FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN 2019 CBC 716.2.5.1.2.1 AND 716.2.5.1.2.2

WINDOWS

a. WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS. (2019 CBC SEC. 2406.4)
b. AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE SAFETY GLAZING IN BOTH PANES PER 2019 CBC 2406.3
   a. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION (2019 CBC 2406.4.2)
   b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION (2019 CBC 2406.4.3)
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF
      - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
      - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
      - ONE OR MORE WALKING SURFACE(S) WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
   c. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER 2019 CBC 2406.4.6
   d. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER 2019 CBC 2406.4.7
c. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF, MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF. EXCEPTION: MIN 5 SF AT GROUND FLOOR, MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (2019 CBC SECTION 1030)
d. WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER 2019 CBC 1015.8
   - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
   - OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090
   - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH 2019 CBC SECTION 1015.8.1

FINISH REQUIREMENTS

PER 2019 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2019 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
(CBC 2019 TABLE 803.13)

DEGREE OF FIRE PROTECTION: SPRINKLERED

GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3, A-4, A-5	B	B	C
B, E, M, R-1	B	C	C
R-2	C	C	C
R-2.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS
CLASS A:
- FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450

CLASS B:
- FLAME SPREAD INDEX = 26-75
- SMOKE DEVELOPED INDEX = 0-450

CLASS C:
- FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450

ADDITIONAL NOTES

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GENERAL NOTES

NO.	REVISION	DATE
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DATE 11/08/2022
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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES SHEET 1 (JANUARY 2020, INCLUDES JULY 2021 SUPPLEMENT)

CHAPTER 1 - ADMINISTRATION

SECTION 101 GENERAL

101.1 TITLE.
THESE REGULATIONS SHALL BE KNOWN AS THE CALIFORNIA GREEN BUILDING STANDARDS CODE AND MAY BE CITED AS SUCH AND WILL BE REFERRED TO HEREIN AS "THIS CODE." IT IS INTENDED THAT IT SHALL ALSO BE KNOWN AS THE CALGREEN CODE. THE CALIFORNIA GREEN BUILDING STANDARDS CODE IS PART 11 OF THIRTEEN PARTS OF THE OFFICIAL COMPILATION AND PUBLICATION OF THE ADOPTION, AMENDMENT AND REPEAL OF BUILDING REGULATIONS TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, ALSO REFERRED TO AS THE CALIFORNIA BUILDING STANDARDS CODE.

101.2 PURPOSE.
THE PURPOSE OF THIS CODE IS TO IMPROVE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE BY ENHANCING THE DESIGN AND CONSTRUCTION OF BUILDINGS THROUGH THE USE OF BUILDING CONCEPTS HAVING A REDUCED NEGATIVE IMPACT OR POSITIVE ENVIRONMENTAL IMPACT AND ENCOURAGING SUSTAINABLE CONSTRUCTION PRACTICES IN THE FOLLOWING CATEGORIES:
1. PLANNING AND DESIGN.
2. ENERGY EFFICIENCY.
3. WATER EFFICIENCY AND CONSERVATION.
4. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY.
5. ENVIRONMENTAL QUALITY.

101.3 SCOPE.
THE PROVISIONS OF THIS CODE SHALL APPLY TO THE PLANNING, DESIGN, OPERATION, CONSTRUCTION, USE AND OCCUPANCY OF EVERY NEWLY CONSTRUCTED BUILDING OR STRUCTURE, UNLESS OTHERWISE INDICATED IN THIS CODE, THROUGHOUT THE STATE OF CALIFORNIA.

IT IS NOT THE INTENT THAT THIS CODE SUBSTITUTE OR BE IDENTIFIED AS MEETING THE CERTIFICATION REQUIREMENTS OF ANY GREEN BUILDING PROGRAM.

SECTION 102 CONSTRUCTION DOCUMENTS AND INSTALLATION VERIFICATION

102.1 SUBMITTAL DOCUMENTS.
CONSTRUCTION DOCUMENTS AND OTHER DATA SHALL BE SUBMITTED IN ONE OR MORE SETS WITH EACH APPLICATION FOR A PERMIT. WHERE SPECIAL CONDITIONS EXIST, THE ENFORCING AGENCY IS AUTHORIZED TO REQUIRE ADDITIONAL CONSTRUCTION DOCUMENTS TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL AND MAY BE SUBMITTED SEPARATELY.

EXCEPTION: THE ENFORCING AGENCY IS AUTHORIZED TO WAIVE THE SUBMISSION OF CONSTRUCTION DOCUMENTS AND OTHER DATA NOT REQUIRED TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL.

102.2 INFORMATION ON CONSTRUCTION DOCUMENTS.
CONSTRUCTION DOCUMENTS SHALL BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURE AND SHOW THAT IT WILL CONFORM TO THE PROVISIONS OF THIS CODE, THE CALIFORNIA BUILDING STANDARDS CODE AND OTHER RELEVANT LAWS, ORDINANCES, RULES AND REGULATIONS AS DETERMINED BY THE ENFORCING AGENCY.

102.3 VERIFICATION.
DOCUMENTATION OF CONFORMANCE FOR APPLICABLE GREEN BUILDING MEASURES SHALL BE PROVIDED TO THE ENFORCING AGENCY, ALTERNATE METHODS OF DOCUMENTATION SHALL BE ACCEPTABLE WHEN THE ENFORCING AGENCY FINDS THAT THE PROPOSED ALTERNATE DOCUMENTATION IS SATISFACTORY TO DEMONSTRATE SUBSTANTIAL CONFORMANCE WITH THE INTENT OF THE PROPOSED GREEN BUILDING MEASURE.

CHAPTER 3 - GREEN BUILDING

SECTION 301 GENERAL

301.1 SCOPE.
BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY AND COUNTY AS SPECIFIED IN SECTION 101.7.

301.1.1 ADDITIONS AND ALTERATIONS. [HCD] THE MANDATORY PROVISIONS OF CHAPTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

NOTE: ON AND AFTER JANUARY 1, 2014, RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS [HCD]. THE PROVISIONS OF INDIVIDUAL SECTIONS OF CALGREEN MAY APPLY TO EITHER LOW-RISE RESIDENTIAL BUILDINGS, HIGH-RISE RESIDENTIAL BUILDINGS, OR BOTH. INDIVIDUAL SECTIONS WILL BE DESIGNATED BY BANNERS TO INDICATE WHERE THE SECTION APPLIES SPECIFICALLY TO LOW-RISE ONLY (LR) OR HIGH-RISE ONLY (HR). WHEN THE SECTION APPLIES TO BOTH LOW-RISE AND HIGH-RISE BUILDINGS, NO BANNER WILL BE USED.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS.
IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

CHAPTER 4 - RESIDENTIAL MANDATORY MEASURES

DIVISION 4.1 PLANNING AND DESIGN

4.106 SITE DEVELOPMENT

4.106.1 GENERAL.
PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION
PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.
1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.

4.106.3 GRADING AND PAVING
CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
1. SWALES
2. WATER COLLECTION AND DISPOSAL SYSTEMS
3. FRENCH DRAINS
4. WATER RETENTION GARDENS
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

EXCEPTIONS: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION
NEW CONSTRUCTION SHALL COMPLY WITH SECTION 4.106.4.1, 4.106.4.2, OR 4.106.4.3, TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE *CALIFORNIA ELECTRICAL CODE*, ARTICLE 625.

EXCEPTIONS: ON A CASE-BY-CASE BASIS, WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE BASED UPON ONE OR MORE OF THE FOLLOWING CONDITIONS:
1. WHERE THERE IS NO COMMERCIAL POWER SUPPLY.
2. WHERE THERE IS EVIDENCE SUBSTANTIATING THAT MEETING THE REQUIREMENTS WILL ALTER THE LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS ON THE UTILITY SIDE OF THE METER SO AS TO INCREASE THE UTILITY SIDE COST TO THE HOMEOWNER OR THE DEVELOPER BY MORE THAN $400.00 PER DWELLING UNIT.

4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES
FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMTER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE 208/240-VOLT MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTION DEVICE.

EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240-VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER AT THE TIME OF ORIGINAL CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE

4.106.4.1.1 IDENTIFICATION
THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

4.106.4.2 NEW MULTIFAMILY DWELLINGS.
IF RESIDENTIAL PARKING IS AVAILABLE, TEN (10) PERCENT OF THE TOTAL NUMBER OF PARKING SPACES ON A BUILDING SITE, PROVIDED FOR ALL TYPES OF PARKING FACILITIES, SHALL BE ELECTRIC VEHICLE CHARGING SPACES (EV CHARGING SPACES) CAPABLE OF SUPPORTING FUTURE EVSE. CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

NOTES:
1. CONSTRUCTION DOCUMENTS ARE INTENDED TO DEMONSTRATE THE PROJECT'S CAPABILITY AND CAPACITY FOR FACILITATING FUTURE EV CHARGING.
2. THERE IS NO REQUIREMENT FOR EV SPACES TO BE CONSTRUCTED OR AVAILABLE UNTIL EV CHARGERS ARE INSTALLED FOR USE.
3. A PARKING SPACE SERVED BY ELECTRIC VEHICLE SUPPLY EQUIPMENT OR DESIGNED AS A FUTURE EV CHARGING SPACE SHALL COUNT AS AT LEAST ONE STANDARD AUTOMOBILE PARKING SPACE FOR THE PURPOSE OF COMPLYING WITH ANY APPLICABLE MINIMUM PARKING SPACE REQUIREMENTS ESTABLISHED BY A LOCAL JURISDICTION. SEE VEHICLE CODE SECTION 22511.2 FOR FURTHER DETAILS

4.106.4.2.1 ELECTRIC VEHICLE CHARGING SPACE (EV SPACE) LOCATIONS. CONSTRUCTION DOCUMENTS SHALL INDICATE THE LOCATION OF PROPOSED EV SPACES. AT LEAST ONE EV SPACE SHALL BE LOCATED IN COMMON USE AREAS AND AVAILABLE FOR USE BY ALL RESIDENTS.

WHEN EV CHARGERS ARE INSTALLED, EV SPACES REQUIRED BY SECTION 4.106.2.2, ITEM 3, SHALL COMPLY WITH AT LEAST ONE OF THE FOLLOWING OPTIONS:
1. THE EV SPACE SHALL BE LOCATED ADJACENT TO AN ACCESSIBLE PARKING SPACE MEETING THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, CHAPTER 11A, TO ALLOW USE OF THE EV CHARGER FROM THE ACCESSIBLE PARKING SPACE.
2. THE EV SPACE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE, AS DEFINED IN THE CALIFORNIA BUILDING CODE, CHAPTER 2, TO THE BUILDING.

4.106.4.2.2 ELECTRIC VEHICLE CHARGING SPACE (EV SPACE) DIMENSIONS. THE EV SPACES SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. THE MINIMUM LENGTH OF EACH EV SPACE SHALL BE 18 FEET.
2. THE MINIMUM WIDTH OF EACH EV SPACE SHALL BE 9 FEET.
3. ONE IN EVERY 25 EV SPACES, BUT NOT LESS THAN ONE, SHALL ALSO HAVE AN 8-FOOT WIDE MINIMUM AISLE. A 5-FOOT WIDE MINIMUM AISLE SHALL BE PERMITTED PROVIDED THE MINIMUM WIDTH OF THE EV SPACE IS 12 FEET.
   A. SURFACE SLOPE FOR THIS EV SPACE AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2.083 PERCENT SLOPE) IN ANY DIRECTION.

4.106.4.2.3 SINGLE EV SPACE REQUIRED.
INSTALL A LISTED RACEWAY CAPABLE OF ACCOMMODATING A 208/240-VOLT DEDICATED BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV SPACES. CONSTRUCTION DOCUMENTS SHALL IDENTIFY THE RACEWAY TERMINATION POINT. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240 VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER, AT THE TIME OF ORIGINAL CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

4.106.4.2.4 MULTIPLE EV SPACES REQUIRED.
CONSTRUCTION DOCUMENTS SHALL INDICATE THE RACEWAY TERMINATION POINT AND PROPOSED LOCATION OF FUTURE EV SPACES AND EV CHARGERS. CONSTRUCTION DOCUMENTS SHALL ALSO PROVIDE INFORMATION ON AMPERAGE OF FUTURE EVSE, RACEWAY METHOD(S), WIRING SCHEMATICS AND ELECTRICAL LOAD CALCULATIONS TO VERIFY THAT THE ELECTRICAL PANEL SERVICE CAPACITY AND ELECTRICAL SYSTEM, INCLUDING ANY ON-SITE DISTRIBUTION TRANSFORMER(S), HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL EVS AT ALL REQUIRED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. RACEWAYS AND RELATED COMPONENTS THAT ARE PLANNED TO BE INSTALLED UNDERGROUND, ENCLOSED, INACCESSIBLE OR IN CONCEALED AREAS AND SPACES SHALL BE INSTALLED AT THE TIME OF ORIGINAL CONSTRUCTION.

EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40-AMPERE 208/240 VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER, AT THE TIME OF ORIGINAL CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

4.106.4.2.5 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

NOTES:
1. THE CALIFORNIA DEPARTMENT OF TRANSPORTATION ADOPTS AND PUBLISHES THE "CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD)" TO PROVIDE UNIFORM STANDARDS AND SPECIFICATIONS FOR ALL OFFICIAL TRAFFIC CONTROL DEVICES IN CALIFORNIA. ZERO EMISSION VEHICLE SIGNS AND PAVEMENT MARKINGS CAN BE FOUND IN THE NEW POLICIES & DIRECTIVES NUMBER 13-01. WEBSITE: *HTTP://WWW.DOT.CA.GOV/TRAFFICOPS/POLICY/13-01.PDF*
2. SEE VEHICLE CODE SECTION 22511 FOR EV CHARGING SPACE SIGNAGE IN OFF-STREET PARKING FACILITIES AND FOR USE OF EV CHARGING SPACES.
3. THE GOVERNOR'S OFFICE OF PLANNING AND RESEARCH (OPR) PUBLISHED A "ZERO-EMISSION VEHICLE COMMUNITY READINESS GUIDEBOOK" WHICH PROVIDES HELPFUL INFORMATION FOR LOCAL GOVERNMENTS, RESIDENTS AND BUSINESSES. WEBSITE: *HTTP://OPR.CA.GOV/DOCS/ZEV_GUIDEBOOK.PDF.*

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE.
FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY STANDARDS.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

4.303.1.1 WATER CLOSETS
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK TYPE TOILET.
NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

4.303.1.2 URINALS
THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. THE EFFECTIVE FLUSH VOLUME OF ALL OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

4.303.1.3 SHOWERHEADS
4.303.1.3.1 SINGLE SHOWERHEAD
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80M PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

4.303.1.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

4.303.1.4 FAUCETS
4.303.1.4.1 RESIDENTIAL LAVATORY FAUCETS
THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS
THE MAXIMUM FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.

4.303.1.4.3 METERING FAUCETS
METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.

4.303.1.4.4 KITCHEN FAUCETS
THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

4.303.1.4.5 PRE-RINSE SPRAY VALVES
WHEN INSTALLED, SHALL MEET THE REQUIREMENTS IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTIONS 1605.1(H)(4) TABLE H-2, SECTION 1605.3(H)(4)(A), AND SECTION 1607(D)(7), AND SHALL BE EQUIPPED WITH AN INTEGRAL AUTOMATIC SHUTOFF.

4.303.2 SUBMETERS FOR MULTIFAMILY BUILDINGS AND DWELLING UNITS IN MIXED-USE RESIDENTIAL/COMMERCIAL BUILDINGS
SUBMETERS SHALL BE INSTALLED TO MEASURE WATER USAGE OF INDIVIDUAL RENTAL DWELLING UNITS IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE

4.303.3 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS
PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1 AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS
AFTER DECMEBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:
1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) WHICHEVER IS MORE STRINGENT; OR
2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.

NOTES:
1. THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) AND SUPPORTING DOCUMENTS ARE AVAILABLE AT: HTTP://WWW.WATER.CA.GOV/WATERUSEEFFICIENCY/LANDSCAPEORDINANCE/
2. A WATER BUDGETY CALCULATOR IS AVAILABLE AT: *HTTP://WWW.WATER.CA.GOV/WATERUSEEFFICIENCY/LANDSCAPEORDINANCE/*

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY LCOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3, OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:
1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
3. THE ENFORCING AGENCY MAY MAKE ACCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN
SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN COMFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

4.408.3 WASTE MANAGEMENT COMPANY.
UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH SECTION 4.408.1.

NOTE: THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].
PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65 PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.
PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65-PERCENT CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

4.408.5 DOCUMENTATION
DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THOUGH 5, SECTION 4.408.3 OR SECTION 4.408.4

NOTES:
1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW.HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.
2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL
AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
   a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
   b. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
   c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
   d. LANDSCAPE IRRIGATION SYSTEMS.
   e. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
11. INFORMATION FROM CAL FIRE ON MAINTENANCE OF DEFENSIBLE SPACE AROUND RESIDENTIAL STRUCTURES

4.410.2 RECYCLING BY OCCUPANTS.
WHERE 5 OR MORE MULTIFAMILY DWELLING UNITS ARE CONSTRUCTED ON A BUILDING SITE, PROVIDE READILY ACCESSIBLE AREA(S) THAT SERVES ALL BUILDINGS ON THE SITE AND IS IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS, OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

EXCEPTION:
RURAL JURISDICTIONS THAT MEET AND APPLY FOR THE EXEMPTION IN PUBLIC RESOURCES CODE SECTION 42649.82 (A)(2)(A) ET SEQ. ARE NOT REQUIRED TO COMPLY WITH THE ORGANIC WASTE PORTION OF THIS SECTION.

MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
CAL GREEN RESIDENTIAL REQUIREMENTS

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-201

INITIAL B&S SUBMITTAL

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES SHEET 2 (JANUARY 2020, INCLUDES JULY 2021 SUPPLEMENT)

DIVISION 4.5 ENVIROMENTAL QUALITY

4.501 GENERAL

4.501.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.

4.503 FIREPLACES

4.503.1 GENERAL
ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION
AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL
FINISH MATERIALS SHALL COMPLY WITH THIS SECTION.

4.504.2.1 ADHESIVES, SEALANTS AND CAULKS
ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

4.504.2.2 PAINTS AND COATINGS
ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

4.504.2.3 AEROSOL PAINTS AND COATINGS
AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(e)(1) AND (f)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94522, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

4.504.2.4 VERIFICATION
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
1. MANUFACTURER'S PRODUCT SPECIFICATION.
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

4.504.3 CARPET SYSTEMS
ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CDPHP/IEQ/CDCHL/LB&QA/PAGES/VOC.ASPX

4.504.3.1 CARPET CUSHION
ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CDPHP/IEQ/CDCHL/LB&QA/PAGES/VOC.ASPX

4.504.3.2 CARPET ADHESIVE
ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS
WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350). SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CDPHP/IEQ/CDCHL/LB&QA/PAGES/VOC.ASPX

4.504.5 COMPOSITE WOOD PRODUCTS
HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR §93120 ET SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.

4.504.5.1 DOCUMENTATION
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
1. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
2. CHAIN OF CUSTODY CERTIFICATIONS.
3. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269, EUROPEAN 636 S3, AND CANADIAN CSA 0121, CSA 0151, CSA 0153 AND CSA 0325 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

TABLE 4.504.1 - ADHESIVE VOC LIMIT
(LBS/GALLON EXCLUDING WATER AND EXCLUDING EXEMPT COMPOUNDS) (EFFECTIVE JANUARY 1, 2019)

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOORING ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT AND ASPHALT TILE ADHESIVES	50
DRYWALL AND PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	**CURRENT VOC LIMIT**
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVES	250
SUBSTRATE SPECIFIC APPLICATIONS	**CURRENT VOC LIMIT**
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LIMIT
(LBS/GALLON EXCLUDING WATER AND EXCLUDING EXEMPT COMPOUNDS) (EFFECTIVE JANUARY 1, 2019)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	**CURRENT VOC LIMIT**
ARCHITECTURAL	
NONPOROUS	250
POROUS	250
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[1, 2]
GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER AND EXCLUDING EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	**CURRENT VOC LIMIT**
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FOUNDATION SEALER COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[1]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER AND INCLUDING EXEMPT COMPOUNDS.
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEBUARY 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

TABLE 4.504.5 - FORMALDEHYDE LIMITS[1]
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION (PPM)

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCH (8MM).

DIVISION 4.5 ENVIORNMENTAL QUALITY CONTINUED

4.505 INTERIOR MOISTURE CONTROL

4.505.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.

4.505.2 CONCRETE SLAB FOUNDATIONS
CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA BUILDING CODE CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK
A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:
1. A 4-INCH-THICK (101.6 MM) BASE OF 1/2 INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF A BUILDING
BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19-PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE TO BE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

4.506 INDOOR AIR QUALITY AND EXHAUST

4.506.1 BATHROOM EXHAUST FANS
EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
   a. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
   b. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN).

NOTES:
1. FOR THE PURPOSES OF THIS SECTION, A BATHROOM IS A ROOM WHICH CONTAINS A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION.
2. LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE.

4.507 ENVIROMENTAL COMFORT

4.507.1 RESERVED

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN
HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J—2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.

CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING
HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UN-CERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
1. STATE CERTIFIED APPRENTICESHIP PROGRAMS.
2. PUBLIC UTILITY TRAINING PROGRAMS.
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTION (HCD)
WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:
1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTES:
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

(SCI) WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION, THE SPECIAL INSPECTOR SHALL HAVE A CERTIFICATION FROM A RECOGNIZED STATE, NATIONAL OR INTERNATIONAL ASSOCIATION, AS DETERMINED BY THE LOCAL AGENCY. THE AREA OF CERTIFICATION SHALL BE CLOSELY RELATED TO THE PRIMARY JOB FUNCTION, AS DETERMINED BY THE LOCAL AGENCY.

NOTE:
SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

703 VERIFICATIONS

703.1 DOCUMENTATION.
DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST.

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DRAWN BY | CHECKED BY
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PROJECT NUMBER 1853-05
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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (JANUARY 2020, INCLUDES JULY 2021 SUPPLEMENT)

CHAPTER 1 - ADMINISTRATION

SECTION 101 GENERAL

101.1 TITLE.
THESE REGULATIONS SHALL BE KNOWN AS THE *CALIFORNIA GREEN BUILDING STANDARDS CODE* AND MAY BE CITED AS SUCH AND WILL BE REFERRED TO HEREIN AS "THIS CODE." IT IS INTENDED THAT IT SHALL ALSO BE KNOWN AS THE *CALGREEN CODE*. THE *CALIFORNIA GREEN BUILDING STANDARDS CODE* IS PART 11 OF THIRTEEN PARTS OF THE OFFICIAL COMPILATION AND PUBLICATION OF THE ADOPTION, AMENDMENT AND REPEAL OF BUILDING REGULATIONS TO THE *CALIFORNIA CODE OF REGULATIONS, TITLE 24*, ALSO REFERRED TO AS THE *CALIFORNIA BUILDING STANDARDS CODE*.

101.2 PURPOSE.
THE PURPOSE OF THIS CODE IS TO IMPROVE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE BY ENHANCING THE DESIGN AND CONSTRUCTION OF BUILDINGS THROUGH THE USE OF BUILDING CONCEPTS HAVING A REDUCED NEGATIVE IMPACT OR POSITIVE ENVIRONMENTAL IMPACT AND ENCOURAGING SUSTAINABLE CONSTRUCTION PRACTICES IN THE FOLLOWING CATEGORIES:
1. PLANNING AND DESIGN.
2. ENERGY EFFICIENCY.
3. WATER EFFICIENCY AND CONSERVATION.
4. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY.
5. ENVIRONMENTAL QUALITY.

101.3 SCOPE.
THE PROVISIONS OF THIS CODE SHALL APPLY TO THE PLANNING, DESIGN, OPERATION, CONSTRUCTION, USE AND OCCUPANCY OF EVERY NEWLY CONSTRUCTED BUILDING OR STRUCTURE, UNLESS OTHERWISE INDICATED IN THIS CODE, THROUGHOUT THE STATE OF CALIFORNIA.

IT IS NOT THE INTENT THAT THIS CODE SUBSTITUTE OR BE IDENTIFIED AS MEETING THE CERTIFICATION REQUIREMENTS OF ANY GREEN BUILDING PROGRAM.

SECTION 102 CONSTRUCTION DOCUMENTS AND INSTALLATION VERIFICATION

102.1 SUBMITTAL DOCUMENTS.
CONSTRUCTION DOCUMENTS AND OTHER DATA SHALL BE SUBMITTED IN ONE OR MORE SETS WITH EACH APPLICATION FOR A PERMIT. WHERE SPECIAL CONDITIONS EXIST, THE ENFORCING AGENCY IS AUTHORIZED TO REQUIRE ADDITIONAL CONSTRUCTION DOCUMENTS TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL AND MAY BE SUBMITTED SEPARATELY.

EXCEPTION: THE ENFORCING AGENCY IS AUTHORIZED TO WAIVE THE SUBMISSION OF CONSTRUCTION DOCUMENTS AND OTHER DATA NOT REQUIRED TO BE PREPARED BY A LICENSED DESIGN PROFESSIONAL.

102.2 INFORMATION ON CONSTRUCTION DOCUMENTS.
CONSTRUCTION DOCUMENTS SHALL BE OF SUFFICIENT CLARITY TO INDICATE THE LOCATION, NATURE AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURE AND SHOW THAT IT WILL CONFORM TO THE PROVISIONS OF THIS CODE, THE *CALIFORNIA BUILDING STANDARDS CODE* AND OTHER RELEVANT LAWS, ORDINANCES, RULES AND REGULATIONS AS DETERMINED BY THE ENFORCING AGENCY.

102.3 VERIFICATION.
DOCUMENTATION OF CONFORMANCE FOR APPLICABLE GREEN BUILDING MEASURES SHALL BE PROVIDED TO THE ENFORCING AGENCY. ALTERNATE METHODS OF DOCUMENTATION SHALL BE ACCEPTABLE WHEN THE ENFORCING AGENCY FINDS THAT THE PROPOSED ALTERNATE DOCUMENTATION IS SATISFACTORY TO DEMONSTRATE SUBSTANTIAL CONFORMANCE WITH THE INTENT OF THE PROPOSED GREEN BUILDING MEASURE.

CHAPTER 3 - GREEN BUILDING

SECTION 301 GENERAL

301.1 SCOPE.
BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADOPTED BY A CITY, COUNTY, OR CITY AND COUNTY AS SPECIFIED IN *SECTION 101.7*.

301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS [BSC-CG] THE PROVISIONS OF INDIVIDUAL SECTIONS OF *CHAPTER 5* APPLY TO NEWLY CONSTRUCTED BUILDINGS, BUILDING ADDITIONS OF 1,000 SQUARE FEET OR GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF $200,000 OR ABOVE (FOR OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION). CODE SECTIONS RELEVANT TO ADDITIONS AND ALTERATIONS SHALL ONLY APPLY TO THE PORTIONS OF THE BUILDING BEING ADDED OR ALTERED WITHIN THE SCOPE OF THE PERMITTED WORK.

A CODE SECTION WILL BE DESIGNATED BY A BANNER TO INDICATE WHERE THE CODE SECTION ONLY APPLIES TO NEWLY CONSTRUCTED BUILDINGS [N] OR TO ADDITIONS AND/OR ALTERATIONS [A]. WHEN THE CODE SECTION APPLIES TO BOTH, NO BANNER WILL BE USED.

301.3.1 NONRESIDENTIAL ADDITIONS AND ALTERATIONS THAT CAUSE UPDATES TO PLUMBING FIXTURES ONLY:

NOTE: ON AND AFTER JANUARY 1, 2014, CERTAIN COMMERCIAL REAL PROPERTY, AS DEFINED IN *CIVIL CODE SECTION 1101.3*, SHALL HAVE ITS NONCOMPLIANT PLUMBING FIXTURES REPLACED WITH APPROPRIATE WATER-CONSERVING PLUMBING FIXTURES UNDER SPECIFIC CIRCUMSTANCES. SEE *CIVIL CODE SECTION 1101.1 ET SEQ.* FOR DEFINITIONS, TYPES OF COMMERCIAL REAL PROPERTY AFFECTED, EFFECTIVE DATES, CIRCUMSTANCES NECESSITATING REPLACEMENT OF NONCOMPLIANT PLUMBING FIXTURES, AND DUTIES AND RESPONSIBILITIES FOR ENSURING COMPLIANCE.

301.3.2 WASTE DIVERSION

THE REQUIREMENTS OF *SECTION 5.408* SHALL BE REQUIRED FOR ADDITIONS AND ALTERATIONS WHENEVER A PERMIT IS REQUIRED FOR WORK.

301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES (SEE GBSC)

301.5 HEALTH FACILITIES (SEE GBSC)

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS.
IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.

SECTION 303 PHASED PROJECTS

303.1 PHASED PROJECTS.
FOR SHELL BUILDINGS AND OTHERS CONSTRUCTED FOR FUTURE TENANT IMPROVEMENTS, ONLY THOSE CODE MEASURES RELEVANT TO THE BUILDING COMPONENTS AND SYSTEMS CONSIDERED TO BE NEW CONSTRUCTION (OR NEWLY CONSTRUCTED) SHALL APPLY.

303.1.1 INITIAL TENANT IMPROVEMENTS
THE PROVISIONS OF THIS CODE SHALL APPLY ONNLY TO THE INITIAL TENANT IMPROVEMENTS TO A PROJECT. SUBSEQUENT TENANT IMPROVEMENTS SHALL COMPLY WITH THE SCOPING PROVISIONS IN *SECTION 301.3* NON-RESIDENTIAL ADDITIONS AND ALTERATIONS.

CHAPTER 5 - NONRESIDENTIAL MANDATORY MEASURES

DIVISION 5.1 PLANNING AND DESIGN

5.106 SITE DEVELOPMENT

5.106.1 STORMWATER POLLUTION FOR PROJECTS THAT DISTURB LESS THAN ONE ACRE OF LAND
NEWLY CONSTRUCTED PROJECTS AND ADDITIONS WHICH DISTURB LESS THAN ONE ACRE OF LAND AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE SHALL PREVENT THE POLLUTION OF STORMWATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES THROUGH ONE OR MORE OF THE FOLLOWING MEASURES:

5.106.1.1 LOCAL ORDINANCE
COMPLY WITH A LAWFULLY ENACTED STORMWATER MANAGEMENT AND/OR EROSION CONTROL ORDINANCE.

5.106.1.2 BEST MANAGEMENT PRACTICES (BMP'S)
PREVENT THE LOSS OF SOIL THROUGH WIND OR WATER EROSION BY IMPLEMENTING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL AND GOOD HOUSEKEEPING BMPS.

1. SOIL LOSS BMPS THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
   a. SCHEDULING CONSTRUCTION ACTIVITY DURING DRY WEATHER, WHEN POSSIBLE.
   b. PRESERVATION OF NATURAL FEATURES, VEGETATION, SOIL, AND BUFFERS AROUND SURFACE WATERS.
   c. DRAINAGE SWALES OR LINED DITCHES TO CONTROL STORMWATER FLOW.
   d. MULCHING OR HYDROSEEDING TO STABILIZE DISTURBED SOILS.
   e. EROSION CONTROL TO PROTECT SLOPES.
   f. PROTECTION OF STORM DRAIN INLETS (GRAVEL BAGS OR CATCH BASIN INSERTS).
   g. PERIMETER SEDIMENT CONTROL (PERIMETER SILT FENCE, FIBER ROLLS).
   h. SEDIMENT TRAP OR SEDIMENT BASIN TO RETAIN SEDIMENT ON SITE.
   i. STABILIZED CONSTRUCTION EXITS.
   j. WIND EROSION CONTROL.
   k. OTHER SOIL LOSS BMP'S ACCEPTABLE TO THE ENFORCING AGENCY.
2. GOOD HOUSEKEEPING BMP'S TO MANAGE CONSTRUCTION EQUIPMEN MATERIALS, NON-STORMWATER DISCHARGES, AND WASTES THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
   a. DEWATERING ACTIVITIES.
   b. MATERIAL HANDLING AND WASTE MANAGEMENT.
   c. BUILDING MATERIALS STOCKPILE MANAGEMENT.
   d. MANAGEMENT OF WASHOUT AREAS (CONCRETE, PAINTS, STUCCO, ETC.).
   e. CONTROL OF VEHICLE/EQUIPMENT FUELING TO CONTRACTOR'S STAGING AREA.
   f. VEHICLE AND EQUIPMENT CLEANING PERFORMED OFF SITE.
   g. SPILL PREVENTION AND CONTROL.
   h. OTHER HOUSEKEEPING BMP'S ACCEPTABLE TO THE ENFORCING AGENCY.

5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURB ONE OR MORE ACRES OF LAND
COMPLY WITH ALL LAWFULLY ENACTED STORMWATER DISCHARGE REGULATIONS FOR PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE.

NOTE: PROJECTS THAT (1) DISTURB ONE ACRE OR MORE OF LAND, OR (2) DISTURB LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE MUST COMPLY WITH THE POSTCONSTRUCTION REQUIREMENTS DETAILED IN THE APPLICABLE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES ISSUED BY THE STATE WATER RESOURCES CONTROL BOARD OR THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD (FOR PROJECTS IN THE LAKE TAHOE HYDROLOGIC UNIT).

THE NPDES PERMITS REQUIRE POSTCONSTRUCTION RUNOFF (POSTPROJECT HYDROLOGY) TO MATCH THE PRECONSTRUCTION RUNOFF (PRE-PROJECT HYDROLOGY) WITH THE INSTALLATION OF POSTCONSTRUCTION STORMWATER MANAGEMENT MEASURES. THE NPDES PERMITS EMPHASIZE RUNOFF REDUCTION THROUGH ON-SITE STORMWATER USE, INTERCEPTION, EVAPOTRANSPIRATION, AND INFILTRATION THROUGH NONSTRUCTURAL CONTROLS, SUCH AS LOW IMPACT DEVELOPMENT (LID) PRACTICES, AND CONSERVATION DESIGN MEASURES. STORMWATER VOLUME THAT CANNOT BE ADDRESSED USING NONSTRUCTURAL PRACTICES IS REQUIRED TO BE CAPTURED IN STRUCTURAL PRACTICES AND BE APPROVED BY THE ENFORCING AGENCY.

REFER TO THE CURRENT APPLICABLE PERMITS ON THE STATE WATER RESOURCES CONTROL BOARD WEBSITE AT: *WWW.WATERBOARDS.CA.GOV/CONSTRUCTIONSTORMWATER*. CONSIDERATION TO THE STORMWATER RUNOFF MANAGEMENT MEASURES SHOULD BE GIVEN DURING THE INITIAL DESIGN PROCESS FOR APPROPRIATE INTEGRATION INTO SITE DEVELOPMENT.

5.106.4 BICYCLE PARKING
FOR BUILDINGS WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN *SECTION 103*, COMPLY WITH *SECTION 5.106.4.1*. FOR BUILDINGS WITHIN THE AUTHORITY OF THE DIVISION OF THE STATE ARCHITECT PURSUANT TO *SECTION 105*, COMPLY WITH *SECTION 5.106.4.2*.

5.106.4.1 BICYCLE PARKING [BSC-CG]
COMPLY WITH *SECTIONS 5.106.4.1.1* AND *5.106.4.1.2*; OR MEET THE APPLICABLE LOCAL ORDINANCE, WHICHEVER IS STRICTER.

5.106.4.1.1 SHORT-TERM BICYCLE PARKING
IF THE NEW PROJECT OR AN ADDITION OR ALTERATION IS ANTICIPATED TO GENERATE VISITOR TRAFFIC, PROVIDE PERMANENTLY ANCHORED BICYCLE RACKS WITHIN 200 FEET OF THE VISITORS' ENTRANCE, READILY VISIBLE TO PASSERS-BY, FOR 5 PERCENT OF NEW VISITOR MOTORIZED VEHICLE PARKING SPACES BEING ADDED, WITH A MINIMUM OF ONE TWO-BIKE CAPACITY RACK.

EXCEPTION: ADDITIONS OR ALTERATIONS WHICH ADD NINE OR LESS VISITOR VEHICULAR PARKING SPACES.

5.106.4.1.2 LONG-TERM BICYCLE PARKING
FOR NEW BUILDINGS WITH TENANT SPACES THAT HAVE 10 OR MORE TENANT-OCCUPANTS, PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE TENANT-OCCUPANT VEHICULAR PARKING SPACES WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY.

5.106.4.1.3
FOR ADDITIONS OR ALTERATIONS THAT ADD 10 OR MORE TENANT-OCCUPANT VEHICULAR PARKING SPACES, PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE TENANT VEHICULAR PARKING SPACES BEING ADDED, WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY.

5.106.4.1.4
FOR NEW SHELL BUILDINGS IN PHASED PROJECTS PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE ANTICIPATED TENANT-OCCUPANT VEHICULAR PARKING SPACES WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY.

5.106.4.1.5
ACCEPTABLE BICYCLE PARKING FACILITY FOR *SECTIONS 5.106.4.1.2, 5.106.4.1.3*, AND *5.106.4.1.4* SHALL BE CONVENIENT FROM THE STREET AND SHALL MEET ONE OF THE FOLLOWING:

1. COVERED, LOCKABLE ENCLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES;
2. LOCKABLE BICYCLE ROOMS WITH PERMANENTLY ANCHORED RACKS; OR
3. LOCKABLE, PERMANENTLY ANCHORED BICYCLE LOCKERS.

NOTE: ADDITIONAL INFORMATION ON RECOMMENDED BICYCLE ACCOMMODATIONS MAY BE OBTAINED FROM SACRAMENTO AREA BICYCLE ADVOCATES.

5.106.4.2 BICYCLE PARKING [DSA]
FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, COMPLY WITH *SECTIONS 5.106.4.2.1* AND *5.106.4.2.2*.

5.106.4.2.1 STUDENT BICYCLE PARKING
PROVIDE PERMANENTLY ANCHORED BICYCLE RACKS CONVENIENTLY ACCESSED WITH A MINIMUM OF FOUR TWO-BIKE CAPACITY RACKS PER NEW BUILDING.

5.106.4.2.2 STAFF BICYCLE PARKING
PROVIDE PERMANENT, SECURE BICYCLE PARKING CONVENIENTLY ACCESSED WITH A MINIMUM OF TWO STAFF BICYCLE PARKING SPACES PER NEW BUILDING. ACCEPTABLE BICYCLE PARKING FACILITIES SHALL BE CONVENIENT FROM THE STREET OR STAFF PARKING AREA AND SHALL MEET ONE OF THE FOLLOWING:

1. COVERED, LOCKABLE ENCLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES;
2. LOCKABLE BICYCLE ROOMS WITH PERMANENTLY ANCHORED RACKS; OR
3. LOCKABLE, PERMANENTLY ANCHORED BICYCLE LOCKERS.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES
IN NEW PROJECTS OR ADDITIONS OR ALTERATIONS THAT ADD 10 OR MORE VEHICULAR PARKING SPACES, PROVIDE DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN POOL VEHICLES AS FOLLOWS:

TABLE 5.106.5.2

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0-9	0
10-25	3
26-50	6
51-75	9
76-100	12
101-150	18
151-200	21
201 AND OVER	AT LEAST 12% OF TOTAL*

*CALCULATION FOR SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER

NOTE: DESIGNATED PARKING FOR CLEAN AIR VEHICLES SHALL COUNT TOWARD THE TOTAL PARKING SPACES REQUIRED BY THE LOCAL ENFORCING AGENCIES

5.106.5.2.1 PARKING STALL MARKING
PAINT, IN THE PAINT USED FOR STALL STRIPING, THE FOLLOWING CHARACTERS SUCH THAT THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF THE STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE: CLEAN AIR/ VANPOOL/EV

NOTE: VEHICLES BEARING CLEAN AIR VEHICLE STICKERS FROM EXPIRED HOV LANE PROGRAMS MAY BE CONSIDERED ELIGIBLE FOR DESIGNATED PARKING SPACES.

5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING [N]
CONSTRUCTION SHALL COMPLY WITH *SECTION 5.106.5.3.1* OR *SECTION 5.106.5.3.2* TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). WHEN EVSE(S) IS/ARE INSTALLED, IT SHALL BE IN ACCORDANCE WITH THE *CALIFORNIA BUILDING CODE*, THE *CALIFORNIA ELECTRICAL CODE* AND AS FOLLOWS:

5.106.5.3.1 SINGLE CHARGING SPACE REQUIREMENTS [N]
WHEN ONLY A SINGLE CHARGING SPACE IS REQUIRED PER *TABLE 5.106.5.3.3*, A RACEWAY IS REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE *CALIFORNIA ELECTRICAL CODE*. CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
1. THE TYPE AND LOCATION OF THE EVSE.
2. A LISTED RACEWAY CAPABLE OF ACCOMMODATING A 208/240-VOLT DEDICATED BRANCH CIRCUIT.
3. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1".
4. THE RACEWAY SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT AND INTO A LISTED SUITABLE CABINET, BOX, ENCLOSURE OR EQUIVALENT.
5. THE SERVICE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE A MINIMUM 40-AMPERE DEDICATED BRANCH CIRCUIT FOR THE FUTURE INSTALLATION OF THE EVSE.

5.106.5.3.2 MULTIPLE CHARGING SPACE REQUIREMENTS [N]
WHEN MULTIPLE CHARGING SPACES ARE REQUIRED PER *TABLE 5.106.5.3.3* RACEWAY(S) IS/ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE *CALIFORNIA ELECTRICAL CODE*. CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
1. THE TYPE AND LOCATION OF THE EVSE.
2. THE RACEWAY(S) SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL(S) SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT AND INTO LISTED SUITABLE CABINET(S), BOX(ES), ENCLOSURE(S) OR EQUIVALENT.
3. PLAN DESIGN SHALL BE BASED UPON 40-AMPERE MINIMUM BRANCH CIRCUITS.
4. ELECTRICAL CALCULATIONS SHALL SUBSTANTIATE THE DESIGN OF THE ELECTRICAL SYSTEM, TO INCLUDE THE RATING OF EQUIPMENT AND ANY ON-SITE DISTRIBUTION TRANSFORMERS
   1. AND HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL REQUIRED EVS AT ITS FULL RATED AMPERAGE.
5. THE SERVICE PANEL OR SUBPANEL(S) SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED NUMBER OF DEDICATED BRANCH CIRCUIT(S) FOR THE FUTURE INSTALLATION OF THE EVSE.

5.106.5.3.3 EV CHARGING SPACE CALCULATION [N]
TABLE 5.106.5.3.3 SHALL BE USED TO DETERMINE IF SINGLE OR MULTIPLE CHARGING SPACE REQUIREMENTS APPLY FOR THE FUTURE INSTALLATION OF EVSE.

EXCEPTIONS: ON A CASE-BY-CASE BASIS WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED EV CHARGING AND INFRASTRUCTURE IS NOT FEASIBLE BASED UPON ONE OR MORE OF THE FOLLOWING CONDITIONS:
1. WHERE THERE IS INSUFFICIENT ELECTRICAL SUPPLY.
2. WHERE THERE IS EVIDENCE SUITABLE TO THE LOCAL ENFORCING AGENCY SUBSTANTIATING THAT ADDITIONAL LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS, DIRECTLY RELATED TO THE IMPLEMENTATION OF *SECTION 5.106.5.3*, MAY ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT.

TABLE 5.106.5.3.3

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	2
26-50	4
51-75	7
76-100	9
101-150	13
151-200	18
201 AND OVER	10% OF TOTAL*

*CALCULATIONS FOR SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER

5.106.5.3.4 [N] IDENTIFICATION
THE SERVICE PANEL OR SUBPANEL(S) CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICE SPACE(S) FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE."

5.106.5.3.5 [N]
FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN *SECTION 5.106.5.2* DESIGNATED PARKING FOR CLEAN AIR VEHICLES.
NOTE: FUTURE ELECTRIC VEHICLE CHARGING SPACES SHALL COUNTY TOWARD THE TOTAL PARKING SPACES REQUIRED BY THE LOCAL ENFORCING AGENCIES.

5.106.8 LIGHT POLLUTION REDUCTION [N]
OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:
1. THE MINIMUM REQUIREMENTS IN THE *CALIFORNIA ENERGY CODE* FOR LIGHTING ZONES 0-4 AS DEFINED IN *CHAPTER 10, SECTION 10-114* OF THE *CALIFORNIA ADMINISTRATIVE CODE*; AND
2. BACKLIGHT (B) RATINGS AS DEFINED IN IES TM-15-11 (SHOWN IN *TABLE A-1 IN CHAPTER 8*);
3. UPLIGHT AND GLARE RATINGS AS DEFINED IN *CALIFORNIA ENERGY CODE* (SHOWN IN *TABLES 130.2-A* AND *130.2-B* IN *CHAPTER 8*) AND
4. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN *TABLE 5.106.8 [N]*.

OR COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO *SECTION 101.7*, WHICHEVER IS MORE STRINGENT.

EXCEPTIONS: [N]
1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN *SECTION 130.2(B) AND 140.7* OF THE *CALIFORNIA ENERGY CODE*
2. EMERGENCY LIGHTING.
3. BUILDING FACADE MEETING THE REQUIREMENTS IN *TABLE 140.7-B* OF THE *CALIFORNIA ENERGY CODE, PART 6*.
4. CUSTOM LIGHTING FEATURES AS ALLOWED BY THE LOCAL ENFORCING AGENCY, AS PERMITTED BY *SECTION 101.8* ALTERNATE MATERIALS, DESIGNS AND METHODS OF CONSTRUCTION.
5. LUMINAIRES WITH LESS THAN 6,200 INITIAL LUMINAIRE LUMENS.

NOTES: [N]
1. SEE ALSO *CALIFORNIA BUILDING CODE, CHAPTER 12, SECTION 1205.7* FOR COLLEGE CAMPUS LIGHTING REQUIREMENTS FOR PARKING FACILITIES AND WALKWAYS.
2. REFER TO *CHAPTER 8* (COMPLIANCE FORMS, WORKSHEETS AND REFERENCE MATERIAL) FOR IES TM-15-11 *TABLE A1*, *CALIFORNIA ENERGY CODE TABLES 130.2-A* AND *130.2-B*.
3. REFER TO THE *CALIFORNIA ENERGY CODE* FOR REQUIREMENTS FOR ADDITIONS AND ALTERATIONS.

TABLE 5.106.8 [N] - MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS[1,2]

ALLOWABLE RATING	LIGHTING ZONE LZ0	LIGHTING ZONE LZ1	LIGHTING ZONE LZ2	LIGHTING ZONE LZ3	LIGHTING ZONE LZ4
MAXIMUM ALLOWABLE BACKLIGHT RATING[3] (B)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT
LUMINAIRE BACK HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	B2	B3	B4	B4
LUMINAIRE BACK HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	B1	B2	B3	B3
LUMINAIRE BACK HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
FOR AREA LIGHTING[4]	N/A	U0	U0	U0	U0
FOR ALL OTHER OUTDOOR LIGHTING, INCLUDING DECORATIVE LUMINAIRES	N/A	U1	U2	U3	U4
MAXIMUM ALLOWABLE GLARE RATING[5] (G)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	G1	G2	G3	G4
LUMINAIRE BACK HEMISPHERE IS 1-2 MH FROM PROPERTY LINE	N/A	G0	G1	G1	G2
LUMINAIRE BACK HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	G0	G0	G1	G1
LUMINAIRE BACK HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	G0	G0	G0	G1

1. IESNA LIGHTING ZONES 0 AND 5 ARE NOT APPLICABLE; REFER TO LIGHTING ZONES AS DEFINED IN THE *CALIFORNIA ENERGY CODE* AND *CHAPTER 10* OF THE *CALIFORNIA ADMINISTRATIVE CODE*.
2. FOR PROPERTY LINES THAT ABUT PUBLIC WALKWAYS, BIKEWAYS, PLAZAS AND PARKING LOTS, THE PROPERTY LINE MAY BE CONSIDERED TO BE 5 FEET BEYOND THE ACTUAL PROPERTY LINE FOR PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION. FOR PROPERTY LINES THAT ABUT PUBLIC ROADWAYS AND PUBLIC TRANSIT CORRIDORS, THE PROPERTY LINE MAY BE CONSIDERED TO BE THE CENTERLINE OF THE PUBLIC ROADWAY OR PUBLIC TRANSIT CORRIDOR FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION.
3. GENERAL LIGHTING LUMINAIRES IN AREAS SUCH AS OUTDOOR PARKING, SALES OR STORAGE LOTS SHALL MEET THESE REDUCED RATINGS. DECORATIVE LUMINAIRES LOCATED IN THESE AREAS SHALL MEET U-VALUE LIMITS FOR "ALL OTHER OUTDOOR LIGHTING."

5.106.8.1 FACING - BACKLIGHT
LUMINAIRES WITHIN 2MH OF A PROPERTY LINE SHALL BE ORIENTED SO THAT THE NEAREST PROPERTY LINE IS BEHIND THE FIXTURE, AND SHALL COMPLY WITH THE BACKLIGHT RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT OF THAT PROPERTY LINE.

EXCEPTION: CORNERS. IF TWO PROPERTY LINES (OR TWO SEGMENTS OF THE SAME PROPERTY LINE) HAVE EQUIDISTANT POINTS TO THE LUMINAIRE, THEN THE LUMINAIRE MAY BE ORIENTED SO THAT THE INTERSECTION OF THE TWO LINES (THE CORNER) IS DIRECTLY BEHIND THE LUMINAIRE. THE LUMINAIRE SHALL STILL USE THE DISTANCE TO THE NEAREST POINT(S) ON THE PROPERTY LINES TO DETERMINE THE REQUIRED BACKLIGHT RATING.

5.106.8.2 FACING - GLARE
FOR LUMINAIRES COVERED BY 5.106.8.1, IF A PROPERTY LINE ALSO EXISTS WITHIN OR EXTENDS INTO THE FRONT HEMISPHERE WITHIN 2MH OF THE LUMINAIRE THEN THE LUMINAIRE SHALL COMPLY WITH THE MORE STRIGENT GLARE RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT ON THE NEAREST PROPERTY LINE WITHIN THE FRONT HEMISPHERE.

5.106.10 GRADING AND PAVING
CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

1. SWALES.
2. WATER COLLECTION AND DISPOSAL SYSTEMS.
3. FRENCH DRAINS.
4. WATER RETENTION GARDENS.
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE.

EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

5.106.12 SHADE TREES [DSA-SS].
SHADE TREES SHALL BE PLANTED TO COMPLY WITH *SECTIONS 5.106.12.1, 5.106.12.2*, AND *5.106.12.3*. PERCENTAGES SHOWN SHALL BE MEASURED AT NOON ON THE SUMMER SOLSTICE. LANDSCAPE IRRIGATIONNECESSARY TO ESTABLISH AND MAINTAIN TREE HEALTH SHALL COMPLY WITH *SECTION 5.304.6*.

5.106.12.1 SURFACE PARKING AREAS
SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL, SHALL BE INSTALLED TO PROVIDE SHADE OVER 50 PERCENT OF THE PARKING AREA WITHIN 15 YEARS.

EXCEPTIONS: THE SURFACE PARKING AREA COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES, OR SHADE STRUCTURES, WITH ROOFING MATERIALS THAT COMPLY WITH *TABLE A5.106.11.2.2* IN APPENDIX A5, ARE NOT INCLUDED IN THE TOTAL AREA CALCULATIONS.

5.106.12.2 LANDSCAPE AREAS
SHADE TRESS PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OF 20% OF THE LANDSCAPE AREA WITHIN 15 YEARS.

EXCEPTIONS: PLAYFIELDS FOR ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.

5.106.12.3. HARDSCAPE AREAS.
SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OVER 20% OF THE HARDSCAPE AREA WITHIN 15 YEARS.

EXCEPTIONS: WALKS, HARDSCAPE AREAS COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES, AND HARDSCAPE AREAS COVERED BY SHADE STRUCTURES WITH ROOFING MATERIALS THAT COMPLY WITH *TABLE A5.106.11.2.2* IN APPENDIX A5, ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.

DIVISION 5.2 ENERGY EFFICIENCY

5.201 GENERAL

5.201.1 SCOPE. CALIFORNIA ENERGY CODE
FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS IN THIS CODE, THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

5.301 GENERAL

5.301.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL ESTABLISH THE MEANS OF CONSERVING WATER USED INDOORS, OUTDOORS AND IN WASTEWATER CONVEYANCE.

5.303 INDOOR WATER USE

5.303.1 METERS
SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR THE USES DESCRIBED IN *SECTIONS 5.303.1.1* AND *5.303.1.2*.

5.303.1.1 NEW BUILDINGS OR ADDITIONS IN EXCESS OF 50,000 SQUARE FEET
SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS:

1. FOR EACH INDIVIDUAL LEASED, RENTED, OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GAL/DAY (380 L/DAY), INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS, RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP.
2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:

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CONSULTANT

AGENCY

MURRIETA
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CAL GREEN REQUIREMENTS

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-203

INITIAL B&S SUBMITTAL

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 2 (JANUARY 2020, INCLUDES JULY 2021 SUPPLEMENT)

a. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30 L/S).
b. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 L/S).
c. STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTU/H (147 KW).

5.303.1.2 EXCESS CONSUMPTION
A SEPARATE SUBMETER OR METERING DEVICE SHALL BE PROVIDED FOR ANY TENANT WITHIN A NEW BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS
PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING:

5.303.3.1 WATER CLOSETS
THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

5.303.3.2 URINALS

5.303.3.2.1 WALL-MOUNTED URINALS
THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH.

5.303.3.2.2 FLOOR-MOUNTED URINALS
THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED OR OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH.

5.303.3.3 SHOWERHEADS. [BSC-CG]

5.303.3.3.1 SINGLE SHOWERHEAD
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER
WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

5.303.3.4 FAUCETS AND FOUNTAINS

5.303.3.4.1 NONRESIDENTIAL LAVATORY FAUCETS
LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.2 KITCHEN FAUCETS
KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

5.303.3.4.3 WASH FOUNTAINS
WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE/20 [RIM SPACE (INCHES) AT 60 PSI].

5.303.3.4.4 METERING FAUCETS
METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE.

5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS
METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER CYCLE/20 [RIM SPACE (INCHES) AT 60 PSI].

NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

5.303.3.4.6 PRE-RINSE SPRAY VALVE
WHEN INSTALLED, SHALL MEET THE REQUIREMENTS IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTION 1605.1(H)(4) TABLE H-2, SECTION 1605.3(H)(4)(A), AND SECTION 1607(D)(7), AND SHALL BE EQUIPPED WITH AN INTEGRAL AUTOMATIC SHUTOFF.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT

5.303.4.1 FOOD WASTE DISPOSERS
DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NO-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER.

NOTE: THIS CODE SECTION DOES NOT AFFECT LOCAL JURISDICTION AUTHORITY TO PROHIBIT OR REQUIRE DISPOSER INSTALLATION.

5.303.5 AREAS OF ADDITION OR ALTERATION
FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF THE CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN *SECTION 103*, THE PROVISIONS OF *SECTIONS 5.303.3* AND *5.303.4* SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS
PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE *CALIFORNIA PLUMBING CODE*, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN *TABLE 1701.1* OF THE *CALIFORNIA PLUMBING CODE* AND IN *CHAPTER 6* OF THIS CODE.

5.304 OUTDOOR WATER USE

5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS
NONRESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.
NOTES:
1. THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE *CALIFORNIA CODE OF REGULATIONS*, TITLE 23, CHAPTER 2.7, DIVISION 2.
2. MWELO AND SUPPORTING DOCUMENTS, INCLUDING A WATER BUDGET CALCULATOR, ARE AVAILABLE AT: https://www.water.ca.gov/.

5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS
FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES. LANDSCAPE PROJECTS AS DESCRIBED IN *SECTIONS 5.304.6.1* AND *5.304.6.2* SHALL COMPLY WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) COMMENCING WITH *SECTION 490* OF CHAPTER 2.7, DIVISION 2, TITLE 23, *CALIFORNIA CODE OF REGULATIONS*, EXCEPT THAT THE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) SHALL BE 0.65 WITH AN ADDITIONAL WATER ALLOWANCE FOR SPECIAL LANDSCAPE AREAS (SLA) OF 0.35.

EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.

5.304.6.1 NEWLY CONSTRUCTED LANDSCAPES
NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET.

5.304.6.2 REHABILITATED LANDSCAPES
REHABILITATED LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 1,200 SQUARE FEET.

DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

5.401 GENERAL

5.401.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF ACHIEVING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY THROUGH PROTECTION OF BUILDINGS FROM EXTERIOR MOISTURE, CONSTRUCTION WASTE DIVERSION, EMPLOYMENT OF TECHNIQUES TO REDUCE POLLUTION THROUGH RECYCLING OF MATERIALS, AND BUILDING COMMISSIONING OR TESTING AND ADJUSTING.

5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 WEATHER PROTECTION
PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY *CALIFORNIA BUILDING CODE SECTION 1402.2* (WEATHER PROTECTION), MANUFACTURER'S INSTALLATION INSTRUCTIONS OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.

5.407.2 MOISTURE CONTROL
EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS.

5.407.2.1 SPRINKLERS
DESIGN AND MAINTAIN LANDSCAPE IRRIGATION SYSTEMS TO PREVENT SPRAY ON STRUCTURES.

5.407.2.2 ENTRIES AND OPENINGS
DESIGN EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC OR WIND-DRIVEN RAIN TO PREVENT WATER INTRUSION INTO BUILDINGS AS FOLLOWS:

5.407.2.2.1 EXTERIOR DOOR PROTECTION
PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE FOLLOWING:

1. AN INSTALLED AWNING AT LEAST 4 FEET IN DEPTH.
2. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
3. THE DOOR IS RECESSED AT LEAST 4 FEET.
4. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

5.407.2.2.2 FLASHING
INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH *SECTION 5.408.1.1, 5.408.1.2* OR *5.408.1.3*, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.

5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN
WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE THAT IS MORE STRINGENT, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT

1. IDENTIFIES THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY EFFICIENT USAGE, RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. DETERMINES IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFIES DIVERSION FACILITIES WHERE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN.
4. SPECIFIES THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

5.408.1.2 WASTE MANAGEMENT COMPANY
UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION.

NOTE: THE OWNER OR CONTRACTOR SHALL MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.

EXCEPTIONS TO *SECTIONS 5.408.1.1* AND *5.408.1.2*:

1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST.
3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.

5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE
THE COMBINED WEIGHT OF NEW CONSTRUCTION DISPOSAL THAT DOES NOT EXCEED TWO POUNDS PER SQUARE FOOT OF BUILDING AREA MAY BE DEEMED TO MEET THE 65 PERCENT MINIMUM REQUIREMENT AS APPROVED BY THE ENFORCING AGENCY.

5.408.1.4 DOCUMENTATION
DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH *SECTIONS 5.408.1.1* THROUGH *5.408.1.3*. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

NOTES:
1. SAMPLE FORMS FOUND IN "A *GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (NONRESIDENTIAL)*" LOCATED AT https://www.dgs.ca.gov/BSC/Resources/Page-Content/Building-Standards-Commission-Resources-List-Folder/CALGreen MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN.
2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).

5.408.2 UNIVERSAL WASTE. [A]
ADDITIONS AND ALTERATIONS TO A BUILDING OR TENANT SPACE THAT MEET THE SCOPING PROVISIONS IN *SECTION 301.3* FOR NONRESIDENTIAL ADDITIONS AND ALTERATIONS, SHALL REQUIRE VERIFICATION THAT UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND ARE DIVERTED FROM LANDFILLS. A LIST OF PROHIBITED UNIVERSAL WASTE MATERIALS SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.

NOTE: REFER TO THE UNIVERSAL WASTE RULE LINK AT.
https://dtsc.ca.gov/universalwaste/

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS
100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

EXCEPTION: REUSE, EITHER ON-OR OFF-SITE, OF VEGETATION OR SOIL CONTAMINATED BY DISEASE OR PEST INFESTATION.

NOTES:
1. IF CONTAMINATION BY DISEASE OR PEST INFESTATION IS SUSPECTED, CONTACT THE COUNTY AGRICULTURAL COMMISSIONER AND FOLLOW ITS DIRECTION FOR RECYCLING OR DISPOSAL OF THE MATERIAL. (www.cdfa.ca.gov/exec/county/county_contacts.html)
2. FOR A MAP OF KNOWN PEST AND/OR DISEASE QUARANTINE ZONES, CONSULT WITH THE CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE. (www.cdfa.ca.gov)

5.410 BUILDING MAINTENANCE AND OPERATIONS

5.410.1 RECYCLING BY OCCUPANTS
PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.

EXCEPTION: RURAL JURISDICTIONS THAT MEET AND APPLY FOR THE EXEMPTION IN PUBLIC RESOURCES CODE 42649.82 (A)(2)(A) ET SEQ. SHALL ALSO BE EXEMPT FROM THE ORGANIC WASTE PORTION OF THIS SECTION.

5.410.1.1 ADDITIONS
ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30 PERCENT OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.

EXCEPTION:ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30-PERCENT INCREASE IN THE TENANT SPACE FLOOR AREA.

5.410.1.2 SAMPLE ORDINANCE
SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 30 OF THE *PUBLIC RESOURCES CODE* CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).

NOTE: A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN APPENDIX A OF THE DOCUMENT AT THE CALRECYCLE'S WEB SITE

5.410.2 COMMISSIONING. [N] NEW BUILDINGS 10,000 SQUARE FEET AND OVER
FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESSES OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. FOR I-OCCUPANCIES THAT ARE NOT REGULATED BY OSHPD OR FOR I-OCCUPANCIES AND L-OCCUPANCIES THAT ARE NOT REGULATED BY THE *CALIFORNIA ENERGY CODE SECTION 100.0 SCOPE*, ALL REQUIREMENTS IN *SECTIONS 5.410.2* THROUGH *5.410.2.6* SHALL APPLY.

NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (*SECTION 100*) OF THE *CALIFORNIA ENERGY CODE*, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEMS AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO *CALIFORNIA ENERGY CODE SECTION 120.8* FOR COMMISSIONING REQUIREMENTS.

COMMISSIONING REQUIREMENTS SHALL INCLUDE:

1. OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS.
2. BASIS OF DESIGN.
3. COMMISSIONING MEASURES SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. COMMISSIONING PLAN.
5. FUNCTIONAL PERFORMANCE TESTING.
6. DOCUMENTATION AND TRAINING.
7. COMMISSIONING REPORT.

EXCEPTIONS:

1. UNCONDITIONED WAREHOUSES OF ANY SIZE.
2. AREAS LESS THAN 10,000 SQUARE FEET USED FOR OFFICES OR OTHER CONDITIONED ACCESSORY SPACES WITHIN UNCONDITIONED WAREHOUSES.
3. TENANT IMPROVEMENTS LESS THAN 10,000 SQUARE FEET AS DESCRIBED IN *SECTION 303.1.1*.
4. OPEN PARKING GARAGES OF ANY SIZE, OR OPEN PARKING GARAGE AREAS, OF ANY SIZE, WITHIN A STRUCTURE.

NOTE: FOR THE PURPOSES OF THIS SECTION, UNCONDITIONED SHALL MEAN A BUILDING, AREA, OR ROOM WHICH DOES NOT PROVIDE HEATING AND OR AIR CONDITIONING.

INFORMATIONAL NOTES:

1. IAS AC 476 IS AN ACCREDITATION CRITERIA FOR ORGANIZATIONS PROVIDING TRAINING AND/OR CERTIFICATION OF COMMISSIONING PERSONNEL. AC 476 IS AVAILABLE TO THE AUTHORITY HAVING JURISDICTION AS A REFERENCE FOR QUALIFICATIONS OF COMMISSIONING PERSONNEL. AC 476 DOES NOT CERTIFY INDIVIDUALS TO CONDUCT FUNCTIONAL PERFORMANCE TESTS OR TO ADJUST AND BALANCE SYSTEMS.
2. FUNCTIONAL PERFORMANCE TESTING FOR HEATING, VENTILATION, AIR CONDITIONING SYSTEMS AND LIGHTING CONTROLS MUST BE PERFORMED IN COMPLIANCE WITH THE *CALIFORNIA ENERGY CODE*.

5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS (OPR) [N]
THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE THE FOLLOWING:

1. ENVIRONMENTAL AND SUSTAINABILITY GOALS.
2. BUILDING SUSTAINABLE GOALS.
3. INDOOR ENVIRONMENTAL QUALITY REQUIREMENTS.
4. PROJECT PROGRAM, INCLUDING FACILITY FUNCTIONS AND HOURS OF OPERATION, AND NEED FOR AFTER HOURS OPERATION.
5. EQUIPMENT AND SYSTEMS EXPECTATIONS.
6. BUILDING OCCUPANT AND OPERATION AND MAINTENANCE (O&M) PERSONNEL EXPECTATIONS.

5.410.2.2 BASIS OF DESIGN (BOD) [N]
A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER THE FOLLOWING SYSTEMS:

1. RENEWABLE ENERGY SYSTEMS.
2. LANDSCAPE IRRIGATION SYSTEMS.
3. WATER REUSE SYSTEMS.

5.410.2.3 COMMISSIONING PLAN [N]
PRIOR TO PERMIT ISSUANCE A COMMISSIONING PLAN SHALL BE COMPLETED TO DOCUMENT HOW THE PROJECT WILL BE COMMISSIONED. THE COMMISSIONING PLAN SHALL INCLUDE THE FOLLOWING:

A. GENERAL PROJECT INFORMATION.
B. COMMISSIONING GOALS.
C. SYSTEMS TO BE COMMISSIONED. PLANS TO TEST SYSTEMS AND COMPONENTS SHALL INCLUDE:
   a. AN EXPLANATION OF THE ORIGINAL DESIGN INTENT.
   b. EQUIPMENT AND SYSTEMS TO BE TESTED, INCLUDING THE EXTENT OF TESTS.
   c. FUNCTIONS TO BE TESTED.
   d. CONDITIONS UNDER WHICH THE TEST SHALL BE PERFORMED.
   e. MEASURABLE CRITERIA FOR ACCEPTABLE PERFORMANCE.
D. COMMISSIONING TEAM INFORMATION.
E. COMMISSIONING PROCESS ACTIVITIES, SCHEDULES AND RESPONSIBILITIES. PLANS FOR THE COMPLETION OF COMMISSIONING SHALL BE INCLUDED.

5.410.2.4 FUNCTIONAL PERFORMANCE TESTING [N]
FUNCTIONAL PERFORMANCE TESTS SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM- TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS MADE.

5.410.2.5 DOCUMENTATION AND TRAINING [N]
A SYSTEMS MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED, INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN *CALIFORNIA CODE OF REGULATIONS* (CCR), TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

5.410.2.5.1 SYSTEMS MANUAL [N]
DOCUMENTATION OF THE OPERATIONAL ASPECTS OF THE BUILDING SHALL BE COMPLETED WITHIN THE SYSTEMS MANUAL AND DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE. THE SYSTEMS MANUAL SHALL INCLUDE THE FOLLOWING:

1. SITE INFORMATION, INCLUDING FACILITY DESCRIPTION, HISTORY AND CURRENT REQUIREMENTS.
2. SITE CONTACT INFORMATION.
3. BASIC OPERATIONS AND MAINTENANCE, INCLUDING GENERAL SITE OPERATING PROCEDURES, BASIC TROUBLESHOOTING, RECOMMENDED MAINTENANCE REQUIREMENTS, SITE EVENTS LOG.
4. MAJOR SYSTEMS.
5. SITE EQUIPMENT INVENTORY AND MAINTENANCE NOTES.
6. A COPY OF VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
7. OTHER RESOURCES AND DOCUMENTATION, IF APPLICABLE.

5.410.2.5.2 SYSTEMS OPERATIONS TRAINING [N]
A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND DOCUMENTED IN THE COMMISSIONING REPORT AND SHALL INCLUDE THE FOLLOWING:

1. SYSTEM/EQUIPMENT OVERVIEW (WHAT IT IS, WHAT IT DOES AND WITH WHAT OTHER SYSTEMS AND/OR EQUIPMENT IT INTERFACES).
2. REVIEW AND DEMONSTRATION OF SERVICING/PREVENTIVE MAINTENANCE.
3. REVIEW OF THE INFORMATION IN THE SYSTEMS MANUAL.
4. REVIEW OF THE RECORD DRAWINGS ON THE SYSTEM/EQUIPMENT.

5.410.2.6 COMMISSIONING REPORT [N]
A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.

5.410.4 TESTING AND ADJUSTING. NEW BUILDINGS LESS THAN 10,000 SQUARE FEET
TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR NEW BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/2/DEFINITIONS#ADDITION" ADDITION OR ALTERATION SUBJECT TO *SECTION HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/3/GREEN-BUILDING#303.1" 303.1*.

5.410.4.1 (RESERVED)

NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE *HYPERLINK "/VIEWER/CALIFORNIA/CA-ENERGY-CODE-2016" CALIFORNIA ENERGY CODE*, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEM AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO *CALIFORNIA HYPERLINK "/VIEWER/CALIFORNIA/CA-ENERGY-CODE-2016" ENERGY CODE SECTION 120.8* FOR COMMISSIONING REQUIREMENTS AND *SECTIONS 120.5, 120.6, 130.4*, AND *140.9(B)3* FOR ADDITIONAL TESTING REQUIREMENTS OF SPECIFIC SYSTEMS.

5.410.4.2 SYSTEMS
DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:

1. RENEWABLE ENERGY SYSTEMS.
2. LANDSCAPE IRRIGATION SYSTEMS.
3. WATER REUSE SYSTEMS.

5.410.4.3 PROCEDURES
PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.

5.410.4.3.1 HVAC BALANCING
IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/2/DEFINITIONS#BALANCE" BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS; THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS; ASSOCIATED AIR HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/2/DEFINITIONS#BALANCE" BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/2/DEFINITIONS#ENFORCING_AGENCY" ENFORCING AGENCY.

5.410.4.4 REPORTING
AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.

5.410.4.5 OPERATION AND MAINTENANCE (O & M) MANUAL
PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/WARRANTIES FOR EACH SYSTEM. O & M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

5.410.4.5.1 INSPECTIONS AND REPORTS
INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE HYPERLINK "/VIEWER/CALIFORNIA/CA-GREEN-CODE-2016/CHAPTER/2/DEFINITIONS#ENFORCING_AGENCY" ENFORCING AGENCY.

DIVISION 5.5 ENVIRONMENTAL QUALITY

5.501 GENERAL

5.501.1 SCOPE
THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING, AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.

5.503 FIREPLACES

5.503.1 FIREPLACES
INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE, OR A SEALED WOOD-STOVE OR PELLET STOVE, AND REFER TO RESIDENTIAL REQUIREMENTS IN THE *CALIFORNIA ENERGY CODE*, TITLE 24, PART 6, SUBCHAPTER 7, SECTION 150. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL COMPLY WITH APPLICABLE LOCAL ORDINANCES.

5.503.1.1 WOODSTOVES
WOODSTOVE AND PELLET STOVES SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS.

5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION
THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION
AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL
FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.6.

5.504.4.1 ADHESIVES, SEALANTS AND CAULKS
ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN *TABLES 5.504.4.1* AND *5.504.4.2*. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF *CALIFORNIA CODE OF REGULATIONS*, TITLE 17, COMMENCING WITH SECTION 94507.

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NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

NONRESIDENTIAL MANDATORY MEASURES, SHEET 3 (JANUARY 2020, INCLUDES JULY 2021 SUPPLEMENT)

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT[1,2]
(LBS/GALLON AND LESS EXCLUDE EXEMPT COMPOUNDS IN GRAMS/LITER)

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOORING ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT AND ASPHALT TILE ADHESIVES	50
DRYWALL AND PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVES	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP AND TRIM ADHESIVES	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168. WWW.ARB.CA.GOV/DRDB/SCQMD/RULEBOOK/DEFAULT.HTM

TABLE 5.504.4.2 - SEALANT VOC LIMIT
(LBS/GALLON AND LESS EXCLUDE EXEMPT COMPOUNDS IN GRAMS/LITER)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

5.504.4.3 PAINTS AND COATINGS
ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN *TABLE 5.504.4.3*, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN *TABLE 5.504.4.3* SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.34 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN *TABLE 5.504.4.3* SHALL APPLY.

5.504.4.3.1 AEROSOL PAINTS AND COATINGS
AEROSOL PAINTS AND COATINGS SHALL MEET THE PWMR LIMITS FOR ROC IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(C)(2) AND (D)(2) OF *CALIFORNIA CODE OF REGULATIONS*, TITLE 17 COMMENCING WITH SECTION 94522, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 49.

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS[1,2]
(GRAMS OF VOC PER LITER OF COATING, LESS WATER AND LESS EXEMPT COMPOUNDS)

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS[3]	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS AND UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS AND UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB AND TILE REFINISHING COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER AND INCLUDING EXEMPT COMPOUNDS.
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE FEBUARY 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

5.504.4.5.2 VERIFICATION
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1. MANUFACTURER'S PRODUCT SPECIFICATION
2. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS

5.504.4.6 CARPET SYSTEMS
ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350), SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASP#MATERIAL

5.504.4.4.1 CARPET CUSHION
ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350), SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASP#MATERIAL

5.504.4.4.2 CARPET ADHESIVE
ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1.

5.504.4.5 COMPOSITE WOOD PRODUCTS
HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.). THOSE MATERIALS NOT EXEMPTED UNDER THE ATCM MUST MEET THE SPECIFIED EMISSION LIMITS, AS SHOWN IN *TABLE 5.504.4.5*.

5.504.4.5.2 DOCUMENTATION
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:

1. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.
2. CHAIN OF CUSTODY CERTIFICATIONS.
3. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.).
4. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN EN 13 STANDARDS.
5. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.

5.504.4.6 RESILIENT FLOOR SYSTEMS
WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.2, JANUARY 2017 (EMISSION TESTING METHOD FOR CALIFORNIA SPECIFICATION 01350), SEE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S WEBSITE FOR CERTIFICATION PROGRAMS AND TESTING LABS. HTTPS://WWW.CDPH.CA.GOV/PROGRAMS/CCDPHP/DEODC/EHLB/IAQ/PAGES/VOC.ASP#MATERIAL

TABLE 5.504.4.5 - FORMALDEHYDE LIMITS[1]
(MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION)

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLEBOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD[2]	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E1333. FOR ADDITIONAL INFORMATION, SEE CALIFORNIA CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16 INCH (8MM).

5.504.4.6 RESILIENT FLOORING SYSTEMS
FOR 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALLED RESILIENT FLOORING SHALL MEET AT LEAST ONE OF THE FOLLOWING:

1. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
2. COMPLIANT WITH THE VOC-EMISSION LIMITS AND TESTING REQUIREMENTS SPECIFIED IN THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION CHAMBERS, VERSION 1.1, FEBRUARY 2010.
3. COMPLIANT WITH THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS CALIFORNIA (CHPS-HPS) CRITERIA INTERPRETATION FOR EQ 7.3 AND EQ 7.4 (FORMERLY EQ 2.2) DATED JULY 2013 AND LISTED IN THE CHPS HIGH PERFORMANCE PRODUCT DATABASE, OR
4. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN'S & SCHOOLS PROGRAM).

5.504.4.6.1 VERIFICATION OF COMPLIANCE
DOCUMENTATION SHALL BE PROVIDED VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

5.504.5.3 FILTERS
IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8. MERV-8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.

EXCEPTION: EXISTING MECHANICAL EQUIPMENT.

5.504.5.3.1 LABELING
INSTALLED FILTERS SHALL BE CLEARLY LABELED BY THE MANUFACTURER INDICATING THE MERV RATING.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL
WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS; OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT, WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE. POST signage TO INFORM BUILDING OCCUPANTS OF THE PROHIBITIONS.

5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL
BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF CALIFORNIA BUILDING CODE, CCR, TITLE 24, PART 2, SECTIONS 1202 (VENTILATION) AND CHAPTER 14 (EXTERIOR WALLS), FOR ADDITIONAL MEASURES, SEE *SECTION 5.407.2* OF THIS CODE.

5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY
FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF *SECTION 120.1* (REQUIREMENTS FOR VENTILATION) OF THE *CALIFORNIA ENERGY CODE*, OR THE APPLICABLE LOCAL CODE, WHICHEVER IS MORE STRINGENT, AND DIVISION 1, CHAPTER 4 OF CCR, TITLE 8.

5.506.2 CARBON DIOXIDE (CO2) MONITORING
FOR BUILDINGS OR ADDITIONS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE *CALIFORNIA ENERGY CODE*, SECTION 120(C)(4).

5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL
EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN *SECTION 5.507.4.1 OR 5.507.4.2*.

EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE ADVERSELY AFFECTED BY NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.

EXCEPTION: [DSA-SS] FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, THE REQUIREMENTS OF THE SECTION AND ALL SUBSECTIONS APPLY ONLY TO NEW CONSTRUCTION.

5.507.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD
WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 45 WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING LOCATIONS:

1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT.

EXCEPTIONS:
1. L_{DN} OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (AICUZ) PLAN.
2. L_{DN} OR CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT.

2. WITHIN THE 65 CNEL OR L_{DN} NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.

5.507.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE
BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB L_{DN} OR LESS DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING, ADDITION OR ALTERATION EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATING OF AT LEAST 45 (OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).

5.507.4.2 PERFORMANCE METHOD
FOR BUILDINGS LOCATED AS DEFINED IN *SECTION 5.507.4.1* OR *5.507.4.1.1*, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING OR ADDITION ENVELOPE OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL ($L_{eq(1HR)}$) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.

5.507.4.3 SITE FEATURES
EXTERIOR FEATURES SUCH AS SOUND WALLS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE BUILDING, ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.

5.507.4.3.3 DOCUMENTATION OF COMPLIANCE
AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.

5.507.4.3 INTERIOR SOUND TRANSMISSION
WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.

NOTE: EXAMPLES OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: www.toolbase.org/PDF/CaseStudies/ca_jrc_ratings.pdf.

5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS
INSTALLATIONS OF HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH *SECTIONS 5.508.1.1 AND 5.508.1.2*.

5.508.1.1 CHLOROFLUOROCARBONS (CFCS)
INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCS.

5.508.1.2 HALONS
INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

5.508.1.3 SUPERMARKET REFRIGERANT LEAK REDUCTION
NEW COMMERCIAL REFRIGERATION SYSTEMS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN INSTALLED IN RETAIL FOOD STORES 8,000 SQUARE FEET OR MORE CONDITIONED AREA AND THAT UTILIZE EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS. THE LEAK REDUCTION MEASURES APPLY TO REFRIGERATION SYSTEMS CONTAINING HIGH-GLOBAL-WARMING POTENTIAL (HIGH-GWP) REFRIGERANTS WITH A GWP OF 150 OR GREATER. NEW REFRIGERATION SYSTEMS INCLUDE BOTH NEW FACILITIES AND THE REPLACEMENT OF EXISTING REFRIGERATION SYSTEMS IN EXISTING FACILITIES.

EXCEPTION: REFRIGERATION SYSTEMS CONTAINING LOW-GLOBAL WARMING POTENTIAL (LOW-GWP) REFRIGERANT WITH A GWP VALUE LESS THAN 150 ARE NOT SUBJECT TO THIS SECTION. LOW-GWP REFRIGERANTS ARE NONOZONE-DEPLETING REFRIGERANTS THAT INCLUDE AMMONIA, CARBON DIOXIDE (CO2), AND POTENTIALLY OTHER REFRIGERANTS.

5.508.1.1 REFRIGERANT PIPING
PIPING SHALL BE COMPLIANT WITH THE *CALIFORNIA MECHANICAL CODE* SHALL BE INSTALLED TO BE ACCESSIBLE FOR LEAK PROTECTION AND REPAIRS. PIPING RUNS USING THREADED PIPE, COPPER TUBING WITH AN OUTSIDE DIAMETER (OD) LESS THAN ⅛ INCH, FLARED TUBING CONNECTIONS AND SHORT RADIUS ELBOWS SHALL NOT BE USED IN REFRIGERANT SYSTEMS EXCEPT AS NOTED BELOW.

5.508.1.1.1 THREADED PIPE
THREADED CONNECTIONS ARE PERMITTED AT THE COMPRESSOR RACK.

5.508.1.1.2 COPPER PIPE
COPPER TUBING WITH AN OD LESS THAN ⅛ INCH MAY BE USED IN SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR LESS.

5.508.1.1.3 ANCHORAGE
ONE-FOURTH INCH OD TUBING SHALL BE SECURELY CLAMPED TO A RIGID BASE TO KEEP VIBRATION LEVELS BELOW 8 MILS.

5.508.1.1.3 FLARED TUBING CONNECTIONS
DOUBLE-FLARED TUBING CONNECTIONS MAY BE USED FOR PRESSURE CONTROLS, VALVE PILOT LINES AND OIL.

EXCEPTION: SINGLE-FLARED TUBING CONNECTIONS MAY BE USED WITH VIBRATING EQUIPMENT SUCH AS INDUSTRIAL SEALANT SUITABLE FOR USE WITH REFRIGERANTS AND TIGHTENED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

5.508.1.1.4 ELBOWS
SHORT RADIUS ELBOWS ARE ONLY PERMITTED WHERE SPACE LIMITATIONS PROHIBIT USE OF LONG RADIUS ELBOWS.

5.508.1.2 VALVES
VALVES AND FITTINGS SHALL COMPLY WITH THE *CALIFORNIA MECHANICAL CODE* AND AS FOLLOWS.

5.508.1.2.1 PRESSURE RELIEF VALVES
FOR VESSELS CONTAINING HIGH-GWP REFRIGERANT, A RUPTURE DISC SHALL BE INSTALLED BETWEEN THE OUTLET OF THE VESSEL AND THE INLET OF THE PRESSURE RELIEF VALVE.

5.508.1.2.1.1 PRESSURE DETECTION
A PRESSURE GAUGE, PRESSURE TRANSDUCER OR OTHER DEVICE SHALL BE INSTALLED IN THE SPACE BETWEEN THE RUPTURE DISC AND THE RELIEF VALVE INLET TO INDICATE A DISC RUPTURE OR DISCHARGE OF THE RELIEF VALVE.

5.508.1.2.2 ACCESS VALVES
ONLY SCHRADER ACCESS VALVES WITH A BRASS OR STEEL BODY ARE PERMITTED FOR USE.

5.508.1.2.2.1 VALVE CAPS
FOR SYSTEMS WITH A REFRIGERANT CHARGE OF 5 POUNDS OR MORE, VALVE CAPS SHALL BE BRASS OR STEEL AND NOT PLASTIC.

5.508.1.2.2.2 SEAL CAPS
IF DESIGNED FOR IT, THE CAP SHALL HAVE A NEOPRENE O-RING IN PLACE.

5.508.1.2.2.2.1 CHAIN TETHERS
CHAIN TETHERS TO FIT OVER THE STEM ARE REQUIRED FOR VALVES DESIGNED TO HAVE SEAL CAPS.

EXCEPTION: VALVES WITH SEAL CAPS THAT ARE NOT REMOVED FROM THE VALVE DURING STEM OPERATION.

5.508.1.3 REFRIGERATED SERVICE CASES
REFRIGERATED SERVICE CASES HOLDING FOOD PRODUCTS CONTAINING VINEGAR AND SALT SHALL HAVE EVAPORATOR COILS OF CORROSION-RESISTANT MATERIAL SUCH AS STAINLESS STEEL, OR BE COATED TO PREVENT CORROSION FROM THESE SUBSTANCES.

5.508.1.3.1 COIL COATING
CONSIDERATION SHALL BE GIVEN TO THE HEAT TRANSFER EFFICIENCY OF COIL COATING TO MAXIMIZE ENERGY EFFICIENCY.

5.508.1.4 REFRIGERANT RECEIVERS
REFRIGERANT RECEIVERS WITH CAPACITIES GREATER THAN 200 POUNDS SHALL BE FITTED WITH A DEVICE THAT INDICATES THE LEVEL OF REFRIGERANT IN THE RECEIVER.

5.508.1.5 PRESSURE TESTING
THE SYSTEM SHALL BE PRESSURE TESTED DURING INSTALLATION PRIOR TO EVACUATION AND CHARGING.

5.508.1.5.1 MINIMUM PRESSURE
THE SYSTEM SHALL BE CHARGED WITH REGULATED DRY NITROGEN AND APPROPRIATE TRACER GAS TO BRING SYSTEM PRESSURE UP TO 300 PSIG MINIMUM.

5.508.1.5.2 LEAKS
CHECK THE SYSTEM FOR LEAKS, REPAIR ANY LEAKS, AND RETEST FOR PRESSURE USING THE SAME GAUGE.

5.508.1.5.3 ALLOWABLE PRESSURE CHANGE
THE SYSTEM SHALL STAND UNALTERED FOR 24 HOURS WITH NO MORE THAN A ±6 ONE POUND PRESSURE CHANGE FROM 300 PSIG, MEASURED WITH THE SAME GAUGE.

5.508.1.6 EVACUATION
THE SYSTEM SHALL BE EVACUATED AFTER PRESSURE TESTING AND PRIOR TO CHARGING.

5.508.1.6.1 FIRST VACUUM
PULL A SYSTEM VACUUM DOWN TO AT LEAST 1000 MICRONS (±50 MICRONS), AND HOLD FOR 30 MINUTES.

5.508.1.6.2 SECOND VACUUM
PULL A SECOND SYSTEM VACUUM TO A MINIMUM OF 500 MICRONS AND HOLD FOR 30 MINUTES.

5.508.1.6.3 THIRD VACUUM
PULL A THIRD VACUUM DOWN TO A MINIMUM OF 300 MICRONS, AND HOLD FOR 24 HOURS WITH A MAXIMUM DRIFT OF 100 MICRONS OVER A 24-HOUR PERIOD.

CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702 QUALIFICATIONS

702.1 INSTALLER TRAINING
HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS. EXAMPLES OF ACCEPTABLE HVAC TRAINING AND CERTIFICATION PROGRAMS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. STATE CERTIFIED APPRENTICESHIP PROGRAMS.
2. PUBLIC UTILITY TRAINING PROGRAMS.
3. TRAINING PROGRAMS SPONSORED BY TRADE, LABOR OR STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATIONS.
4. PROGRAMS SPONSORED BY MANUFACTURING ORGANIZATIONS.
5. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

702.2 SPECIAL INSPECTION [HCD]
WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:

1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTES:
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) T

RESOLUTION NO. 22 - 4558

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MURRIETA ADOPTING THE MITIGATED NEGATIVE DECLARATION, APPROVING DEVELOPMENT PLAN 2021-2311 AND TENTATIVE PARCEL MAP 2021-2526, FOR THE CONSTRUCTION OF 204 MULTI-FAMILY AFFORDABLE RESIDENTIAL UNITS AND ASSOCIATED IMPROVEMENTS LOCATED AT 24360 ADAMS AVENUE (APN 936-080-016).

WHEREAS, on April 6, 2021 the Murrieta Housing Authority and National Community Renaissance of California ("Applicant") entered into an Exclusive Negotiating Rights Agreement (ENA) to develop an affordable rental housing project on the subject property; and

WHEREAS, on April 22, 2021 applications were filed by Applicant, in the City of Murrieta (the "City") for approval of a Development Plan for a 5.23 gross acre site located at 24360 Adams Avenue, Assessor Parcel Number 936-080-016 (the "Project"); and

WHEREAS, Applicant has submitted an application in accordance with Murrieta Development Code (Development Code) Section 16.56 for Development Plan (DP-2021-2311) proposing the development of four multi-story buildings, totaling 204 affordable dwelling units, a Boys & Girls Club, community rooms and on-site amenities ("Project"); and

WHEREAS, Applicant has submitted an application in accordance with Development Code Section 16.64 for a Tentative Parcel Map (TPM 2021-2526) TPM 38180 proposing a three lot subdivision; and

WHEREAS, Applicant has submitted a request for density bonus in accordance with Development Code Section 16.20 proposing to provide 100% low and very-low income housing units consistent with DP-2021-2311. The requested waivers and concessions consist of relief from Development Code regulations as follows: 16.18.130, 16.18.140.A, 16.08.040 B.1 e (2), 16.34.070 H.7.a, 16.34.070.H.7.e, 16.34.040.D.12; and

WHEREAS, a Deposition and Development Agreement, including a Ground Lease has been prepared for the project for the consideration of the Murrieta Housing Authority prior to final approval of the Project; and

WHEREAS, an Initial Study was prepared for the Project and it determined that, subject to adoption of mitigation measures, that a Mitigated Negative Declaration is appropriate for the proposed project, and would not have an adverse impact on the environment; and

WHEREAS, the Notice of Intent giving public notice of the City's intent to adopt the Initial Study and process a Mitigated Negative Declaration was published in "The Press Enterprise" newspaper on December 13, 2021; and

WHEREAS, the public review period of 30 days for the Mitigated Negative Declaration (SCH 2019120607) was available for public review from December 13, 2021 to January 12, 2022; and

WHEREAS, a public hearing was duly noticed for the Planning Commission meeting of January 12, 2022, by mailing a notice to property owners within a 300 foot radius of the site on or

before January 3, 2022, publishing the notice in The Press Enterprise newspaper on or before January 3, 2022, and posting the Project site on or before January 3, 2022; and

WHEREAS, on January 12, 2022, the Planning Commission held a duly noticed public hearing, considered all written and oral reports of staff, public testimony on the matter, and written and oral testimony provided by the Applicant, voted (5-0) recommending approval of the project with the added condition to increase the tree size along the project frontage on Adams Avenue; and

WHEREAS, a hearing on the matter was duly noticed as provided in Development Code section 16.76.020 for the City Council meeting of May 3, 2022; and

WHEREAS, the City Council has considered the facts presented in this case, including the written and oral staff reports on the Project, public testimony, and the written and oral evidence presented to the Planning Commission.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Murrieta as follows:

Section 1 Environmental Certification.

The City Council adopts the Mitigated Negative Declaration as complete in compliance with the requirements of the California Environmental Quality Act and adopts the Mitigation and Monitoring and Reporting Program for the project as attached and incorporated herein.

Section 2 Findings for Development Plan Approval (16.56.040).

In accordance with Section 16.56.040 of the Development Code of the Murrieta Municipal Code and based upon the evidence in the record, the staff reports, and based on the information contained in the administrative record, the City Council makes the following findings:

1. The proposed use is allowed within the subject zoning district and complies with all applicable provisions of the Murrieta Development Code.

FACTS: The proposed multi-family residential project is consistent with the Residential Multi Family (RMF) zoning district, which allows up to 20 dwelling units per acre. The Project is proposing 200 units which meets the maximum density for the RMF zone. The Project complies with the requested density bonus incentives and waivers is designed in compliance with the standards for the RMF zone and complies with all applicable provisions of the Development Code.

2. The proposed use would be consistent with the objectives, policies, general land uses, and programs of the General Plan and any applicable specific plan.

FACTS: The proposed Development Plan with the provisions for its design and improvements are consistent with the General Plan.

General Plan policy LU-4.3 states "Locate multiple-family housing adjacent to jobs, retail, schools, open space, public transportation and transportation corridors". General Plan policy

LU-3.3 states "Strive to provide a diverse mix of housing types, along with high standards of residential property maintenance and General Plan policy LU-6.3 states, "Encourage new neighborhoods to be built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities." The Project provides 200 units of at varying affordability levels and adds diversity to the City's housing stock which consists of mostly single family homes. The Applicant proposes to use high quality materials and will actively manage the site to ensure it meets community property maintenance standards. The Project complies with the policy by adding multiple-family housing in Downtown Murrieta near many amenities, including within walking distance to the Murrieta Community Center, Hunt Field, Murrieta Parks and Recreation Office, Town Square Park and Hunt Park, Hunt Field, stores to the south and southeast, and many other neighborhood amenities as previously described. The Project is consistent with General Plan Goals ROS-1, ROS-6, ROS-8 - Parkland is provided within a convenient distance from all residential areas, in a range of park types that meet different needs for active and passive recreation, and new development is part of a coordinated system of open space, trails, recreation facilities, and trees, and green space provide additional open space opportunities for future residents. Policies ROS-1.3, ROS-8.1, and ROS-8.3 - Provide City-Wide Parks, Community Parks, Neighborhood Parks, Neighborhood Play Areas, Special Use Parks, and Nature Parks in locations appropriate to their intended service areas, so that all residential areas are served by parks; and promote the provision of parks, recreation facilities, and/or open space in new development, and ensure that parks are provided adequate, usable, and permanent private open space is provided in residential developments.

The Project is consistent with General Plan Goals SAF-8, SAF-10, SAF-11 - High-quality and timely police services are provided to all residents and businesses in Murrieta, the Police Department coordinates with neighborhoods and community members to enhance safety and continually improve services, development of the physical environment promotes community safety, and includes opportunities for crime-free living. The Project is served by the Murrieta Police Department (MPD), the mission of which is derived about 1 000 lives in the form of the Project area. MPD reviewed the Project and provided Conditions of Approval for the Project to comply with these goals. Policies SAF-8.5, SAF-10.4, SAF-11.2, SAF-11.4 - Ensure that new development can be served by police and fire protection systems, and ensure that development in the Crime Free Multi-Housing Program among existing multi-family communities, and continue to require new apartment communities to participate in the Crime Free Multi-Housing Program, and continue to ensure that each development or neighborhood in the City has adequate emergency ingress and egress. MPD has reviewed the Project and added Conditions of Approval to meet safety these policies. The Project will participate in the Crime Free Multi-Housing Program, as outlined in the Conditions of Approval. MPD has reviewed the Project for adequate ingress and egress.

The proposed multi-family zoning at this location is in compliance and supports the General Plan's policy LU-1.3 by encouraging "residential land use designations that will provide for a wide range of densities to ensure opportunities for all types of housing" and General Plan policy LU-1.5 "Promote future patterns of development and land use that reduce infrastructure construction costs and make better use of existing and planned public facilities. The Project is Multiple-Family Residential land use assignment and Residential-Multi Family zoning at the location of the city centralizes towards a wide range of densities and housing opportunities. Infrastructure construction costs are reduced as the Project site is served by existing Central Port Celebration Streets, utilities connections are available fronting along the property. The proposed Project and affordable land uses at this location will continue the General Plan's goal LU-1 with "a complementary balance of land uses throughout the community". The proposed

improvements, such as streets, water, sewer, lighting, landscaping, sidewalks, drainage facilities, curbs and gutters, and the fire protection system.

3. The approval of the development plan permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA), and there would be no adversely significant negative impacts upon environmental quality and natural resources that could not be properly mitigated and monitored.

FACTS: An Initial Study was prepared for the project in accordance with the California Environmental Quality Act, Public Resources Code Section 21000 et seq., and California Code of Regulations, Title 14, Section 15000 et seq. ("CEQA") which determined that a Mitigated Negative Declaration could be adopted for the Project. The Initial Study did not identify any potentially significant environmental effects that could not be mitigated to a less than significant level. The Mitigated Negative Declaration was circulated for a 30-day public review and comment period in compliance with CEQA. The project site is not listed on any hazardous waste site listings. Mitigation Measures were provided that address impacts to aesthetics, biological resources, cultural resources, geological resources, hydrology and water quality, and noise to reduce the impacts to a less than significant level. Any future development at this site shall be subject to the mitigation measures as provided in the adopted Project Mitigation Monitoring & Reporting Program.

4. The location, size, bulkiness, and operating characteristics of the proposed use would be compatible with existing land uses within the general area in which the proposed use is to be located.

FACTS: General Plan policy LU-4.3 states "Locate multiple-family housing adjacent to jobs, retail, schools, open space, public transportation and transportation corridors". General Plan policy LU-3.3 states "Strive to provide a diverse mix of housing types, along with high standards of residential property maintenance and General Plan policy LU-6.3 states, "Encourage new neighborhoods to be built on a pedestrian-scale, within walking distance of parks, neighborhood-serving commercial areas, and other neighborhood amenities."

The Project will add multi-family residential at 30 d.u. per acre which will add to the diverse mix of housing types in the area. The Project is located in an area that is surrounded by a variety of single family and multi-family residential at 3-18.30 d.u. per acre housing types surrounding the project site. The Project is centralized to maintain the sale territories and balance the City's housing stock. The Project is consistent with General Plan Goals SAF-8, SAF-10, SAF-11 - Ensure that new development can be served by police and fire protection systems, and ensure that development in the Crime Free Multi-Housing Program among existing multi-family communities, and continue to require new apartment communities to participate in the Crime Free Multi-Housing Program, and continue to ensure that each development or neighborhood in the City has adequate emergency ingress and egress. MPD has reviewed the Project and added Conditions of Approval to meet safety these policies. The Project will participate in the Crime Free Multi-Housing Program, as outlined in the Conditions of Approval. MPD has reviewed the Project for adequate ingress and egress.

The proposed multi-family zoning at this location is in compliance and supports the General Plan's policy LU-1.3 by encouraging "residential land use designations that will provide for a wide range of densities to ensure opportunities for all types of housing" and General Plan policy LU-1.5 "Promote future patterns of development and land use that reduce infrastructure construction costs and make better use of existing and planned public facilities. The Project is Multiple-Family Residential land use assignment and Residential-Multi Family zoning at the location of the city centralizes towards a wide range of densities and housing opportunities. Infrastructure construction costs are reduced as the Project site is served by existing Central Port Celebration Streets, utilities connections are available fronting along the property. The proposed Project and affordable land uses at this location will continue the General Plan's goal LU-1 with "a complementary balance of land uses throughout the community". The proposed

land use is consistent with the Land Use and Housing Element goals by providing RMF zoning to allow multi-family housing in that area for a balanced community. The proposed land use is consistent with the Circulation Element that will not be adversely impacted with this General Plan Amendment or with future development.

The Project is consistent with Housing Element Goals 1, 3, 4, 5. - Provide adequate housing opportunities throughout the City of Murrieta, minimize the impact of governmental constraints on housing production and affordability, promote equal housing opportunity for all residents, and identify adequate sites to achieve housing diversity. The Project implements these goals of the General Plan by increasing the supply of affordable housing that is in heavy demand in the City. The Project is located on a site that the City has identified to achieve housing variety and adequate supply through its general plan. The Project utilizes the State Density Bonus provisions to achieve the project density and affordability, which implements Goal 3 by minimizing constraints on housing production and affordability. Policies 1.1, 1.3, 1.3, 3.1, 3.4, 5.1, 5.2, and 5.5 - Provide a range of residential development types in Murrieta, including low density single-family homes, moderate density townhomes, higher density multi-family units, and residential/commercial mixed use in order to address the City's share of regional housing needs, facilitate development of senior and low-income housing through the use of financial and/or regulatory incentives, and design new higher-density residential projects at a scale compatible with existing and planned residential uses, and promote compatibility between adjacent residential areas, and promote development incentives, such as a density bonus or flexibility in development standards, to facilitate the development of quality housing that is affordable to lower and moderate-income households, support innovative public, private and non-profit partnerships efforts for the development of affordable housing, assess the social service needs of the community and provide a wide variety of social service programs to City residents, and identify vacant and/or underutilized parcels in the City, that can accommodate a variety of housing types for all socioeconomic segments of the community. The Project increases the supply of higher-density multi-family units in the City and helps meet the City's share of regional housing needs for low-income families. The Project utilizes incentives to provide senior and low-income housing within the City. The Project carefully considered the character of the surrounding neighborhood and incorporated it into the project through its Craftsman architectural elements with exterior materials and colors which would complement the existing buildings and above Adams Ave and the shared property line with the Amber Walk community. The Project also provides a transition from each development and neighborhood to the City's adequate emergency ingress and egress. MPD has reviewed the Project and added Conditions of Approval to meet safety these policies. The Project complies with the Conditions of Approval. MPD has reviewed the Project for adequate ingress and egress.

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entering receiving waters. Policies INF-1.1, INF-1.4, INF 1.5, INF-1.11 - Encourage future development to occur in areas where infrastructure for water, sewer, and storm water can most efficiently be provided, and ensure that new development provides infrastructure for water, sewer, and storm water that adequately serves the proposed project and that has been coordinated with affected infrastructure providers, and ensure sufficient levels of storm drainage service are provided to protect the community from flood hazards and minimize the discharge of materials into the storm drain system that are toxic or which would obstruct flows. The Project will access existing sewer, water and gas lines within Adams Avenue. The Project proposes an upsizing of the water line on Adams Ave to accommodate the increased demand from the Project. The Project will develop and implement a Storm Water Pollution Prevention Plan (SWPPP) to minimize or avoid pollutants and sediment from entering receiving waters.

The Project is consistent with General Plan Goal SAF-5 - Damage from fire hazards is minimized through preventive measures, education, and fire protection services. Policies SAF-5.1 and SAF-5.3 - Continue efforts to reduce fire hazard associated with multi-family housing through tile city, and continue to coordinate fire protection services with all agencies and districts with fire protection powers. The proposed Project will develop and implement a Storm Water Pollution Prevention Plan (SWPPP) to minimize or avoid pollutants and sediment from entering receiving waters.

5. The proposed use is physically suitable for the type and density of development proposed.

FACTS: The site is located on a major street, freeway; the zones adjacent to and surrounding the site consist of multi-family and single family residential. The site is located adjacent to, and will take access from a major street complying with General Plan requirements. The adjacent and future uses identified in the Residential-Multi Family (RMF) zoned properties include general residential uses that would be compatible and would not be negatively impacted with approval of a multi-family residential use at this location.

This has been accomplished as the Project will add multi-family residential at 30 d.u. per acre which will add to the diverse mix of housing types in the area. The Project is an infill site, multi-family residential at 18.30 d.u. per acre housing surrounding the project site. The Project is centralized to maintain the site landscaping throughout the site to the property line, maintain trash receptacles. Attached WQMP source control BMPs, treatment control BMPs, long term WQMP operations and maintenance, education guidelines for "Maintaining Your Swimming Pool, Jacuzzi, and Garden Fountain, Outdoor Cleaning Activities and Professional Mobile Service Providers" and "Are the Weeds", maintenance of the landscape project frontage within the right of way, graffiti removal, exterior lighting maintenance, participation in the same free hazardous waste disposal events, and other regulatory requirements for development projects that are located near transit routes. The Project is located a block and a half away (1,000 feet) from the Downtown Commercial District, and a half mile from the Murrieta Town Center on Ivy Street. The Project is within a short walking distance (approximately 1,077 feet) to Murrieta Elementary School and Town Square Park (open space). The Project is located approximately 1 mile from Murrieta Elementary School and Town Square Park (open space). The Project site is surrounded by multi-family residential zoning to the north, east, and west of the site with existing single family homes, multiplexes, and townhomes. Adjacent to the Project site are commercial and industrial businesses are located.

providing flexibility in parking and setback standards to facilitate quality affordable very-low and low income units. The Project will provide 100% low and very-low affordable housing units to contribute towards regional housing needs. The scale and design of the the highest-density buildings meet the requirements of the Project site and blocking heights are stepped from the adjacent single family homes with the 4-story buildings placed behind the 3rd story with the 4th story concentrated on the interior of the Project site. The Project is consistent with the State's and the City's goals to Affirmatively Further Fair Housing as the project is located in what is physically suitable for the type and density/intensity of the development and are being proposed.

6. There are adequate provisions for water, sewer, schools, water, transport, and public utilities and services to ensure that the proposed use would not be detrimental to the public convenience, health, safety, or general welfare.

FACTS: The Project is designed with adequate common open space, safe circulation, and proper drainage. It also will be served by necessary public utilities and infrastructure. These provisions are available from various existing on-site connections via Adams Avenue. Proposed construction will comply with all applicable fire, and building codes.

Section 3 Findings for Tentative Parcel Map Approval (16.64.050).

In accordance with Section 16.64.080 of the Development Code of the Murrieta Municipal Code and based upon the facts and statements at the public and City staff and with all of the information contained in the administrative record, the City Council makes the following findings:

1. The proposed map, design or improvements is consistent with the objectives, policies, general land uses, and programs of the general plan and any applicable specific plans and all applicable provisions of the Murrieta Development Code.

FACTS: The proposed Development Plan, with the provisions for its design and improvements are in conformance with the General Plan.

General Plan policy LU-4.3 states "Locate multiple-family housing adjacent to jobs, retail, schools, open space, public transportation and transportation corridors". General Plan policy LU-3.4 states "Strive to provide a diverse mix of housing types, along with high standards of residential property maintenance and General Plan policy LU-6.3 states, "Encourage new neighborhoods to be built on a pedestrian-scale, within walking distance of parks

neighborhood-serving commercial areas, and other neighborhood amenities". The Project adds 200 units of at varying affordability levels and adds diversity to the City's housing stock which consists of mostly single family homes. The Applicant proposes to use high quality materials and will actively manage the site to ensure it meets community property maintenance standards. The Project implements the policy by adding multiple-family housing in Downtown Murrieta near many amenities, including within walking distance to the Murrieta Community Center, Hunt Field, Murrieta Parks and Recreation Office, Town Square Park and Hunt Park, Hunt Field, stores to the south and southeast, and many other neighborhood amenities as previously described. The Project is consistent with General Plan Goals ROS-1, ROS-6, ROS-8 - Parkland is provided within a convenient distance from all residential areas, in a range of park types that meet different needs for active and passive recreation, and new development is part of a coordinated system of open space, trails, recreation facilities, and trees, and green space provide additional open space opportunities for future residents. Policies ROS-1.3, ROS-8.1, and ROS-8.3 - Provide City-Wide Parks, Community Parks, Neighborhood Parks, Neighborhood Play Areas, Special Use Parks, and Nature Parks in locations appropriate to their intended service areas, so that all residential areas are served by parks; and promote the provision of parks, recreation facilities, and/or open space in new development, and ensure that parks are provided adequate, usable, and permanent private open space is provided in residential developments.

The Project is consistent with General Plan Goals SAF-8, SAF-10, SAF-11 - High-quality and timely police services are provided to all residents and businesses in Murrieta, the Police Department coordinates with neighborhoods and community members to enhance safety and continually improve services, development of the physical environment promotes community safety, and includes opportunities for crime-free living. The Project is served by the Murrieta Police Department (MPD), the mission of which is derived about 1 000 lives in the form of the Project area. MPD reviewed the Project and provided Conditions of Approval for the Project to comply with these goals. Policies SAF-8.5, SAF-10.4, SAF-11.2, SAF-11.4 - Ensure that new development can be served by police and fire protection systems, and ensure that development in the Crime Free Multi-Housing Program among existing multi-family communities, and continue to require new apartment communities to participate in the Crime Free Multi-Housing Program, and continue to ensure that each development or neighborhood in the City has adequate emergency ingress and egress. MPD has reviewed the Project and added Conditions of Approval to meet safety these policies. The Project will participate in the Crime Free Multi-Housing Program, as outlined in the Conditions of Approval. MPD has reviewed the Project for adequate ingress and egress.

The proposed multi-family zoning at this location is in compliance and supports the General Plan's policy LU-1.3 by encouraging "residential land use designations that will provide for a wide range of densities to ensure opportunities for all types of housing" and General Plan policy LU-1.5 "Promote future patterns of development and land use that reduce infrastructure construction costs and make better use of existing and planned public facilities. The Project is Multiple-Family Residential land use assignment and Residential-Multi Family zoning at the location of the city centralizes towards a wide range of densities and housing opportunities. Infrastructure construction costs are reduced as the Project site is served by existing Central Port Celebration Streets, utilities connections are available fronting along the property. The proposed Project and affordable land uses at this location will continue the General Plan's goal LU-1 with "a complementary balance of land uses throughout the community". The proposed

land use is consistent with the Land Use and Housing Element goals by providing RMF zoning to allow multi-family housing in that area for a balanced community. The proposed land use is consistent with the Circulation Element that will not be adversely impacted with this General Plan Amendment or with future development.

The Project is consistent with Housing Element Goals 1, 3, 4, 5. - Provide adequate housing opportunities throughout the City of Murrieta, minimize the impact of governmental constraints on housing production and affordability, promote equal housing opportunity for all residents, and identify adequate sites to achieve housing variety. The Project implements these goals of the General Plan by increasing the supply of affordable housing that is in heavy demand in the City. The Project is located on a site that the City has identified to achieve housing variety and adequate supply through its general plan. The Project utilizes the State Density Bonus provisions to achieve the project density and affordability, which implements Goal 3 by minimizing constraints on housing production and affordability. Policies 1.1, 1.3, 1.3, 3.1, 3.4, 5.1, 5.2, and 5.5 - Provide a range of residential development types in Murrieta, including low density single-family homes, moderate density townhomes, higher density multi-family units, and residential/commercial mixed use in order to address the City's share of regional housing needs, facilitate development of senior and low-income housing through the use of financial and/or regulatory incentives, and design new higher-density residential projects at a scale compatible with existing and planned residential uses, and promote compatibility between adjacent residential areas, and promote development incentives, such as a density bonus or flexibility in development standards, to facilitate the development of quality housing that is affordable to lower and moderate-income households, support innovative public, private and non-profit partnerships efforts for the development of affordable housing, assess the social service needs of the community and provide a wide variety of social service programs to City residents, and identify vacant and/or underutilized parcels in the City, that can accommodate a variety of housing types for all socioeconomic segments of the community. The Project increases the supply of higher-density multi-family units in the City and helps meet the City's share of regional housing needs for low-income families. The Project carefully considered the character of the surrounding neighborhood and incorporated it into the project through its Craftsman architectural style, integration with existing pedestrian passes, and a reduction of building heights along Adams Ave and the shared property line with the Amber Walk community. The Project maintains an innovative public-private partnership between the applicant, a nonprofit developer, National Community Renaissance of California, the Housing Authority, and the Boys & Girls Club of Southwest County to meet the affordable housing needs and provide a variety of services to residents in the City of Murrieta on a currently vacant and underutilized site in the City.

The Project proposes high density (30 dwelling units per acre) to address the City's share of regional housing needs, the multi-family buildings are designed to provide a residential appearance and blends with the existing single family and multi-family residences surrounding the site in terms of gabled roofs covering each of the entire buildings with varied roof lines, shingle roofing material, stucco exterior and earth tone colors while providing flexibility in parking and setback standards to facilitate quality affordable very-low and low income units. The Project will provide 100% low and very-low affordable housing units to contribute towards regional housing needs. The scale and design of the the highest-density buildings meet the requirements of the Project site and blocking heights are stepped from the adjacent single family homes with the 4-story buildings placed behind the 3rd story with the 4th story concentrated on the interior of the Project site. The Project is consistent with the State's and the City's goals to Affirmatively Further Fair Housing as the project is located in what is physically suitable for the type and density/intensity of the development and are being proposed.

The proposed multi-family zoning at this location is in compliance with and supports The General Plan's policy LU-1.3 by encouraging "residential land use designations that will provide for a wide range of densities to ensure opportunities for all types of housing" and General Plan policy LU-1.5 "Promote future patterns of development and land use that reduce infrastructure construction costs and make better use of existing and planned public facilities.

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FACTS: The site is located on a major street, freeway; the zones adjacent to and surrounding the site consist of multi-family and single family residential. The site is located adjacent to, and will take access from a major street complying with General Plan requirements. The adjacent and future uses identified in the Residential-Multi Family (RMF) zoned properties include general residential uses that would be compatible and would not be negatively impacted with approval of a multi-family residential use at this location.

This has been accomplished as the Project will add multi-family residential at 30 d.u. per acre which will add to the diverse mix of housing types in the area. The Project is an infill site, multi-family residential at 18.30 d.u. per acre housing surrounding the project site. The Project is centralized to maintain the site landscaping throughout the site to the property line, maintain trash receptacles. Attached WQMP source control BMPs, treatment control BMPs, long term WQMP operations and maintenance, education guidelines for "Maintaining Your Swimming Pool, Jacuzzi, and Garden Fountain, Outdoor Cleaning Activities and Professional Mobile Service Providers" and "Are the Weeds", maintenance of the landscape project frontage within the right of way, graffiti removal, exterior lighting maintenance, participation in the same free hazardous waste disposal events, and other regulatory requirements for development projects that are located near transit routes. The Project is located a block and a half away (1,000 feet) from the Downtown Commercial District, and a half mile from the Murrieta Town Center on Ivy Street. The Project is within a short walking distance (approximately 1,077 feet) to Murrieta Elementary School and Town Square Park (open space). The Project is located approximately 1 mile from Murrieta Elementary School and Town Square Park (open space). The Project site is surrounded by multi-family residential zoning to the north, east, and west of the site with existing single family homes, multiplexes, and townhomes. Adjacent to the Project site are commercial and industrial businesses are located.

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2. The site is physically suitable for the type or density of development proposed.

FACTS: The site is physically suitable for the type and density of development and is compatible to the surrounding properties. The property is surrounded by residential single-family small lot residential development and multi-family 30 dwelling unit per acre sites. The parcel is adequate in size to accommodate the proposed multi-family residential development while complying with or exceeding the City's development standards. The other uses adjacent to the proposed subdivision are existing residential development. The project site is not located within the Wild Land Fire Hazard Area.

3. The design of the subdivision and type of improvements are unlikely to cause substantial environmental damage or substantially and broadly injure fish or wildlife or their habitat.

FACTS: An Initial Study was prepared for the project in accordance with the California Environmental Quality Act, Public Resources Code Section 21000 et seq., and California Code of Regulations, Title 14, Section 15000 et seq. ("CEQA") which determined that a Mitigated Negative Declaration could be adopted for the Project. The Initial Study did not identify any potentially significant environmental effects that could not be mitigated to a less than significant level. The Mitigated Negative Declaration was circulated for 30-day public review and comment period in compliance with CEQA. The project site is not listed on any hazardous waste site listings. Mitigation Measures were provided that address impacts to aesthetics, biological resources, cultural resources and tribal cultural resources, geologyseals, and noise to reduce the impacts to a less than significant level. Any future development at the site shall be subject to the mitigation measures as provided in the adopted Project Mitigation Monitoring & Reporting Program.

4. The design of the subdivision and the types of improvements would not conflict with easements, acquired by the public at large for access through or use of property within the proposed subdivision.

FACTS: The proposed subdivision is conditioned to establish a two driveway access easements, and utility easements for the proposed development. The improvements are constructed through the Tentative Parcel Map. The proposed subdivision will not impact any easements or any other use of the property.

rrm design group

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NOT FOR CONSTRUCTION

NATIONAL COMMUNITY CORE RENAISSANCE

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA

24960 ADAMS AVE, MURRIETA CA 92562

CONDITIONS OF APPROVAL

NO.	REVISION	DATE
1		
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5		
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7		

PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET G-301

INITIAL B&S SUBMITTAL

11/08/2022 11:57:42 AM
J:\RRM DES

6. The proposed Tentative Parcel Map is consistent with the Murrieta Municipal Code and the Subdivision Map Act and complies with all applicable requirements of state law and local ordinances.

FACTS: The proposed Tentative Parcel Map is consistent with the Murrieta Municipal Code, State Density Bonus Law (Sections 65915-65918) and the Subdivision Map Act and complies with all applicable requirements of state law and local ordinances. The proposed 8.22 acre site proposes to be subdivided into three parcels and is consistent with the City's development requirements for residential parcels in terms of minimum lot size (State Density Bonus Law Section 65915-65918) and access. All the parcels have access to the public street through a shared access easement driveway design. The tentative parcel map includes the dedication of access easements to ensure public and utility access to all the parcels.

7. The proposed use is in compliance with the provisions of the California Environmental Quality Act.

FACTS: An Initial Study was prepared for the project in accordance with the California Environmental Quality Act, Public Resources Code Section 21000 et seq., and California Code of Regulations, Title 14, Section 15000 et seq. ("CEQA") which determined that a Mitigated Negative Declaration could be adopted for the Project. The Initial Study did not identify any potentially significant environmental effects that could not be mitigated to a less-than significant level. The Mitigated Negative Declaration was circulated for a 30-day public review and comment period in compliance with CEQA. The project site is not listed on any hazardous waste site listings. Mitigation Measures were provided that address impacts to aesthetics, biological resources; cultural resources and tribal cultural resources; geology/soils; and noise to reduce the impacts to a less than significant level. Any future development on the site shall be subject to the mitigation measures as provided in the adopted Project Mitigation Monitoring & Reporting Program.

SECTION 4

In accordance with Section 16.20.070 of the Development Code of the Murrieta Municipal Code and the State Density Bonus Law and based upon the facts and statements of the public and City staff and with all of the information contained in the administrative record, including the Applicant's Density Bonus Report, the City Council makes the following findings:

FACTS: The Applicant's Density Bonus Report and the Agenda Report provide adequate justification and support for the requested concessions and waivers in accordance with the requirements of the State Density Bonus Law and the Murrieta Municipal Code.

SECTION 5

PASSED, APPROVED AND ADOPTED THIS 7th DAY OF JUNE, 2022

CONDITIONS OF APPROVAL
DEVELOPMENT PLAN (DP) 2021-2311 TENTATIVE PARCEL MAP (TPM)-2021-2326
JANUARY 12, 2022

EXHIBIT A

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24960 ADAMS AVE, MURRIETA CA 92562
CONDITIONS OF APPROVAL

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY / CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-302

INITIAL B&S SUBMITTAL

ordinance. In the event these fees have been previously paid, the Permittee/Owner to provide proof of payment. Said fees may include, but are also not limited to, the following:

- Riverside County Area Drainage Fee
- Kangaroo Rat Fee
- Multiple Species Habitat Conservation Plan (MSHCP) Fee

117. Obtain written clearances as deemed necessary by the Engineering Department, from the following agencies/divisions/departments:
   a Planning Division
   b Community Services Department
   c Building & Safety Division
   d Fire Department
   e Landscape (Architecture – Planning Division)
   f Sewer and Water District(s)
   g Utility Companies
   h Gas Company
   i Southern California Edison Company (obtain non-interference letter)

113. The Permittee/Owner shall submit a Grading Plan prepared by a registered Civil Engineer in accordance with City standards. The plan shall incorporate grading information along with Erosion & Sediment Control Measures, as well as, Low Impact Development (LID), Source Control Best Management Practices (BMP's), and, as applicable, Pollutant Control BMP's, and Hydromodification.

112. Prior to commencement of any clearing and/or grading in excess of 50 cubic yards, vertical cut of 2 feet or more, or paving in excess of 3,000 square feet, the Permittee/Owner shall obtain a grading permit, unless the Permittee/Owner submits verification of exemption per MMC 16.03.040.

120. A comprehensive geotechnical report shall be prepared by a registered geotechnical engineer and submitted to the engineering department as part of the initial grading plan check.

   a The report shall address in-situ soils conditions; identify any geotechnical hazards for the site; provide recommendations for the construction of engineered structures, preliminary pavement sections, and slope stability; as well as identify faults that may affect the proposed project and mention building setback requirements, if applicable.

   b All mitigation/remedial measures identified in the report shall be incorporated into the project design. If located in a Geologic Special Study Zone, the report may, at the discretion of the City Engineer, be subject to a third party review. If third party review is required, the Permittee/Owner must submit an application and schedule to have any open trenches inspected by a city-approved third party reviewing consultant.

121. If project is determined to be a "Priority Development Project" and infiltration is proposed, an infiltration analysis shall be prepared by a geotechnical engineer, civil engineer, certified engineering geologist or certified hydrogeologist. See Section 1.8 – Final Report of the Riverside County Low Impact Development BMP Design Handbook, as a guide for preparing the analysis.

   a Infiltration testing requirements shall adhere to Appendix A – Infiltration Testing of the Riverside County Low Impact Development BMP Design Handbook (e.g. Table 1 Infiltration Testing Requirements).

   b A note shall be added on the grading plan identifying the infiltration rates used in the WQMP. If BMP locations differ laterally and/or vertically, then the WQMP additional infiltration tests may be required to be conducted and submitted for review and approval by the City.

122. The Permittee/Owner shall obtain and provide the City with a non-interference letter from Edison prior to grading plan approval. Permittee/Owner shall submit directly to SCE, Real Estate Service (2 Innovation Way, Pomona, CA 91768, (909) 274-1681).

123. If dirt or construction debris is to be transported into, or off, the site, a haul permit will be required as part of the grading permit process. Both import and export locations must be identified also. If so, submit a proposed haul route plan and comply with all conditions and requirements the City Engineer may impose to the hauling operation.

124. Grades of Entrances, Parking Spaces, Driveways, etc. shall conform to Development Code 18.24.070.

125. The cross slope of the sidewalk in the public right-of-way shall not exceed two percent unless otherwise approved by the City Engineer.

126. If blasting of rock is required, a blasting permit will be required as part of the grading permit process. A blasting permit shall be obtained through the Riverside County Sheriff's Department. Notification shall also be provided to the City of Murrieta Police and Fire Departments prior to blasting.

127. If any water wells are found onsite, the wells shall be identified on the grading plan (e.g., if inoperable…to be abandoned, if operable…to be protected in place, etc.). If to be protected in place, easements may apply. Additionally, if to be abandoned, they shall be abandoned in a manner approved by the State Department of Water Resources and Riverside County Health Department. Confirmation of abandonment procedures shall be provided to the City.

128. Construction fencing shall be placed so as not to interfere with sight distance and comply with City Std. No. 214.

Sewer & Water:

129. In the event any wells are identified on the project property, all wells shall be destroyed on an acceptable method/format.

130. Verify capacity of proposed sewer and water systems and provide approval from the Health Department or the governing Sewer and Water District that the proposed sewer and water system is compliant with the District's master plan.

131. The Permittee/Owner shall design and guarantee the construction of all sewer and water improvements necessary to serve the project. Private sewer facilities are not allowed in the public right-of-way unless otherwise approved by the City Engineer.

Utilities:

132. The Permittee/Owner shall install all existing and proposed utility systems underground, including electric lines 32kv and lower, telephone, and cable TV, and designed and constructed in accordance with City Codes and the utility provider. If there are any electric lines 32kv and higher, then those poles/lines shall not be required to be underground. All applicable replacement/relocation shall also be coordinated with the building department and engineering department for review of proposed locations. Easements shall be provided as required.

133. Above ground Edison transformers shall be located behind the right-of-way line. If necessary, retaining walls shall also be located behind the right-of-way and limited to maximum five feet in height. Safety railing is required for retaining wall heights above thirty inches.

134. Permittee/Owner shall install all dry and wet utilities prior to the placement of final cap or lift of asphalt pavement to meet street improvements from being marred by base cuts, and trenches, equipment, etc.

Drainage Study & Water Quality Management Plan (WQMP):

135. Ensure the Drainage Study and WQMP measures address any proposed commingled flows from adjacent properties, unless procedures are incorporated to otherwise convey and properly dispose of the flows without commingling.

136. The Permittee/Owner shall provide storm drain improvement plans prepared by a registered Civil Engineer in accordance with City standards and approved by the Engineering Department. All onsite storm drain systems shall be properly owned and maintained. Private storm drain systems may connect to public storm drain facilities by installing downstream excluded impervious adjacent lot, and within the public right-of-way.

137. Alteration to the existing drainage pattern, including concentration or diversion of flows are not allowed unless the Permittee/Owner obtains permission and/or agreements from the affected property owners. This may involve, but is not limited to, obtaining notarized/recorded letters of permission and/or agreements, securing drainage easements and/or ponding easements, constructing drainage/storage improvements and providing a maintenance mechanism for private drainage facilities.

138. The Permittee/Owner shall be responsible for mitigating impacts created by changes in drainage runoff course, velocity, hydro-modification, concentration or quantity to the satisfaction of the City Engineer for both on-site and off-site drainage.

139. Accept and properly dispose of all offsite drainage flowing onto and/or through the site.

140. If possible, all drainage shall be conveyed onto public property. Cross lot drainage will not be allowed. Where unavoidable, proper permissions, agreements, and easements shall be obtained by the Permittee/Owner.

141. City maintained drainage facilities located outside of city right-of-way shall be accompanied with proper public drainage easements to be reviewed and approved by the City, and recorded on a city-approved format.

142. The Permittee/Owner shall submit, for City review and approval, a mechanism ensuring ongoing long-term maintenance of all post-construction Best Management Practices (BMPs).

143. A hydrologic and hydraulic study prepared by a registered Civil Engineer which identifies storm water runoff quantities from the site and upstream of the site. The study shall show all existing or proposed offsite public or private drainage facilities intended to discharge this runoff. The study shall include a capacity analysis verifying the adequacy of the drainage facilities. Runoff from the development or partial phases of development of the property shall meet the following criteria:

   A Permittee/Owner shall be responsible for mitigating impacts created to changes in drainage runoff course or quantity, for both onsite and off-site drainage, to the satisfaction of the City Engineer.

   B Do not significantly exceed the existing natural discharge quantities.

   C Street storm flows shall not exceed top of curb for the 10-year storm event.

   D Must contain storm flows within the street right-of-way for the 100-year event.

   E All inlets, outlets, pipes, channels, basins, etc. must be capable of conveying the 100-year storm.

   F Burn conditions shall be designed to convey the 100-year storm flows and secondary emergency escape shall also be provided.

   G If the project discharges/connects to an off site detention basin, provide permission to discharge and correspondence from the owner of basin or system. Off-site detention basins require a Declaration of Dedication. All detention measures shall have low-flow drainage with a minimum 48-hr drain-down time and be empty within 72 hours. Standing water is not permitted.

   H Detention for projects that are 10 acres or greater shall analyze for the 1, 3, 6 and 24-hour duration for the 2, 5, and 10-year frequency storms.

144. Water Quality Improvement Plans (WQIP) shall be integrated with the grading plans and included as part of the grading plans. Prior to final approval of the grading plans, the grading plans shall be in substantial conformance with the Project-Specific WQMP.

145. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to the City for approval with the grading plan check application and approved by the Engineering Department prior to issuance of a grading permit. The WQMP shall be prepared by a registered Civil Engineer, and include, but not be limited to, the following:

   a. The Permittee/Owner, assigns, or heirs shall allow the City to enter the premises to conduct periodic inspections to ensure that the WQMP is being implemented, maintained, and to review the inspection and maintenance records.

   b Prepare a hydromodification analysis utilizing continuous simulation of the geomorphically significant flows starting at 10% of the 2-year runoff and up to the 10-year runoff (99th percentile Design Capture Volume (DCV)). The analysis must have a maximum interval of hour, or 15-minutes, and consider a minimum of 37 years of data.

   c. The 85th percentile DCV of onsite drainage shall be routed on site in accordance with the current NPDES MS4 Permit and the City's latest Water Quality Management Plan. The drainage shall be routed onsite prior to entering public right-of-way.

   d. When continuous simulation is prepared, and acceptable, the analysis may be used in lieu of the 1, 3, 6 and 24-hour duration for the 2, 5, and 10-year frequency storms.

   e The WQMP shall incorporate, but not be limited to, the following:
      (1) Site design BMP's.
      (2) Source control BMP's.
      (3) Pollutant control BMP's
      (4) Hydromodification
      (5) The WQMP shall identify affected and impaired receiving water bodies, applicable water-quality standards and pollutants of concern, total maximum daily loads (TMDL's), pollutants of concern for the project type, and estimates for post-construction discharge rates (with all BMP's in place) and demonstrate that the project pollutant loads not be treated in accordance with the most current NPDES MS4 permit and will not cause or contribute to an exceedance of water quality standards. The analysis must demonstrate that the water quality pollutants associated to be generated by the project not cause the benefit of downstream impaired water bodies listed by the SWRCB 303(d) to a medium removal efficiency or better for the pollutants of concern.
      (6) Long term operation and maintenance requirements, inspection and maintenance checklist.
      (7) Record a restrictive covenant to ensure operation, maintenance, funding, and transfer of requirements.
      (8) The post-construction best management practices (BMPs) outlines in the approved Final project-specific WQMP shall be incorporated in the grading/improvement plans.

   f A Water Quality Maintenance Agreement shall be recorded with the Riverside County Recorder and proof of the recordation shall be provided to the City. The agreement shall include easements of water quality/hydro-modification facilities and operations & maintenance.

   g A copy of the Final Project-Specific WQMP shall be kept onsite at all times. The Permittee/Owner shall make the occupants, tenants, staff, employees, and contractors aware of this document and educate them on the contents.

146. The project shall demonstrate infiltration abilities by conducting the percolation tests taken at locations of proposed infiltration/bioretention BMPs. Proposed BMPs shall be per the guidelines of the City of Murrieta's 2019 Santa Margarita Region Water Quality Management Plan and the most current order under the National Pollutant Discharge Elimination System (NPDES) Permit

related water section 2 of the Federal Clean Water Act. The most current order shall be incorporated, as applicable.

147. The grading plan shall add a note to confirm the infiltration rates coincide with the rates used in the Water Quality Management Plan. If BMPs are located in areas and depths different than those originally obtained, new infiltration testing may be required and BMP designs may be impacted.

148. It is the responsibility of the Permittee/Owner to ensure all applicable BMPs are correctly utilized as referenced in the California Stormwater Quality Association (CASQA) BMP Fact Sheet, and all maintenance measures implemented.

149. As a residential area development, the Permittee/Owner shall ensure that minimum residential BMPs are being implemented. Such BMPs should address, at minimum: automobile repair maintenance and washing and parking; home and garden care activities and product use (pesticides, herbicides and fertilizers), and disposal of trash, pet waste, green waste, and household hazardous waste. The Permittee/Owner shall reference the following brochures and California Stormwater Quality Association (CASQA) BMP Fact Sheets:

Brochures:
   a Automotive Maintenance and Car Care Brochure
   b Landscape and Garden
   c 10 Ways to Save Water Outdoors
   d After the Storm
   e What's the Scoop
   f Landscape and Garden
   g Pools, Spas and Fountains

CASQA BMP Fact Sheets:
   h SC-20 – Vehicle and Equipment Fueling
   i SC-21 – Vehicle and Equipment Cleaning
   j SC-22 – Vehicle and Equipment Repair
   k SC-43 – Parking / Storage Area Maintenance
   l SC-73 – Landscape Maintenance
   m SD-10 – Site Design and Landscape Planning
   n SD-12 – Efficient Irrigation

150. All storm drain assessment vertins shall adhere to Riverside County's storm drain assessment with chart and have a max cross slope of 5%.

SWPPP:

151. An adequate Storm Water Pollution Plan (SWPPP) shall be available to State and City inspectors at the job site prior to commencing construction. The Permittee/Owner shall be responsible for implementation, monitoring, operation and maintenance of the SWPPP until all construction is completed and improvements have been accepted by the City.

152. This document must minimize the disturbed area, label the total disturbed area, and identify equipment and material storage areas.

153. All grading activities shall minimize dust through compliance with AQMD Rule 403, which requires watering during earth moving operations.

154. All open or undeveloped land shall be maintained to prevent windwater erosion of said land. All disturbed undeveloped land shall be planted with interim landscaping or stabilized with other erosion control measures.

155. The Permittee/Owner shall design and install the irrigation system so runoff does not discharge into the street or storm drain inlets.

156. Grading during the rain season should identify additional BMP's for rain events that may occur as necessary for compliance with the Santa Margarita Region MS4 Permit. This document must minimize the disturbed area, label the maximum disturbed area, and identify equipment and material storage areas.

157. Erosion and sediment control details shall be submitted on the grading plans to the City's Engineering Division for review and approval. The details shall conform to City standards, notes and ordinances, and the current State Water Resources Control Board (SWRCB) General Construction Permit (GCP), as applicable. The details shall include landscaping and irrigation systems on exposed slopes to achieve the General Construction Permit required coverage criteria, and for acceptance by the City's Engineering Department.

Final Map:

158. The Permittee/Owner shall submit a final map prepared in accordance to the City of Murrieta Development Code and California Subdivision Map Act. The final map shall be prepared by a licensed land surveyor or registered/licensed civil engineer.

159. Approval and recordation of the final map shall occur with the time of approval of, but not limited to, the improvement plans, easements, and agreements, unless other timing is indicated. The final map may include "Improvement Notes" requiring improvements prior to city-specified benchmarks (e.g., any permit issuance).

160. Prior to approval of Final Map, the Permittee/Owner shall submit an application and pay a fee for the City administration to reapportion any existing assessment district liens. The fee proposal

from Willdan Financial Services includes a base amount and per parcel charge so the total amount will vary depending on number of parcels.

163. Easements, when required for roadways, slopes, landscape easements, drainage facilities, utilities, etc., both onsite and offsite shall be shown on the final map. All offers of dedication and conveyance shall be submitted for review and approval, and recorded as directed by the Engineering Department. Onsite public drainage facilities located outside of road right-of-way shall be contained within private drainage easements as determined to be necessary. A note shall be added on the final map stating, "Drainage easements shall be kept free of buildings and obstructions." The Permittee/Owner shall incur all costs associated with the formation of a suitable maintenance district for all associated slope, drainage, and landscape easements, including access.

164. All easements and/or right-of-way dedications shall be offered via an Irrevocable Offer of Dedication to the City or other appropriate agency and shall continue in force until the City or other agency accepts or abandons/rejects such offer(s). All dedications shall be free from all encumbrances as approved by the Engineering Department.

165. Reciprocal and/or waiver vehicle's right of access to and from Adams Ave excepting those areas as shown on the approved tentative map.

166. All existing street and property monuments within or abutting the project site shall be preserved. If such monuments are damaged or dislocated, the Permittee/Owner shall retain a licensed land surveyor or a qualified registered civil engineer to reset those monuments per City Standards and file the necessary information with the County Recorder's office as required by California Business and Professions Code Section 8771. If damaged, existing monuments that are no longer needed or do not have to be replaced, subject to approval by the City Engineer.

167. Provide the required number of hard copies and one electronic copy of the final map. The electronic copy shall be in an AutoCAD and PDF format to the satisfaction of the City's GIS Department.

168. Prepare and record an Owner's statement acceptable to the City Engineer with a note to the effect that the property owner is responsible for the maintenance of the parkway lighting, landscaping and irrigation. Any work within the public right-of-way will require an encroachment permit.

PRIOR TO ISSUANCE OF BUILDING PERMITS

169. All easements, easements of improvements, offsite construction, and dedication for required rights-of-way shall be approved by the Engineering Department.

170. The building pad shall be certified by a registered Civil Engineer for location and elevation. Additionally, the State Engineer shall issue a Final Soils Report addressing compaction and site conditions.

171. The Permittee/Owner shall pay to the City all applicable Development Impact Fees as required by, and in accordance with, City Ordinances 1#9.98, Resolution No. 98-2107 and Resolution No 16-3602.

172. The Permittee/Owner shall pay to the City the Western Riverside County Transportation Uniform Mitigation Fee (TUMF) based on the applicable rates at time of permit.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

173. Final grading of the subject property shall be completed in accordance with the California Building Code, the approved grading plan, the conditions of the grading permit, and City Standards. Where applicable, construction walls, fencing, and retaining walls shall be constructed per the approved plans and City standards to the satisfaction of the City Engineer.

174. All improvements, required by the Engineering Department, shall be constructed and completed per the approved plans and City standards to the satisfaction of the City Engineer.

175. All sewer and water improvements shall be completed and completed in accordance with the Sewer and Water District standards.

176. Final Map shall have been recorded, accepted by County, and a copy provided to the City Engineer.

177. All existing and proposed utility lines have been underground, and/or assessments provided, as necessary.

178. Demonstrate that all pavement cannot BMP's prescribed in the Final project-specific WQMP have been constructed and installed in accordance with the approved plans and specifications and the Permittee/Owner is prepared to implement all BMP's described in the approved Final project-specific WQMP.

179. The Permittee/Owner shall prepare and provide an as-built project specific Final WQMP (updated to include any changes made during construction) and demonstrate that an adequate number of copies are available for the future owners / occupants.

180. The Permittee/Owner shall demonstrate that the irrigation controller and heads are set so irrigation runoff does not enter the street or storm drain systems.

181. The Permittee/Owner shall provide one set of Mylars, scanned copy, and electronic copy of "As-Built" drawings of the grading and improvement plans. The electronic copy shall be in an AutoCAD format to the satisfaction of the City's GIS Department. Coordinate system shall be NAD 1983, State plane California Zone VI FIPS 0406 Feet. Also provide electronic copies (thumb drive) of the approved WQMP, Hydrology/Hydraulic Report, Final Geotechnical Report, and any other applicable documents. Said Electronic copies shall be in a Word-doc, PDF format, or other acceptable Microsoft formats.

182. Obtain written clearance, as deemed necessary by the Engineering Department, from the following agencies/divisions/departments:
   a Planning Division
   b Engineering Department
   c Building & Safety Division
   d Fire Department
   e Landscape (Architecture – Planning Division)
   f Community Services Department

   g Sewer and Water District(s)
   h Utility Companies

BUILDING AND SAFETY DIVISION

General:

183. All construction shall comply with the current California Building Codes (CBC), and related Codes and Ordinances of the City of Murrieta. Four (4) sets of plans shall be submitted for a building, trash enclosure and exterior site improvements, and shall include building data, building construction, construction type, occupancy, fire sprinkler, fire area and related building means of egress and ensuring egress discharge to the public right-of-way.

184. Architectural site and private and design shall contain and details shall comply with accessibility standards of the State of California, and the Green Building Standards Code for access to "future" charging equipment from the required 12 ft. wide van accessible Electric Vehicle Charging Station (EVCS) with NO (ISA) International Symbol of Accessibility printed per the current Title 24 California Building Code. Federal ADA regulations are the responsibility of the property owner.

185. 5% development regarding parking layout of CLEAN AIR/VANPOOL/EV (CAV) parking spaces and Electrical Vehicle Charging Stations (EVCS) shall comply with the current California Green Building Standards Code and the Department of the State Architects (DSA) office.

186. Construction plan submittals shall be prepared to the current California Green Building Standards Code, wherein provisions for means of achieving material conservation and resource efficiency through construction waste reduction of at least 50% recycling and/or salvage for reuse, diversion, and employment of methods to reduce pollution through recycling of materials.

187. Any proposed exterior lighting shall be shown on building permit plans and shall comply with the City of Murrieta's MMC Sec.16.18.110. Mt. Palomar Lighting Pollution Control Standards and/or equal. Limits for LED lighting is 3000k Color and 4000 lumens per fixture.

188. Separate permits shall be obtained from the City of Murrieta Building & Safety
   a Departments for individual structures and supplementary (e.g., construction trailer(s), parking lot lighting, trash enclosures, monument walls, retaining walls, monument signs, building and monument wall signs, temporary power etc. Temporary power and temporary swing shall comply with the current California Electrical Code.

189. Plans submitted during the permitting process, including but not limited to, site plan, precise grade plans and building architectural features, shall not vary substantially from plans previously reviewed and approved by the Planning, Engineering or other City Departments, without prior authorization from the City Planner, City Engineer and/or Director of Building and Safety.

190. Detectable warnings shall be cast in place and comply with the following:
   A) Detectable warning surfaces shall be yellow and approximate FS 33538 of SAE AMS-STD-595A (CBC 11B-705.1.1.3.1)

191. A pre-construction conference shall be scheduled with the assigned Building Safety Division city

Inspector of Record and pad certification and compaction test results are provided, prior to commencement of construction.

Building Permit Application:

192. Four (4) sets of building construction plans shall be submitted, including two sets of supplemental current soil report, structural calculations, energy calculations etc.

193. Plans submitted for building construction shall contain a full size copy of the Final Approved set of city departments Conditions of Approval.

194. Two sets of signed soil reports shall be submitted and complete with building foundation design by reference. The report shall be from an individual licensed by the state to prepare such report, including compaction test results and verification of satisfactory placement of any fill material used to support the foundation of any building or structure, in accordance with accepted engineering practice or, as recommended in any engineering geology preliminary report for any engineered grading design.

195. Submit a construction waste management plan for diversion of materials, including the following:
   a. Identify the materials to be diverted from disposal by efficient usage, recycling, reuse on the project, or salvage for future use or sale
   b. Determine if materials will be sorted on-site or mixed
   c. Identify diversion facilities where material collected will be taken
   d. Specify that the amount of materials diverted shall be calculated by weight or volume, but not by both.
   e. If applicable, provide a C & D letter for Construction Waste Diversion from the Waste Management Co.

196. Green Building checklist shall be incorporated into the plans with all applicable sections noted.

Prior to Permit Issuance:

197. A Waste Management Plan (Building Form DS-133), which may include a C & D letter from the Waste Management Company for the recycling, reuse and diversion of construction waste materials from landfills is required prior to the permit issuance.

198. The local sewer/water districts shall be contacted to verify sewer/water service and connections. The proponent will provide verification from those districts for "Will Serve" to the City of Murrieta Building & Safety Division, prior to permit issuance.

199. All applicable fees and forms shall be paid. This may include TUMF, Schools, DIF, etc.

200. Verification of an approved, issued, stamped and signed by the City of Murrieta Engineer, grading plan.

Prior to Building Final:

201. Final permit approvals shall be obtained, and any outstanding fees shall be paid to all City Departments which may include Fire, Planning, Engineering, Building & Safety, and the City Landscape Architect prior to the issuance of a Certificate of Occupancy from the City of Murrieta Building and Safety Division.

COMMUNITY SERVICES DEPARTMENT

202. The applicant shall have in place an Association and/or Property Management to maintain all common areas, irrigation and landscape along the roadways. No areas will be maintained by the City of Murrieta, Community Services District.

POLICE DEPARTMENT

General Conditions:

203. The petitioner(s) shall be responsible for maintaining free of litter the area adjacent to the premises over which they have control.

204. Graffiti shall be removed from the exterior walls and windows of the premises within 24 hours of discovery at the expense of the owner or property manager.

205. Block Walls: All exterior perimeter block walls shall have landscaping in front of the wall (i.e. shrubbery, vines, etc.) which conforms to the existing development standards and will aid in the deterrence of graffiti and similar vandalism to the satisfaction of the Chief of Police or his/her designee.

206. Fencing: All exterior fencing on the property shall be open-style, meaning the fencing must have the ability for objects and persons can be visible from the opposite side of the fencing.

207. Lighting: Install adequate lighting in all areas and especially areas that all building numbers are well illuminated and visible from the street and parking areas. All condominium/apartment dwelling units shall have porch lights that are not controlled by the resident. Porch lights must use "white light" to illuminate entry and are panel of vehicles to view vehicle colors in a true light.

208. Building Numbering: The number of each independently addressed building on the property must be visible from 100 feet and legible (size: 12 inches in height and a contrasting color from the building) and appropriately placed to be clearly seen by emergency responders.

209. Roof Address Numbering: The number of each independently addressed building on the property shall be marked with a reflective material (vinyl or paint), or in a color that contrasts the color of the roofing material. The lettering must be at least 24 inches in height so that the address can be viewed from the sky and is on the flat portion of the roof of the building and does not negatively impact the aesthetics of the project. The lettering must be positioned so that the address faces the direction of the corresponding street for which the address is assigned.

210. Dwelling Unit Numbering: Each dwelling unit within a building shall be separately numbered and clearly visible from 60 feet. Numbers must be large enough (at least 6 inches in height) and in a contrasting color from the building) and appropriately placed to be clearly seen by

emergency responders from a vehicle from the parking lot or street. Dwelling unit numbers must be posted so they can be seen from the front of the building.

211. Parking spaces: Each tenant parking space shall be clearly marked by a numbering and/or lettering sequence and must not correspond to the dwelling unit number.

Minimum Security Requirements:

212. Dead bolts on all entry doors.

213. 180-190 degree eye viewers on entry doors.

214. Anti-Nuisance devices on sliding doors and windows.

215. 2"-3" screws in screw plates.

216. Proper trimming of trees and bushes.

217. Adequate security lighting.

218. Participation in CPTED program; Multi-Family Management or Home Owner Associations must participate with the Murrieta Police Department's Crime Free Multi-Housing program and adhere to the standards of the program and implement any and all technological upgrades as required by the Chief of Police, or his/her designee.

SURVEILLANCE:

Prior to Building Pad Final

219. Video Surveillance System plans must be submitted to the Police Chief or his/her designee for approval. The plans shall include the technological capabilities of the surveillance system and a project map indicating the intended placement of surveillance cameras for the project, how video records are to be maintained and how they can be accessed by law enforcement.

Prior to Occupancy

220. Video: Each multi-housing complex must install a video surveillance system capable of day and night viewing which provides clear images of all vehicle entry and exit points. Video surveillance records must be maintained by the management or home owner association for at least thirty (30) days and made available to any law enforcement agency for viewing and copying upon request (in 1) business day.

FIRE DEPARTMENT

221. Refer to attached conditions prepared by Christopher P. Jensen dated 11-13-21

RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

222. Refer to the attached conditions from Riverside County Flood Control and Water Conservation District prepared by Deborah De Chambeau dated 3-18-21.

END CONDITIONS

Murrieta Fire & Rescue
41625 Juniper Street • Murrieta, CA 92562
(951) 304 3430 Office • (951) 677 8778 Fax

11/17/2021

City of Murrieta
A. Kantamneni, Associate Planner

☐ Special Reports/Comments required
☒ Draft Conditions of Approval
☐ Final Conditions of Approval

Reference Number: DP-2021-2311 TPM-2021-2326 24960 Adams Avenue

The following conditions have been applied to the above reference project pursuant to Murrieta Fire & Rescue's adopted codes and ordinances, the 2019 California Fire Code and applicable rules, regulations and standards. Conditions must be complied with prior to issuance of any permit and shall be immediate, permanent, inspected, tested and approved in accordance with the requirements set forth.

Required	Not Required	Comments and Requirements
☐	☒	Special Reports or Comments - Prior to final conditions.

☐ Draft Conditions ☒ Final Conditions

PRIOR TO MAP

Required	Not Required	Conditions
☐	☒	All roads used with for fire apparatus in Planned Residential Developments is □-24 ft. □ 28 ft. □ ___ ft. If no parking is allowed, 32 feet if parking allowed on one side and 40 feet if parking is allowed on both sides. The applicant shall provide an easement for the fire lane on the appropriate tract map
☐	☒	The applicant submits documents to CC&Rs for review and approval by the Community Development Grant Department, Engineering Division and Fire Department. The documents or CC&Rs shall be amended consistently with the final map, and shall provide for the following: 4. The maintenance of the required fire lane, with no obstructions, within an area that is a minimum of □ 24 ft. □ 28 ft. □ 32 ft. □ ___ ft. wide and 13 ft 6 in height. Smog valve fire apparatus roads, towers, hydrantes, and turnaround hammerhead and/or any other emergency access within the development shall be maintained accessible and usable by emergency vehicles. Usable conditions include but are not limited to the following: 1. An all-weather road surface shall be maintained, first lift of asphalt minimum. 2. Road shall support imposed loads of fire apparatus of 75,000 pounds.

Page 3 of 8

NOT FOR CONSTRUCTION

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NATIONAL COMMUNITY CORE RENAISSANCE

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Tel: 949.394.7996 Fax: 909.483.6524
nationalcore.org

CONSULTANT

AGENCY

INITIAL B&S SUBMITTAL

MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
CONDITIONS OF APPROVAL

NO.	REVISION	DATE
1		
2		
3		
4		
5		

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-303

11/09/2022 11:00:54 AM
BIM 360://Murrieta/Murrieta_SITE.rvt

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

		b. No parking fire lane signs shall be required or replaced as needed.
		c. A permanent entry sign with required address numbers shall be provided.
		d. Fire lanes, streets and roads or other areas designated for parking fire lane at time of development shall ensure that at all times of any identification including but not limited to: vehicles, storage, debris, etc.
		e. Fire lanes, streets and roads or other areas designated for parking fire lane at time of development shall ensure that at all times of any identification including but not limited to: vehicles, storage, debris, etc.
		B. The protection and maintenance of fire protection water for the project. These shall not overhang or cross the fire lane or hammerhead turn-around. Areas of all pad sites within our form of any proposed structures, irrigation, other than ground cover, shall not be permitted within two feet of fire protection systems.
		C. Overhangs adjacent to fire hydrants and fire safety features including fire sprinklers, lightless resident construction, smoke and carbon monoxide detectors and fire resistant landscaping shall maintain these features in accordance with state and local codes in use and applicable at the time of construction or installation. These codes include the California Fire Code, California Building Code, California Vehicle Code (fire lane), City of Murrieta Municipal Code and any other applicable codes, standards and law.
☐	☒	Private residential, public residential, commercial and industrial fire access roads shall provide an access roadway with a minimum unobstructed width of ☐ 24 ft. ☐ 26 ft. ☐ 28 ft. ☐ ___ ft. and a minimum 13'6" vertical clearance. Additional width requirements may be required on individual projects as determined by the Fire Marshal. Roadways shall be constructed within one hundred and fifty feet (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turn-around shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by Murrieta Fire & Rescue. Fire Department turn-arounds requirements shall be installed as directed, pursuant to the California Fire Code, Appendix D.
☐	☒	Grades for driveway and fire apparatus surface roads shall not exceed 15%. Fire Department approval and additional conditions are required for grades 12% to 15% maximum. Angle of approach and departure for driveways shall not exceed 7 degrees. Grades exceeding 15% shall be contrete with a deep broom finish perpendicular to the access roadway.
☐	☐	

PRIOR TO ISSUANCE OF A BUILDING OR GRADING PERMIT

Required	Not Required	Condition
☒	☐	A fire protection plan/report, prepared in accordance with a competent listing of EPS sheets, spot use locations, hose lines and, and types of extinguishers. A technical report and summary prepared by an approved consultant shall be submitted for review and approval prior to or as part of the submittal for a building permit. Operational permits may be required and must be applied for prior to certificate occupancy. Application and permits shall be made to Riverside County Environmental Health for Code compliance. Compliance with disclosure and requirements placed on the project by the CUPA shall be complied with prior to certificate of occupancy.
☒	☐	The building has the potential for storage of combustible goods in excess of ☐ 6 ft. ☐ 12 ft. Prudent areas in height, therefore the requirements of high piled combustible storage as defined in Chapter 81 of the California Fire Code. Significant changes to the structure, including but not limited to, smoke and heat vents or mechanical ventilation, draft curtains, special sprinkler heads, upgraded sprinkler systems and hose connection requirements must be anticipated as

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

PRIOR TO CONSTRUCTION

Required	Not Required	Condition
☐	☒	Commercial and industrial buildings shall be constructed with a complete fire sprinkler system compliance with the California Fire Code Chapter 9 should such storage occur. Minimum design criteria for fire sprinkler systems will be: Buildings shall be 3 ft/3000 ft high piled combustible storage is proposed than plans, specifications, and a technical report and report shall be prepared by an approved consultant with the minimum diversity to ensure fire protection requirements. High piled combustible storage requires an annual operational permit pursuant to the California Fire Code with appropriate fees paid prior to issuance.
☐	☒	To determine the availability of technologies, processes, products, facilities, materials and uses attendant to the design, operation or use of a building or premises subject to inspection by the fire code official, the fire code official is authorized to require the owner or permit holder to provide, without charge to the jurisdiction, a technical opinion and report. The opinion and report shall be prepared by a qualified engineer, operating laboratory, or other approved agency acceptable to the fire code official and shall analyze the fire safety properties of design, operation or use of the building or premises and the hazards and safeguards identified therein, to recommend necessary changes. The fire code official is authorized to require design submittals to be prepared by, and bear the stamp of, a registered design professional.
☒	☐	Murrieta Fire & Rescue at time of project submittal will charge certain fees for plan review and inspections. Fees will be determined at time of plan review and/or inspections.
☐	☒	Murrieta Fire & Rescue at time of project submittal will charge certain fees for plan review which will have, at a minimum, annual fees charged. Failure to pay required annual fees will be cause to issue a "Cease and Desist" order.
☒	☐	The project shall comply with the applicable codes and standards of Title 24, Part 1, §1.
☒	☐	The proposed project shall pay all applicable DIF/TUMF fees, pursuant to the City of Murrieta Ordinance 196-06 and as amended from time to time.
☒	☐	Mid-rise buildings (10 or more stories) shall meet the amended requirements of the California Fire Code, Chapter 5, Section 503.
☒	☐	The required fire flow shall be 2,500 GPM for a 2-hour duration at 20 PSI residual operating pressure. Documentation is required from the Water Purveyor verifying that the system is capable of meeting the required fire flow prior to building permit issuance. If the system is not capable of meeting the required fire flow documentation shall be provided showing financial arrangements have been made and water system improvements plans have been submitted and approved by Murrieta Fire & Rescue and the water purveyor to upgrade the existing system prior to issuance of building permits.
☐	☐	

PRIOR TO CONSTRUCTION

Required	Not Required	Condition
☒	☐	Private residential, public residential, commercial and industrial fire access roads shall provide an access roadway with a minimum unobstructed width of ☐ 24 ft. ☐ 26 ft. ☐ 28 ft. ☐ ___ ft. and a minimum 13'6" vertical clearance. Additional width requirements may be required on individual projects as determined by the Fire Marshal.

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

PRIOR TO CONSTRUCTION

Required	Not Required	Condition
☒	☐	Roadways shall be constructed to within one hundred and fifty feet (150) feet of all portions of the exterior walls as measured by an approved path of travel. An approved turn-around shall be provided when the roadway exceeds one hundred and fifty (150) feet as directed by Murrieta Fire & Rescue. Fire Department turn-arounds requirements shall be installed as directed, pursuant to the California Fire Code, Appendix D. Fire Department turn-arounds shall be inspected and approved prior to further work.
☒	☐	All fire apparatus access roads must be maintained unobstructed and drivable by fire apparatus throughout the construction process. Access roadways shall be capable of holding an imposed load of 75,000 pounds in any weather conditions.
☒	☐	Prior to roadway construction, grades for driveway and fire apparatus access roads shall not exceed 15%. Fire Department approval and additional conditions are required for grades 12% to 15% maximum. Angle of approach and departure for driveways shall not exceed 7 degrees. Grades exceeding 12% shall be constructed with a deep broom finish perpendicular to the access roadway.
☒	☐	The development and each phase thereof shall have a minimum of 2 points of ingress and egress for fire and emergency equipment and for ease of safe egress of all users regardless of the cause of an emergency and shall be required as directed by Murrieta Fire & Rescue.
☒	☐	All fire access roads shall comply with the applicable codes and standards of Title 24, Part 1, §1.
☒	☐	Fire Apparatus Access roads (all roads or private) shall be usable (paved), accessible and free of obstacles of flowing required GPM or shall be based accepted by the Fire Dept. prior to assigning any number for construction.
☒	☐	Lighting fixtures, shall be installed in building doors and shall be designated on the Development Site or Plot Plan and shall be marked on the appropriate ground surface. Lighting fixtures shall be installed and maintained in accordance with the California Fire Code.
☒	☐	Building design features (gated fences, bollards, special control gates, etc.) which may interfere or delay emergency apparatus responses shall not be installed or allowed to remain on the emergency access roadways.
☒	☐	Any gate or barrier across a fire access roadway, whether manual or automatic, must meet the Murrieta Fire & Rescue requirements and have specific plans and permits approved prior to installation. Gates serving multi-family, assisted living, educational, industrial, institutional, and other structures must be posted fire and meet UL 325 and ASTM F 2200 standards. Shop brand key operated electric key switch is based on Murrieta Fire & Rescue specifications are required. The knox switch shall override all gate functions and open the gate. Other access control systems, such as Optiscan, are required and must be installed as directed by the Fire Marshal.
☒	☐	Water consumers must gates shall be secured by Murrieta Fire & Rescue. The Developer shall furnish Murrieta Fire & Rescue with three (3) copies of the water improvement plans designed by a Registered Engineer and/or Licensed Contractor. On-site private fire service mains shall have a minimum of eight (8) inch water mains, with no dead ends in loops and rings. Larger pipes may be required to meet required fire flow requirements. Fire hydrants shall provide one 4" port and 2- 2½ ports and must be an approved fire hydrant type. The private fire hydrant system must be approved, installed, tested, and accepted, prior to combustible construction.

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PRIOR TO CONSTRUCTION

Required	Not Required	Condition
☒	☐	Fire hydrant system means that supply two (2) or more fire hydrants shall be tested to provide adequate fire flow.
☒	☐	Buildings that exceed 300,000 square feet, to meet the requirements of the local water purveyor, shall have at least two separate points of connection to a water supply, as approved by Murrieta Fire & Rescue.
☒	☐	The existing fire hydrant system is insufficient to provide the required fire flow. This system is required to be upgraded to meet the required fire flow in identified areas.
☒	☐	Prior to combustible being brought to the site, the developer shall provide written certification from the Water purveyor stating within the last thirty days, that: A. All public fire hydrants or water purveyor connections required of the project have been installed, tested, and approved by the water purveyor, and B. Any improvements connected to the public water main system, and C. Are capable of supplying the required fire flow as required by Murrieta Fire & Rescue.
☐	☒	Groups R-3 and U Occupancies: An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which buildings, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. When any portion of the facility or building hereafter erected or moved into or within a jurisdiction is not within reach of a public street, or access road, or unusable or inoperable during the response time, an approved water supply system around the exterior of the facility or building, on-site fire hydrant system and mains capable of supplying the required flow shall be provided when required by the Fire Code official. The size of the hydrant outlets shall be a minimum of one 4 inch and one 2½ inch NST outlet or greater as required by the Fire Code official.
☒	☐	In multi-family zones and in commercial and industrial zones, fire hydrants, shall be installed at intersections, at the beginning radius of cul-de-sacs, and every 300 feet of fire access roadways regardless of distance. The size of fire hydrant outlets shall be a minimum of one 4 inch and two 2½ inch NST outlet as required by the Fire Code official.
☒	☐	Emergency Water Improvement methods of fire protection are provided, beyond those required by the Code, and approved by the Fire Code official, adjusted spacing of fire hydrants from those set forth above may be considered.
☒	☐	Fire hydrants shall be painted per Murrieta Fire & Rescue and the local water purveyor standards and be protected free of obstructions. Blue reflective raised pavemarkers shall be installed on the pavement at approved locations marking each fire hydrant location.
☒	☐	Public and private water utility mains must provide the level of reliable fire/emergency dependent hydrants for Murrieta Fire & Rescue and the local Water Purveyor Engineer.
☐	☒	If any fire hydrant is taken "OUT OF SERVICE" - Murrieta Fire & Rescue shall be notified immediately and the hydrant marked, bagged, or otherwise identified as OUT OF SERVICE as directed by the fire Marshal.
☒	☐	Buildings on easement shall have additional street number signs at the intersections of the easement and/or the roadway, and additional locations as required by Murrieta Fire & Rescue.
☒	☐	Street signs meeting the minimum criteria of the City's Engineer standards shall be installed at all intersections prior to final occupancy approval. Temporary street signs may be required, during construction, at the discretion of the fire code official.
☐	☒	All Fire-rated materials shall be installed from each building site main slopes less that 15% or a minimum distance of thirty (30) feet from all structures or to the property line, whichever is less.

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

PRIOR TO CONSTRUCTION

Required	Not Required	Condition
☐	☒	A fuel modification or fire protection plan is required. An approved Fire Protection Consultant that specializes in these types of complex plans shall prepare the plan. Plans shall be submitted, reviewed and approved by Murrieta Fire & Rescue prior to issuance of building construction permits.
☐	☒	The minimum fire flow in Fire Flow Zone Severity is 2,500 GPM at 20 PSI for two hours.
☐	☐	

PRIOR TO OCCUPANCY

Required	Not Required	Condition
☒	☐	Fire zone designations shall be required for all fire access roadways as determined by Murrieta Fire & Rescue. Posted signs shall read "FIRE LANE AND PARKING" shall be installed every 50 feet. Curbs shall be painted red and stenciled with white letters indicating the zone on the face and top of any curb as directed by Murrieta Fire & Rescue. All fire lanes shall be marked and identified prior to Certificate of Occupancy.
☒	☐	Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13 Standards for Automatic Fire Sprinkler Systems. Three sets of plans, hydraulic calculations, and water supply flow tests for all occupancies shall be submitted to a State of California Licensed C-16 Contractor for review, approval, and permits issued prior to commencing work.
☒	☐	Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-D Standard for Automatic Fire Sprinkler Systems Single Family Dwelling. Three sets of plans, hydraulic calculations, and material specification's sheets for all occupancies and in the system shall be submitted by a State of California Licensed C-16 Contractor for review, approval, and permits issued prior to commencing work.
☒	☐	Prior to Fire Department clearance for occupancy, an automatic fire sprinkler system shall be installed. The system shall comply with NFPA #13-R Standard for Automatic Fire Sprinkler Systems Multi Family Dwellings. Three sets of plans, hydraulic calculations, and material specification's sheets for all occupancies and in the system shall be submitted by a State of California Licensed C-16 Contractor for review, approval, and permits issued prior to commencing work.
☒	☐	A Class I standpipe system is required. A State of California Licensed C-16 Contractor shall submit three (3) sets of plans, specifications, and hydraulic calculations to the Fire Department for review, approval, and permits, applies to buildings that are 4 stories only.
☒	☐	Prior to Fire Department Clearance for occupancy, and automatic fire alarm system shall be installed. The system shall comply with NFPA #72 standard for Fire Alarm Systems. Three sets of plans, manual specification's sheets for all equipment used in the system and California State Fire Marshal Stamp shall be submitted by a State of California Licensed C-7 and/or C-10 Contractor for review, approval, and permits issued prior to commencing work.

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

PRIOR TO OCCUPANCY

Required	Not Required	Condition
☒	☐	Prior to final inspection or occupancy, fixed portable fire extinguishers are required to be installed as directed by Murrieta Fire & Rescue. Fire Prevention Staff. The size, location, and markings shall be shown on the floor plan of the construction documents. Prior to installation the client is directed to contact a fire inspector to confirm the placement of the fire extinguishers due to field changes with business systems that could conflict with the construction documents.
☐	☒	An automatic smoke or heat system is required. This system shall comply with the California Fire Code, NFPA and all other applicable standards. The applicant shall submit three (3) sets of detailed plans, specifications, and testing reports to Murrieta Fire & Rescue for review, approval and permits issued prior to commencing work.
☐	☒	An automatic smoke or heat ventilation system (Smoke Vent) is required. Roof vents, venting tubes and draft curtains shall be provided in accordance with the California Fire Code, NFPA and or other applicable standards. This information shall be provided in sufficient detail on the building construction drawings and submitted to Murrieta Fire & Rescue for review, approval and permits issued prior to commencing work.
☐	☒	An automatic hood and duct hood fire suppression system is required. A State of California Licensed C-16 Contractor shall submit three (3) sets of detailed plans and specifications to Murrieta Fire & Rescue for review, approval and permits issued prior to commencing work.
☒	☐	Permanent commercial/industrial three-dimensional street numbers, minimum 12 inches in height with a ½ inch stroke, shall be provided on the address side of the building at the highest point and furthest projection of the structure. The address shall be visible from the street and shall not be obstructed in any manner.
☒	☐	Permanent residential three dimensional street numbers, minimum 6 inches in height, shall be provided on the address side of the building at the highest point and furthest projection of the structure. The address shall be visible from the street and shall not be obstructed in any manner.
☒	☐	Permanent Multi-family three-dimensional street numbers, minimum 12 inches in height, shall be provided on all sides of the buildings at the highest point and furthest projection of the structure and coordinated with the inspector prior to installation. The address shall be visible from the street and shall not be obstructed in any manner. Building letter designations shall be a minimum of 12 inches in height and shall be visible as directed by Murrieta Fire & Rescue for case official. Final approved addressing sequence and must be 3 feet in height, installed on a contrasting background, and be durable for the weather conditions in which it is exposed.
☐	☒	Address numbers and suite numbers are required to be installed or painted on the rear of access doors to multiple suite facilities. Numbers or letters shall be a minimum of four (4) inches in height and painted on a contrasting background.
☐	☒	A signed directory (one map) showing Murrieta Fire & Rescue emergency access is required at each entrance to the complex as directed by Murrieta Fire & Rescue. A site plan with all building locations identified by a number or letter, space numbers, fire protection equipment, etc. and shall be reviewed and approved by Murrieta Fire & Rescue prior to installation.
☒	☐	Fire emergency access key box is required at each building, with specific mounting locations approved by Murrieta Fire & Rescue. Required annual key boxes are required. Previous keys for all buildings and areas shall be marked and placed in the box prior to final inspection to ensure emergency access. The building owner/occupants shall provide replacement keys whenever locks are changed.

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PRIOR TO OCCUPANCY

Required	Not Required	Condition
☒	☐	An access gency (required to define coverage plan is required to be submitted, reviewed, approved and permits issued, prior to commencing work. Emergency response radio coverage is required under the requirements of the California Fire Code, Chapter 5, Section 510 and Murrieta Fire & Rescue. Field tests are required prior to final inspection or occupancy.
☒	☐	A fire department operational permit is required for certain specific operations regulated by the California Fire Code. The permit is issued after application has been made to Murrieta Fire & Rescue and full compliance has been achieved for the operation. The fee for the operational permit is charged to the applicant for review and inspection of such permits on an annual basis. Some permits require additional inspections and bears compliance that may require additional fees to be paid periodically.
☒	☐	Provide copies in a PDF file for pre-fire planning use by the fire department, information shall include locations of all exits, stairwells and hallways, and the location of fire hydrants, fire department connections, and indicator valves, backflow prevention, gas, electrical, water, fire sprinkler riser and hose connections, and other mechanical and electrical equipment rooms, fire alarm panels, and remote annunciators. The symbols used for the pre-fire plan must be obtained from Murrieta Fire & Rescue.
☒	☐	Provide two (2) copies of the architectural, mechanical, hydraulic, specifications, and technical books shall be submitted in a PDF file and checked for quality control, prior to occupancy. Murrieta Fire & Rescue has approved three vendors that can provide the service and must be used.
☐	☐	

Yours in Service,

Christopher P. Jensen, Contract Fire Plans Examiner

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

VINCENT L. FINLEY
Director Emeritus/Chief Engineer

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RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

May 18, 2021

City of Murrieta
Planning Department
One Town Square
Murrieta, CA 92562-7922

Attention: Aaron Rimmonki

Re: DP 2021-2311 and TPM 2021-2326
APN 906-080-018

This Riverside County Flood Control and Water Conservation District (District) does not usually review land divisions land use cases or provide State Delineation of Real Estate Interest and hazard reports for projects that are located within unincorporated areas. Consequently we shall be users with items of note, the interest in the District including District Master Drainage Plan facilities, other regional flood control and drainage facilities which could be impacted by regional development or extension of a master plan system, and District Area Drainage Plan fees (development mitigation fees).

The District's review is based on the above-referenced project transmittal, received May 7, 2021. The District has not reviewed the proposed project in detail, and the information contained in this letter may not constitute or imply District approval or endorsement of the proposed project with respect to flood hazard, public health and safety, or any other such issue:

(N) This project would not be impacted by District Master Drainage Plan facilities, nor are other facilities of regional nature proposed.

(Y) This project involves District proposed Master Drainage Plan facilities, namely, _____. The District will accept ownership of such facilities on written request of the City. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administration fees will be required.

(Y) This project proposes channels, storm drains 36 inches or larger in diameter, or other facilities that would be considered regional in nature within a logical extension of the adopted Murrieta Creek Master Drainage Plan. The District will consider accepting ownership of such facilities on written request of the City. Facilities must be constructed to District standards, and District plan check and inspection will be required for District acceptance. Plan check, inspection, and administration fees will be required.

(N) This project is located within the limits of the District's Murrieta Creek (2)Murrieta Valley (3)Cantarula Valley (3 Santa Gertrudis Valley (3)Warm Springs Valley) Area Drainage Plan for which drainage fees have been adopted. If the project is proposing to create additional impervious surface area, applicable fees should be paid by cashier's check or money order only

City of Murrieta
Re: DP 2021-2311 and TPM 2021-2326
APN 906-080-018

May 18, 2021

on the Flood Control District or City prior to issuance of grading or building permits. Fees to be paid should be at the rate in effect at the time of issuance of the actual permit.

(N) Non-mechanical permit shall be obtained for any construction related activities occurring within District right of way or District owned property. For further information, contact the District's Permits Section at (951) 955-1266.

(N) The District's previous comments are still valid.

GENERAL INFORMATION

This project may need to obtain an applicable National Pollutant Discharge Elimination System (NPDES) permit coverage from the State Water Resources Control Board or the California Regional Water Quality Control Board. Clearance for grading, demolition, or other final approval should not be given until the City has determined that the project has been granted a permit or is shown to be exempt.

If this project involves a Federal Emergency Management Agency (FEMA) mapped floodplain, then the City should require the applicant to provide all studies, calculations, plans, and other information required to meet FEMA requirements, and should further require that the applicant obtain a Conditional Letter of Map Revision (CLOMR) prior to grading, recordation, or other final approval of the project and a Letter of Map Revision (LOMR) prior to occupancy.

If a natural watercourse or mapped floodplain is impacted by this project, the City should require the applicant to obtain a Section 1602 Agreement from the California Department of Fish and Wildlife and a Clean Water Act Section 404 Permit from the U.S. Army Corps of Engineers, or written correspondence from these agencies indicating the project is exempt from these requirements, a Clean Water Act Section 401 Water Quality Certification may be required from the local California Regional Water Quality Control Board prior to issuance of the Corps 404 permit.

Very truly yours,

Deborah de Chambeau

DEBORAH DE CHAMBEAU
Engineering Project Manager

cc: Riverside County Planning Department
Attn: Phayvanh Nanthavongdougsy

SLJ:bkc

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

RESPONSES TO COMMENTS
ADAMS AVENUE AFFORDABLE HOUSING MULTI-FAMILY DEVELOPMENT

Initial Study and Mitigated Negative Declaration (IS/MND)

City of Murrieta
1 Town Square
Murrieta, CA 92562

Prepared by:

UltraSystems

UltraSystems Environmental Inc.
16431 Scientific Way
Irvine, CA 92618-4355
Telephone: (949) 788-4900
FAX: (949) 788-4901

August 2022
Project No. 7988

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

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ATTACHMENTS

Attachment A Notice of Availability (NOA)/Notice of Intent (NOI)
Attachment B Proof of publication of the NOA in The Press Enterprise
Attachment C Riverside County Clerk/Recorder NOI Posting/Recording
Attachment D Certified Mail Receipts
Attachment E State Clearinghouse Posting
Attachment F Public Comment Letters

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

◆ RESPONSES TO COMMENTS ◆

1.0 INTRODUCTION

This Responses to Comments (RTC) document, in conjunction with the Draft Initial Study/Mitigated Negative Declaration (IS/MND) responds to comments on the proposed Adams Avenue Affordable Housing Multi-Family Project (project). While the State of California Environmental Quality Act (CEQA) Guidelines do not require a final initial study or the preparation of formal responses to comments received during the public review period for an initial Study/Mitigated Negative Declaration, the City of Murrieta (City) is making available responses to the comments received during the public review process, to provide further disclosure about the proposed project.

1.1 Background of Environmental Review Process for the Project

The IS/MND, along with a Notice of Availability (NOA)/ Notice of Intent (NOI) to Adopt an Initial Study/ Mitigated Negative Declaration (see Attachment A), was released for public and agency review on December 13, 2021 with a 30-day review period ending on January 13, 2022. In addition, the NOA was posted in the Press Enterprise Newspaper on December 13, 2021 (see Attachment B for proof of publication).

The NOA was also filed electronically with the Riverside County Clerk Recorder on December 14, 2021 (see Attachment C). Copies of the IS/MND were made available for review at the following locations:

- City of Murrieta Website: https://murrietaca.gov/1154/Planning-Division
- City of Murrieta Planning Division, 1 Town Square, Murrieta, CA 92562.

A hard copy of the IS/MND was mailed to:

- 85 residents and property owners, located within 500 feet of the project site.

A hard copy of the IS/MND was sent via stamped mail to the following:

- City of Murrieta Planning Division
- Murrieta Library
- Murrieta Fire Department
- Riverside County Habitat Conservation Agency
- Riverside County Transit Agency
- Frontier Telephone
- Southern California Edison
- Southern California Gas Company
- Sprint/Nextel
- Verizon
- Waste Management
- Western Municipal Water District
- South Coast Air Quality Management District
- Regional Conservation Authority
- Regional Water Quality Control Board Region 9

1 USDA Natural Resources Conservation Service (formerly Soil Conservation Service) has not responded to requests for environmental impact reports (Title 14, California Code of Regulations, § 15086, Evaluation of and Response to Comments).

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

◆ RESPONSES TO COMMENTS ◆

- Ambassadors of Homeownership, Inc.
- Murrieta Valley Unified School District

A hard copy of the NOI was sent via certified mail to the Native American Indian Tribes listed below (see Attachment D).

- Agua Caliente Band of Cahuilla Indians
- Jamul Band of Mission Indians
- La Jolla Band of Luiseno Indians
- Pauma Band of Luiseno Indians
- Pala Band of Mission Indians
- Pechanga Band of Luiseno Indians
- Rincon Band of Luiseno Indians
- San Luis Rey Band of Mission Indians
- Santa Rosa Band of Cahuilla Indians
- Soboba Band of Luiseno Indians
- Quechan Tribe of the Fort Yuma Reservation

Additionally, the project was filed with the State Clearinghouse on December 13, 2021 (see Attachment E).

1.2 Responses to Comments

This document provides a response to comments received on the IS/MND. A total of one comment letter was received and is included in Section 2.0, Public Comment Letters, of this document.

1.3 Intended Uses of this IS/MND

The IS/MND will be used by the City in considering approval of the proposed project. In accordance with CEQA Guidelines § 15074, the IS/MND will be used as the primary environmental document in connection with all subsequent planning and permitting actions associated with the proposed project, to the extent such actions require CEQA compliance and as otherwise permitted under applicable law.

15074. CONSIDERATION AND ADOPTION OF A NEGATIVE DECLARATION OR MITIGATED NEGATIVE DECLARATION.

(a) Any advisory body of a public agency making a recommendation to the decision-making body shall consider the proposed negative declaration or mitigated negative declaration together with any comments received during the public review process. The decision-making body shall adopt the proposed negative declaration or mitigated negative declaration only if it finds on the basis of the whole record before it (including the initial study and any comments received), that there is no substantial evidence that the project will have a significant effect on the environment and that the negative declaration or mitigated negative declaration reflects the lead agency's independent judgment and analysis.

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

◆ RESPONSES TO COMMENTS ◆

(c) When adopting a negative declaration or mitigated negative declaration, the lead agency shall specify the location and custodian of the documents or other material which constitute the record of proceedings upon which the decision is based.

(d) When adopting a mitigated negative declaration, the lead agency shall also adopt a program for reporting on or monitoring the changes which it has either required in the project or made a condition of approval to mitigate or avoid significant environmental effects.

(e) A lead agency shall not adopt a negative declaration or mitigated negative declaration for a project within the boundaries of a comprehensive airport land use plan or, if a comprehensive airport land use plan has not been adopted for a project within two nautical miles of a public airport or public use airport, without first considering whether the project will result in a safety hazard or noise problem for persons using the airport or for persons residing or working in the project area.

(f) When a decision-making body of a local lead agency adopts a negative declaration or mitigated negative declaration, that adoption may be approved as the agency's elected decision-making body, if any exists. For example, adoption of a negative declaration for a project by a city's planning commission may be appealable to the city council. A local lead agency may establish procedures governing such appeals.

Upon review and consideration of the IS/MND, the City may take action to adopt, revise, or reject the proposed project. A decision to approve the proposed project would be made in a resolution recommending certification of the IS/MND as part of the consideration of the proposed project. The City has determined that the environmental impacts of the proposed project have been reduced to a less than significant level through mitigation measures.

Developer Provided ID: 1A4A3F3A-6A4A-49B4-A2E8-8B8A9F7A2E1

◆ RESPONSES TO COMMENTS ◆

2.0 PUBLIC COMMENT LETTERS

The following agencies and entities submitted written comments on the IS/MND, during the public review period. The comment letter is presented in Attachment F of this document.

Letter	Agency, Organization, or Individual	Date
A	Dr. Terrence McGill	12/13/2021
Comment A-1:	Aaron, I am requesting a copy of the subject Project plans and any reference in the Development Plan and Evaluation Permit Map and draft decision. Dr. Terrence McGill 24873 Adams Avenue Murrieta, CA 92562	
Response A-1:	This comment is noted. Aaron Rimmonki responded to Dr. McGill with the requested information. This comment does not raise any environmental issues.	
Comment C-1		
Response C-1		
Comment C-6		
Response C-6		
Comment C-7		
Response C-7		
Comment C-8		
Response C-8		
Comment C-9		
Response C-9		
D		
Comment D-1		
Response D-1		
Comment D-2		
Response D-2		
Comment D-3		
Response D-3		
E		
Comment E-1		
Response E-1		
Comment E-2		
Response E-2		
Comment E-3		
Response E-3		
Comment E-4		
Response E-4		
Comment E-5		

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MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
CONDITIONS OF APPROVAL

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY
CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-304

INITIAL B&S SUBMITTAL

1/19/2022 11:18:09 AM
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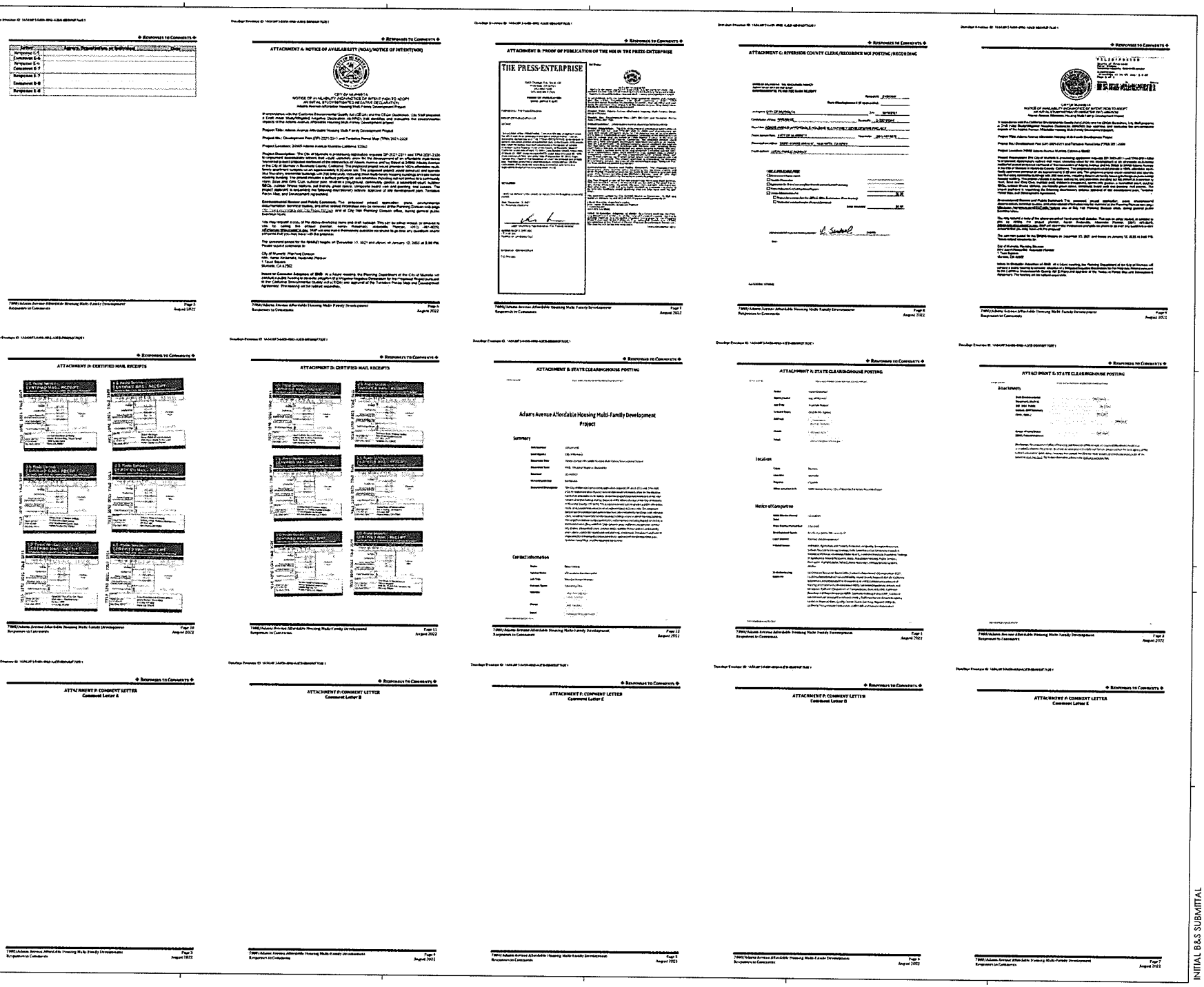

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11/08/2022 11:12:32 AM
BIM 360://Murrieta/Murrieta_EIR.rvt

◆ Responses to Comments ◆

3.0 ERRATA

As a result of comments received during the public review period for the proposed project, this errata section is included in this Response to Comments document to indicate changes in strikeout to show deleted text and underline to show added text for the IS/MND.

7990 Adams Avenue Affordable Housing Multi-Family Development
Responses to Comments
Page 8
August 2022

◆ Responses to Comments ◆

4.0 MITIGATION MONITORING AND REPORTING PROGRAM

The Mitigation Monitoring and Reporting Program (MMRP) has been prepared in conformance with § 21081.6 of the Public Resources Code and § 15097 of the CEQA Guidelines, which requires all state and local agencies to establish monitoring or reporting programs whenever approval of a project relies upon a MND or an EIR. The MMRP ensures implementation of the measures being imposed to mitigate or avoid the significant adverse environmental impacts identified through the use of monitoring and reporting. Monitoring is generally an ongoing or periodic process of project oversight; reporting generally consists of a written compliance review that is presented to the decision-making body or authorized staff person.

It is the intent of the MMRP to: (1) provide a framework for document implementation of the required mitigation; (2) identify monitoring/reporting responsibility; (3) provide a record of the monitoring/reporting; and (4) ensure compliance with those MM that are within the responsibility of the City and/or Applicant to implement.

The following table lists impacts, mitigation measures adopted by the City of Murrieta in connection with approval of the proposed project, level of significance after mitigation, responsible and monitoring parties, and the project phase in which the measures are to be implemented.

Only those environmental topics for which mitigation is required are listed in this Mitigation Monitoring and Reporting Program.

7990 Adams Avenue Affordable Housing Multi-Family Development
Responses to Comments
Page 9
August 2022

Table 4.0-1
MITIGATION MONITORING AND REPORTING PROGRAM

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET G-306

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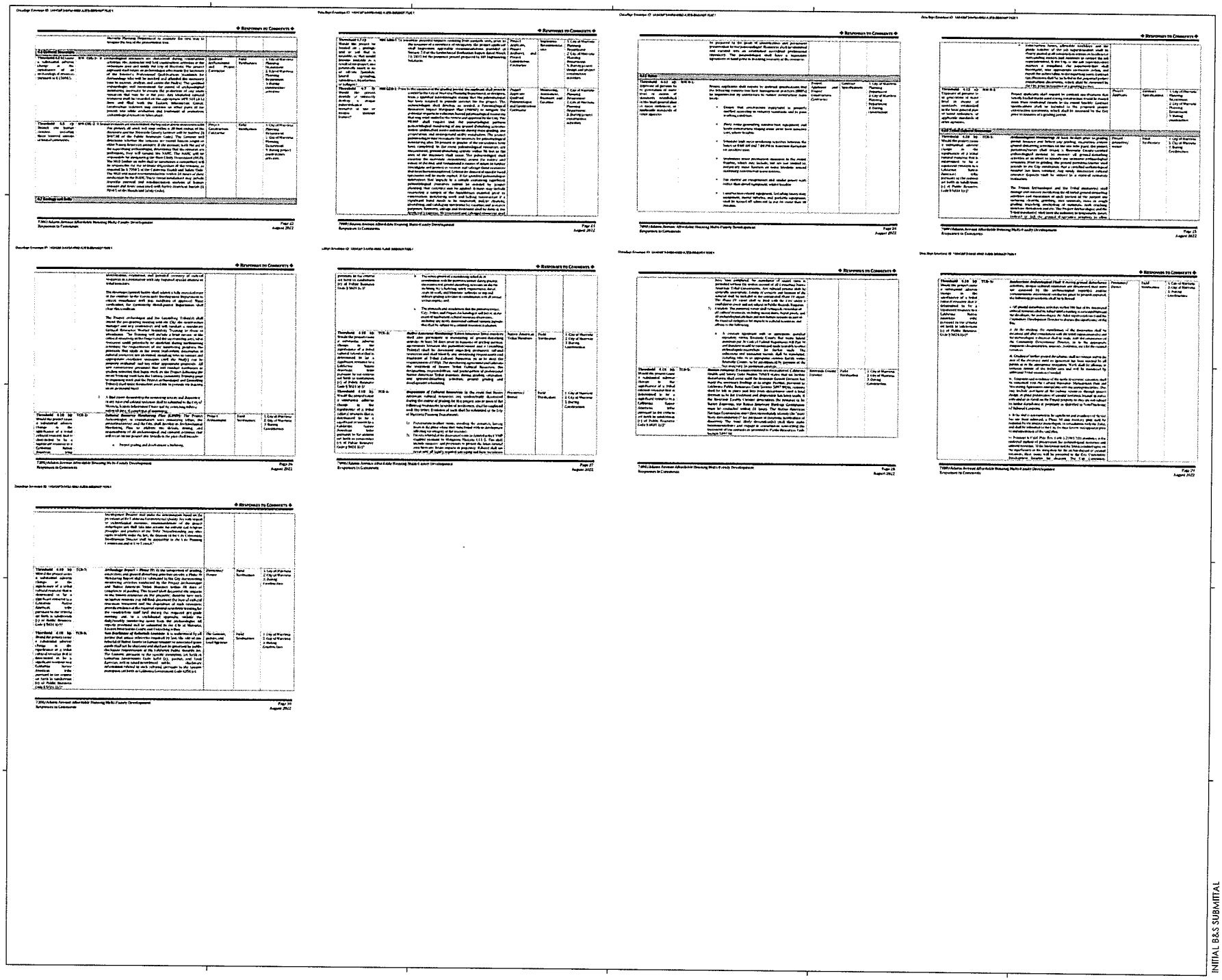
11/08/2022 11:16:07 AM



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CONDITIONS OF APPROVAL

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DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET G-307

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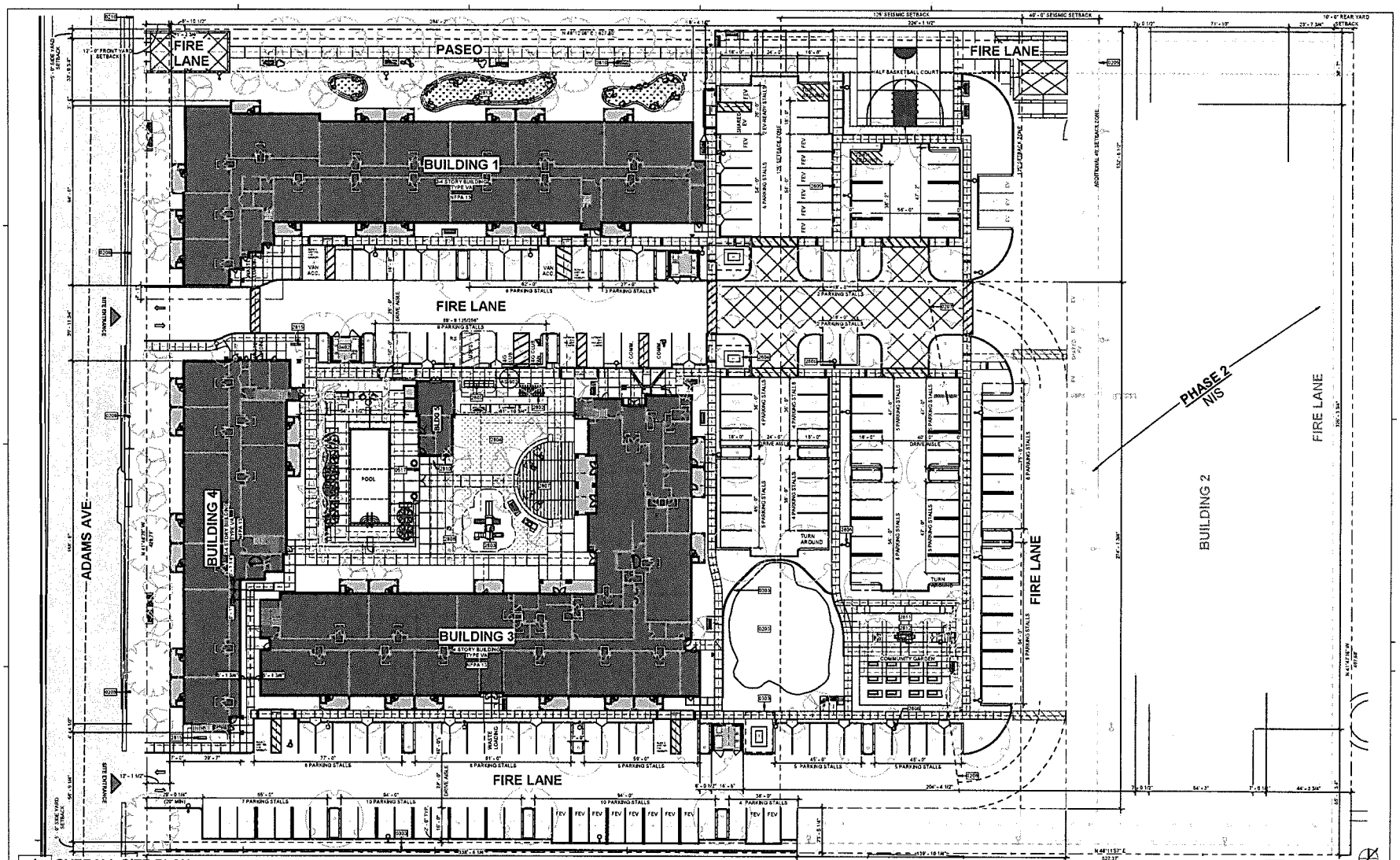


1 OVERALL SITE PLAN

SCALE: 1" = 20'-0"

KEYNOTES

0203	(E) OAK TREE TO REMAIN
0205	ADDITIONAL 40' SETBACK ZONE
0206	FAULT (N/S/W, W/I) PER REPORT FROM EEI (11/1/2021)
0207	FAULT (N/S/W, W/I) PER REPORT FROM EEI (11/1/2021)
0208	UTILITY POLE
0209	SPEED SIGN
0210	STREET LIGHT POLE
0303	RETAINING WALL, SEE CIVIL DRAWINGS
0402	TRASH ENCLOSURE UNDER SEPARATE SUBMITTAL
0517	POOL FENCE, SEE SHEET L1.4 FOR MORE INFORMATION
1302	HVAC BGM, MODEL AND LOCATION TO BE APPROVED BY MFG
2406	TRANSFORMER
2505	ELECTRICAL VEHICLE CHARGING STATION
2506	AREA LIGHT, SEE ELECTRICAL DRAWINGS
2509	BIKE PARKING, SEE LANDSCAPE DRAWINGS
2603	PLAYGROUND, SEE LANDSCAPE DRAWINGS
2604	LAWN AREA, SEE LANDSCAPE DRAWINGS
2605	MAILBOXES
2606	POOL, SEE LANDSCAPE DRAWINGS
2607	COMMUNITY GARDEN, SEE LANDSCAPE DRAWINGS
2608	BBQ & DINING TERRACE, SEE LANDSCAPE DRAWINGS
2610	SITE BENCH, TYP., SEE LANDSCAPE DRAWINGS L1-1, L1-2
2611	BOCCE COURT, SEE LANDSCAPE DRAWINGS
2612	PICNIC AREA, SEE LANDSCAPE DRAWINGS
2613	BIORETENTION POND, SEE LANDSCAPE DRAWINGS
2615	SITE MAP AND DIRECTORY, SEE LANDSCAPE DRAWINGS L1-1, L1-2

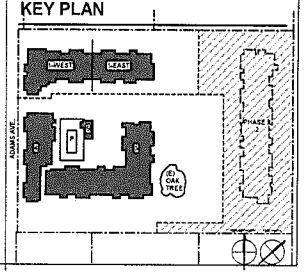
LEGEND

	PROPERTY LINE
	PARCEL LINE
	ASSUMED PROPERTY LINE
	SETBACK
	125' SETBACK ZONE DEFINED BY GEOSOILS
	ADDITIONAL 40' SETBACK ZONE
	EASEMENT
	ACCESSIBLE PATH OF TRAVEL (WALL IN 48" OR 1/8" PER FOOT)
&	STANDARD ACCESSIBLE STALL
& VAN	VAN ACCESSIBLE STALL
EV	ELECTRICAL VEHICLE CHARGING STALL
BLDG XX UNIT XXX 118 MOBILITY	ACCESSIBLE STALL DESIGNATED TO ADA MOBILITY UNIT THIS IS A STALL THAT COMPLIES WITH CBC 118 104.5 EXCEPTION 2. DO NOT PAINT OR PLACE A SIGN

SITE PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO CIVIL PLANS FOR FURTHER INFORMATION.
3. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
4. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
5. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
6. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
7. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
8. REFER TO PUBLIC ROWAS SUBMITTAL FOR OFFSITE IMPROVEMENTS (ANY WORK SHOWN IN THE ROW IS FOR REFERENCE ONLY).
9. REFER TO ARBORIST REPORT FOR TREE PROTECTION REQUIREMENTS INCLUDING FENCING, IRRIGATION AND CUTTING.
10. ALL SIDEWALKS, CROSSWALKS, COMMON AREAS AND BUILDING ENTRANCES SHALL BE ACCESSIBLE AND IN COMPLIANCE WITH 2019 CBC 118.
    A. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
    B. OPENINGS IN FLOOR OR GROUND SURFACES SHALL NOT ALLOW PASSAGE OF A SPHERE 1/2".
    C. VERTICAL CHANGES IN LEVEL SHALL NOT EXCEED 1/4".
    D. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MIN.
11. ALL CURBS IS NOT WITHIN A PARKING SPACE SHALL BE PAINTED RED TO DESIGNATE THE FIRE LANES.
12. CONTRACTOR TO REVIEW LANDSCAPE PLANS TO AVOID CONFLICTS BETWEEN PLANTINGS AND UTILITIES. I.E. METER LOCATIONS, ELECTRIC TRANSFORMER, BACKFLOW PREVENTERS, SEWER LINES AND ELECTRIC CONDUIT (POLE LIGHTING AT DRIVEWAY), ETC.
13. CONTRACTOR SHALL STOP OR REDIRECT WORK IMMEDIATELY IN THE EVENT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, CONSTRUCTION, LANDSCAPING OR OTHER CONSTRUCTION RELATED ACTIVITY.
14. ACCESSIBLE PATH OF TRAVEL
    A. THE ACCESSIBLE ROUTES OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES. SURFACE IN STABLE AND SLIP RESISTANT. THE PATH SHALL BE MAINTAINED FREE OF OVERHANG OBSTRUCTIONS TO 80" MIN AND PROTRUDING OBJECTS GREATER THAN 4.4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" [2019 CBC 118-402].
    B. ACCESSIBLE ROUTES OF TRAVEL ARE TO AND FROM THE FOLLOWING: "SITE ARRIVAL POINTS" ON RAYMOND AVE. AND PACKER PLACE, RESIDENTIAL ENTRANCES TO UNIT, ACCESSIBLE PARKING STALLS, TRASH ENCLOSURE, EV/A CHARGING STALL, BICYCLE PARKING, TOT LOT AND COMMUNITY CENTER.
    C. FLOOR AND GROUND SURFACES: FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. [2019 CBC 118-302.1]
    D. HANGES IN LEVELS: VERTICAL CHANGES IN LEVEL FOR FLOOR OR GROUND SURFACES MAY BE 1/4 INCH HIGH MAXIMUM AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL GREATER THAN 1/4 INCH AND NOT EXCEEDING 1/2 INCH IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAT 1:2. [2019 CBC 118-303, FIGURES 118-303.2.4 118-303.3]
    E. PROTRUDING OBJECTS: PROTRUDING OBJECTS ON CIRCULATION PATHS SHALL COMPLY WITH CBC 118-307. OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" AFF OR GROUND PERMITTED TO PROTRUDE 4 1/2" MAXIMUM. [2019 CBC 118-307.2]
    F. FREE STANDING OBJECTS MOUNTED ON POSTS SHALL OVERHANG CIRCULATION PATHS 12" MAX WHEN LOCATED 27" MIN AND 80" MAX AFF. WHERE A SIGN OR OBSTRUCTION IS MOUNTED BETWEEN POSTS AND THE CLEAR DISTANCE BETWEEN POSTS IS GREATER THAN 12", THE LOWEST EDGE OF SUH SIGN OR OBSTRUCTION SHALL BE 27" MAX OR 80" MIN AFF.
15. PORTIONS OF THE PROJECT THAT ARE DEFERRED SHALL BE SUBJECT TO THE CODES, STANDARDS, AND OTHER APPLICABLE REQUIREMENTS IN FORCE ON THE DATE THAT THE DEFERRED PLAN IS SUBMITTED TO OCFA.
16. EXTERIOR BUILDING WALLS ARE DRAINED TO STRUCTURAL FACE OF CONCRETE SLAB AND/OR SHEATHING. EDGE OF SLAB ALIGNS WITH FACE OF SHEATHING, TYP.
17. THE SITE IS TO REMAIN TRASH-FREE THROUGHOUT CONSTRUCTION. RECYCLING IMPLEMENTATION AND MONITORING SHALL COMPLY WITH CALGREEN CODE REQUIREMENTS.

KEY PLAN



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MOD IC-1

MURRIETA
24960 ADAMS AVE, MURRIETA, CA 92562

SITE PLAN - OVERALL

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-101

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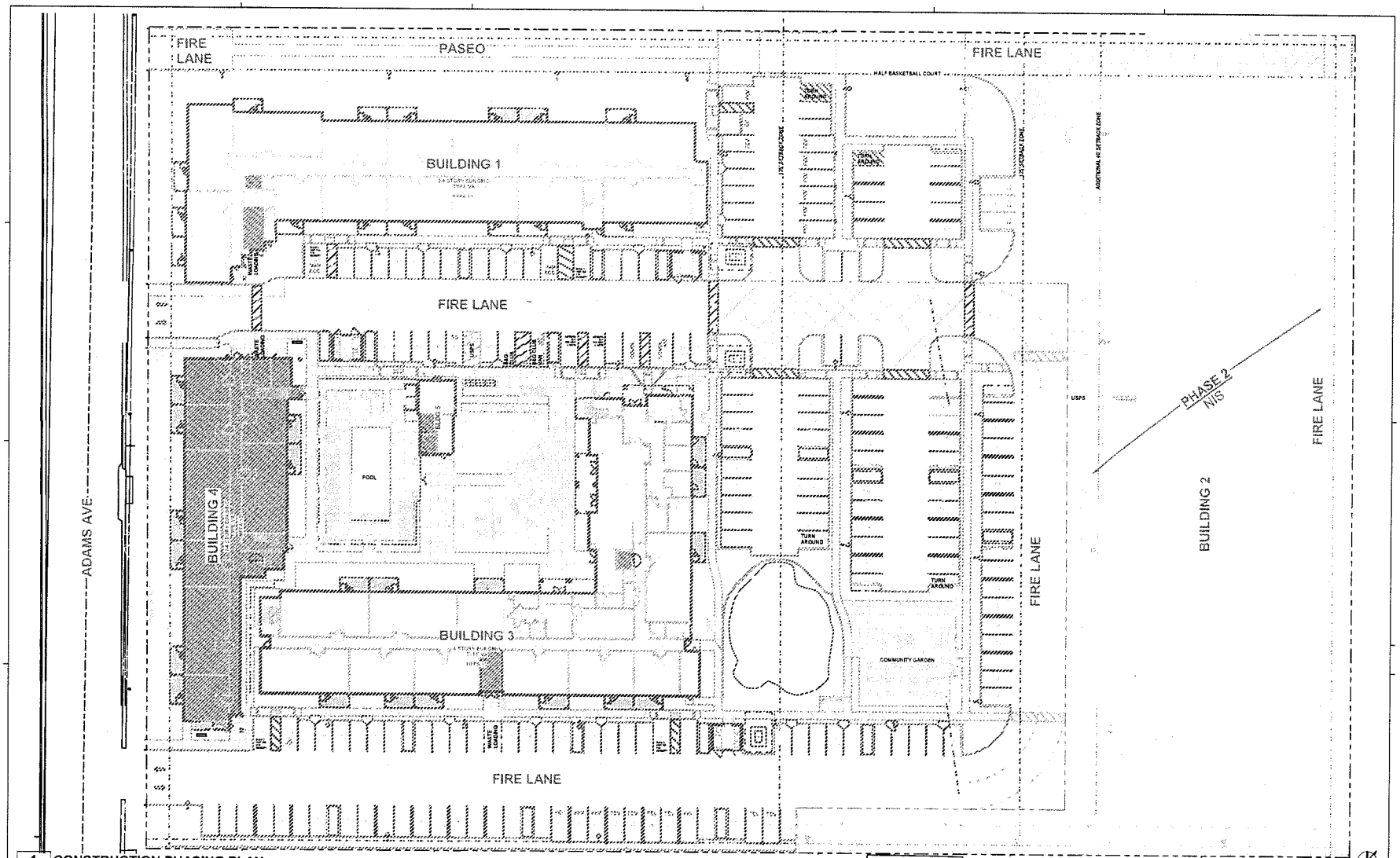


1 CONSTRUCTION PHASING PLAN

AS-102 SCALE: 1" = 20'-0"

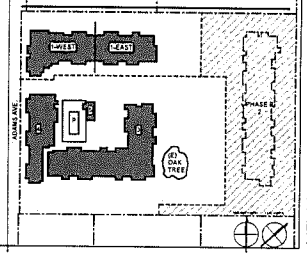
LEGEND

PHASE 1
FAMILY HOUSING

PHASE 1
FAMILY HOUSING

PHASE 2
SENIOR HOUSING

KEY PLAN



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AGENCY

MURRIETA
24960 ADAMS AVE, MURRIETA CA 92562
CONSTRUCTION PHASING PLAN

NO.	REVISION	DATE
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-102

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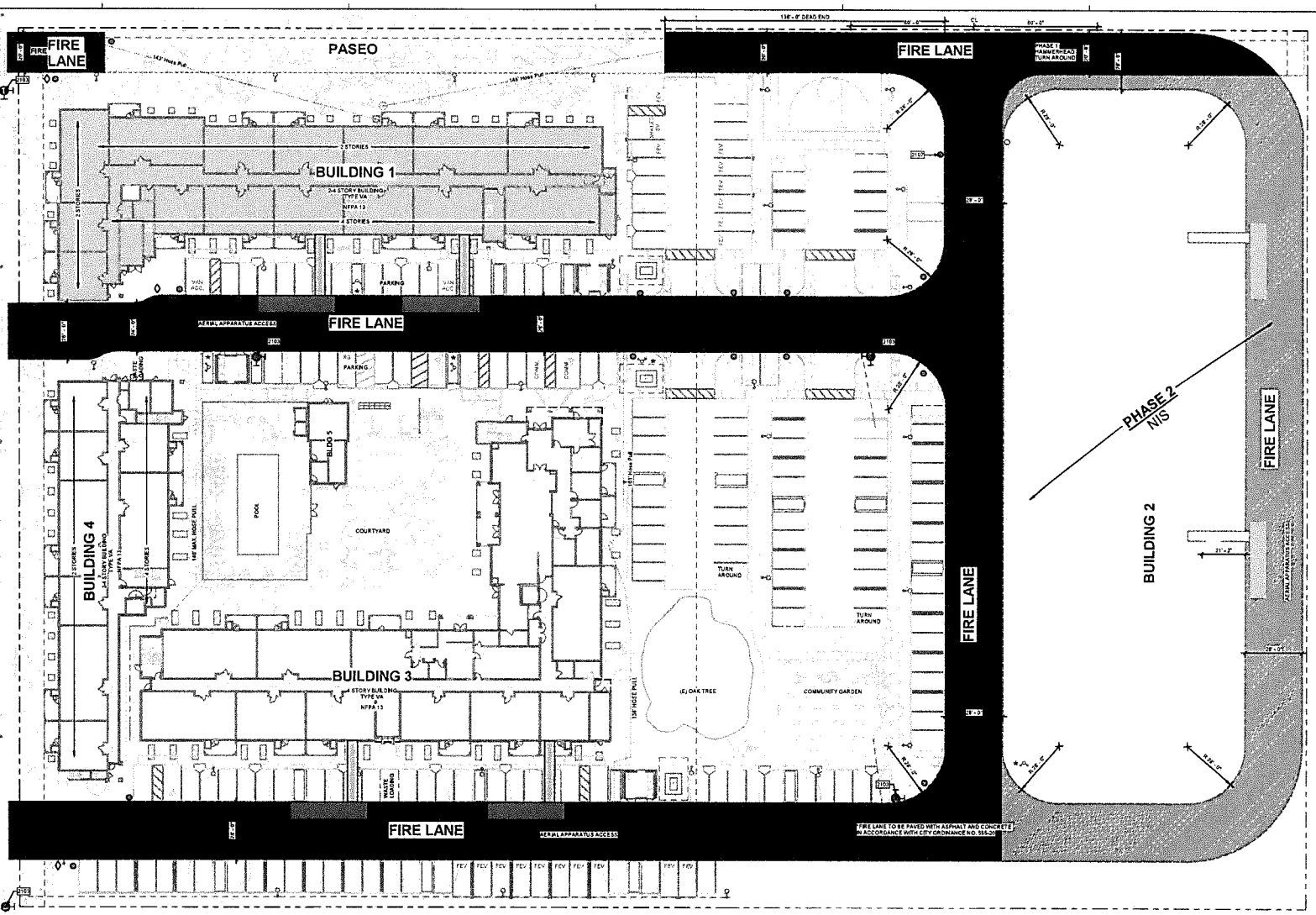
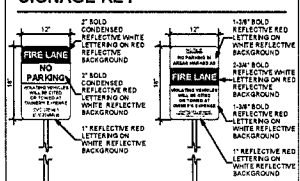


1 FIRE MASTER PLAN

SCALE: 1" = 20'-0"

SIGNAGE KEY



SIGN 2 - LOCATE AT EACH ENTRY

SIGN 1 - NO PARKING ALONG ROADWAYS

NOTE: ALL SIGN LETTERING DIMENSIONS ARE MINIMUMS. ARIAL FONT USED IN SAMPLE THOUGH OTHER LEGIBLE SANS-SERIF FONTS MAY BE ACCEPTABLE. SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL & CLEARLY VISIBLE TO ONCOMING TRAFFIC CENTERIN THE DESIGNATED AREA.

KEYNOTES

2103	NEW FIRE HYDRANT
2107	SIGN: FIRE LANE NO PARKING

LEGEND

AERIAL FIRE APPARATUS

FIRE LANE

FIRE HOSE PULL LENGTH
150' MAX., TYP. PER CFC 503.1.1

EGRESS WINDOW LADDER ACCESS AREA

FIRE HYDRANT

FDC

POST INDICATOR VALVE

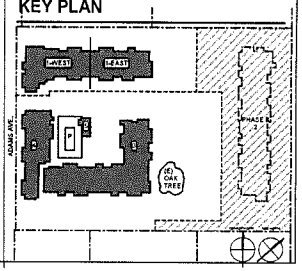
NOTES

1. * PER THE CITY OF MURRIETA FIRE DEPARTMENT, TO MEET THE THE WESTERN WATER DISTRICT CAPACITY OF 2500 GPM FOR 2 HOURS, THE MAXIMUM BUILDING AREA CANNOT EXCEED 81,100 SF

BUILDING SFS
BUILDING 1 51,808 SF < 81,000 SF
BUILDING 2 35,272 SF < 81,000 SF
BUILDING 3 74,606 SF < 81,000 SF
BUILDING 4 68,121 SF < 81,000 SF

2. DURING CONSTRUCTION PHASE, ALL VEHICLES, CONSTRUCTION EQUIPMENT, AND MATERIALS TO BE CLEAR OF PHASE 1 FIRE LANE.

KEY PLAN



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MURRIETA
24960 ADAMS AVE. MURRIETA CA 92562
FIRE MASTER PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY
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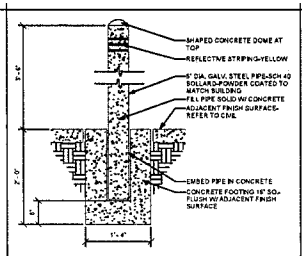
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-103



31 FIXED BOLLARD

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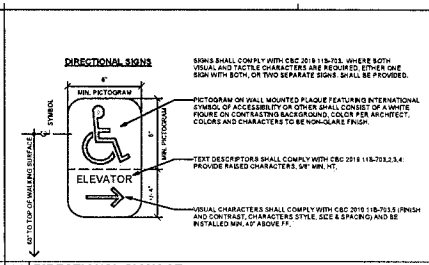

21 DIRECTIONAL SIGNAGE

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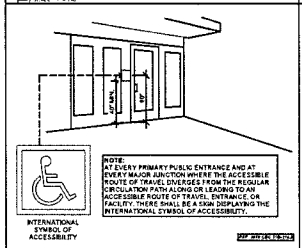
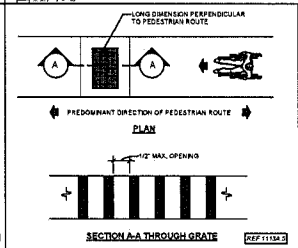


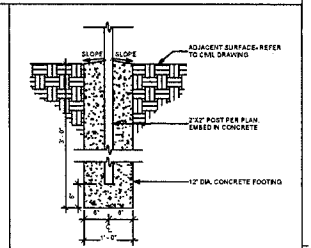
32 ACC. BLDG. ENTRY SIGNAGE

SCALE: 1" = 1'-0"



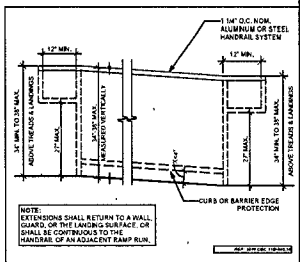
22 ACC. GRATES

SCALE: 1/4" = 1'-0"



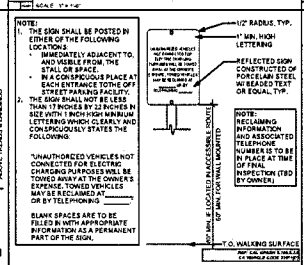
12 SIGN POST FOOTING

SCALE: 1/4" = 1'-0"



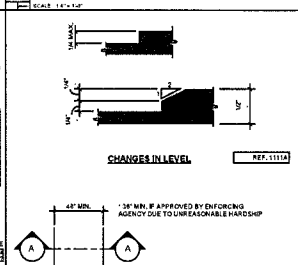
43 ACC-RAMP HANDRAIL

SCALE: 1/4" = 1'-0"



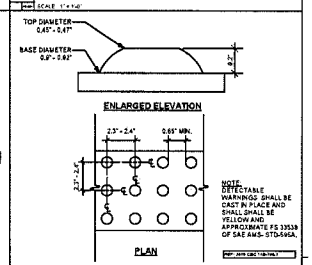
33 ACC. TOWING SIGN - EV STALL

SCALE: 1/4" = 1'-0"



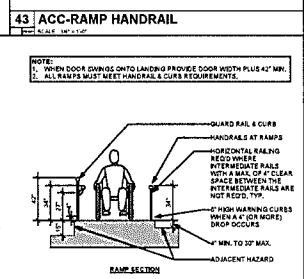
24 ACC. WALKS AND SIDEWALKS

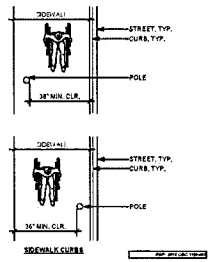
SCALE: 1/4" = 1'-0"



13 ACC. DETECTABLE WARNING TEXTURE

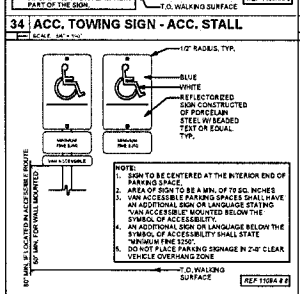
SCALE: 3" = 1'-0"





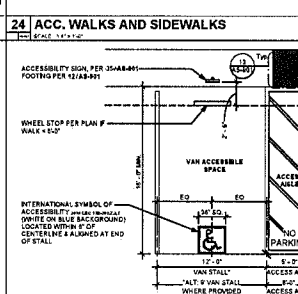
55 ACCESSIBLE RAMP DETAILS

SCALE: 1/4" = 1'-0"



34 ACC. TOWING SIGN - ACC. STALL

SCALE: 1/4" = 1'-0"



35 ACC. PARKING STALL SIGN

SCALE: 1/4" = 1'-0"

25 ACC. PARKING STALL

SCALE: 1/4" = 1'-0"

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CONSULTANT

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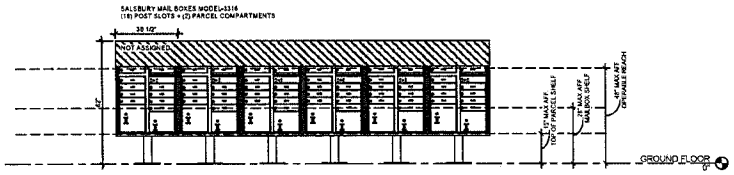
24960 ADAMS AVE, MURRIETA CA 92562
SITE DETAILS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY
CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-901

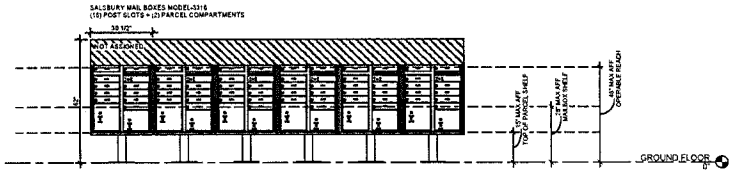
INITIAL B&S SUBMITTAL

11/08/2022 12:11:16 PM
B:\B-2021\Murrieta\Murrieta_SITE.rvt



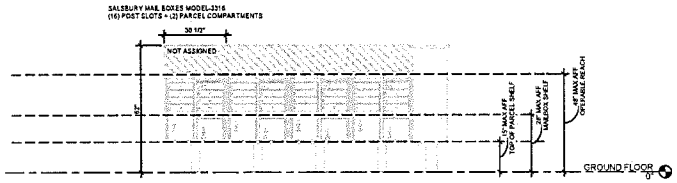
1 MAILBOX B1, B3,B4 (1)

A2.1 | AS-901 SCALE: 1/2" = 1'-0"



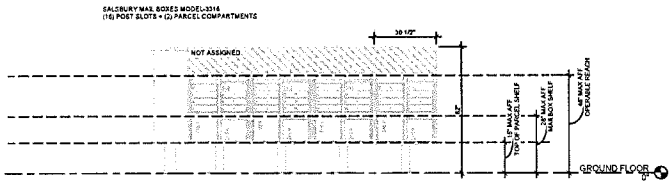
2 MAILBOX B1, B2, B3 (2)

AS-902 | AS-903 SCALE: 1/2" = 1'-0"



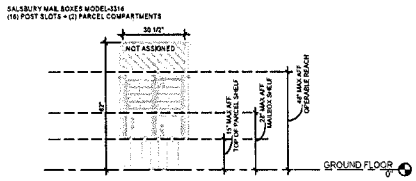
3 PHASE II - MAILBOX B4 (1)

AS-902 | AS-903 SCALE: 1/2" = 1'-0"



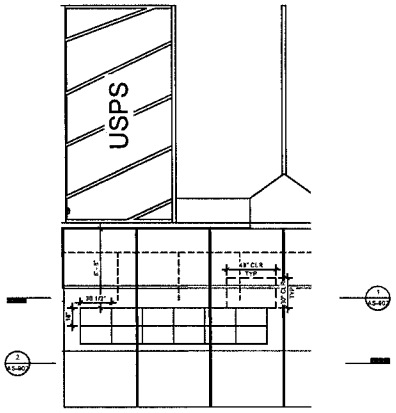
4 PHASE II - MAILBOX B4 (2)

AS-902 | AS-903 SCALE: 1/2" = 1'-0"



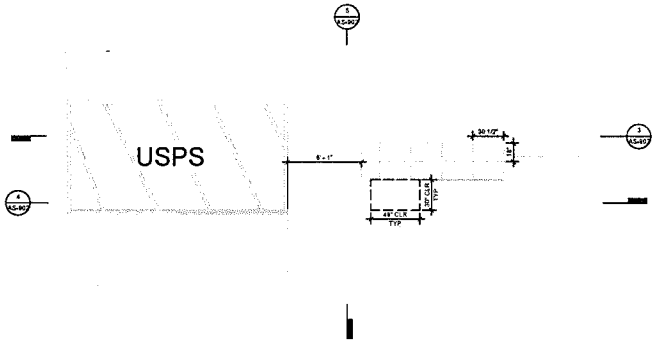
5 PHASE II - MAILBOX B4 (3)

AS-902 | AS-903 SCALE: 1/2" = 1'-0"



6 ENLARGED MAILBOX PLAN B1, B2, B3

A2.2 | A1-462 SCALE: 1/4" = 1'-0"



7 PHASE II - ENLARGED MAILBOX PLAN B4

A4.4 | AS-401 SCALE: 1/4" = 1'-0"

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CONSULTANT

AGENCY

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ENLARGED MAILBOXES

NO.	REVISION	DATE
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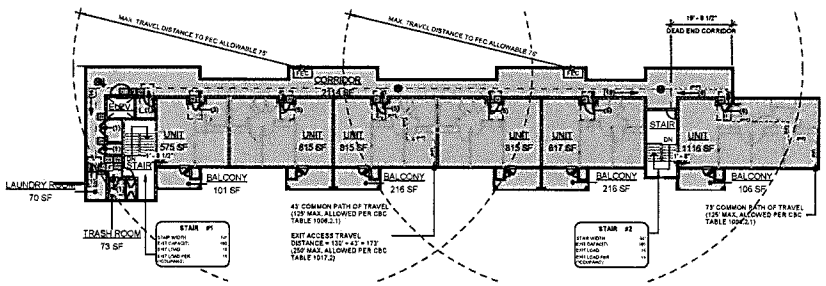
△		
△		
△		
△		

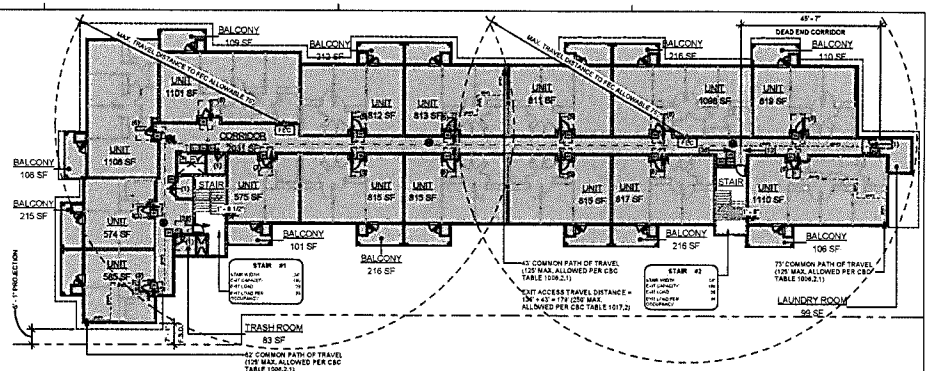
PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AS-902

INITIAL B&S SUBMITTAL



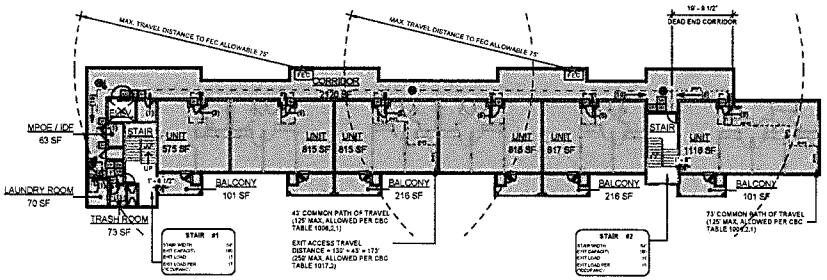
3 04-FOURTH FLOOR - CODE PLAN

A1.201 A1.001 SCALE: 1/16" = 1'-0"



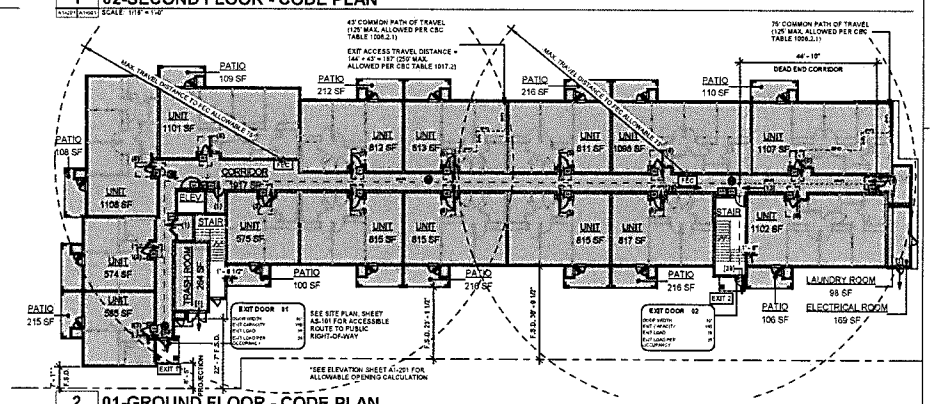
1 02-SECOND FLOOR - CODE PLAN

A1.201 A1.001 SCALE: 1/16" = 1'-0"



4 03-THIRD FLOOR - CODE PLAN

A1.201 A1.001 SCALE: 1/16" = 1'-0"



2 01-GROUND FLOOR - CODE PLAN

A1.201 A1.001 SCALE: 1/16" = 1'-0"

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	PRIMARY STRUCTURE 1-HR, FLOOR 1-HR, ROOF 1-HR, BEARING WALLS 1-HR	601
EXTERIOR WALLS	BEARING WALLS, 1-HR	602
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	705.8
FIRE WALLS	N/A	706
FIRE BARRIERS	2-HR FIRE RESISTANCE RATED WALLS OCCUR AT SHAFTS, & STAIR ENCLOSURES PER LEGEND. 1-HR FIRE RESISTANCE RATED WALLS OCCUR AT OCCUPANCY SEPARATIONS PER LEGEND.	707.3
FIRE PARTITIONS	1-HR FIRE RESISTANCE RATED WALLS OCCUR AT DWELLING UNIT SEPARATIONS	708
CONCEALED SPACES	PROVIDE FIRE BLOCKING AS REQUIRED IN WALLS & STAIR CONSTRUCTION. DRAFTSTOPPING AT FIRE PARTITIONS IN FLOORS & ATTICS. ADDITIONAL DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED IN ACCORDANCE WITH 903.3.1.2	718
HORIZONTAL ASSEMBLIES	ALL FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES 1-HR. PROTECT PENETRATIONS	711
PENETRATIONS	SEE NOTE 1 BELOW	714
WILDFIRE EXPOSURE	N/A - PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	7A
2. MEANS OF EGRESS		
STAIRS	MIN. 44" CLEAR WIDTH (36" WHEN SERVING <50)	1011.2
RAMPS	MAX. 1:12 SLOPE. PROVIDE HANDRAILS WITH EXTENSIONS	1012
COMMON PATH OF EGRESS TRAVEL	MAX. 125' FROM R-2 OCCUPANCIES	1006.2
R-2 SPACES W ONE EXIT	PERMITTED AT UNITS R-2 OCC.<28 SPRINKLERED	1006.3 OR Table 1006.2.1
NUMBER OF EXITS PER STORY	2 (1HR 2 REQUIRED PER STORY IN R-2 OCCUPANCY 4 STORIES OR GREATER	1.1804.3.3(1)
EXIT ACCESS TRAVEL DISTANCE	MAX. 250'	1.1017.2
INTERIOR EXIT STAIRWAYS	CONSTRUCT ENCLOSURE AS 1HR FIRE BARRIER	1023
3. ACCESSIBILITY		
COVERED MULTIFAMILY DWELLING UNITS	SEE CODE COMPLIANCE PLANS FOR ACCESSIBLE AND ADAPTABLE UNIT DESIGNATIONS, SEE UNIT PLANS FOR SPECIFIC FEATURES.	CTCAC Regulations
PARKING SPACES	SEE SITE PLAN	1119-208
ACCESSIBLE ROUTES OF TRAVEL	ALL SITE ARRIVAL AND INTERIOR CONNECTION ROUTES SHALL BE ACCESSIBLE	11B-206.2
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	SEE ROOF PLAN SHEET	1202.2
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES)	1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	CLASS B	1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER "UNIT OF A": 3,000 SF & 6,000 SF PER 2A:1B:0 C EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER: MAX 75 FT	
	MIN. UL EXTINGUISHER RATING: 2A:1B:0 C	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

UNIT BREAKDOWN

01-GROUND FLOOR	
1 BD / 1 BA	3
2 BD / 1 BA	7
3 BD / 2 BA	5
	15

02-SECOND FLOOR	
1 BD / 1 BA	3
2 BD / 1 BA	8
3 BD / 2 BA	4
	15

03-THIRD FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	4
3 BD / 2 BA	1
	6

04-FOURTH FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	4
3 BD / 2 BA	1
	6

42

OCCUPANCY CALCULATIONS

AREA NAME	AREA	NET / GROSS	OCCUPANCY TYPE	FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	EXITS REQUIRED
01-GROUND FLOOR							
UNIT	1294 SF	GROSS	R-2	RESIDENTIAL	200	74	2
TRASH ROOM	264 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
MPOE / IDF	63 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
LAUNDRY ROOM	98 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
JANITOR CLOSET	51 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
FIRE RISER	12 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
ELECTRICAL ROOM	169 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
	13594 SF					80	
02-SECOND FLOOR							
UNIT	12464 SF	GROSS	R-2	RESIDENTIAL	200	75	2
TRASH ROOM	83 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
MPOE / IDF	63 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
LAUNDRY ROOM	98 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
JANITOR CLOSET	51 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
	12948 SF					77	
03-THIRD FLOOR							
UNIT	4953 SF	GROSS	R-2	RESIDENTIAL	200	25	2
TRASH ROOM	73 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
MPOE / IDF	63 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
LAUNDRY ROOM	70 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
JANITOR CLOSET	51 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
	5211 SF					33	
04-FOURTH FLOOR							
UNIT	4953 SF	GROSS	R-2	RESIDENTIAL	200	25	
TRASH ROOM	73 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
MPOE / IDF	63 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
LAUNDRY ROOM	70 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
JANITOR CLOSET	24 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
ELEV. EQUIP.	51 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	
	5217 SF					34	
	36970 SF					224	

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROVIDE IN ACCORDANCE WITH TABLE 1.708.1.1 (RATED 1 HOUR))
- 1-HR FIRE BARRIER (EXTENDING FROM FOUNDATION OR FLOOR / CEILING ASSEMBLY TO THE FOUNDATION OR FLOOR OR ROOF ABOVE (RATED 1 HOUR))
- 2-HR FIRE BARRIER (EXTENDING FROM FOUNDATION OR FLOOR / CEILING ASSEMBLY TO THE FOUNDATION OR FLOOR OR ROOF ABOVE (RATED 2 HOUR))
- FEC — FIRE EXTINGUISHER CABINET. SEE DETAIL AX-622
- SB — SIGNAGE, REFER TO SIGNAGE KEY, 45/AX-646
- EXIT SIGN. REFER TO S14 ON SIGNAGE KEY, 45/AX-646
- ROOF OVERHEAD
- PARCEL LINE WITH FIRE SEPARATION DISTANCE (F.S.D.) NOTED

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL (SHALL BE IN ACC. CBC 11B-206.2)
- (X'-X") — COMMON PATH OF EGRESS TRAVEL (WITH MINIMUM TRAVEL DISTANCE FROM EXIT TO EXIT (TO MAX. DISTANCE PER 1006.2.1 TABLE BASED ON R-2 OCCUPANCY)
- (X'-X") — EXIT ACCESS TRAVEL DISTANCE (WITH MINIMUM TRAVEL DISTANCE FROM EXIT TO EXIT (TO MAX. DISTANCE PER 1017.2 TABLE BASED ON R-2 OCCUPANCY)
- (X) — NUMBER OF OCCUPANTS EXITING SPACE
- (X) — COMBINED OCCUPANT COUNT ALONG P.O.T.
- STAIR # — STAIR TAG
  - STAIR WIDTH — CLEAR WIDTH OF STAIR
  - EXIT CAPACITY — OCCUPANT LOAD CAPACITY
  - EXIT LOAD — MAX. NO. OF OCCUPANTS PERMITTED INTO EXIT (ALL LEVELS, WITHOUT OCCUPANT LOAD MULTIPLIER)
  - EXIT LOAD PER OCCUPANCY — MAX. NO. OF OCCUPANTS PERMITTED PER OCCUPANCY TYPE

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED

(ACCORDING TO THE NFPA 13)

OCCUPANCY CLASSIFICATION (MIXED USE)	R-2
CONSTRUCTION TYPE (TABLE 601)	VA
ALLOWABLE BUILDING HEIGHT (TABLE 504.3)	70'-0"
ALLOWABLE NUMBER OF STORIES (TABLE 504.4)	4
ALLOWABLE BUILDING AREA PER STORY (TABLE 506.2)	36,000 SF
TOTAL ALLOWABLE BUILDING AREA (TABLE 506.2)	72,000 SF

GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	54'-0"
PROPOSED NUMBER OF STORIES	4
PROPOSED BUILDING AREA	SEE SCHEDULE BELOW
AUTOMATIC FIRE SPRINKLERS	NFPA 13

BUILDING 1 GSF

01-GROUND FLOOR	
INTERIOR	11,069 SF
EXTERIOR	1,507 SF
	12,576 SF
02-SECOND FLOOR	
INTERIOR	11,557 SF
EXTERIOR	1,608 SF
	13,165 SF
03-THIRD FLOOR	
INTERIOR	7,906 SF
EXTERIOR	534 SF
	8,440 SF
04-FOURTH FLOOR	
INTERIOR	7,906 SF
EXTERIOR	534 SF
	8,440 SF
TOTAL PROPOSED GSF:	51,617 SF

BLDG 1 NSF

01-GROUND FLOOR	
COMMON	1,405 SF
RESIDENTIAL	12,122 SF
	13,527 SF
02-SECOND FLOOR	
COMMON	2,675 SF
RESIDENTIAL	12,122 SF
	14,797 SF
03-THIRD FLOOR	
COMMON	2,184 SF
RESIDENTIAL	4,768 SF
	6,952 SF
04-FOURTH FLOOR	
COMMON	2,184 SF
RESIDENTIAL	4,768 SF
	6,952 SF
TOTAL PROPOSED NSF	42,228 SF

NOTES

1. PENETRATIONS
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE VA (PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. WALL PENETRATIONS SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1-HR OR THE ASSEMBLY PENETRATED
      d. SOME EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS, SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES > TWO STORIES
      b. CONTAIN IN WALL AND FIRESTOP < TWO STORIES
      c. DUCTS "4" MAY BE PERMITTED TO PENETRATE UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.6.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND FIRE DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR, IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.
3. FIRE WALL/BARRIER IDENTIFICATION
   A. 2019 CBC 703.7
      PROVIDE SIGNAGE AT ALL FIRE WALLS, FIRE PARTITIONS AND FIRE BARRIERS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, LOCATE IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES. LOCATE WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
   B. "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS". LETTERS MIN 3" HIGH WITH 3/8" MIN. STROKE, ON SIGNAGE IN A CONTRASTING COLOR.
   C. WALLS IN GROUP R-2 WITHOUT A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE ARE EXEMPT.

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MURRIETA - BUILDING 1

24960 ADAMS AVE, MURRIETA CA 92562

BLDG 1 - CODE ANALYSIS

NO.	REVISION	DATE
1		
2		
3		
4		
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PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/06/2022

PROJECT NUMBER 1853-05

SHEET A1-001

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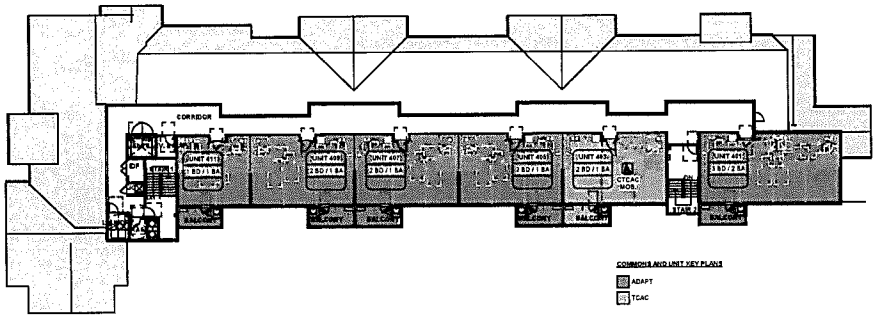
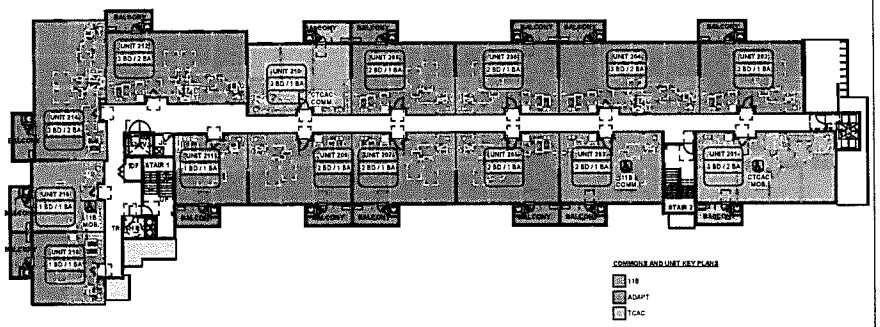
BIM 360://Murrieta Building_BLDG 1.rvt



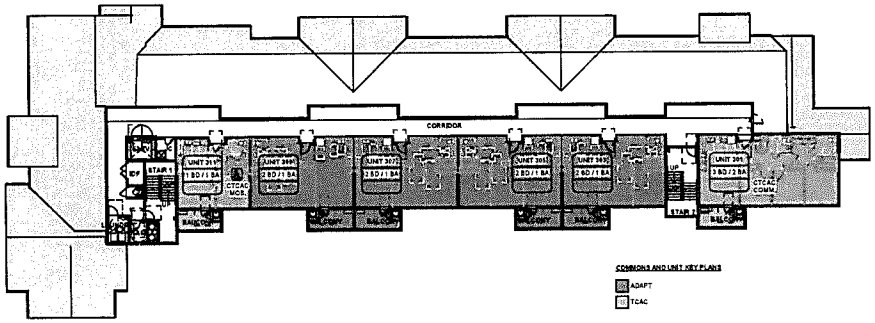
3 FOURTH FLOOR - BUILDING 1

A1-001 A1-002 SCALE: 1/16" = 1'-0"



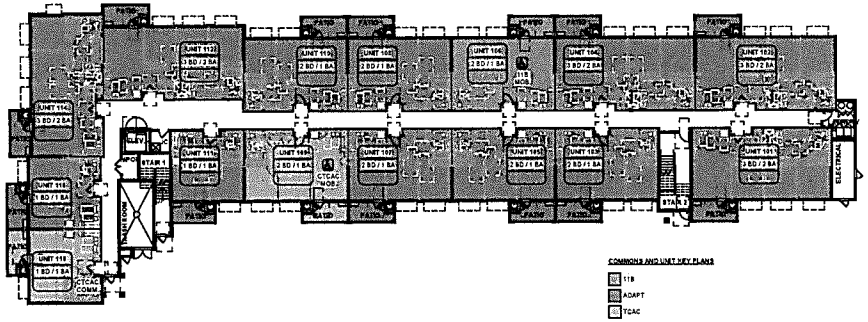
1 SECOND FLOOR PLAN - BUILDING 1

A1-001 A1-002 SCALE: 1/16" = 1'-0"



4 THIRD FLOOR PLAN - BUILDING 1

A1-001 A1-002 SCALE: 1/16" = 1'-0"



2 GROUND FLOOR PLAN - BUILDING 1

A1-001 A1-002 SCALE: 1/16" = 1'-0"

UNIT MATRIX - BLDG 1

UNIT TYPE	UNIT #	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
01-GROUND FLOOR						
3 BD / 2 BA	101				•	1
2 BD / 1 BA	102				•	1
2 BD / 1 BA	103				•	1
3 BD / 2 BA	104				•	1
2 BD / 1 BA	105				•	1
2 BD / 1 BA	106	•				1
2 BD / 1 BA	107				•	1
2 BD / 1 BA	108				•	1
2 BD / 1 BA	109		•			1
2 BD / 1 BA	110				•	1
2 BD / 1 BA	111				•	1
3 BD / 2 BA	112				•	1
3 BD / 2 BA	114				•	1
1 BD / 1 BA	116				•	1
1 BD / 1 BA	118			•	•	1
						15

UNIT MATRIX - BLDG 1

UNIT TYPE	UNIT #	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
02-SECOND FLOOR						
3 BD / 2 BA	201		•			1
2 BD / 1 BA	202				•	1
2 BD / 1 BA	203			•	•	1
3 BD / 2 BA	204				•	1
2 BD / 1 BA	205				•	1
2 BD / 1 BA	206				•	1
2 BD / 1 BA	207				•	1
2 BD / 1 BA	208				•	1
2 BD / 1 BA	209				•	1
2 BD / 1 BA	210			•	•	1
1 BD / 1 BA	211				•	1
3 BD / 2 BA	212				•	1
3 BD / 2 BA	214				•	1
1 BD / 1 BA	216	•				1
1 BD / 1 BA	218				•	1
						15

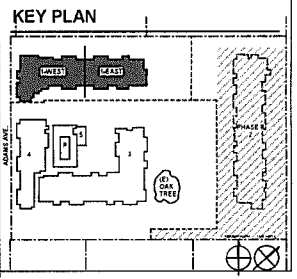
UNIT MATRIX - BLDG 1

UNIT TYPE	UNIT #	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
03-THIRD FLOOR						
3 BD / 2 BA	301			•	•	1
2 BD / 1 BA	303				•	1
2 BD / 1 BA	305				•	1
2 BD / 1 BA	307				•	1
2 BD / 1 BA	309				•	1
1 BD / 1 BA	311		•			1
						6

UNIT MATRIX - BLDG 1

UNIT TYPE	UNIT #	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
04-FOURTH FLOOR						
3 BD / 2 BA	401				•	1
2 BD / 1 BA	403		•			1
2 BD / 1 BA	405				•	1
2 BD / 1 BA	407				•	1
2 BD / 1 BA	409				•	1
1 BD / 1 BA	411				•	1
						6
						42

KEY PLAN



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BLDG 1 - UNIT KEY PLANS

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PROJECT MANAGER
DRAWN BY
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PROJECT NUMBER 1853-05
SHEET A1-002

1 GROUND FLOOR PLAN - BUILDING A

ANCHI ANSI SCALE: 1/8" = 1'-0"

KEYNOTES

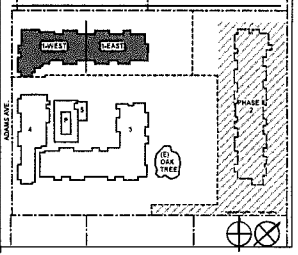
LEGEND

- ELEVATION
- SLOPE
- FLOOR DRAIN (REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION)
- SLOPE CHANGE
- SLAB STEP
- SLAB STEP & SLOPE
- CURB
- SLAB ON GRADE (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- DEPRESSED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- SLOPED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- CONCRETE CURB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION AND PLANS FOR GRADING)

SLAB PLAN GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS, EDGE OF SLAB, OR GRID LINE, UNLESS OTHERWISE NOTED.
2. SLAB PLANS ARE SUBMITTED FOR REFERENCE AND CLARIFICATION TO SCOPE OF STRUCTURAL SLAB, SLOPES, AND ELEVATION HEIGHTS. ALL SLAB EXTENTS TO BE VERIFIED WITH ARCHITECTURAL DOCUMENTS INCLUDING ARCHITECTURAL PLANS AND STRUCTURAL DRAWINGS.
3. SEE CIVIL DRAWINGS FOR ALL TOP OF SLAB HEIGHTS. HEIGHTS VARY PER BUILDING, ELECTRICAL ROOMS. ENSURE COMPLIANCE WITH 2018 CBC SECTIONS 2304.12.1.7 AND 2512.1.2
4. SLAB DEPRESSION SPOT ELEVATIONS ARE MEASUREMENTS BASE OFF OF LEVEL 01.
5. REFER TO LANDSCAPE DRAWINGS FOR PATIOS FINISH COLOR AND TEXTURE.
6. INTERIOR CHANGES IN LEVEL INDICATED BY SYMBOL LEGEND, SEE CIVIL FOR ELEVATIONS, STRUCTURAL FOR FOUNDATION DETAILS.
7. INTERIOR CHANGES IN LEVEL WITH CURB, SEE CIVIL FOR ELEVATIONS, STRUCTURAL FOR FOUNDATION DETAILS.

KEY PLAN



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BLDG 1 - SLAB PLAN

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PROJECT NUMBER 1853-05

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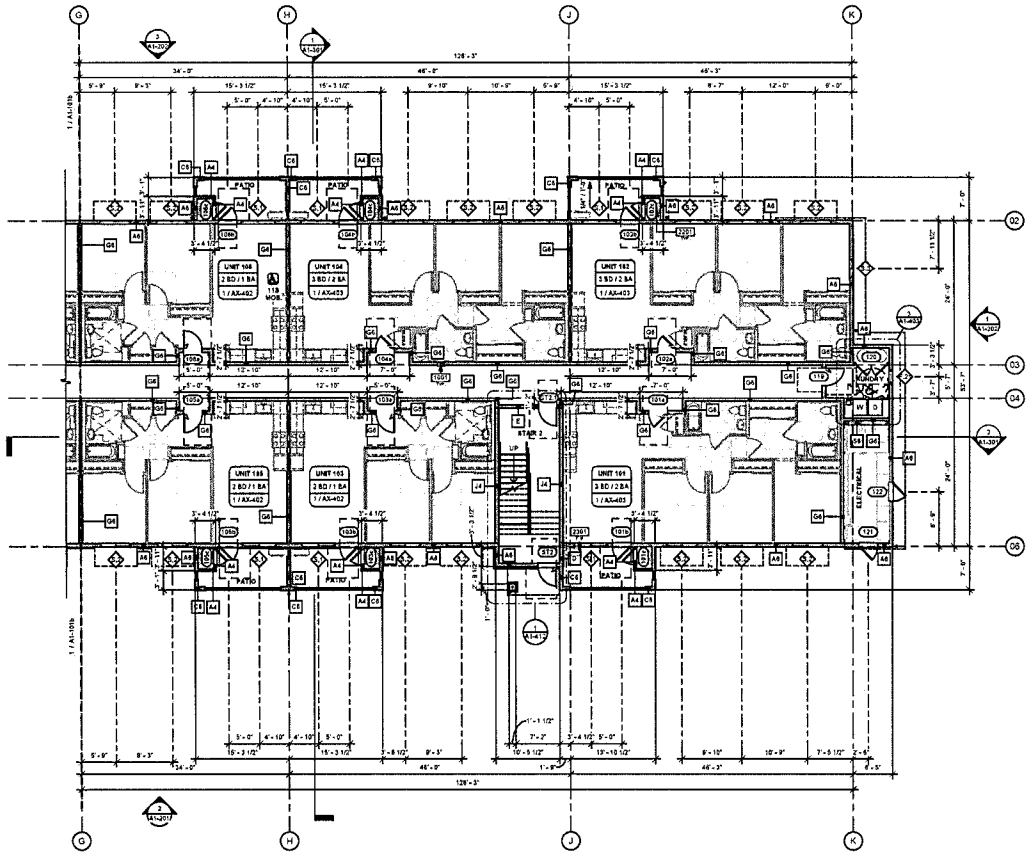


1 01-GROUND FLOOR PLAN - BLDG 1 - EAST
A1-101 A1-101a SCALE: 1/8" = 1'-0"

KEYNOTES

1001	FIRE EXTINGUISHER
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XXX	SHEET NUMBER ENLARGED UNIT PLAN

11B MOBILITY UNIT
THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

TCAC MOBILITY UNIT
THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC, REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

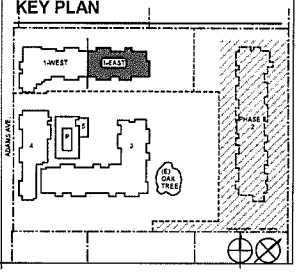
COMMUNICATION FEATURES
THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. (2019 CBC 11B-809.5 & 907.5.2.3). TCAC, REQUIRES 15% WITH COMMUNICATIONS FEATURES. 2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B. THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.2 THROUGH 11B-809.12).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AX-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFOR MATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2016 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION 4" THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - GROUND FLOOR PLAN - EAST

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PROJECT NUMBER 1853-05
SHEET A1-101a

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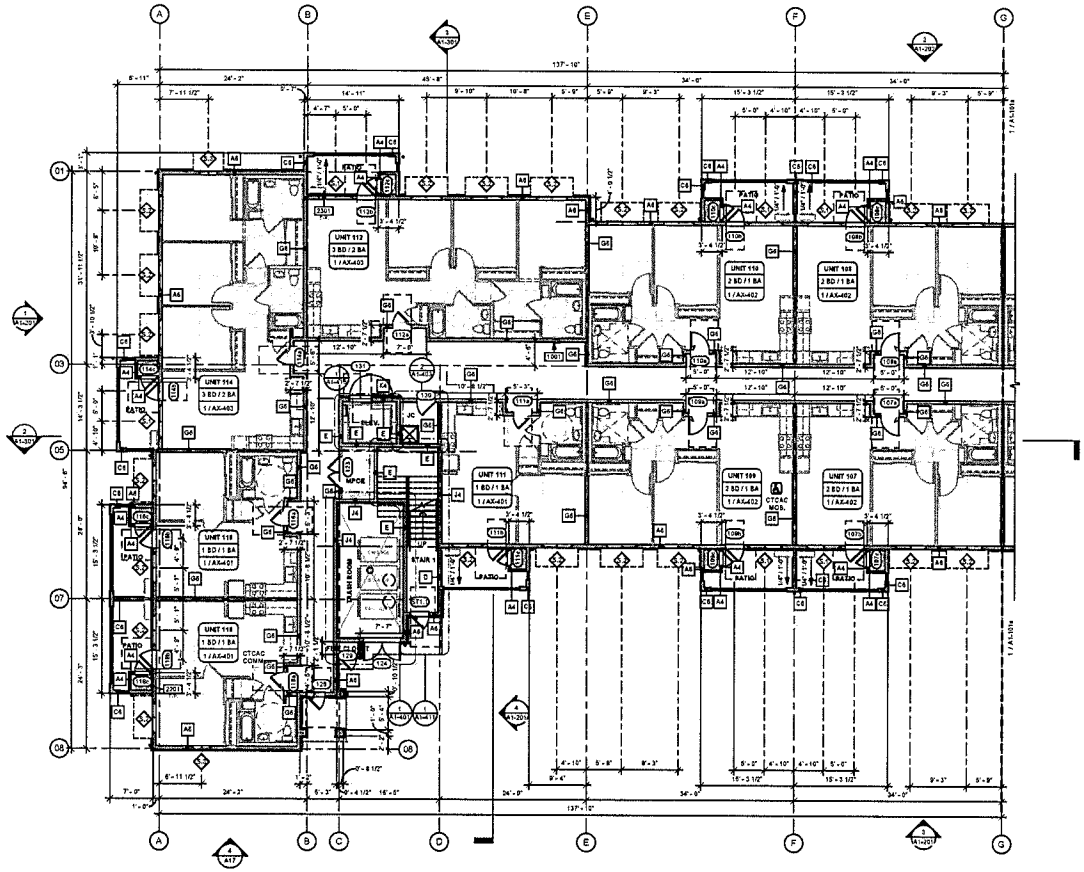

1 01-GROUND FLOOR PLAN - BLDG 1 - WEST
A1-201 A1-101b SCALE: 1/8" = 1'-0"

KEYNOTES

1001	FIRE EXTINGUISHER
2301	WATER HEATER. SEE PLUMBING DRAWINGS
2701	MECHANICAL UNIT. SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX — UNIT NUMBER

Type X — UNIT TYPE

SHEET XXX — SHEET NUMBER ENLARGED UNIT PLAN

11B MOB. — **11B MOBILITY UNIT**
THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

CTCAC MOB. — **TCAC MOBILITY UNIT**
THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC. REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

11B or CTCAC COMM. — **COMMUNICATION FEATURES**
THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. *[2019 CBC 11B-809.5 & 907.5.2.3].*
TCAC. REQUIRES 15% WITH COMMUNICATIONS FEATURES.
2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B.THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.2 THROUGH 11B-809.12).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A0.021 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
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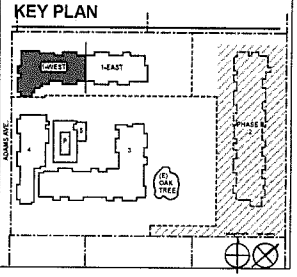
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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CONSULTANT

AGENCY

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - GROUND FLOOR PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-101b

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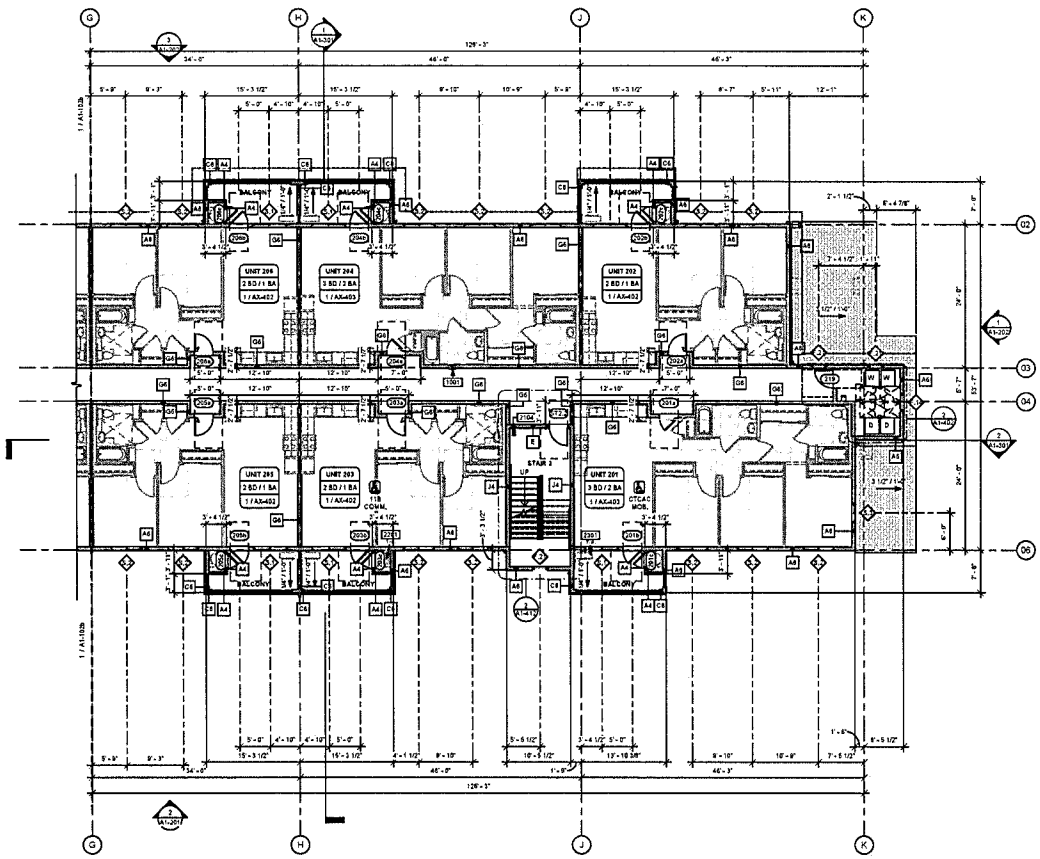

1 02-SECOND FLOOR PLAN - BLDG 1 - EAST

A1-201 | A1-102b SCALE: 1/8" = 1'-0"

KEYNOTES

1001	FIRE EXTINGUISHER
2104	STAND PIPE
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX — UNIT NUMBER

Type X — UNIT TYPE

SHEET XXX — SHEET NUMBER ENLARGED UNIT PLAN

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TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES.
2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
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FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AX-121 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
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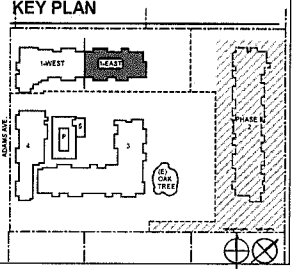
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - SECOND FLOOR PLAN - EAST

NO.	REVISION	DATE
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PROJECT MANAGER

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DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET A1-102a

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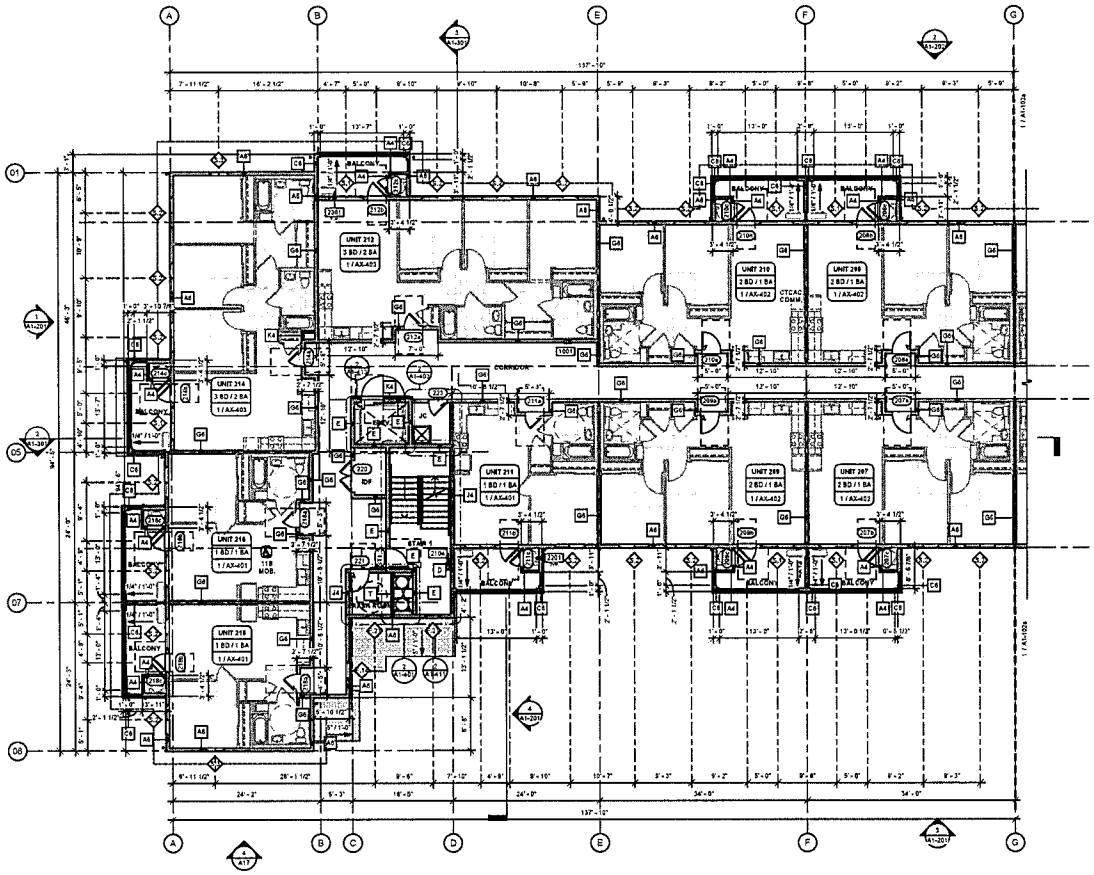

1 02-SECOND FLOOR PLAN - BLDG 1 - WEST
A1-201 A1-102b SCALE: 1/8" = 1'-0"

KEYNOTES

1001	FIRE EXTINGUISHER
2104	STAND PIPE
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

LEGEND

UNIT XXX / Type X / SHEET XXX	UNIT TAG UNIT NUMBER UNIT TYPE SHEET NUMBER ENLARGED UNIT PLAN
11B MOB.	**11B MOBILITY UNIT** THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
CTCAC MOB.	**TCAC MOBILITY UNIT** THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC. REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
11B or CTCAC COMM.	**COMMUNICATION FEATURES** THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. (2019 CBC 11B-809.5 & 907.5.2.3) TCAC. REQUIRES 15% WITH COMMUNICATIONS FEATURES. 2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

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FLOOR PLAN GENERAL NOTES

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2. REFER TO SHEET AX-621 FOR WALL TYPES
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4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
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12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
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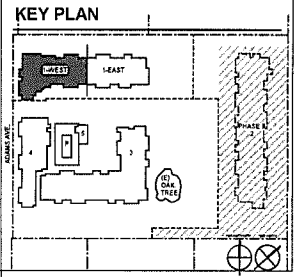
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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BLDG 1 - SECOND LEVEL FLOOR PLAN - WEST

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SHEET A1-102b

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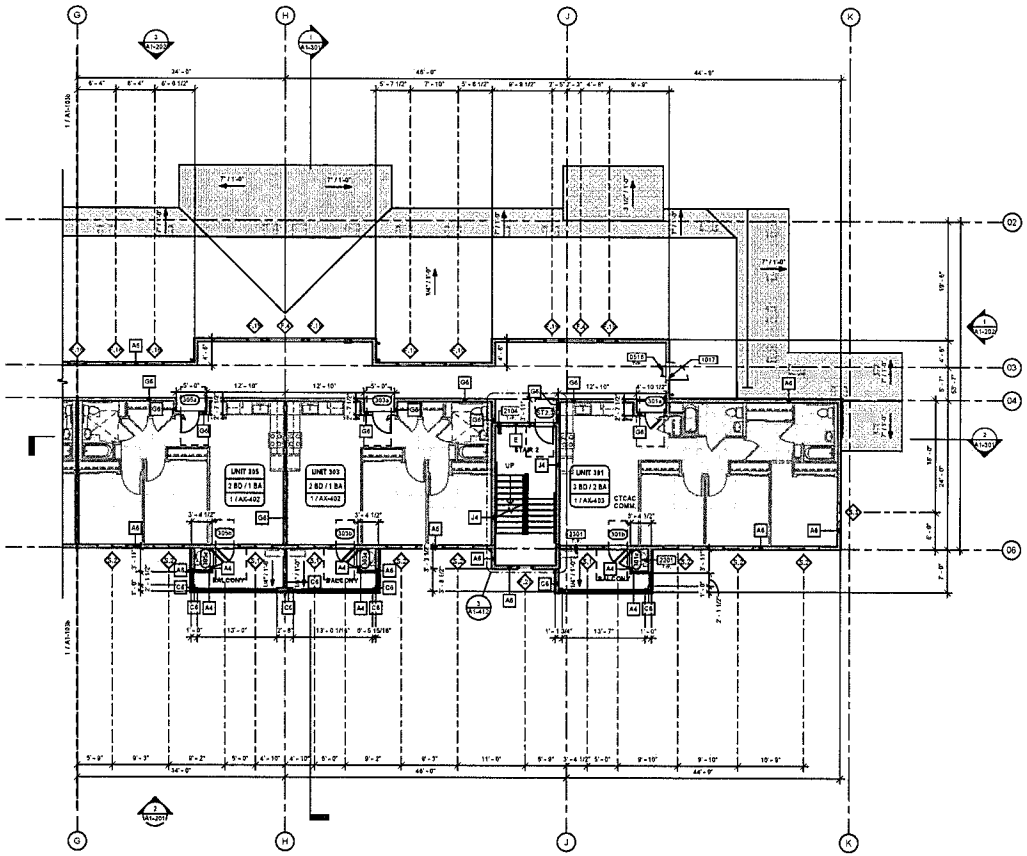

1 03-THIRD FLOOR PLAN - BLDG 1 - EAST
A1-201 | A1-102a SCALE: 1/8" = 1'-0"

KEYNOTES

0519	FIXED STEEL LADDER
1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF 2' X 3'
2104	STAND PIPE
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT, SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XXX	SHEET NUMBER ENLARGED UNIT PLAN
A 11B MOB.	**11B MOBILITY UNIT** THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
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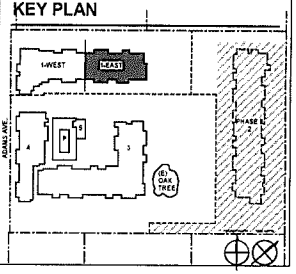
KEY PLAN



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BLDG 1 - THIRD LEVEL FLOOR PLAN - EAST

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PROJECT MANAGER
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DATE 11/08/2022
PROJECT NUMBER 1853-05
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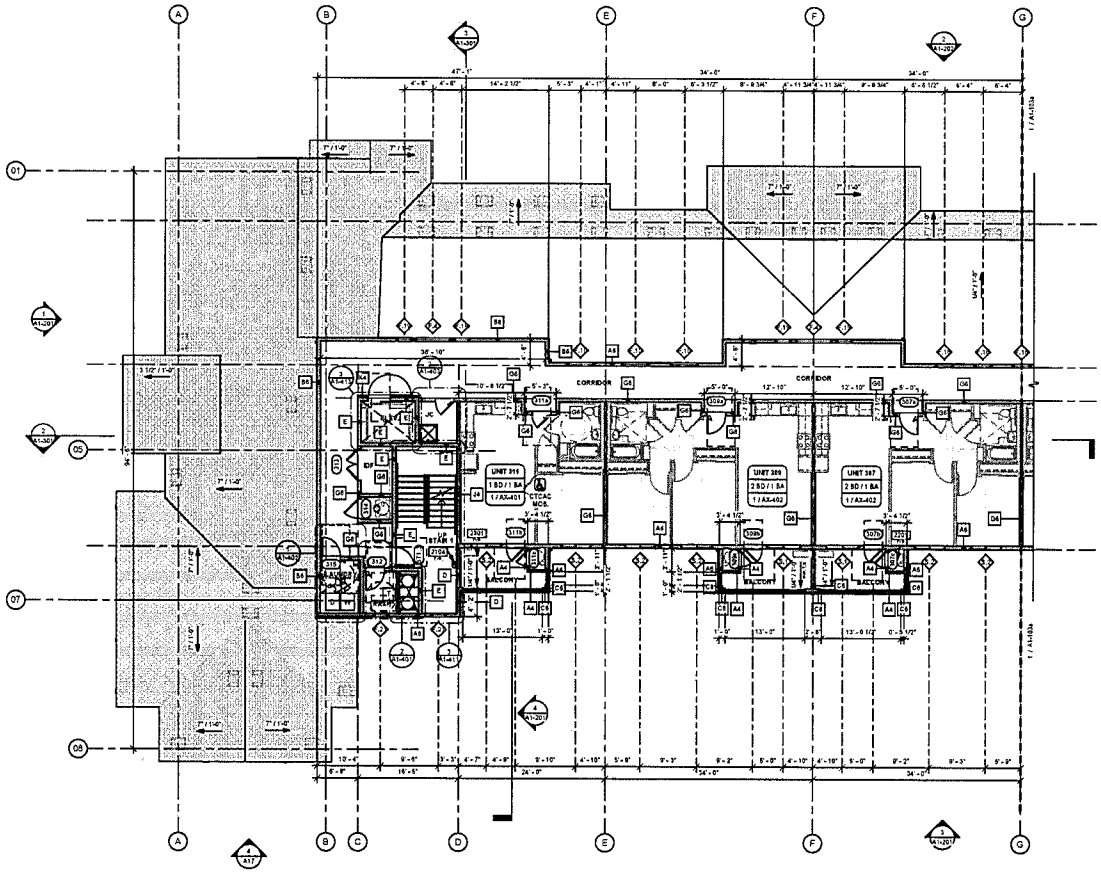

1 03-THIRD FLOOR PLAN - BLDG 1 - WEST

A1-101 A1-103B SCALE: 1/8" = 1'-0"

KEYNOTES

2104	STAND PIPE
2301	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX / Type X / SHEET XXX

UNIT NUMBER

UNIT TYPE

SHEET NUMBER ENLARGED UNIT PLAN

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11B w CTCAC COMM.

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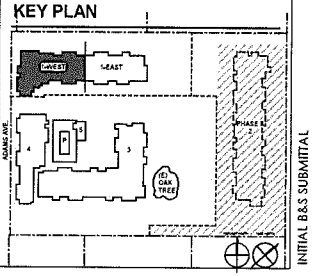
KEY PLAN



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CONSULTANT

AGENCY

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BLDG 1 - THIRD LEVEL FLOOR PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER

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DATE 11/08/2022

PROJECT NUMBER 1853-05

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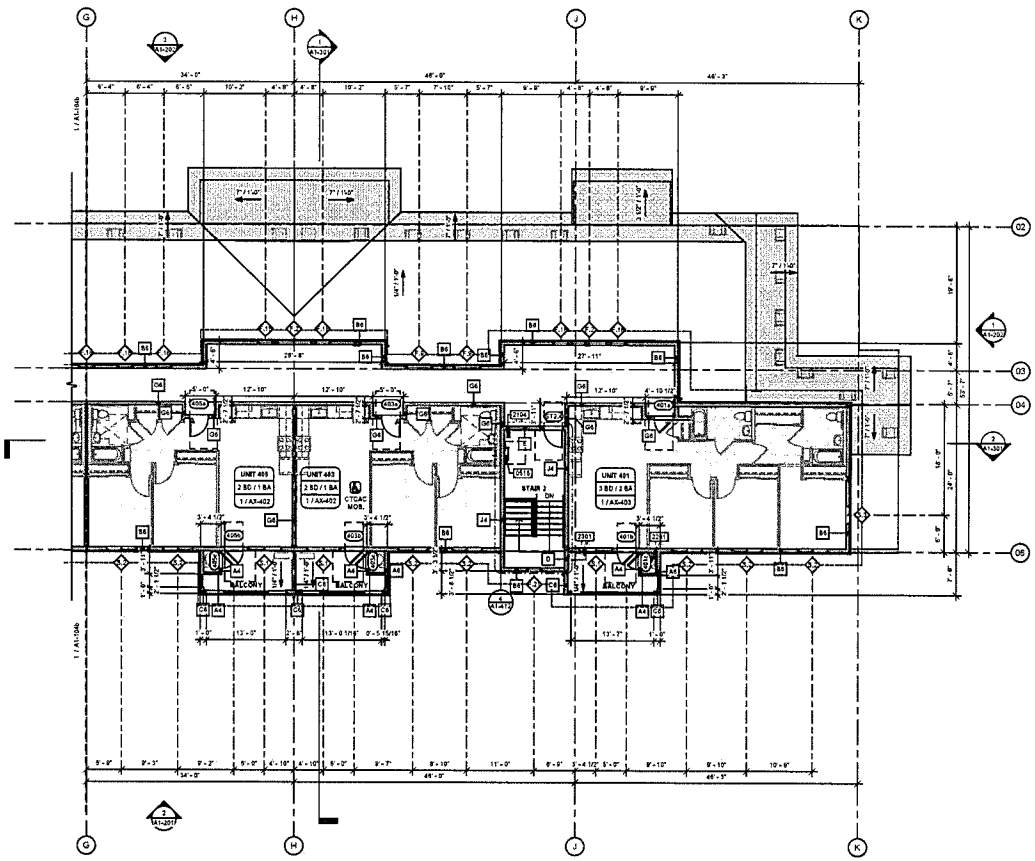

1 04-FOURTH FLOOR PLAN - BLDG 1 - EAST

A1-201 A1-104d SCALE: 1/8" = 1'-0"

KEYNOTES

2010	FIXED STEEL LADDER
2104	STAND PIPE
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT, SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XX3	SHEET NUMBER ENLARGED UNIT PLAN

A 11B MOB.

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11S or CTCAC COMM.

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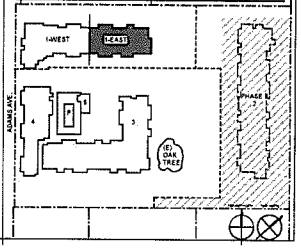
KEY PLAN



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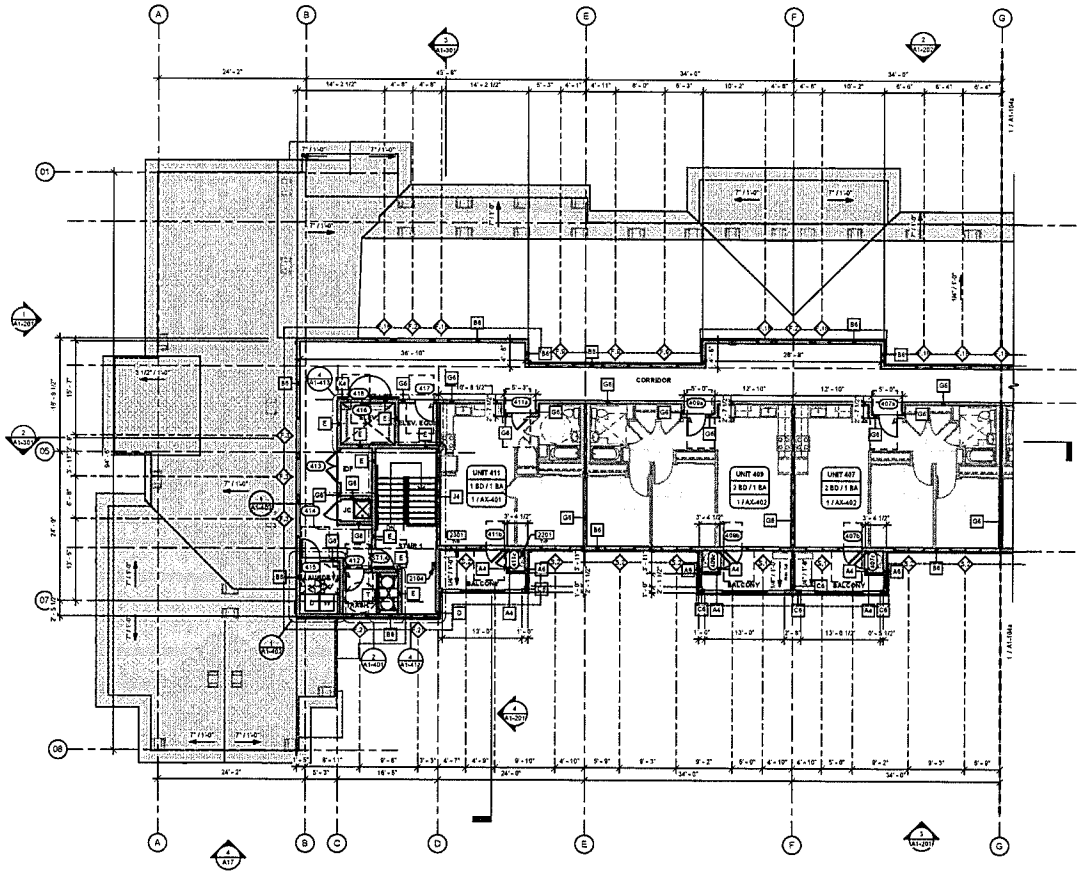

1 04-FOURTH FLOOR PLAN - BLDG 1 - WEST

A1-101 A1-104b SCALE: 1/8" = 1'-0"

KEYNOTES

2104	STAND PIPE
2301	WATER HEATER , SEE PLUMBING DRAWINGS
2501	MECHANICAL UNIT, SEE MECH. DRAWINGS

LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XX-X	SHEET NUMBER ENLARGED UNIT PLAN

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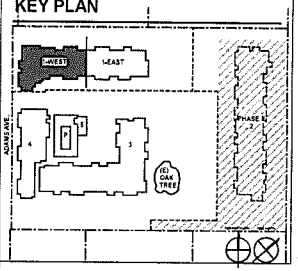
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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CONSULTANT

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - FOURTH LEVEL FLOOR PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-104b

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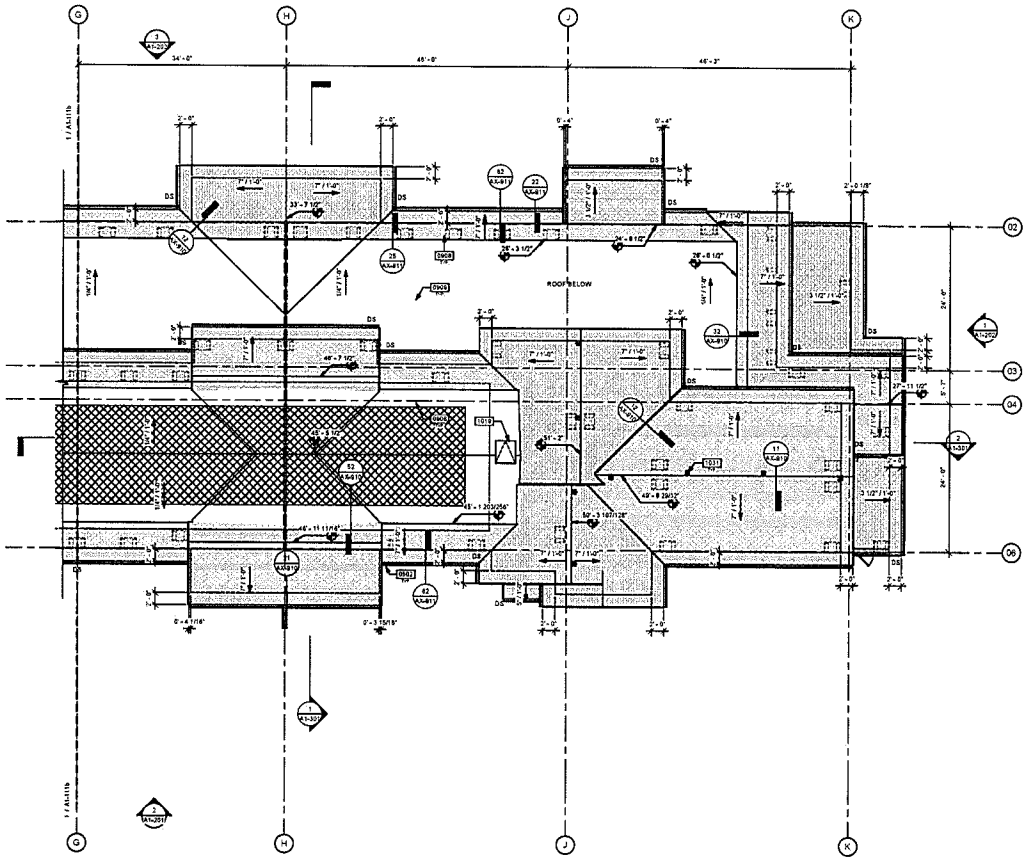


1 05-ROOF PLAN - BLDG 1 - EAST

A1-201 1/8=1'-0" SCALE: 1/8" = 1'-0"

KEYNOTES

0502	METAL DOWNSPOUT
0906	COMPOSITE ROOFING SHINGLE
0908	BUILT-UP ROOFING
1016	ROOF ACCESS HATCH
1031	ROOF MOUNT TIE BACK ANCHOR

ROOF PLAN DRAINAGE NOTES

1. DOWNSPOUT SIZING: ALL DOWNSPOUTS TO BE 3"X4" RECTANGULAR DOWNSPOUTS.
   A. MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREAS (2000ft² PER CPC 2019 TABLE 1101.1) WITH A 3" RECTANGULAR DOWN SPOUT PER CPC 2019 TABLE 1101.1 = 4499SSF.
   B. MAXIMUM PROPOSED (WORST CASE) HORIZONTAL PROJECTED ROOF AREAS TO BE: 1919 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A DOWNSPOUT.
2. GUTTER SIZING FOR PITCHED ROOF AREAS: ALL GUTTERS TO BE 4" AT 1/16" PER ROOF SLOPE.
3. MAXIMUM ROOF AREAS 7205F (PER CBC 2019 TABLE 1103.3).
4. MAXIMUM PROPOSED ROOF AREA TO BE: 945 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A GUTTER.

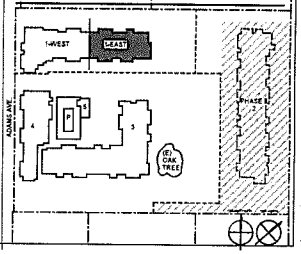
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC 1507.1) AND MANUFACTURER'S INSTALLATION INSTRUCTIONS
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH (2019 CBC SECTION 1203). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER (2019 CBC 1203.2.2.)
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 10'-0" — HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING SPECIFIED AND MEASURED)
- 2"/12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- DYNAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR ELEVATIONS FOR COLORS AND MATERIALS)
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT. DOWNSPOUT. TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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BLDG 1 - ROOF PLAN - EAST

NO.	REVISION	DATE

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DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-111a

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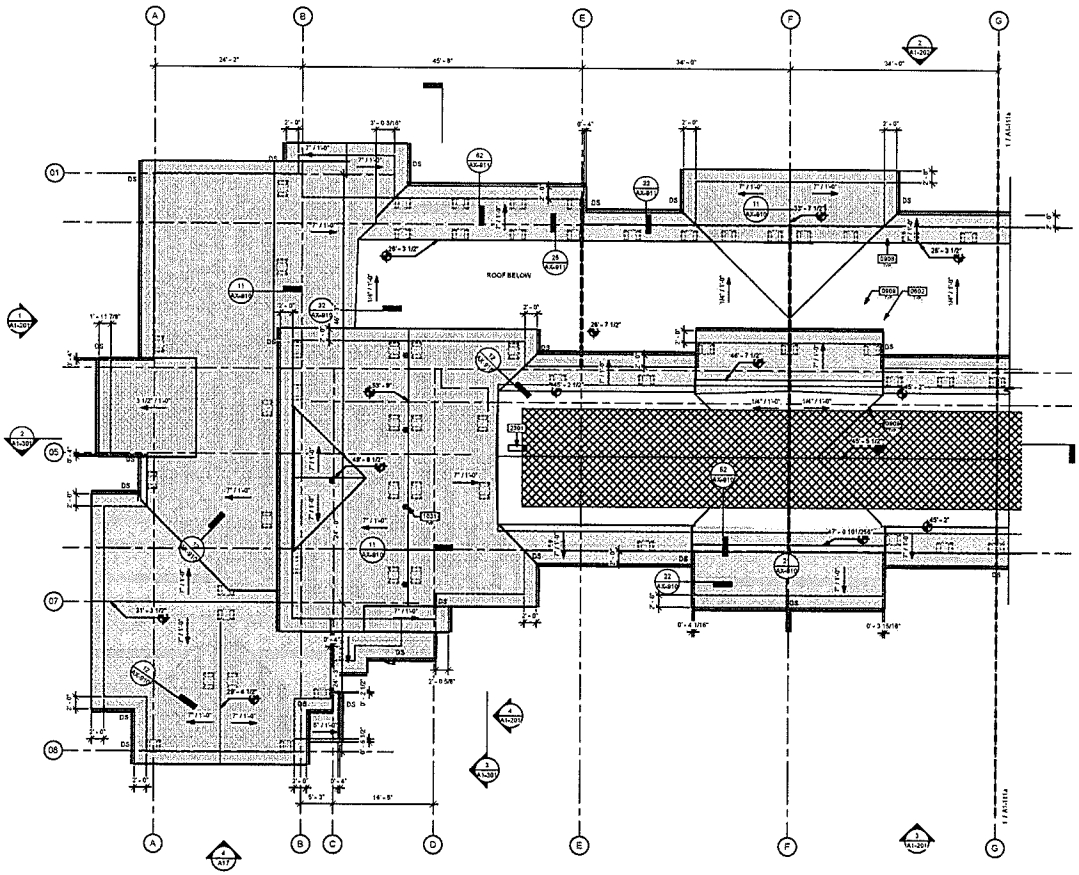


1 05-ROOF PLAN - BLDG 1 - WEST

A1-201 | 1/8"=1'-0" SCALE: 1/8" = 1'-0"

KEYNOTES

0502	METAL DOWNSPOUT
0908	COMPOSITE ROOFING SHINGLE
0906	BUILT-UP ROOFING
1031	ROOF MOUNT TIE BACK ANCHOR
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

ROOF PLAN DRAINAGE NOTES

1. DOWNSPOUT SIZING: ALL DOWNSPOUTS TO BE 3"x4" RECTANGULAR DOWNSPOUTS.
   A. MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREAS (2IN/HR PER CPC 2019 TABLE D101.1) WITH A 3" RECTANGULAR DOWN SPOUT PER CPC 2019 TABLE 1103.1 = 4499SF.
   B. MAXIMUM PROPOSED (WORST CASE) HORIZONTAL PROJECTED ROOF AREA TO BE: 1918 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A DOWNSPOUT.
2. GUTTER SIZING FOR PITCHED ROOF AREAS: ALL GUTTERS TO BE 4" AT 1/16" PER FOOT SLOPE.
3. MAXIMUM ROOF AREAS 7205SF (PER CBC 2019 TABLE 1105.3)
4. MAXIMUM PROPOSED ROOF AREA TO BE: 585 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A GUTTER.

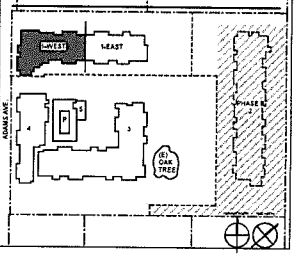
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC SECTION 1507). AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH (2019 CBC SECTION 1202). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER (2019 CBC 1202.2.)
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 10'-0" HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)
- 3"/12" ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- D HAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR ELEVATIONS FOR COLORS AND MATERIALS)
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT
- DOWNSPOUT. TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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BLDG 1 - ROOF PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-111b

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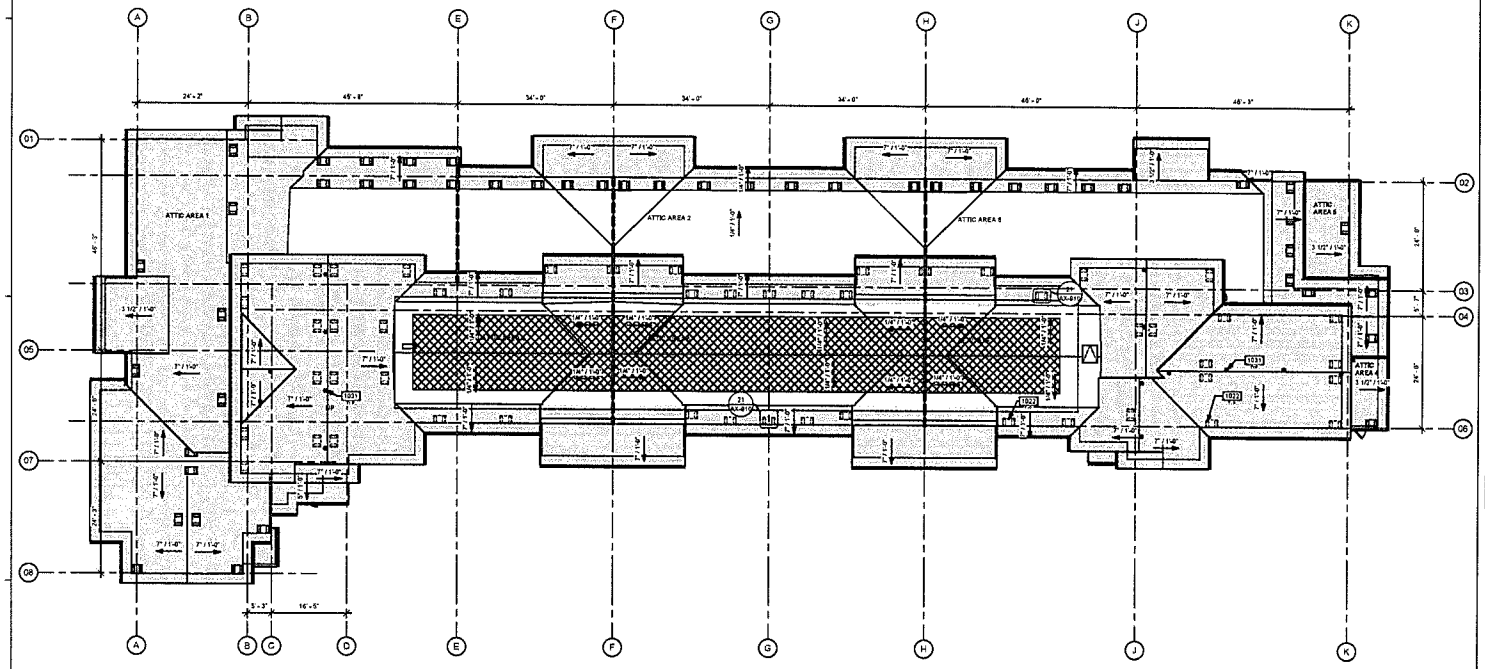
ATTIC ZONE	AREA	FACTOR	REQUIRED FREE AREA VENT SF
FIRE RISER	2697 SF	0.0067	2781 m²

LOWER

Ohagin Shingle Roof Vent	53	72.00 m²	3816 m²
			3816 m²

UPPER

Ohagin Shingle Roof Vent	55	72.00 m²	3960 m²
			3960 m²
			7776 m²



1 05 - ROOF VENTILATION PLAN - BLDG 1

A1-111 A1-112 SCALE: 3/32" = 1'-0"

ROOF VENTING CALCULATIONS

UPPER VENTS: *OHAGIN TAPERED LOW PROFILE STANDARD LINE*
72.0 SQ IN OF AIR MOVEMENT PER VENT = 72 SQ IN / 144 = 0.5 SF

LOWER VENTS: *EAVE VENTS 24" WITH (3) 3" HOLES = 0.05 SF*

"UPPER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) / (0.5 SF)

"LOWER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.05) / (0.05 SF)

ATTIC	AREA	REQUIRED ATTIC VENTING (NFA)	UPPER VENTING REQUIRED (NFA)	LOWER VENTING REQUIRED (NFA)
ATTIC 1	2294 SF	7.65 SF	3.83 SF	3.83 SF
ATTIC 2	2531 SF	8.44 SF	4.22 SF	4.22 SF
ATTIC 3	2713 SF	9.04 SF	4.52 SF	4.52 SF
ATTIC 4	143 SF	0.48 SF	0.24 SF	0.24 SF
ATTIC 5	280 SF	0.93 SF	0.47 SF	0.47 SF
ATTIC 6	2059 SF	6.86 SF	3.43 SF	3.43 SF
ATTIC 7	2614 SF	8.73 SF	4.37 SF	4.37 SF
ATTIC 8	2651 SF	8.84 SF	4.42 SF	4.42 SF

VENT TYPE	COUNT	VENT LENGTH	NET FREE AREA PER VENT	PROVIDED NET FREE AREA
ATTIC 1				
OHAGIN SHINGLE ROOF VENT (LOWER)	8	2'-8"	0.50 SF	4.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	8	2'-8"	0.50 SF	4.00 SF
				8.00 SF
ATTIC 2				
OHAGIN SHINGLE ROOF VENT (LOWER)	8	2'-8"	0.50 SF	4.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	10	2'-8"	0.50 SF	5.00 SF
				9.00 SF
ATTIC 3				
OHAGIN SHINGLE ROOF VENT (LOWER)	10	2'-8"	0.50 SF	5.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	10	2'-8"	0.50 SF	5.00 SF
				10.00 SF
ATTIC 4				
OHAGIN SHINGLE ROOF VENT (LOWER)	1	2'-8"	0.50 SF	0.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	1	2'-8"	0.50 SF	0.50 SF
				1.00 SF
ATTIC 5				
OHAGIN SHINGLE ROOF VENT (LOWER)	1	2'-8"	0.50 SF	0.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	1	2'-8"	0.50 SF	0.50 SF
				1.00 SF
ATTIC 6				
OHAGIN SHINGLE ROOF VENT (LOWER)	7	2'-8"	0.50 SF	3.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	7		0.50 SF	3.50 SF
				7.00 SF
ATTIC 7				
OHAGIN SHINGLE ROOF VENT (LOWER)	9	2'-8"	0.50 SF	4.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	9	2'-8"	0.50 SF	4.50 SF
				9.00 SF
ATTIC 8				
OHAGIN SHINGLE ROOF VENT (LOWER)	9	2'-8"	0.50 SF	4.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	9	2'-8"	0.50 SF	4.50 SF
				9.00 SF

KEYNOTES

1022	ATTIC VENT (LOWER). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
1031	ROOF MOUNT TIEBACK ANCHOR

ROOF PLAN GENERAL NOTES

PER 2019 CBC SECTION 1203.2.1 & 1203.2.2

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
2. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN AIRSPACE OF NOT LESS THAN 1-INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
1. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
4. THE NET-FREE CROSS VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
5. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, SQUIRRELS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES.
7. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH SHALL BE PERMITTED.
8. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4-INCH SHALL BE PROVIDED WITH WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH.

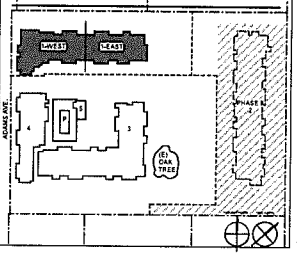
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE.
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC 1507.1) AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH (2019 CBC SECTION 1202). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER (2019 CBC 1202.2.2)
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 10'-0" — HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CURBS AND INSULATION)
- 2'-1/2" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- OHAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR ELEVATIONS FOR COLORS AND MATERIALS)
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT. DOWNSPOUT. TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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BLDG 1 - ROOF VENTILATION PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-112

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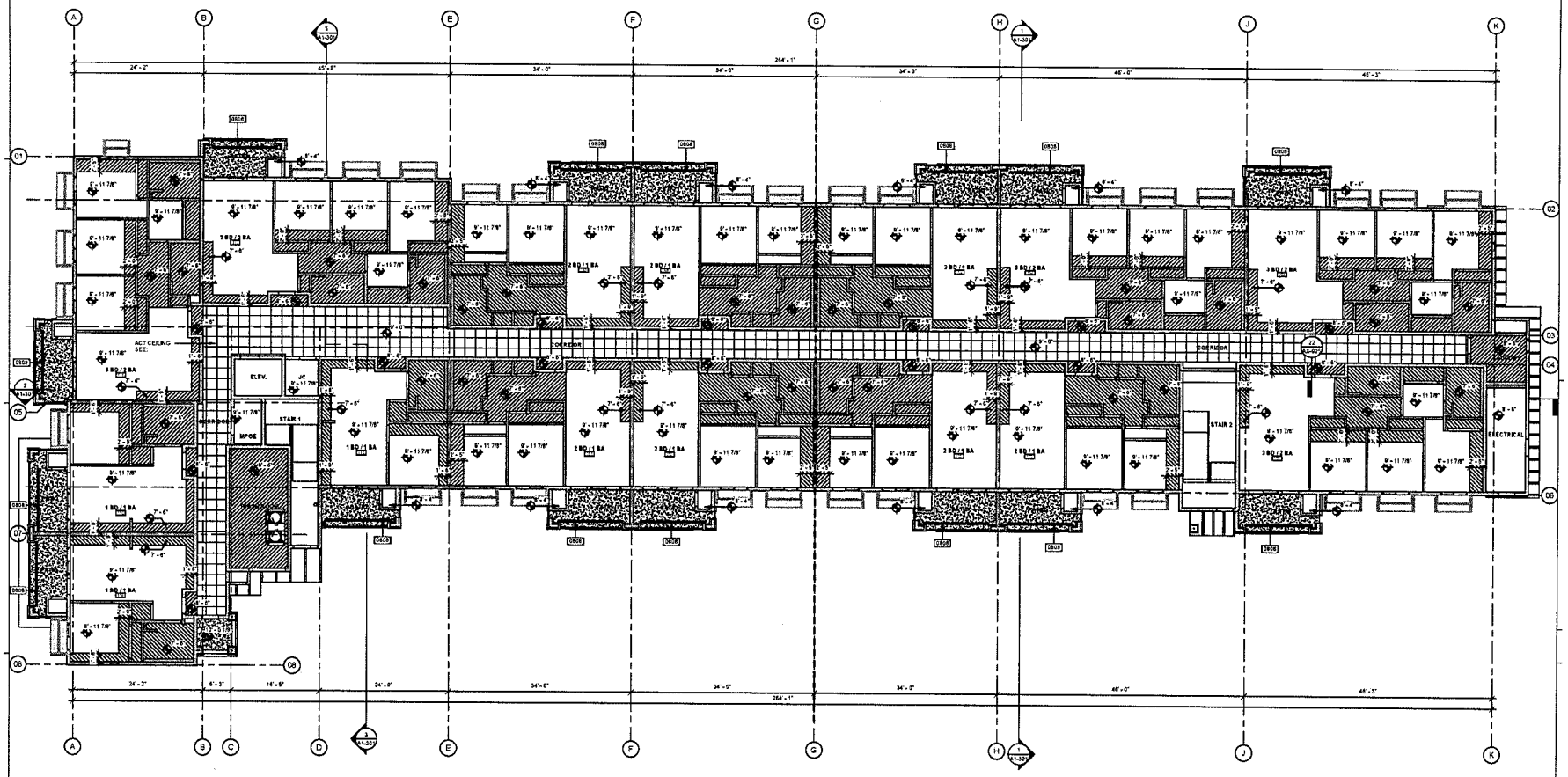
BIM 360://Murrieta Avenue_BLDG 1.rvt



1 GROUND FLOOR RCP

A1-301 | A1-311 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.6 ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 9 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) / (9 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	109 SF	0.72726	12	12

KEYNOTES

06D8	SOFFIT VENT

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOORCEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN. LINO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR ARRANGING IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- XX'-X" CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHT)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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CONSULTANT

ARCHITECT

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - REFLECTED CEILING PLAN - GROUND LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-121

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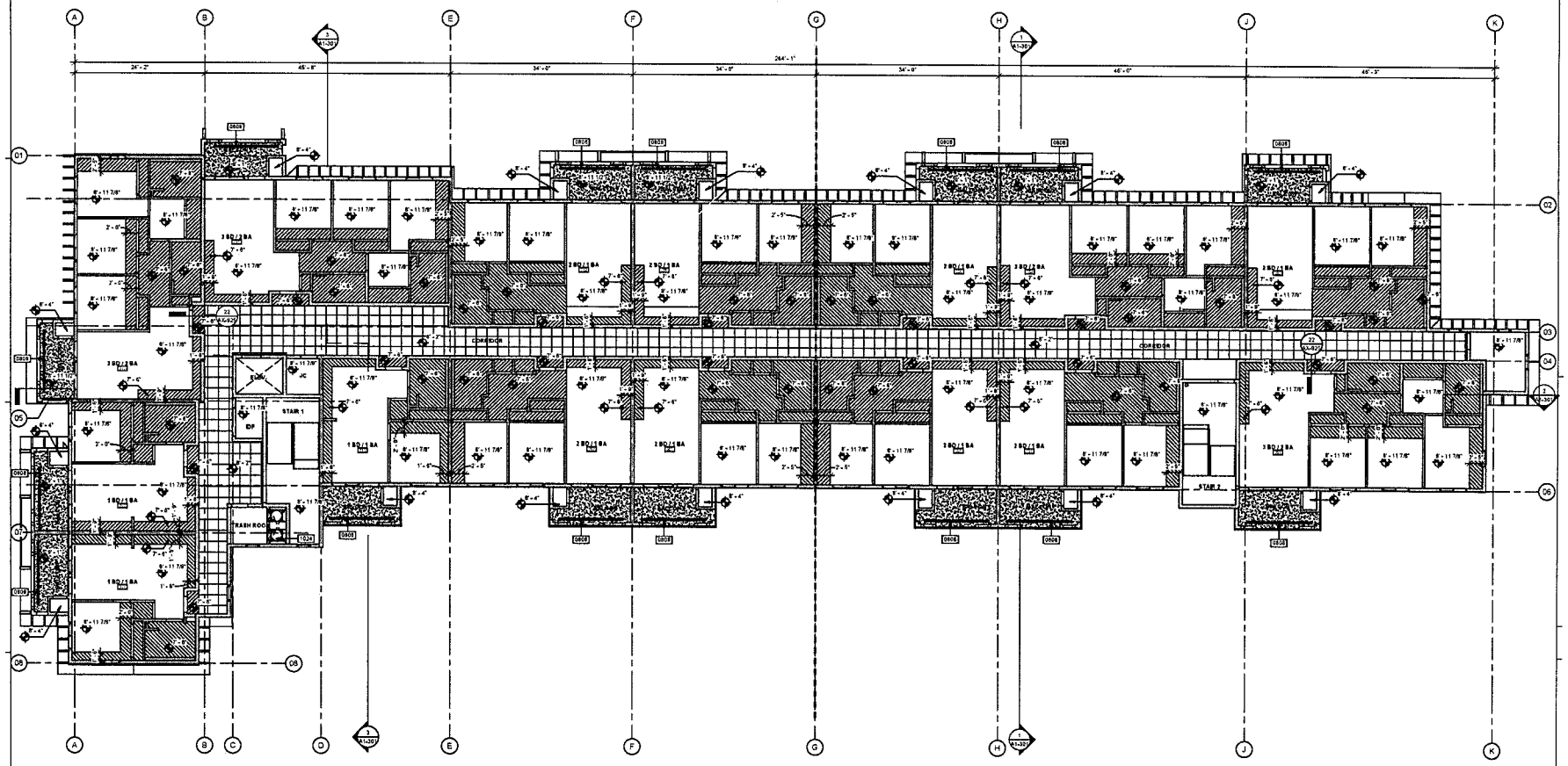
ERIK.SEELY@rrmdesigngroup.com, BLDG 1.rvt



1 SECOND FLOOR RCP

ANSI D 22x34 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.6 ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 9 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) / (9 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT.
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	109 SF	0.72734	12	12

KEYNOTES

0808	SOFFIT VENT
102M	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS, PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFITS/SIGNS BEAMS: PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR, THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

22'-0"	CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
	INTERIOR - GYPSUM BOARD CEILING
	INTERIOR - GYPSUM BOARD SOFFIT
	INTERIOR - ACOUSTICAL TILE CEILING
	EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - REFLECTED CEILING PLAN - SECOND LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-122

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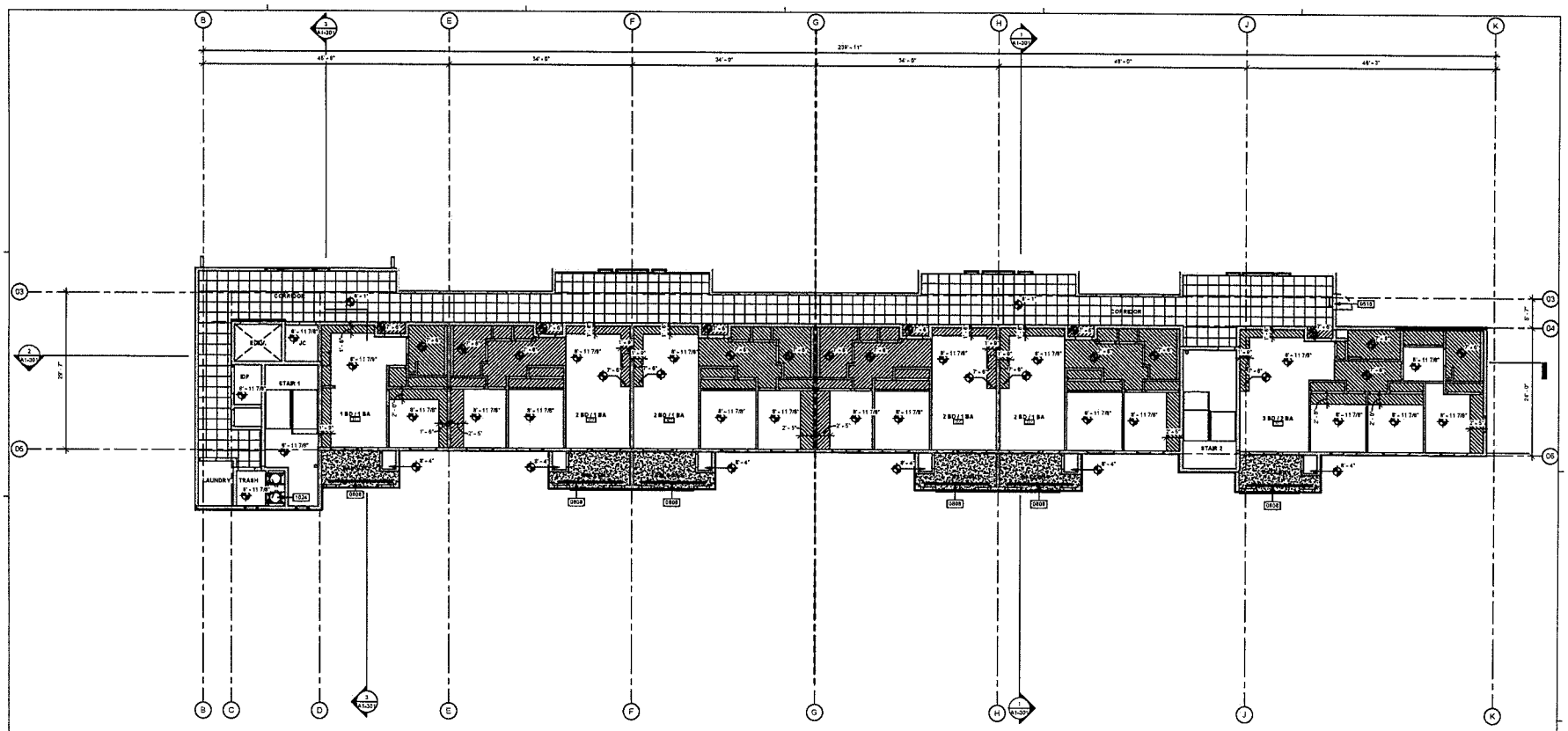

1 THIRD FLOOR RCP

A1-201 A1-203 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.4, ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 9 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) / (9 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT.
PRODUCT CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	109 SF	0.72738	12	12

KEYNOTES

0810	FIXED STEEL LADDER
0808	SOFFIT VENT
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
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8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS: PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
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11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHT)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - REFLECTED CEILING PLAN - THIRD LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-123

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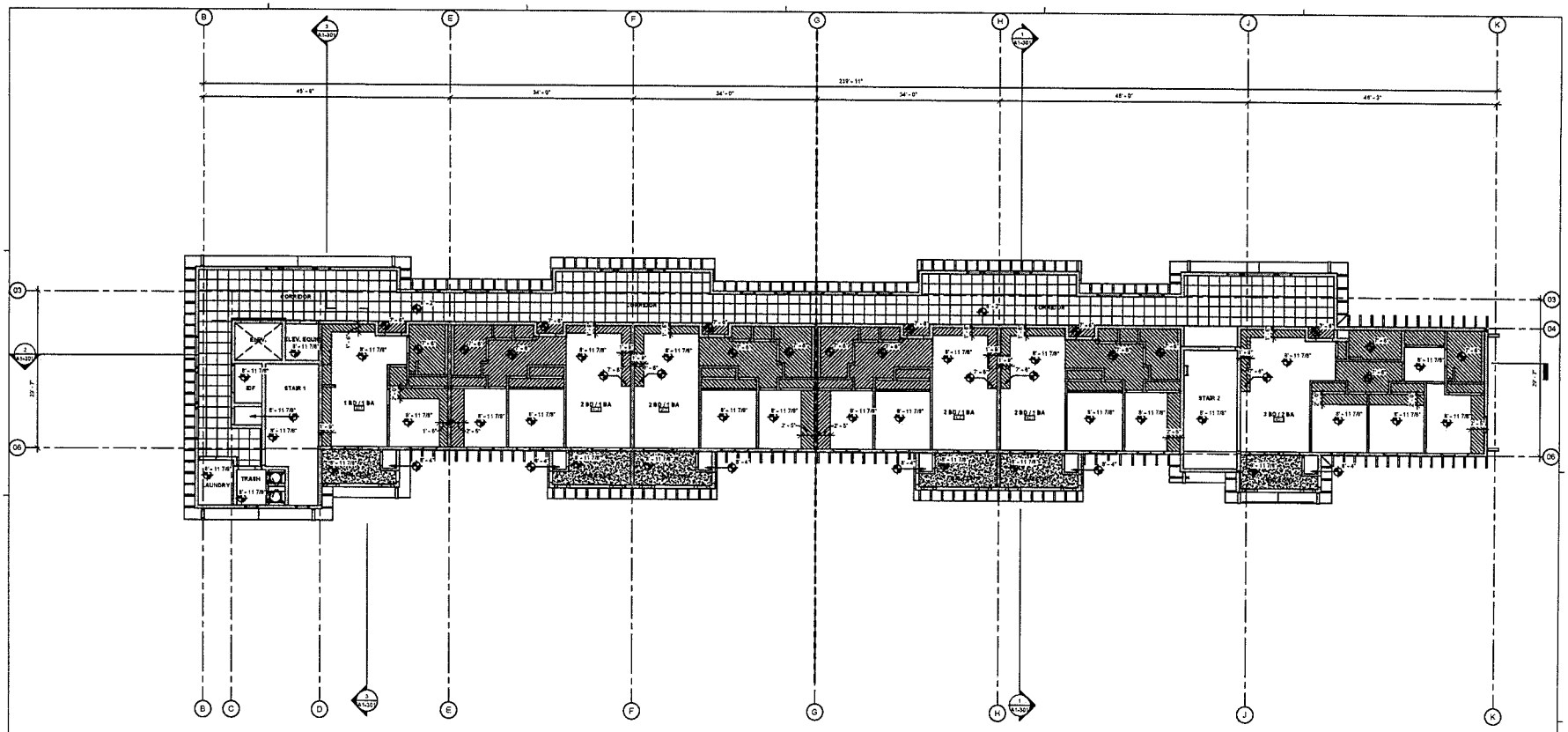

1 FOURTH FLOOR RCP

A1-301 | A1-124 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 3304.12.2.8, ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 6 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ = (BALCONY AREA / 150) / (6 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY (109 SF	0.72738	12	12	

KEYNOTES

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
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7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
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11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- 8'-0" CEILING HEIGHT (REF PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - REFLECTED CEILING PLAN - FOURTH LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY
CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-124

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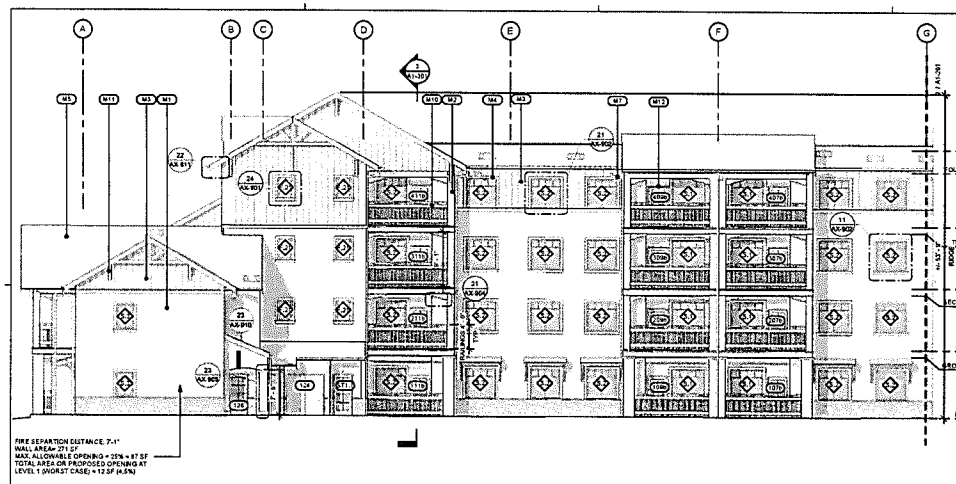
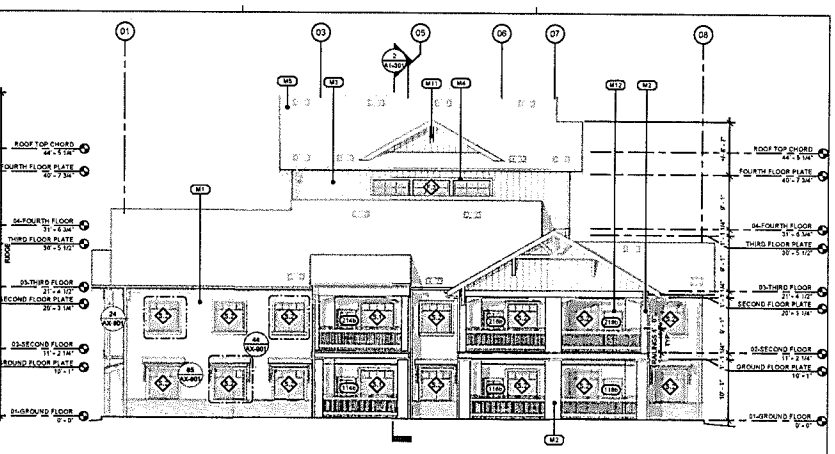
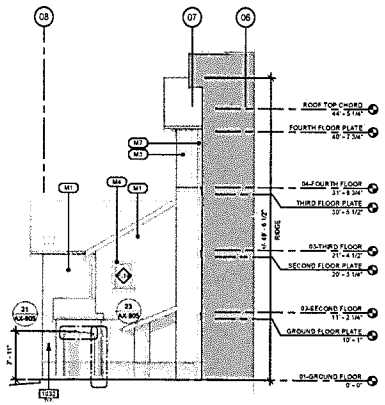


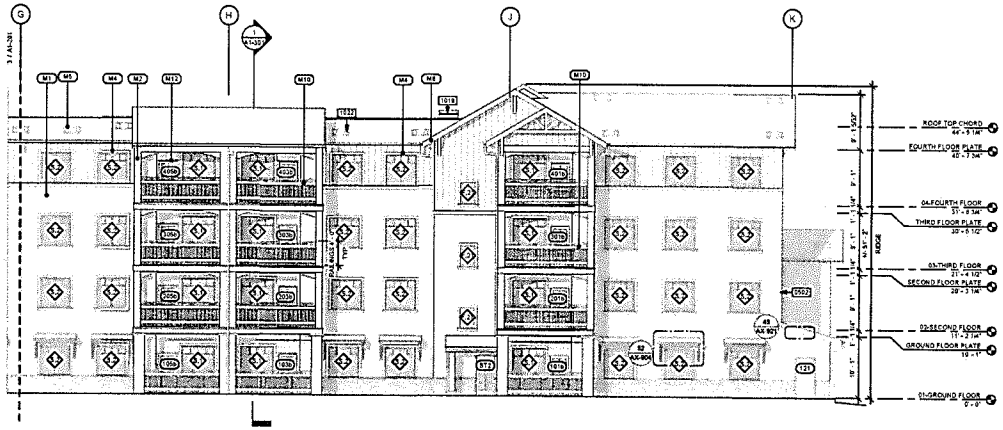
3 PARTIAL SOUTH ELEVATION - BLDG 1
A1-101 | A1-201 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION - BLDG 1
A1-101 | A1-201 SCALE: 1/8" = 1'-0"



4 PARTIAL ELEVATION
A1-101 | A1-201 SCALE: 1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION - BLDG 1
A1-101 | A1-201 SCALE: 1/8" = 1'-0"

ALLOWABLE OPENINGS

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION
(CBC 2019 TABLE 705.8)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED (UP,S)
(PER CBC 2019 SECTION 705.8.1)

0' ≤ x < 3'	NOT PERMITTED
3' ≤ x < 5	15%
5' ≤ x < 10'	25%
10' ≤ x < 15'	45%
15' ≤ x < 20'	75%
20' ≤ x < 25'	NO LIMIT
25' ≤ x < 30'	NO LIMIT
30' ≤ x	NO LIMIT

NOTE:
THIS BUILDING INCLUDES AN NFPA 13 FIRE SPRINKLER SYSTEM.

MATERIAL SCHEDULE

M1	PLASTER AND LATHE PAINTED
M2	WOOD PLASTER AND LATHE PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M7	DOWNSPOUT, PAINTED
M11	WOOD BRACKETS
M12	DOORS

KEYNOTES

0502	METAL DOWNSPOUT
1019	ROOF ACCESS HATCH
1022	ATTIC VENT (LOWER), PAINT FINISH TO MATCH ROOF COLOR, REFER TO COLORS AND MATERIALS
1032	HOSE BOX: MODEL AND LOCATION TO BE APPROVED BY MFD

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS, FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS, PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

7 — MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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AGENCY

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - EXTERIOR ELEVATIONS

NO.	REVISION	DATE

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DATE 11/08/2022
PROJECT NUMBER 1853-05
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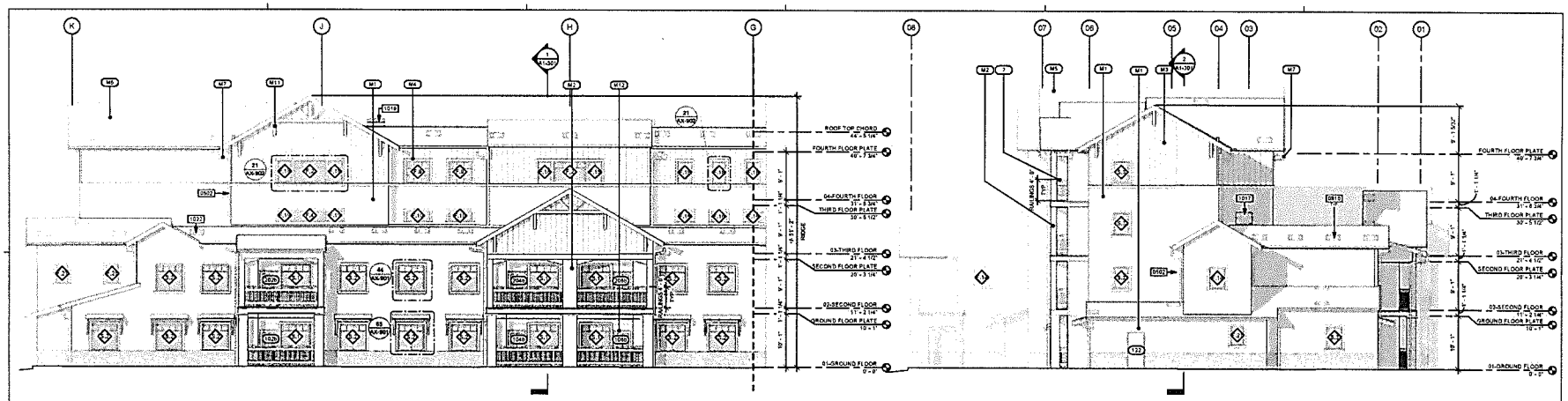
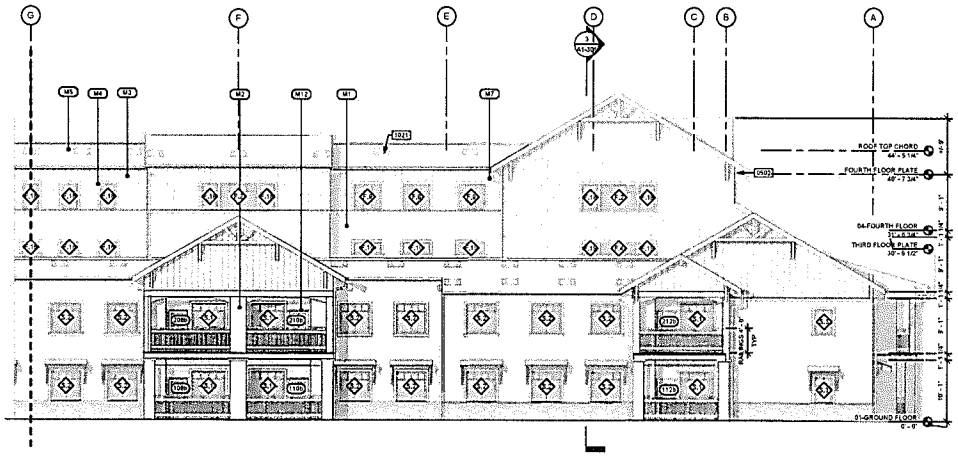


3 PARTIAL NORTH ELEVATION - BLDG 1

A1-101 A1-201 SCALE: 1/8" = 1'-0"

1 EAST ELEVATION - BLDG 1

A1-101 A1-201 SCALE: 1/8" = 1'-0"



2 PARTIAL NORTH ELEVATION - BLDG 1

A1-101 A1-201 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATHE PAINTED
M2	W22 PLASTER AND LATHE, PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M7	DOWNSPOUT, PAINTED
M11	WOOD BRACKETS
M12	DOORS

KEYNOTES

0502	METAL DOWNSPOUT
0810	ATTIC VENT, PAINT OR MATCH ROOF COLOR
1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF, 2' X 3'
1018	ROOF ACCESS HATCH
1021	ATTIC VENT GABLE, PAINT FINISH TO MATCH ROOF COLOR, REFER TO COLORS AND MATERIALS
1022	ATTIC VENT GABLE, PAINT FINISH TO MATCH ROOF COLOR, REFER TO COLORS AND MATERIALS

ELEVATION GENERAL NOTES

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9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

7 MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - EXTERIOR ELEVATIONS

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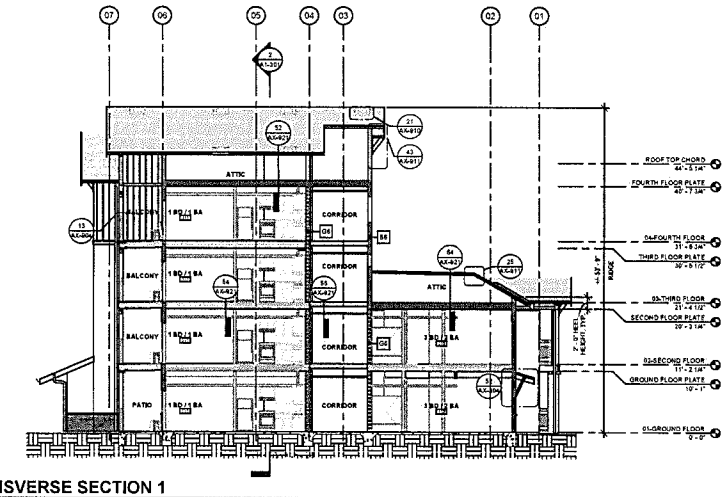
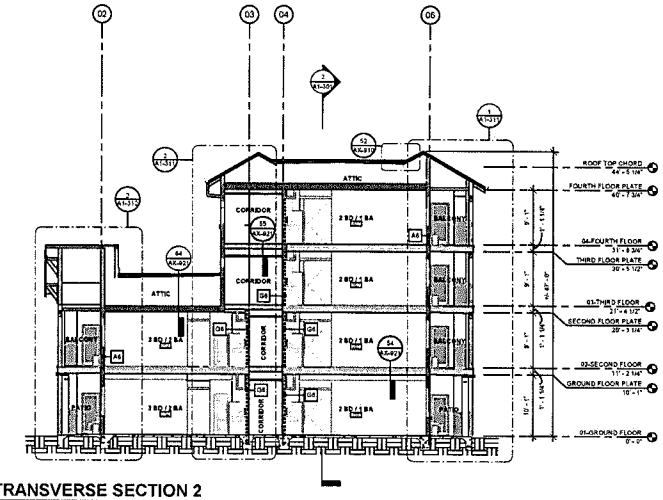
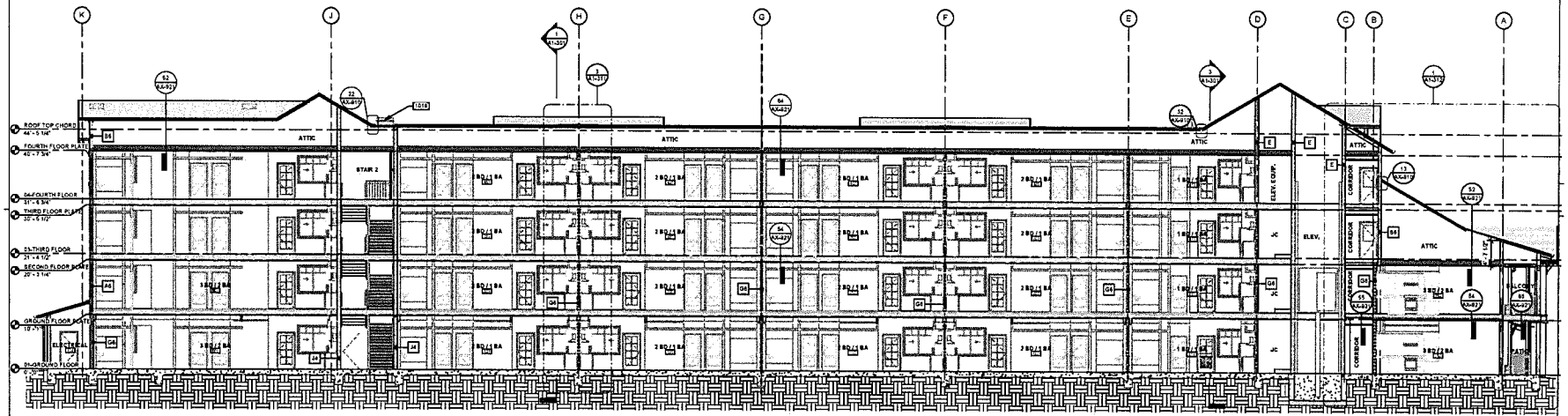


3 TRANSVERSE SECTION 1
A1-101 | A1-102 SCALE: 1/8" = 1'-0"



1 TRANSVERSE SECTION 2
A1-101 | A1-102 SCALE: 1/8" = 1'-0"



2 LONGITUDINAL SECTION
A1-101 | A1-102 SCALE: 1/8" = 1'-0"

KEYNOTES

1019	ROOF ACCESS HATCH

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
3. REFER TO FIREBLOCKING/DRAFTSTOPPING NOTES ON SHEET G-101.
4. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED PER 2019 CBC SECTION 2304.12
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. 2019 CBC SECTION 2304.11.2
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER 2019 CBC SECTIONS 714.3 & 714.4.
7. WALL ASSEMBLIES TO BE PER FLOOR PLANS.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

LEGEND

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTED THERMOPLASTIC PIPING ONLY)
- 1-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR TO BELOW ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)
- 2-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR TO BELOW ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

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MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - BUILDING SECTIONS

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-301

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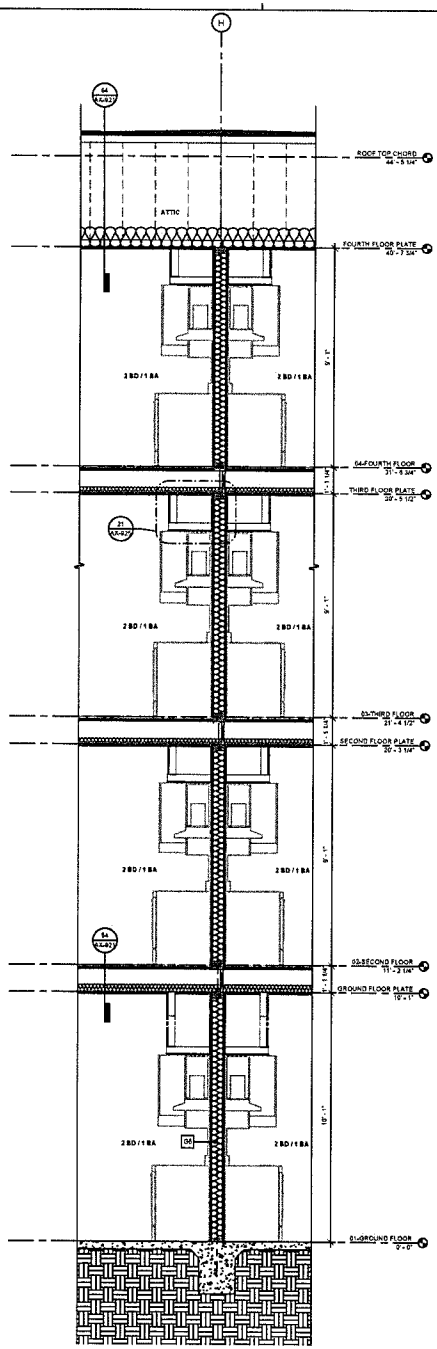
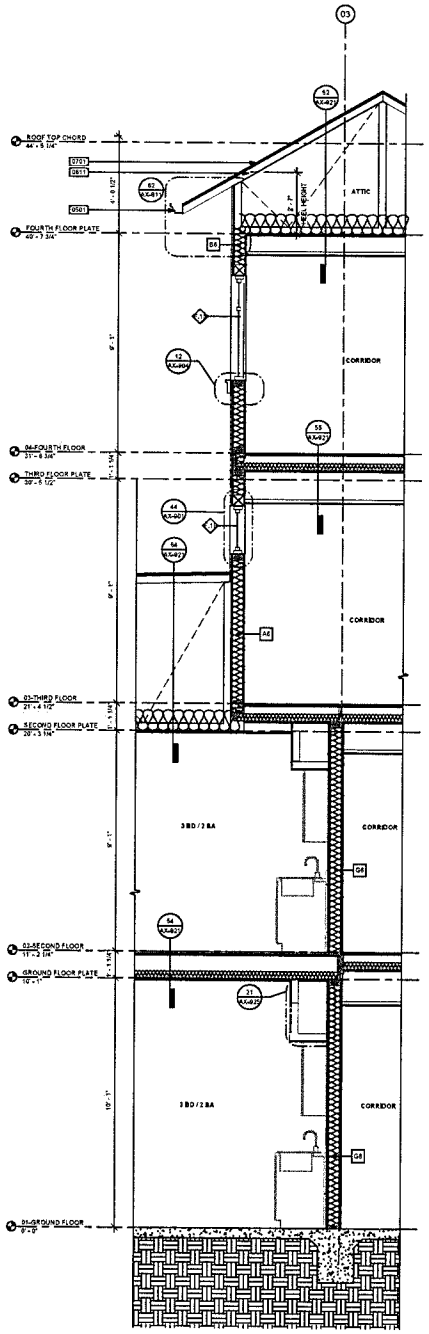


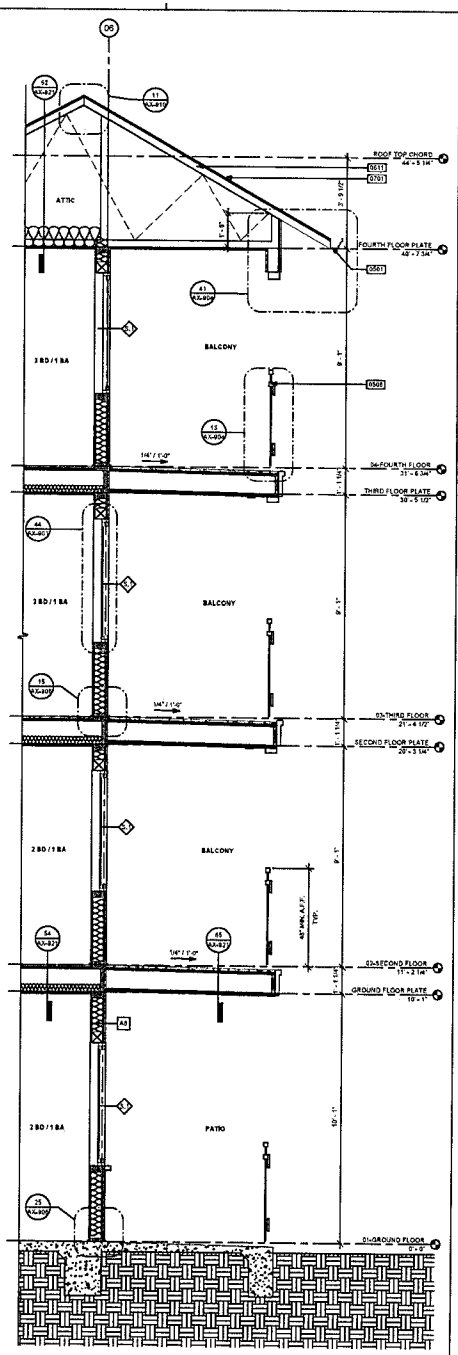
3 WALL SECTION 3

A1-311 SCALE: 1/2" = 1'-0"



2 WALL SECTION 2

A1-311 SCALE: 1/2" = 1'-0"



1 WALL SECTION 1

A1-311 SCALE: 1/2" = 1'-0"

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION. REFER TO FIRE BLOCKING/DRAFTSTOPPING NOTES ON SHEET G-101.
3. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED PER *2019 CBC SECTION 2304.12*
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD, *2019 C&C SECTION 2304.11.2.3*
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2019 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

KEYNOTES

0501	METAL GUTTER CONNECT TO DOWNSPOUT
0508	METAL GUARDRAIL
0611	ROOF TRUSS. SEE STRUCTURAL DRAWINGS
0701	COMPOSITE SHINGLE ROOFING

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DATE 11/08/2022

PROJECT NUMBER 1853-05

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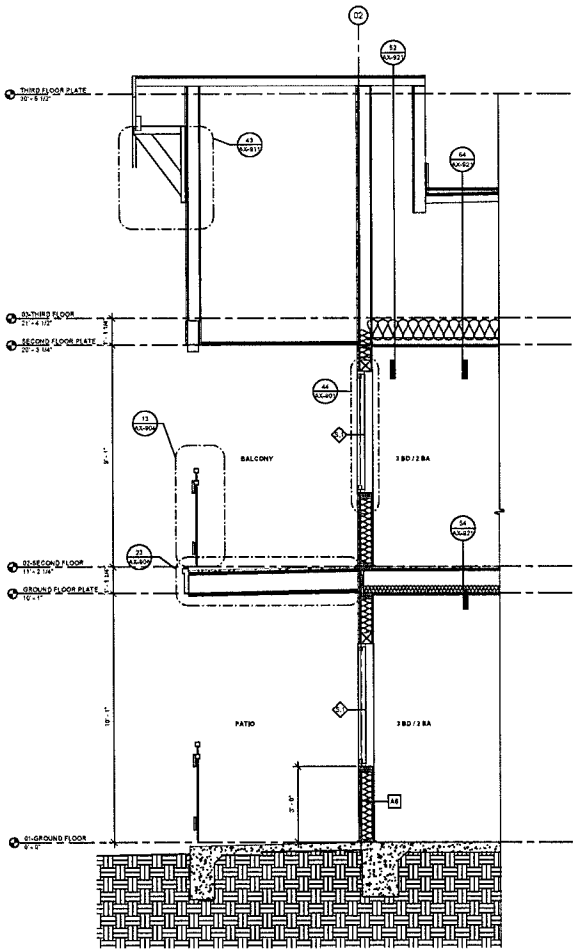
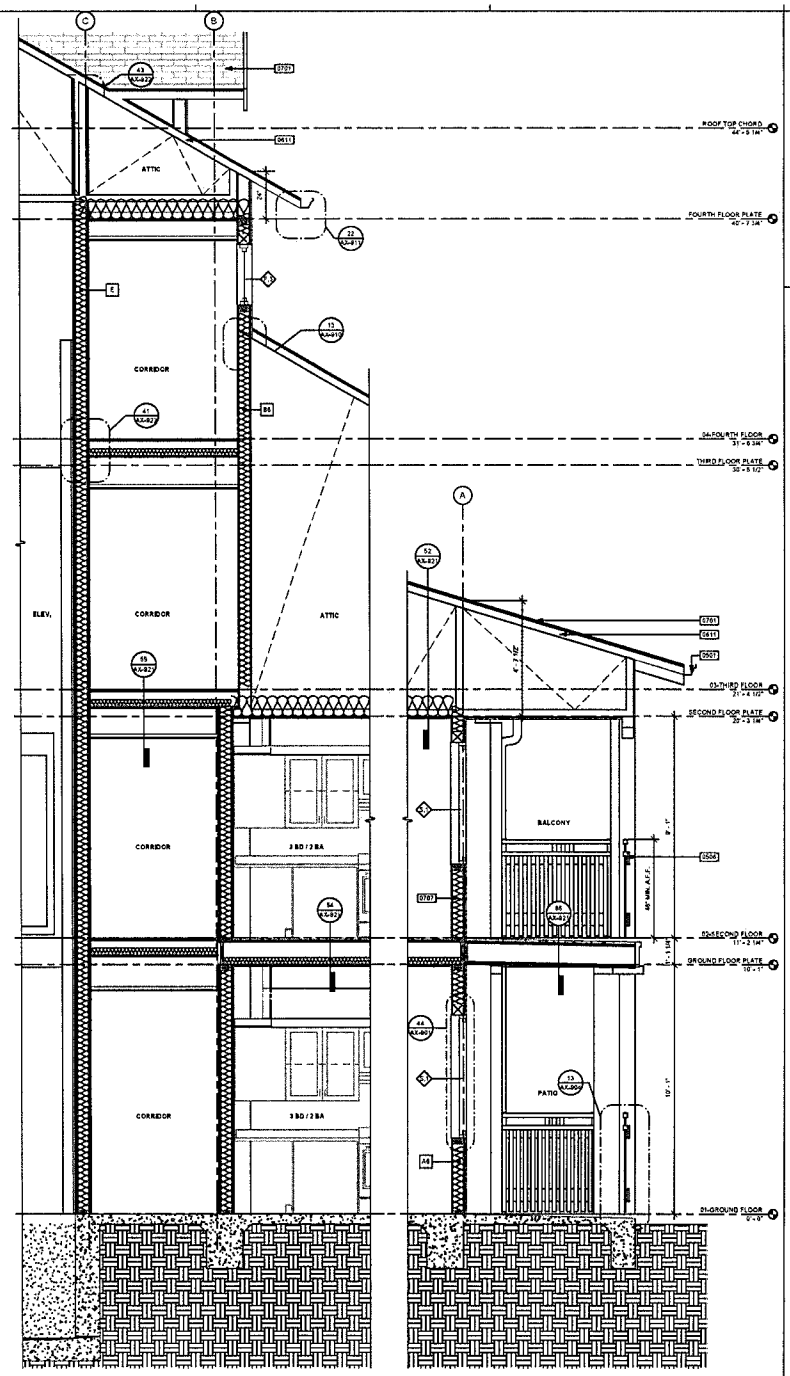


2 WALL SECTION 5

A-301 A1-312 SCALE: 1/2" = 1'-0"



1 WALL SECTION 4

A-301 A1-312 SCALE: 1/2" = 1'-0"

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
3. REFER TO FIREBLOCKING/DRAFTSTOPPING NOTES ON SHEET G-101.
4. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED *PER 2018 CBC SECTION 2304.12.*
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. *2018 CBC SECTION 2304.11.2.*
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2018 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

KEYNOTES

0601	METAL GUTTER. CONNECT TO DOWNSPOUT
0606	METAL GUARDRAIL
0611	ROOF TRUSS. SEE STRUCTURAL DRAWINGS
0701	COMPOSITE SHINGLE ROOFING
0707	DRAINAGE INSULATION, R-21 MIN. REFER TO TITLE 24

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BLDG 1 - WALL SECTIONS

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DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET A1-312

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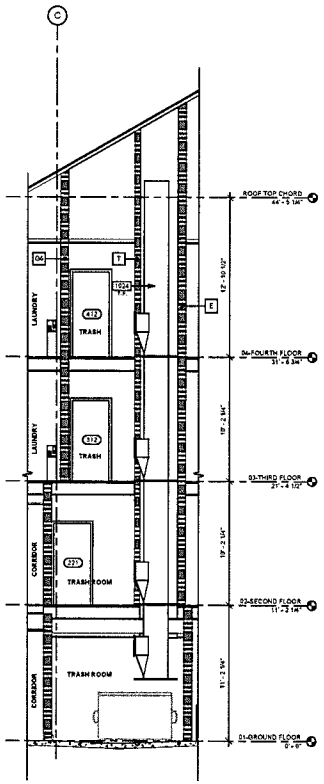
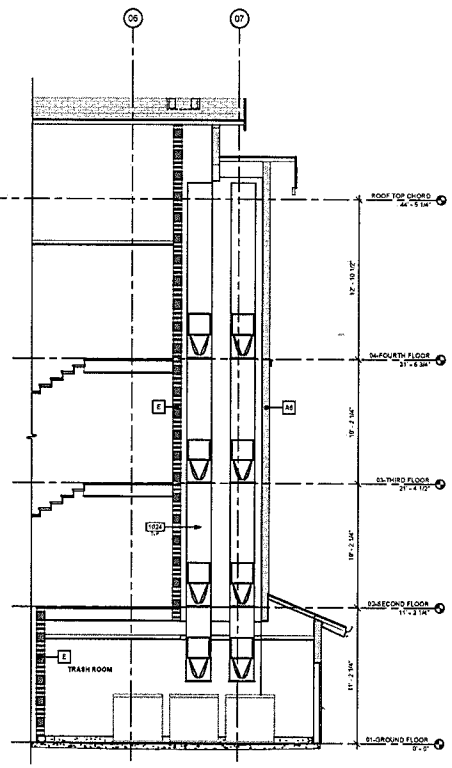
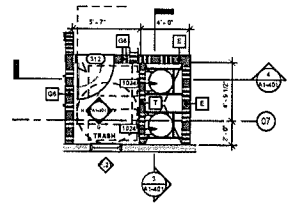


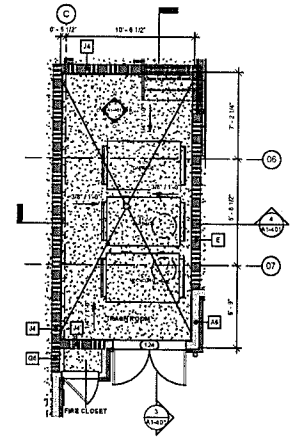
4 TRASH SECTION 2
A1-401 A1-401 SCALE: 1/4" = 1'-0"



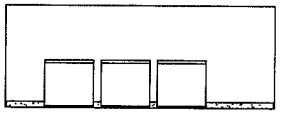
3 TRASH SECTION 1
A1-401 A1-401 SCALE: 1/4" = 1'-0"



2 TRASH ROOM
A1-102 A1-401 SCALE: 1/4" = 1'-0"

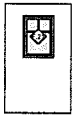


1 TRASH TERMINATION ROOM
A1-101 A1-401 SCALE: 1/4" = 1'-0"



D WEST ELEVATION
SCALE: 1/4" = 1'-0"

H WEST TR L2 WEST
SCALE: 1/4" = 1'-0"



G SOUTH TR L2 WEST
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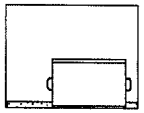

A NORTH ELEVATION
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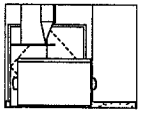

C SOUTH ELEVATION
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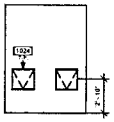
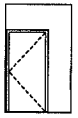
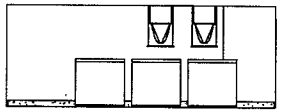


F EAST TR L2 WEST
SCALE: 1/4" = 1'-0"



E NORTH TR L2 WEST
SCALE: 1/4" = 1'-0"



B EAST ELEVATION
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2.2

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-451/452
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-444/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-446/446

KEYNOTES

1024	TRASH CHUTE

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.5.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-421 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

LEGEND

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50

1-HR FIRE BARRIER

2-HR FIRE BARRIER

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PROJECT NUMBER 1853-05
SHEET A1-401

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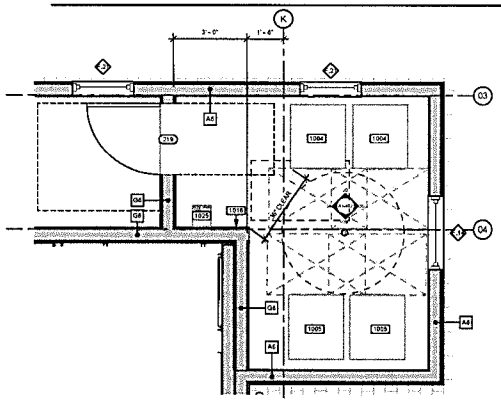
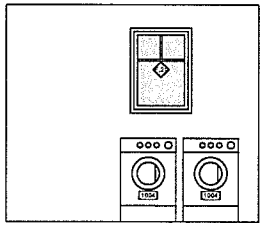
PLAN AND ELEVATIONS LAUNDRY FLOOR ROOM - L2 EAST



2 LAUNDRY L2 EAST
A1-402 A1-403 SCALE: 1/2" = 1'-0"



2D NE LAUNDRY L2 EAST
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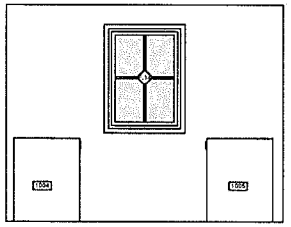

2C EE LAUNDRY L2 EAST
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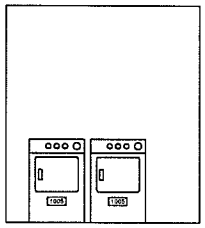

2B SE LAUNDRY L2 EAST
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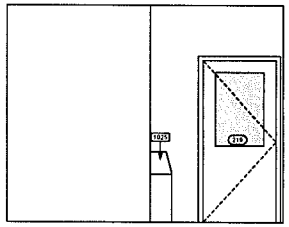
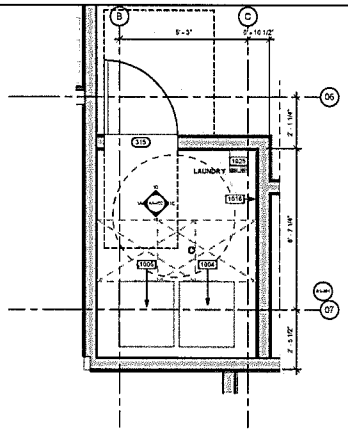
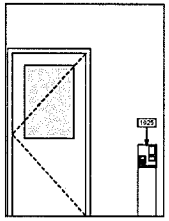


2A WE LAUNDRY L2 EAST
SCALE: 1/2" = 1'-0"

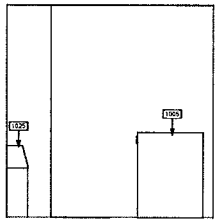
PLAN AND ELEVATIONS LAUNDRY FLOOR ROOM - L3, L4 WEST



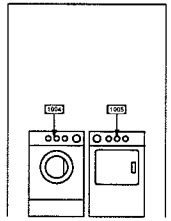
1 LAUNDRY L3, L4 WEST
A1-401 A1-402 SCALE: 1/2" = 1'-0"



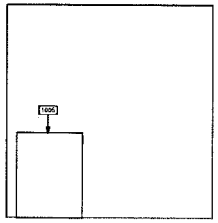
1D NE LAUNDRY L3, L4 WEST
SCALE: 1/2" = 1'-0"



1C EAST ELEVATION LAUNDRY L3, L4 WEST
SCALE: 1/2" = 1'-0"



1B SE LAUNDRY L3, L4 WEST
SCALE: 1/2" = 1'-0"



1A WE LAUNDRY L3, L4 WEST
SCALE: 1/2" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-806.2.2

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-401/402
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-444/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-444/445

KEYNOTES

1004	WASHING MACHINE
1005	DRYER
1016	BRAILLE SIGNAGE FOR LAUNDRY EQUIPMENT (PAY STATIONS, WASHERS AND DRYERS). REFER TO SHEET A3-445 DETAIL 45
1025	PAYMENT KIOSK

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHT OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 904.5*.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-821 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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CONSULTANT

AGENCY

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - ENLARGED PLAN & INT. ELEV.

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-402

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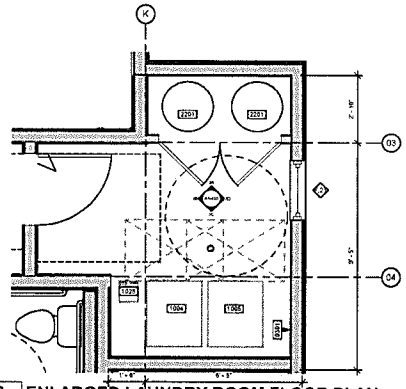
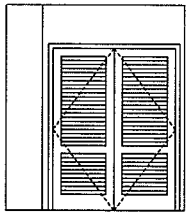
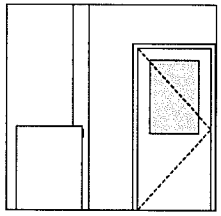
PLAN AND ELEVATIONS LAUNDRY - GROUND FLOOR



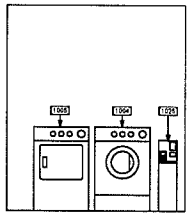
3 ENLARGED LAUNDRY ROOM FLOOR PLAN
A-101H A-1403 SCALE: 1/2" = 1'-0"



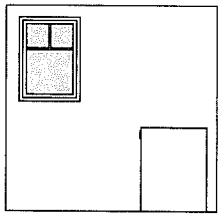
3A NORTH ELEVATION B
SCALE: 1/2" = 1'-0"



3B WEST ELEVATION B
SCALE: 1/2" = 1'-0"

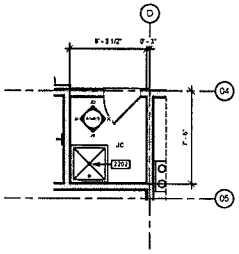


3C SOUTH ELEVATION B
SCALE: 1/2" = 1'-0"

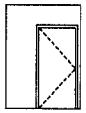


3D EAST ELEVATION B
SCALE: 1/2" = 1'-0"

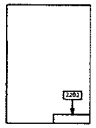
PLAN AND ELEVATIONS JANITOR CLOSET - GF, L1, L2, L3



2 ENLARGED JANITOR CLOSET FLOOR PLAN
A-101H A-1403 SCALE: 1/4" = 1'-0"

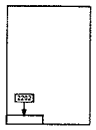


2D NORTH ELEVATION JC
SCALE: 1/4" = 1'-0"



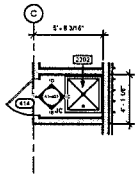
2C EAST ELEVATION JC
SCALE: 1/4" = 1'-0"

2B SOUTH ELEVATION JC
SCALE: 1/4" = 1'-0"



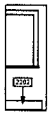
2A WEST ELEVATION JC
SCALE: 1/4" = 1'-0"

PLAN AND ELEVATIONS JANITOR CLOSET L4 - WEST

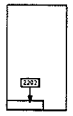


1 JC L4 WEST
A-1H4 A-1401 SCALE: 1/4" = 1'-0"

1D NORTH JC L4 WEST
SCALE: 1/4" = 1'-0"



1C EAST JC L4 WEST
SCALE: 1/4" = 1'-0"



1B SOUTH JC L4 WEST
SCALE: 1/4" = 1'-0"

1A WEST JC L4 WEST
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2.2

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-931/932
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-944/945
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-944/945

KEYNOTES

0301	CONCRETE SLAB. SEE STRUCTURAL DRAWINGS
1004	WASHING MACHINE
1005	DRYER
1025	PAYMENT TAGER
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2202	MOP BASIN WITH MOP SINK FAUCET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO ROPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 304.1.*
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A2-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
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10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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nationalcore.org

CONSULTANT

"GOBIC"

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - ENLARGED PLAN & INT. ELEV.

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-403

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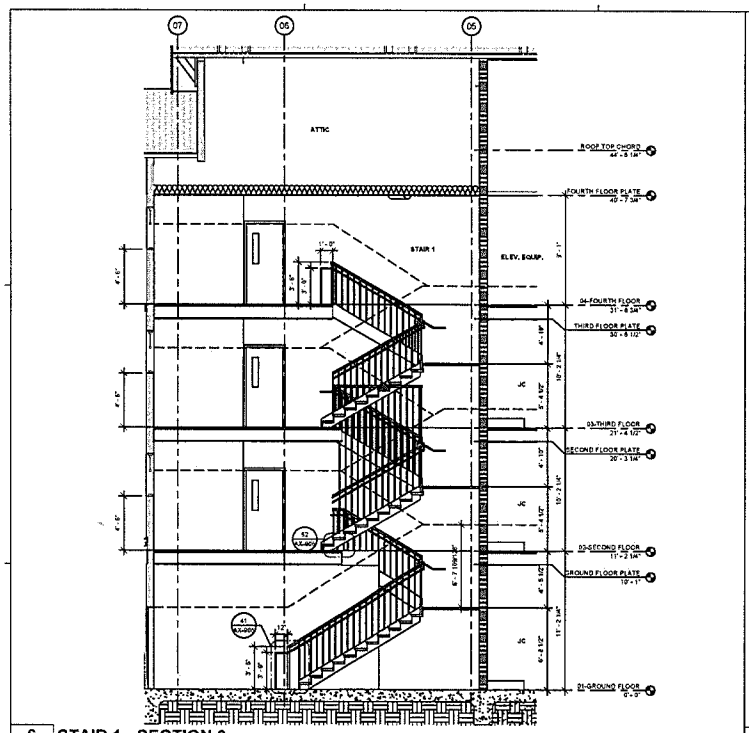
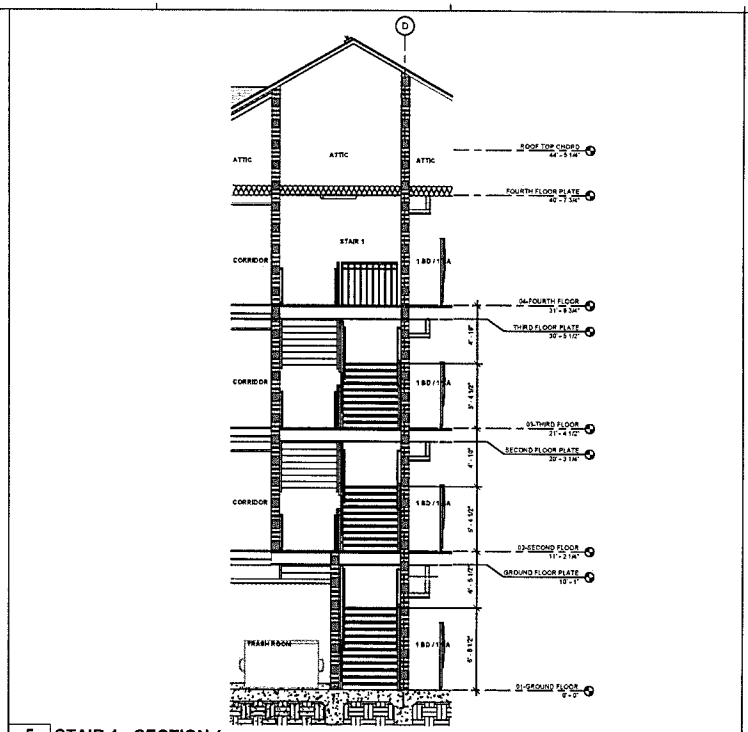


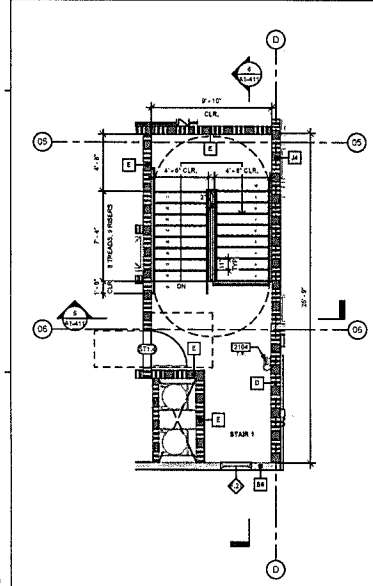
6 STAIR 1 - SECTION 2

A1-112 A1-411 SCALE: 1/4" = 1'-0"



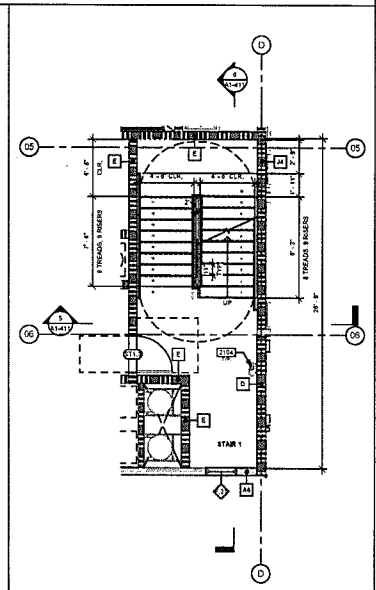
5 STAIR 1 - SECTION 1

A1-111 A1-411 SCALE: 1/4" = 1'-0"



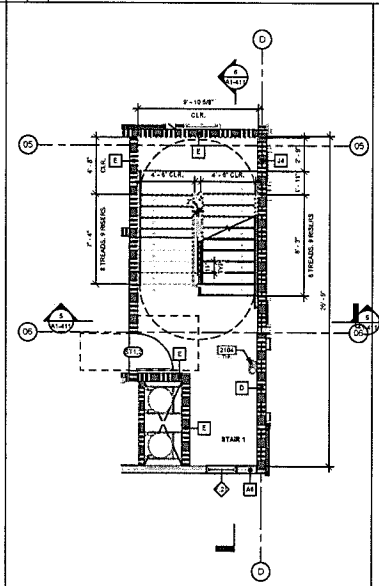
4 STAIR 1 - FOURTH FLOOR

A1-104 A1-411 SCALE: 1/4" = 1'-0"



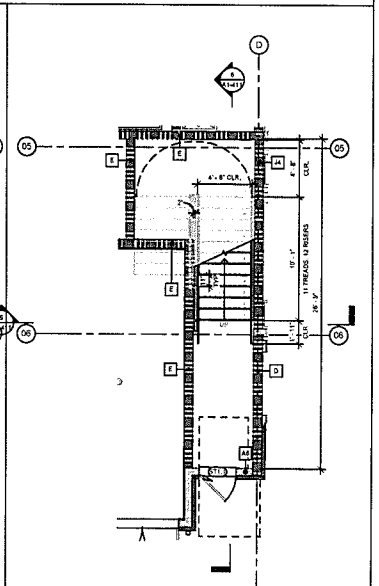
3 STAIR 1 - THIRD FLOOR

A1-103 A1-411 SCALE: 1/4" = 1'-0"



2 STAIR 1 - SECOND FLOOR

A1-102 A1-411 SCALE: 1/4" = 1'-0"



1 STAIR 1 - GROUND FLOOR

A1-101 A1-411 SCALE: 1/4" = 1'-0"

KEYNOTES

2104	STAND PIPE

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDING 1
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - ENLARGED PLANS & SECTIONS STAIR 1

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-411

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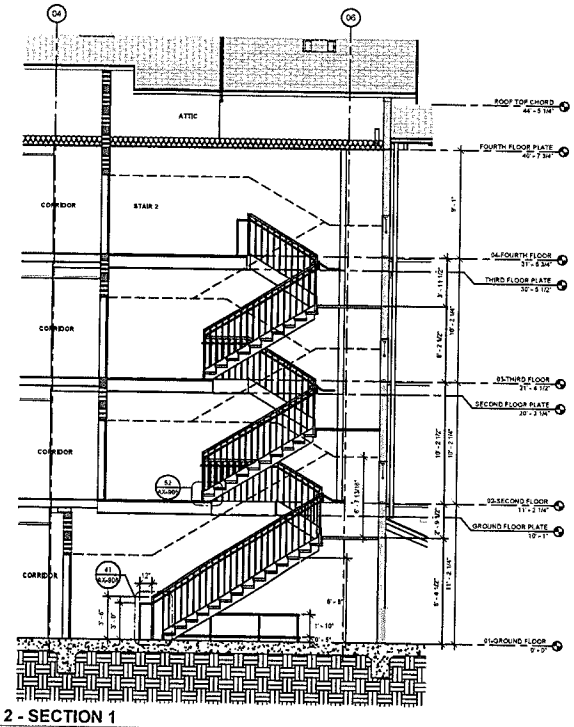
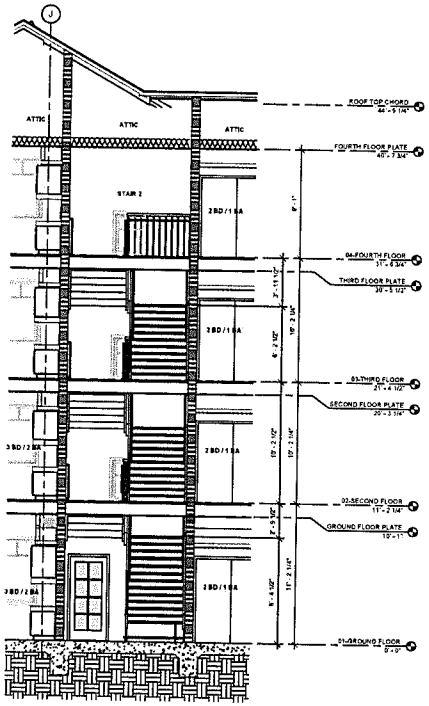


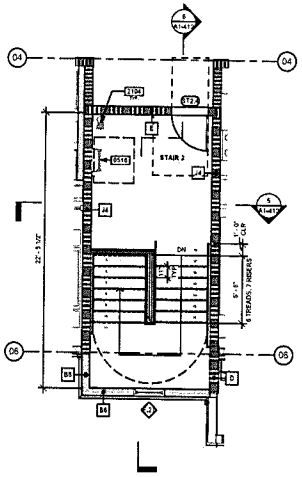
6 STAIR 2 - SECTION 1

A1-412 SCALE: 1/4" = 1'-0"



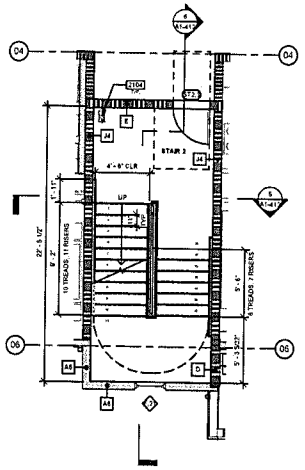
5 STAIR 2 - SECTION 2

A1-412 SCALE: 1/4" = 1'-0"



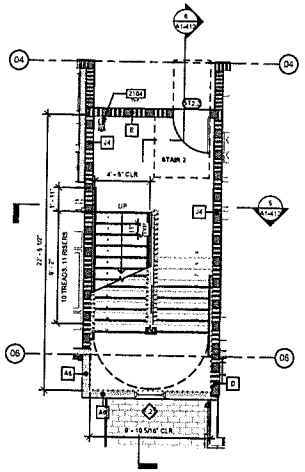
4 STAIR 2 - FOURTH FLOOR

A1-412 SCALE: 1/4" = 1'-0"



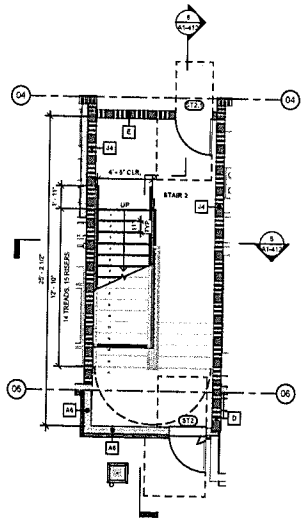
3 STAIR 2 - THIRD FLOOR

A1-412 SCALE: 1/4" = 1'-0"



2 STAIR 2 - SECOND FLOOR

A1-412 SCALE: 1/4" = 1'-0"



1 STAIR 2 - GROUND FLOOR

A1-412 SCALE: 1/4" = 1'-0"

KEYNOTES

05.18	FIXED STEEL LADDER
21.04	STAND PIPE

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BLDG 1 - ENLARGED PLANS & SECTIONS STAIR 2

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A1-412

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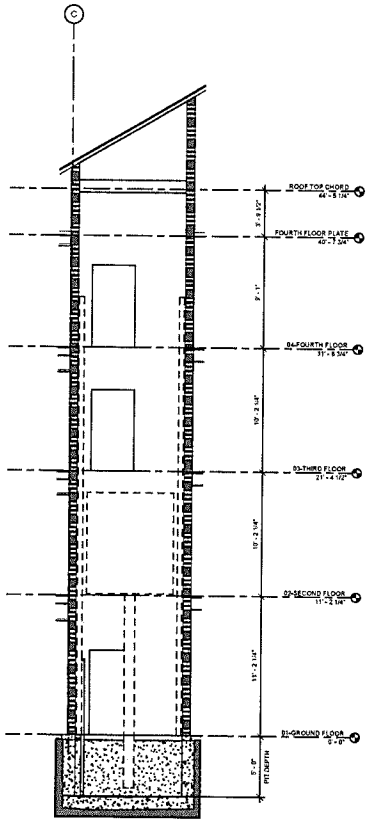
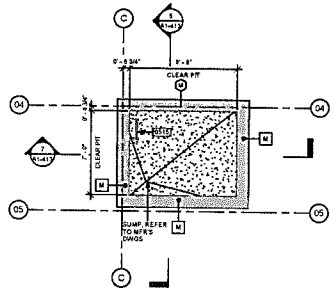


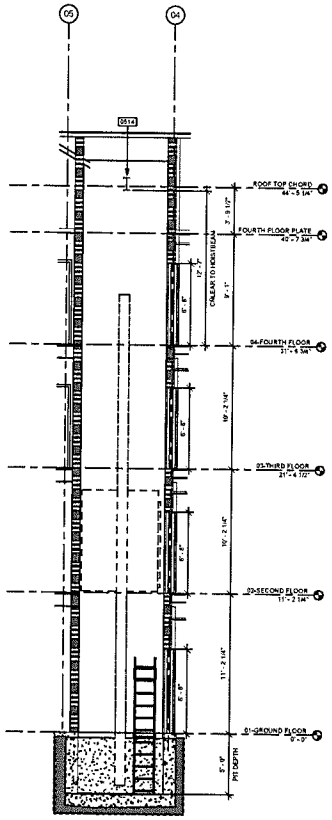
7 ELEVATOR ENLARGED SECTION 2

A1-413 A1-413 SCALE: 1/4" = 1'-0"



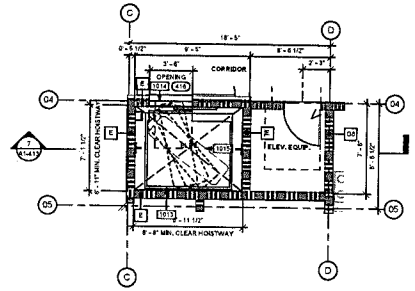
6 ENLARGED ELEVATOR - PIT PLAN

A1-413 A1-413 SCALE: 1/4" = 1'-0"



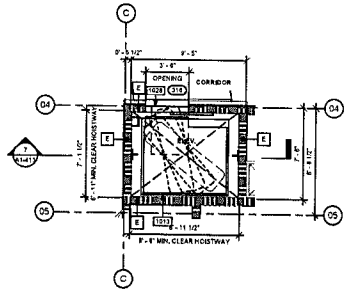
5 ELEVATOR ENLARGED SECTION 1

A1-413 A1-413 SCALE: 1/4" = 1'-0"



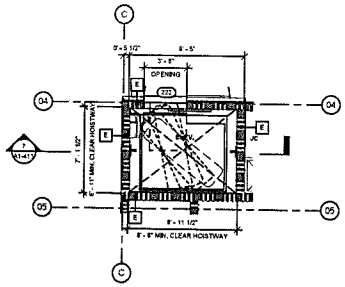
4 ENLARGED ELEVATOR - FOURTH FLOOR

A1-413 A1-413 SCALE: 1/4" = 1'-0"



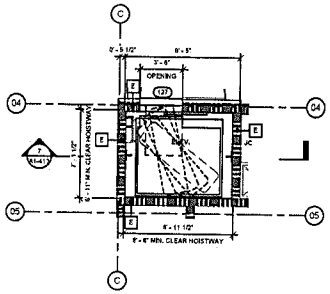
3 ENLARGED ELEVATOR - THIRD FLOOR

A1-413 A1-413 SCALE: 1/4" = 1'-0"



2 ENLARGED ELEVATOR - SECOND FLOOR

A1-413 A1-413 SCALE: 1/4" = 1'-0"



1 ENLARGED ELEVATOR - GROUND FLOOR

A1-413 A1-413 SCALE: 1/4" = 1'-0"

ELEVATOR GENERAL NOTES

1. PER 2019 CBC 11B-233.3.1.2.1, ALL RESIDENTIAL UNITS ON FLOORS SERVED BY AN ELEVATOR SHALL BE ADAPTABLE AND COMPLY WITH CHAPTER 11A DIVISION IV (DWELLING UNIT FEATURES) AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.
2. REFER TO A5.A43 FOR ELEVATOR CONTROLS & SIGNAGE.
3. REFER TO MANUFACTURER'S DWGS FOR CAB, HOISTWAY AND DOOR DETAILED INFORMATION.

KEYNOTES

0514	SAFETY BEAM PER STRUCTURAL
0515	ELEVATOR PIT LADDER
1013	3500 LB. CAPACITY TRACTION PASSENGER ELEVATOR, INSTALL ELEVATOR CAB AND HOISTWAY PER MANUFACTURER'S SPECS
1014	ELEVATOR DOOR PER MANUFACTURER'S SPECS
1015	VAUNTED OR STRETCHER, MIN. 3'-0"
1030	SMOKE AND DRAFT CONTROL DOOR ON MAGNETIC HOLD OPEN

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ROOM FINISH SCHEDULE

NUMBER	NAME	FLOOR	CEILING	BASE	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	NOTES
Not Placed									
471	LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
472	STOR								
473	CORRIDOR								
474	CORRIDOR								
475	CORRIDOR								
476	CORRIDOR								
01-GROUND FLOOR									
101	LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
118	JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
119	MPOE	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
121	STAIR 1	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
122	TRASH ROOM	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
123	STAIR 2	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
124	ELECTRICAL	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
125	CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
126	FIRE CLOSET	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
02-SECOND FLOOR									
219	IDF	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
220	JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
222	TRASH ROOM	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
226	CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
227	LAUNDRY	TILE	GWB, PAINT	TILE COVE				GWB, PAINT	BLDG 1
03-THIRD FLOOR									
319	IDF	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
320	JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
322	TRASH	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
325	CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
464	LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
475	CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
476	STOR							GWB, PAINT	BLDG 1
04-FOURTH FLOOR									
417	TRASH	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
418	LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
419	IDF	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
420	ELEV EQUIP.	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
425	CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1
455	JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 1

FINISH REQUIREMENTS

PER 2019 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2019 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
(CBC 2019 TABLE 803.13)

	DEGREE OF FIRE PROTECTION: SPRINKLERED		
GROUP	EXIT ENCLOSURES AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3 And A-4	B	B	C
B E M R-1	B	C	C
R-2	C	C	C
R-2.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS

CLASS A
- FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450

CLASS B
- FLAME SPREAD INDEX = 26-75
- SMOKE DEVELOPED INDEX = 0-450

CLASS C
- FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.1.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

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BLDG 1 - FINISH SCHEDULE

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DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET A1-501

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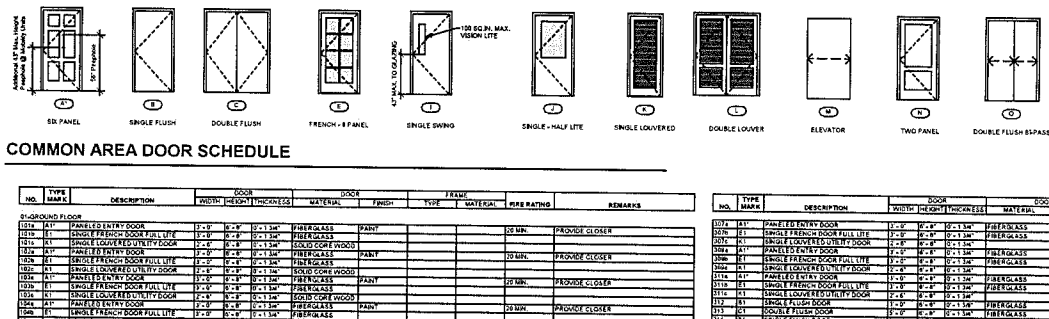
DOOR TYPES LEGEND



COMMON AREA DOOR SCHEDULE

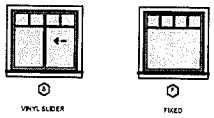
NO.	TYPE MARK	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FIRE RATING	REMARKS
01-GROUND FLOOR											
101a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
101b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
101c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
102a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
102b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
102c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
103a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
103b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
103c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
104a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
104b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
104c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
105a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
105b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
105c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
106a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
106b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
106c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
107a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
107b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
107c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
108a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
108b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
108c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
109a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
109b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
109c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
110a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
110b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
110c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
111a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
111b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
111c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
112a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
112b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
112c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
114a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
114b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
114c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
116a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
116b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
116c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
118a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
118b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
118c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
119	J1	SINGLE HALF LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
120	L1	DOUBLE LOUVERED UTILITY DOOR	5'-0"	6'-8"	0'-1 3/8"	SOLID CORE WOOD				20 MIN.	PROVIDE CLOSER
121	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
122	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
123	C1	DOUBLE FLUSH DOOR	5'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
124	C1	DOUBLE FLUSH DOOR	6'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL					
126	E1	SINGLE FRENCH DOOR 08 LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					PROVIDE CLOSER
127	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/4"	STEEL					
129	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
130	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
131	B3	ELEVATOR SLAM DOOR	3'-6"	6'-9"	0'-1 3/4"					60 MIN.	
ST1.1	E1	SINGLE FRENCH DOOR 08 LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					PROVIDE CLOSER, PANIC HARDWARE
ST2	E1	SINGLE FRENCH DOOR 08 LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					PROVIDE CLOSER, PANIC HARDWARE
ST.1	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
02-SECOND FLOOR											
201a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
201b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
201c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
202a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
202b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
202c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
203a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
203b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
203c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
204a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
204b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
204c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
205a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
205b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
205c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
206a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
206b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
206c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
207a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
207b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
207c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
208a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
208b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
208c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
209a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
209b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
209c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
210a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
210b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
210c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
211a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
211b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
211c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
212a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
212b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
212c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
214a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
214b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
214c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
218a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
218b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
218c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
218d	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
218e	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
218f	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
219	J1	SINGLE HALF LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				20 MIN.	
220	C1	DOUBLE FLUSH DOOR	5'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
221	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
222	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/4"	STEEL					
223	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
224	B3	ELEVATOR SLAM DOOR	3'-6"	6'-9"	0'-1 3/4"					60 MIN.	
ST1.2	I1	SINGLE SWING VISION LITE	4'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
ST2.2	I1	SINGLE SWING VISION LITE	4'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
03-THIRD FLOOR											
301a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
301b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
301c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
303a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
303b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
303c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
305a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
305b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
305c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
307a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
307b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
307c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
308a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
308b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
308c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
311a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
311b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
311c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
312	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
313	C1	DOUBLE FLUSH DOOR	5'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
314	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
315	J1	SINGLE HALF LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
318	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/4"	STEEL					
319	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
319	B3	ELEVATOR SLAM DOOR	3'-6"	6'-9"	0'-1 3/4"					60 MIN.	
ST1.3	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
ST2.3	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
04-FOURTH FLOOR											
401a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
401b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
401c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
402a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
403b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
403c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
405a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
405b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
405c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
407a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
407b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
407c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
409a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
409b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
409c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
411a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	
411b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
411c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
412	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
413	C1	DOUBLE FLUSH DOOR	5'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
414	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
415	J1	SINGLE HALF LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
416	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/4"	STEEL					
417	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
418	B3	ELEVATOR SLAM DOOR	3'-6"	6'-9"	0'-1 3/4"					60 MIN.	
ST1.4	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE
ST2.4	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL				90 MIN	PROVIDE CLOSER, PANIC HARDWARE

* ENTRY DOORS TO HAVE DEAD BOLTS AND 180-190 DEGREE EYE VIEWERS PER CONDITIONS OF APPROVAL.

UNIT DOOR SCHEDULE

TYPE MARK	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME FINISH	FIRE RATING	REMARKS
N1	TWO PANELED DOOR	7'-6"	6'-8"	0'-1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD			
N2	TWO PANELED DOOR	10'-0"	6'-8"	0'-1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD			
O1	DOUBLE FLUSH BI-PASS	6'-0"	6'-8"	0'-1 3/4"						

WINDOW TYPES LEGEND

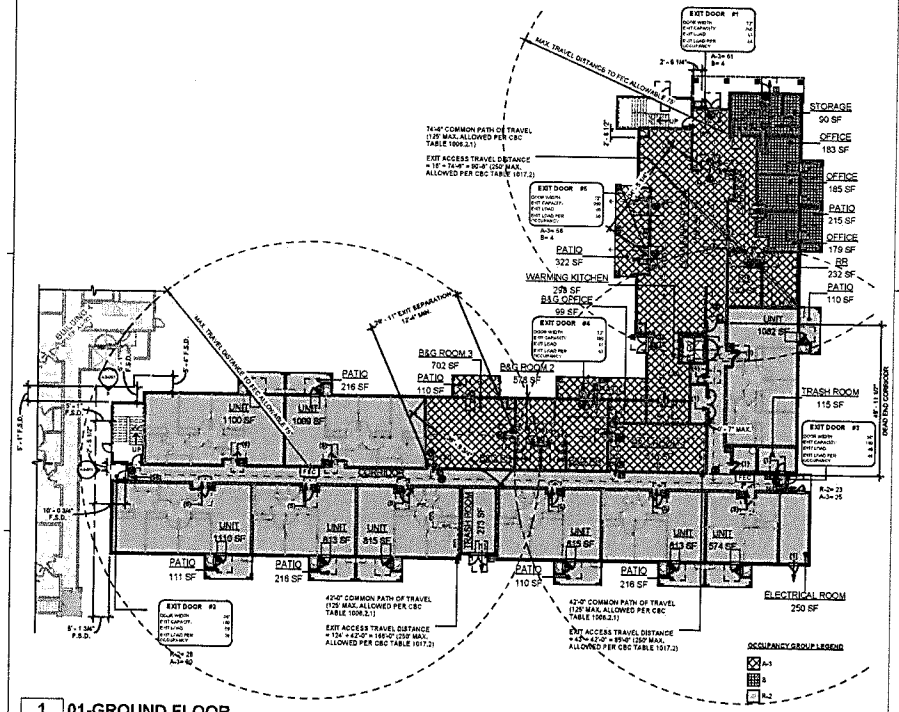


WINDOW SCHEDULE

TYPE	DESCRIPTION	SIZE WIDTH	SIZE HEIGHT	HEAD HEIGHT	MANUFACTURER	HEAT TRANSFER COEFFICIENT (U)	SHGC*	REMARKS
01-GROUND FLOOR								
K.21	Fixed	2'-0"	3'-6"	6'-0"				
S.1	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.2	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.3	Vinyl Slider	3'-0"	4'-2"					
02-SECOND FLOOR								
K.14	Fixed	3'-0"	4'-2"	6'-0"				
K.21	Fixed	2'-6"	3'-6"					
S.1	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.2	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.3	Vinyl Slider	3'-0"	4'-2"					
03-THIRD FLOOR								
F.4	Fixed	9'-0"	2'-9"	6'-9"				
F.10	Fixed	4'-0"	2'-0"	6'-0"				
F.14	Fixed	3'-0"	2'-0"	6'-0"				
F.18	Fixed	2'-6"	2'-9"	6'-0"				
F.21	Fixed	2'-6"	3'-6"					
S.1	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.2	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.3	Vinyl Slider	3'-0"	4'-2"	6'-0"				
04-FOURTH FLOOR								
F.7	Fixed	6'-0"	2'-4"	7'-4"				
F.3	Fixed	9'-0"	2'-9"	6'-0"				
F.9	Fixed	4'-5"	4'-4"	7'-4"				
F.18	Fixed	2'-6"	4'-4"	7'-4"				
F.21	Fixed	2'-6"	3'-6"					
S.1	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.2	Vinyl Slider	5'-0"	5'-0"	6'-0"				
S.3	Vinyl Slider	3'-0"	4'-2"	7'-6"				

DOOR GENERAL NOTES

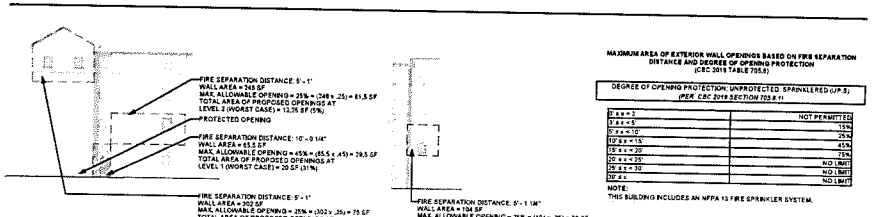
1. EGRESS DOORS *(2019 CBC 1010.1)*
   a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF *2019 CBC 1010.1*
   b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY *(2019 CBC 1010.1.2.1)*
   c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE *(2019 CBC1010.1.5)*
   d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED *PER 2019 CBC 1010.1.6*
   e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED PER *2019 CBC 1010.1.9*
   f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED PER *2019 CBC 1010.1.9.1*
   g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, I-2 OR I-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED PER *2019 CBC 1010.1.10*.
   h. ELECTRICAL ROOMS WITH EQUIPMENT RATED 800 AMPERES OR MORE AND OVER 8 FEET WIDE AND THAT CONTAIN OVERCURRENT DEVICES, SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. *(2019 CBC 1010.1.10)*
   i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND H OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH *2019 CALIFORNIA REFERENCED STANDARDS CODE §2M STANDARD 10-1.9*:
      - HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
      - LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE.
   j. ELECTRICAL ROOMS WITH EQUIP



1 01-GROUND FLOOR

A-201 | A-301 SCALE: 1/16" = 1'-0"

ALLOWABLE OPENINGS



MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION (CBC 2019 TABLE 705.8)

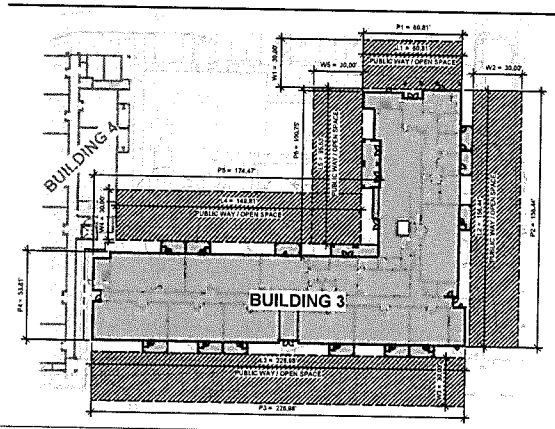
DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED (UP,S) (PER CBC 2019 SECTION 705.8.1)	
0' s.d. < 3	NOT PERMITTED
3' s.d. < 5	15%
5' s.d. < 10'	25%
10' s.d. < 15	45%
15' s.d. < 20'	75%
20' s.d. < 25'	NO LIMIT
25' s.d. < 30'	NO LIMIT
30' s.d.	NO LIMIT

NOTE:
THIS BUILDING INCLUDES AN NFPA 13 FIRE SPRINKLER SYSTEM.

(A) ALLOWABLE OPENINGS BLDG 3.1
SCALE: 1/16" = 1'-0"

(B) ALLOWABLE OPENINGS BLDG 3.2
SCALE: 1/16" = 1'-0"

FRONTAGE INCREASE



FRONTAGE INCREASE CALCULATION

PERCENTAGE OF PERIMETER ON PUBLIC WAY / OPEN SPACE (CBC 506.3.1):

TOTAL BUILDING PERIMETER LENGTH:
P1 (80.81') + P2 (158.64') + P3 (226.88') + P4 (83.81') + P5 (176.36') + P6 (100.75')
= 726.87' (P)

TOTAL PERIMETER LENGTH ON PUBLIC WAY (MIN. 20' LONG):
P1 (80.81') + P2 (158.64') + P3 (226.88') + P5 (176.36') + P6 (100.75')
= 721.38' (F)

BUILDING LENGTH PERCENTAGE ON PUBLIC WAY:
721.38 / 726.87 = 0.99 = 99% (MIN. 25%)

MINIMUM FRONTAGE DISTANCE (CBC 506.3.2):

W=(L1*W1+L2*W2+L3*W3...)/F:
[(80.81'*30)+(158.64'*30)+(226.88'*30)+(149.81'*30)+(95.67'*30)] / 721.38
= (1,824.1 + 4,759.2 + 6,806.4 + 4,494.3 + 2,869.0) / 721.38
= 20,753.1 / 721.38 = 28.77

AMOUNT OF INCREASE (CBC 506.3.3):

I = (F/P - 0.25)W/30
F = 721.38
P = 726.87
W = 28.77

= (721.38 / 726.87) - 0.25) 28.77 / 30
= (0.99 - 0.25) 28.77 / 30 = (0.68 - 0.25) 28.77/30 = 0.43 * 28.77 / 30
= 0.412

MIXED-OCCUPANCY, MULTISTORY AREA CALCULATION (CBC 506.2.4):

A = [A1 + (NS x 1.5)]
A1 = A2: 34,500 / R2: 36,000
NS = A3: 11,500 / R2: 12,000
I = 0.42

LEVEL 1: [34,500 + (11,500 x 0.42)] = 39,330 SF
LEVEL 2: LEVEL 3 & LEVEL 4: [36,000 + (12,000 x 0.42)] = 41,040 SF

ACTUAL AREA / ALLOWABLE AREA:
LEVEL 1: 17,916 / 39,330 = 0.45
LEVEL 2: 18,650 / 41,040 = 0.45
LEVEL 3: 18,649 / 41,040 = 0.45
LEVEL 4: 18,638 / 41,040 = 0.45

AGGREGATE SUM OF RATIOS = 1.81 < 3

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	PRIMARY STRUCTURE 1HR, FLOOR 1HR, ROOF 1HR, BEARING WALLS 1HR	T-601
EXTERIOR WALLS	BEARING WALLS 1HR	T-602
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	T705.8
FIRE WALLS	NA	706
FIRE BARRIERS	2HR FIRE RESISTANCE RATED WALLS OCCUR AT SHAFTS & STAIR ENCLOSURES PER LEGEND, 1HR FIRE RESISTANCE RATED WALLS OCCUR AT OCCUPANCY SEPARATIONS PER LEGEND.	707.3
FIRE PARTITIONS	1HR FIRE RESISTANCE RATED WALLS OCCUR AT DWELLING UNIT SEPARATIONS	708
CONCEALED SPACES	PROVIDE FIRE BLOCKING AS REQUIRED IN WALL & STAIR CONSTRUCTION, DRAFTSTOPPING AT FIRE PARTITIONS IN FLOORS & ATTICS. ADDITIONAL DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED IN ACCORDANCE WITH 903.3.1.2	718
HORIZONTAL ASSEMBLIES	ALL FLOOR CEILING AND ROOF CEILING ASSEMBLIES 1HR, PROTECT PENETRATIONS	714
PENETRATIONS	SEE NOTE 1 BELOW	711
WILDFIRE EXPOSURE	NA - PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	7A
2. MEANS OF EGRESS		
STAIRS	MIN. 44" CLEAR WIDTH (36" WHEN SERVING <50)	
RAMPS	MAX. 1:12 SLOPE, PROVIDE HANDRAILS WITH EXTENSIONS	1011.2
COMMON PATH OF EGRESS TRAVEL	MAX. 125' FROM R-2 OCCUPANCIES	1012
R-2 SPACES IN ONE EXIT	PERMITTED AT UNITS R-2 OCC. OR SPRINKLERED	1006.2
NUMBER OF EXITS PER STORY	3 (MIN. 2 REQUIRED PER STORY IN R-2 OCCUPANCY 4 STORIES OR GREATER	T-1006.3.3(1)
EXIT ACCESS TRAVEL DISTANCE	MAX. 250'	T-1006.3.3(1)
INTERIOR EXIT STAIRWAYS	CONSTRUCT ENCLOSURE AS 2HR FIRE BARRIER	T-1017.2
3. ACCESSIBILITY		1923
COVERED MULTI-FAMILY DWELLING UNITS	SEE CODE COMPLIANCE PLANS FOR ACCESSIBLE AND ADAPTABLE UNIT DESIGNATIONS, SEE UNIT PLANS FOR SPECIFIC FEATURES.	CTCAC Regulations
PARKING SPACES	SEE SITE PLAN	
ACCESSIBLE ROUTES OF TRAVEL	ALL SITE ARRIVAL AND INTERIOR CONNECTION ROUTES SHALL BE ACCESSIBLE	11B-206 11B-206.2
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	SEE ROOF VENTILATION PLAN SHEET	
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES).	1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	CLASS B	1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER UNIT OF A: 3,000 SF (6,000 SF PER 3-A10-B-C EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER: MAX 75 FT	
	MIN. UL EXTINGUISHER RATING: 3-A10-B-C	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

UNIT BREAKDOWN

UNIT COUNT - BLDG 3	
01-GROUND FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	4
3 BD / 2 BA	4
	9
02-SECOND FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	11
3 BD / 2 BA	4
	16

UNIT COUNT - BLDG 3	
03-THIRD FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	11
3 BD / 2 BA	4
	16
04-FOURTH FLOOR	
1 BD / 1 BA	1
2 BD / 1 BA	11
3 BD / 2 BA	4
	16
	57

GROUND FLOOR OCCUPANCY CALCULATIONS

AREA NAME	AREA	NET / GROSS	OCCUPANCY TYPE	OCCUPANCY FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	MAX. OCC. LOAD FOR ONE EXIT (2019 CBC TABLE 1006.2.1)	EXITS REQUIRED
01-GROUND FLOOR								
WARMING KITCHEN	296 SF	NET	A-3	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	15	20	49	
UNIT	9221 SF	GROSS	R-2	RESIDENTIAL	200	47		
TRASH ROOM	389 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	2		
STORAGE	258 SF	GROSS		ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	3		
RR	414 SF		A-3	(none)		0		
OFFICE	798 SF	GROSS	B	BUSINESS AREAS	150	5	49	
MPOE / IDF	75 SF		R-2	(none)		0		
JANITOR CLOSET	111 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
ELECTRICAL ROOM	250 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
COMMUNITY ROOM	1756 SF	NET	A-3	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	15	118		
B&G RR	145 SF		A-3	(none)		0		
B&G ROOM 3	702 SF	NET	A-3	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	15	47	49	
B&G ROOM 2	576 SF	NET	A-3	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	15	39	49	
B&G ROOM 1	510 SF	NET	A-3	ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLE AND CHAIRS)	15	33		
B&G OFFICE	99 SF		A-3	(none)		0	49	
	14150 SF					321		

NOTES

1. PENETRATIONS
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE VA (PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. A WALL PENETRATION SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. B. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1HR OR THE ASSEMBLY PENETRATED
      d. C. SOME EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS: SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES + TWO STORIES
      b. CONTAIN IN WALLS AND PROTECT + TWO STORIES
      c. DUCTS "4" MAY BE PERMITTED TO PENETRATE UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.5.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR. IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.
3. FIRE WALL/BARRIER IDENTIFICATION
   A. 2019 CBC 703.7
      PROVIDE SIGNAGE AT ALL FIRE WALLS, FIRE PARTITIONS AND FIRE BARRIERS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS. LOCATE IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES. LOCATE WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
   B. "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" LETTERS MIN 3" HIGH WITH 3/8" MIN. STROKE. ON SIGNAGE IN A CONTRASTING COLOR.
   C. WALLS IN GROUP R-2 WITHOUT A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE ARE EXEMPT.

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTION CONTINUOUS TO RATED CEILING BELOW)
- 1-HOUR RATED FIRE BARRIER (COMMON PENETRATIONS INCLUDE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR TO ROOF SHEATHING ABOVE)
- 2-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR TO ROOF SHEATHING ABOVE)
- 1-HOUR PROTECTION AT COLUMNS AND BEAMS
- FEC — FIRE EXTINGUISHER CABINET, SEE DETAIL A3-602
- SIG — SIGNAGE, REFER TO SIGNAGE KEY, 45/A3-945
- EXIT SIGN, REFER TO S14 ON SIGNAGE KEY, 45/A3-945
- ROOF OVERHEAD
- ASSUMED PROPERTY LINE WITH FIRE SEPARATION DISTANCE (F.S.D.) NOTED

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL (FHAG REQ'D MIN. 36" (1000 MM))
- (X'-X") COMMON PATH OF EGRESS TRAVEL (MAX HORIZONTAL DIST. BETWEEN ANY POINT TO MIN. DISTANCE PER 2019 CBC TABLE 1006.2.1 (R-2 OCCUPANCY))
- (X'-X") EXIT ACCESS TRAVEL DISTANCE (MAX HORIZONTAL DIST. BETWEEN ANY POINT TO NEAREST EXIT (250' MAX. DISTANCE PER 2019 CBC TABLE 1017.2 (R-2 OCCUPANCY))
- (X) NUMBER OF OCCUPANTS EXITING SPACE
- (X) COMBINED OCCUPANT COUNT ALONG P.O.T.

STAIR #
STAIR WIDTH
EXIT CAPACITY
EXIT LOAD
EXIT LOAD PER OCCUPANT

STAIR TAG
CLEAR WIDTH OF STAIR
OCCUPANT LOAD CAPACITY
NO. OF OCCUPANTS EXIT TO RAMP OR LEVEL WHERE EXIT DISCHARGE
NO. OF OCCUPANTS EXIT TO PUBLIC WAY
NO. OF OCCUPANTS EXIT TO PUBLIC WAY

NOTE:
ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS TO BE 1HR FIRE RESISTANCE RATED. FIRE RESISTANCE RATINGS OF 1HR REQUIRED AT ALL PRIMARY STRUCTURAL FRAMES, EXTERIOR WALLS, INTERIOR LOAD BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS, AND ROOF CONSTRUCTION AND ASSOCIATED MEMBERS.

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED

OCCUPANCY CLASSIFICATION (MIXED USE)	A-3, B, R-2
CONSTRUCTION TYPE (MIXED USE)	VA
ALLOWABLE BUILDING HEIGHT (MIXED USE)	60'-0"
ALLOWABLE NUMBER OF STORIES (MIXED USE)	4
ALLOWABLE BUILDING AREA PER STORY (MIXED USE)	39,330 / 41,040 *
TOTAL ALLOWABLE BUILDING AREA (MIXED USE)	4

* SEE FRONTAGE INCREASE CALCULATIONS ABOVE

GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	75'-0"
PROPOSED NUMBER OF STORIES	4
PROPOSED BUILDING AREA	SEE SCHEDULE BELOW
AUTOMATIC FIRE SPRINKLERS	NFPA 13 (PER CBC 903.3.1.1)

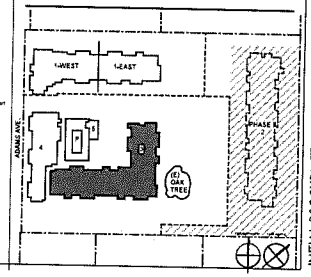
BLDG 3 - GSF

01-GROUND FLOOR	18,229 SF
02-SECOND FLOOR	18,649 SF
03-THIRD FLOOR	18,649 SF
04-FOURTH FLOOR	18,638 SF
TOTAL PROPOSED GSF	74,926 SF

BLDG 3 - NSF

01-GROUND FLOOR	
COMMON	9,115 SF
RESIDENTIAL	17,416 SF
02-SECOND FLOOR	
COMMON	2,907 SF
RESIDENTIAL	13,988 SF
03-THIRD FLOOR	
COMMON	2,907 SF
RESIDENTIAL	13,988 SF
04-FOURTH FLOOR	
COMMON	2,968 SF
RESIDENTIAL	13,968 SF
TOTAL PROPOSED NSF	64,865 SF

KEY PLAN



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CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - CODE ANALYSIS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-001

11/08/2022 11:49 PM
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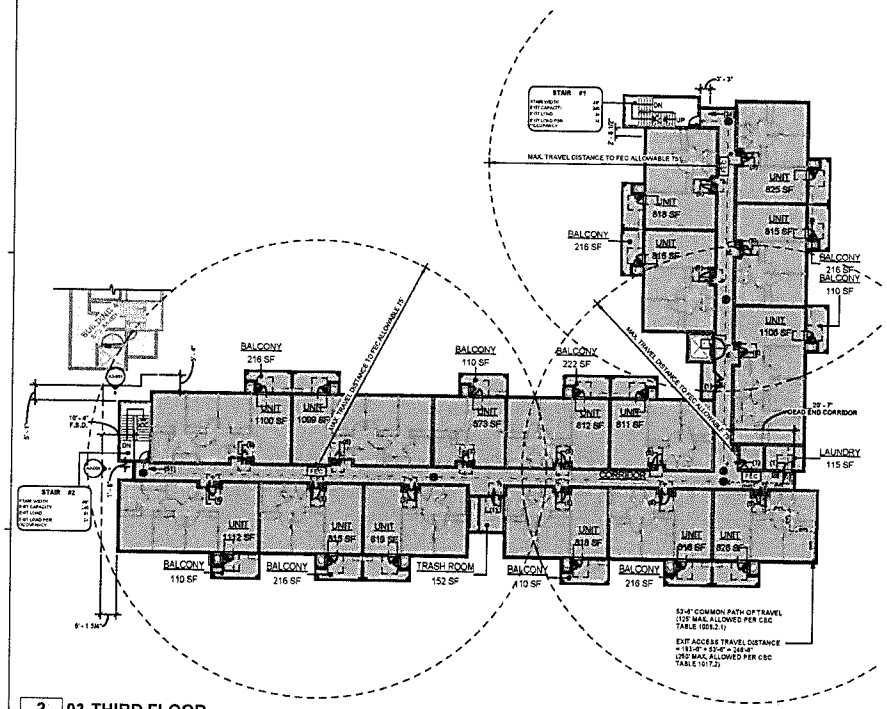
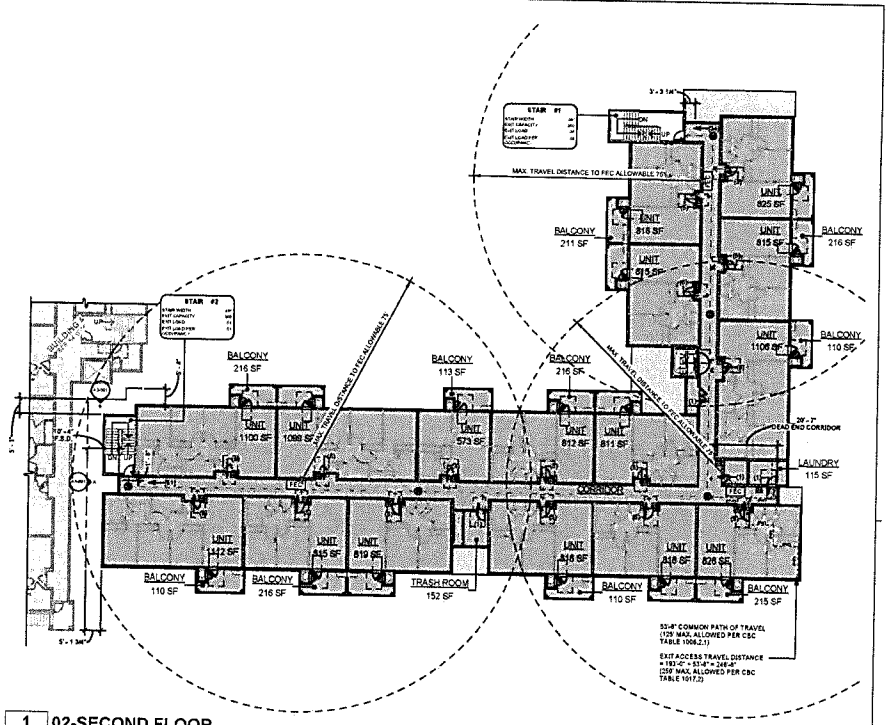


2 03-THIRD FLOOR

A3-001 | A4-001 SCALE: 1/16" = 1'-0"



1 02-SECOND FLOOR

A2-001 | A4-001 SCALE: 1/16" = 1'-0"

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	PRIMARY STRUCTURE 1-HR, FLOOR 1-HR, ROOF 1-HR, BEARING WALLS 1-HR	T.601
EXTERIOR WALLS	BEARING WALLS 1-HR	T.601
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	T.705.8
FIRE WALLS	NA	706
FIRE BARRIERS	2-HR FIRE RESISTANCE RATED WALLS OCCUR AT SHAFTS, & STAIR ENCLOSURES PER LEGEND. 1-HR FIRE RESISTANCE RATED WALLS OCCUR AT OCCUPANCY SEPARATIONS PER LEGEND.	707.3
FIRE PARTITIONS	1-HR FIRE RESISTANCE RATED WALLS OCCUR AT DWELLING UNIT SEPARATIONS	708
CONCEALED SPACES	PROVIDE FIRE BLOCKING AS REQUIRED IN WALL & STAIR CONSTRUCTION. DRAFTSTOPPING AT FIRE PARTITIONS IN FLOORS & ATTICS. ADDITIONAL DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED IN ACCORDANCE WITH 903.3.1.3	718
HORIZONTAL ASSEMBLIES	ALL FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES 1-HR. PROTECT PENETRATIONS	711
PENETRATIONS	SEE NOTE 1 BELOW	714
WILDFIRE EXPOSURE	NA - PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	7A
2. MEANS OF EGRESS		
STAIRS	MIN. 44" CLEAR WIDTH (36" WHEN SERVING <50)	1011.2
RAMPS	MAX. 1:12 SLOPE. PROVIDE HANDRAILS WITH EXTENSIONS	1012
COMMON PATH OF EGRESS TRAVEL	MAX. 125' FROM R-2 OCCUPANCIES	1006.2
R-2 SPACES W/ ONE EXIT	PERMITTED AT UNITS R-2 OCC <20 SPRINKLERED	1006.3 OR Table 1006.2.1
NUMBER OF EXITS PER STORY	2 (MIN 2 REQUIRED) PER STORY IN R-2 OCCUPANCY 4 STORIES OR GREATER	T.1006.3.3(1)
EXIT ACCESS TRAVEL DISTANCE	MAX. 250'	T.1017.2
INTERIOR EXIT STAIRWAYS	CONSTRUCT ENCLOSURE AS 2-HR FIRE BARRIER	1023
3. ACCESSIBILITY		
COVERED MULTIFAMILY DWELLING UNITS	SEE CODE COMPLIANCE PLANS FOR ACCESSIBLE AND ADAPTABLE UNIT DESIGNATIONS, SEE UNIT PLANS FOR SPECIFIC FEATURES.	CT/CAC Regulations
PARKING SPACES	SEE SITE PLAN	11B-208
ACCESSIBLE ROUTES OF TRAVEL	ALL SITE ARRIVAL AND INTERIOR CONNECTION ROUTES SHALL BE ACCESSIBLE	11B-206.2
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	SEE ROOF VENTILATION PLAN SHEET	1203.2
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES).	1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	CLASS B	1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER "UNIT OF A" 3,000 SF (6,000 SF PER 3A10-B-C EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER: MAX 75 FT	
	MIN. UL EXTINGUISHER RATING 3A10-B-C	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

SECOND & THIRD FLOOR OCCUPANCY CALCULATIONS

AREA NAME	AREA	NET / GROSS	OCCUPANCY TYPE	OCCUPANCY FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	MAX. OCC. LOAD FOR ONE EXIT (2019 CBC TABLE 1006.3.1)	EXITS REQUIRED
02-SECOND FLOOR								
UNIT	13976 SF	GROSS	R-2	RESIDENTIAL	200	42		
TRASH ROOM	152 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE	57 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
LAUNDRY	115 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
JANITOR CLOSET	72 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
	14375 SF					50		
03-THIRD FLOOR								
UNIT	13480 SF	GROSS	R-2	RESIDENTIAL	200	42		
TRASH ROOM	152 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE	57 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
LAUNDRY	115 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
JANITOR CLOSET	72 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
	14376 SF					50		
	28751 SF					172		

NOTES

1. PENETRATIONS
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE (IA PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. A. WALL PENETRATIONS SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. B. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1-HR OR THE ASSEMBLY PENETRATED
      d. C. SOME EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS: SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES > TWO STORIES
      b. CONTAIN IN WALL AND FIRESTOP < TWO STORIES
      c. DUCTS <4" MAY BE PERMITTED TO PENETRATE UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.6.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND FIRE DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR. IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.
3. FIRE WALL/BARRIER IDENTIFICATION
   A. 2019 CBC 703.7
      PROVIDE SIGNAGE AT ALL FIRE WALLS, FIRE PARTITIONS AND FIRE BARRIERS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS. LOCATE IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES. LOCATE WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
   B. 'FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS' LETTERS MIN 3" HIGH WITH 3/8" MIN. STROKE, ON SIGNAGE IN A CONTRASTING COLOR.
   C. WALLS IN GROUP R-2 WITHOUT A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE ARE EXEMPT.

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50
- 1-HOUR RATED FIRE BARRIER
- 2-HR FIRE BARRIER
- 1-HOUR PROTECTION AT COLUMNS AND BEAMS
- FEC — FIRE EXTINGUISHER CABINET, SEE DETAIL A3-922
- SP — SIGNAGE, REFER TO SIGNAGE KEY, 4/SA3-848
- EXIT SIGN, REFER TO S14 ON SIGNAGE KEY, 4/SA3-848
- ROOF OVERHEAD
- ASSUMED PROPERTY LINE WITH FIRE SEPARATION DISTANCE (F.S.D.) NOTED

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL
- (X'-X") COMMON PATH OF EGRESS TRAVEL
- (X'-X") EXIT ACCESS TRAVEL DISTANCE
- (X) NUMBER OF OCCUPANTS EXITING SPACE
- [X] COMBINED OCCUPANT COUNT ALONG P.O.T.
- STAIR # — STAIR TAG

NOTE:
ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS TO BE 1-HR FIRE RESISTANCE RATED, FIRE RESISTANCE RATINGS OF 1-HR REQUIRED AT ALL PRIMARY STRUCTURAL FRAMES, EXTERIOR WALLS, INTERIOR LOAD BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS, AND ROOF CONSTRUCTION AND ASSOCIATED MEMBERS.

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED

OCCUPANCY CLASSIFICATION	A-3, B, R-2
CONSTRUCTION TYPE	VA
ALLOWABLE BUILDING HEIGHT	60'-0"
ALLOWABLE NUMBER OF STORIES	4
ALLOWABLE BUILDING AREA PER STORY	39,330 / 47,946
TOTAL ALLOWABLE BUILDING AREA	

* SEE FRONTAGE INCREASE CALCULATION, SHEET A3-001

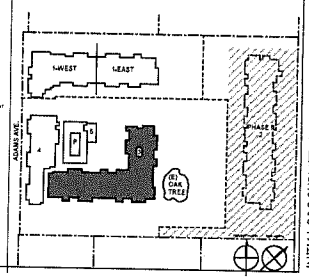
GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	39'-0"
PROPOSED NUMBER OF STORIES	4
PROPOSED BUILDING AREA	
AUTOMATIC FIRE SPRINKLERS	SEE SCHEDULE BELOW NFPA 13 (PER CBC 903.1.1)

BLDG 3 - GSF

01-GROUND FLOOR	19228 SF
02-SECOND FLOOR	18788 SF
03-THIRD FLOOR	18805 SF
04-FOURTH FLOOR	18784 SF
TOTAL PROPOSED GSF	75605 SF

KEY PLAN



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CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - CODE ANALYSIS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-002

11/8/2022 1:20:00 PM
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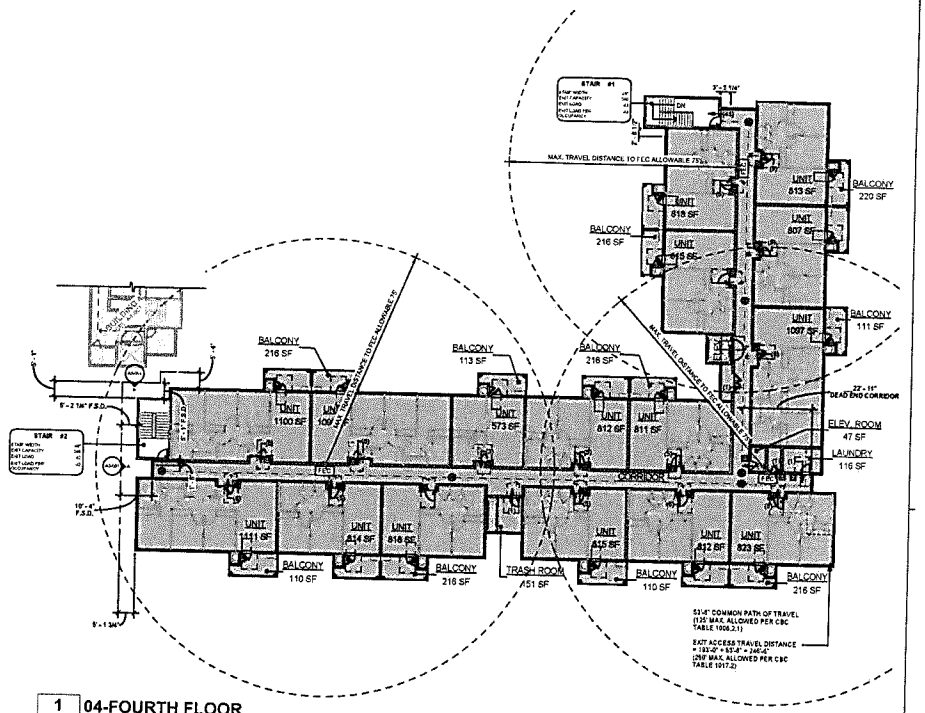


1 04-FOURTH FLOOR
A2-101 A3-101 SCALE: 1/16" = 1'-0"

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	PRIMARY STRUCTURE 1-HR, FLOOR 1-HR, ROOF 1-HR, BEARING WALLS 1-HR	
EXTERIOR WALLS	BEARING WALLS, 1-HR,	T-601
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	T-602
FIRE WALLS	N/A	T-706.9
FIRE BARRIERS	2HR FIRE RESISTANCE RATED WALLS OCCUR AT SHAFTS, & STAIR ENCLOSURES PER LEGEND. 1HR FIRE RESISTANCE RATED WALLS OCCUR AT OCCUPANCY SEPARATIONS PER LEGEND.	707.3
FIRE PARTITIONS	1-HR FIRE RESISTANCE RATED WALLS OCCUR AT DWELLINGS UNIT SEPARATIONS	
CONCEALED SPACES	PROVIDE FIRE BLOCKING AS REQUIRED IN WALL & STAIR CONSTRUCTION. DRAFTSTOPPING AT FIRE PARTITIONS IN FLOORS & ATTICS. ADDITIONAL DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED IN ACCORDANCE WITH 903.3.1.2	718
HORIZONTAL ASSEMBLIES	ALL FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES 1-HR. PROTECT PENETRATIONS	
PENETRATIONS	SEE NOTE 1 BELOW	711
WILDFIRE EXPOSURE	N/A - PROJECT IN NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	704
2. MEANS OF EGRESS		
STAIRS	MIN. 44" CLEAR WIDTH (36" WHEN SERVING <50)	
RAMPS	MAX. 1: 12 SLOPE. PROVIDE HANDRAILS WITH EXTENSIONS.	1011.2
COMMON PATH OF EGRESS TRAVEL	MAX. 125' FROM R-2 OCCUPANCIES	1013
R-2 SPACES IN ONE EXIT	PERMITTED AT UNITS. R-2 OCC. IS SPRINKLERED	1006.3
NUMBER OF EXITS PER STORY	2 (MIN 2 REQUIRED) PER STORY IN R-2 OCCUPANCY 4 STORIES OR GREATER	1006.1 OR Table 1006.2.1
EXIT ACCESS TRAVEL DISTANCE	MAX. 250'	T-1006.3.3(1)
INTERIOR EXIT STAIRWAYS	CONSTRUCT ENCLOSURE AS 2HR FIRE BARRIER	T-1017.2
		1023
3. ACCESSIBILITY		
COVERED MULTIFAMILY DWELLING UNITS	SEE CODE COMPLIANCE PLANS FOR ACCESSIBLE AND ADAPTABLE UNIT DESIGNATIONS. SEE UNIT PLANS FOR SPECIFIC FEATURES.	CTCAC Regulations
PARKING SPACES	SEE SITE PLAN	
ACCESSIBLE ROUTES OF TRAVEL	ALL SITE ARRIVAL AND INTERIOR CONNECTION ROUTES SHALL BE ACCESSIBLE	11B-206
		11B-206.2
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	SEE ROOF VENTILATION PLAN SHEET	
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES)	1207.2
		1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	CLASS B	
		1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER UNIT OF A= 1,000 SF, 5,000 SF PER 2A10-B C EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER MAX 75 FT	
	MIN. UL EXTINGUISHER RATING 2A10-B C	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

FOURTH FLOOR OCCUPANCY CALCULATIONS

AREA NAME	AREA	NET / GROSS	OCCUPANCY TYPE	OCCUPANCY FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	MAX. OCC. LOAD FOR ONE EXIT (2019 CBC TABLE 1006.2.1)	EXITS REQUIRED
04-FOURTH FLOOR								
UNIT	13939 SF	GROSS	R-2	RESIDENTIAL	200	67		
TRASH ROOM	151 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE	59 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
LAUNDRY	116 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
JANITOR CLOSET	44 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1		
ELEV. ROOM	47 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
	14356 SF					67		
	14356 SF					67		

NOTES

1. PENETRATIONS:
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE VA (PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. A WALL PENETRATIONS SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. B. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1-HR OR THE ASSEMBLY PENETRATED
      d. C. EGNIE EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS. SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS:
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES > TWO STORIES
      b. CONTAIN IN WALLS AND FIRESTOP > TWO STORIES
      c. DUCTS >4" MAY BE PERMITTED TO PENETRATE UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.6.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND FIRE DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR. IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.
3. FIRE WALL/BARRIER IDENTIFICATION
   A. 2019 CBC 703.7
      PROVIDE SIGNAGE AT ALL FIRE WALLS, FIRE PARTITIONS AND FIRE BARRIERS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS. LOCATE IN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING OR ATTIC SPACES. LOCATE WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
   B. "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS". LETTERS MIN 2" HIGH WITH A 3/8" MIN. STROKE, ON SIGNAGE IN A CONTRASTING COLOR.
   C. WALLS IN GROUP R-2 WITHOUT A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE ARE EXEMPT.

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50
- 1-HOUR RATED FIRE BARRIER
- 2-HR FIRE BARRIER
- 1-HOUR PROTECTION AT COLUMNS AND BEAMS
- FEC — FIRE EXTINGUISHER CABINET. SEE DETAIL A3-922
- SIGNAGE. REFER TO SIGNAGE KEY, 45/A7-846
- EXIT SIGN. REFER TO 614 ON SIGNAGE KEY, 45/A7-846
- ROOF OVERHEAD
- ASSUMED PROPERTY LINE WITH FIRE SEPARATION DISTANCE (F.S.D.) NOTED

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL
- (X'-X") COMMON PATH OF EGRESS TRAVEL
- (X'-X") EXIT ACCESS TRAVEL DISTANCE
- (X) NUMBER OF OCCUPANT'S EXITING SPACE
- [X] COMBINED OCCUPANT COUNT ALONG P.O.T.

STAIR #
STAIR WIDTH
EXIT CAPACITY
EXIT LOAD
EXIT LOAD PER OCCUPANCY

STAIR TAG
CLEAR WIDTH OF STAIR
EXIT CAPACITY (LOAD CAPACITY)
NO. OF OCCUPANTS SERVED (ONLY IF EXIT WITHOUT EXIT LOAD)
NO. OF OCCUPANTS LOAD PER OCCUPANCY TYPE

NOTE:
ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS TO BE 1-HR FIRE RESISTANCE RATED. FIRE RESISTANCE RATINGS OF 1-HR REQUIRED AT ALL PRIMARY STRUCTURAL FRAMES, EXTERIOR WALLS, INTERIOR LOAD BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS, AND ROOF CONSTRUCTION AND ASSOCIATED MEMBERS.

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED

OCCUPANCY CLASSIFICATION (SEC. 302)	A-3, S, R-2
CONSTRUCTION TYPE (TABLE 601)	VA
ALLOWABLE BUILDING HEIGHT (TABLE 504.3)	60'-0"
ALLOWABLE NUMBER OF STORIES (TABLE 504.4)	4
ALLOWABLE BUILDING AREA PER STORY (TABLE 506.2)	39338 / 41,040
TOTAL ALLOWABLE BUILDING AREA (TABLE 506.2)	

* SEE FRONTAGE INCREASE CALCULATION, SHEET A3-001

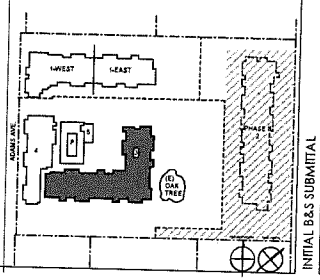
GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	28'-0"
PROPOSED NUMBER OF STORIES	4
PROPOSED BUILDING AREA	SEE SCHEDULE BELOW
AUTOMATIC FIRE SPRINKLERS	NFPA 13 (PER CBC 903.3.1.2)

BLDG 3 - GSF

01-GROUND FLOOR	18228 SF
02-SECOND FLOOR	18798 SF
03-THIRD FLOOR	18905 SF
04-FOURTH FLOOR	18794 SF
TOTAL PROPOSED GSF	75726 SF

KEY PLAN



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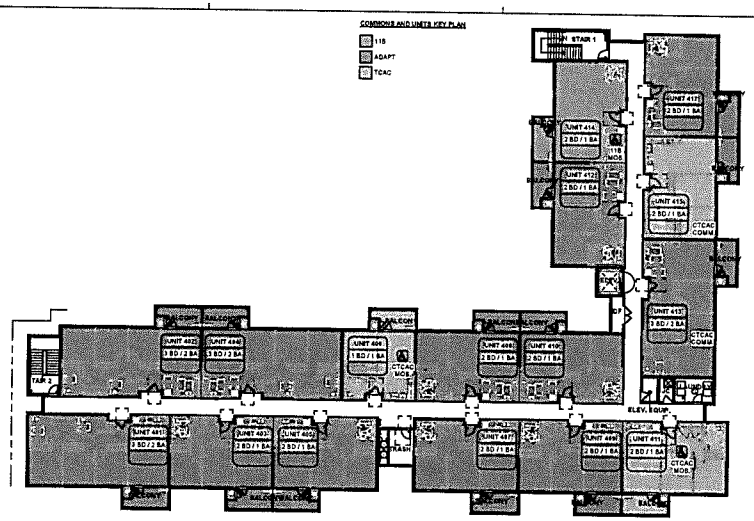
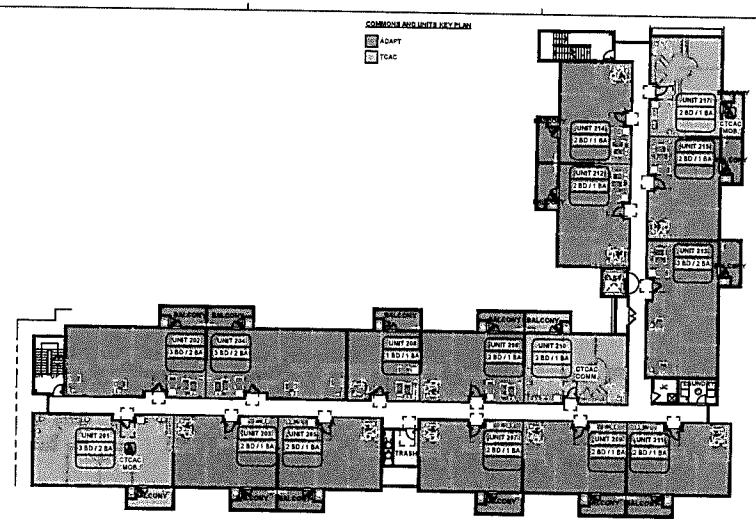
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-003



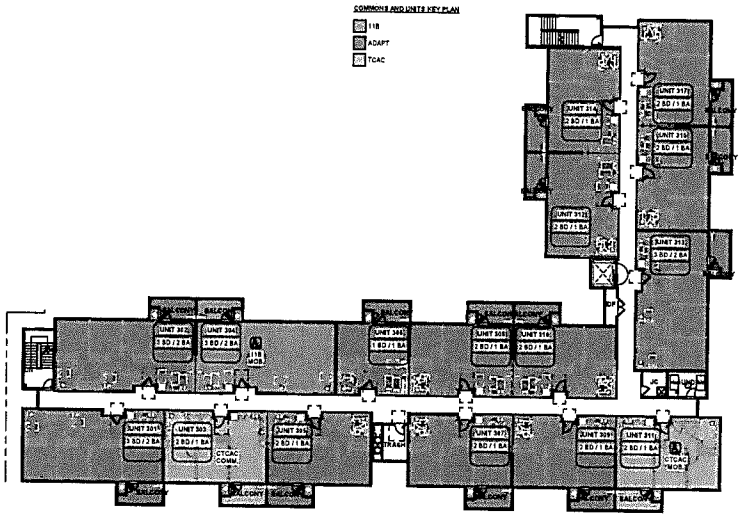
4 FOURTH FLOOR PLAN - BUILDING 3

A3-301 A3-304 SCALE: 1/16" = 1'-0"



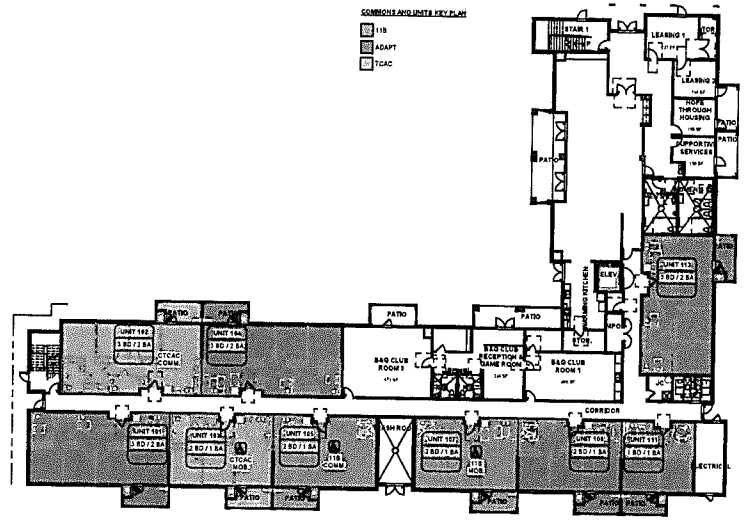
2 SECOND FLOOR PLAN - BUILDING 3

A3-201 A3-204 SCALE: 1/16" = 1'-0"



3 THIRD FLOOR PLAN - BUILDING 3

A3-101 A3-104 SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING 3

A3-001 A3-004 SCALE: 1/16" = 1'-0"

UNIT CALC.

MOBILITY UNITS:
REQUIRED PER ADA / CBC 11B
(57) TOTAL UNITS X .05 = 3

REQUIRED PER CTCAC
(57) TOTAL UNITS X .15 = 9

TOTAL PROVIDED = 10 (17.5%)

BLDG 3 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
01-GROUND FLOOR						
3 BD / 2 BA	101				*	1
3 BD / 2 BA	102			*	*	1
3 BD / 1 BA	103		*			1
3 BD / 2 BA	104				*	1
3 BD / 1 BA	105			*	*	1
2 BD / 1 BA	107	*				1
2 BD / 1 BA	109				*	1
1 BD / 1 BA	111				*	1
3 BD / 2 BA	113				*	1
					9	12

BLDG 3 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
02-SECOND FLOOR						
3 BD / 2 BA	201		*			1
3 BD / 2 BA	202				*	1
2 BD / 1 BA	203				*	1
3 BD / 2 BA	204				*	1
2 BD / 1 BA	205				*	1
1 BD / 1 BA	206				*	1
2 BD / 1 BA	207				*	1
2 BD / 1 BA	208				*	1
2 BD / 1 BA	209				*	1
2 BD / 1 BA	210				*	1
2 BD / 1 BA	211				*	1
2 BD / 1 BA	212				*	1
3 BD / 2 BA	213				*	1
2 BD / 1 BA	214				*	1
2 BD / 1 BA	215				*	1
2 BD / 1 BA	217		*			1
						16

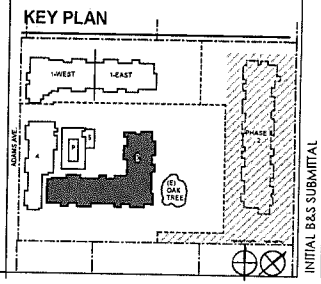
BLDG 3 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
03-THIRD FLOOR						
3 BD / 2 BA	301				*	1
3 BD / 2 BA	302				*	1
2 BD / 1 BA	303			*		1
3 BD / 2 BA	304	*				1
2 BD / 1 BA	305				*	1
1 BD / 1 BA	306				*	1
2 BD / 1 BA	307				*	1
2 BD / 1 BA	308				*	1
2 BD / 1 BA	309				*	1
2 BD / 1 BA	310				*	1
2 BD / 1 BA	311	*				1
2 BD / 1 BA	312				*	1
3 BD / 2 BA	313				*	1
2 BD / 1 BA	314				*	1
2 BD / 1 BA	315				*	1
2 BD / 1 BA	317				*	1
						16

BLDG 3 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CTCAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
04-FOURTH FLOOR						
3 BD / 2 BA	401				*	1
3 BD / 2 BA	402				*	1
2 BD / 1 BA	403				*	1
3 BD / 2 BA	404				*	1
2 BD / 1 BA	405				*	1
1 BD / 1 BA	406			*	*	1
2 BD / 1 BA	407				*	1
2 BD / 1 BA	408				*	1
2 BD / 1 BA	409				*	1
2 BD / 1 BA	410				*	1
2 BD / 1 BA	411			*		1
2 BD / 1 BA	412				*	1
3 BD / 2 BA	413				*	1
2 BD / 1 BA	414		*			1
2 BD / 1 BA	415			*		1
3 BD / 1 BA	417				*	1
						18

KEY PLAN



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BLDG 3 - UNIT KEY PLANS

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

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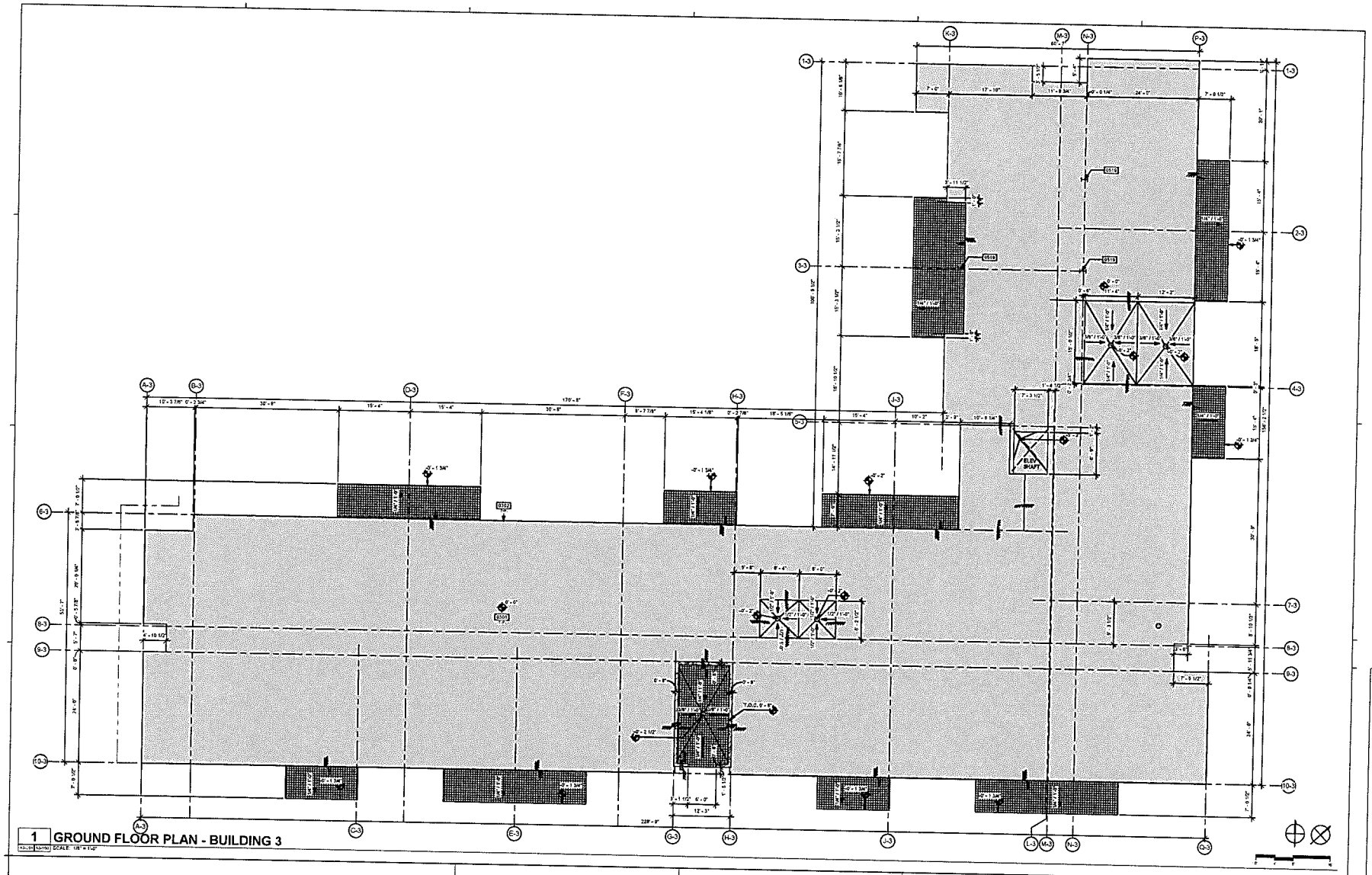


1 GROUND FLOOR PLAN - BUILDING 3

A3-100 A3-100 SCALE: 1/8" = 1'-0"

KEYNOTES

0301	CONCRETE SLAB. SEE STRUCTURAL DRAWINGS
0302	CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS
0519	WIDE FLANGE COLUMN. SEE STRUCTURAL DRAWINGS

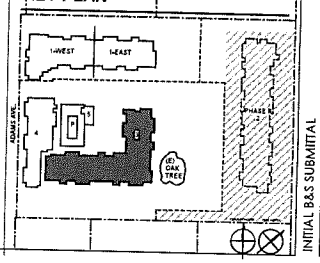
LEGEND

- 16'-0" — HEIGHT OF TOP OF SLAB
- 2"/12" — SLAB SLOPE
- FLOOR DRAIN (REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION)
- SLOPE CHANGE
- SLAB STEP
- SLAB STEP & SLOPE
- CURB
- SLAB ON GRADE (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- DEPRESSED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- SLOPED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- CONCRETE CURB (REFER TO OTHER PLANS, DETAILS DRAWINGS FOR MORE INFORMATION AND PLANS FOR MISC.)

SLAB PLAN GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS, EDGE OF SLAB, OR GRID LINE, UNLESS OTHERWISE NOTED.
2. SLAB PLANS ARE SUBMITTED FOR REFERENCE AND CLARIFICATION TO SCOPE OF STRUCTURAL SLAB, SLOPES, AND ELEVATION HEIGHTS. ALL SLAB EXTENTS TO BE VERIFIED WITH ARCHITECTURAL DOCUMENTS INCLUDING ARCHITECTURAL PLANS AND STRUCTURAL DRAWINGS.
3. SEE CIVIL DRAWINGS FOR ALL TOP OF SLAB HEIGHTS. HEIGHTS VARY PER BUILDING. INCLUDING AT ELECTRICAL ROOMS. ENSURE COMPLIANCE WITH 2019 CBC SECTIONS 2304.12.1.2 AND 2512.1.2
4. SLAB DEPRESSION SPOT ELEVATIONS ARE MEASUREMENTS BASE OFF OF LEVEL 01.
5. REFER TO LANDSCAPE DRAWINGS FOR PATIOS FINISH COLOR AND TEXTURE.
6. INTERIOR CHANGES IN LEVEL INDICATED BY SYMBOL LEGEND. SEE CIVIL FOR ELEVATIONS. STRUCTURAL FOR FOUNDATION DETAILS.
7. INTERIOR CHANGES IN LEVEL WITH CURB. SEE CIVIL FOR ELEVATIONS: STRUCTURAL FOR FOUNDATION DETAILS.

KEY PLAN



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BLDG 3 - SLAB PLAN

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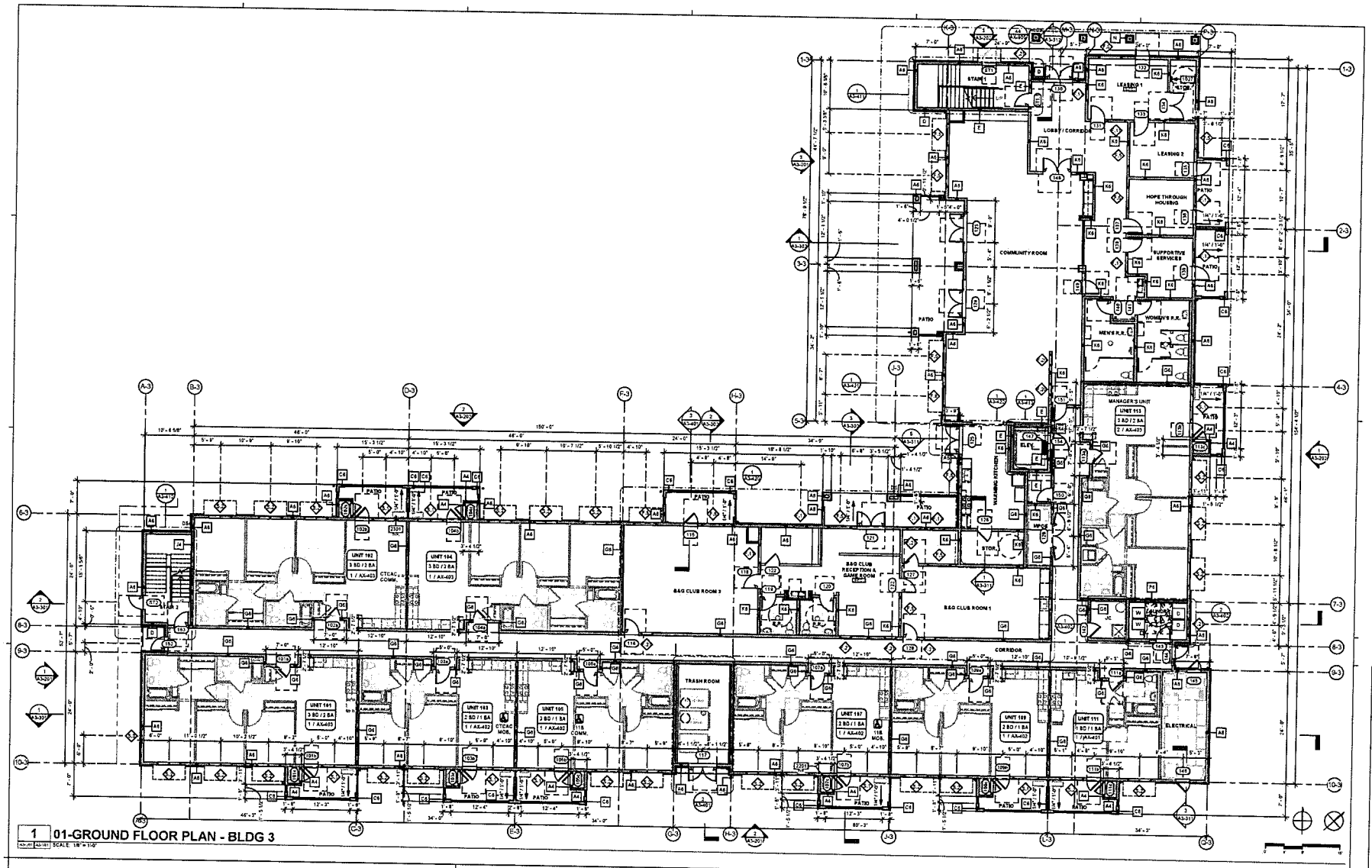

1 01-GROUND FLOOR PLAN - BLDG 3

AX-101 | AX-101 SCALE: 1/8" = 1'-0"

KEYNOTES

1027	HANDYTRACK KEY CONTROL SYSTEM
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT, SEE MECH. DRAWINGS

UNIT LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type A	UNIT TYPE
SHEET XXX	SHEET NUMBER ENLARGED UNIT PLAN
11B MOB.	**11B MOBILITY UNIT** THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2018 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
CTCAC MOB.	**TCAC MOBILITY UNIT** THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC, REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
11B or CTCAC COMM.	**COMMUNICATION FEATURES** THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. *2019 CBC 11B-809.5 & 907.5.2.3.3.* TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES. 2018 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B. THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2018 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.13).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AX-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CASINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRESBLOCKING FOR WALL CAVITIES THAT EXCEED 2018 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
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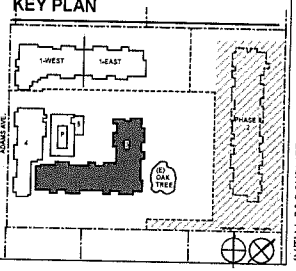
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - GROUND LEVEL FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-101

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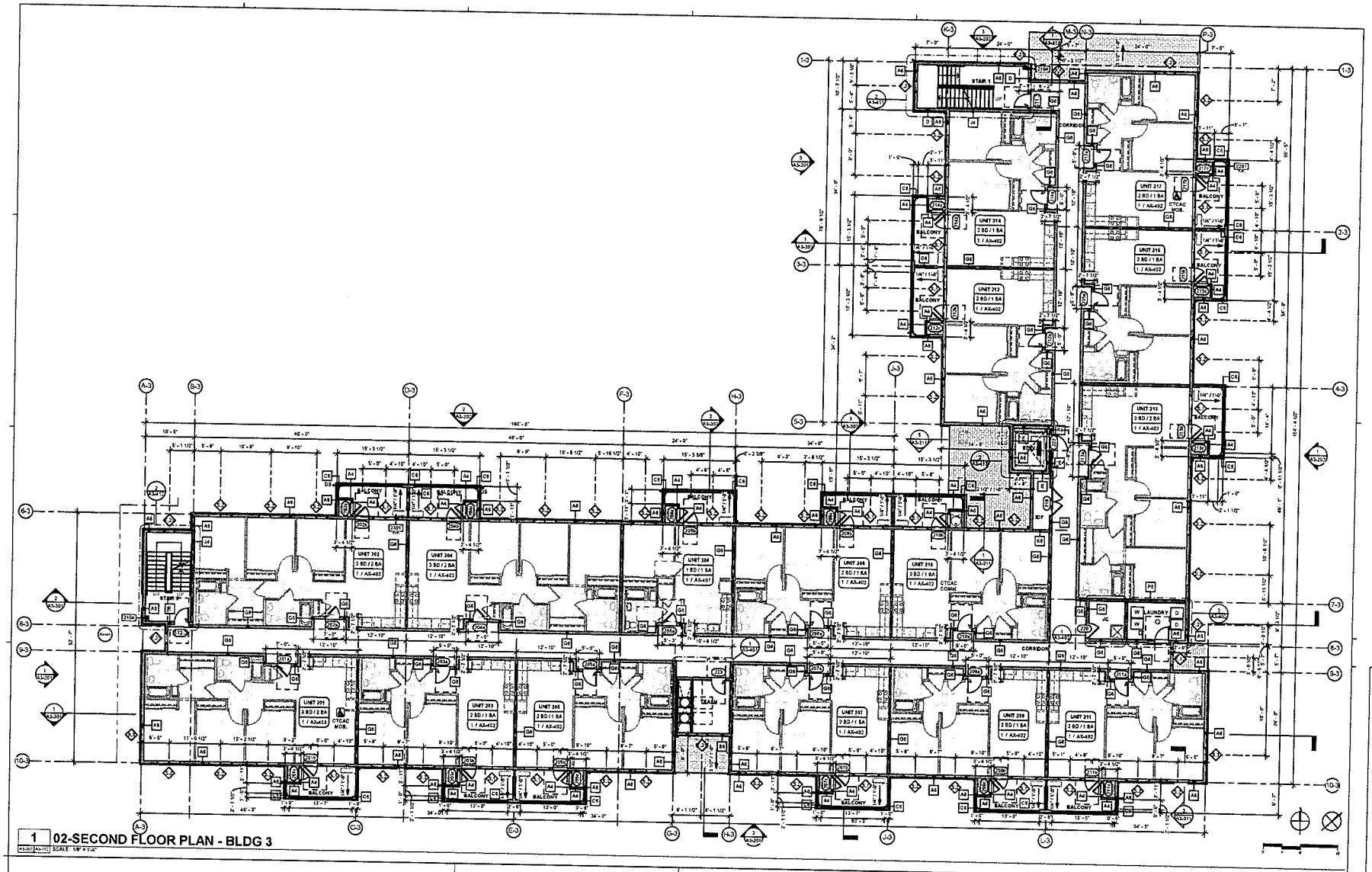

1 02-SECOND FLOOR PLAN - BLDG 3
A3-201 A3-102 SCALE: 1/8" = 1'-0"

KEYNOTES

Z104	STAND PIPE
Z201	WATER HEATER, SEE PLUMBING DRAWINGS
Z301	MECHANICAL UNIT, SEE MECH. DRAWINGS

UNIT LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XXX	SHEET NUMBER ENLARGED UNIT PLAN
11B MOB.	11B MOBILITY UNIT THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2018 CBC 11B. REQUIRES 5% MOBILITY UNITS, THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
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11B or CTCAC COMM.	COMMUNICATION FEATURES THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED. AS REQUIRED. *2019 CBC 11B-809.5 & 907.5.2.3.2.* TCAC. REQUIRES 11% WITH COMMUNICATIONS FEATURES. 2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B. THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.10).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
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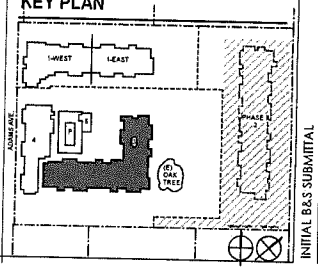
KEY PLAN



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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - SECOND LEVEL FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-102

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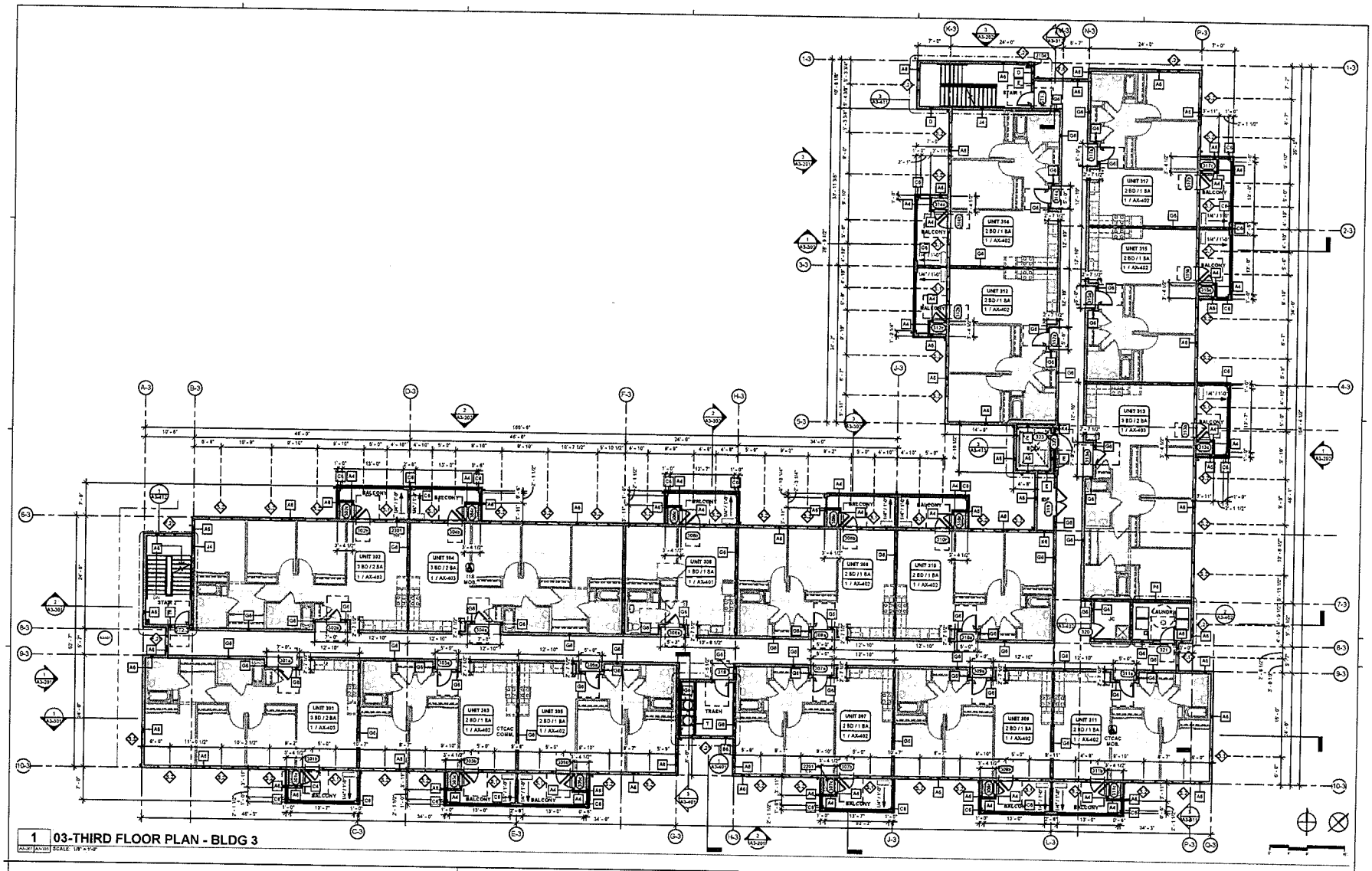

1 03-THIRD FLOOR PLAN - BLDG 3
A3-201 A3-103 SCALE: 1/8" = 1'-0"

KEYNOTES

2104	STAND PIPE
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

UNIT LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XX3	SHEET NUMBER ENLARGED UNIT PLAN
11B MOB.	11B MOBILITY UNIT THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2018 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
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11B w CTCAC COMM.	COMMUNICATION FEATURES THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. (2018 CBC 11B-809.5 & 907.5.2.3.2) TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES. 2018 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

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FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
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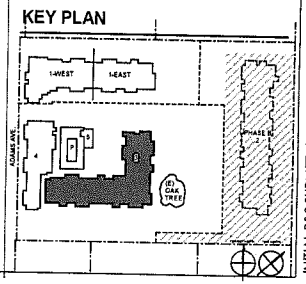
KEY PLAN



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nationalcore.org

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - THIRD LEVEL FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/06/2022
PROJECT NUMBER 1853-05
SHEET A3-103

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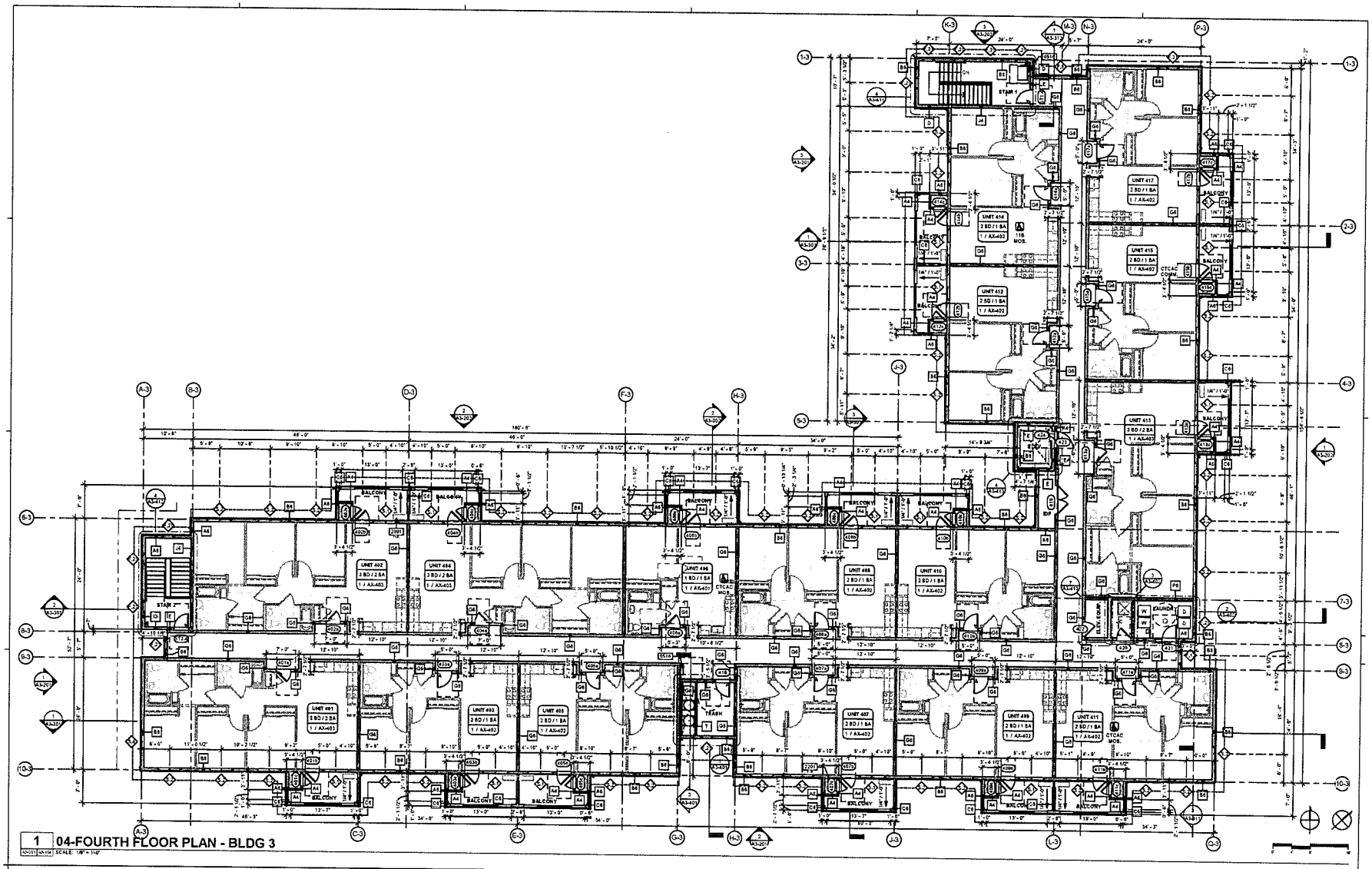

1 04-FOURTH FLOOR PLAN - BLDG 3
A2-201 | A2-104 SCALE: 1/8" = 1'-0"

KEYNOTES

0518	FIXED STEEL LADDER
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

UNIT LEGEND

UNIT TAG

UNIT XXX / Type X / SHEET XXX — UNIT NUMBER; UNIT TYPE; SHEET NUMBER ENLARGED UNIT PLAN

11B MOB. — **11B MOBILITY UNIT**
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1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A0-421 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
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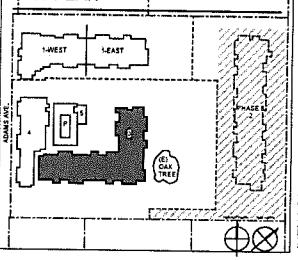
KEY PLAN



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CONSULTANT

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - FOURTH LEVEL FLOOR PLAN

NO	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-104

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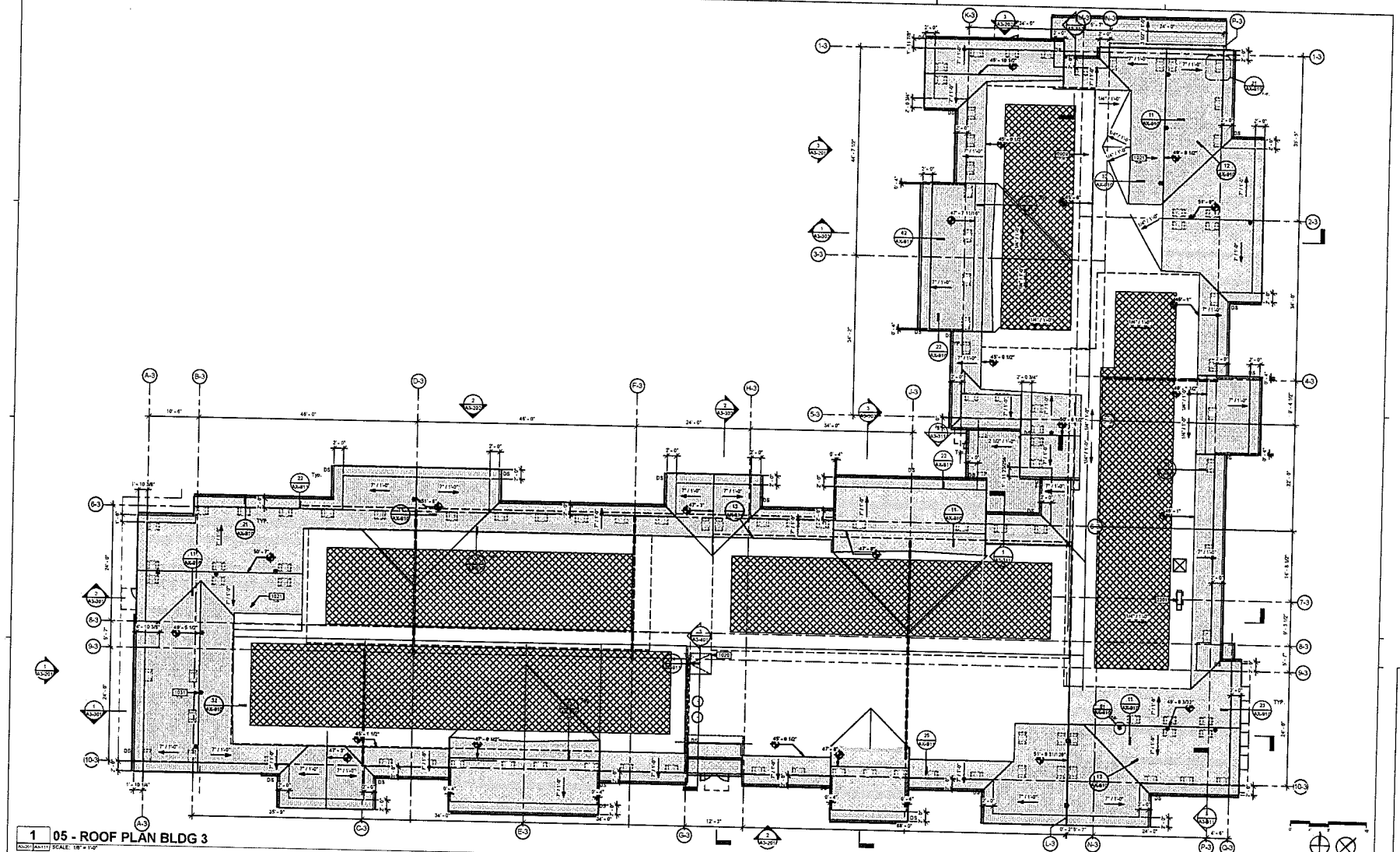


1 05 - ROOF PLAN BLDG 3

A3-201 A3-111 SCALE: 1/8" = 1'-0"

KEYNOTES

09.09	BUILT-UP ROOFING
10.20	ATTIC ACCESS PANEL
10.21	ATTIC VENT (UPPER). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
10.31	ROOF MOUNT TIE-BACK ANCHOR
23.01	MECHANICAL UNIT. SEE MECH. DRAWINGS

ROOF PLAN DRAINAGE NOTES

1. DOWNSPOUT SIZING: ALL DOWNSPOUTS TO BE 3"X4" RECTANGULAR DOWNSPOUTS.
   A. MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREAS (2N/HR PER CPC 2019 TABLE D101.1) WITH A 3" RECTANGULAR DOWN SPOUT PER CPC 2019 TABLE 1103.1 = 4496SF.
   B. MAXIMUM PROPOSED (WORST CASE) HORIZONTAL PROJECTED ROOF AREA TO BE: 1918 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A DOWNSPOUT.
2. GUTTER SIZING FOR PITCHED ROOF AREAS: ALL GUTTERS TO BE 4" AT 1/16" PER FOOT SLOPE.
3. MAXIMUM ROOF AREAS 7205F (PER CBC 2019 TABLE 1103.3)
4. MAXIMUM PROPOSED ROOF AREA TO BE: 565 SF. SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A GUTTER.

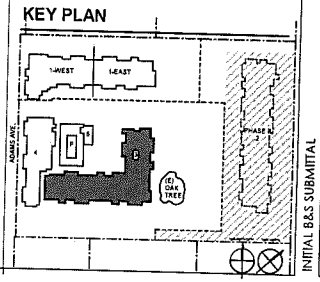
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC SECTION 1507.1), AND MANUFACTURER'S INSTALLATION INSTRUCTIONS
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH (2019 CBC SECTION 1203). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER (2019 CBC 1203.2.2)
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 10'-0" — HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CONCRETE AND INSULATION)
- 2"/12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- ORNAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR ELEVATIONS FOR COLORS AND MATERIALS)
- C&J ROOF JACK VENT
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT
- DOWNSPOUT. TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA, CA 92562
BLDG 3 - ROOF PLAN

NO.	REVISION	DATE

PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET A3-111

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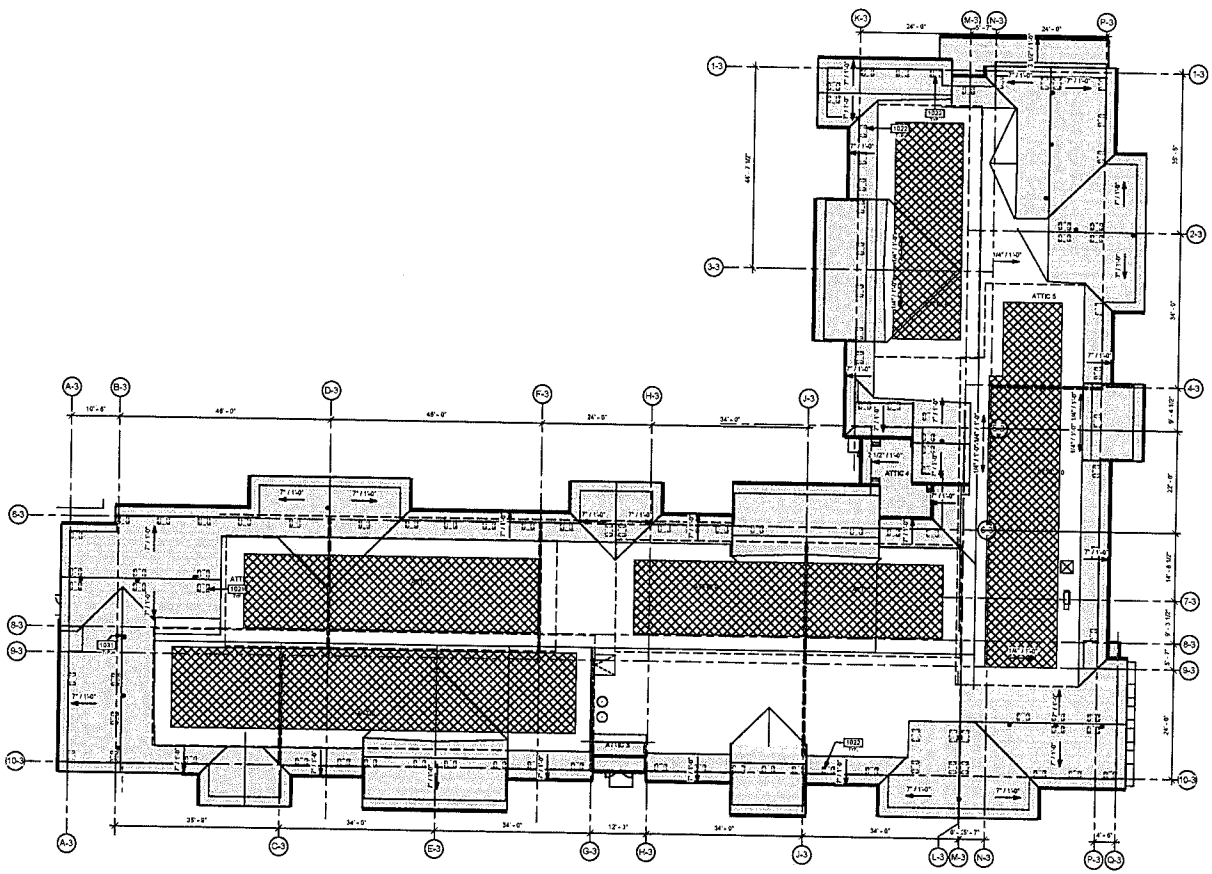


1 **05 - ROOF VENTILATION PLAN BLDG 3**

A3-201 A3-112 SCALE: 3/32" = 1'-0"

ROOF VENTING CALCULATIONS

UPPER VENTS: OHAGIN TAPERED LOW PROFILE STANDARD LINE
72.0 SQ IN OF AIR MOVEMENT PER VENT = 72. SQ IN / 144 = 0.5 SF

LOWER VENTS: EAVE VENTS 24" WITH (3) 3" HOLES = 0.05 SF

"UPPER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) / (0.5 SF)

"LOWER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) / (0.05 SF)

ATTIC	AREA	REQUIRED ATTIC VENTING (NFA)	UPPER VENTING REQUIRED (NFA)	LOWER VENTING REQUIRED (NFA)
ATTIC 1 - B3	2668 SF	8.89 SF	4.45 SF	4.45 SF
ATTIC 2 - B3	2681 SF	8.94 SF	4.49 SF	4.49 SF
ATTIC 3 - B3	183 SF	0.31 SF	0.15 SF	0.15 SF
ATTIC 4 - B3	370 SF	1.23 SF	0.57 SF	0.57 SF
ATTIC 5 - B3	1568 SF	5.18 SF	2.59 SF	2.59 SF
ATTIC 6 - B3	2642 SF	8.81 SF	4.40 SF	4.40 SF
ATTIC 7 - B3	1545 SF	5.15 SF	2.58 SF	2.58 SF
ATTIC 8 - B3	1344 SF	4.48 SF	2.24 SF	2.24 SF
ATTIC 9 - B3	2612 SF	8.71 SF	4.35 SF	4.35 SF
ATTIC 10 - B3	1197 SF	3.99 SF	2.00 SF	2.00 SF

VENT TYPE	COUNT	VENT LENGTH	NET FREE AREA PER VENT	PROVIDED NET FREE AREA
ATTIC 1				
OHAGIN SHINGLE ROOF VENT (LOWER)	9	2'-6"	0.50 SF	4.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	9	2'-6"	0.50 SF	4.50 SF
				9.00 SF
ATTIC 2				
OHAGIN SHINGLE ROOF VENT (LOWER)	9	2'-6"	0.50 SF	4.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	9	2'-6"	0.50 SF	4.50 SF
				9.00 SF
ATTIC 3				
OHAGIN SHINGLE ROOF VENT (UPPER)	1	2'-6"	0.50 SF	0.50 SF
				0.50 SF
ATTIC 4				
OHAGIN SHINGLE ROOF VENT (LOWER)	2	2'-6"	0.50 SF	1.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	2	2'-6"	0.50 SF	1.00 SF
				2.00 SF
ATTIC 5				
OHAGIN SHINGLE ROOF VENT (LOWER)	6	2'-6"	0.50 SF	3.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	6	2'-6"	0.50 SF	3.00 SF
				6.00 SF
ATTIC 6				
OHAGIN SHINGLE ROOF VENT (LOWER)	10	2'-6"	0.50 SF	5.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	10	2'-6"	0.50 SF	5.00 SF
				10.00 SF
ATTIC 7				
OHAGIN SHINGLE ROOF VENT (LOWER)	4	2'-6"	0.50 SF	2.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	4	2'-6"	0.50 SF	2.00 SF
				4.00 SF
ATTIC 8				
OHAGIN SHINGLE ROOF VENT (LOWER)	5	2'-6"	0.50 SF	2.50 SF
				2.50 SF
ATTIC 9				
OHAGIN SHINGLE ROOF VENT (LOWER)	6	2'-6"	0.50 SF	3.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	7	2'-6"	0.50 SF	3.50 SF
				6.50 SF
ATTIC 10				
FIELD SQUARE TYPE	1	2'-6"	2.33 SF	2.33 SF
OHAGIN SHINGLE ROOF VENT (LOWER)	3	2'-6"	0.50 SF	1.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	1	2'-6"	0.50 SF	0.50 SF
				4.33 SF

KEYNOTES

1021	ATTIC VENT (UPPER); PAINT FINISH TO MATCH ROOF COLOR, REFER TO COLORS AND MATERIALS
1022	ATTIC VENT (LOWER); PAINT FINISH TO MATCH ROOF COLOR, REFER TO COLORS AND MATERIALS
1031	ROOF MOUNT TILE SEISMIC ANCHOR

ROOF PLAN GENERAL NOTES

PER 2019 CBC SECTION 1202.2.1 & 1203.2.2

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
2. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. AN AIRSPACE OF NOT LESS THAN 1-INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
3. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
4. THE NET-FREE CROSS VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
5. VENTILATORS SHALL BE INSTALLED IN ACCORDACE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, SQUIRRELS, ROODENTS, SNAKES AND OTHER SIMILAR CREATURES.
7. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH SHALL BE PERMITTED.
8. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4-INCH SHALL BE PROVIDED WITH WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH.

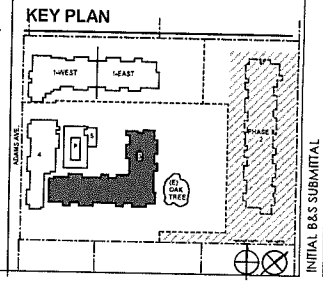
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 73 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH *(2019 CBC 1507.1)*, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH *(2019 CBC SECTION 1202)*. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER *(2019 CBC 1202.2.1)*
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. PLANVIEWED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 18'-0" — HEIGHT OF TOP OF ROOFING SURFACE (BETWEEN STRUCTURE AND INSULATION)
- 3" / 12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- OHAGIN ATTIC VENT, PAINT TO MATCH ROOF COLOR, (REFER TO ELEVATIONS FOR COLORS AND MATERIALS)
- C&J ROOF JACK VENT
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT
- DOWNSPOUT, TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - ROOF VENTILATION PLAN

NO.	REVISION	DATE

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-112

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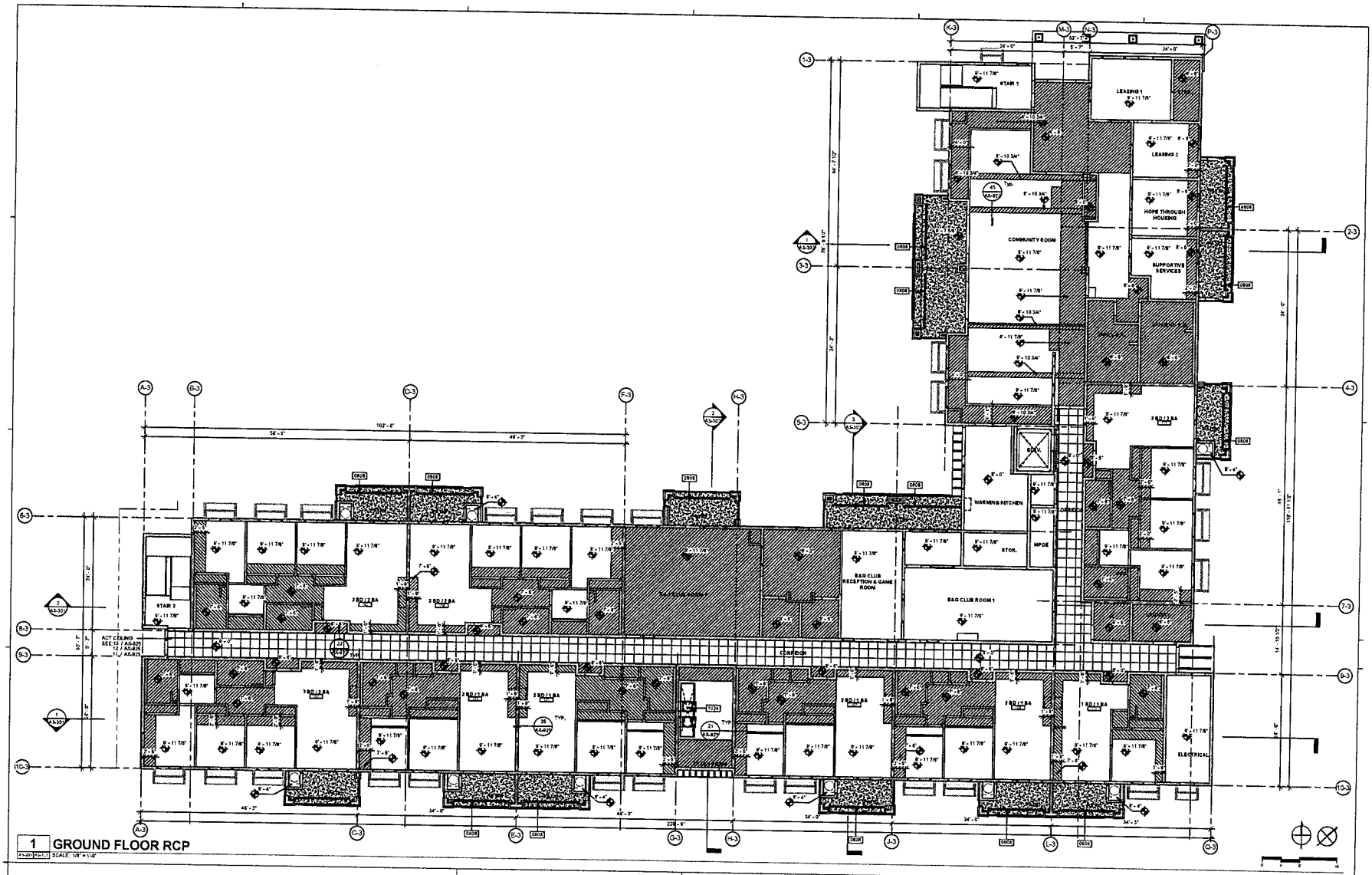

1 GROUND FLOOR RCP

A3-201 | A3-1.1 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.6. ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 6 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ = (BALCONY AREA / 150) (9 SQ. IN / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	164 SF	0.73333	12	12

KEYNOTES

0608	SOFFIT VENT
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH CEILING PLAN, UNO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS, PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS: PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFITS/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- 9'-0" — CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - REFLECTED CEILING PLAN - GROUND LEVEL

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/06/2022
PROJECT NUMBER 1853-05
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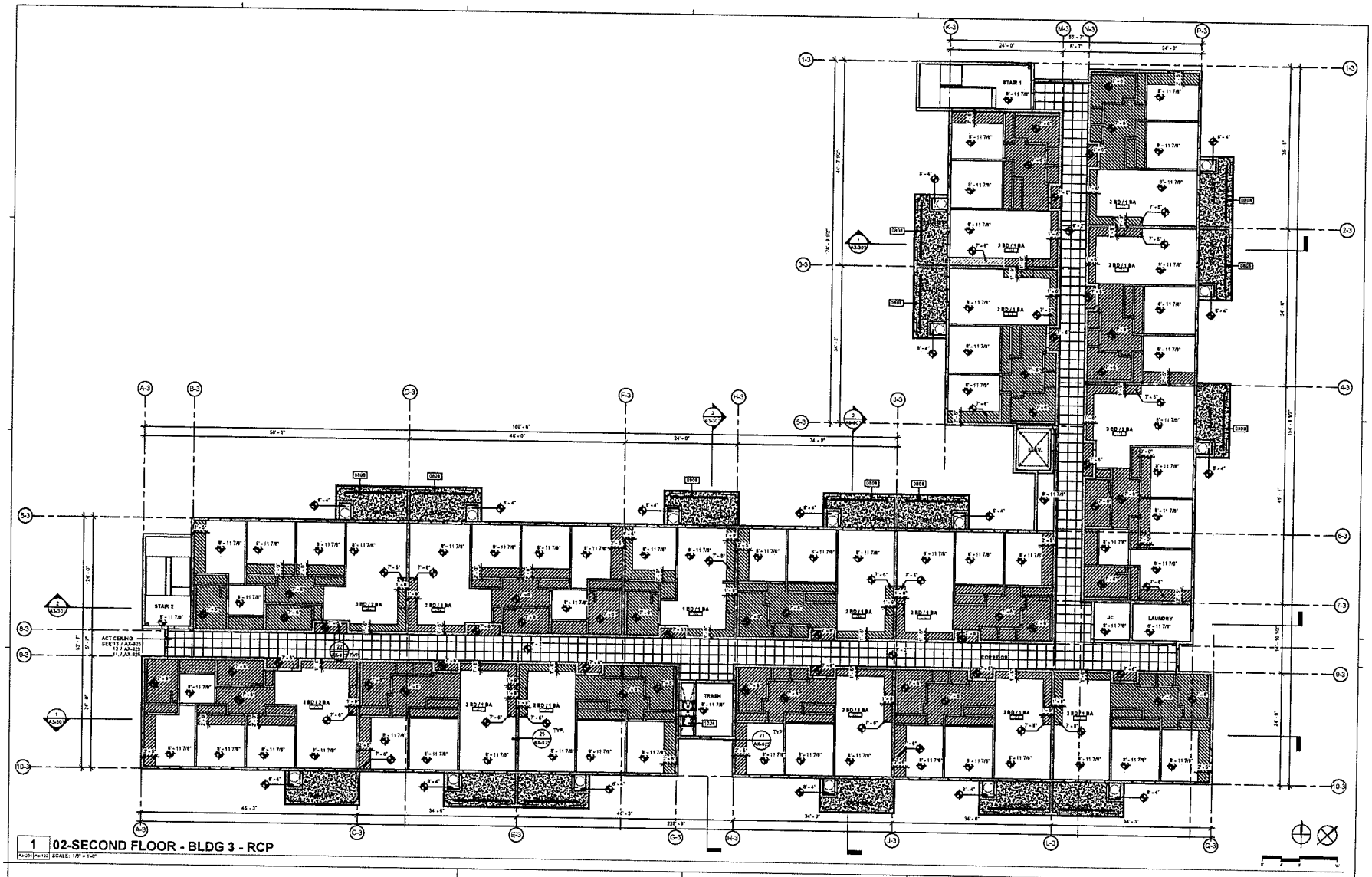

1 02-SECOND FLOOR - BLDG 3 - RCP

A3-201 A3-122 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 3304.12.2.6 ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 2 SQ. IN. PER LINEAR FT
VENT LENGTH REQ. = (BALCONY AREA / 150) / (9 SQ. IN / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	69 SF	0.733334	12	12

KEYNOTES

0808	SOFFIT VENT
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH CEILING PLAN - UNO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING FOR RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- CEILING HEIGHT (VERIFY PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - REFLECTED CEILING PLAN - SECOND LEVEL

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PROJECT NUMBER 1853-05
SHEET A3-122

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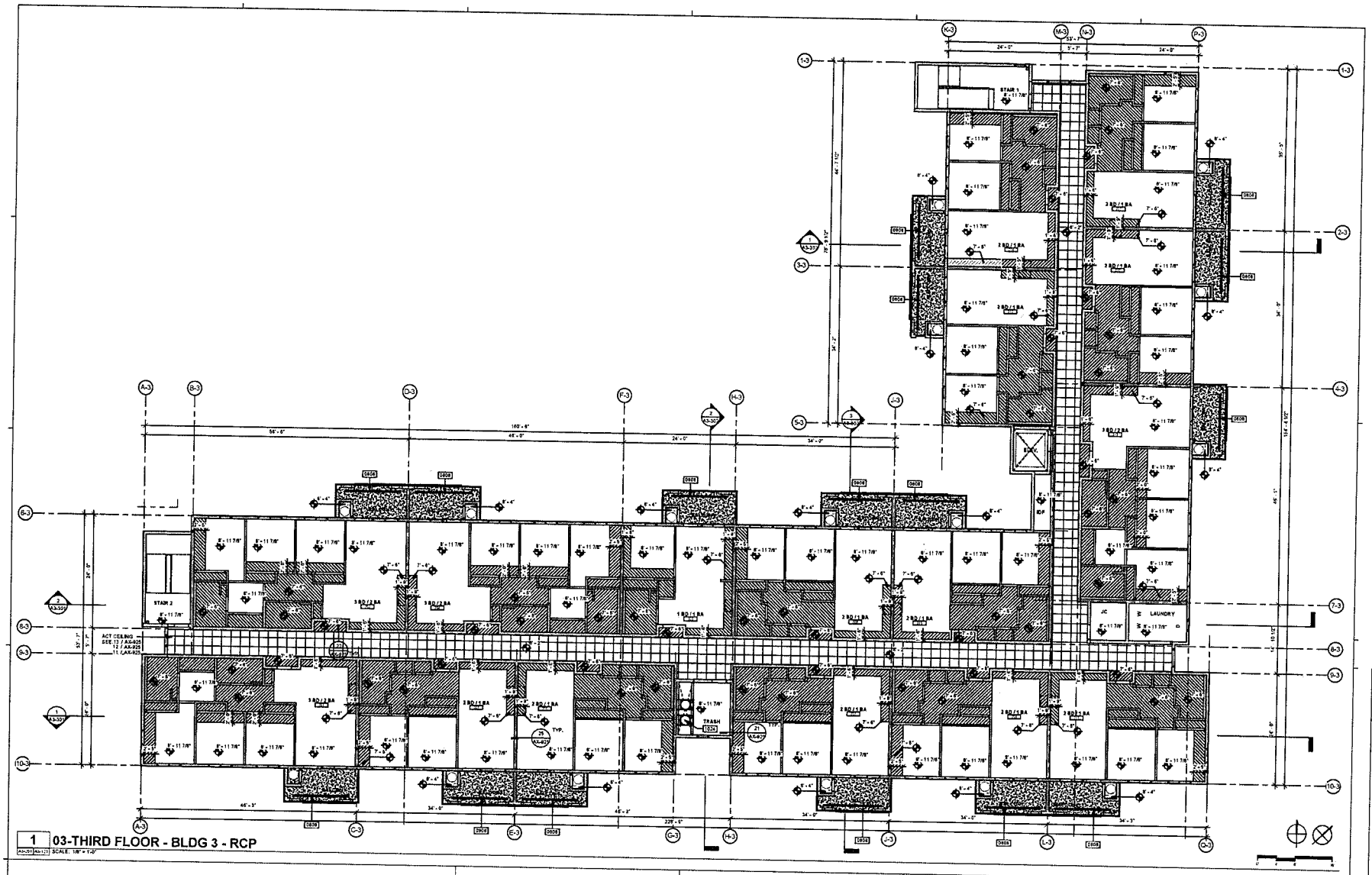

1 03-THIRD FLOOR - BLDG 3 - RCP
AX-101 AX-123 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.6. ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 2 SQ. IN. PER LINEAR FT
VENT LENGTH REQ. = (BALCONY AREA / 150) / (2 SQ. IN / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

LOCATION	BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
SINGLE UNIT BALCONY	164 SF	0.7166666	12	12

KEYNOTES

0808	SOFFIT VENT
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH CEILING PLAN UNO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS, PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS: PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- 8'-6" CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDINGS 3-4

24960 ADAMS AVE, MURRIETA CA 92562

BLDG 3 - REFLECTED CEILING PLAN - THIRD LEVEL

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DATE 11/08/2022
PROJECT NUMBER 1853-05
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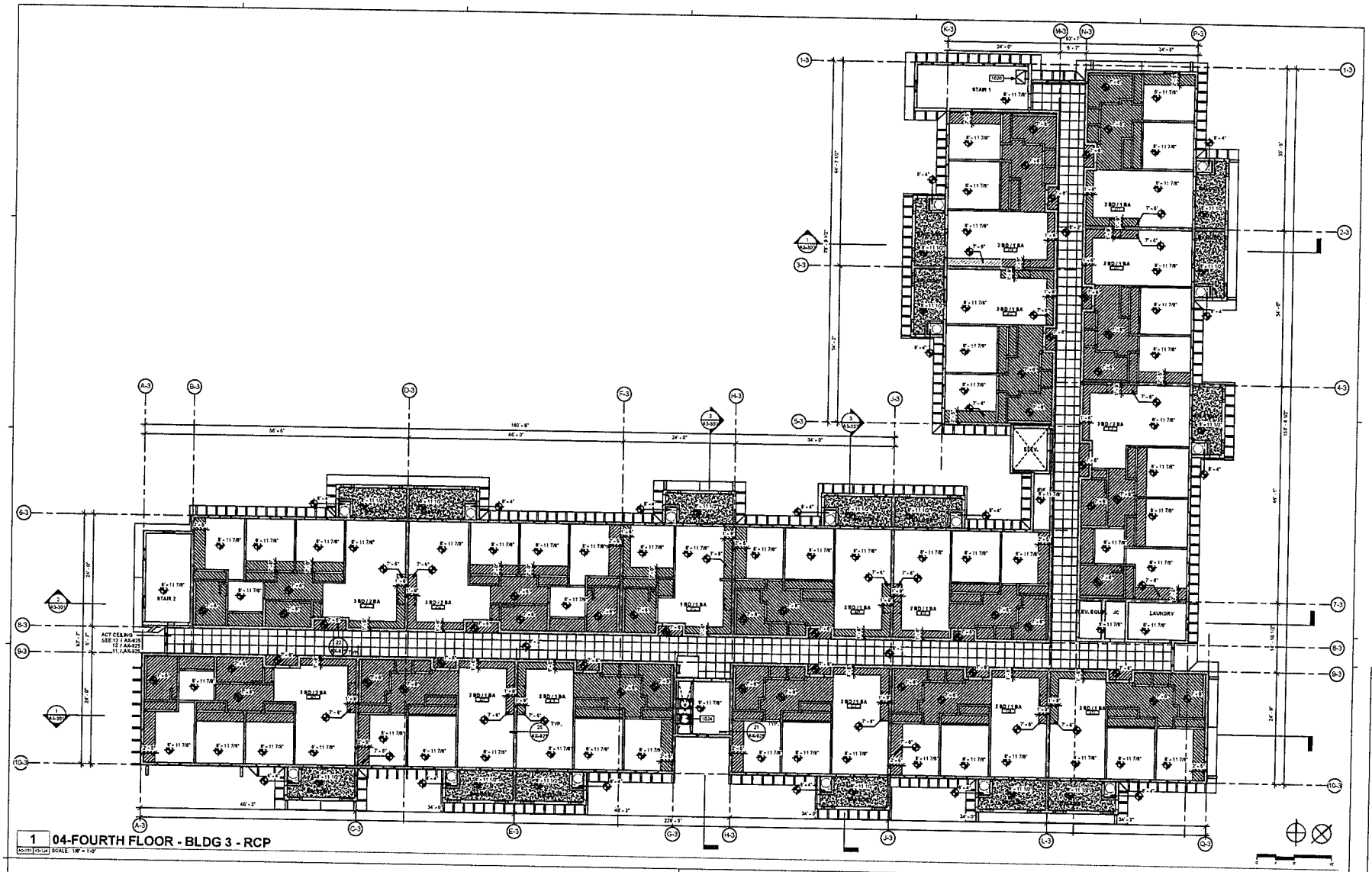

1 04-FOURTH FLOOR - BLDG 3 - RCP
A3.124 A3-124 SCALE: 1/8" = 1'-0"

KEYNOTES

1026	ATTIC ACCESS PANEL
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- 22'-0" CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHT)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - REFLECTED CEILING PLAN - FOURTH LEVEL

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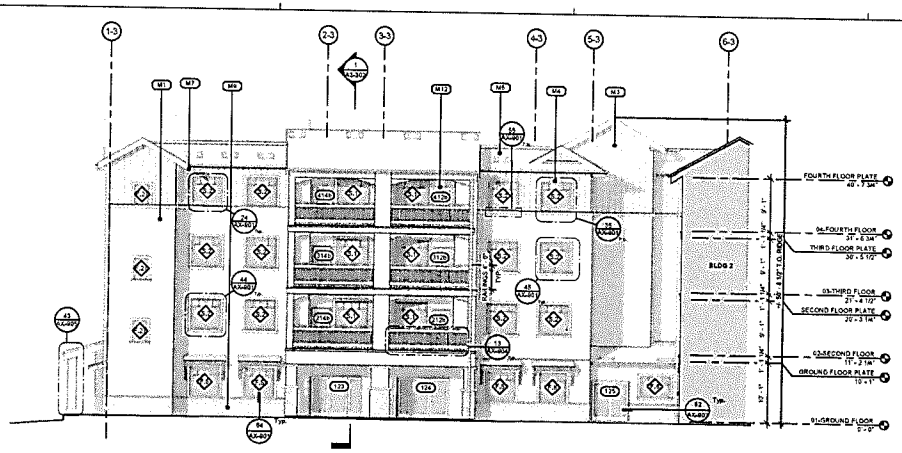
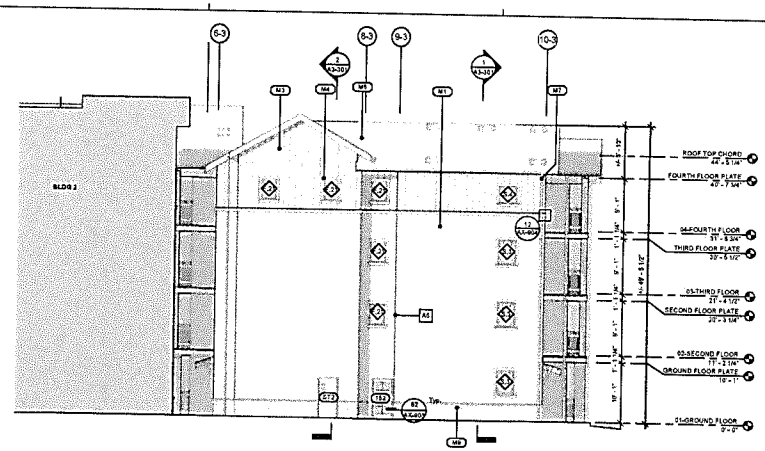


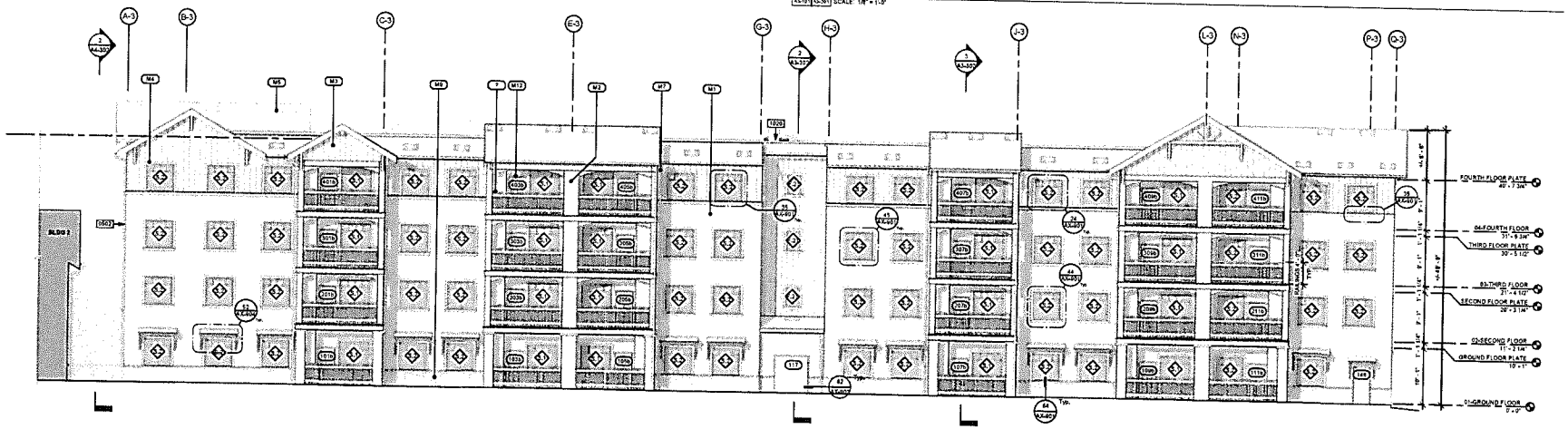
3 WEST COURTYARD ELEVATION - BLDG 3

A3-101 A4-201 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION @ GAP - BLDG 3

A3-101 A3-201 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - BLDG 3

A3-101 A3-201 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATH PAINTED
M2	W/ PLASTER AND LATH PAINTED
M3	BOARD AND BATTEN SIDING PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M6	GUTTER PAINTED
M7	DOWNSPOUT PAINTED
M8	RAFTER TAIL PAINTED
M9	STONE VENEER
M10	METAL GUARDRAIL PAINTED
M12	DOORS

KEYNOTES

D502	METAL DOWNSPOUT
1020	ATTIC ACCESS PANEL

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS. FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS, PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - EXTERIOR ELEVATIONS

NO.	REVISION	DATE
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DATE 11/06/2022
PROJECT NUMBER 1853-05
SHEET A3-201

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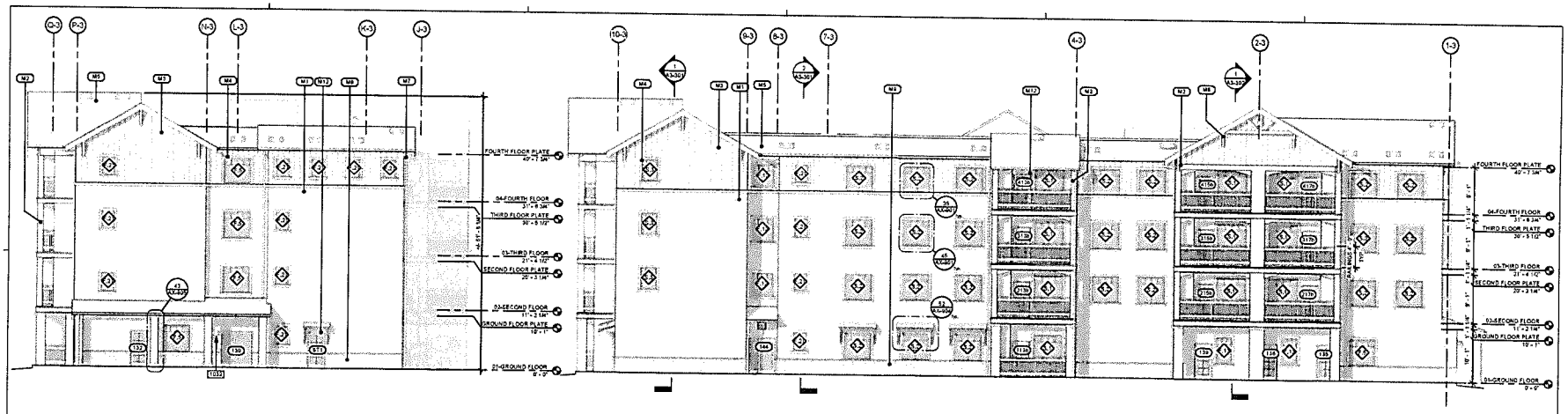
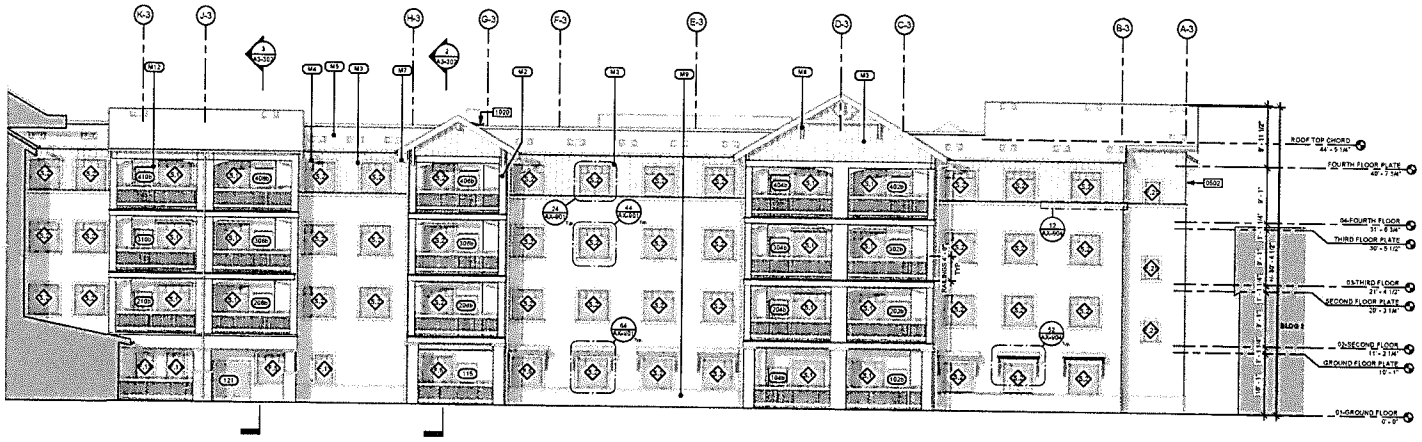


3 NORTH ELEVATION - BLDG 3
A3-101 A3-202 SCALE: 1/8" = 1'-0"

1 EAST ELEVATION - BLDG 3
A3-101 A3-202 SCALE: 1/8" = 1'-0"



2 NORTH COURTYARD ELEVATION - BLDG 3
A3-101 A3-202 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATH, PAINTED
M2	M22 PLASTER AND LATH, PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M6	GUTTER, PAINTED
M7	DOWNSPOUT, PAINTED
M8	RAFTER TAIL, PAINTED
M9	STONE VENEER
M10	METAL GUARDRAIL, PAINTED
M12	DOORS

KEYNOTES

0502	METAL DOWNSPOUT
1020	ATTIC ACCESS PANEL
1032	KNOX BOX, MODEL AND LOCATION TO BE APPROVED BY MFD

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS. FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING.
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - EXTERIOR ELEVATIONS

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-202

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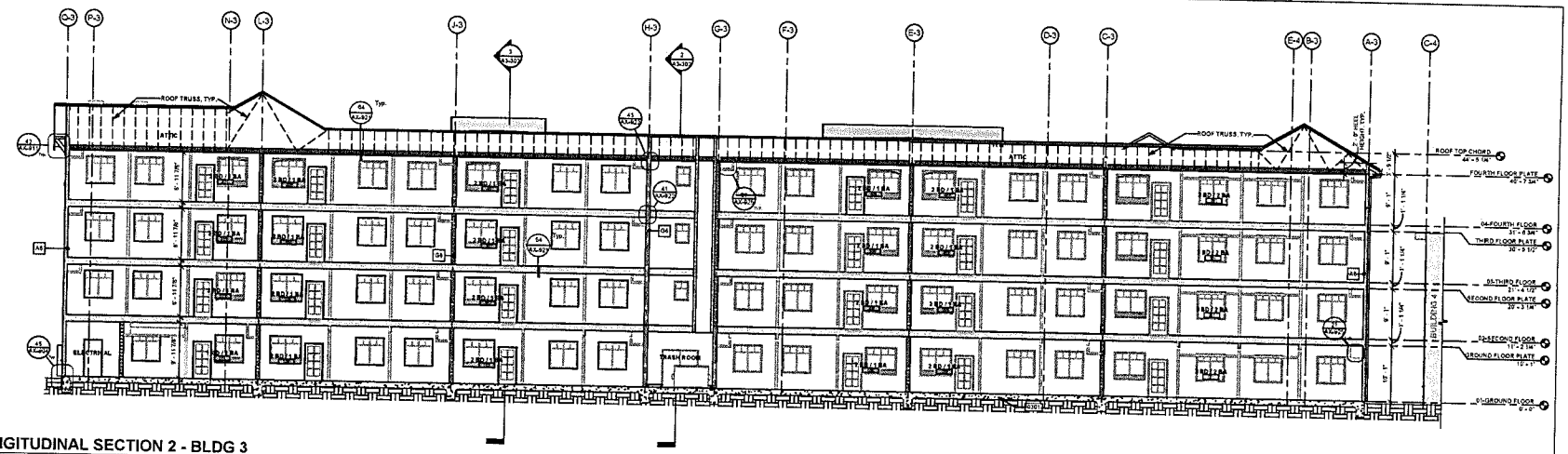
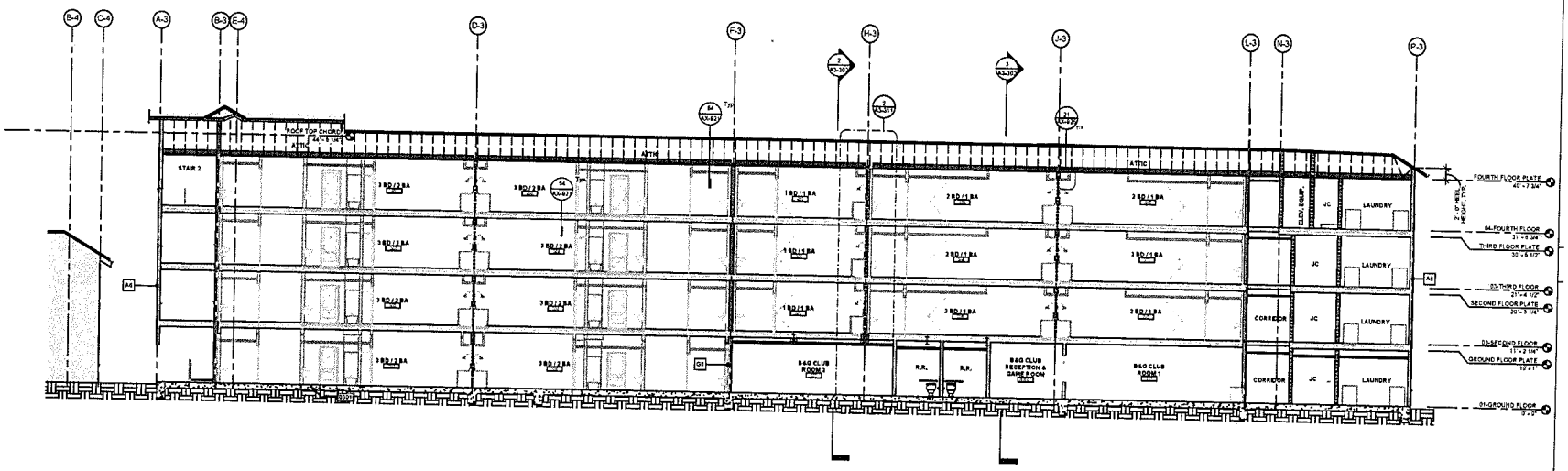


1 LONGITUDINAL SECTION 2 - BLDG 3

A3-101 A3-301 SCALE: 1/8" = 1'-0"



2 LONGITUDINAL SECTION 1 - BLDG 3

A3-101 A3-301 SCALE: 1/8" = 1'-0"

KEYNOTES

0301	CONCRETE SLAB, SEE STRUCTURAL DRAWINGS

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
3. REFER TO FIRE/BLOCKING/DRAFTSTOPING NOTES ON SHEET G-101.
4. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED PER 2018 CBC SECTION 2304.12
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. 2018 CBC SECTION 2304.11.2
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER 2018 CBC SECTIONS 714.3 & 714.4.
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

LEGEND

SEPARATION & SYMBOLS:

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50
(PRTECTION CONTINUOUS TO RATED CEILING ABOVE)

1HR FIRE BARRIER
(CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

2-HR FIRE BARRIER
(CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

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MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - BUILDING SECTIONS

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DATE 11/08/2022
PROJECT NUMBER 1853-05
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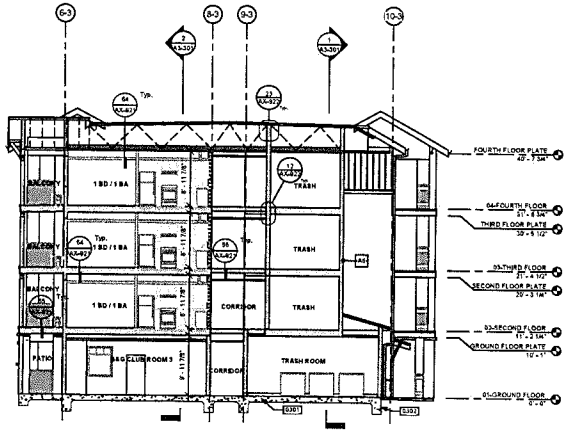
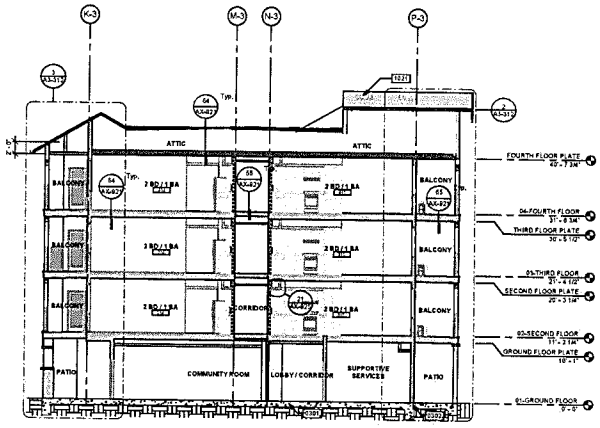


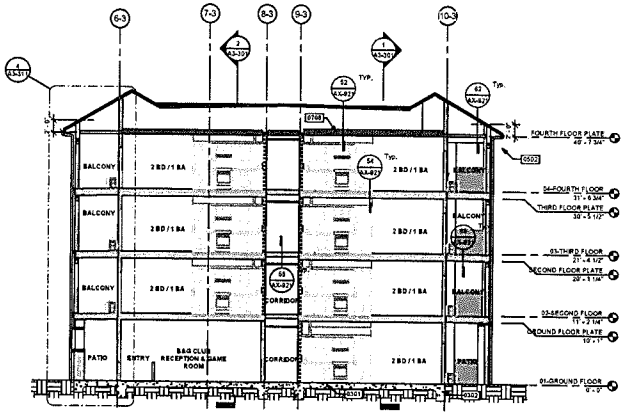
2 TRANSVERSE SECTION 2 - BLDG 3

A3-101 A3-301 SCALE: 1/8" = 1'-0"



1 TRANSVERSE SECTION 1 - BLDG 3

A3-101 A3-301 SCALE: 1/8" = 1'-0"



3 TRANSVERSE SECTION 3 - BLDG 3

A3-101 A3-301 SCALE: 1/8" = 1'-0"

KEYNOTES

0301	CONCRETE SLAB. SEE STRUCTURAL DRAWINGS
0302	CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS
0502	METAL DOWN SPOUT
0704	ROOF / ATTIC INSULATION. R-38 MIN. REFER TO TITLE 24
1021	ATTIC VENT (UPPER), PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
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6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR/CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2019 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

LEGEND

SEPARATION & SYMBOLS:

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTION CONTINUOUS TO RATED CEILING HEIGHT)

1-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION TO FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

2-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

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AGENCY

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BLDG 3 - BUILDING SECTIONS

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PROJECT NUMBER 1853-05

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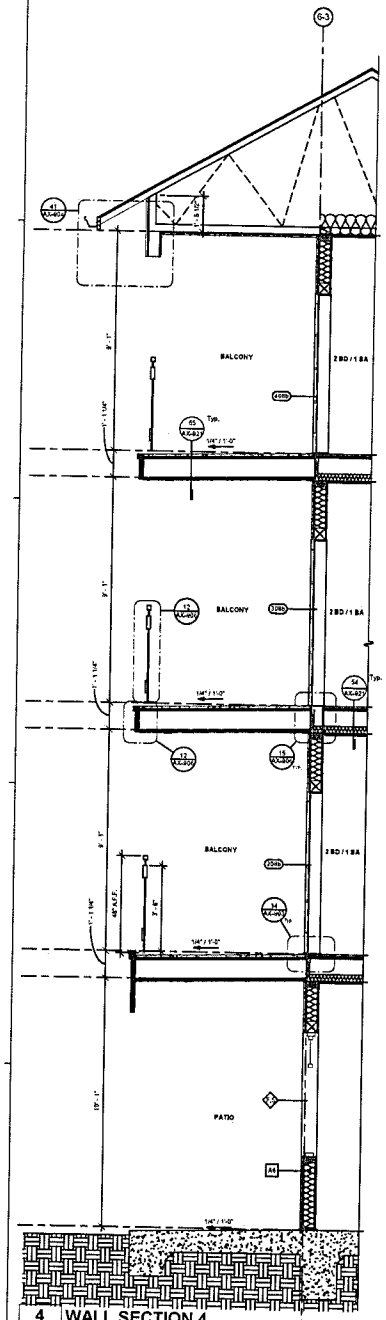
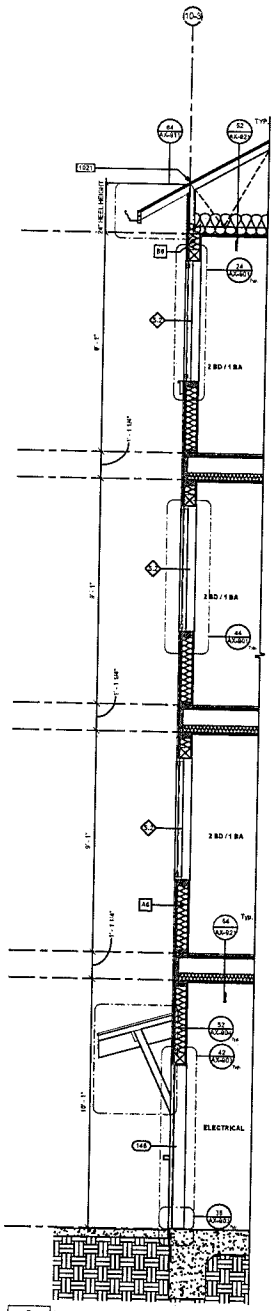


4 WALL SECTION 4
A3-301 A3-311 SCALE: 1/2" = 1'-0"



3 WALL SECTION 3
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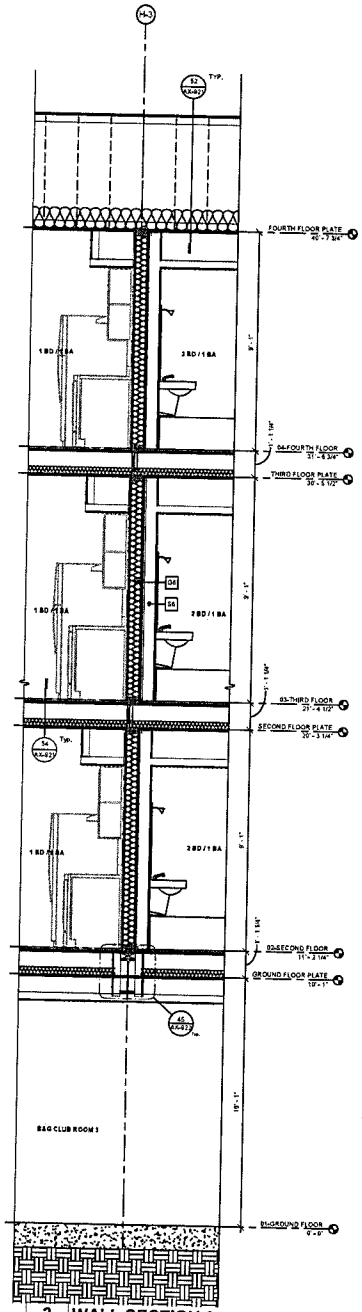
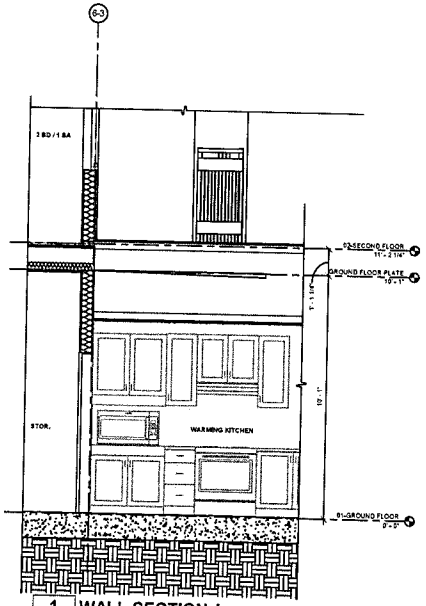
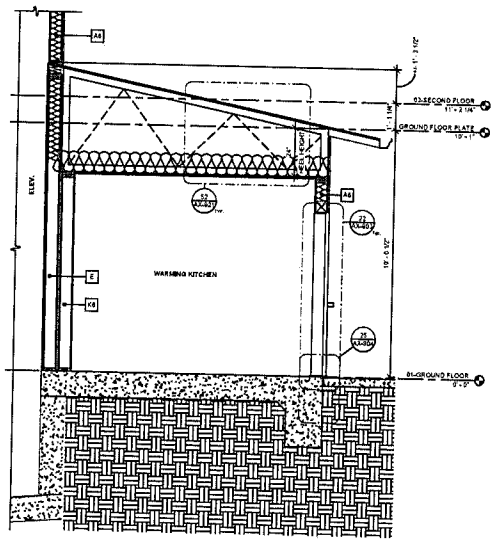


2 WALL SECTION 2
A3-301 A3-311 SCALE: 1/2" = 1'-0"



1 WALL SECTION 1
A3-301 A3-311 SCALE: 1/2" = 1'-0"



5 Section 66
A3-301 A3-311 SCALE: 1/2" = 1'-0"

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS&ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
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7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

KEYNOTES

10-21	ATTIC VENT (UPPER), PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS

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MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - WALL SECTIONS

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-311

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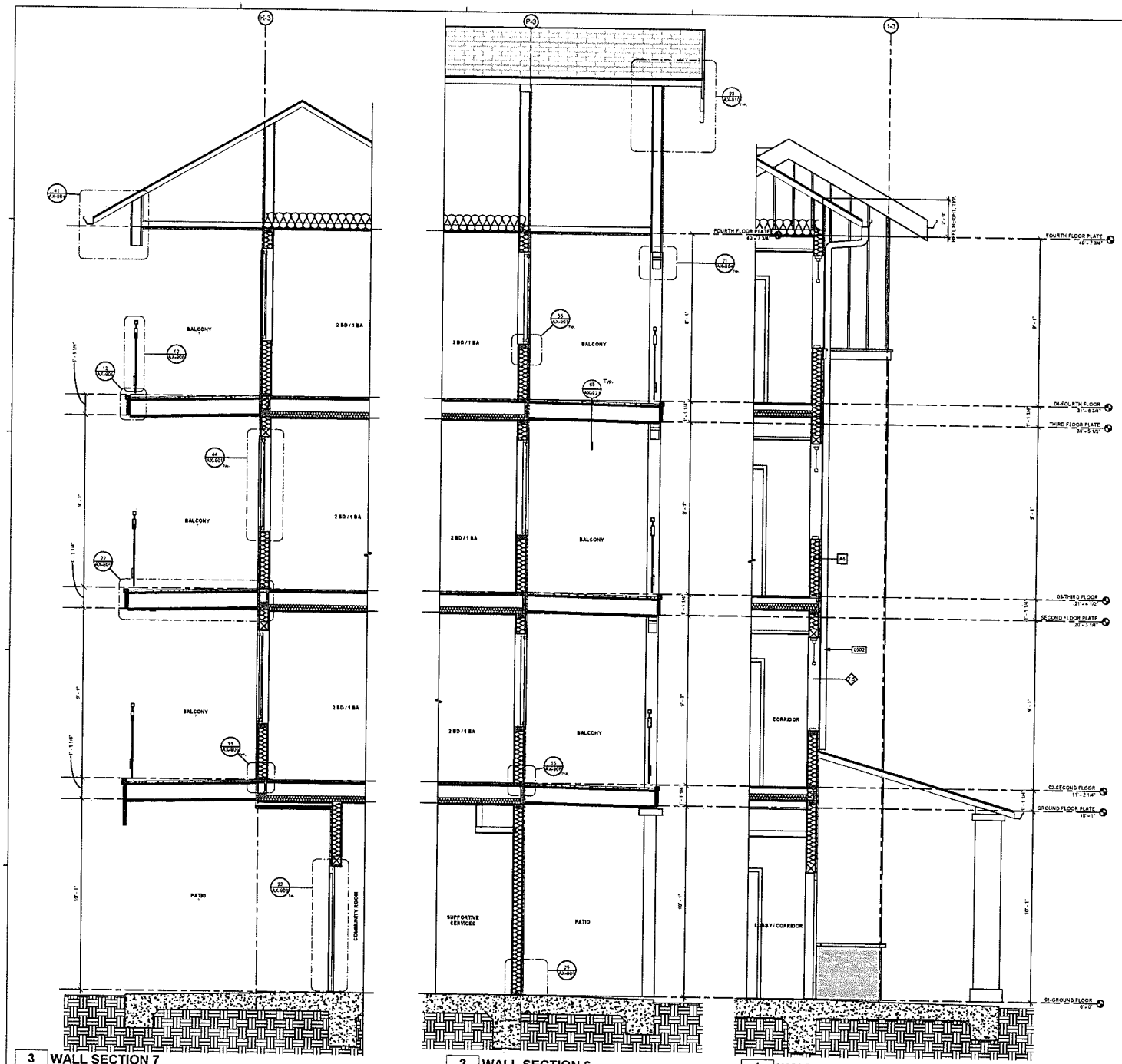

SECTIONS GENERAL NOTES

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6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2019 CBC SECTIONS 714.2 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

KEYNOTES

D502	METAL DOWNSPOUT

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MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - WALL SECTIONS

NO.	REVISION	DATE
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-312

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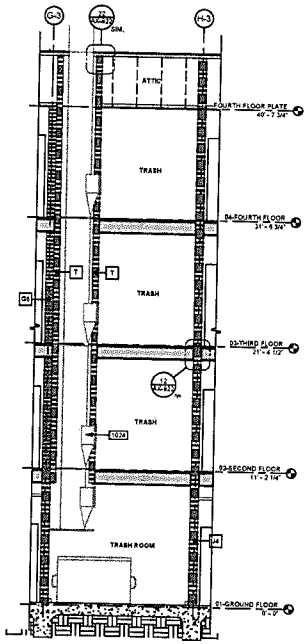
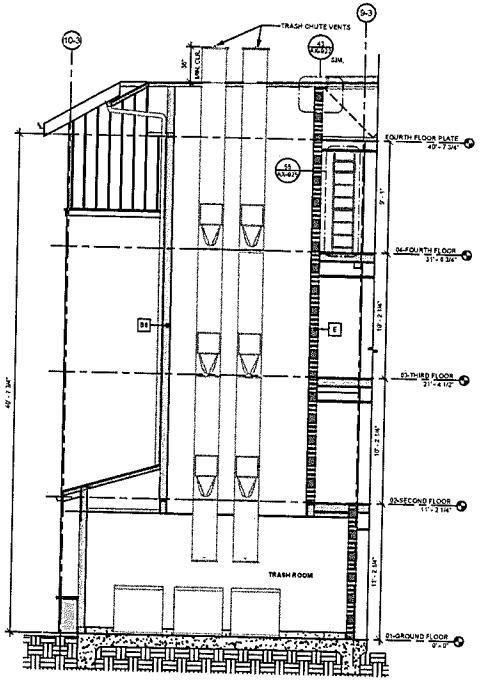


4 TRASH SECTION 2
A3-401 A3-401 SCALE: 1/4" = 1'-0"



3 TRASH CHUTES SECTION - BLDG 3
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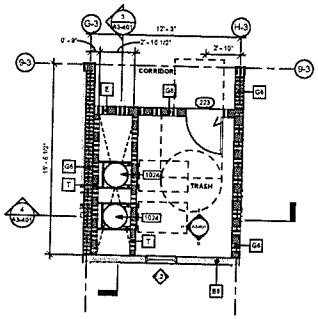
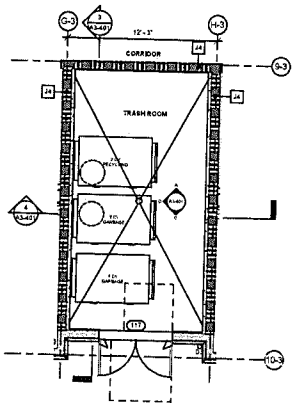
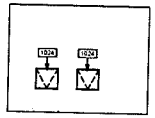


1 TRASH ROOM, TYP.
A3-101 A3-401 SCALE: 1/4" = 1'-0"

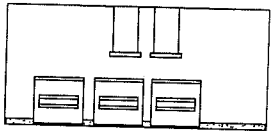


2 TRASH TERMINATION ROOM
A3-101 A3-401 SCALE: 1/4" = 1'-0"

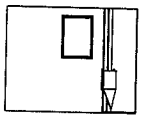
SEPARATION & SYMBOLS:
1HR FIRE PARTITION W/ MIN. STC 50



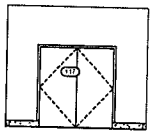
H WEST ELEVATION
SCALE: 1/4" = 1'-0"



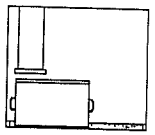
D WEST ELEVATION
SCALE: 1/4" = 1'-0"



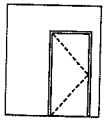
G SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



C SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



A NORTH ELEVATION
SCALE: 1/4" = 1'-0"



E NORTH ELEVATION
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2018 CBC 11B-806.2.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W/ BOTTOM EDGE 40" MAX. ABOVE FF (36" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2018 CBC 11B-104
8.

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-401/A3
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-446/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-446/445

KEYNOTES

1024	TRASH CHUTE

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2018 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2018 CBC SEC. 804.5
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2018 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-521 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2018 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRERATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

LEGEND

INK FIRE BARRIER
(FOR PURPOSES OF DETECTION FROM FOUNDATION OR FLOOR TO CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

DASH FIRE BARRIER
(FOR PURPOSES OF DETECTION FROM FOUNDATION OR FLOOR TO CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

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nationalcore.org

CONSULTANT

AGENCY

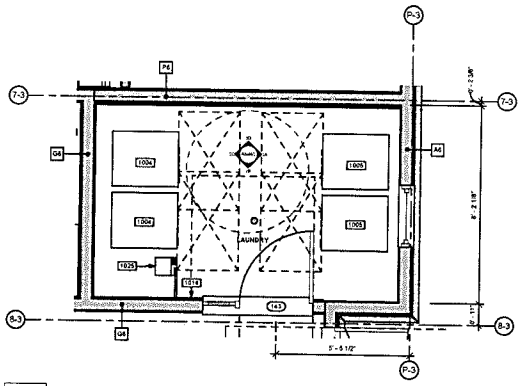
MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - ENLARGED PLAN & INT. ELEV.

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

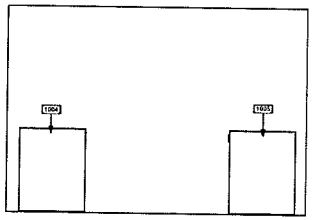
PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-401

11/8/2022 1:28:29 PM
BIM 360://Murrieta/Murrieta_BLDG 3.rvt

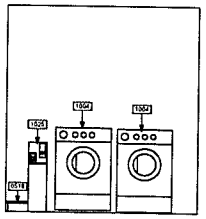
ENLARGED PLAN AND ELEVATIONS LAUNDRY ROOM



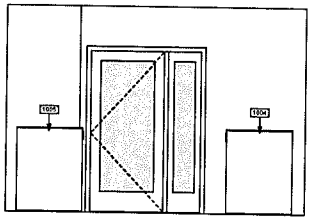
2 ENLARGED LAUNDRY ROOM FLOOR PLAN - BLDG 3
A3-101 | A3-402 SCALE: 1/2" = 1'-0"



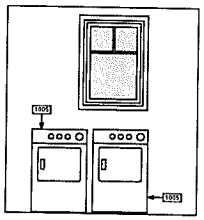
2D NORTH ELEVATION L - BLDG 3
SCALE: 1/2" = 1'-0"



2C WEST ELEVATION L - BLDG 3
SCALE: 1/2" = 1'-0"

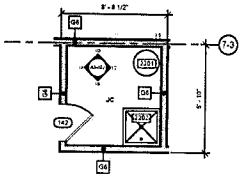


2B SOUTH ELEVATION L - BLDG 3
SCALE: 1/2" = 1'-0"

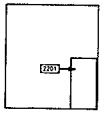


2A EAST ELEVATION L - BLDG 3
SCALE: 1/2" = 1'-0"

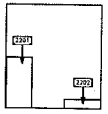
JANITOR CLOSET PLAN AND ELEVATIONS - L4



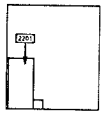
1 JANITOR CLOSET FLOOR PLAN
A3-101 | A3-402 SCALE: 1/4" = 1'-0"



1D NORTH ELEVATION
SCALE: 1/4" = 1'-0"

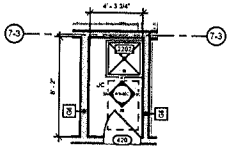


1C EAST ELEVATION
SCALE: 1/4" = 1'-0"

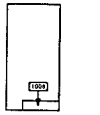


1B SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

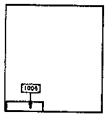
1A WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 JANITOR CLOSET PLAN
A3-101 | A3-402 SCALE: 1/4" = 1'-0"



3D NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3C EAST ELEVATION
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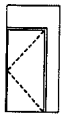
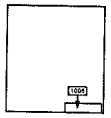


3B SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3A WEST ELEVATION
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
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2.

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W/ BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX. ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104
8.

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-401/402
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-444/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-444/445

KEYNOTES

0518	CANE GUARD
1004	WASHING MACHINE
1005	DRYER
1006	REFRIGERATOR
1018	BRAILLE SIGNAGE FOR LAUNDRY EQUIPMENT (PAY STATIONS, WASHERS AND DRYERS). REFER TO SHEET A3-445 DETAIL #5
1025	PAYMENT KIOSK
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2202	MOP BASIN WITH MOP SINK FAUCET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.1.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-601 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
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9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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nationalcore.org

CONSULTANT

AGENCY

INITIAL B&S SUBMITTAL

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - ENLARGED PLAN & INT. ELEV.

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/06/2022
PROJECT NUMBER 1853-05
SHEET A3-402

11/9/2022 1:27:12 PM
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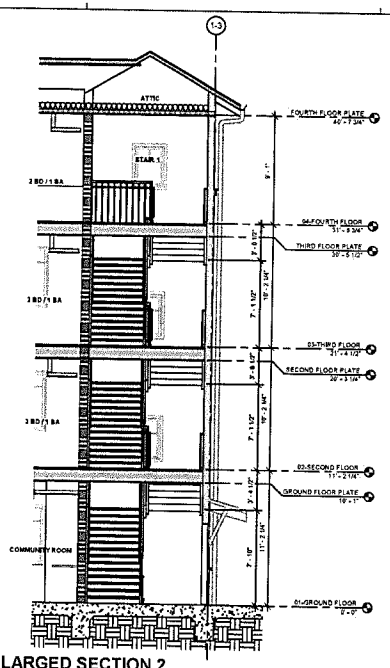
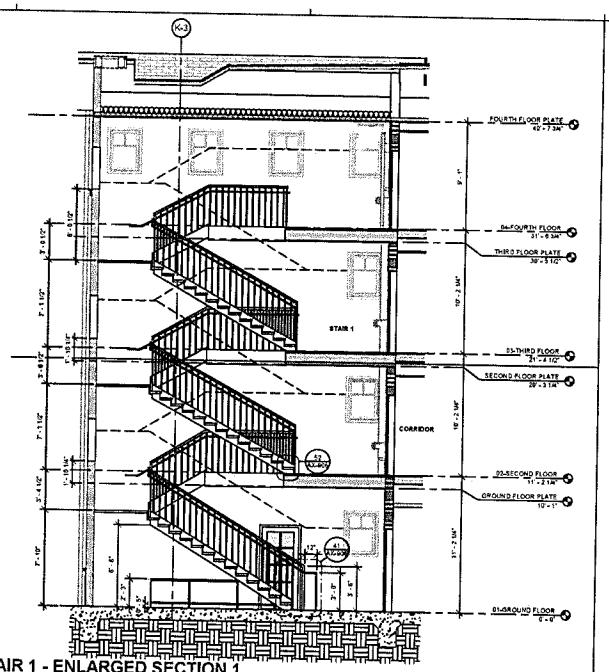


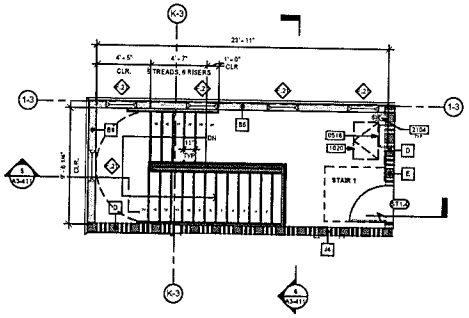
6 BLDG 3 STAIR 1 - ENLARGED SECTION 2

A3-411 | A3-411 | SCALE: 1/4" = 1'-0"



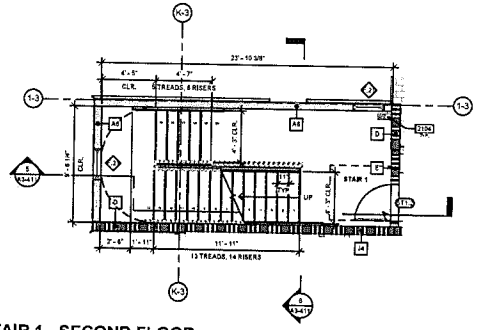
5 BLDG 3 STAIR 1 - ENLARGED SECTION 1

A3-411 | A3-411 | SCALE: 1/4" = 1'-0"



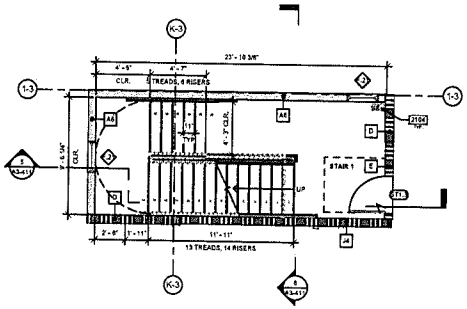
4 BLDG 3 STAIR 1 - FOURTH FLOOR

A3-104 | A3-411 | SCALE: 1/4" = 1'-0"



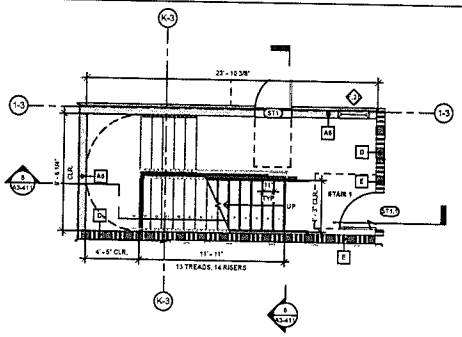
2 BLDG 3 STAIR 1 - SECOND FLOOR

A3-101 | A3-411 | SCALE: 1/4" = 1'-0"



3 BLDG 3 STAIR 1 - THIRD FLOOR

A3-101 | A3-411 | SCALE: 1/4" = 1'-0"



1 BLDG 3 STAIR 1 - GROUND FLOOR

A3-101 | A3-411 | SCALE: 1/4" = 1'-0"

KEYNOTES

0516	FIRE STEEL LADDER
1020	ATTIC ACCESS PANEL
2104	STAND PIPE

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BLDG 3 - ENLARGED PLANS & SECTIONS STAIR 1

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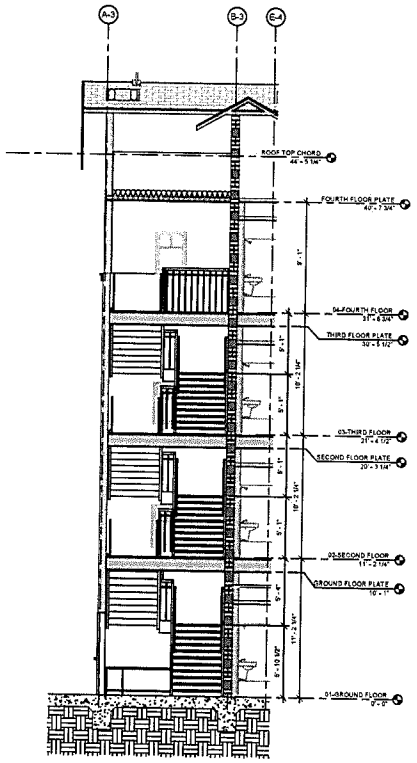
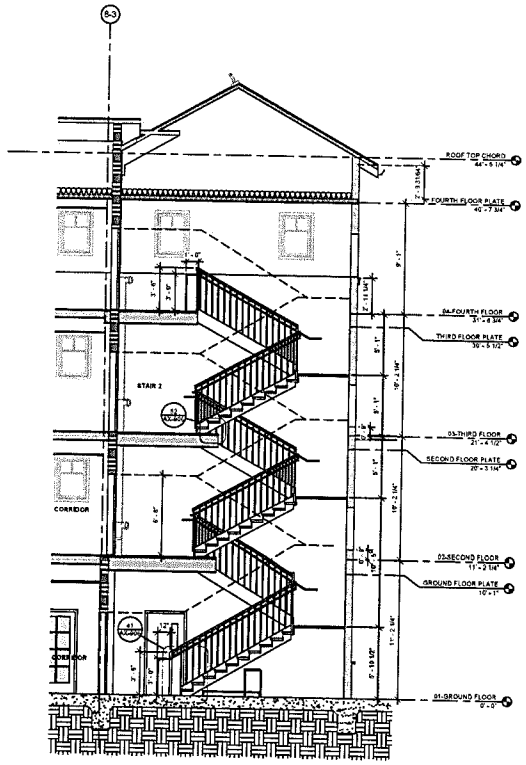


6 BLDG 3 STAIR 2 - ENLARGED SECTION 2

A3-412 | A3-412 | SCALE: 1/4" = 1'-0"



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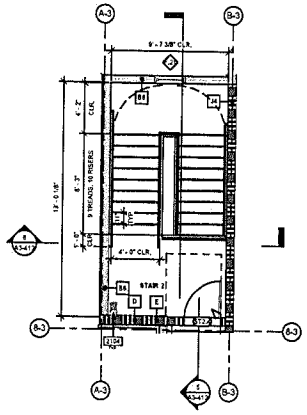
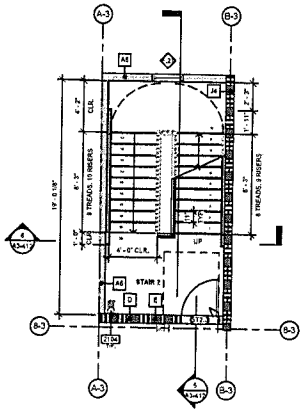
A3-412 | A3-412 | SCALE: 1/4" = 1'-0"



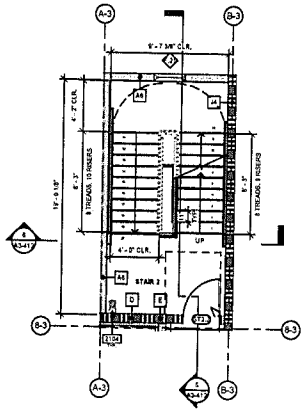
4 BLDG 3 STAIR 2 - FOURTH FLOOR

A3-154 | A3-412 | SCALE: 1/4" = 1'-0"



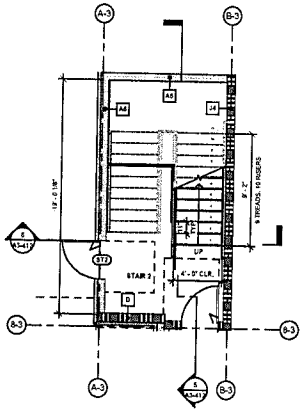
3 BLDG 3 STAIR 2 - THIRD FLOOR

A3-103 | A3-412 | SCALE: 1/4" = 1'-0"



2 BLDG 3 STAIR 2 - SECOND FLOOR

A3-103 | A3-412 | SCALE: 1/4" = 1'-0"



1 BLDG 3 STAIR 2 - GROUND FLOOR

A3-151 | A3-412 | SCALE: 1/4" = 1'-0"

KEYNOTES

21G4	STAND PIPE

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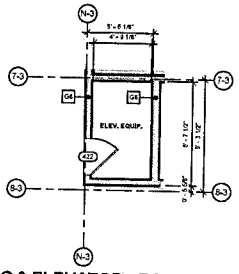
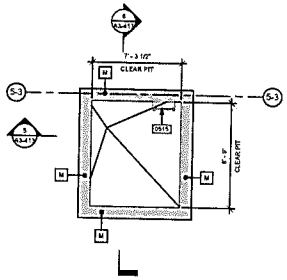
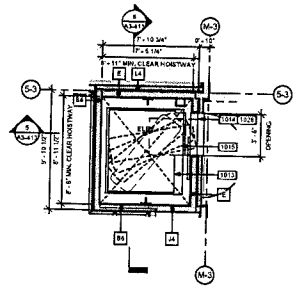


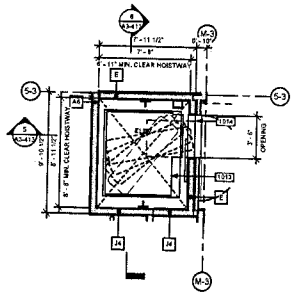
7 BLDG 3 ELEVATOR - EQUIP. ROOM
A3-414 A3-413 SCALE: 1/4" = 1'-0"



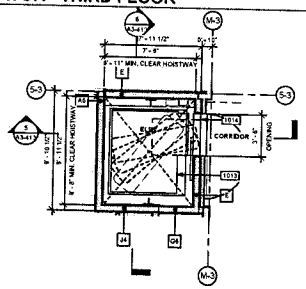
8 BLDG 3 ELEVATOR - PIT PLAN
A3-413 A3-413 SCALE: 1/4" = 1'-0"



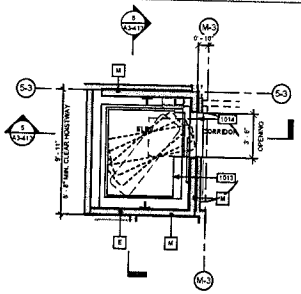
4 BLDG 3 ELEVATOR - FOURTH FLOOR
A3-413 A3-413 SCALE: 1/4" = 1'-0"



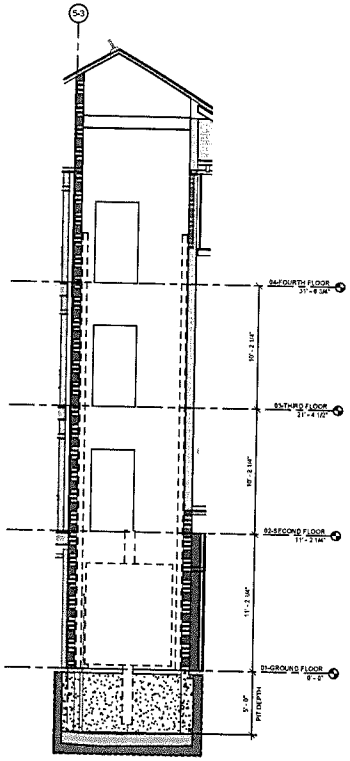
3 BLDG 3 ELEVATOR - THIRD FLOOR
A3-413 A3-413 SCALE: 1/4" = 1'-0"



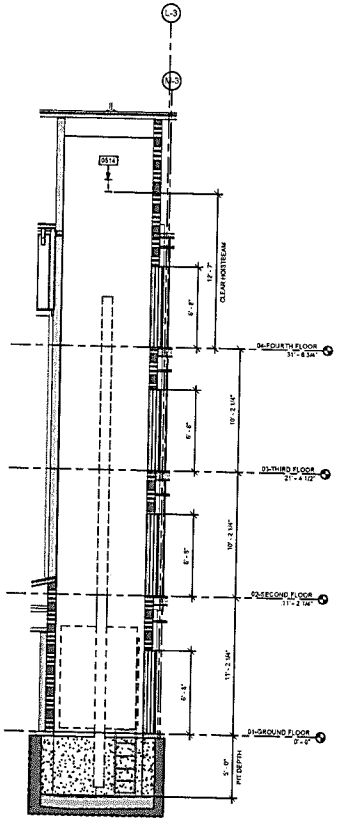
2 BLDG 3 ELEVATOR - SECOND FLOOR
A3-413 A3-413 SCALE: 1/4" = 1'-0"



1 BLDG 3 ELEVATOR - GROUND FLOOR
A3-101 A3-413 SCALE: 1/4" = 1'-0"



6 BLDG 3 ELEVATOR - ENLARGED SECTION 2
A3-413 A3-413 SCALE: 1/4" = 1'-0"



5 BLDG 3 ELEVATOR - ENLARGED SECTION 1
A3-413 A3-413 SCALE: 1/4" = 1'-0"

ELEVATOR GENERAL NOTES

1. PER 2019 CBC 11B-233.3.1.2.3, ALL RESIDENTIAL UNITS ON FLOORS SERVED BY AN ELEVATOR SHALL BE ADAPTABLE AND COMPLY WITH CHAPTER 11A DIVISION IV (DWELLING UNIT FEATURES) AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.
2. REFER TO A5.443 FOR ELEVATOR CONTROLS & SIGNAGE.
3. REFER TO MANUFACTURERS DWGS FOR CAB, HOISTWAY AND DOOR DETAILED INFORMATION.

KEYNOTES

0514	SAFETY BEAM PER STRUCTURAL
0515	ELEVATOR PIT LADDER
1013	2400LB CAPACITY TRACTION PASSENGER ELEVATOR INSTALL ELEVATOR CAB AND HOISTWAY PER MANUFACTURER'S SPECS
1014	ELEVATOR DOOR PER MANUFACTURER'S SPECS
1016	SURVEY ON STRETCHER, MAX. 2'3"
1028	SMOKE AND DRAFT CONTROL DOOR ON MAGNETIC HOLD OPEN

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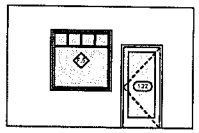
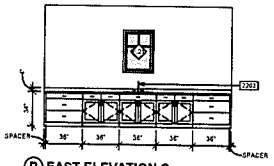
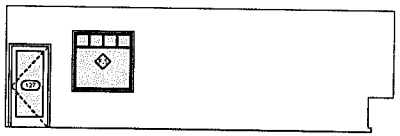


D WEST ELEVATION C
SCALE: 1/4" = 1'-0"

C SOUTH ELEVATION C
SCALE: 1/4" = 1'-0"

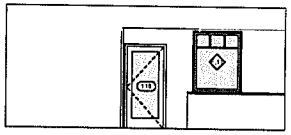


B EAST ELEVATION C
SCALE: 1/4" = 1'-0"

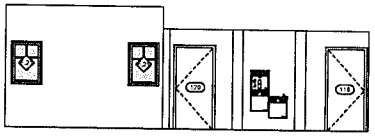


A NORTH ELEVATION C
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS B&GCLUB ROOM 1



H WEST ELEVATION B
SCALE: 1/4" = 1'-0"



G SOUTH ELEVATION B
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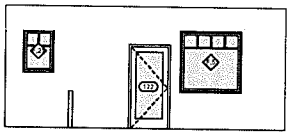

F EAST ELEVATION B
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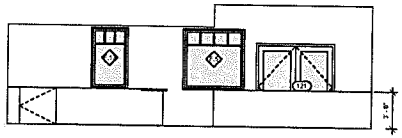
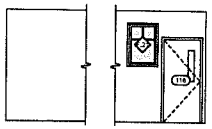


E NORTH ELEVATION B
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS B&GCLUB RECEPTION AND GAME ROOM



L SOUTH ELEVATION A
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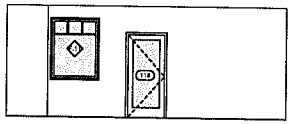

K EAST ELEVATION A
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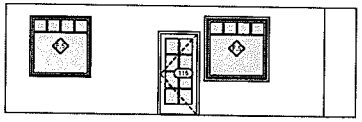
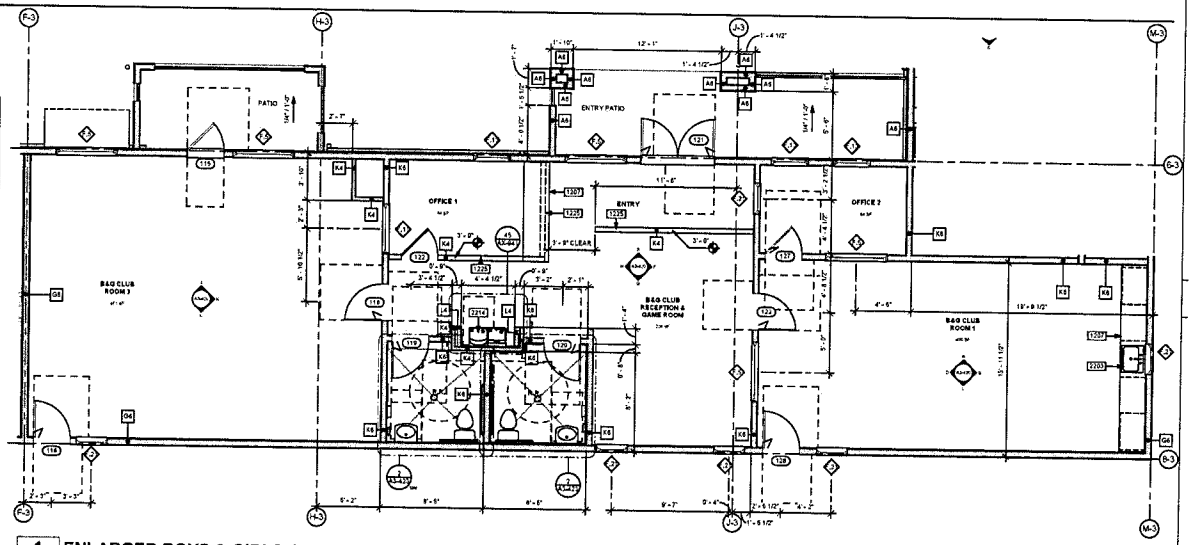


J NORTH ELEVATION A
SCALE: 1/4" = 1'-0"

INTERIOR ELEVATIONS B&GCLUB ROOM 3



1 ENLARGED BOYS & GIRLS CLUB FLOOR PLAN
A3-310 A3-410 SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 118-306.2.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 118-305
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 118-104

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-411/412
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-444/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-444/445

KEYNOTES

1307	SOLID SURFACE COUNTERTOP
1225	PARTIAL HEIGHT WALL
2203	SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2214	DRINKING FOUNTAIN W/ BOTTLE FILLER

PLUMBING FIXTURE COUNTS

BOYS & GIRLS CLUB

ROOM	AREA	FACTOR	OCCUPANT LOAD
B&G CLUB ROOM 1	483 S.F	30	17
B&G CLUB RECEPTION & GAME ROOM	224 S.F	30	8
B&G CLUB ROOM 3	651 S.F	30	22
OFFICE 1	94 S.F	150	1
OFFICE 2	94 S.F	150	1
TOTAL OCCUPANT LOAD: 49			

PLUMBING FIXTURES PER CHAPTER 4 CPC, 7422.1:
A-3 OCCUPANCY WITH OCCUPANT LOAD OF 49
(CALCULATED AT 50% MALE AND 50% FEMALE)

TYPE:	REQUIRED:	PROVIDED:
MALE:		
WATER CLOSET:	1	1
LAVATORY:	1	1
FEMALE:		
WATER CLOSET:	1	1
LAVATORY:	1	1
DRINKING FOUNTAIN:	1	1

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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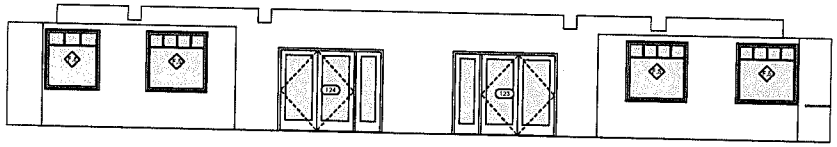
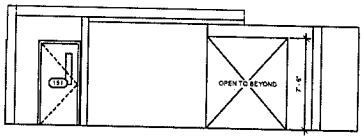


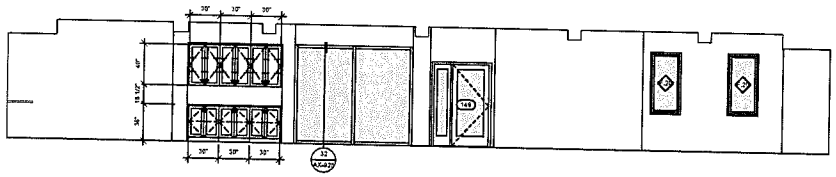
D WEST ELEVATION F

A3-421 A3-421 SCALE: 1/4" = 1'-0"



C SOUTH ELEVATION F

A3-421 A3-421 SCALE: 1/4" = 1'-0"



B EAST ELEVATION F

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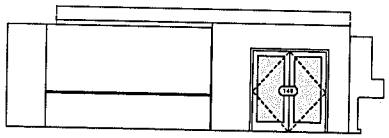
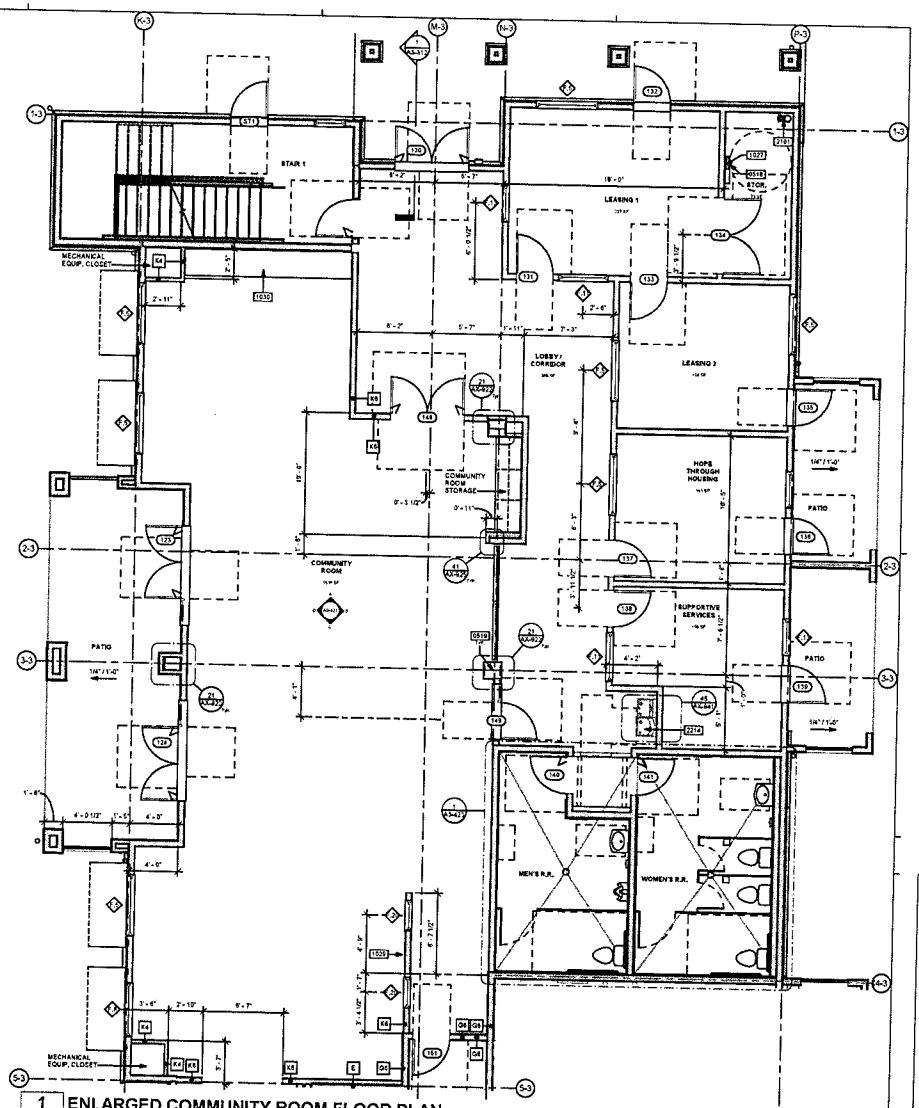


A NORTH ELEVATION F

A3-421 A3-421 SCALE: 1/4" = 1'-0"



1 ENLARGED COMMUNITY ROOM FLOOR PLAN

A3-421 A3-421 SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2016 CBC 11B-809.2.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2016 CBC 11B-104

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A2-401/402
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A2-446/446
FOR ACCESSIBLE REACH RANGES SEE SHEET A2-446/446

ACCESSIBLE SHELF CALCS

Shelf	Accessible	Shelf Depth	Width (Usable)	Accessible Shelf Area (SF)	Non accessible
A	1	24"	24 1/2"	4.75	0.00
B	0	12"	37 1/2"	0.00	3.13
C	0	12"	37 1/2"	0.00	3.13
D	1	12"	37 1/2"	3.13	0.00
E	0	12"	26 1/2"	0.00	2.21
F	0	12"	26 1/2"	0.00	2.21
G	1	12"	26 1/2"	2.21	0.00
H	1	24"	26 1/2"	4.75	0.00
				14.83	10.67

KEYNOTES

0518	CANE GUARD
0519	WIDE FLANGE COLUMN. SEE STRUCTURAL DRAWINGS
1027	HANDYTRACK KEY CONTROL SYSTEM
1029	WALL MOUNTED WIDE SCREEN TV WITH CAMERA, MICROPHONE AND SPEAKERS
1030	COMPUTER STATION
2101	FIRE SPRINKLER RISER
2214	DRINKING FOUNTAIN W/ BOTTLE FILLER

PLUMBING FIXTURE COUNTS

COMMUNITY SPACE

ROOM	AREA	FACTOR	OCCUPANT LOAD
COMMUNITY ROOM	1,638 SF	30	55
LOBBY/ CORRIDOR	588 SF	30	20
WARMING KITCHEN	260 SF	30	8
OFFICE AREA	715 SF	150	5
TOTAL OCCUPANT LOAD: 86			

PLUMBING FIXTURES PER CHAPTER 4 CPC, TAB 4:
8 OCCUPANCY WITH OCCUPANT LOAD OF 86
(CALCULATED AT 50% MALE AND 50% FEMALE)

TYPE:	REQUIRED:	PROVIDED:
MALE:		
WATER CLOSET:	1	1
URINAL:	1	1
LAVATORY:	1	1
FEMALE:		
WATER CLOSET:	3	3
LAVATORY:	1	1
DRINKING FOUNTAIN:	1	1
SERVICE SINK:	1	1

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO MEP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2016 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-421 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2016 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - ENLARGED COMMUNITY ROOM

NO.	REVISION	DATE

PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET A3-421

INITIAL B&S SUBMITTAL

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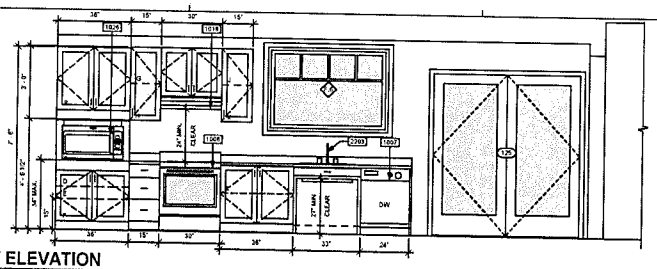
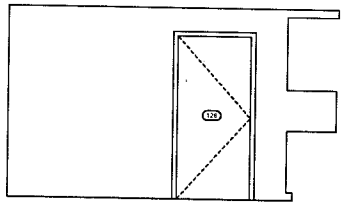


D WEST ELEVATION

A3-422 A3-423 SCALE: 1/2" = 1'-0"



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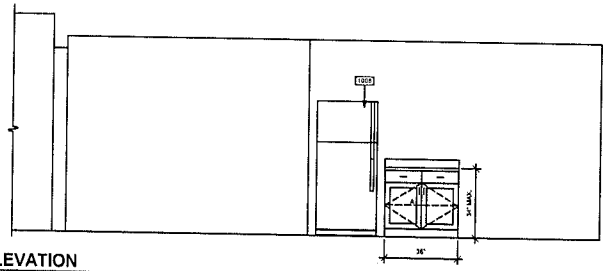

B EAST ELEVATION

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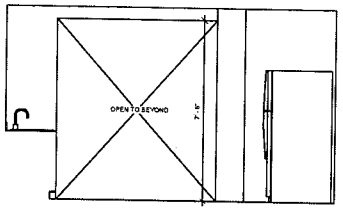

A NORTH ELEVATION

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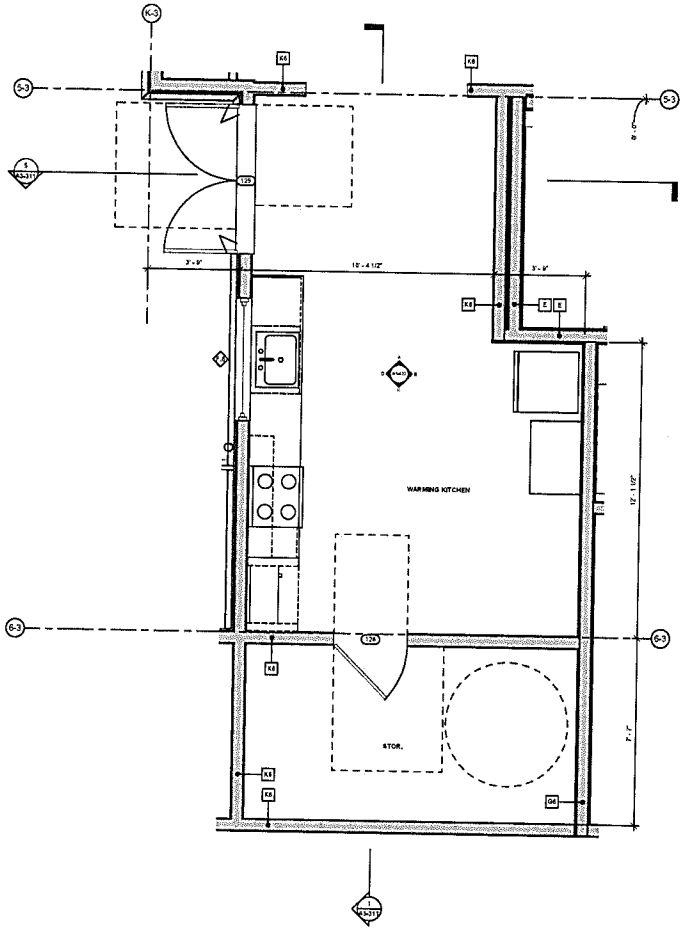

1 ENLARGED WARMING KITCHEN PLAN

A3-422 A3-423 SCALE: 1/2" = 1'-0"

ACCESSIBLE SHELF CALCS

Shelf	Accessible	Shelf Depth	Width (Visible)	Accessible Shelf Area (SF)	Non accessible
A	1	25"	34 1/2"	5.99	0.00
B	0	25"	34 1/2"	0.00	5.99
C	1	25"	28"	4.86	0.00
D	1	25"	33"	5.73	0.00
E	1	12"	33"	2.75	0.00
F	0	12"	34 1/2"	0.00	2.88
G	0	12"	13 1/2"	0.00	1.13
H	0	12"	13 1/2"	0.00	1.13
I	0	12"	13 1/2"	0.00	1.13
K	0	12"	13 1/2"	0.00	1.13
L	1	25"	34 1/2"	5.99	0.00
				25.32	13.38

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W/ BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104
8.

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-410/411
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-444/445
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-444/445

KEYNOTES

1004	REFRIGERATOR
1007	DISHWASHER
1008	30 INCH ELECTRIC RANGE (VERIFY DIMENSIONS W/MANUFACTURER'S SPECIFICATIONS)
1018	RANGE HOOD (VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS)
1026	MICROWAVE
2263	SINK, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 804.1.*
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-321 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANGRARS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS.
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS.
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - ENLARGED WARMING KITCHEN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-422

INITIAL B&S SUBMITTAL

11/8/2022 1:33:20 PM
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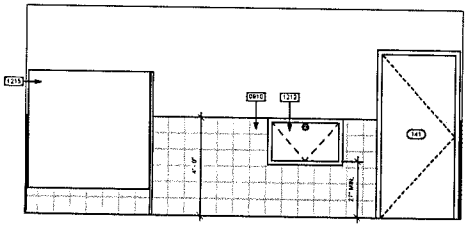
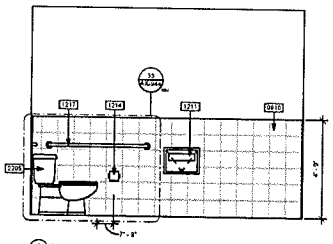


D WOMEN'S RR WEST ELEVATION
SCALE 1/2" = 1'-0"



C WOMEN'S RR SOUTH ELEVATION
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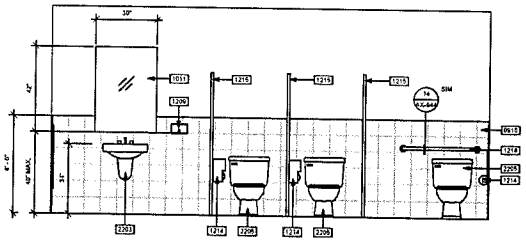

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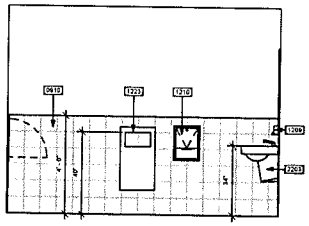

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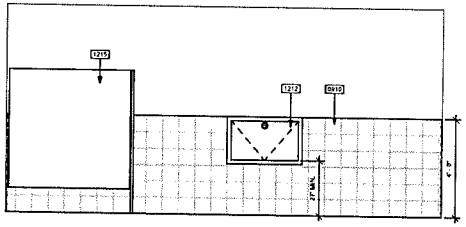

H MEN'S RR WEST ELEVATION
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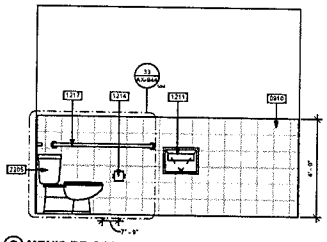

G MEN'S RR SOUTH ELEVATION
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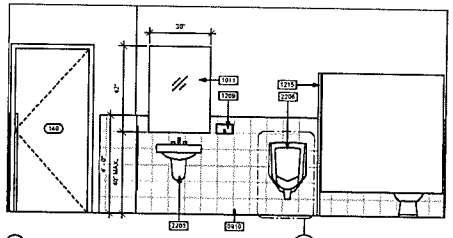

F MEN'S RR EAST ELEVATION
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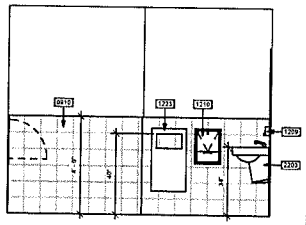

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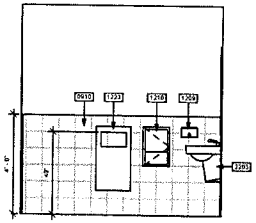

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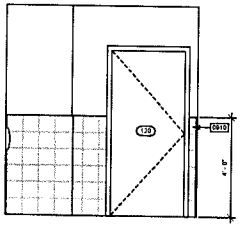

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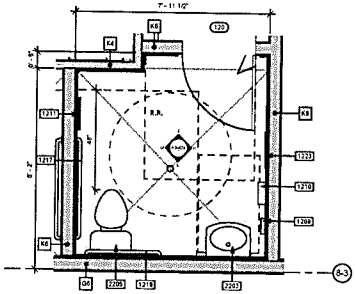
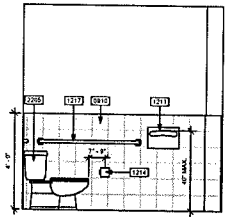
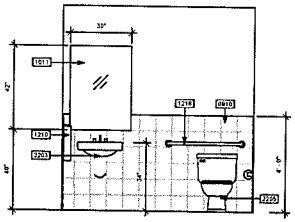


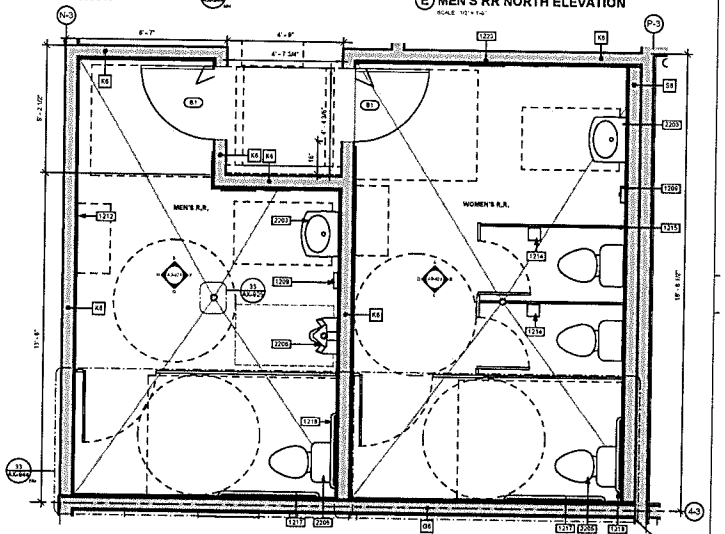
2 ENLARGED B&G RESTROOM
A3-421 A3-423 SCALE 1/2" = 1'-0"



M RR WEST ELEVATION
SCALE 1/2" = 1'-0"



L RR SOUTH ELEVATION
SCALE 1/2" = 1'-0"



1 ENLARGED WOMEN AND MEN'S R.R FLOOR PLAN
A3-421 A3-423 SCALE 1/2" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-401/932
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-446/945
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-446/945

KEYNOTES

0910	WAINSCOTTILE WITH SCHLUTER SYSTEM
1011	MIRROR
1209	SOAP DISPENSER, AUTOMATIC WALL MOUNTED
1210	RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
1211	SEAT COVER DISPENSER
1212	BABY CHANGING STATION, OPERABLE PARTS NOT TO EXCEED 48in AFF, PROVIDE BLOCKING
1214	TOILET PAPER HOLDER
1215	TOILET PARTITIONS
1217	42" GRAB BAR, PROVIDE BLOCKING
1218	36" GRAB BAR, PROVIDE BLOCKING
1223	TRASH RECEPTACLE
2203	SINK, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2205	WATER CLOSET, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2206	URINAL, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A137.1 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC 350, 354.5.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-921 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2018 CBC HEIGHT LIMITATIONS.
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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BLDG 3 - ENLARGED RESTROOMS

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-423

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COMMON AREAS FINISH SCHEDULE

NAME	FLOOR	CEILING	BASE	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	NOTES
Not Placed								
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
01-GROUND FLOOR								
COMMUNITY ROOM	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
LEASING 1	CARPET TILE	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
HOPE THROUGH HOUSING	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
B&G CLUB RECEPTION & GAME ROOM	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
LOBBY/CORRIDOR								BLDG 3
ELECTRICAL	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
B&G CLUB ROOM 1	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
B&G CLUB ROOM 2	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
STAIR 2	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
R.R.	TILE	GWB, PAINT	TILE COVE	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	BLDG 3
R.R.	TILE	GWB, PAINT	TILE COVE	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	BLDG 3
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
STOR.	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
MPOE	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
SUPPORTIVE SERVICES	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
LEASING 2	CARPET TILE	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
STOR.	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
STAIR 1	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
WARMING KITCHEN	TILE	GWB, PAINT	TILE COVE	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	BLDG 3
LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
WOMEN'S R.R.	TILE	GWB, PAINT	TILE COVE	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	BLDG 3
MEN'S R.R.	TILE	GWB, PAINT	TILE COVE	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	TILE WAINSCOT	BLDG 3
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
TRASH ROOM	SEALED CONC.	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OFFICE 1	CARPET TILE	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OFFICE 2	CARPET TILE	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
ENTRY	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OP	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
02-SECOND FLOOR								
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
TRASH	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OP	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
03-THIRD FLOOR								
LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
TRASH	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OP	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
04-FOURTH FLOOR								
LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
OP	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
TRASH	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3
ELEV. EQUIP.	LVP			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 3

FINISH REQUIREMENTS

PER 2019 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO 2019 CBC SEC. 803 FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (CBC 2019 TABLE 803.13)

DEGREE OF FIRE PROTECTION: SPRINKLERED

GROUP	EXTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS IN MULTI-STORY BLDGS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3 & A-4, A-5	B	B	C
B & M Not	B	C	C
R-2	C	C	C
R-2.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS

CLASS A:
- FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450

CLASS B:
- FLAME SPREAD INDEX = 26-75
- SMOKE DEVELOPED INDEX = 0-450

CLASS C:
- FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.1.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

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BLDG 3 - FINISH SCHEDULE

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PROJECT NUMBER 1853-05
SHEET A3-501

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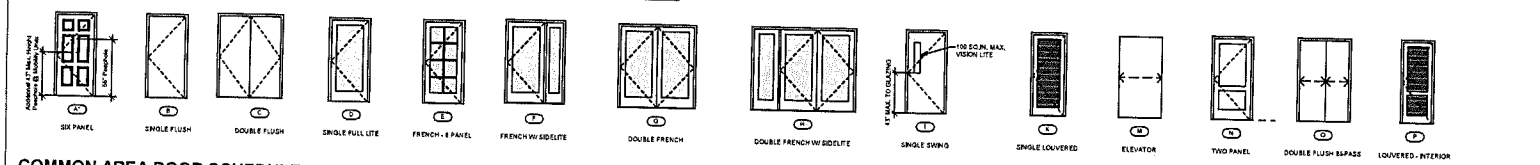
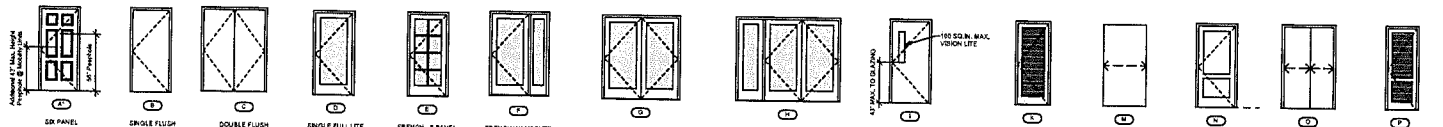
DOOR TYPES LEGEND



COMMON AREA DOOR SCHEDULE

NO.	TYPE	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FIRE RATING	COMMENTS
01-GROUND FLOOR											
101a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
101b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
101c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
102a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
102b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
102c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
103a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
103b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
103c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
104a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
104b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
104c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
105a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
105b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
105c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
107a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
107b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
107c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
108a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
108b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
108c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
111a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
111b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
111c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
113a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
113b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
113c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
116	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
116		SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
117	C2	DOUBLE FLUSH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	
118	D2	SINGLE FULL LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL					
119	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
120	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
121	G1	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
122	D2	SINGLE FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
123	H1	DOUBLE FRENCH DOOR WITH SIDELITE	8'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
124	H1	DOUBLE FRENCH DOOR WITH SIDELITE	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
125	G1	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
126	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
127	D2	SINGLE FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
128	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	PROVIDE CLOSER
129	C1	DOUBLE FLUSH DOOR	5'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
130	G1	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
131	D2	SINGLE FULL LITE	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
132	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
133	D2	SINGLE FULL LITE	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
134	C2	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
135	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
136	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
137	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
138	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	
139	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	
140	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
141	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
142	K2	SINGLE LOUVERED UTILITY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
143	F1	FRENCH WITH SIDELITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
144	F2	FRENCH DOOR W/SIDELITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
145	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
146	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
147	M1	ELEVATOR SLIDING	3'-0"	6'-8"	0'-2 1/4"	STEEL					
148	G2	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
149	F1	FRENCH DOOR W/SIDELITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
150	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS					
151	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
152	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	
153	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					PROVIDE CLOSER
154	B3	ELEVATOR SLAM DOOR	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
171	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
171.1	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
172	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
02-SECOND FLOOR											
201a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
201b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
201c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
202a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
202b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
202c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
203a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
203b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
203c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
204a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
204b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
204c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
205a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
205b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
205c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
206a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
206b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
206c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
207a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
207b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
207c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
208a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
208b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
208c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
209a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
209b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
209c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
210a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
210b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
210c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
211a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
211b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
211c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
212a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
212b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
212c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
213a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
213b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
213c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
214a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
214b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
214c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
215a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
215b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
215c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
217a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
217b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
217c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
219	D3	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
220	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
221	F1	FRENCH WITH SIDELITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
222	M1	ELEVATOR SLIDING	3'-0"	6'-8"	0'-2 1/4"	STEEL				20 MIN.	
223	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
225	B3	ELEVATOR SLAM DOOR	3'-0"	6'-8"	0'-1 3/4"					1 HR	PROVIDE CLOSER
571.2	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	
572.2	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
03-THIRD FLOOR											
301a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
301b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
301c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
302a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
302b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
302c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
303a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
303b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
303c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
304a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
304b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
304c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
305a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
305b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
305c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
306a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
306b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
306c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
307a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
307b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
307c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
308a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
308b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
308c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
309a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
309b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
309c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
310a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
310b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
310c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
311a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
311b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
311c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
312a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
312b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
312c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
313a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
313b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
313c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
314a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
314b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
314c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
315a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
315b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
315c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
317a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
317b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
317c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
318	B2	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				1 HR	
319	D3	DOUBLE FRENCH DOOR	6'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
320	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	
321	F1	FRENCH WITH SIDELITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS				20 MIN.	
322	M1	ELEVATOR SLIDING	3'-0"	6'-8"	0'-2 1/4"	FIBERGLASS				20 MIN.	
323	B3	ELEVATOR SLAM DOOR	3'-0"	6'-8"	0'-1 3/4"	STEEL					
571.3	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	
572.3	I1	SINGLE SWING VISION LITE	3'-0"	6'-8"	0'-1 3/4"	HOLLOW METAL	PRIME/PAINT			90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
04-FOURTH FLOOR											
401a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
401b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
401c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
402a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
402b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
402c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
403a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
403b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
403c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
404a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
404b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
404c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
405a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
405b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
405c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
406a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
406b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
406c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
407a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
407b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
407c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
408a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
408b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
408c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
409a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
409b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
409c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
410a	A1*	PANELED ENTRY DOOR	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
410b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	6'-8"	0'-1 3/4"	FIBERGLASS					
410c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						

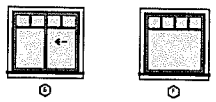
DOOR TYPES LEGEND



UNIT DOOR SCHEDULE

TYPE	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME FINISH	FIRE RATING	REMARKS
N1	TWO PANELED DOOR	2' - 6"	6' - 8"	0' - 1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD	PAINT		
N2	TWO PANELED DOOR	3' - 0"	6' - 8"	0' - 1 3/8"	HOLLOW CORE WOOD	PAINT		PAINT		
O1	DOUBLE FLUSH BIPASS	8' - 0"	6' - 8"	0' - 1 3/8"						
P1	LOUVERED	3' - 0"	6' - 8"	0' - 1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD	PAINT		

WINDOW TYPES LEGEND



NOTE:
Refer to Exterior Elevations Sheets for SH specification

WINDOW SCHEDULE

TYPE MARK	DESCRIPTION	SIZE WIDTH	SIZE HEIGHT	HEAD HEIGHT	MANUFACTURER	HEAT TRANSFER COEFFICIENT (U)	SHGC*	Comments
01-GROUND FLOOR								
F.6	Fixed	5' - 0"	5' - 0"	6' - 0"				
F.8	Fixed	6' - 0"	5' - 6"	7' - 8"				BLDG 3
F.9	Fixed	4' - 6"	5' - 0"	6' - 0"				BLDG 3
F.11	Fixed	4' - 0"	5' - 0"	6' - 0"				BLDG 3
F.13	Fixed	3' - 0"	5' - 0"	6' - 0"				BLDG 3
F.20	Fixed	2' - 6"	5' - 0"	6' - 0"				BLDG 3
F.21	Fixed	2' - 6"	3' - 6"					BLDG 3
5.1	Vinyl Slider	5' - 6"	5' - 0"	6' - 0"				BLDG 3
5.2	Vinyl Slider	5' - 6"	5' - 0"	6' - 0"				BLDG 3
5.3	Vinyl Slider	3' - 0"	4' - 2"	6' - 8"				BLDG 3
02-SECOND FLOOR								
F.6	Fixed	5' - 0"	5' - 0"	6' - 0"				BLDG 3
F.12	Fixed	4' - 0"	4' - 6"	6' - 0"				BLDG 3
F.21	Fixed	2' - 6"	3' - 6"					BLDG 3
5.1	Vinyl Slider	5' - 6"	5' - 0"	6' - 0"				BLDG 3
5.2	Vinyl Slider	5' - 0"	5' - 0"	6' - 0"				BLDG 3
5.3	Vinyl Slider	3' - 0"	4' - 2"	6' - 8"				BLDG 3
03-THIRD FLOOR								
F.6	Fixed	5' - 0"	5' - 0"	6' - 0"				BLDG 3
F.12	Fixed	4' - 0"	4' - 6"	6' - 0"				BLDG 3
F.21	Fixed	2' - 6"	3' - 6"					BLDG 3
5.1	Vinyl Slider	5' - 6"	5' - 0"	6' - 0"				BLDG 3
5.2	Vinyl Slider	5' - 0"	5' - 0"					BLDG 3
5.3	Vinyl Slider	3' - 0"	4' - 2"	6' - 8"				BLDG 3
04-FOURTH FLOOR								
F.6	Fixed	5' - 0"	5' - 0"	6' - 0"				BLDG 3
F.12	Fixed	4' - 0"	4' - 6"	6' - 0"				BLDG 3
F.21	Fixed	2' - 6"	3' - 6"					BLDG 3
5.1	Vinyl Slider	5' - 6"	5' - 0"	6' - 0"				BLDG 3
5.2	Vinyl Slider	5' - 0"	5' - 0"	6' - 0"				BLDG 3
5.3	Vinyl Slider	3' - 0"	4' - 2"	6' - 8"				BLDG 3
5.4	Vinyl Slider	3' - 6"	3' - 0"	7' - 6"				BLDG 3

DOOR GENERAL NOTES

1. EGRESS DOORS *(2019 CBC 1010.1)*
   a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF *2019 CBC 1010.1*
   b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY *(2019 CBC 1010.1.2.5)*
   c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE *(2019 CBC 1010.1.5)*
   d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED *PER 2019 CBC 1010.1.9*
   e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED *PER 2019 CBC 1008.1.9*
   f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED *PER 2019 CBC 1008.1.9.8*
   g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, A2 OR A2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED *PER 2019 CBC 1008.1.10.*
   h. ELECTRICAL ROOMS WITH EQUIPMENT RATED 800AMPERES OR MORE AND OVER 8 FEET WIDE, AND THAT CONTAIN OVERCURRENT DEVICES, SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL *(2019 CBC 1010.1.10)*
   i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH *2019 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-2*
      - HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
      - LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE
2. ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES *(2019 CBC 11B-404)*
   a. MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES *(2019 CBC 11B-404.2.3)*
   b. MANEUVERING CLEARANCES SHALL COMPLY WITH *(2019 CBC 11B-404.2.4)*. REFER TO PLANS FOR MINIMUM CLEARANCES
   c. THRESHOLDS SHALL BE 1/2" HIGH MAX *(2019 CBC 11B-404.2.5)*; REFER TO DOOR DETAILS
   d. MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. AT FIRE DOORS *(2019 CBC 11B-404.2.9)*
   e. HANDLE/ACTUATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE *(2019 CBC 11B-404.2.7 AND 2019 CBC 11B-309.4)*
   f. OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR *(2019 CBC 11B-404.2.7)*
   g. CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM *(2019 CBC 11B-404.2.8.1)*
   h. SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED *PER 2019 CBC 11B-404.2.10*
3. OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES *(2019 CBC 716 AND NFPA 80)*
   a. FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF *2019 CBC 716 AND NFPA 80*
   b. FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER *2019 CBC 716.2.6.1*
   c. SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C *2019 CBC 716.2.1.1)*
   d. UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGES SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED *2019 CBC 716.2.6.2*
   e. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED *PER 2019 CBC 716.2.3.1*
   f. FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784 *(2019 CBC 716.2.5.4)*
   g. FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR OR FRAME *2019 CBC 716.2.9*
   h. SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION *2019 CBC 716.2.9.1* AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR *PER 2019 CBC 716.2.9.3*
   i. FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND, WHERE REQUIRED FOR FIRE DOORS IN INTERIOR EXIST STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY *2019 CBC SECTION 716.2.2.3*. THE MAXIMUM TRANSMITTED TEMPERATURE END POINT, *2019 CBC 716.2.9.1*
4. GLAZING
   a. GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC CHAPTER 24 - SAFETY GLAZING*. LOCATIONS NOTED WITH "*"
   b. GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC 716.2.3* IN ADDITION TO THE REQUIREMENTS OF SECTIONS *2019 CBC 716.2* AND *2019 CBC 716.3* RESPECTIVELY, AND NFPA 80
   c. IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST *(2019 CBC 716.2.3.3)* (TRANSOM AND SIDE-LITES SEE *2019 CBC 716.2.5.4*)
   d. FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN *2019 CBC 716.2.5.1.2.1* AND *716.2.5.1.2.2*

WINDOWS GENERAL NOTES

a. WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS. *(2019 CBC 2406.4)*
b. AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE SAFETY GLAZING IN BOTH PANES *PER 2019 CBC 2406.3*
   a. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.3)*
   b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.5)*
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
      - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
      - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
      - ONE OR MORE WALKING SURFACE(S) WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
   c. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED *PER 2019 CBC 2406.4.6*
   d. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED *PER 2019 CBC 2406.4.7*
c. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF. MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF. EXCEPTION: MIN 5 SF AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. *(2019 CBC SECTION 1030)*
d. WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER *2019 CBC 1015.8*
   - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
   - OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090
   - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH *2019 CBC SECTION 1015.8.1*

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CONSULTANT

AGENCY

INITIAL B&S SUBMITTAL

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 3 - DOOR AND WINDOW SCHEDULES

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A3-602

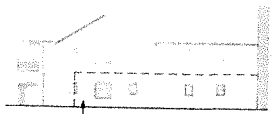
11/8/2022 1:39:54 PM
G:\Projects\1853 National Core\Bldg 3-4.rvt

ALLOWABLE OPENINGS

MAXIMUM AREA OF EXTERIOR WALL-OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION
(CBC 2019 TABLE 705.8)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED (UP,S) (PER CBC 2019 SECTION 705.8.1)	
0' to < 3'	NOT PERMITTED
3' to < 5'	15%
5' to < 10'	25%
10' to < 15'	45%
15' to < 20'	75%
20' to < 25'	NO LIMIT
25' to < 50'	NO LIMIT
50' +	NO LIMIT

NOTE:
THIS BUILDING INCLUDES AN NFPA 13 FIRE SPRINKLER SYSTEM.



FIRE SEPARATION DISTANCE: 5' - 1 1/4"
WALL AREA = 675 SF
MAX. ALLOWABLE OPENING = 25% = (675 x .25) = 168 SF
TOTAL AREA OF PROPOSED OPENINGS AT LEVEL 1 (WORST CASE) = 53 SF (8%)

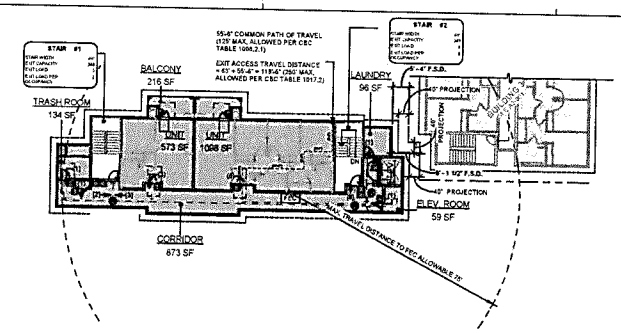
Ⓐ ALLOWABLE OPENINGS
SCALE: 1/32" = 1'-0"

EXTERIOR WALL PROJECTIONS

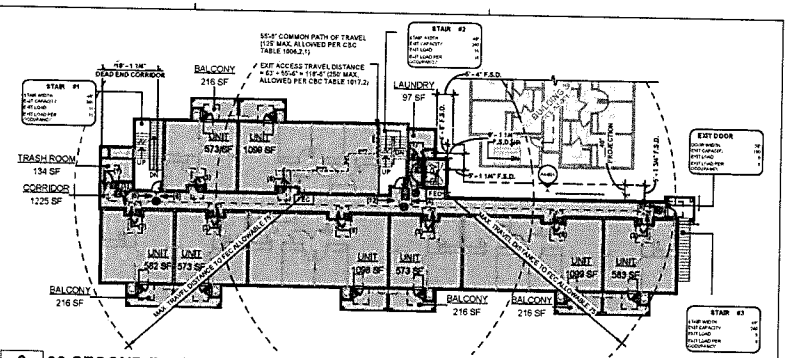
MINIMUM DISTANCE OF PROJECTION
(CBC 2019 TABLE 705.2)

FIRE SEPARATION DISTANCE-FSD (FEET)	MINIMUM DISTANCE FROM LINE USED TO DETERMINE FSD
0' to < 2'	PROJECTIONS NOT PERMITTED
2' to < 5'	24 INCHES
5' to < 5	24 INCHES PLUS 9 INCHES FOR EVERY FOOT OF FSD BEYOND 3 FEET OR FRACTION THEREOF
5' to 5	40 INCHES

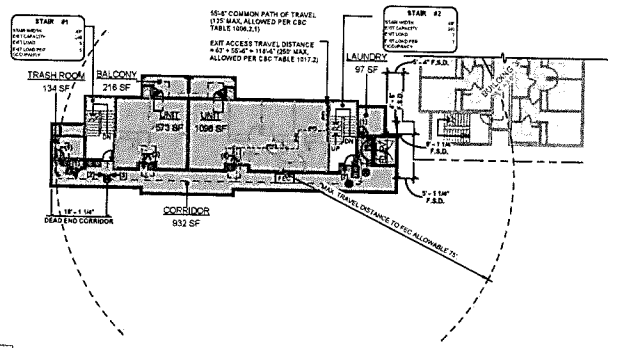
PER CBC 705.2: PROJECTIONS INCLUDING EAVE OVERHANGS SHALL NOT EXTEND ANY CLOSER TO THE LINE USED TO DETERMINE THE FIRE SEPARATION DISTANCE THAN SHOWN IN TABLE 705.2.



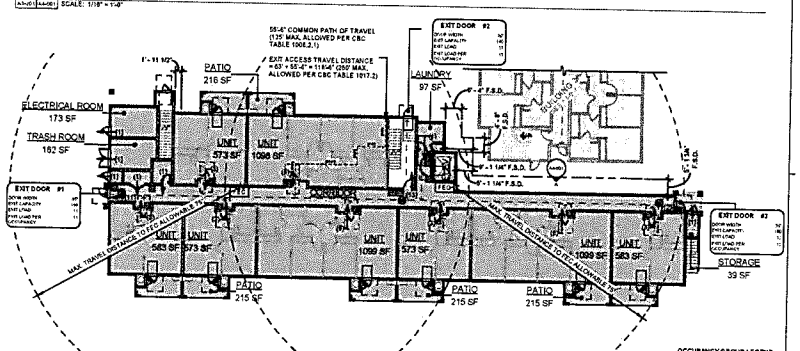
4 04-FOURTH FLOOR
A2-01 | A4-001 SCALE: 1/16" = 1'-0"



2 02-SECOND FLOOR
A2-01 | A4-001 SCALE: 1/16" = 1'-0"



3 03-THIRD FLOOR
A2-01 | A4-001 SCALE: 1/16" = 1'-0"



1 01-GROUND FLOOR
A2-01 | A4-001 SCALE: 1/16" = 1'-0"

OCCUPANCY GROUP LEGEND
R-2

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	PRIMARY STRUCTURE 1-HR, FLOOR 1-HR, ROOF 1-HR, BEARING WALLS 1-HR	
EXTERIOR WALLS	BEARING WALLS: 1-HR	T-601
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	T-602
FIRE WALLS	N/A	706 & 708
FIRE BARRIERS	1-HR FIRE RESISTANCE RATED WALLS OCCUR AT SHAFTS, & STAIR ENCLOSURES PER LEGEND. 1-HR FIRE RESISTANCE RATED WALLS OCCUR AT OCCUPANCY SEPARATIONS PER LEGEND.	707.3
FIRE PARTITIONS	1-HR FIRE RESISTANCE RATED WALLS OCCUR AT DWELLING UNIT SEPARATIONS	708
CONCEALED SPACES	PROVIDE FIRE BLOCKING AS REQUIRED IN WALL & STAIR CONSTRUCTION. DRAFTSTOPPING AT FIRE PARTITIONS IN FLOORS & ATTICS. ADDITIONAL DRAFTSTOPPING NOT REQUIRED IN BUILDINGS SPRINKLERED IN ACCORDANCE WITH 903.3.1.2	718
HORIZONTAL ASSEMBLIES	ALL FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES 1-HR. PROTECT PENETRATIONS	711
PENETRATIONS	SEE NOTE 1 BELOW	714
WILDFIRE EXPOSURE	NA - PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	7A
2. MEANS OF EGRESS		
STAIRS	MIN. 44" CLEAR WIDTH (34" WHEN SERVICED OR)	1011.2
RAMPS	MAX. 1:12 SLOPE; PROVIDE HANDRAILS WITH EXTENSIONS	1012
COMMON PATH OF EGRESS TRAVEL	MAX. 125' FROM R-2 OCCUPANCIES	1013
R-2 SPACES W ONE EXIT	PERMITTED AT UNITS. R-2 OCC. IS SPRINKLERED	1006.2
NUMBER OF EXITS PER STORY	2 (MIN 2 REQUIRED) PER STORY IN R-2 OCCUPANCY 4 STORIES OR GREATER	1006.1 OR Table 1006.2.1
EXIT ACCESS TRAVEL DISTANCE	MAX. 75'	C1006.3.3(1)
INTERIOR EXIT STAIRWAYS	CONSTRUCT ENCLOSURE AS 1-HR FIRE BARRIER	T-1017.2
3. ACCESSIBILITY		1103
COVERED MULTIFAMILY DWELLING UNITS	SEE CODE COMPLIANCE PLANS FOR ACCESSIBLE AND ADAPTABLE UNIT DESIGNATIONS. SEE UNIT PLANS FOR SPECIFIC FEATURES.	CTCAC Regulations
PARKING SPACES	SEE SITE PLAN	
ACCESSIBLE ROUTES OF TRAVEL	ALL SITE ARRIVAL AND INTERIOR CONNECTION ROUTES SHALL BE ACCESSIBLE	11B-206
4. INTERIOR ENVIRONMENT		11B-206.3
ROOF VENTILATION	SEE ROOF VENTILATION PLAN SHEET	
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES).	1207.2
5. ROOF ASSEMBLIES		1.204
FIRE CLASSIFICATION	CLASS B	1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER "UNIT OF A": 3,000 SF (6,000 SF PER 2-HR B OR C EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER: MAX. 75 FT	
	MIN. UL EXTINGUISHER RATING: 2-A:10-B:C	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

NOTES

1. PENETRATIONS
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE VA (PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. A. WALL PENETRATIONS SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. B. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1-HR OR THE ASSEMBLY PENETRATED
      d. C. SOME EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS. SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES - TWO STORIES
      b. CONTAIN IN WALL AND FIRESTOP - TWO STORIES
      c. DUCTS 96" MAY BE PERMITTED UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.6.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND FIRE DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR, IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.
3. FIRE WALL/BARRIER IDENTIFICATION
   A. 2019 CBC 703.3
      PROVIDE SIGNAGE AT ALL FIRE WALLS, FIRE PARTITIONS AND FIRE BARRIERS REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS. LOCATE IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACES. LOCATE WITHIN 15 FEET OF EACH END OF WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
   B. "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS". LETTERS MIN 3" HIGH WITH 3/8" MIN. STROKE. ON SIGNAGE IN A CONTRASTING COLOR.
   C. WALLS IN GROUP R-2 WITHOUT A REMOVABLE DECORATIVE CEILING ALLOWING ACCESS TO THE CONCEALED SPACE ARE EXEMPT.

OCCUPANCY CALCULATIONS

NAME	AREA	NET / GROSS	OCCUPANCY TYPE	FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	MAX. OCC. LOAD FOR ONE EXIT (2019 CBC TABLE 1006.2.1)	EXITS REQUIRED
01-GROUND FLOOR								
UNIT	6162 SF	GROSS	R-2	RESIDENTIAL	200	33	20	
TRASH ROOM	132 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
STORAGE	61 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE / IDF	63 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	2	20	
LAUNDRY	97 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
JANITOR CLOSET	55 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
ENTRY PORCH	58 SF		R-2	(Stairs)		0	20	
ELECTRICAL ROOM	173 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
	6831 SF					40		
02-SECOND FLOOR								
UNIT	6162 SF	GROSS	R-2	RESIDENTIAL	200	33	20	
TRASH ROOM	134 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE / IDF	14 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
LAUNDRY	97 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
	6408 SF					36		
03-THIRD FLOOR								
UNIT	1573 SF	GROSS	R-2	RESIDENTIAL	200	8	20	
TRASH ROOM	134 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE / IDF	14 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
LAUNDRY	97 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
	1817 SF					12		
04-FOURTH FLOOR								
UNIT	1671 SF	GROSS	R-2	RESIDENTIAL	200	9	20	
TRASH ROOM	134 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
MPOE / IDF	15 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
LAUNDRY	97 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
ELEV. ROOM	59 SF	GROSS	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	20	
	1976 SF					12		
	17149 SF					101		

UNIT BREAKDOWN

UNIT COUNT - BLDG 4	
01-GROUND FLOOR	
1 BD / 1 BA	5
3 BD / 2 BA	3
	8
02-SECOND FLOOR	
1 BD / 1 BA	5
3 BD / 2 BA	3
	8

UNIT COUNT - BLDG 4	
03-THIRD FLOOR	
1 BD / 1 BA	1
3 BD / 2 BA	1
	2
04-FOURTH FLOOR	
1 BD / 1 BA	1
3 BD / 2 BA	1
	2
	20

LEGEND

SEPARATION & SYMBOLS:

- 1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTION CONTINUOUS TO TYPE I CEILING ABOVE)
- 1-HOUR RATED FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)
- 2-HR FIRE BARRIER (CONTINUOUS PROTECTION FROM FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)
- 1-HOUR PROTECTION AT COLUMNS AND BEAMS
- FEC — FIRE EXTINGUISHER CABINET. SEE DETAIL AX-922
- SIGNAGE. REFER TO SIGNAGE KEY, 45/AX-846
- EXIT SIGN. REFER TO S14 ON SIGNAGE KEY, 45/AX-846
- ROOF OVERHEAD
- ASSUMED PROPERTY LINE WITH FIRE SEPARATION DISTANCE (F.S.D.) NOTED

OCCUPANT EGRESS:

- ACCESSIBLE PATH OF TRAVEL (FMLY BLDG. MIN. 36" (915 MM))
- (XX'-X") COMMON PATH OF EGRESS TRAVEL (WITH MINIMUM 1/2 (XX'-X") EXIT INCREASE FROM NEAREST POINT OF MIN. DISTANCE PER 2019 CBC TABLE 1006.2.1 (X'-X" MAX.))
- (XX'-X") EXIT ACCESS TRAVEL DISTANCE (WITH MINIMUM 1/2 (XX'-X") EXIT INCREASE FROM NEAREST POINT OF MIN. DISTANCE PER 2019 CBC TABLE 1017.2.1 (X'-X" MAX.))
- (X) NUMBER OF OCCUPANTS EXITING SPACE
- (X) COMBINED OCCUPANT COUNT ALONG P.O.T.

STAIR #
STAIR WIDTH
EXIT CAPACITY
EXIT LOAD
EXIT LOAD PER OCCUPANCY

STAIR TAG
FLOOR WIDTH OF STAIR
OCCUPANT LOAD CAPACITY
NO. OF LEVEL OF EXIT (ID SHAFTS ON LEVEL WHERE NO OCCUPANT LOAD)
NO. OF OCCUPANTS EXIT SO PER OCCUPANCY TYPE

NOTE:
ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS TO BE 1-HR FIRE RESISTANCE RATED. FIRE RESISTANCE RATINGS OF 1-HR REQUIRED AT ALL PRIMARY STRUCTURAL FRAMES, EXTERIOR WALLS, INTERIOR LOAD BEARING WALLS, FLOOR CONSTRUCTION AND ASSOCIATED MEMBERS, AND ROOF CONSTRUCTION AND ASSOCIATED MEMBERS.

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED
(AS PER CBC 2019 TABLE)

OCCUPANCY CLASSIFICATION (CBC, SECTION)	R-2, B, S
CONSTRUCTION TYPE (CBC 2019 § 601)	VA
ALLOWABLE BUILDING HEIGHT (TABLE 504.3)	60'-0"
ALLOWABLE NUMBER OF STORIES (TABLE 504.4)	4
ALLOWABLE BUILDING AREA PER STORY (TABLE 506.2)	36,000 SF
TOTAL ALLOWABLE BUILDING AREA (TABLE 506.2)	72,000 SF

GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	25'-0"
PROPOSED NUMBER OF STORIES	4
PROPOSED BUILDING AREA	SEE SCHEDULE BELOW
AUTOMATIC FIRE SPRINKLERS	NFPA 13 (PER CBC 903.3.1.1)

GROSS BUILDING AREA - BLDG 4

01-GROUND FLOOR	8310 SF
02-SECOND FLOOR	8190 SF
03-THIRD FLOOR	2637 SF
04-FOURTH FLOOR	2556 SF
TOTAL PROPOSED GSF	25693 SF

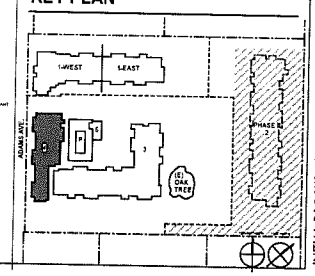
BLDG 4 - NSF

01-GROUND FLOOR	
COMMON	2267 SF
RESIDENTIAL	6742 SF
02-SECOND FLOOR	
COMMON	1554 SF
RESIDENTIAL	6782 SF

BLDG 4 - NSF

03-THIRD FLOOR	
COMMON	1064 SF
RESIDENTIAL	1574 SF
04-FOURTH FLOOR	
COMMON	1064 SF
RESIDENTIAL	1574 SF
	20791 SF

KEY PLAN



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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - CODE ANALYSIS

NO.	REVISION	DATE

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-001

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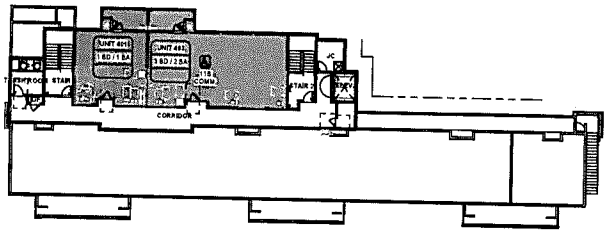
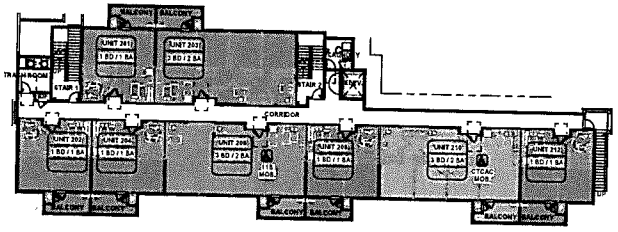
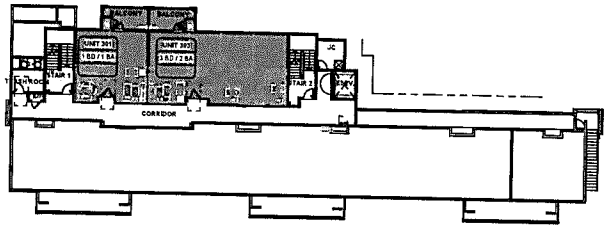


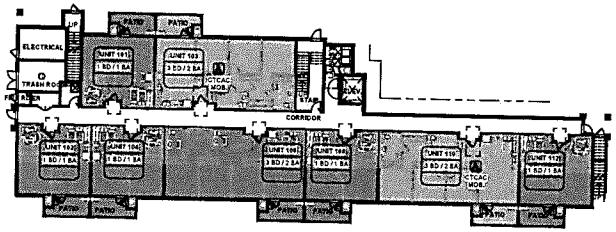
4 FOURTH FLOOR PLAN - BUILDING 4
A4-201 A4-202 SCALE: 1/16" = 1'-0"



2 SECOND FLOOR PLAN - BUILDING 4
A4-201 A4-202 SCALE: 1/16" = 1'-0"



3 THIRD FLOOR PLAN - BUILDING 4
A4-201 A4-202 SCALE: 1/16" = 1'-0"



1 GROUND FLOOR PLAN - BUILDING 4
A4-201 A4-202 SCALE: 1/16" = 1'-0"

UNIT CALC.

MOBILITY UNITS:
REQUIRED PER ADA / CBC: 11B
(30) TOTAL UNITS X .05 = 1

REQUIRED PER CTCAC
(30) TOTAL UNITS X .15 = 3

TOTAL PROVIDED = 4 (26%)

UNIT MATRIX

BLDG 4 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CT/CAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
01-GROUND FLOOR						
1 BD / 1 BA	101			*	*	1
1 BD / 1 BA	102			*	*	1
3 BD / 2 BA	103		*		*	1
1 BD / 1 BA	104			*	*	1
1 BD / 1 BA	105			*	*	1
1 BD / 1 BA	106			*	*	1
3 BD / 2 BA	110			*	*	1
1 BD / 1 BA	112			*	*	1
						8

BLDG 4 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CT/CAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
02-SECOND FLOOR						
1 BD / 1 BA	201			*	*	1
1 BD / 1 BA	202			*	*	1
3 BD / 2 BA	203			*	*	1
1 BD / 1 BA	204			*	*	1
3 BD / 2 BA	205		*		*	1
1 BD / 1 BA	206			*	*	1
3 BD / 2 BA	210		*		*	1
1 BD / 1 BA	212			*	*	1
						8

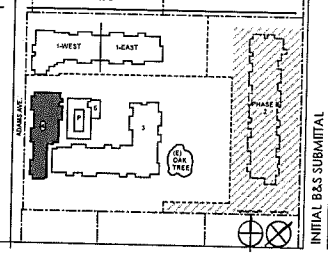
BLDG 4 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CT/CAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
03-THIRD FLOOR						
1 BD / 1 BA	301			*	*	1
3 BD / 2 BA	302			*	*	1
						2

BLDG 4 UNIT MATRIX

NAME	NUMBER	11B MOBILITY UNIT	CT/CAC MOBILITY UNIT	COMM. UNIT	ADAPT. UNIT	COUNT
04-FOURTH FLOOR						
1 BD / 1 BA	401			*	*	1
3 BD / 2 BA	402			*	*	1
						2

KEY PLAN



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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - UNIT KEY PLANS

NO.	REVISION	DATE

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PROJECT NUMBER 1853-05
SHEET A4-002

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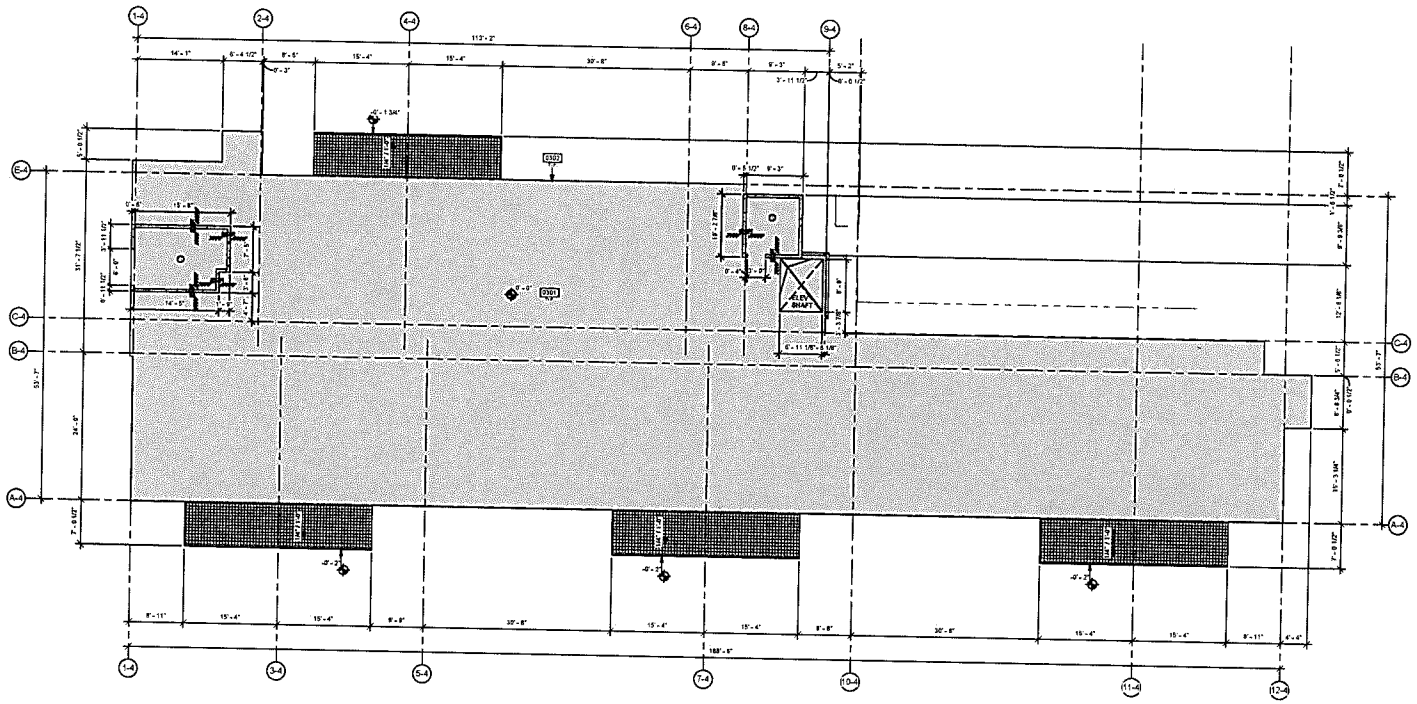


1 GROUND FLOOR PLAN - BUILDING 2

A0.00 | A4-100 SCALE: 1/8" = 1'-0"

KEYNOTES

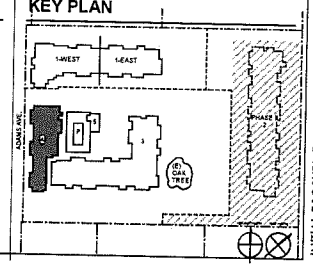
LEGEND

- 10'-0" HEIGHT OF TOP OF SLAB
- 2"/12" SLAB SLOPE
- FLOOR DRAIN (REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION)
- SLOPE CHANGE
- SLAB STEP
- SLAB STEP & SLOPE
- CURB
- SLAB ON GRADE (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- DEPRESSED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- SLOPED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- CONCRETE CURB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION AND PLANS FOR MORE)

SLAB PLAN GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS, EDGE OF SLAB, OR GRID LINE UNLESS OTHERWISE NOTED.
2. SLAB PLANS ARE SUBMITTED FOR REFERENCE AND CLARIFICATION TO SCOPE OF STRUCTURAL SLAB, SLOPES, AND ELEVATION HEIGHTS. ALL SLAB EXTENTS TO BE VERIFIED WITH ARCHITECTURAL DOCUMENTS INCLUDING ARCHITECTURAL PLANS AND STRUCTURAL DRAWINGS.
3. SEE CIVIL DRAWINGS FOR ALL TOP OF SLAB HEIGHTS. HEIGHTS VARY PER BUILDING, INCLUDING AT ELECTRICAL ROOMS. ENSURE COMPLIANCE WITH 2019 CBC SECTIONS 206.1.0.1.2 AND 2512.1.2
4. SLAB DEPRESSION SPOT ELEVATIONS ARE MEASUREMENTS BASE OFF OF LEVEL 01.
5. REFER TO LANDSCAPE DRAWINGS FOR PATIOS' FINISH COLOR AND TEXTURE.
6. INTERIOR CHANGES IN LEVEL, INDICATED BY SYMBOL LEGEND, SEE CIVIL FOR ELEVATIONS; STRUCTURAL FOR FOUNDATION DETAILS.
7. EXTERIOR CHANGES IN LEVEL WITH CURB. SEE CIVIL FOR ELEVATIONS; STRUCTURAL FOR FOUNDATION DETAILS.

KEY PLAN



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BLDG 4 - SLAB PLAN

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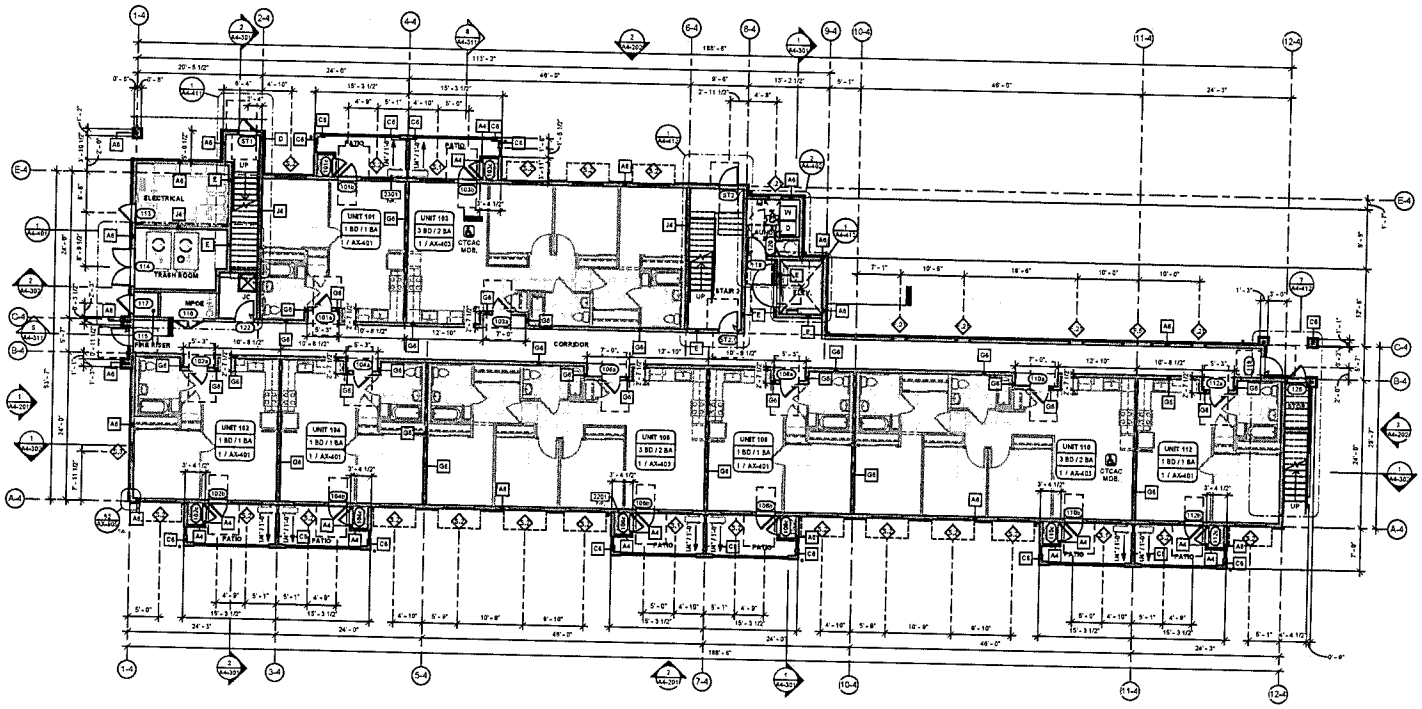


1 01-GROUND FLOOR PLAN - BLDG 4

A3-201 A4-101 SCALE: 1/8" = 1'-0"

KEYNOTES

2201	WATER HEATER. SEE PLUMBING DRAWINGS.
2301	MECHANICAL UNIT. SEE MECH. DRAWINGS

UNIT LEGEND

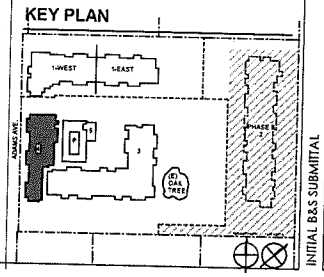
UNIT XXX	UNIT TAG
	UNIT NUMBER
Type X	UNIT TYPE
SHEET XXX	SHEET NUMBER ENLARGED UNIT PLAN
11B MOB.	11B MOBILITY UNIT THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
CTCAC MOB.	TCAC MOBILITY UNIT THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC. REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.
11B or CTCAC COMM.	COMMUNICATION FEATURES THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. [2019 CBC 11B-809.5 & 907.5.2.3] TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES. 2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B.THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.10).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-201 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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BLDG 4 - GROUND LEVEL FLOOR PLAN

NO.	REVISION	DATE

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SHEET A4-101

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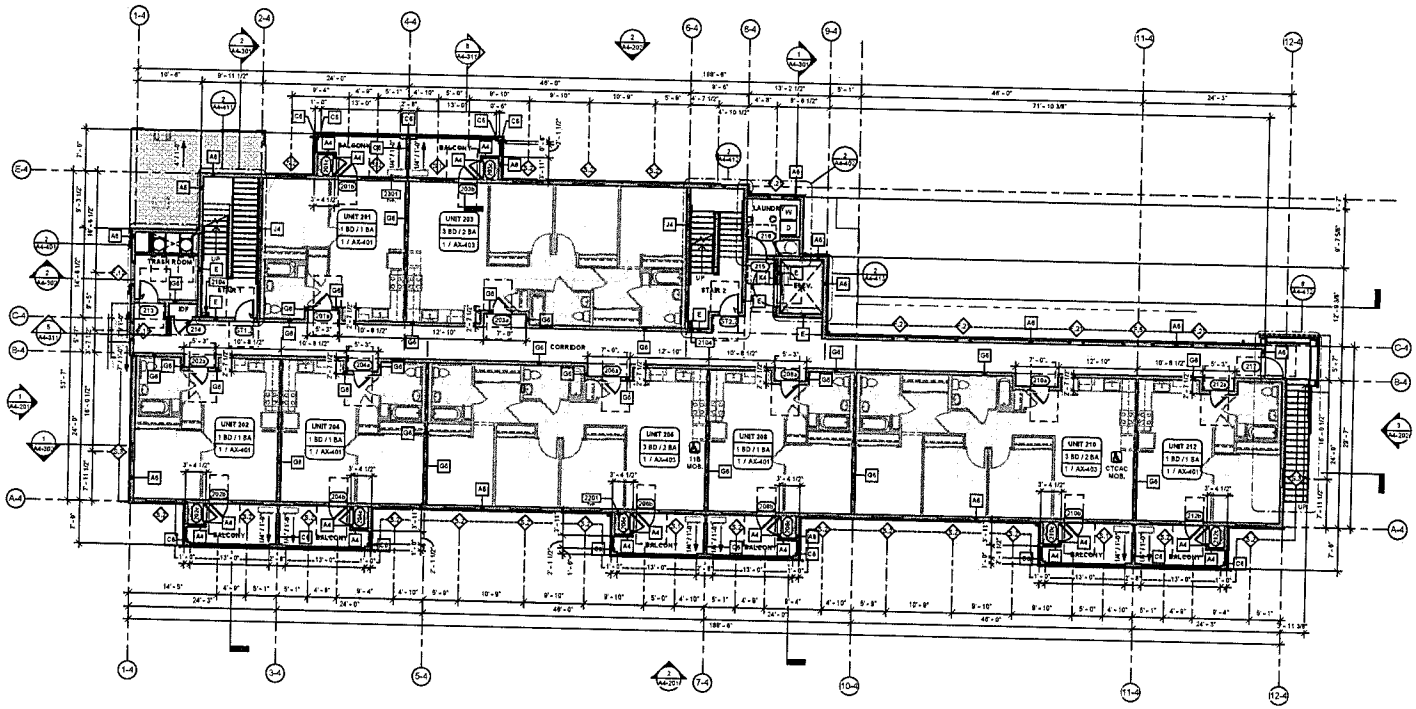

1 02-SECOND FLOOR PLAN - BLDG 4

AX-101 | AX-102 SCALE 1/8" = 1'-0"

KEYNOTES

2104	STAND PIPE
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2101	MECHANICAL UNIT, SEE MECH DRAWINGS

UNIT LEGEND

UNIT TAG

UNIT XXX	UNIT NUMBER
Type X	UNIT TYPE
SHEET XX-#	SHEET NUMBER ENLARGED UNIT PLAN

11B MOBILITY UNIT
THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF 2019 CBC 11B. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

11B MOB.

TCAC MOBILITY UNIT
THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC. REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

CTCAC MOB.

COMMUNICATION FEATURES
THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. (2019 CBC 11B-809.5 & 907.5.2.3).
TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES.
2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

11B or CTCAC COMM.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B.THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.12).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-101 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
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9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS.
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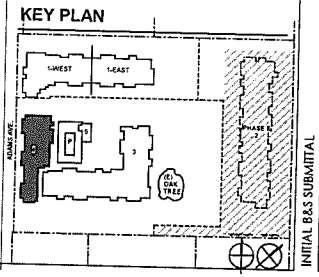
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS.
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.

KEY PLAN



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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - SECOND LEVEL FLOOR PLAN

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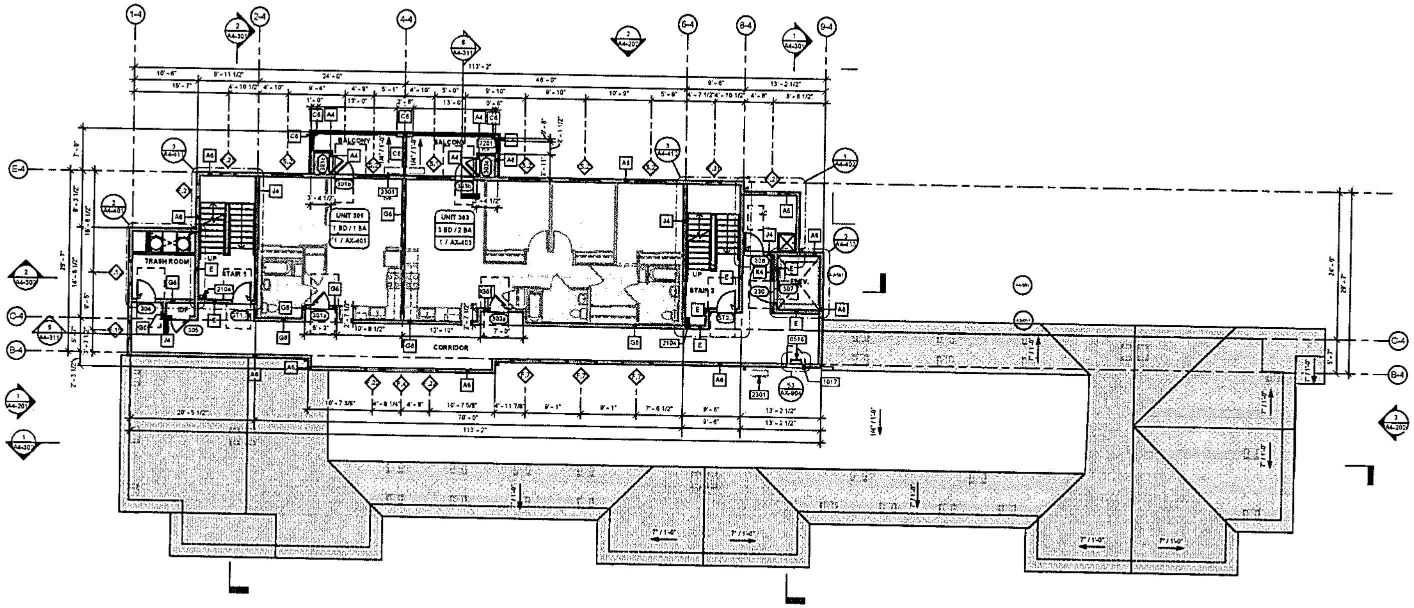


1 03-THIRD FLOOR PLAN - BLDG 4
SCALE: 1/8" = 1'-0"

KEYNOTES

0516	FIXED STEEL LADDER
1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF, 2' X 3'
2104	STAND PIPE
2201	WATER HEATER, SEE PLUMBING DRAWINGS
2301	MECHANICAL UNIT, SEE MECH. DRAWINGS

UNIT LEGEND

UNIT TAG
UNIT XXX — UNIT NUMBER
Type X — UNIT TYPE
SHEET XXX — SHEET NUMBER ENLARGED UNIT PLAN

11B MOB. — **11B MOBILITY UNIT**
THIS IS A MOBILITY ENHANCED UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF *2019 CBC 11B*. REQUIRES 5% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

CTCAC MOB. — **TCAC MOBILITY UNIT**
THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC, REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

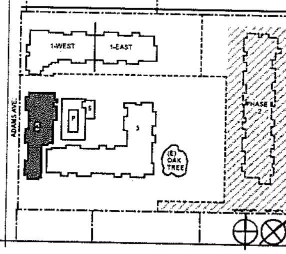
11B or CTCAC COMM. — **COMMUNICATION FEATURES**
THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. *[2019 CBC 11B-809.5 & 907.5.2.3]*.
TCAC, REQUIRES 10% WITH COMMUNICATIONS FEATURES.
2019 CBC 11B REQUIRES 2% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B.THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.12).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AX-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

KEY PLAN



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BLDG 4 - THIRD LEVEL FLOOR PLAN

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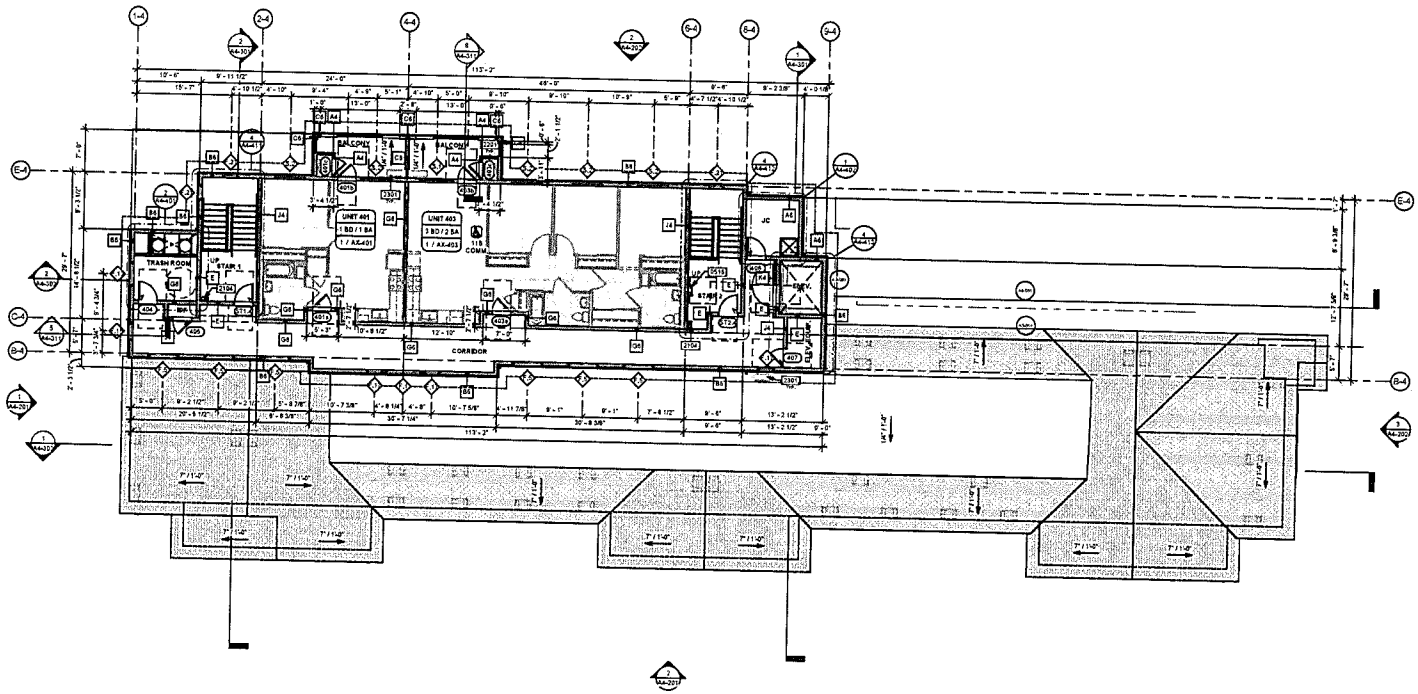

1 04-FOURTH FLOOR PLAN - BLDG 4
A1-201 A4-104 SCALE: 1/8" = 1'-0"

KEYNOTES

0516	FIXED STEEL LADDER
2104	STAND PIPE
2301	WATER HEATER, SEE PLUMBING DRAWINGS
2501	MECHANICAL UNIT, SEE MECH. DRAWINGS

UNIT LEGEND

UNIT XXX — UNIT TAG
UNIT NUMBER
Type X — UNIT TYPE
SHEET XXX — SHEET NUMBER ENLARGED UNIT PLAN

11B MOB. — **11B MOBILITY UNIT**
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CTCAC MOB. — **TCAC MOBILITY UNIT**
THIS IS AN ACCESSIBLE UNIT REGULATED BY CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC). CTCAC, REQUIRES 15% MOBILITY UNITS. THESE UNIT, AS SHOWN, ARE ON AN ACCESSIBLE PATH OF TRAVEL.

11B or CTCAC COMM. — **COMMUNICATION FEATURES**
THIS DWELLING UNIT PROVIDES VISUAL ALARMS AND NOTIFICATIONS FOR THE VISUALLY AND HEARING IMPAIRED, AS REQUIRED. (2019 CBC 11B-809.5 & 907.5.2.3).
TCAC, REQUIRES 15% WITH COMMUNICATIONS FEATURES.
2019 CBC 11B REQUIRES 3% WITH COMMUNICATIONS FEATURES.

ADAPTABLE
ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE. THIS IS A DWELLING UNIT THAT COMPLIES WITH THE ACCESSIBILITY PROVISIONS OF CBC 11B.THIS UNIT COULD BE EASILY RETROFITTED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT BATHROOMS AND KITCHENS PER 2019 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.12).

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AX-401 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
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7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
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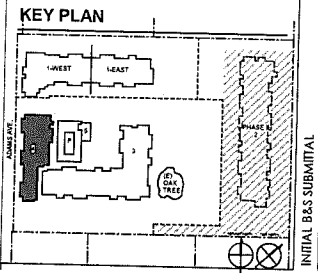
KEY PLAN



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BLDG 4 - FOURTH LEVEL FLOOR PLAN

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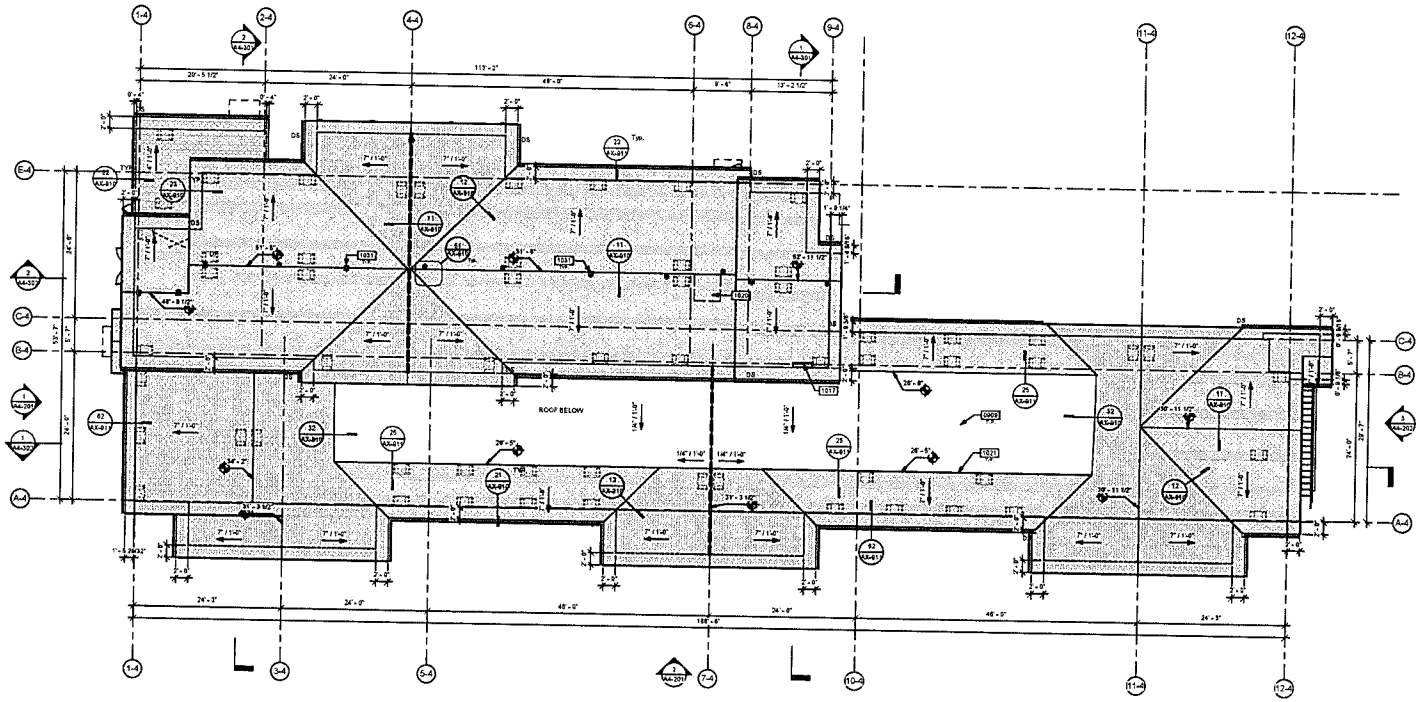


1 05 - ROOF PLAN BLDG 4
A3-101 A4-111 SCALE: 1/8" = 1'-0"

KEYNOTES

0616	BUILT-UP ROOFING
1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF, 3' X 3'
1020	ATTIC ACCESS PANEL
1021	ATTIC VENT (UPPER), PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
1031	ROOF MOUNT TZ BACK ANCHOR

ROOF PLAN DRAINAGE NOTES

1. DOWNSPOUT SIZING: ALL DOWNSPOUTS TO BE 3"X4" RECTANGULAR DOWNSPOUTS.
   A. MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREAS (DWHR PER CPC 2019 TABLE D101.1) WITH A 3" RECTANGULAR DOWN SPOUT PER CPC 2019 TABLE 1103.1 = 4466SF.
   B. MAXIMUM PROPOSED (WORST CASE) HORIZONTAL PROJECTED ROOF AREA TO BE: 1918 SF, SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A DOWNSPOUT.
2. GUTTER SIZING FOR PITCHED ROOF AREAS: ALL GUTTERS TO BE 4" AT 1/16" PER FOOT SLOPE.
3. MAXIMUM ROOF AREAS:7235F (PER CBC 2019 TABLE 1103.3)
4. MAXIMUM PROPOSED ROOF AREA TO BE: 985 SF, SEE ROOF PLAN FOR SPECIFIC PROPOSED ROOF AREAS SERVING A GUTTER.

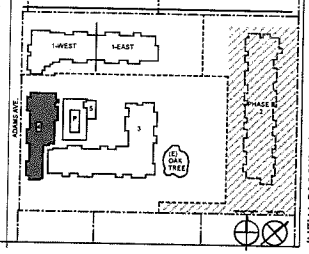
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC 1507.1), AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH (2019 CBC SECTION 1203). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER (2019 CBC 1202.2.3)
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 10'-0" — HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)
- 2" / 12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- OHAGIN ATTIC VENT, PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR ELEVATIONS FOR COLORS AND MATERIALS)
- C&J ROOF JACK VENT
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT
- DOWNSPOUT. TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT. REFER TO MECHANICAL PLANS

KEY PLAN



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BLDG 4 - ROOF PLAN

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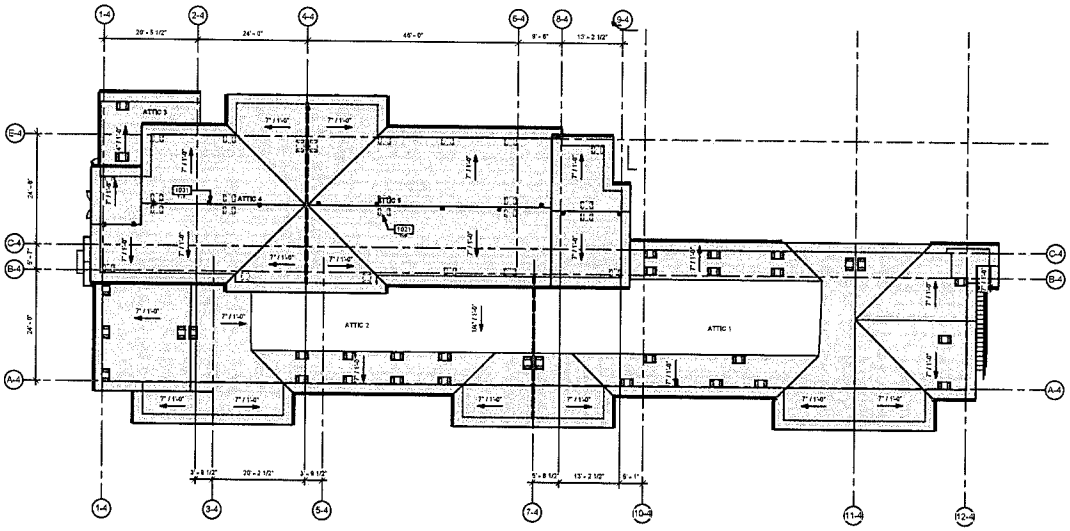


1 05 - ROOF VENTILATION PLAN BLDG 4

A-201 (M-112) SCALE: 3/32" = 1'-0"

ROOF VENTING CALCULATIONS

UPPER VENTS: *OHAGIN TAPERED LOW PROFILE STANDARD LINE*
72.8 SQ.IN OF AIR MOVEMENT PER VENT = 72 SQ.IN. / 144 = 0.5 SF

LOWER VENTS: *EAVE VENTS 24" WITH (3) 3" HOLES = 0.05 SF*

"UPPER VENTS PROVIDED" = (TOTAL ATTIC AREA/306) * (0.5) / (0.5 SF)

"LOWER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) / (0.05 SF)

ATTIC	AREA	REQUIRED ATTIC VENTING (NFA)	UPPER VENTING REQUIRED (NFA)	LOWER VENTING REQUIRED (NFA)
ATTIC 1 = 84	2558 SF	8.36 SF	4.18 SF	4.18 SF
ATTIC 2 = 84	2337 SF	8.92 SF	4.46 SF	4.46 SF
ATTIC 3 = 84	127 SF	0.42 SF	0.21 SF	0.21 SF
ATTIC 4 = 84	1174 SF	3.91 SF	1.96 SF	1.96 SF
ATTIC 5 = 84	1069 SF	3.29 SF	1.14 SF	2.14 SF

VENT TYPE	COUNT	VENT LENGTH	NET FREE AREA PER VENT	PROVIDED NET FREE AREA
ATTIC 1				
OHAGIN SHINGLE ROOF VENT (LOWER)	9	2' - 6"	0.50 SF	4.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	9	2' - 6"	0.50 SF	4.50 SF
				9.00 SF
ATTIC 2				
OHAGIN SHINGLE ROOF VENT (LOWER)	7	2' - 6"	0.50 SF	3.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	7	2' - 6"	0.50 SF	3.50 SF
				7.00 SF
ATTIC 3				
OHAGIN SHINGLE ROOF VENT (LOWER)	1	2' - 6"	0.50 SF	0.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	1	2' - 6 7/8"(28"	0.50 SF	0.50 SF
				1.00 SF
ATTIC 4				
OHAGIN SHINGLE ROOF VENT (LOWER)	5	2' - 6"	0.50 SF	2.50 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	5	2' - 6"	0.50 SF	2.50 SF
				5.00 SF
ATTIC 5				
OHAGIN SHINGLE ROOF VENT (LOWER)	8	2' - 6"	0.50 SF	4.00 SF
OHAGIN SHINGLE ROOF VENT (UPPER)	7	2' - 6"	0.50 SF	3.50 SF
				7.50 SF

KEYNOTES

1031	ATTIC VENT (UPPER). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
1031	ROOF MOUNT TILEBACK ANCHOR

ROOF PLAN GENERAL NOTES

PER 2019 CBC SECTION 1203.2 & 1203.2.2

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATION OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
2. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR, AN AIRSPACE OF NOT LESS THAN 1-INCH SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
3. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
4. THE NET-FREE CROSS VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
5. VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, SQUIRRELS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES.
7. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH SHALL BE PERMITTED.
8. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4-INCH SHALL BE PROVIDED WITH WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/4-INCH.

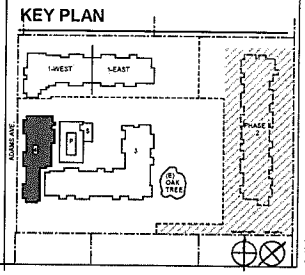
ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO GTE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL SHEATHING TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH *(2019 CBC SECTION 1507.1)*, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
12. WHERE PROVIDED, VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH *(2019 CBC SECTION 1202)*. EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/4" PER *(2019 CBC 1202.2.2)*
13. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

LEGEND

- 12'-0" — HEIGHT OF TOP OF ROOFING SURFACE (BELOW GRADE CONCRETE AND BRICK FACES)
- 2" / 12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- OHAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO ROOF PLANS FOR COLORS AND MATERIALS)
- C&J ROOF JACK VENT
- WALL BELOW
- GUTTER. CONNECT TO DOWNSPOUT
- DOWNSPOUT, TO ROOF OR SPLASHBLOCK BELOW U.N.O.
- FUTURE SOLAR ZONE. REFER TO SOLAR READY NOTES ON SHEET G-101.
- DRAFT STOP LOCATION
- MECHANICAL EQUIPMENT, REFER TO MECHANICAL PLANS

KEY PLAN



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3765 S. Higuera, San Luis Obispo, CA 93401

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nationalcore.org

CONTINUANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - ROOF VENTILATION PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-112

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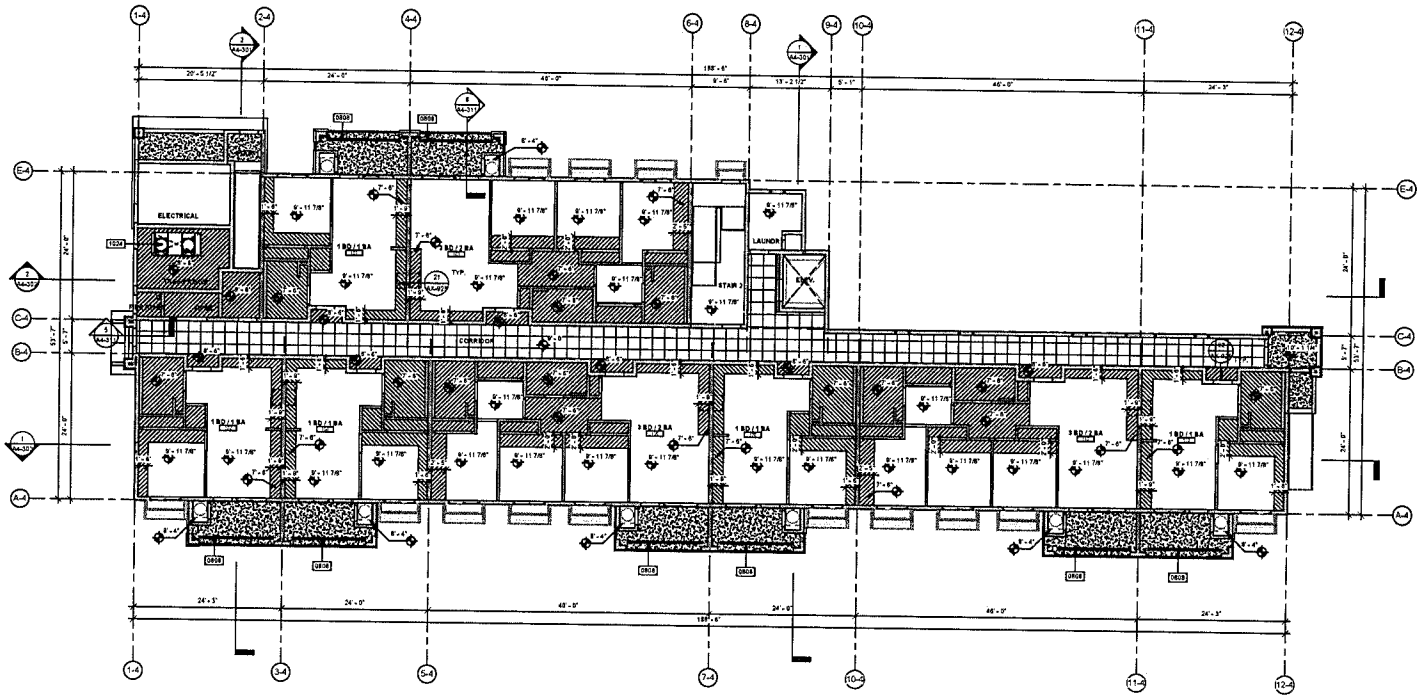

1 01-GROUND FLOOR - BLDG 4 - RCP

A4-301 A4-311 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.4, ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKWAY SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 8 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) / (8 SQ. IN / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
108 SF	0.061266	12	12

KEYNOTES

0808	SOFFIT VENT
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- XX'-X" CEILING HEIGHT (SEE PLAN TYP. ACT FOR HEIGHT)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA, CA 92562
BLDG 4 - REFLECTED CEILING PLAN - GROUND LEVEL

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-121

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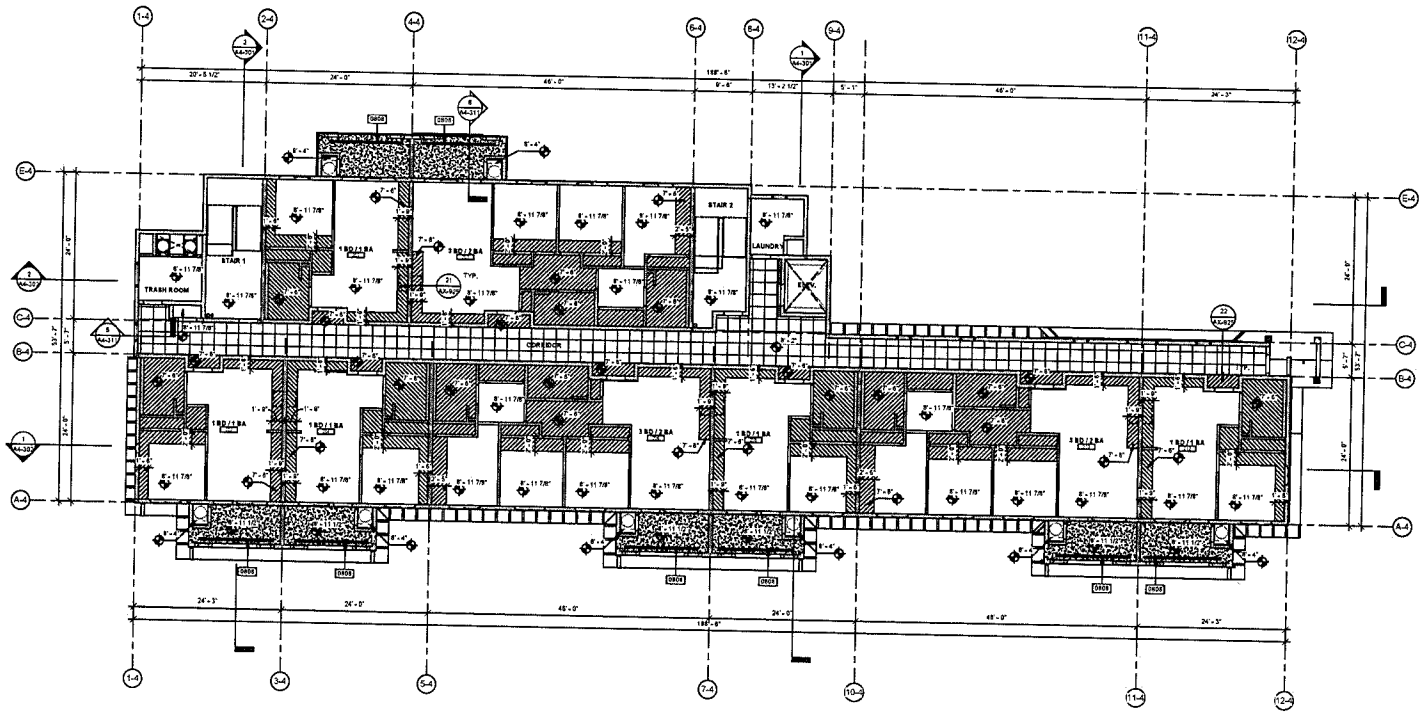

1 02-SECOND FLOOR - BLDG 4 - RCP

A4-122 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2018 C.B.C 2304.12.2.8, ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 9 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) / 9 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
104 SF	0.061066	12	12

KEYNOTES

0809	SOFFIT VENT

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN. U.N.O.
6. BORDERS AT LAVAY ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING FOR INVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENINGS AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

XX'-X"	CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
	INTERIOR - GYPSUM BOARD CEILING
	INTERIOR - GYPSUM BOARD SOFFIT
	INTERIOR - ACOUSTICAL TILE CEILING
	EXTERIOR - CEMENT PLASTER SOFFIT

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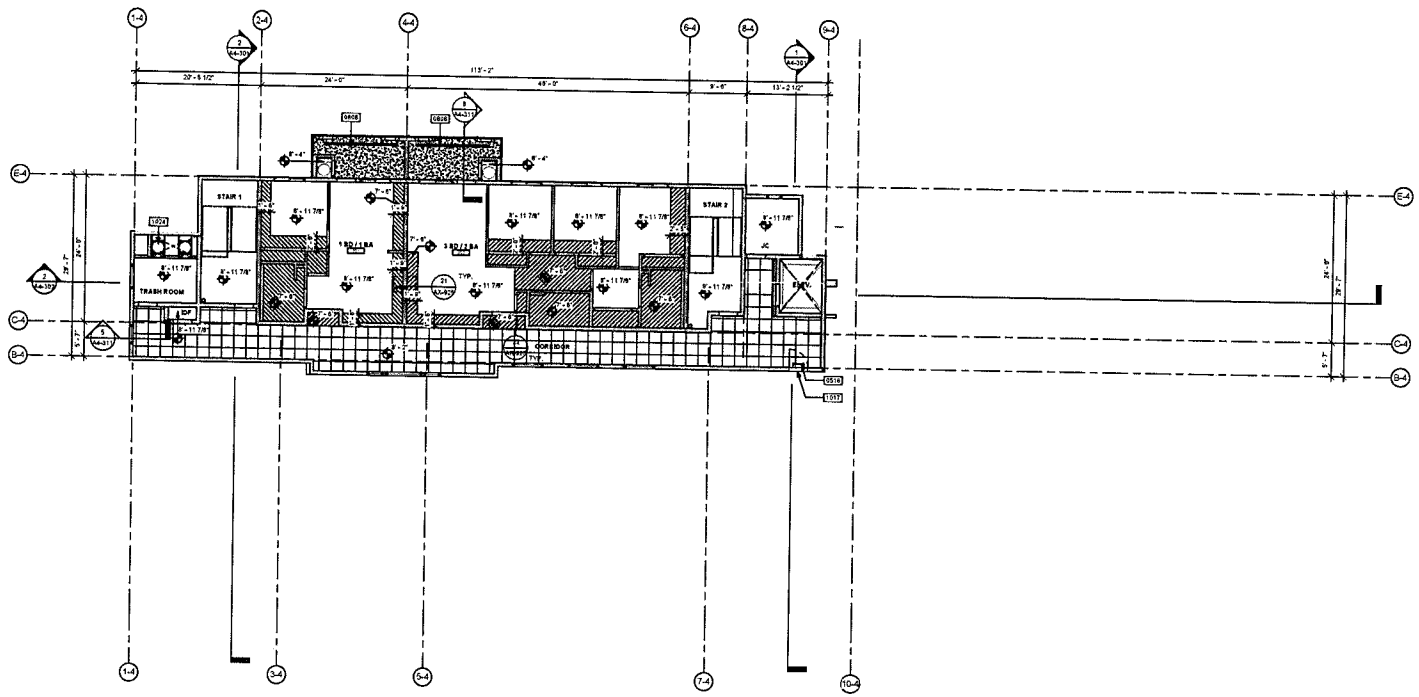
AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - REFLECTED CEILING PLAN - SECOND LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-122



1 03-THIRD FLOOR - BLDG 4 - RCP

A4-311 A4-321 SCALE: 1/8" = 1'-0"

UNDER BALCONY VENT CALCS

NOTE:
PER 2019 CBC 2304.12.2.6: ENCLOSED FRAMING IN EXTERIOR BALCONIES AND ELEVATED WALKING SURFACES THAT ARE EXPOSED TO RAIN, SNOW, OR DRAINAGE FROM IRRIGATION, SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE.

NFA OF AIR MOVEMENT = 8 SQ. IN. PER LINEAR FT.
VENT LENGTH REQ. = (BALCONY AREA / 150) (8 SQ. IN. / 144 SQ. IN.)

VENT MANUFACTURER: AIR VENT
PRODUCT: CONTINUOUS SOFFIT VENT (SV SERIES) OR APPROVED EQUAL
WWW.AIRVENT.COM

BALCONY AREA (SF)	REQUIRED BALCONY VENTING @ 1/150	VENT LENGTH REQUIRED (FT)	VENT LENGHT PROPOSED
108 SF	5.081306	12	12

KEYNOTES

0516	FIXED STEEL LADDER
0918	SOFFIT VENT
1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF, 2' X 3'
1024	TRASH CHUTE

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
6. BORDERS AT LAYIN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPET'S.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFITS/GWB BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
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11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- XX'-X" CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - REFLECTED CEILING PLAN - THIRD LEVEL

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-123

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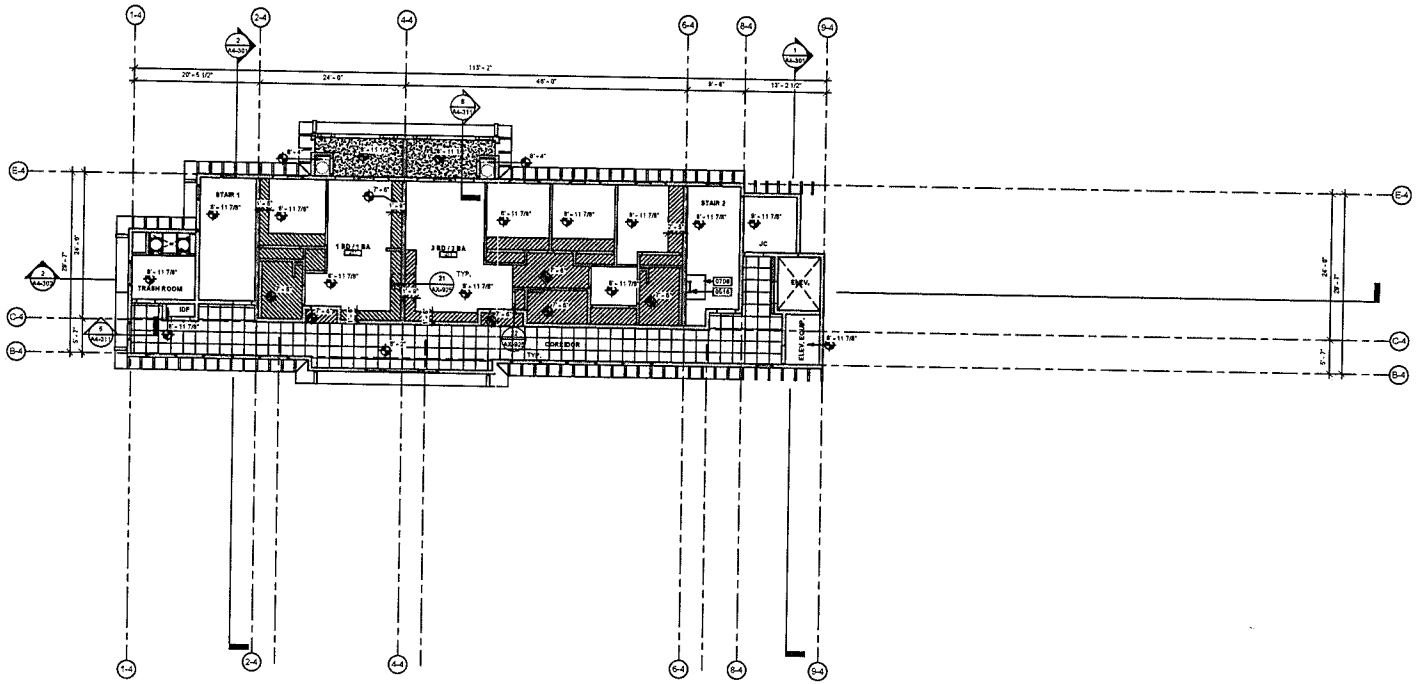

1 04-FOURTH FLOOR - BLDG 4 - RCP

P-2.01 A4-124 SCALE 1/8" = 1'-0"

KEYNOTES

0516	FIXED STEEL LADDER
0706	ROOF / ATTIC INSULATION, R-38 min., REFER TO TITLE 24

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
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7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS.
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS, PAINT TO MATCH CEILING.
9. AT DROPPED GWB SOFFIT/SIGNS BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THIN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS.
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENINGS AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS, AND EXIT SIGN LOCATIONS.

LEGEND

- XX'-X" CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

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AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - REFLECTED CEILING PLAN - FOURTH LEVEL

NO.	REVISION	DATE
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-124

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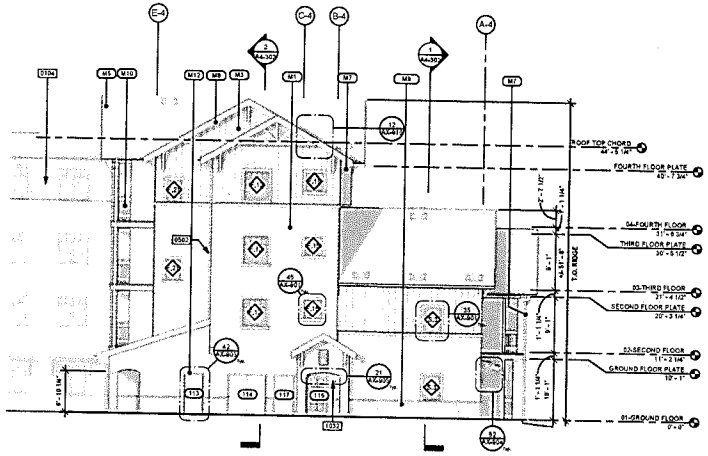
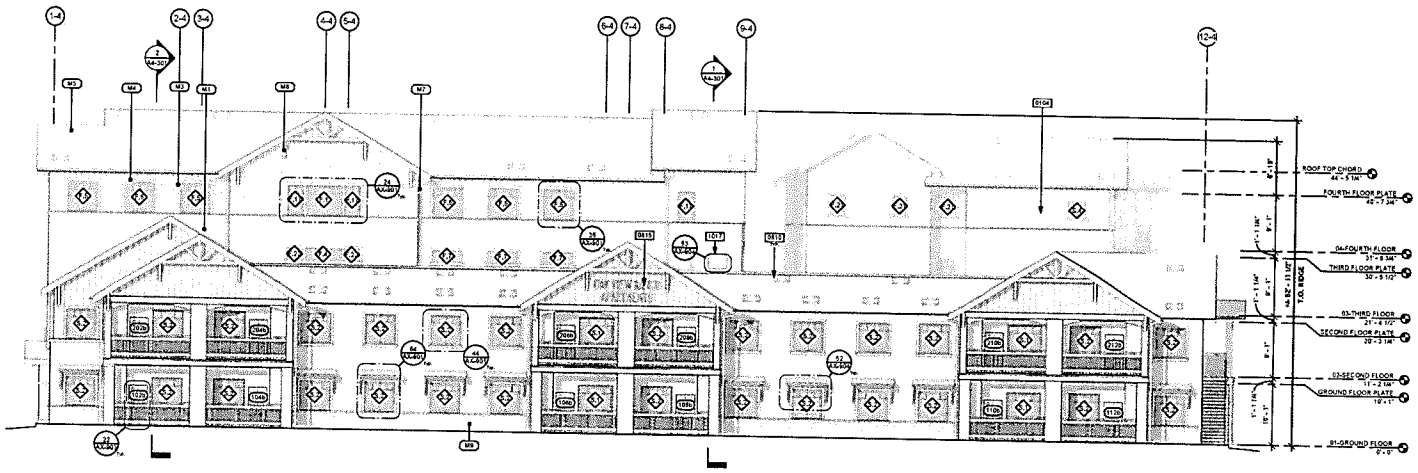


1 NORTH ELEVATION - BLDG 4

PARTIAL ANALYSIS SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - BLDG 4

PARTIAL ANALYSIS SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATH, PAINTED
M2	M02 PLASTER AND LATH, PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M6	GUTTER, PAINTED
M7	DOWNSPOUT, PAINTED
M8	RAFTER TAIL, PAINTED
M9	STONE VENEER
M10	METAL GUARDRAIL, PAINTED
M12	DOORS

KEYNOTES

S104	BUILDING 3 BEYOND
S502	METAL DOWNSPOUT
S615	BUILDING ADDRESS NUMBERS, COMPLY WITH CITY OF MURRIETA MUNICIPAL CODE
S810	ATTIC VENT, PAINT OR MATCH ROOF COLOR
T017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF, 3' X 3'
T032	KNOX BOX, MODEL AND LOCATION TO BE APPROVED BY MFD

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS, FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

7 — MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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37633 Higuera, San Luis Obispo, CA 93401

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COPYLINE

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - EXTERIOR ELEVATIONS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/06/2022
PROJECT NUMBER 1853-05
SHEET A4-201

11/09/2022 10:45:17 AM
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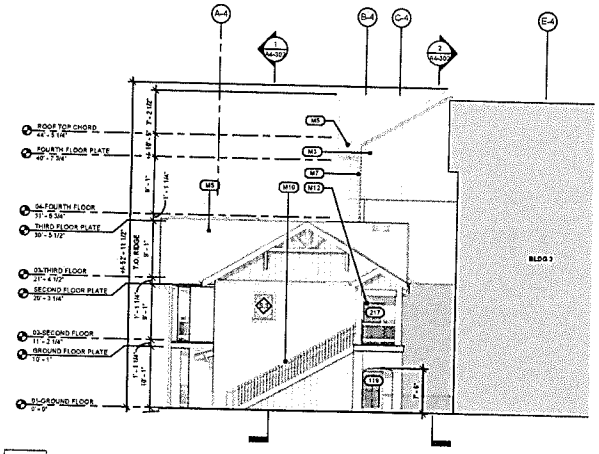
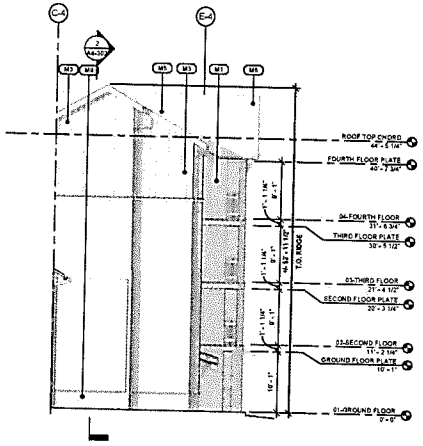
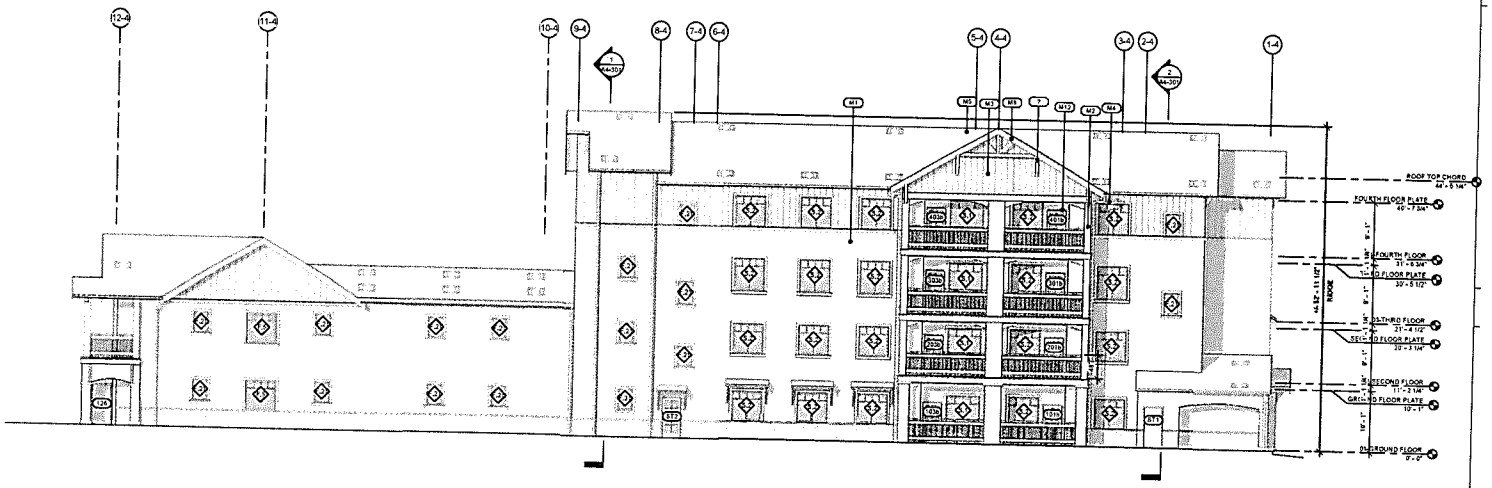


3 SOUTH ELEVATION - BLDG 4
A4-101 A4-202 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION @ GAP - BLDG 4
A4-101 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BLDG 4
A4-101 A4-202 SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATH, PAINTED
M2	M1/2 PLASTER AND LATH, PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M6	GUTTER, PAINTED
M7	DOWNSPOUT, PAINTED
M8	RAFTER TAIL, PAINTED
M9	STONE VENEER
M10	METAL GUARDRAIL, PAINTED
M12	DOORS

KEYNOTES

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS, FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS. PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

7 — MATERIAL TAG, REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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CONSULTANT

AGENCY

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - EXTERIOR ELEVATIONS

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PROJECT NUMBER 1853-05
SHEET A4-202

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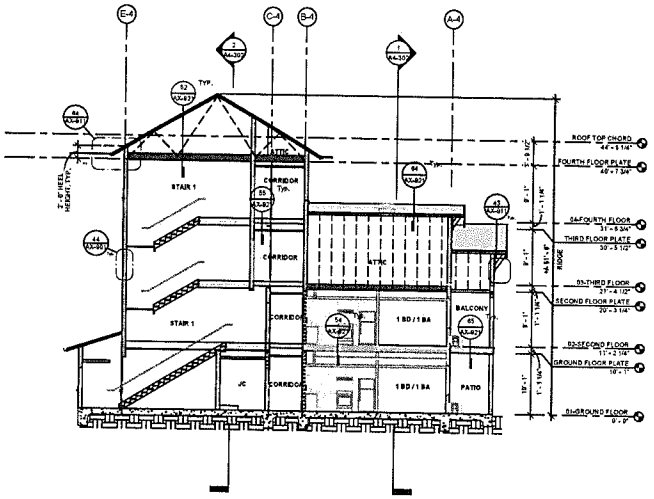
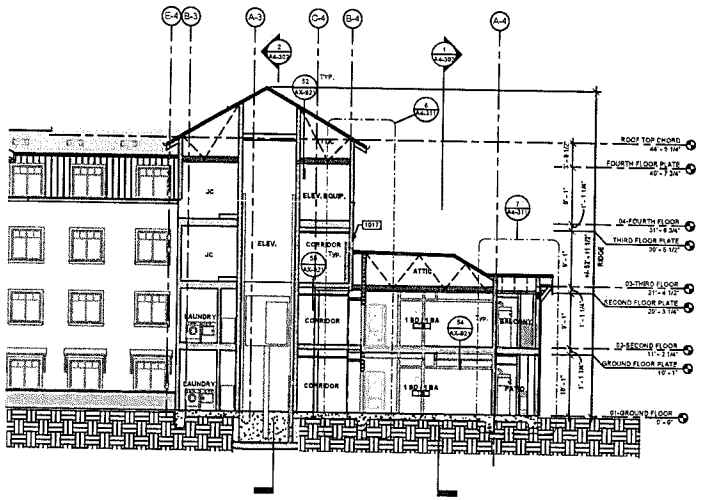


2 TRANSVERSE SECTION 1 - BLDG 4

A4-101 A4-201 SCALE: 1/8" = 1'-0"



1 TRANSVERSE SECTION 2 - BLDG 4

A4-101 A4-201 SCALE: 1/8" = 1'-0"

KEYNOTES

1017	SECURITY EXTERIOR WALL ACCESS DOOR TO ROOF. 2' X 3'

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES, FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
3. REFER TO FIREBLOCKING/DRAFTSTOPPING NOTES ON SHEET G-101.
4. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED PER *2016 CBC SECTION 2304.12*
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. *2016 CBC SECTION 2304.11.2*
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2016 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

LEGEND

SEPARATION & SYMBOLS:

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (ARCHITECTURAL CONTINUOUS TO PATED CEILING ABV.)

1HR FIRE BARRIER (CONTINUOUS PRTECTION FROM FOUNDATION OR FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOR OR ROOF SHEATHING ABOVE)

2-HR FIRE BARRIER (CONTINUOUS PRTECTION FROM FOUNDATION OR FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOR OR ROOF SHEATHING ABOVE)

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BLDG 4 - BUILDING SECTIONS

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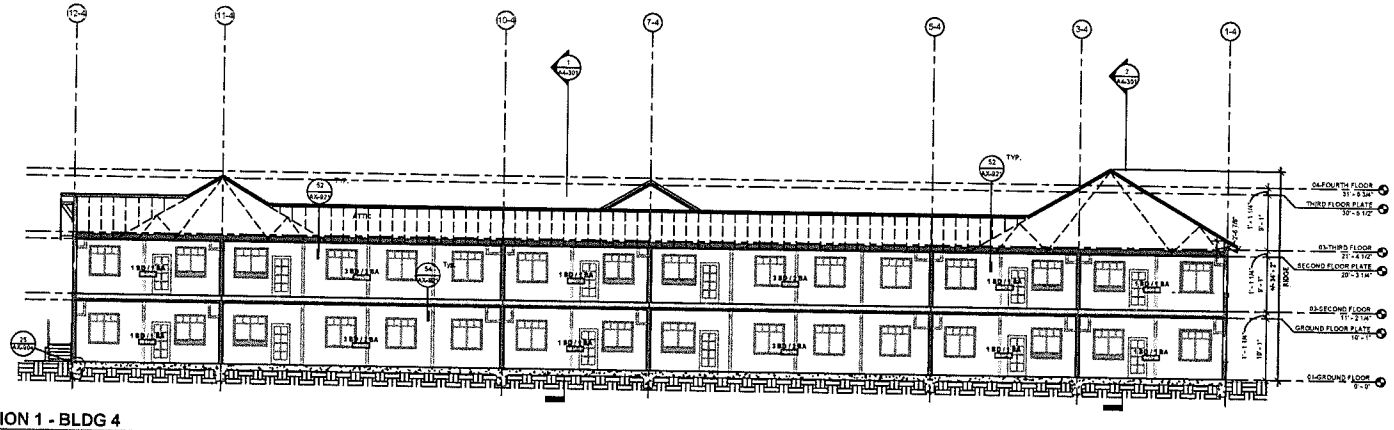
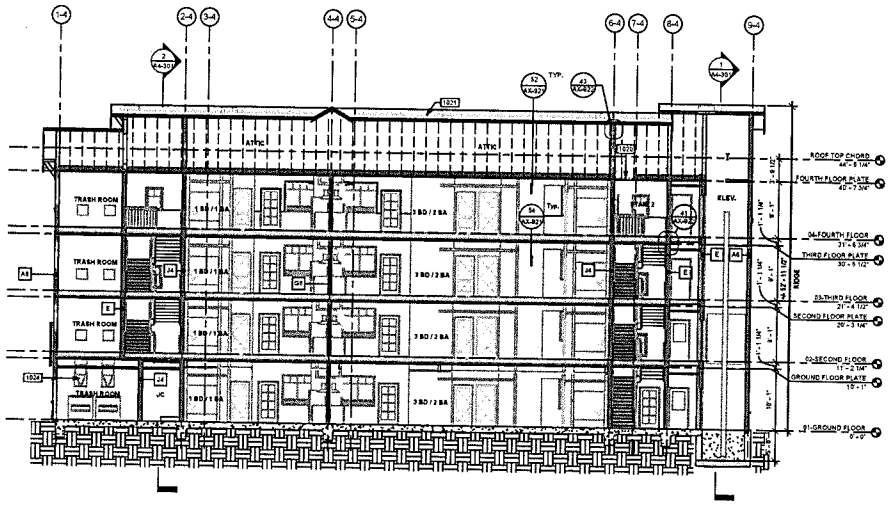


1 LONGITUDINAL SECTION 1 - BLDG 4



2 LONGITUDINAL SECTION 2 - BLDG 4

A-301 A4-302 SCALE: 1/8" = 1'-0"

KEYNOTES

1029	ATTIC ACCESS PANEL
1021	ATTIC VENT GUTTER L PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
1034	TRASH CHUTE

SECTIONS GENERAL NOTES

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LEGEND

SEPARATION & SYMBOLS:

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50 (PROTECTED W/ CONTINUOUS 1-HR RATED CEILING ABOVE)

1HR FIRE BARRIER (EXTERIOR WALL PROTECTION FROM FOUNDATION TO FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

3HR FIRE BARRIER (EXTERIOR WALL PROTECTION FROM FOUNDATION TO FLOOR / CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR ROOF SHEATHING ABOVE)

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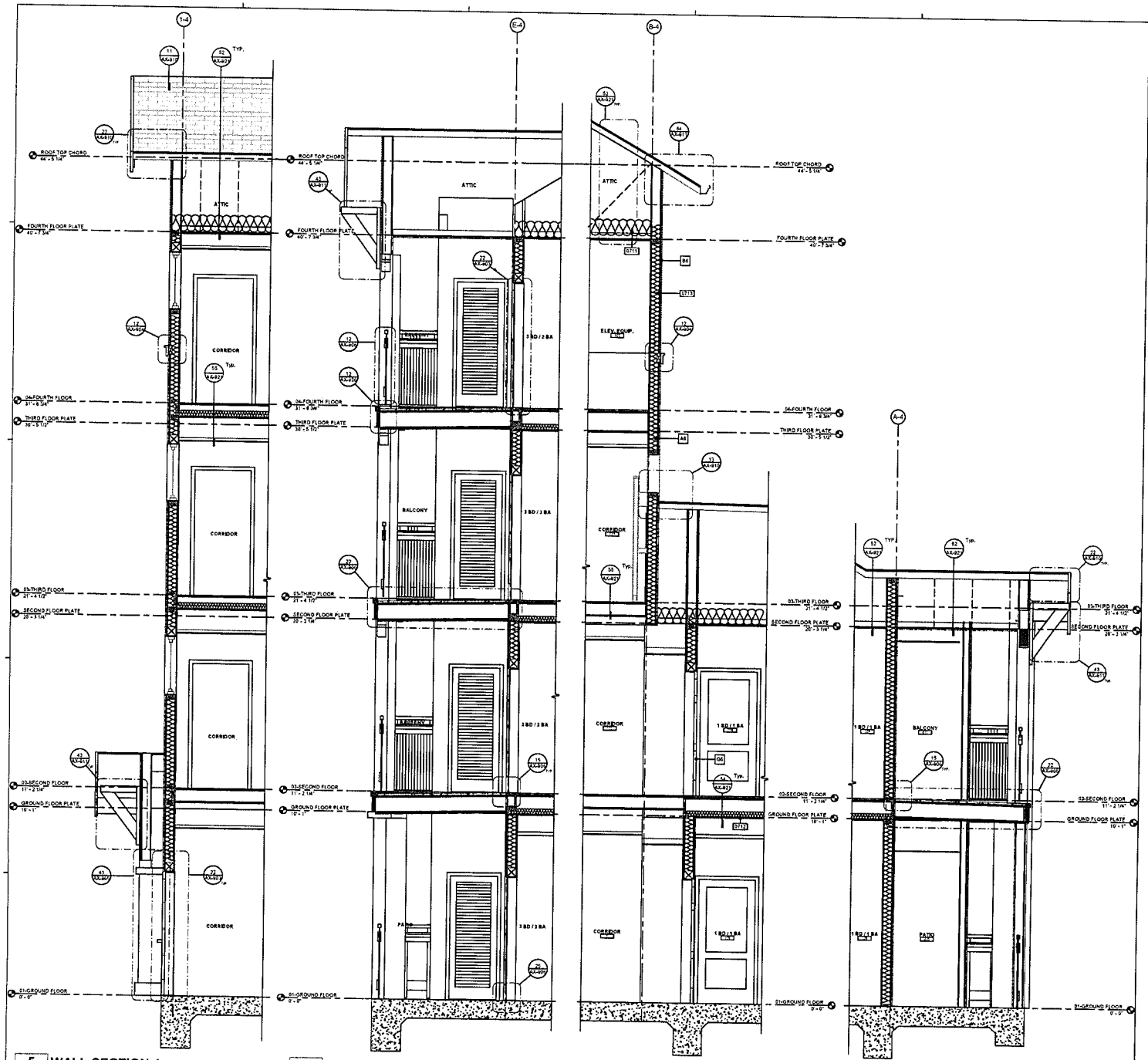

5 WALL SECTION 4
A4-311 A4-311 SCALE: 1/2" = 1'-0"

8 WALL SECTION 3
A4-311 A4-311 SCALE: 1/2" = 1'-0"

6 WALL SECTION 2
A4-20 A4-311 SCALE: 1/2" = 1'-0"

7 WALL SECTION 1
A4-20 A4-311 SCALE: 1/2" = 1'-0"

SECTIONS GENERAL NOTES

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6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2019 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

KEYNOTES

0711	ROOF/ATTIC/CEILING INSULATION, R-38 PER TITLE 24
0712	HORIZONTAL FLOOR INSULATION, REFER TO FLOOR/CEILING ASSEMBLY DETAIL
0713	WALL INSULATION, R-21 PER TITLE 24, REFER TO WALL ASSEMBLY DETAILS

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MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA, CA 92562
BLDG 4 - WALL SECTIONS

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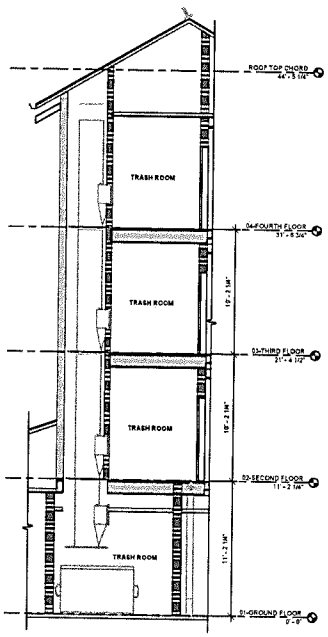
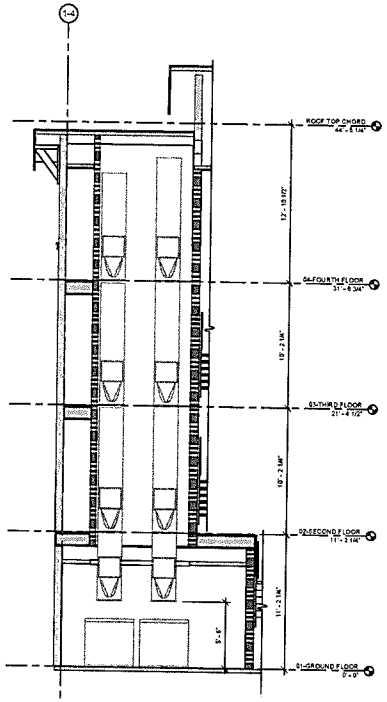
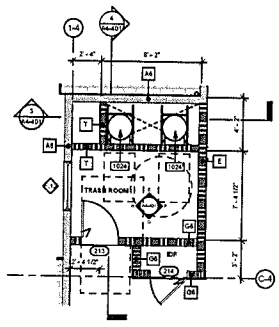


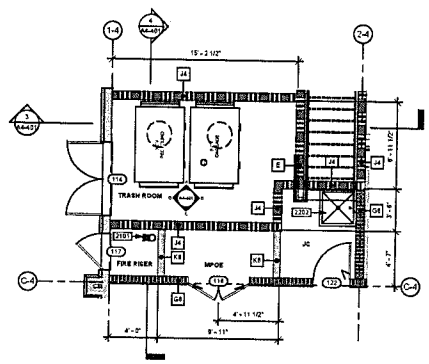
4 TRASH ROOM SECTION - 2
AA-401 | AA-401 SCALE: 1/4" = 1'-0"



3 TRASH ROOM SECTION - 1
AA-401 | AA-401 SCALE: 1/4" = 1'-0"



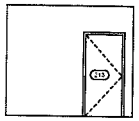
2 TRASH ROOM, TYP.
AA-401 | AA-401 SCALE: 1/4" = 1'-0"



1 TRASH TERMINATION ROOM
AA-401 | AA-401 SCALE: 1/4" = 1'-0"

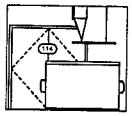
H WEST ELEVATION
SCALE: 1/4" = 1'-0"

C SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



G SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

F EAST ELEVATION
SCALE: 1/4" = 1'-0"



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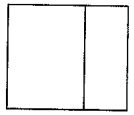

B EAST ELEVATION
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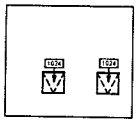

E NORTH ELEVATION
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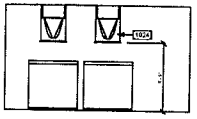

A NORTH ELEVATION
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2,3

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W/ BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40"MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104
8.

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET AX-641930
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET AX-646945
FOR ACCESSIBLE REACH RANGES SEE SHEET AX-646946

KEYNOTES

1024	TRASH CHUTE
2101	FIRE SPRINKLER RISER
2202	MOP BASIN WITH MOP SINK FAUCET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 804.5.*
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET AA-501 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS.
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

LEGEND

SEPARATION & SYMBOLS:

1-HOUR RATED FIRE PARTITION W/ MIN. STC 50
(PER SECTION CONSTRUCTION TO RATED CEILING ABOVE)

1HR FIRE BARRIER
(CONTINUOUS PROTECTION FROM FOUNDATION TO FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR R.O.F. SHEATHING ABOVE)

2HR FIRE BARRIER
(CONTINUOUS PROTECTION FROM FOUNDATION TO R.O.F. FLOOR/CEILING ASSEMBLY BELOW TO UNDERSIDE OF FLOOR OR R.O.F. SHEATHING ABOVE)

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BLDG 4 - ENLARGED PLAN & INT. ELEV.

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PROJECT NUMBER 1853-05
SHEET A4-401

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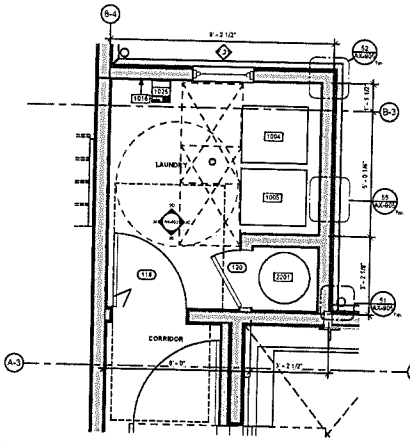
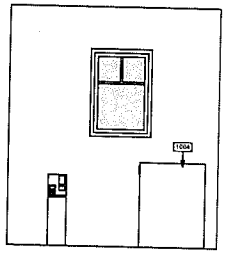
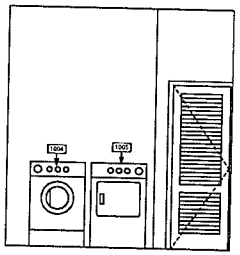
LAUNDRY PLAN AND ELEVATIONS - GF, L2



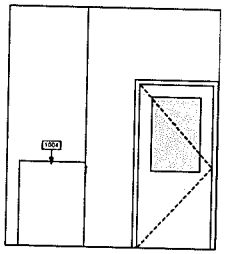
2 LAUNDRY ROOM FLOOR PLAN
A4-401 A4-402 SCALE: 1/2" = 1'-0"



2D NORTH ELEVATION L
SCALE: 1/2" = 1'-0"



2C EAST ELEVATION L
SCALE: 1/2" = 1'-0"



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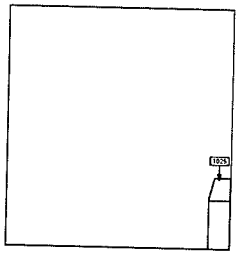
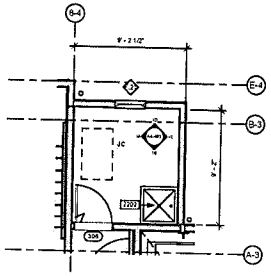
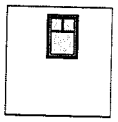


2A WEST ELEVATION L
SCALE: 1/2" = 1'-0"

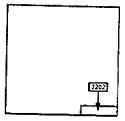
JANITOR CLOSET PLAN AND ELEVATIONS - L3, L4



1 JANITOR CLOSET FLOOR PLAN
A4-102 A4-402 SCALE: 1/4" = 1'-0"



1D NORTH ELEVATION JC - BLDG 4
SCALE: 1/4" = 1'-0"



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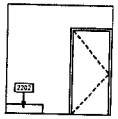
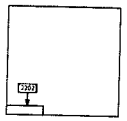


1B SOUTH ELEVATION JC - BLDG 4
SCALE: 1/4" = 1'-0"



1A WEST ELEVATION JC - BLDG 4
SCALE: 1/4" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-304.3.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40"MAX. 48" ABOVE FF.

KITCHEN:
1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
3. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
4. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
5. BOTTOM-HINGED DOOR OVEN S SHALL BE ADJACENT TO A 30" WORK SPACE
6. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
7. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A3-401/402
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A3-441/945
FOR ACCESSIBLE REACH RANGES SEE SHEET A3-441/945

KEYNOTES

1004	WASHING MACHINE
1005	DRYER
1016	BRAILLE SIGNAGE FOR LAUNDRY EQUIPMENT (PAY STATIONS, WASHERS AND DRYERS). REFER TO SHEET A3-441 DETAIL 45
1025	PAYMENT KIOSK
2201	WATER HEATER. SEE PLUMBING DRAWINGS
2202	MOP BASIN WITH MOP SINK FAUCET

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 804.1*.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIREBLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - ENLARGED PLAN & INT. ELEV.

NO.	REVISION	DATE

PROJECT MANAGER
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-402

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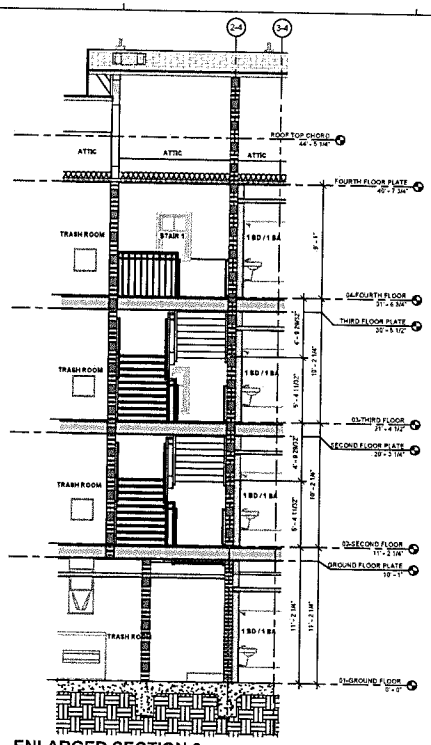

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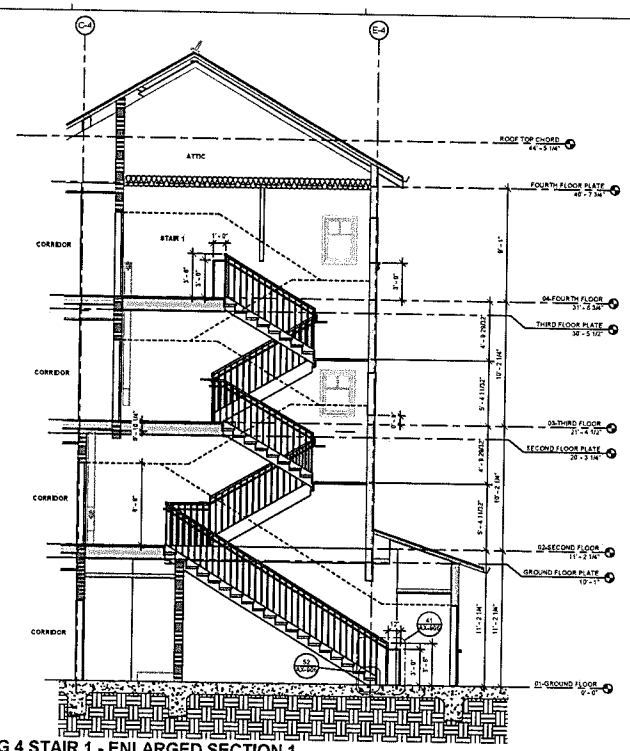

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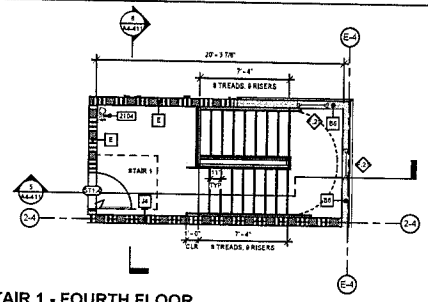

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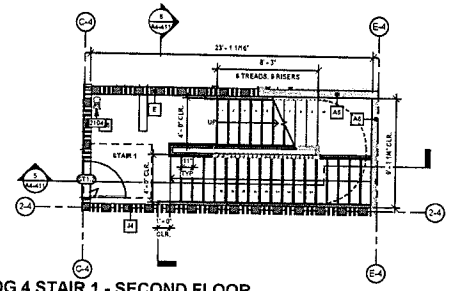

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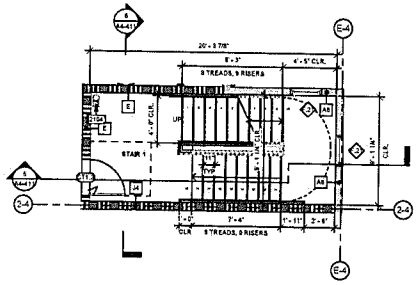

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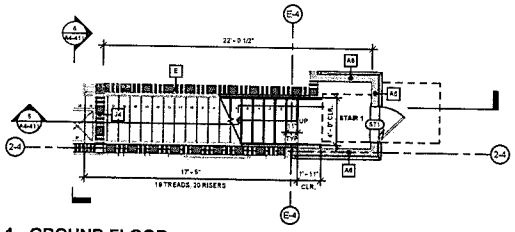

1 BLDG 4 STAIR 1 - GROUND FLOOR

KEYNOTES

21G4	STAND PIPE

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SHEET A4-411

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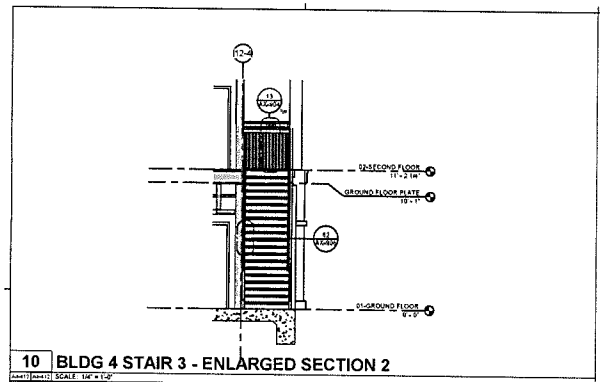

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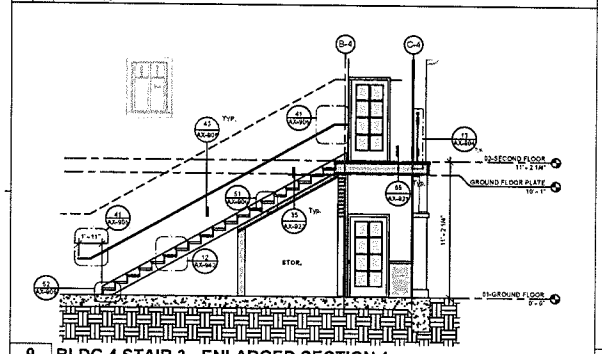

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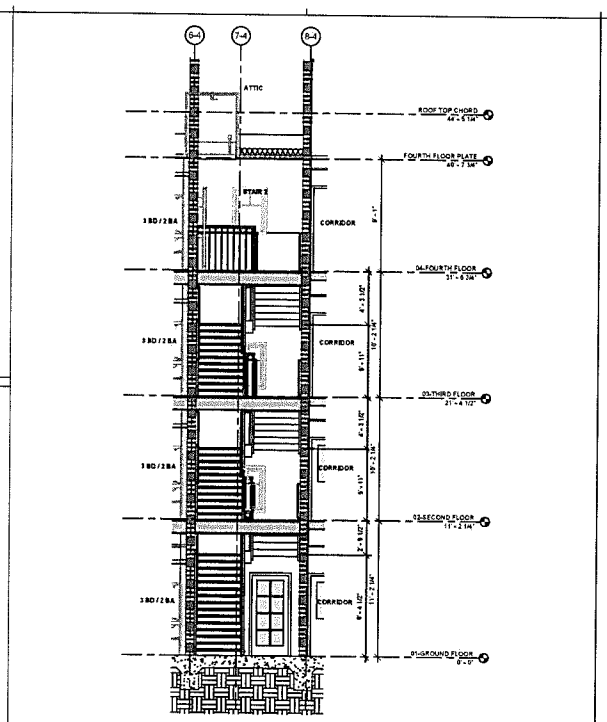

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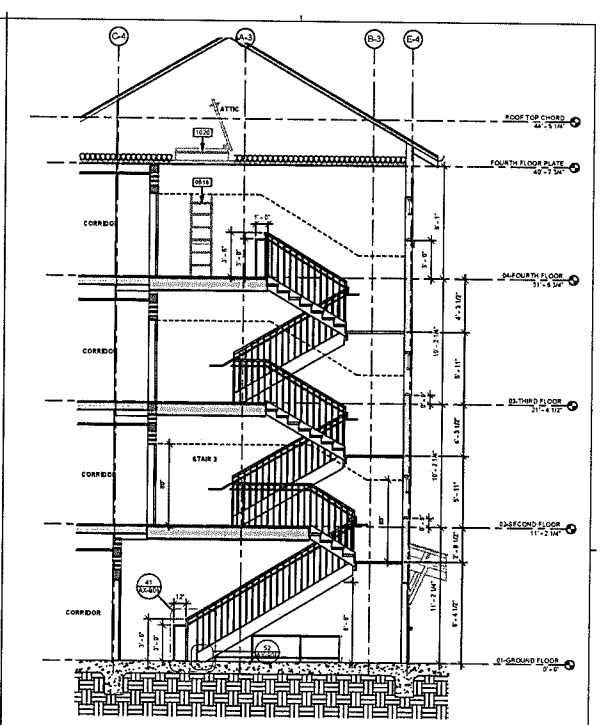

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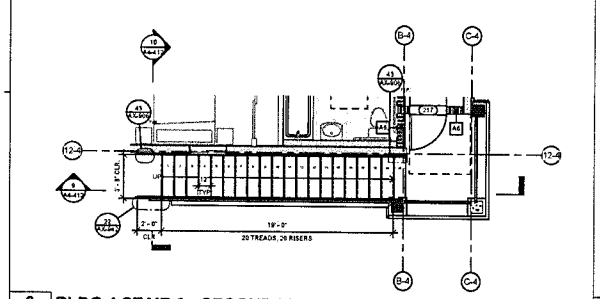

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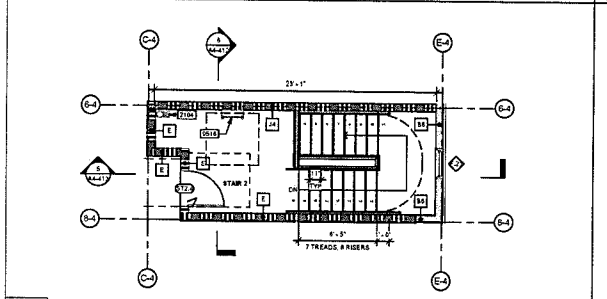

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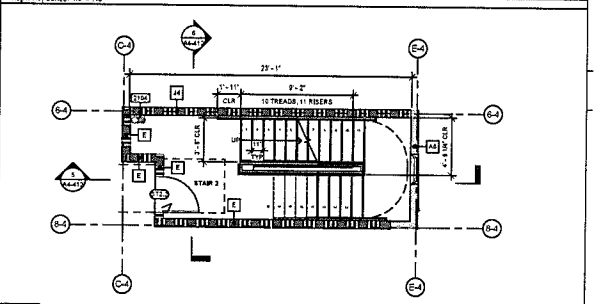

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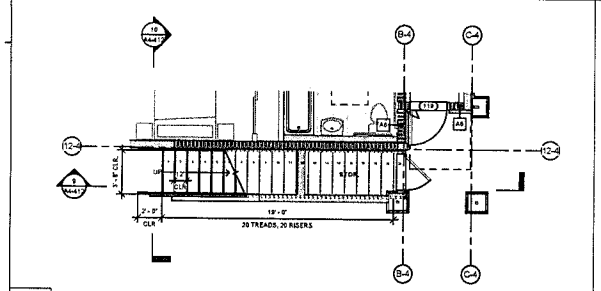

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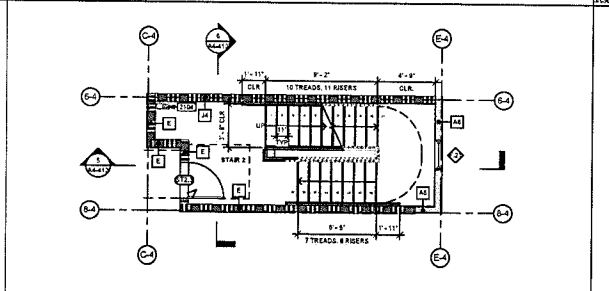
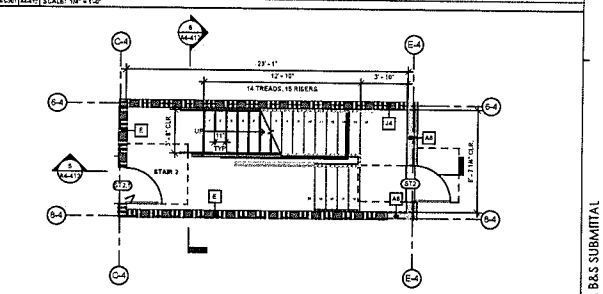


3 BLDG 4 STAIR 2 - THIRD FLOOR



1 BLDG 4 STAIR 2 - GROUND FLOOR

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BLDG 4 - ENLARGED PLANS & SECTIONS STAIRS 2 & 3

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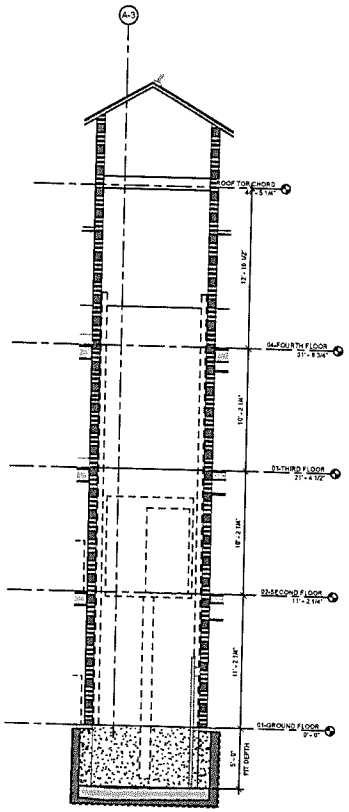
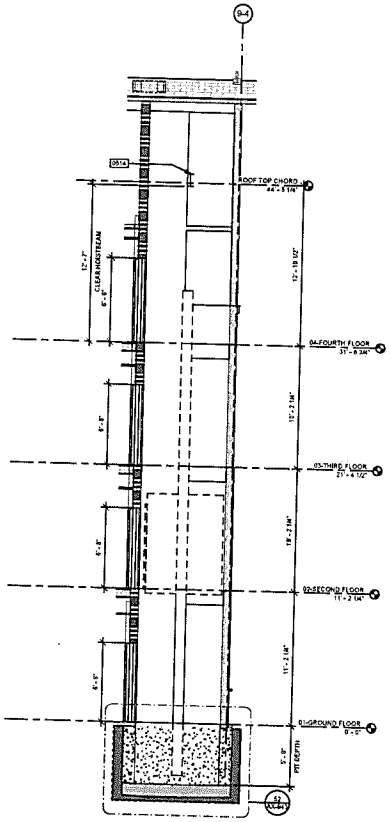
PROJECT NUMBER 1853-05
SHEET A4-412



7 BLDG 4 ELEVATOR - ENLARGED SECTION 2
A4-413 A4-413 SCALE: 1/4" = 1'-0"



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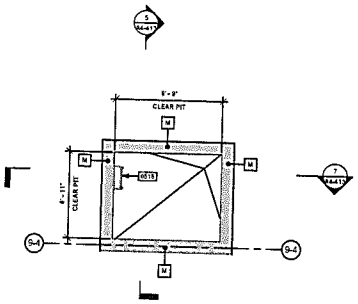

6 BLDG 4 ELEVATOR - PIT PLAN
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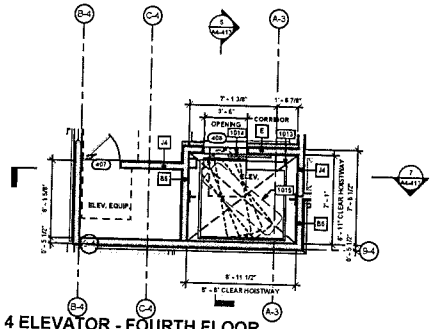

4 BLDG 4 ELEVATOR - FOURTH FLOOR
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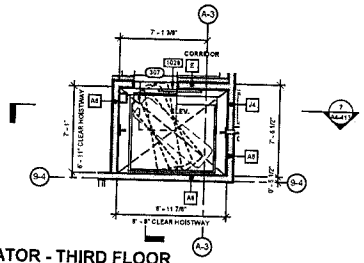
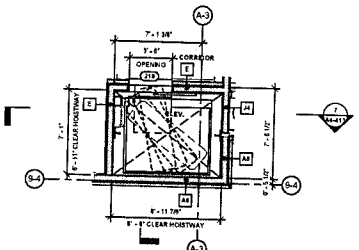
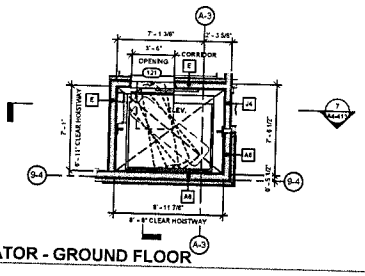


3 BLDG 4 ELEVATOR - THIRD FLOOR
A4-201 A4-413 SCALE: 1/4" = 1'-0"



2 BLDG 4 ELEVATOR - SECOND FLOOR
A4-201 A4-413 SCALE: 1/4" = 1'-0"



1 BLDG 4 ELEVATOR - GROUND FLOOR
A4-201 A4-413 SCALE: 1/4" = 1'-0"

ELEVATOR GENERAL NOTES

1. PER 2019 CBC 11B-233.3.1.3.1, ALL RESIDENTIAL UNITS ON FLOORS SERVED BY AN ELEVATOR SHALL BE ADAPTABLE AND COMPLY WITH CHAPTER 11A,DIVISION IV DWELLING UNIT FEATURES) AND SHALL BE ON AN ACCESSIBLE ROUTE AS REQUIRED BY SECTION 11B-206.
2. REFER TO A9.469 FOR ELEVATOR CONTROLS & SIGNAGE.
3. REFER TO MANUFACTURERS DWGS FOR CAB, HOISTWAY AND DOOR DETAILED INFORMATION.

KEYNOTES

0514	SAFETY BEAM PER STRUCTURAL
0515	ELEVATOR PIT LADDER
1013	2500 LB. CAPACITY TRACTION PASSENGER ELEVATOR INSTALL ELEVATOR CAB AND HOISTWAY PER MANUFACTURER'S SPECS
1014	ELEVATOR DOOR PER MANUFACTURER'S SPECS
1015	GURNEY OR STRETCHER WALL 2'-3"
1026	SMOKE AND DRAFT CONTROL DOOR ON MAGNETIC HOLD OPEN

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MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - ENLARGED PLANS & SECTIONS ELEVATOR

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-413

COMMON AREAS FINISH SCHEDULE

XXXX	FLOOR	CEILING	BASE	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	NOTES
01-GROUND FLOOR								
JC	LVP	GWB, PAINT	4" RUBBER					BLDG 4
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
LAUNDRY	TILE	GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
STAIR 2	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
ELECTRICAL	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
TRASH ROOM	SEALED CONC.	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
FIRE RISER	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
MPOE	SEALED CONC.			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
STOR.								
STAIR 1								BLDG 4
02-SECOND FLOOR								BLDG 4
IDF								
TRASH ROOM	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
STAIR 1	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
LAUNDRY	TILE	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
SECOND FLOOR PLATE		GWB, PAINT	TILE COVE	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
ATTIC								
03-THIRD FLOOR								BLDG 4
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
IDF	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
TRASH ROOM	LVP	GWB, PAINT		GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
04-FOURTH FLOOR								
JC	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
ELEV. EQUIP	LVP			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
CORRIDOR	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
TRASH ROOM	LVP			GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
IDF	LVP	GWB, PAINT	4" RUBBER	GWB, PAINT	GWB, PAINT	GWB, PAINT	GWB, PAINT	BLDG 4
FOURTH FLOOR PLATE								
ATTIC								BLDG 4

FINISH REQUIREMENTS

PER 2019 CBC 803.13 INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO *2019 CBC SEC. 803* FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
(CBC 2019 TABLE 803.13)

DEGREE OF FIRE PROTECTION SPRINKLERED

GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3, A-4, A-5	B	B	C
B, E, M, R-1	B	C	C
R-2	C	C	C
R-2.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS

CLASS A:
- FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450

CLASS B:
- FLAME SPREAD INDEX = 26-75
- SMOKE DEVELOPED INDEX = 0-450

CLASS C:
- FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 804.1*.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

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nationalcore.org

CONSULTANT

AGENCY

INITIAL B&S SUBMITTAL

MURRIETA - BUILDINGS 3-4
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 4 - FINISH SCHEDULE

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A4-501

11/09/2022 10:46:44 AM
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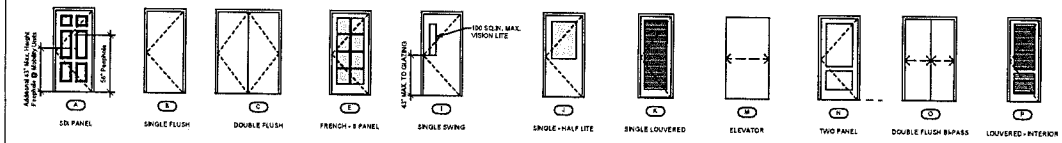
DOOR TYPES LEGEND



COMMON AREA DOOR SCHEDULE

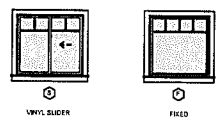
NO.	TYPE	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME FINISH	FIRE RATING	COMMENTS
01-GROUND FLOOR											
101a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
101b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
101c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
102a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
102b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
102c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
103a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
103b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
103c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
104a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
104b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
104c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
106a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
106b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
106c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
106d	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
106e	D1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
106f	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
110a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
110b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
110c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
112a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
112b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
112c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"	SOLID CORE WOOD					
113	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
114	C2	DOUBLE FLUSH DOOR	6'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL					
115	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
116	C1	DOUBLE FLUSH DOOR	5'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
117	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
118	J1	SINGLE HALF LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
119	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
120	K3	SINGLE LOUVERED UTILITY DOOR	2'-4"	6'-0"	0'-1 3/4"	SOLID CORE WOOD					
T21	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/8"	STEEL					
T22	B1	SINGLE FLUSH DOOR	3'-0"	6'-8"	0'-1 3/8"	FIBERGLASS				20 MIN.	PROVIDE CLOSER
T26	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
ST1	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
ST2	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
ST2.1	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
02-SECOND FLOOR											
201a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
201b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
201c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
202a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
202b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
202c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
203a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
203b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
203c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
204a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
204b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
204c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
206a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
206b	D1	SINGLE LOUVERED UTILITY DOOR	3'-0"	8'-0"	0'-1 3/4"						
206c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
206d	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
206e	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
206f	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
210a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
210b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
210c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
212a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
212b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
212c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
212	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				1 HR	
214	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
215	J1	SINGLE HALF LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
216	K1	SINGLE LOUVERED UTILITY DOOR	2'-4"	6'-0"	0'-1 3/4"	SOLID CORE WOOD					
217	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				20 MIN.	
219	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/8"	STEEL					
ST1.2	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
ST1.2	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
03-THIRD FLOOR											
301a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
301b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
301c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
303a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
303b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
303c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
304	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				1 HR	PROVIDE CLOSER
306	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			90 MIN.	PROVIDE CLOSER
308	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				90 MIN.	PROVIDE CLOSER
309	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/8"	STEEL					
ST1.3	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
ST1.3	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
04-FOURTH FLOOR											
401a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
401b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
401c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
403a	A1*	PANELED ENTRY DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			20 MIN.	PROVIDE CLOSER
403b	E1	SINGLE FRENCH DOOR FULL LITE	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS					
403c	K1	SINGLE LOUVERED UTILITY DOOR	2'-6"	6'-8"	0'-1 3/4"						
404	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				1 HR	PROVIDE CLOSER
405	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS	PAINT			90 MIN.	PROVIDE CLOSER
406	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				90 MIN.	PROVIDE CLOSER
407	B2	SINGLE FLUSH DOOR	3'-0"	8'-0"	0'-1 3/4"	FIBERGLASS				90 MIN.	PROVIDE CLOSER
408	M1	ELEVATOR SLIDING	3'-6"	6'-8"	0'-2 1/8"	STEEL					
ST1.4	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE
ST2.4	I1	SINGLE SWING VISION LITE	3'-0"	8'-0"	0'-1 3/4"	HOLLOW METAL				90 MIN.	PROVIDE CLOSER, PANIC HARDWARE

* ENTRY DOORS TO HAVE DEAD BOLTS AND 180-160 DEGREE EYE VIEWERS PER CONDITIONS OF APPROVAL.

UNIT DOOR SCHEDULE

TYPE	DESCRIPTION	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME FINISH	FIRE RATING	REMARKS
N1	TWO PANELED DOOR	2'-4"	6'-8"	0'-1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD	PAINT		
N2	TWO PANELED DOOR	3'-0"	6'-8"	0'-1 3/8"	HOLLOW CORE WOOD	PAINT		PAINT		
O1	DOUBLE FLUSH BIPASS	4'-0"	6'-8"	0'-1 3/4"						
P1	LOUVERED	3'-0"	6'-8"	0'-1 3/8"	HOLLOW CORE WOOD	PAINT	WOOD	PAINT		

WINDOW TYPES LEGEND



NOTE:
Refer to Exterior Elevations Sheets for Sill specification

TYPE MARK	DESCRIPTION	SIZE WIDTH	SIZE HEIGHT	HEAD HEIGHT	MANUFACTURER	HEAT TRANSFER COEFFICIENT (U)	SHGC	Comments
01-GROUND FLOOR								
F.5	Fixed	5'-0"	5'-0"	8'-0"				BLDG 4
F.21	Fixed	2'-8"	5'-8"	8'-0"				BLDG 4
S.1	Vinyl Slider	5'-8"	5'-0"	8'-0"				BLDG 4
S.2	Vinyl Slider	5'-0"	5'-0"	8'-0"				BLDG 4
S.3	Vinyl Slider	3'-0"	4'-2"	7'-2"				BLDG 4
02-SECOND FLOOR								
F.5	Fixed	5'-0"	5'-0"	8'-0"				BLDG 4
F.12	Fixed	4'-0"	4'-6"	9'-0"				BLDG 4
F.15	Fixed	3'-0"	5'-0"	9'-0"				BLDG 4
F.21	Fixed	2'-8"	5'-8"					BLDG 4
S.1	Vinyl Slider	5'-8"	5'-0"	8'-0"				BLDG 4
S.2	Vinyl Slider	5'-0"	5'-0"	8'-0"				BLDG 4
S.3	Vinyl Slider	3'-0"	4'-2"					BLDG 4
03-THIRD FLOOR								
F.4	Fixed	6'-0"	2'-0"	8'-0"				BLDG 4
F.7	Fixed	5'-0"	2'-0"	8'-0"				BLDG 4
F.12	Fixed	4'-0"	4'-6"	9'-0"				BLDG 4
F.15	Fixed	3'-0"	5'-0"	9'-0"				BLDG 4
F.21	Fixed	2'-8"	3'-8"					BLDG 4
F.22	Fixed	2'-9"	3'-0"	8'-0"				BLDG 4
S.1	Vinyl Slider	5'-8"	5'-0"	8'-0"				BLDG 4
S.2	Vinyl Slider	5'-0"	5'-0"	8'-0"				BLDG 4
04-FOURTH FLOOR								
F.1	Fixed	6'-0"	5'-6"	8'-0"				BLDG 4
F.5	Fixed	5'-0"	5'-6"	8'-0"				BLDG 4
F.12	Fixed	4'-0"	4'-6"	9'-0"				BLDG 4
F.15	Fixed	3'-0"	5'-0"	9'-0"				BLDG 4
F.17	Fixed	2'-4"	5'-0"	8'-0"				BLDG 4
F.21	Fixed	2'-8"	5'-8"	8'-0"				BLDG 4
S.1	Vinyl Slider	5'-8"	5'-0"	8'-0"				BLDG 4
S.2	Vinyl Slider	5'-0"	5'-0"	8'-0"				BLDG 4

DOOR GENERAL NOTES

1. EGRESS DOORS *(2019 CBC 1010.1)*
   a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF *2019 CBC 1010.1*
   b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY *(2019 CBC 1010.1.2.1)*
   c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE *(2019 CBC 1010.1.5)*
   d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED PER *2019 CBC 1010.1.6*
   e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED PER *2019 CBC 1010.1.9*
   f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED PER *2019 CBC 1010.1.9.3*
   g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, I-2 OR I-3.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED PER *2019 CBC 1010.1.10*.
   h. ELECTRICAL ROOMS WITH EQUIPMENT RATED 800AMPERES OR MORE AND OVER 8 FEET WIDE, AND THAT CONTAIN OVERCURRENT DEVICES SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE. THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. *(2019 CBC 1010.1.10)*
   i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH *2019 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-7*
      - HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
      - LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE
2. ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES *(2019 CBC 11B-404)*
   a. MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES *(2019 CBC 11B-404.2.3)*
   b. MANEUVERING CLEARANCES SHALL COMPLY WITH *(2019 CBC 11B-404.3.4)*, REFER TO PLANS FOR MINIMUM CLEARANCES
   c. THRESHOLDS SHALL BE 1/2" HIGH MAX *(2019 CBC 11B-404.2.5)*, REFER TO DOOR DETAILS
   d. MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. AT FIRE DOORS *(2019 CBC 11B-404.2.9)*
   e. HANDLE-ACTUATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE *(2019 CBC 11B-404.2.7 AND 2019 CBC 11B-309.4)*
   f. OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR *(2019 CBC 11B-404.2.7)*
   g. CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM *(2019 CBC 11B-404.2.8.1)*
   h. SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDED TO THE FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED *PER 2019 CBC 11B-404.2.10*
3. OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES *(2019 CBC 716 AND NFPA 80)*
   a. FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF *2019 CBC 716 AND NFPA 80*
   b. FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER *2019 CBC 716.2.6.1*
   c. SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C *(2019 CBC 716.2.5.1)*
   d. UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF DESIGNATED SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED *2019 CBC 716.2.9.3*
   e. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED PER *2019 CBC 716.5.3.4*
   f. FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784 *(2019 CBC 716.2.1.4)*
   g. FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR OR FRAME *2019 CBC 716.3.8*
   h. SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION *2019 CBC 716.3.9.1* AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR PER *2019 CBC 716.3.9.3*
   i. FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND WHERE REQUIRED FOR FIRE DOORS IN INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY *2019 CBC SECTION 716.2.3*. THE MAXIMUM TRANSMITTED TEMPERATURE END POINT, *2019 CBC 716.3.8.1*
4. GLAZING
   a. GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC CHAPTER 24 - SAFETY GLAZING*, LOCATIONS NOTED WITH "*"
   b. GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC 716.1.2* IN ADDITION TO THE REQUIREMENTS OF SECTIONS *2019 CBC 716.2* AND *2019 CBC 716.3* RESPECTIVELY, AND NFPA 80
   c. IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST *(2019 CBC 716.2.5.3)* (TRANSOM AND SIDE-LITES *SEE 2019 CBC 716.2.5.4*)
   d. FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN *2019 CBC 716.2.5.1.2.1 AND 716.2.5.1.2.2*

WINDOWS GENERAL NOTES

1. WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS. *(2019 CBC 2406.4)*
2. AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE SAFETY GLAZING IN SOLID PANES PER *2019 CBC 2406.3*
   a. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.2)*
   b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.3)*
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
      - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
      - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
      - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
   c. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER *2019 CBC 2406.4.5*
   d. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER *2019 CBC 2406.4.7*
3. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF, MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF, EXCEPTION: MIN 5 SF AT GROUND FLOOR, MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20", EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. *(2019 CBC SECTION 1030)*
4. WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER *2019 CBC 1015.8*
   - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
   - OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090
   - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH *2019 CBC SECTION 1015.8.1*

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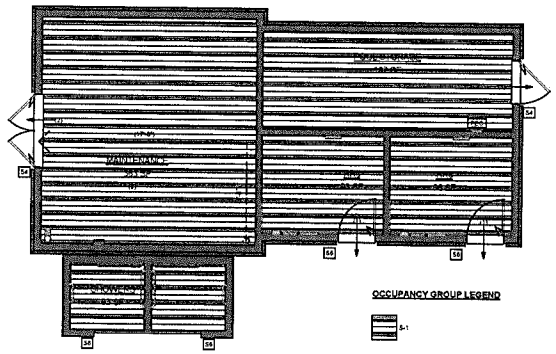


1 01-GROUND FLOOR - CODE PLAN
SCALE: 1/8" = 1'-0"

CODE ANALYSIS (CBC 2019)

1. FIRE-RESISTANCE RATED CONSTRUCTION		
BUILDING ELEMENTS	ZERO	T-601
EXTERIOR WALLS	ZERO	T-602
OPENINGS AT EXTERIOR WALLS	SEE ALLOWABLE OPENINGS TABLE ON CODE COMPLIANCE SHEET	T-705.8
FIRE WALLS	NA	706
FIRE BARRIERS	NA	707.3
FIRE PARTITIONS	NA	708
WILDFIRE EXPOSURE	NA - PROJECT IS NOT LOCATED IN A FIRE HAZARD SEVERITY ZONE	7A
2. MEANS OF EGRESS		
COMMON PATH OF EGRESS TRAVEL	MAX. 100 (OCCUPANCY <50)	1006.2
EXIT ACCESS TRAVEL DISTANCE	MAX. 200	T-1017.2
3. ACCESSIBILITY		
PARKING SPACES	SEE SITE PLAN	11B-208
4. INTERIOR ENVIRONMENT		
ROOF VENTILATION	SEE ROOF PLAN SHEET	1202.2
SOUND TRANSMISSION	MIN. 50 STC & IIC @ DWELLING SEPARATIONS (SEE PARTITIONS AND FLOOR/CEILING ASSEMBLIES); WINDOWS AND DOORS TO BE 28 STC MIN. PER EIR SECTION 4.5 ASSUMPTIONS	1206
5. ROOF ASSEMBLIES		
FIRE CLASSIFICATION	CLASS B	1505
6. FIRE EXTINGUISHERS		
7. FIRE EXTINGUISHERS	MAX SQ. FOOTAGE PER UNIT OF A: 3,000 SF (9,000 SF PER 2A10BC EXTINGUISHER)	906.3
	TRAVEL DISTANCE TO EXTINGUISHER: MAX 75 FT	
	MIN. UL EXTINGUISHER RATING: 2A10BC	
	SEE NOTE 2 BELOW FOR ADDITIONAL REQUIREMENTS.	

OCCUPANCY CALCULATIONS

AREA NAME	AREA	NET / GROSS	OCCUPANCY TYPE	OCCUPANCY: FUNCTION OF SPACE (2019 CBC TABLE 1004.5)	LOAD FACTOR	OCCUPANT LOAD	MAX OCC. LOAD FOR ONE EXIT (2019 CBC TABLE 1006.2.1)	EXITS REQUIRED
MAINTENANCE	363 SF	GROSS	S-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	2	49	
SHOWERS	93 SF	GROSS	S-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	29	
POOL STORAGE	187 SF	GROSS	S-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	29	
ARe	93 SF	GROSS	S-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	29	
ARe	96 SF	GROSS	S-1	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300	1	29	

LEGEND

SEPARATION & SYMBOLS:

FEC — FIRE EXTINGUISHER CABINET, SEE DETAIL A/X-913

SIgn — SIGNAGE, REFER TO SIGNAGE SHEET GX-101

OCCUPANT EGRESS:

ACCESSIBLE PATH OF TRAVEL
(SHALL BE IN MIN. CBC 11B-811.4)

COMMON PATH OF EGRESS TRAVEL (CPET)
WITH MAXIMUM TRAVEL DISTANCE FROM POINTS WITHIN
IS MAX. DISTANCE PER 2019 CBC TABLE 1006.2.1 (50 OCCUPANCIES)

(X) NUMBER OF OCCUPANTS EXITING SPACE

BUILDING INFORMATION

GENERAL BUILDING INFORMATION - ALLOWED
(BASED ON THE MIXED)

OCCUPANCY CLASSIFICATION (CBC 302)	S-1
CONSTRUCTION TYPE (TABLE 601)	VB
ALLOWABLE BUILDING HEIGHT (TABLE 504)	60'-0"
ALLOWABLE NUMBER OF STORIES (TABLE 504)	4
ALLOWABLE BUILDING AREA PER STORY (TABLE 506)	9,000 SF
TOTAL ALLOWABLE BUILDING AREA (TABLE 506)	9,000 SF

GENERAL BUILDING INFORMATION - PROPOSED

PROPOSED BUILDING HEIGHT	14'-0"
PROPOSED NUMBER OF STORIES	1
PROPOSED BUILDING AREA	832 SF
AUTOMATIC FIRE SPRINKLERS	NFPA 13

NOTES

1. PENETRATIONS
   A. PROTECT THROUGH AND MEMBRANE PENETRATIONS OF HORIZONTAL ASSEMBLIES AND FIRE PARTITIONS
      a. NOT REQUIRED WHERE RATED DUE TO CONSTRUCTION TYPE VA (PROTECTION OF BUILDING ELEMENTS)
   B. THROUGH AND MEMBRANE PENETRATIONS (PIPING AND CONDUIT) SHALL BE PROTECTED BY AN APPROVED PENETRATION
      a. FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479
      b. WALL PENETRATIONS SHALL HAVE AN F RATING NOT LESS THAN THE ASSEMBLY PENETRATED
      c. HORIZONTAL PENETRATIONS SHALL HAVE AN F AND T RATING NOT LESS THAN 1-HR OR THE ASSEMBLY PENETRATED
      d. SOME EXCEPTIONS APPLY AT METALLIC PIPES, ELECTRICAL BOXES, FLOOR PENETRATIONS CONTAINED IN WALLS; SEE CBC 714
   C. DUCT AND AIR TRANSFER OPENINGS
      a. PROTECT IN SHAFTS WHERE CROSSING HORIZONTAL ASSEMBLIES > TWO STORIES
      b. CONTAIN IN WALL AND FIRESTOP > TWO STORIES
      c. DUCTS 96" MAY BE PERMITTED TO PENETRATE UP TO 3 FLOORS IF MEET ALL CRITERIA LISTED IN 717.6.1
      d. REFER TO MECHANICAL FOR FIRESTOP DETAILS AND FIRE DAMPERS WHERE OCCUR
2. FIRE EXTINGUISHERS
   A. SEE ARCHITECTURAL FLOOR PLANS FOR FEC AND FE LOCATIONS. PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR. IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF EXTINGUISHER AND THE FLOOR BE LESS THAN 4". EXTINGUISHERS SHALL BE INSTALLED ON HANGERS, BRACKETS OR IN CABINETS.

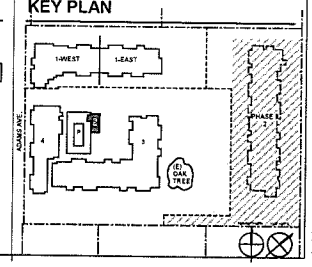
ALLOWABLE OPENINGS

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION
(CBC 2019 TABLE 705.8)

DEGREE OF OPENING PROTECTION: UNPROTECTED, SPRINKLERED (UP,S) (PER CBC 2019 SECTION 705.8.1)
0' ≤ x < 5' — NOT PERMITTED
5' ≤ x < 10' — 15%
10' ≤ x < 15' — 25%
15' ≤ x < 20' — 45%
20' ≤ x < 25' — 75%
25' ≤ x < 30' — NO LIMIT
30' ≤ x — NO LIMIT

NOTE:
THIS BUILDING INCLUDES AN NFPA 13 FIRE SPRINKLER SYSTEM.

KEY PLAN



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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - BUILDING 5
24960 ADAMS AVE, MURRIETA, CA 92562
BLDG 5 - CODE ANALYSIS

NO.	REVISION	DATE
1		
2		
3		
4		
5		
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PROJECT MANAGER
DRAWN BY
CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A5-001

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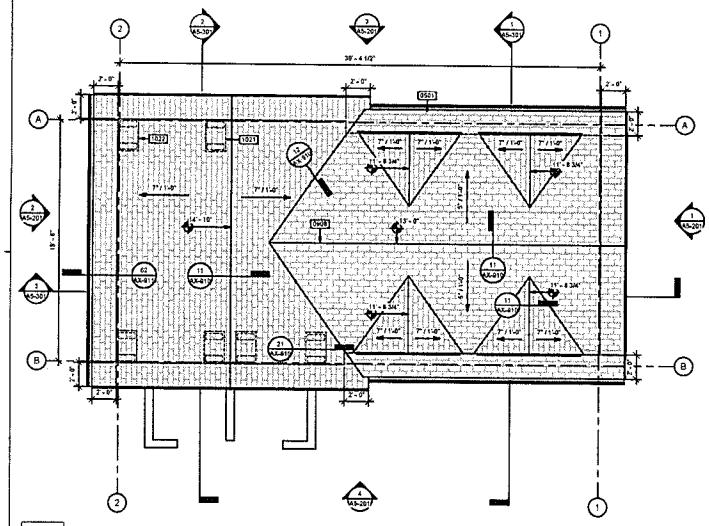
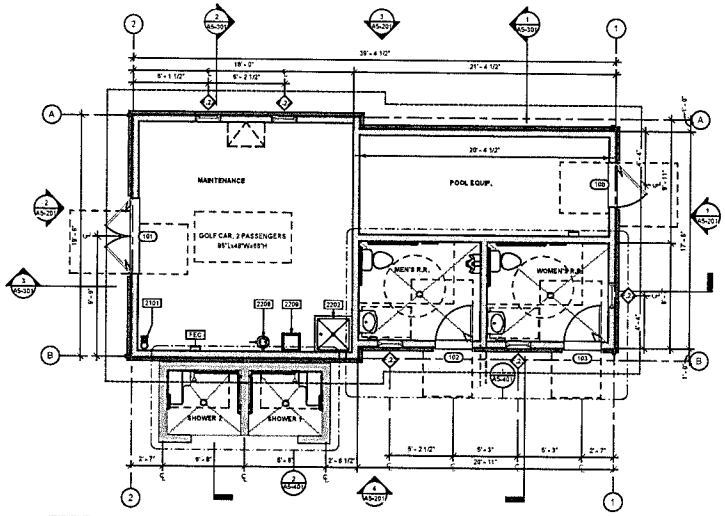
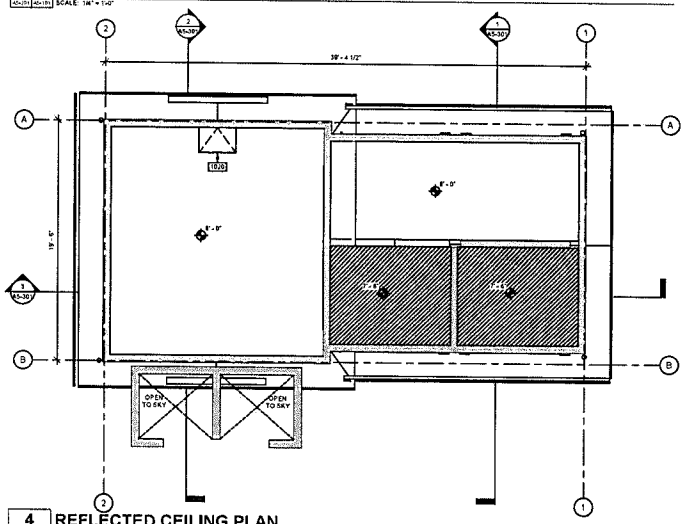


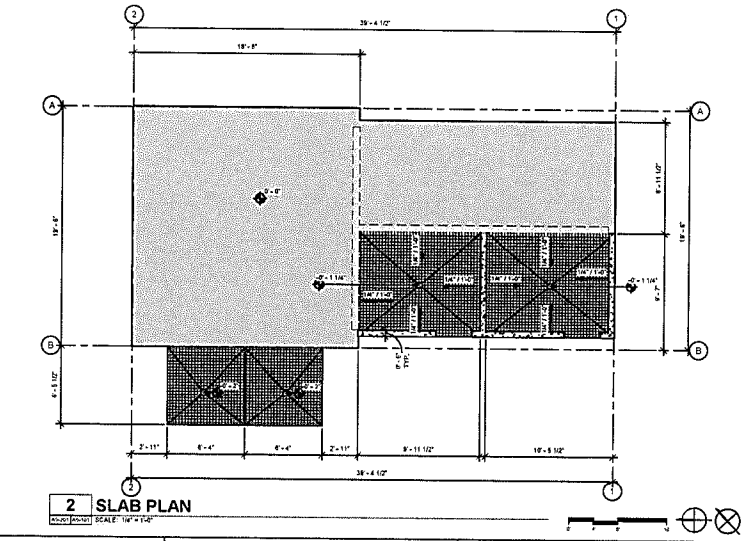
3 ROOF PLAN
A5-201 A5-101 SCALE: 1/8" = 1'-0"



1 GROUND FLOOR PLAN
A5-201 A5-101 SCALE: 1/8" = 1'-0"



4 REFLECTED CEILING PLAN
A5-201 A5-101 SCALE: 1/8" = 1'-0"



2 SLAB PLAN
A5-201 A5-101 SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A5-821 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

ROOF PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
2. REFER TO STRUCTURAL PLANS FOR ROOF FRAMING INFORMATION INCLUDING MEMBER SIZES AND CONNECTION HARDWARE.
3. REFER TO MECHANICAL PLANS FOR ROOF MOUNTED EQUIPMENT LOCATIONS AND TYPES.
4. REFER TO ELECTRICAL PLANS FOR POWER DISTRIBUTION TO ROOF MOUNTED EQUIPMENT.
5. REFER TO PLUMBING PLANS ROOF VENT PENETRATIONS.
6. REFER TO SITE/GRADING PLAN FOR DOWNSPOUT DISCHARGE OR CONTINUATION.
7. PROVIDE A MINIMUM OF 1 INCH OF AIRSPACE BETWEEN THE INSULATION AND ROOF SHEATHING.
8. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET OVER THE COMBUSTIBLE DECKING.
9. ALL ROOFING MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
10. OVERHANG DIMENSIONS ARE FROM FACE OF EXTERIOR WALL TO ROOF EDGE
11. ROOF COVERINGS AND UNDERLAYMENT SHALL BE APPLIED IN ACCORDANCE WITH (2019 CBC SECTION 1202). EXTERIOR OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL. THE OPENINGS SHALL BE A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8" PER (2019 CBC 1202.2.2.)
12. ROOF VENTS SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
14. FURNISHED DIMENSIONS FOR VENTS ARE GUIDES ONLY. INSTALL PER MANUFACTURERS SPECIFICATIONS AND ADJUST TO ACCOMMODATE TRUSS LOCATIONS, PLUMBING VENTS, AND SOLAR COLLECTORS.

ROOF PLAN LEGEND

- 12'-0" — HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING FINISHED WARE INSULATION)
- 2" / 12" — ROOF SLOPE (REFER TO PLANS FOR ACTUAL SLOPE)
- O'HAGIN ATTIC VENT. PAINT TO MATCH ROOF COLOR. (REFER TO EXTERIOR SUPERVISION OF COLORS AND MATERIALS)
- WALL BELOW
- GUTTER, CONNECT TO DOWNSPOUT
- DOWNSPOUT, TO ROOF OR SPLASHBLOCK BELOW U.N.O.

ROOF VENTING CALCULATIONS

UPPER VENTS: *O'HAGIN TAPERED LOW PROFILE STANDARD LINE 72.0 SQ.IN OF AIR MOVEMENT PER VENT = 72 SQ.IN. / 144 = 0.5 SF*

LOWER VENTS: *EAVE VENTS 24" WITH (3) 3" HOLES = 0.05 SF*

"UPPER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) (0.5 SF)

"LOWER VENTS PROVIDED" = (TOTAL ATTIC AREA/300) * (0.5) (0.05 SF)

ATTIC	AREA	REQUIRED ATTIC VENTING (NFA)	UPPER VENTING REQUIRED (NFA)	LOWER VENTING REQUIRED (NFA)
ATTIC 1	824 SF	2.19 SF	1.10 SF	1.10 SF

VENT TYPE	COUNT	VENT LENGTH	NET FREE AREA PER VENT	PROVIDED NET FREE AREA
ATTIC 1				
O'HAGIN SHINGLE ROOF VENT (LOWER)	3	2' - 8"	0.50 SF	1.50 SF
O'HAGIN SHINGLE ROOF VENT (UPPER)	3	2' - 8"	0.50 SF	1.50 SF

KEYNOTES

U501	METAL GUTTER. CONNECT TO DOWNSPOUT
R408	COMPOSITE ROOFING SHINGLE
T020	ATTIC ACCESS PANEL
T021	ATTIC VENT (UPPER). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
T022	ATTIC VENT (LOWER). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS
2101	FIRE SPRINKLER RISER
2202	MOP BASIN WITH MOP SINK FAUCET
2208	EYE WASH STATION
2209	UTILITY SINK

RCP LEGEND

- XX'-XX" — CEILING HEIGHT (SEE PLAN FOR ACTUAL HEIGHTS)
- INTERIOR - GYPSUM BOARD CEILING
- INTERIOR - GYPSUM BOARD SOFFIT
- INTERIOR - ACOUSTICAL TILE CEILING
- EXTERIOR - CEMENT PLASTER SOFFIT

RCP GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-100 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES.
5. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UNO.
6. BORDERS AT LAY-IN ACOUSTICAL CEILING PANELS SHALL BE CUT TO MATCH FACTORY EDGE PROFILE. NO EXPOSED FASTENERS SHALL BE PERMITTED INCLUDING POP RIVETS AND TAPPETS.
7. CONTRACTOR TO VERIFY DEPTH OF SOFFITS AND HOLD TIGHT TO PLUMBING, SPRINKLERS, ELECTRICAL AND MECHANICAL DUCTS
8. SEE MECHANICAL DRAWINGS FOR MECH. ACCESS PANELS. PAINT TO MATCH CEILING
9. AT DROPPED GWB SOFFIT/DOWN BEAMS, PROVIDE C-STUDS AS VERTICAL SUPPORTS AT EACH SIDE OF THE SOFFIT/BEAM AND DIAGONAL BRACING FOR WRACKING. IF CEILING JOIST SPACING DIFFERS FROM FLOOR THEN BLOCKING BETWEEN THE FLOOR FRAMING MAY BE UTILIZED TO ATTACH THE VERTICAL STRUTS
10. LIGHT FIXTURES SHALL BE CENTERED WITHIN SPACES AND/OR WINDOW OPENING AND EVENLY ARRAYED. IF CONFLICTS OCCUR AT MECHANICAL REGISTERS OR ACCESS HATCHES, LIGHTING LOCATIONS SHALL TAKE PRECEDENCE. CONSULT ARCHITECT AS NEEDED TO RESOLVE.
11. SEE ELECTRICAL PLANS FOR LIGHTING LOCATIONS AND SPECIFICATIONS AND EXIT SIGN LOCATIONS.

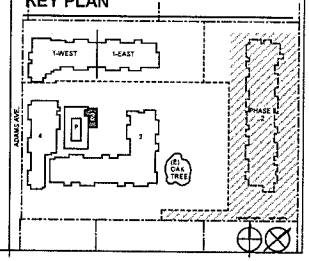
SLAB LEGEND

- 12'-0" — HEIGHT OF TOP OF SLAB
- 2" / 12" — SLAB SLOPE
- FLOOR DRAIN (REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION)
- SLOPE CHANGE
- SLAB STEP
- SLAB STEP & SLOPE
- CURB
- SLAB ON GRADE (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- DEPRESSED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- SLOPED SLAB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION)
- CONCRETE CURB (REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION AND PLANS FOR MORE INFO)

SLAB PLAN GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF SHEATHING AT EXTERIOR WALLS, EDGE OF SLAB, OR GRID LINE, UNLESS OTHERWISE NOTED.
2. SLAB PLANS ARE SUBMITTED FOR REFERENCE AND CLARIFICATION TO SCOPE OF STRUCTURAL SLAB, SLOPES, AND ELEVATION HEIGHTS. ALL SLAB EXTENTS TO BE VERIFIED WITH ARCHITECTURAL DOCUMENTS INCLUDING ARCHITECTURAL PLANS AND STRUCTURAL DRAWINGS.
3. SEE CIVIL DRAWINGS FOR ALL TOP OF SLAB HEIGHTS. HEIGHTS VARY PER BUILDING.
4. SLAB DEPRESSION SPOT ELEVATIONS ARE MEASUREMENTS BASE OFF OF LEVEL 01.

KEY PLAN



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AGENCY

MURRIETA - BUILDING 5
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 5 - FLOOR PLANS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A5-101

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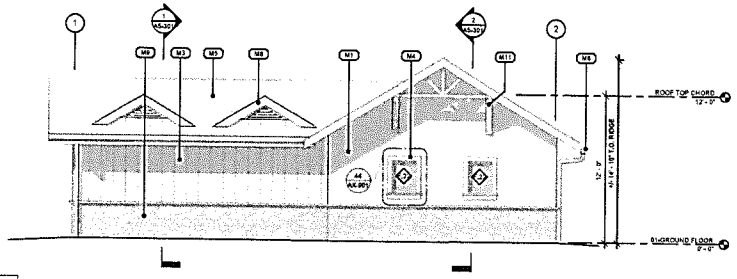
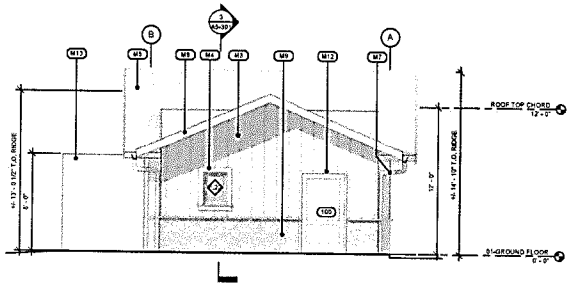
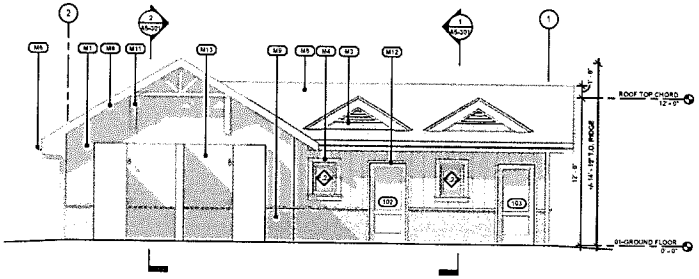


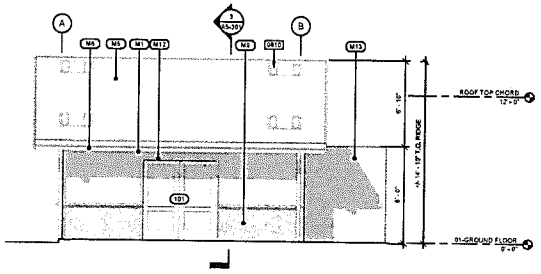
3 EAST ELEVATION
A5-201 | A5-201 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
A5-101 | A5-201 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
A5-101 | A5-201 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
A5-101 | A5-201 SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

M1	PLASTER AND LATH, PAINTED
M3	BOARD AND BATTEN SIDING, PAINTED
M4	VINYL WINDOW
M5	COMPOSITE ROOFING SHINGLE
M6	GUTTER, PAINTED
M7	DOWNSPOUT, PAINTED
M8	RAFTER TAIL, PAINTED
M9	STONE VENEER
M11	WOOD BRACKETS
M12	DOORS
M13	CMU

KEYNOTES

0810	ATTIC VENT, PAINT OR MATCH ROOF COLOR

ELEVATION GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. FRAMING ELEVATIONS, INCLUDING FLOOR PLATES AND FLOOR LEVEL ELEVATIONS ARE MEASURED FROM BUILDING FINISH FLOOR, U.N.O.
3. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. REFER TO ROOF PLAN FOR ROOF PITCH AND OVERHANGS, FASCIA PER DETAILS.
5. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
6. REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
7. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING.
8. SEE MECHANICAL DRAWINGS FOR GRILLES AND LOUVERS, PAINT TO MATCH ADJACENT FINISH.
9. CONTRACTOR TO VERIFY COLOR SCHEME WITH OWNER BEFORE PERFORMING THE WORK.

LEGEND

MATERIAL TAG. REFER TO MATERIAL SCHEDULE FOR PRODUCT INFORMATION.

WALL FINISH.

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BLDG 5 - EXTERIOR ELEVATIONS

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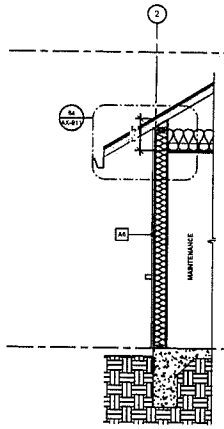
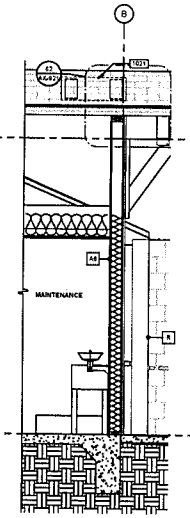


6 WALL SECTION 1
A5-301 A5-301 SCALE: 1/2" = 1'-0"



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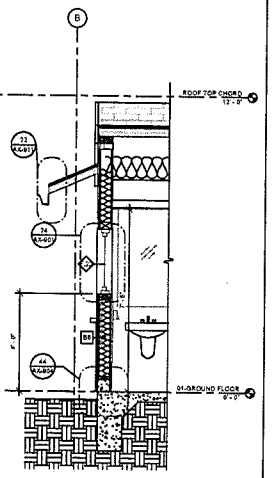
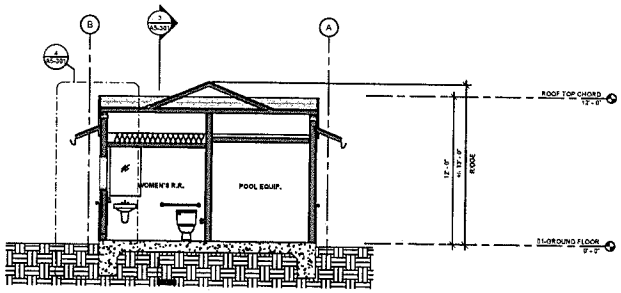
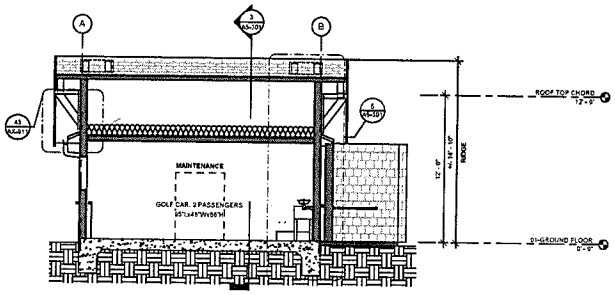


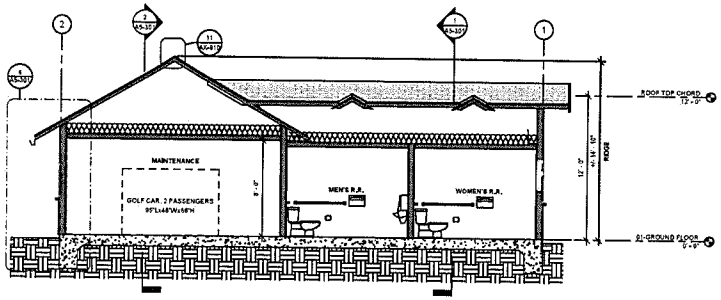
4 WALL SECTION 3
A5-301 A5-301 SCALE: 1/2" = 1'-0"



1 WEST SECTION
A5-301 A5-301 SCALE: 1/4" = 1'-0"



2 EAST SECTION
A5-301 A5-301 SCALE: 1/4" = 1'-0"



3 SOUTH SECTION
A5-301 A5-301 SCALE: 1/4" = 1'-0"

KEYNOTES

1021	ATTIC VENT (OFFER 1). PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS

SECTIONS GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS IS TO SHOW CONSTRUCTION MATERIALS/ASSEMBLIES. FOR SPECIFIC SIZES AND DETAILS REFER TO ARCHITECTURAL PLANS, ELEVATIONS, DETAILS, AND STRUCTURAL PLANS.
2. INSULATION: REFER TO TITLE 24 REPORT AND "INSULATION" NOTES ON SHEET FOR ADDITIONAL RATINGS, REQUIREMENTS, AND INFORMATION.
3. REFER TO FIREBLOCKING/DRAFTSTOPPING NOTES ON SHEET G-101.
4. WOOD SHALL BE PROTECTED FROM DECAY AND TERMITES AS REQUIRED PER *2019 CBC SECTION 2304.12*
5. FOUNDATION SILLS TO BE NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. *2019 CBC SECTION 2304.11.2*
6. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS SHALL BE PROTECTED AS REQUIRED PER *2019 CBC SECTIONS 714.3 & 714.4.*
7. WALL ASSEMBLIES TO BE PER FLOOR PLAN.
8. DOORS, WINDOWS AND STOREFRONT SYSTEMS TO BE PER APPLICABLE SCHEDULE. REFER TO FLOOR PLANS FOR IDENTIFICATION.

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PROJECT NUMBER 1853-05
SHEET A5-301

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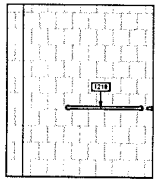
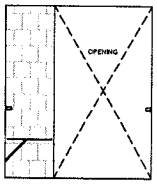
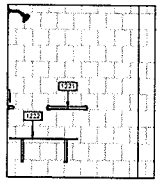
EXTERIOR SHOWER 1 - SHOWER 2 MIRR.



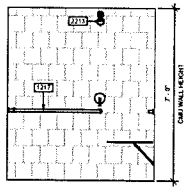
2D SHOWER 1 - INT. ELEV. 4
SCALE: 1/2" = 1'-0"



2C SHOWER 1 - INT. ELEV. 3
SCALE: 1/2" = 1'-0"

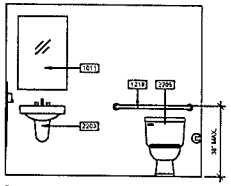


2B SHOWER 1 - INT. ELEV. 2
SCALE: 1/2" = 1'-0"



2A SHOWER 1 - INT. ELEV. 1
SCALE: 1/2" = 1'-0"

MEN RR - WOMEN RR SIM.



1D MEN RR - INT. ELEV 4
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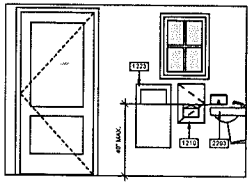

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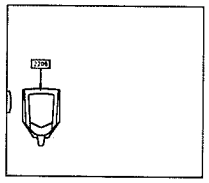

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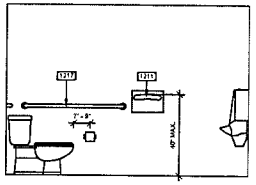

1A MEN RR - INT. ELEV 1
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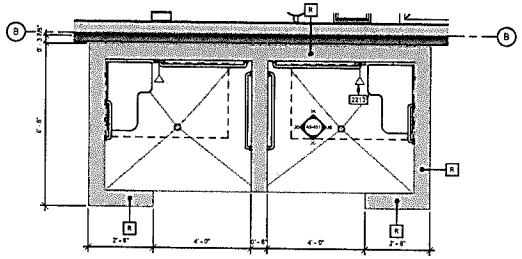
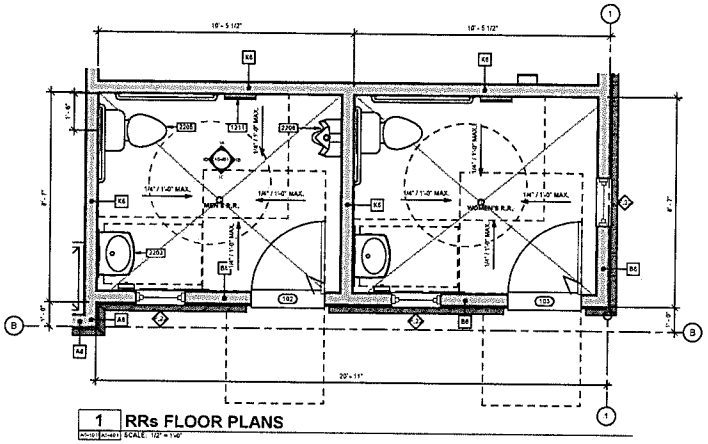


2 SHOWERS FLOOR PLAN
A5-101 A5-401 SCALE: 1/2" = 1'-0"



1 RRs FLOOR PLANS
A5-101 A5-401 SCALE: 1/2" = 1'-0"

11B ACC. & ADAPTABLE DETAILS

GENERAL:
1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-304.3.2

BATHROOMS
1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40"MAX. 48" ABOVE FF.

FOR ADAPTABILITY OF FIXTURES REFER TO SHEET A5-401/402
FOR ACCESSIBILITY OF FIXTURES REFER TO SHEET A5-446/945
FOR ACCESSIBLE REACH RANGES SEE SHEET A5-446/945

KEYNOTES

1011	MIRROR
1219	RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
1231	SEAT COVER DISPENSER
1217	42" GRAB BAR. PROVIDE BLOCKING
1218	36" GRAB BAR. PROVIDE BLOCKING
1231	24in GRAB BAR. PROVIDE BLOCKING
1232	FOLDING SHOWER SEAT
1233	TRASH RECEPTACLE
2203	SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2206	WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2209	URINAL. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2213	SHOWERHEAD

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCPS FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A2-421 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

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BLDG 5 - ENLARGED PLANS & INT. ELEV.

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SHEET A5-401

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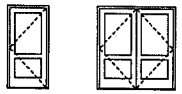
DOOR TYPES LEGEND



1 SINGLE FLUSH

2 DOUBLE FLUSH

DOOR SCHEDULE

NO.	TYPE	DESCRIPTION	COUNT	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	FIRE RATING	DETAIL HEAD	DETAIL JAMB	DETAIL SILL	REMARKS
100	S3	SINGLE FLUSH DOOR	1	3' - 0"	6' - 0"	0' - 1 3/4"						PROVIDE CLOSER
101	C2	DOUBLE FLUSH DOOR	1	6' - 0"	6' - 0"	0' - 1 3/4"						PROVIDE CLOSER
102	S2	SINGLE FLUSH DOOR	1	3' - 0"	6' - 0"	0' - 1 3/4"						PROVIDE CLOSER
103	S2	SINGLE FLUSH DOOR	1	3' - 0"	6' - 0"	0' - 1 3/4"						PROVIDE CLOSER

WINDOW TYPES LEGEND

F FIXED

TYPE	SIZE WIDTH	SIZE HEIGHT	HEAD HEIGHT	DETAILS HEAD	DETAILS JAMB	DETAILS SILL	REMARKS
F-22	12' - 0"	2' - 6"	6' - 8"				

FINISH SCHEDULE

COMMON AREA FINISH SCHEDULE

NUMBER	NAME	FLOOR	CEILING	BASE	WALLS NORTH	WALLS SOUTH	WALLS EAST	WALLS WEST	NOTES
100	POOL EQUIP.	SEALED CONC	GWB. PAINT		GWB. PAINT	GWB. PAINT	GWB. PAINT	GWB. PAINT	SERVICE
101	MAINTENANCE	SEALED CONC	GWB. PAINT		GWB. PAINT	GWB. PAINT	GWB. PAINT	GWB. PAINT	SERVICE
102	MEN'S R.R.	TILE	GWB. PAINT		GWB. PAINT	GWB. PAINT	GWB. PAINT	GWB. PAINT	COMMON AREA
103	WOMEN'S R.R.	TILE	GWB. PAINT		GWB. PAINT	GWB. PAINT	GWB. PAINT	GWB. PAINT	COMMON AREA
104	SHOWER 1	SEALED CONC							COMMON AREA
105	SHOWER 2	SEALED CONC							COMMON AREA

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE *ANSI A326.3* STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH *2019 CBC SEC. 804.1*.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH *2019 CBC TABLE 803.13* FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH REQUIREMENTS

PER *2019 CBC 803.13* INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.13 FOR THE GROUP AND LOCATION DESIGNATED. REFER TO *2019 CBC SEC. 803* FOR ADDITIONAL INFORMATION.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY
(CBC 2019 TABLE 803.13)

DEGREE OF FIRE PROTECTION. SPRINKLERED

GROUP	INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	ROOMS AND ENCLOSED SPACES
A-1 & A-2	B	B	C
A-3 & A-4	B	B	C
B, E, M, R-1	B	C	C
R-2	C	C	C
R-3.1	B	C	C
R-2.2	C	C	C
R-3, R-3.1	C	C	C
S	C	C	C

CLASSIFICATIONS

CLASS A:
- FLAME SPREAD INDEX = 0-25
- SMOKE DEVELOPED INDEX = 0-450

CLASS B:
- FLAME SPREAD INDEX = 26-75
- SMOKE DEVELOPED INDEX = 0-450

CLASS C:
- FLAME SPREAD INDEX = 76-200
- SMOKE DEVELOPED INDEX = 0-450

DOOR GENERAL NOTES

1. EGRESS DOORS *(2019 CBC 1010.1)*
   a. MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF *2019 CBC 1010.1*
   b. DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREAS CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY *(2019 CBC 1010.1.2.1)*
   c. ALL EXTERIOR DOOR LANDINGS ARE TO BE NOT MORE THAN 2% IN RUNNING AND CROSS SLOPE *(2019 CBC 1010.1.5)*
   d. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN 7 INCHES. WHERE A LANDING SERVES AN OCCUPANT LOAD OF 50 OR MORE, DOORS IN ANY POSITION SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF ITS REQUIRED WIDTH. DOOR LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44" EXCEPT AS NOTED *PER 2019 CBC 1010.1.6*
   e. EGRESS DOORS SHALL BE READILY OPENABLE FROM BOTH SIDES WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT EXCEPT AS SPECIFICALLY PERMITTED PER *2019 CBC 1010.1.9*
   f. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION EXCEPT AS NOTED PER *2019 CBC 1010.1.9.3*
   g. SWINGING DOORS SERVING A GROUP H OCCUPANCY AND SWINGING DOORS SERVING ROOMS OR SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OR E OCCUPANCY ASSEMBLY AREA NOT CLASSIFIED AS AN ASSEMBLY OCCUPANCY E, A2 OR A-2.1 OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE EXCEPT AS NOTED *PER 2019 CBC 1010.1.10*
   h. ELECTRICAL ROOMS WITH EQUIPMENT RATED 800-AMPERES OR MORE AND OVER 6 FEET WIDE, AND THAT CONTAIN OVERCURRENT DEVISES, SWITCHING DEVICES OR CONTROL DEVICES WITH EXIT OR EXIT ACCESS DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE, THE DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL. *(2019 CBC 1010.1.10)*
   i. REQUIREMENTS FOR DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES AT EGRESS DOORS IN OTHER THAN GROUP R AND M OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS SHALL COMPLY WITH *2019 CALIFORNIA REFERENCED STANDARDS CODE SFM STANDARD 12-10-2*
      - HARDWARE SHALL HAVE A SMOOTH FINISH WITH NO SHARP OR BURRED EDGES
      - LEVER-ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" OF THE DOOR FACE
2. ACCESSIBILITY REQUIREMENTS AT DOORS, DOORWAYS, AND GATES *(2019 CBC 11B-404)*
   a. MINIMUM CLEAR WIDTH AT ACCESSIBLE DOORS IS 32" MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES *(2019 CBC 11B-404.2)*
   b. MANEUVERING CLEARANCES SHALL COMPLY WITH *(2019 CBC 11B-404.2.4)*. REFER TO PLANS FOR MINIMUM CLEARANCES
   c. THRESHOLDS SHALL BE 1/2" HIGH MAX *(2019 CBC 11B-404.2.5)*. REFER TO DOOR DETAILS
   d. MAXIMUM DOOR OPENING FORCE OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS, AND AS ALLOWABLE BY THE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. AT FIRE DOORS *(2019 CBC 11B-404.2.9)*
   e. HANDACTUATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE *(2019 CBC 11B-404.2.7 AND 2019 CBC 11B-309.4)*
   f. OPERABLE PARTS SHALL BE BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR *(2019 CBC 11B-404.2.7)*
   g. CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM *(2019 CBC 11B-404.2.8)*
   h. SWINGING DOOR AND GATE SURFACES WITHIN 10" OF THE FF OR GROUND SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE EXCEPT AS NOTED *PER 2019 CBC 11B-404.2.10*
3. OPENING PROTECTIVES AND FIRE DOOR ASSEMBLIES *(2019 CBC 716 AND NFPA 80)*
   a. FIRE DOORS SHALL COMPLY WITH THE PROVISIONS OF *2019 CBC 716 AND NFPA 80*
   b. FIRE DOORS SHALL BE LATCHING AND SELF- OR AUTOMATIC-CLOSING PER *2019 CBC 716.2.5.1*
   c. SIDE-HINGED DOORS SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C *(2019 CBC 716.2.1.1)*
   d. UNLESS OTHERWISE SPECIFICALLY PERMITTED, SINGLE SIDE-HINGED SWINGING FIRE DOORS AND BOTH LEAVES OF PAIRS OF SIDE-HINGED SWINGING FIRE DOORS SHALL BE PROVIDED WITH AN ACTIVE LATCH BOLT THAT WILL SECURE THE DOOR WHEN IT IS CLOSED *2019 CBC 716.2.6.1*
   e. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES WHERE LOCATED IN CORRIDOR WALLS OR SMOKE BARRIER WALLS HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 716.1(2) SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST EXCEPT AS NOTED PER *2019 CBC 716.2.3.1*
   f. FIRE DOOR ASSEMBLIES THAT SERVE AS SMOKE AND DRAFT CONTROL ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH UL 1784 *(2019 CBC 716.2.1.4)*
   g. FIRE DOOR ASSEMBLIES SHALL BE LABELED BY AN APPROVED AGENCY. THE LABELS SHALL COMPLY WITH NFPA 80, AND SHALL BE PERMANENTLY AFFIXED TO THE DOOR OR FRAME *2019 CBC 716.2.2*
   h. SMOKE AND DRAFT CONTROL DOORS COMPLYING WITH UL 1784 SHALL BE LABELED IN ACCORDANCE WITH SECTION *2019 CBC 716.2.9.1* AND SHALL SHOW THE LETTER "S" ON THE FIRE RATING LABEL OF THE DOOR PER *2019 CBC 716.2.9.2*
   i. FIRE DOORS SHALL BE LABELED SHOWING THE NAMES OF THE MANUFACTURER OR OTHER IDENTIFICATION, READILY TRACEABLE BACK TO THE MANUFACTURER, THE NAME OR TRADEMARK OF THE THIRD-PARTY INSPECTION AGENCY, THE FIRE PROTECTION RATING AND, WHERE REQUIRED FOR FIRE DOORS IN INTERIOR EXIST STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS BY *2019 CBC SECTION 716.2.3.2*, THE MAXIMUM TRANSMITTED TEMPERATURE END POINT, *2019 CBC 716.2.5.1*
4. GLAZING
   a. GLAZING IN ALL DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC CHAPTER 24 - SAFETY GLAZING*, LOCATIONS NOTED WITH "T"
   b. GLAZING USED IN FIRE DOOR ASSEMBLIES AND FIRE WINDOW ASSEMBLIES SHALL COMPLY WITH *2019 CBC 716.1.2* IN ADDITION TO THE REQUIREMENTS OF SECTIONS *2019 CBC 716.2 AND 2019 CBC 716.3* RESPECTIVELY, AND NFPA 80
   c. IN 20-MIN FIRE DOOR ASSEMBLIES, GLAZING SHALL HAVE A MIN. FIRE-PROTECTION-RATED GLAZING OF 20 MINUTES AND SHALL BE EXEMPT FROM THE HOSE STREAM TEST *(2019 CBC 716.3.5.3)* (TRANSOM AND SIDE-LITES SEE *2019 CBC 716.2.5.4*)
   d. FIRE PROTECTION RATED GLAZING SHALL BE PROHIBITED IN FIRE WALLS AND FIRE BARRIERS RATED GREATER THAN 1 HOUR EXCEPT AS PROVIDED IN *2019 CBC 716.3.5.1.2.1 AND 716.3.5.1.2.2*

WINDOWSGENERAL NOTES

a. WINDOWS IN HAZARDOUS LOCATIONS REQUIRE SAFETY GLAZING MATERIALS. *(2019 CBC SEC. 2406.4)*
b. AT HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING, PROVIDE SAFETY GLAZING IN BOTH PANES PER *2019 CBC 2406.3*
   a. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.2)*
   b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION *(2019 CBC 2406.4.7)*
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF
      - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR
      - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
      - ONE OR MORE WALKING SURFACE(S) WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING
   c. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER *2019 CBC 2406.4.5*
   d. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE LANDING AND WITHIN A 60 INCH HORIZONTAL ARC THAT IS LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION EXCEPT AS NOTED PER *2019 CBC 2406.4.7*
c. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX SILL HEIGHT OF 44" AFF. MIN NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 SF, EXCEPTION: MIN 5 SF AT GROUND FLOOR, MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT 24", WIDTH 20". EGRESS WINDOWS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. *(2019 CBC SECTION 1030)*
d. WINDOWS IN GROUP R-1, R-2, AND R-3 BUILDINGS INCLUDING DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR AND MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, SHALL COMPLY WITH ONE OF THE FOLLOWING PER *2019 CBC 1015.8*
   - OPERABLE WINDOWS WHERE THE OPENINGS WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION
   - OPERABLE WINDOWS WHERE THE OPENINGS ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090
   - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH *2019 CBC SECTION 1015.8.2*

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CONSULTANT

AGENCY

MURRIETA - BUILDING 5
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 5 - DOOR, WINDOW & FINISHES SCHEDULES

NO.	REVISION	DATE
1		
2		
3		
4		
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6		

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET A5-601

INITIAL B&S SUBMITTAL

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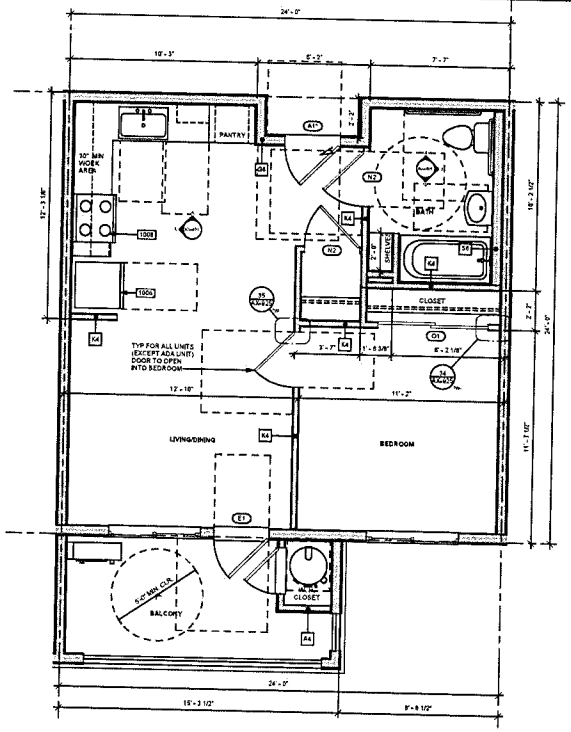


1 UNIT TYPE A - 1BD/1BA
SCALE: 3/8" = 1'-0"

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.1.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A9-921 FOR WALL TYPES
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED FIXTURES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING

UNIT ACCESSIBILITY NOTES

TYPICAL ACCESSIBILITY FEATURES APPLICABLE AT ALL GROUND FLOOR UNITS (VS MOBILITY ACCESSIBLE AND ADAPTABLE):
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS

1. MANEUVERING CLEARANCES FOR ACCESSIBLE PATH OF TRAVEL INDICATED ON PLANS AS MINIMUM CLEAR DIMENSIONS MEASURED TO FACE OF FINISH, TYP.
2. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS, COMMUNICATION SYSTEM RECEPTACLES, SWITCHES AND CONTROLS SHALL BE LOCATED BETWEEN 15 AND 48 INCHES OR BELOW 44 INCHES OVER COUNTERS. 2019 CBC 11B-404.3
3. ALL FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
4. APPLIANCES SHALL BE PROVIDED BY CONTRACTOR. VERIFY ALL APPLIANCE DIMENSIONS & REQUIRED CLEARANCES FOR CABINETRY INSTALLATION.
5. PROVIDE DOORBELL: INSTALL 44" ABOVE FF (4' MAX). PROVIDE ADDITIONAL PEEPHOLE TO ALLOW FOR MIN. 180 VIEW OUTSIDE ENTRY DOOR, MOUNT 45" AFF MAX. 2019 CBC 11B-809.5.3
6. PROVIDE SMOKE & CARBON MONOXIDE DETECTOR
7. SURFACE MATERIAL OF ANY FIRE OR ACOUSTICAL RATED PARTITION OR FLOOR/CEILING ASSEMBLY SHALL EXTEND BEHIND AND/OR BELOW BATHTUBS, SHOWER STALLS, SOFFITS, CABINETS, STAIRS, DUCT ENCLOSURES, ETC.
8. ALL RECESSED FIXTURES INCLUDING LIGHTS AND EXHAUST FANS IN RATED CEILINGS SHALL BE FIRE-RATED OR LINED FOR CONTINUOUS FIRE-RATING AT THE CEILING. SEE DETAILS FOR DUCTS RUNNING PARALLEL WITH JOIST BAYS.
9. CLOSET SHELF AT 84" AFF, POLE BELOW.

11B MOBILITY IMPAIRED UNITS PROVISIONS PROVIDED AT 11% OF UNITS (PER CLEAR STANDARDS):
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS
THESE PROVISIONS ARE ADDITIONAL TO TYPICAL ACCESSIBILITY FEATURES REQUIRED AT ALL GROUND FLOOR UNITS PER CBC CHAPTER 11B.

GENERAL:

1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-809.2.2
2. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 11B-302. SEE DET. 42/ AX 845.

KITCHEN:

1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. CABINET AND DRAWER PULL HARDWARE SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL OPERATE WITH NOT MORE THAN 5 LBS OF FORCE.
3. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
4. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
5. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
6. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
7. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
8. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104

BATHROOMS

1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40"/MAX. 48" ABOVE FF. MEDICINE CABINET USABLE SHELF NO HIGHER THAN 44" ABOVE FF.
3. SWITCHES, OUTLETS, AND CONTROLS SHALL BE SET NOT MORE THAN 48" A.F.F., AND WHERE LOCATED ABOVE THE LAVATORY, NOT MORE THAN 44" A.F.F.

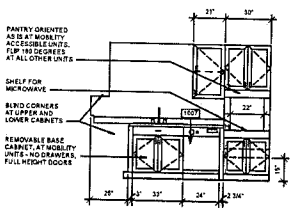
CLOSET/STORAGE

1. CLOTHES RODS AND SHELVING SHALL BE MAX. 48" ABOVE FF AS TO COMPLY WITH APPLICABLE REACH RANGES AND SHELVING HEIGHTS. 2019 CBC SECTIONS 11308.2.2.3, SECTION 11B-308.3 & 11B-308.3.
2. AT LEAST ONE TYPE OF STORAGE ELEMENT SHALL BE LOCATED WITHIN THE MAXIMUM REACH RANGE OF 48" A.F.F. AND 49" WHERE REACH EXCEEDS 24" IN DEPTH. PER 11B-308 / ADAS 308

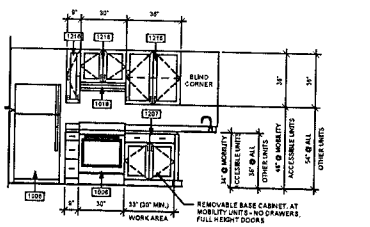
(COMMON) COMMUNICATION FEATURES UNIT PROVISIONS REQ. AT 10% OF UNITS
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS

1. PROVIDE ADDITIONAL COMMUNICATION FEATURES COMPLYING WITH CBC 2019 SECTION 11B-809.5
2. HARD-WIRED DOORBELL WITH AUDIBLE & VISIBLE NOTIFICATION
3. PEEPHOLE TO ALLOW FOR MIN. 180 VIEW OUTSIDE ENTRY DOOR, MOUNT 45" A.F.F.
4. FIRE ALARM SYSTEMS BY OTHER
5. ADDITIONAL COMMUNICATION FEATURES REQUIREMENTS PER 11B (AS LISTED BELOW):

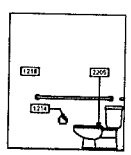
2019 CBC 11B-809.5 RESIDENTIAL DWELLING UNITS WITH COMMUNICATION FEATURES. RESIDENTIAL DWELLING UNITS REQUIRED TO PROVIDE COMMUNICATION FEATURES SHALL COMPLY WITH SECTION 11B-809.5.
2019 CBC 11B-809.5.1 BUILDING FIRE ALARM SYSTEM. WHERE A BUILDING FIRE ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO A POINT WITHIN THE RESIDENTIAL DWELLING UNIT IN THE VICINITY OF THE RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM.
2019 CBC 11B-809.5.1.1 ALARM APPLIANCES. WHERE ALARM APPLIANCES ARE PROVIDED WITHIN A RESIDENTIAL DWELLING UNIT AS PART OF THE BUILDING FIRE ALARM SYSTEM, THEY SHALL COMPLY WITH CHAPTER 9 & SECTION 907.5.2.3.4.
2019 CBC 11B-809.5.1.2 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR BUILDING FIRE ALARM NOTIFICATION SHALL BE ACTIVATED UPON ACTIVATION OF THE BUILDING FIRE ALARM IN THE PORTION OF THE BUILDING CONTAINING THE RESIDENTIAL DWELLING UNIT.
2019 CBC 11B-809.5.2 RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM. RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEMS SHALL COMPLY WITH CHAPTER 9, SECTION 907.2.11.
2019 CBC 11B-809.5.2.1 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR SMOKE DETECTION NOTIFICATION SHALL BE ACTIVATED UPON SMOKE DETECTION.
2019 CBC 11B-809.5.3 INTERCONNECTION. THE SAME VISIBLE ALARM APPLIANCES SHALL BE PERMITTED TO PROVIDE NOTIFICATION FOR RESIDENTIAL DWELLING UNIT SMOKE DETECTION AND BUILDING FIRE ALARM ACTIVATION
2019 CBC 11B-809.5.4 PROHIBITED USE. VISIBLE ALARM APPLIANCES USED TO INDICATE RESIDENTIAL DWELLING UNIT SMOKE DETECTION OR BUILDING FIRE ALARM ACTIVATION SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHIN THE RESIDENTIAL DWELLING UNIT
2019 CBC 11B-809.5.5 RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. COMMUNICATION FEATURES SHALL BE PROVIDED AT THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE COMPLYING WITH SECTION 11B-809.5.5.
2019 11B-809.5.5.1 NOTIFICATION. A HARD-WIRED ELECTRIC DOORBELL SHALL BE PROVIDED. A BUTTON OR SWITCH SHALL BE PROVIDED OUTSIDE THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. ACTIVATION OF THE BUTTON OR SWITCH SHALL INITIATE AN AUDIBLE TONE AND VISIBLE SIGNAL WITHIN THE RESIDENTIAL DWELLING UNIT. WHERE VISIBLE DOORBELL SIGNALS ARE LOCATED IN SLEEPING AREAS, THEY SHALL HAVE CONTROLS TO DEACTIVATE THE SIGNAL.
2019 11B-809.5.5.2 IDENTIFICATION. A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE RESIDENTIAL DWELLING UNIT ENTRY DOOR SHALL BE PROVIDED AND SHALL ALLOW FOR A MINIMUM 180 DEGREE RANGE OF VIEW, INCLUDING A CLOSED-CIRCUIT SYSTEM, PERMITTING VOICE COMMUNICATION BETWEEN A VISITOR AND THE OCCUPANT OF THE RESIDENTIAL DWELLING



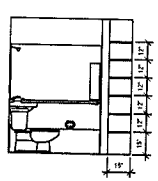
6 KITCHEN ELEVATION 2 - UNIT A
SCALE: 3/8" = 1'-0"



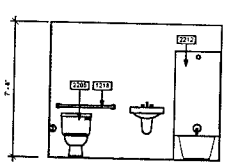
5 KITCHEN ELEVATION 1 - UNIT A
SCALE: 3/8" = 1'-0"



4 BATH ELEV. 3- UNIT A
SCALE: 1/8" = 1'-0"



3 BATH ELEV. 2- UNIT A
SCALE: 1/8" = 1'-0"



2 BATH ELEV. 1 - UNIT A
SCALE: 1/8" = 1'-0"

ACCESSIBLE SHELF CALCS

ACCESSIBLE SHELF AREA CALCULATION - KITCHEN A

Shelf	Accessible	Full Cut Shelf	Depth	Width (Inches)	Accessible Shelf Area (SF)	Non Accessible Shelf Area (SF)
A	0		12.0"	7.5"	0	0.63
B	0		12.0"	7.5"	0	0.63
C	0		12.0"	34.5"	0	2.88
D	0		12.0"	34.5"	0	2.88
E	0		12.0"	19.5"	0	1.63
F	0		12.0"	19.5"	0	1.63
G	0		24.0"	19.5"	0	3.25
H	1		24.0"	27.0"	4.5	4.75
I	1	yes	24.0"	27.0"	4.5	0
J	1	yes	24.0"	27.0"	4.5	0
K	0		24.0"	28.5"	0	0.75
					17.17	19.25

ROOM FINISH SCHEDULE

FINISH SCHEDULE-UNIT PLANS

Name	Floor Finish	Ceiling Finish	Base Finish	Wall Finish	Notes
BALCONY	FLOOR SYSTEM	STUCCO PAINT	INTERNAL	STUCCO PAINT	
Bedroom	VPF	GWB PAINT	3-1/4" MDF	GWB PAINT	
KITCHEN	VPF	GWB PAINT	3-1/4" MDF	GWB PAINT	

KEYNOTES

1006	REFRIGERATOR
1007	DISHWASHER
1008	30 INCH ELECTRIC RANGE (VERIFY DIMENSIONS MANUFACTURER'S SPECIFICATIONS)
1018	RANGE HOOD (VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS)
1207	SOLID SURFACE COUNTERTOP
1214	TOILET PAPER HOLDER
1218	12" DEEP WALL MOUNTED CABINET
1219	36" GRAB BAR PROVIDE BLOCKING
3205	WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2212	FIBERGLASS TUB/SHOWER STALL

11B ACC. & ADAPTABLE DETAILS

KITCHEN FEATURES
MOBILITY ACCESSIBLE UNITS:

- PROVIDE REMOVABLE BASE CABINETS UNDER SINK IN COMPLIANCE WITH 2019 CBC 11B-804.3. SEE DETAIL 34 AND 35/AX-845
- PROVIDE 30" MIN. OPEN WORK STATION WITH REMOVABLE BASE CABINET IN COMPLIANCE WITH 2019 CBC 11B-804.3.1. SIM TO DETAIL 23/AX-852
- PROVIDE DISHWASHER TO FIT UNDER 34" MOBILITY ACCESSIBLE COUNTER SPECIFICATIONS)

ADAPTABLE UNITS:

- PROVIDE REMOVABLE BASE CABINETS UNDER SINK IN COMPLIANCE WITH 2019 CBC 11B-804.3. SEE 23/AX-852
- PROVIDE 30" MIN. OPEN WORK STATION WITH REMOVABLE BASE CABINET IN COMPLIANCE WITH 2019 CBC 11B-804.3.1. SIM TO DETAIL 23/AX-852

BATHROOM FEATURES
MOBILITY ACCESSIBLE UNITS:

- PROVIDE GRAB BARS PER 2019 CBC 11B-604.5. SEE 25/AX-845
- PROVIDE ROLL UNDER SINK. SEE 44/AX-845
- MAINTAIN FORWARD APPROACH AT LAVATORIES PER 2019 CBC
- PROVIDE ACCESSIBLE TUB/SHOWER WITH GRAB BARS PER 2019 CBC 11B-607. SEE 25/AX-845

ADAPTABLE UNITS:

- PROVIDE BLOCKING FOR GRAB BARS PER 2019 CBC 11B-809.10.7.3. SEE 33/AX-852
- PROVIDE ROLL UNDER SINK. SEE 44/AX-845
- MAINTAIN FORWARD APPROACH AT LAVATORIES PER 2019 CBC 11B-809.10.8.2.
- PROVIDE ADAPTABLE TUB/SHOWER WITH BLOCKING FOR FUTURE GRAB BARS PER 2019 CBC 11B-809.10.5. SEE 24/AX-852

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nationalcore.org

CONSULTANT

AGENCY

MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
ENLARGED UNIT PLANS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-401

INITIAL B&S SUBMITTAL

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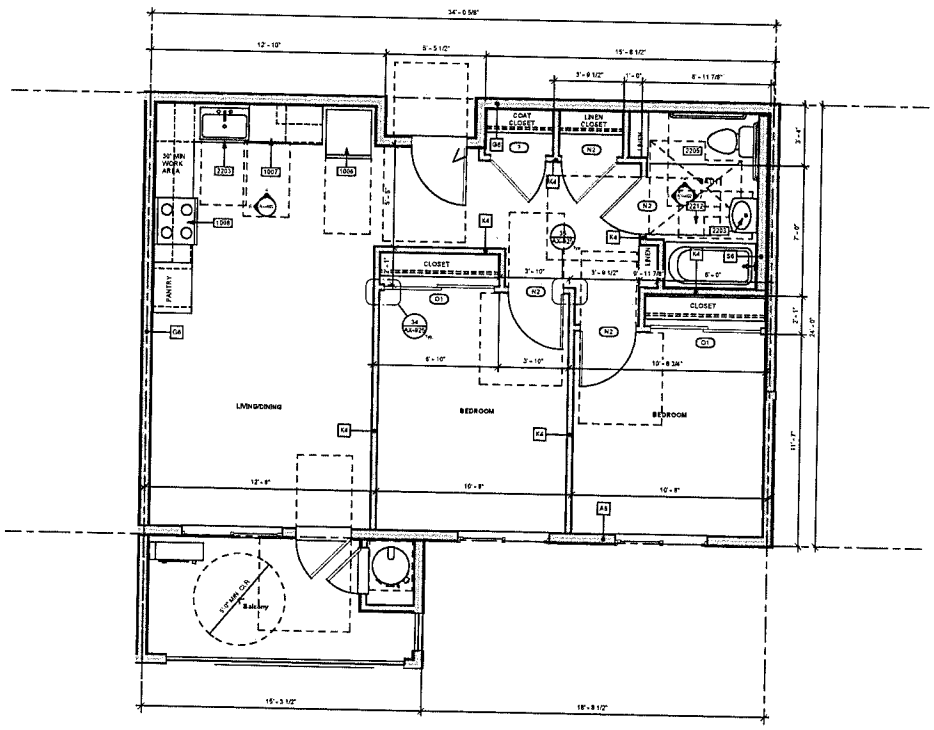


1 UNIT TYPE B - 2BD/1BA

A3-201 | A4-410 SCALE: 1/8" = 1'-0"

INT. ELEVS. GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION ON ELECTRICAL EQUIPMENT.
3. REFER TO RCP'S FOR SOFFIT DIMENSIONS AND FURTHER INFORMATION.
4. PROVIDE BLOCKING FOR ALL WALLS WHERE WALL HUNG EQUIPMENT AND FIXTURES OCCUR.
5. ALL DIMENSIONS SHOWN IN A ROOM TO BE CONSIDERED TYPICAL FOR EACH ELEVATION OF THE ROOM, UNLESS NOTED OTHERWISE.
6. VERIFY MOUNTING HEIGHTS OF ACCESSORIES AND PLUMBING FIXTURES MEET ACCESSIBILITY REQUIREMENTS WHERE APPLICABLE.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FINISH PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
3. REFER TO PLUMBING PLANS FOR FURTHER INFORMATION.
4. REFER TO DETAILS FOR FLOOR/CEILING ASSEMBLIES AND INTERIOR FINISH DETAILS.
5. ALL HARD SURFACE FLOORING SHALL BE SLIP RESISTANT AND MEET THE ANSI A326.3 STANDARD FOR MEASURING THE DYNAMIC COEFFICIENT OF FRICTION (DCOF).
6. ALL FLOORING MATERIALS SHALL COMPLY WITH 2019 CBC SEC. 804.5.
7. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2019 CBC TABLE 803.13 FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS.
2. REFER TO SHEET A3-201 FOR WALL TYPES.
3. REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION.
4. REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION IF PROVIDED.
5. REFER TO MECHANICAL PLANS, DRAWINGS OR REPORTS FOR FURTHER INFORMATION.
6. REFER TO PLUMBING PLANS OR DRAWINGS FOR FURTHER INFORMATION IF PROVIDED.
7. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
8. DIMENSIONS ARE TO FACE OF FRAMING UNLESS SPECIFICALLY NOTED OTHERWISE.
9. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
10. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED 2019 CBC HEIGHT LIMITATIONS.
11. DOOR AND WINDOW DIMENSIONS ARE CENTERED AT OPENINGS.
12. WHERE DOOR IS LOCATED WITHOUT DIMENSION AT THE CORNER OF A ROOM IT SHALL BE 4" FROM FACE OF FRAMING OF ADJACENT WALL TO ROUGH DOOR OPENING.
13. SEE CODE ANALYSIS FOR LOCATIONS OF FIRE PARTITIONS AND FIRE BARRIERS.
14. WHERE RECESSED FIXTURES OCCUR IN WALLS OR HORIZONTAL ASSEMBLIES, THE FIRE RATING OF THOSE ASSEMBLIES SHALL BE MAINTAINED.
15. AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND/OR FIRE STOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.

UNIT ACCESSIBILITY NOTES

TYPICAL ACCESSIBILITY FEATURES APPLICABLE AT ALL GROUND FLOOR UNITS (11B MOBILITY ACCESSIBLE AND ADAPTABLE):
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS

1. MANEUVERING CLEARANCES FOR ACCESSIBLE PATH OF TRAVEL INDICATED ON PLANS AS MINIMUM CLEAR DIMENSIONS MEASURED TO FACE OF FINISH TYP.
2. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS; COMMUNICATION SYSTEM RECEPTACLES, SWITCHES AND CONTROLS SHALL BE LOCATED BETWEEN 15 AND 48 INCHES OR BELOW 44 INCHES OVER COUNTERS. 2019 CBC 11B-308.1
3. ALL FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.
4. APPLIANCES SHALL BE PROVIDED BY CONTRACTOR; VERIFY ALL APPLIANCE DIMENSIONS & REQUIRED CLEARANCES FOR CABINETRY INSTALLATION.
5. PROVIDE DOORBELL: INSTALL 44" ABOVE FF (4' MAX). PROVIDE ADDITIONAL PEEPHOLE TO ALLOW FOR MIN. 180 VIEW OUTSIDE ENTRY DOOR, MOUNT 48" AFF MAX. 2019 CBC 11B-809.5 & 10
6. PROVIDE SMOKE & CARBON MONOXIDE DETECTOR
7. SURFACE MATERIAL OF ANY FIRE OR ACOUSTICAL RATED PARTITION OR FLOOR/CEILING ASSEMBLY SHALL EXTEND BEHIND AND/OR BELOW BATHTUBS, SHOWER STALLS, SOFFITS, CABINETS, STAIRS, DUCT ENCLOSURES, ETC.
8. ALL RECESSED FIXTURES INCLUDING LIGHTS AND EXHAUST FANS IN RATED CEILINGS SHALL BE FIRE-RATED OR LINED FOR CONTINUOUS FIRE-RATING AT THE CEILING. SEE DETAILS FOR DUCTS RUNNING PARALLEL WITH JOIST BAYS.
9. CLOSET SHELF AT 84" AFF, POLE BELOW.

(11B) MOBILITY IMPAIRED UNITS PROVISIONS PROVIDED AT 15% OF UNITS PER CEGAC STANDARDS:
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS
THESE PROVISIONS ARE ADDITIONAL TO TYPICAL ACCESSIBILITY FEATURES REQUIRED AT ALL GROUND FLOOR UNITS PER CBC CHAPTER 11B.

GENERAL:

1. ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A 60" CIRCLE OR T-SHAPED SPACE FOR TURNING 2019 CBC 11B-603.3.2
2. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH SECTION 11B-302. SEE DET. 4/AX 945.

KITCHEN:

1. 30" WORK SURFACE WITH FORWARD APPROACH (REMOVABLE BASE CABINETS PERMITTED) SHALL BE 34" ABOVE THE FF.
2. CABINET AND DRAWER PULL HARDWARE SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL OPERATE WITH NOT MORE THAT 5 LBS OF FORCE.
3. SINKS SHALL BE 34" ABOVE THE FF OR ADJUSTABLE.
4. WHERE A FORWARD APPROACH IS REQUIRED AT A SINK, KNEE AND TOE CLEARANCE SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-306
5. AT LEAST 50% OF SHELF SPACE IN STORAGE FACILITIES SHALL BE ACCESSIBLE (MANEUVERING CLEARANCES, REACH RANGES AND OPERABILITY)
6. BOTTOM-HINGED DOOR OVENS SHALL BE ADJACENT TO A 30" WORK SPACE
7. COMBINATION REFRIGERATORS AND FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE 54" MAX ABOVE THE FF.
8. DIMENSIONS FOR ACCESSIBLE FEATURES ARE SUBJECT TO CONVENTIONAL INDUSTRY CONSTRUCTION TOLERANCES ONLY WHEN STATED AS ABSOLUTE DIMENSIONS. CONSTRUCTION TOLERANCES ARE NOT ALLOWED FOR DIMENSIONS STATED AS "MAXIMUM", "MINIMUM" OR STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS. PER 2019 CBC 11B-104

BATHROOMS

1. MIRRORS SHALL BE INSTALLED W BOTTOM EDGE 40" MAX. ABOVE FF (35" WHEN NOT ABOVE FIXTURES).
2. COAT HOOKS & SHELVES LOCATED MIN. 40" MAX. 48" ABOVE FF. MEDICINE CABINET USABLE SHELF NO HIGHER THAN 44" ABOVE FF.
3. SWITCHES, OUTLETS, AND CONTROLS SHALL BE SET NOT MORE THAN 48" A.F.F., AND WHERE LOCATED ABOVE THE LAVATORY, NOT MORE THAN 44" A.F.F.

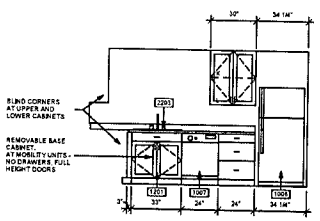
CLOSETS/STORAGE

1. CLOTHES RODS AND SHELVING SHALL BE MAX. 48" ABOVE FF AS TO COMPLY WITH APPLICABLE REACH RANGES AND SHELVING HEIGHTS. 2019 CBC SECTIONS 11B-308.2.2-4, SECTION 11B-308.1 & 11B-305.3
2. AT LEAST ONE TYPE OF STORAGE ELEMENT SHALL BE LOCATED WITHIN THE MAXIMUM REACH RANGE OF 48" A.F.F., AND 48" WHERE REACH EXCEEDS 24" IN DEPTH, PER 11B-308 / ADAS 309

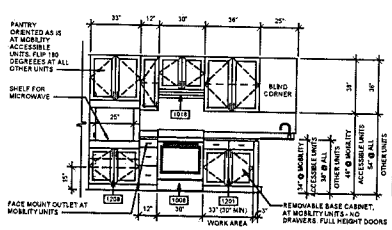
(COMMS) COMMUNICATION FEATURES UNIT PROVISIONS REQ. AT 10% OF UNITS 11B-233.3.1.3 AND 4/CA5
REFER TO UNIT MATRIX ON SHEET G-003 FOR ACCESSIBILITY DESIGNATIONS

1. PROVIDE ADDITIONAL COMMUNICATION FEATURES COMPLYING WITH CBC 2019 SECTION 11B-809.5
2. HARDWIRED DOORBELL WITH AUDIBLE & VISIBLE NOTIFICATION
3. PEEPHOLE TO ALLOW FOR MIN. 180 VIEW OUTSIDE ENTRY DOOR, MOUNT 43" AFF
4. FIRE ALARM SYSTEMS BY OTHER
5. ADDITIONAL COMMUNICATION FEATURES REQUIREMENTS PER 11B (AS LISTED BELOW)

2019 CBC 11B-809.5 RESIDENTIAL DWELLING UNITS WITH COMMUNICATION FEATURES. RESIDENTIAL DWELLING UNITS REQUIRED TO PROVIDE COMMUNICATION FEATURES SHALL COMPLY WITH SECTION 11B-809.5.
2019 CBC 11B-809.5.1 BUILDING FIRE ALARM SYSTEM. WHERE A BUILDING FIRE ALARM SYSTEM IS PROVIDED, THE SYSTEM WIRING SHALL BE EXTENDED TO A POINT WITHIN THE RESIDENTIAL DWELLING UNIT IN THE VICINITY OF THE RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM.
2019 CBC 11B-809.5.1.1 ALARM APPLIANCES. WHERE ALARM APPLIANCES ARE PROVIDED WITHIN A RESIDENTIAL DWELLING UNIT AS PART OF THE BUILDING FIRE ALARM SYSTEM, THEY SHALL COMPLY WITH CHAPTER 8, SECTION 907.5.2.3.4.
2019 CBC 11B-809.5.1.2 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR BUILDING FIRE ALARM NOTIFICATION SHALL BE ACTIVATED UPON ACTIVATION OF THE BUILDING FIRE ALARM IN THE PORTION OF THE BUILDING CONTAINING THE RESIDENTIAL DWELLING UNIT.
2019 CBC 11B-809.5.2 RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEM. RESIDENTIAL DWELLING UNIT SMOKE DETECTION SYSTEMS SHALL COMPLY WITH CHAPTER 8, SECTION 907.2.11.
2019 CBC 11B-809.5.2.1 ACTIVATION. ALL VISIBLE ALARM APPLIANCES PROVIDED WITHIN THE RESIDENTIAL DWELLING UNIT FOR SMOKE DETECTION NOTIFICATION SHALL BE ACTIVATED UPON SMOKE DETECTION.
2019 CBC 11B-809.5.2.2 INTERCONNECTION. THE SAME VISIBLE ALARM APPLIANCES SHALL BE PERMITTED TO PROVIDE NOTIFICATION OF RESIDENTIAL DWELLING UNIT 2019 CBC 11B-809.5.2 PROHIBITED USE. VISIBLE ALARM APPLIANCES USED TO INDICATE RESIDENTIAL DWELLING UNIT SMOKE DETECTION OR BUILDING FIRE ALARM ACTIVATION SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHIN THE RESIDENTIAL DWELLING UNIT.
2019 CBC 11B-809.5.3 RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. COMMUNICATION FEATURES SHALL BE PROVIDED OUTSIDE THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE COMPLYING WITH SECTION 11B-809.5.
2019 11B-809.5.3.1 NOTIFICATION. A HARDWIRED ELECTRIC DOORBELL SHALL BE PROVIDED. A BUTTON OR SWITCH SHALL BE PROVIDED OUTSIDE THE RESIDENTIAL DWELLING UNIT PRIMARY ENTRANCE. ACTIVATION OF THE BUTTON OR SWITCH SHALL INITIATE AN AUDIBLE TONE AND VISIBLE SIGNAL WITHIN THE RESIDENTIAL DWELLING UNIT. WHERE VISIBLE DOORBELL SIGNALS ARE LOCATED IN SLEEPING AREAS THEY SHALL HAVE CONTROLS TO DEACTIVATE THE SIGNAL.
2019 11B-809.5.3.2 IDENTIFICATION. A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE RESIDENTIAL DWELLING UNIT ENTRY DOOR SHALL BE PROVIDED AND SHALL ALLOW FOR A MINIMUM 180 DEGREE RANGE OF VIEW.
2019 11B-809.5.3.3 SITE, BUILDING, OR FLOOR ENTRANCE. WHERE A SYSTEM, INCLUDING A CLOSED-CIRCUIT SYSTEM, PERMITTING VOICE COMMUNICATION BETWEEN A VISITOR AND THE OCCUPANT OF THE RESIDENTIAL DWELLING



6 KITCHEN ELEVATION 2- UNIT B
SCALE: 3/8" = 1'-0"



5 KITCHEN ELEVATION 1 - UNIT B
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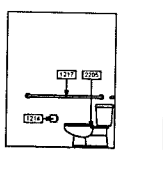

4 BATH ELEV. 3- UNIT B
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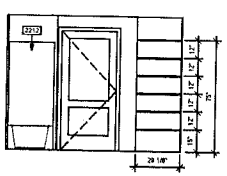
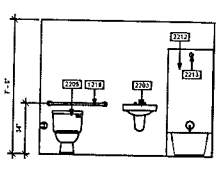


3 BATH ELEV. 2- UNIT B
SCALE: 3/8" = 1'-0"



2 BATH ELEV. 1- UNIT B
SCALE: 3/8" = 1'-0"

ACCESSIBLE SHELF CALCS

Shelf	Accessible	Pull Out Shelf	Shelf Depth	Width (Unobs)	Accessible Shelf Area (SF)	Non accessible
A	0		24.0"	31.5"	0.00	5.25
B	1		24.0"	25.0"	4.17	0.00
C	1	yes	24.0"	30.0"	5.00	0.00
D	1	yes	24.0"	30.0"	5.00	0.00
E	0		24.0"	31.5"	0.00	5.25
F	0		12.0"	10.5"	0.00	0.88
G	1		12.0"	10.5"	0.88	0.00
H	1		12.0"	10.5"	0.88	0.00
I	0		12.0"	34.5"	0.00	2.88
J	1		12.0"	34.5"	2.88	0.00
K	0		12.0"	28.5"	0.00	2.38
L	1		12.0"	28.5"	2.38	0.00
					20.28	16.63

ROOM FINISH SCHEDULE

FINISH SCHEDULE- UNIT PLANS

Name	Floor Finish	Ceiling Finish	Base Finish	Wall Finish	Notes
BALCONY	PLANK SYSTEM	STUCCO, PAINT	INTEGRAL	STUCCO, PAINT	
Bedroom	VPF	GWB, PAINT	3/4" WDF	GWB, PAINT	
KITCHEN	VPF	GWB, PAINT	3/4" WDF	GWB, PAINT	

KEYNOTES

1008	REFRIGERATOR
1007	DISHWASHER
1006	30 INCH ELECTRIC RANGE (VERIFY DIMENSIONS W/MANUFACTURER'S SPECIFICATIONS)
1018	RANGE HOOD (VERIFY DIMENSIONS WITH MANUFACTURER SPECIFICATIONS)
1201	22 INCH DEEP CABINET WITH REMOVABLE BASE
1208	FULL HEIGHT PANTRY CABINET, 24 INCH DEEP. PROVIDE FIXED SHELVING WITHIN ACCESSIBLE REACH RANGE AS SHOWN
1214	TOILET PAPER HOLDER
1217	42" GRAB BAR, PROVIDE BLOCKING
1218	36" GRAB BAR, PROVIDE BLOCKING
2203	SINK, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2205	WATER CLOSET, REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEET
2212	FIBERGLASS TUB/SHOWER STALL
2213	SHOWERHEAD

11B ACC. & ADAPTABLE DETAILS

KITCHEN FEATURES
MOBILITY ACCESSIBLE UNITS:

- PROVIDE REMOVABLE BASE CABINETS UNDER SINK IN COMPLIANCE WITH 2019 CBC 11B-804.2. SEE 2/AX 945 AND 5/AX 945
- PROVIDE 30" MIN. OPEN WORK STATION WITH REMOVABLE BASE CABINET IN COMPLIANCE WITH 2019 CBC 11B-804.5.1. 2/AX 1/AX 945
- PROVIDE DISHWASHER TO FIT UNDER 24" MOBILITY ACCESSIBLE COUNTER

ADAPTABLE UNITS:

- PROVIDE REMOVABLE BASE CABINETS UNDER SINK IN COMPLIANCE WITH 2019 CBC 11B-804.2. SEE 2/AX 5/832
- PROVIDE 30" MIN. OPEN WORK STATION WITH REMOVABLE BASE CABINET IN COMPLIANCE WITH 2019 CBC 11B-804.5.1. 2/AX 5/832

BATHROOM FEATURES
MOBILITY ACCESSIBLE UNITS:

- PROVIDE GRAB BARS PER 2019 CBC 11B-604.5. SEE 2/AX 5/945
- PROVIDE ROLL UNDER SINK. SEE 4/AX 945
- MAINTAIN FORWARD APPROACH AT LAVATORIES PER 2019 CBC 11B-606.2
- PROVIDE ACCESSIBLE TUB/SHOWER WITH GRAB BARS PER 2019 CBC 11B-607. SEE 2/AX 5/945

ADAPTABLE UNITS:

- PROVIDE BLOCKING FOR GRAB BARS PER 2019 CBC 11B-606.10.2.3. SEE 2/AX 5/832
- PROVIDE ROLL UNDER SINK. SEE 4/AX 5/945
- MAINTAIN FORWARD APPROACH AT LAVATORIES PER 2019 CBC 11B-606.10.2.
- PROVIDE ADAPTABLE TUB/SHOWER WITH BLOCKING FOR FUTURE GRAB BARS PER 2019 CBC 11B-606.10.3. SEE 2/AX 5/832

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CONSULTANT

AGENCY

MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
ENLARGED UNIT PLANS

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-402

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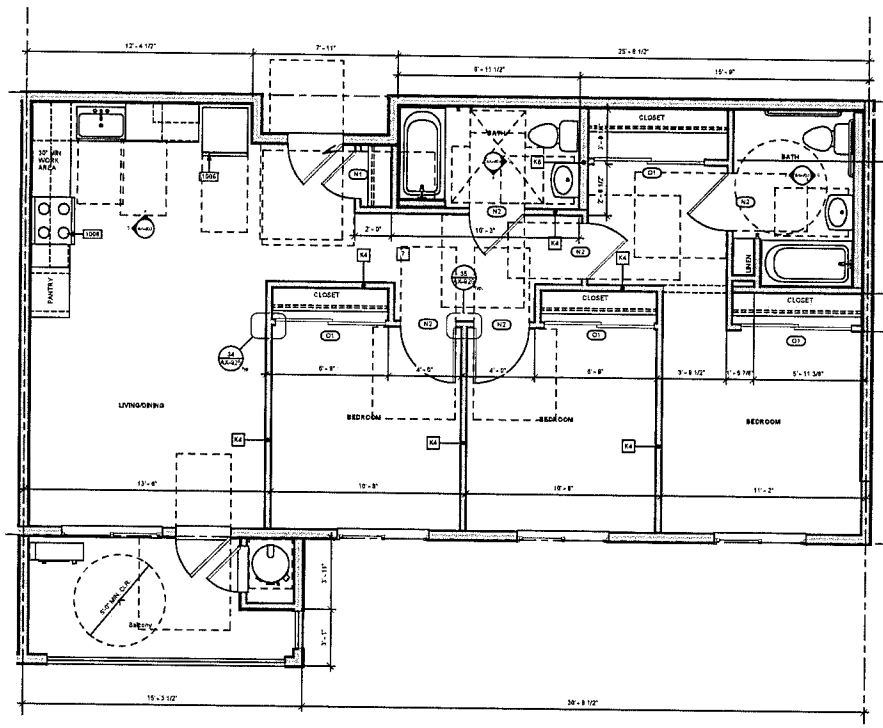
LIVING/DINING
BEDROOM
BEDROOM
BEDROOM
CLOSET
CLOSET
CLOSET
CLOSET
BATH
BATH
LINEN
PANTRY
BALCONY
30" MIN WORK AREA
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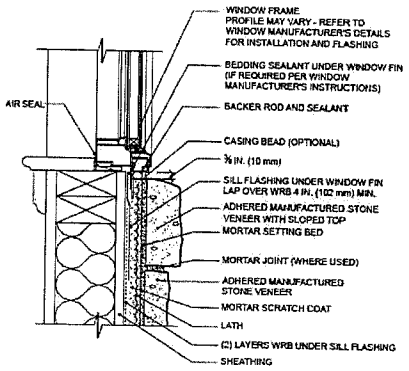
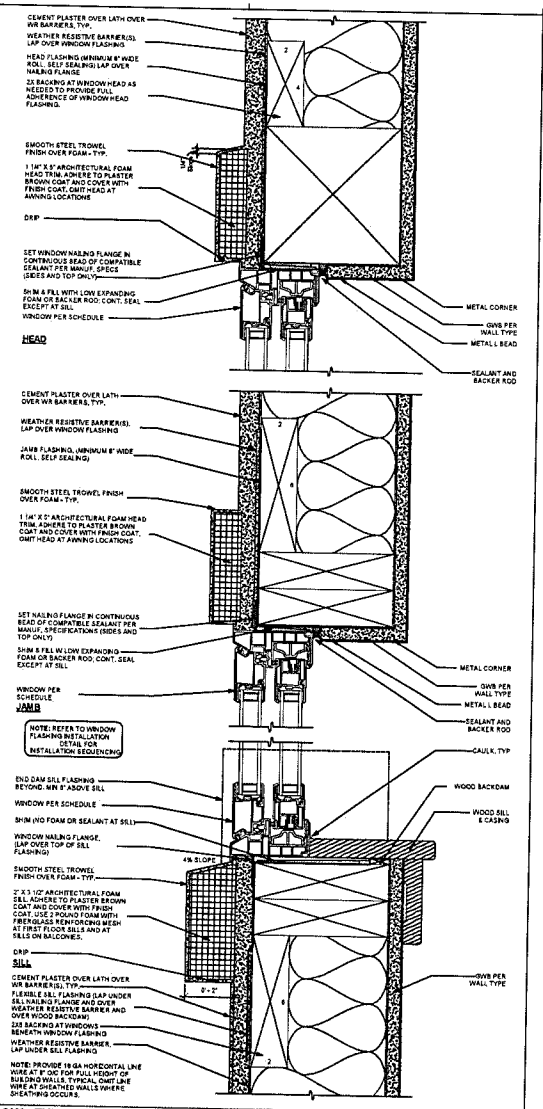


SILL

Rough openings must be properly flashed prior to window installation. Tuck water resistive barrier under flashing at sill. Sill flashing should drain to the exterior of the primary WRB or to exterior of adhered manufactured stone veneer.

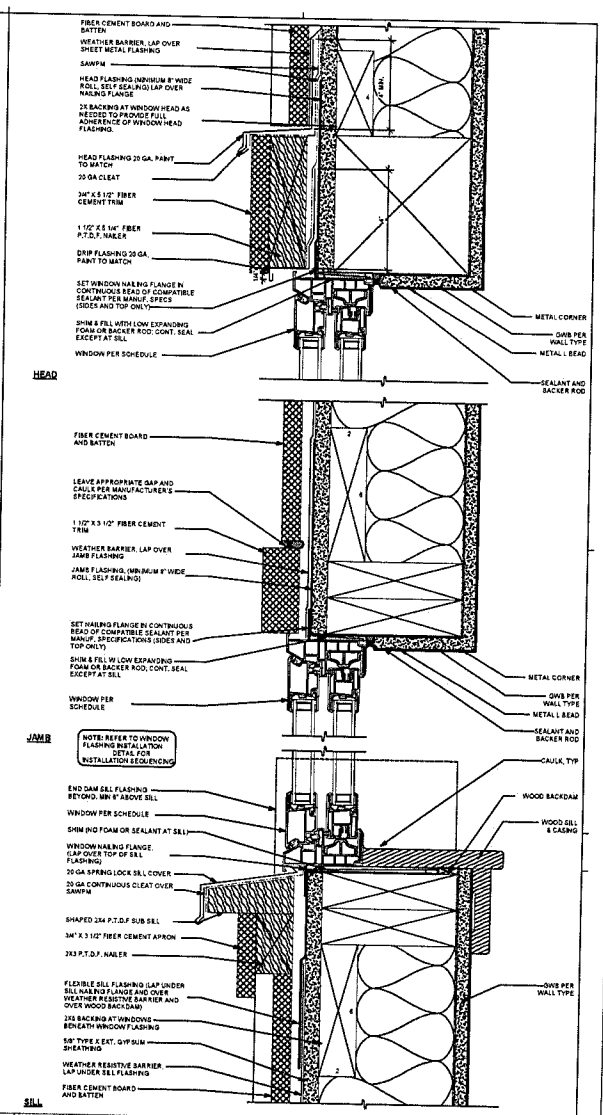
64 WINDOW - TYP. @ STONE VENEER

SCALE: 1"=1"



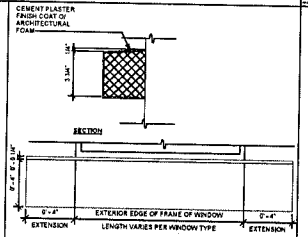
44 WINDOW - TYP @ STUCCO

SCALE: 1"=1"



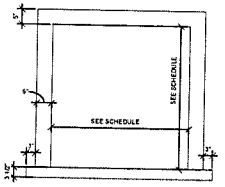
24 WINDOW - TYP @ SIDING

SCALE: 1"=1"



55 BELLYBAND/SILL DETAIL

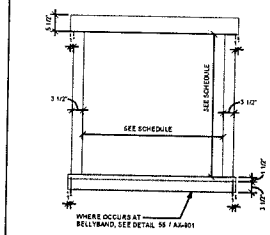
SCALE: 3"=1'-0"



NOTE: REFER TO HEADJAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

45 WINDOW TRIM - SURROUND @ STUCCO

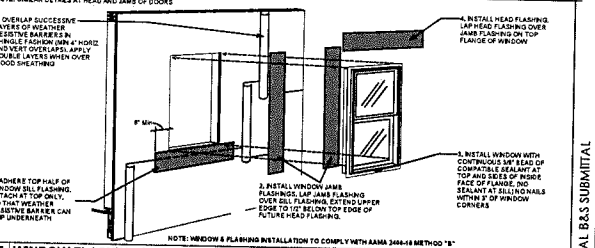
SCALE: 1"=1'-0"



35 WINDOW TRIM @ SIDING

SCALE: 1"=1'-0"

NOTE: SIMILAR DETAILS AT HEAD AND JAMB OF DOORS



NOTE: WINDOW & FLASHING INSTALLATION TO COMPLY WITH AAMA 2400-18 METHOD "B"

25 WINDOW FLASHING INSTALLATION

SCALE: 1"=1'-0"

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MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
WINDOW DETAILS

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-901

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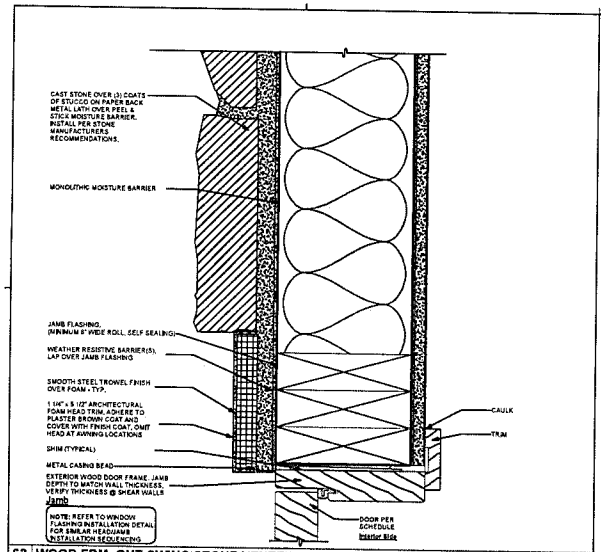
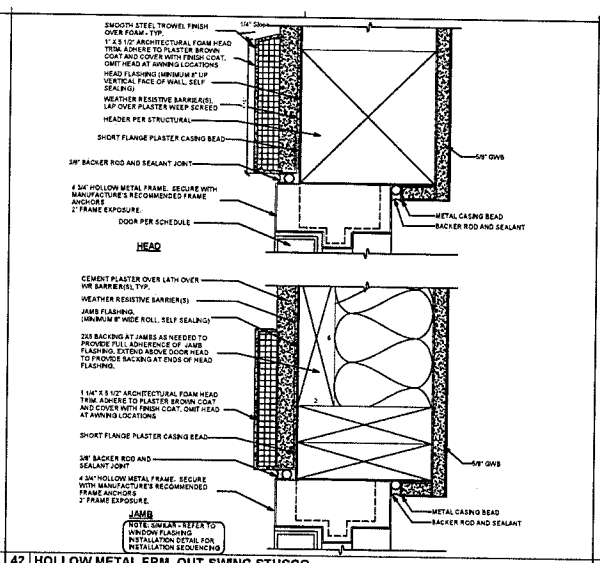


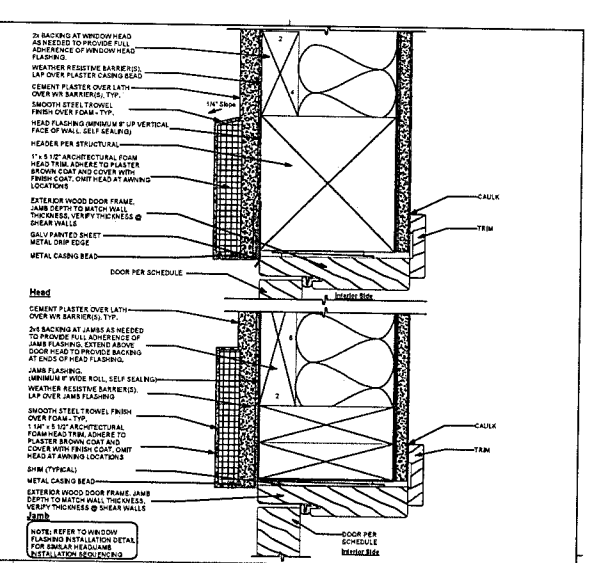
62 WOOD FRM. OUT-SWING STONE VENEER

SCALE: 4" = 1'-0"



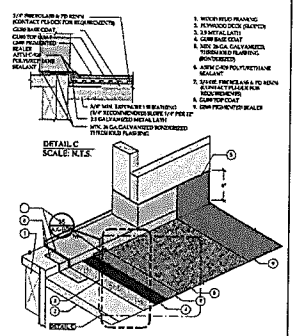
42 HOLLOW METAL FRM. OUT-SWING STUCCO

SCALE: 4" = 1'-0"



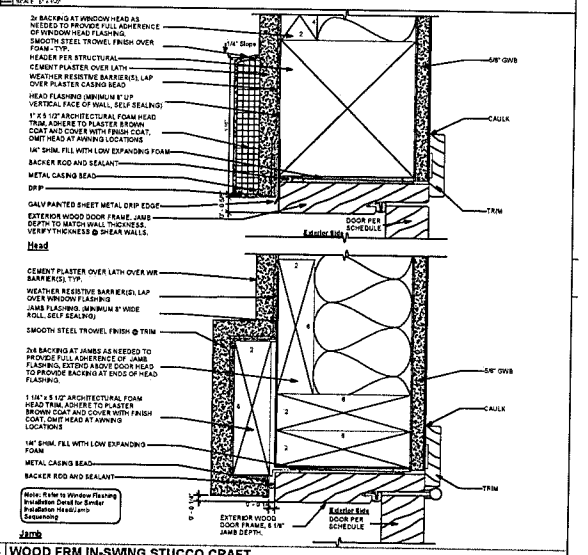
22 WOOD FRM. OUT-SWING STUCCO CRAFT

SCALE: 3" = 1'-0"



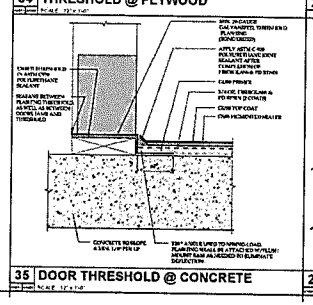
34 THRESHOLD @ PLYWOOD

SCALE: 12" = 1'-0"



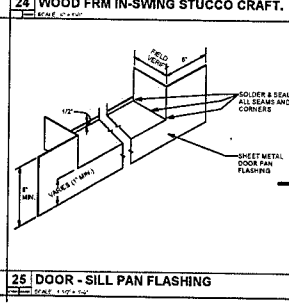
24 WOOD FRM IN-SWING STUCCO CRAFT.

SCALE: 3" = 1'-0"



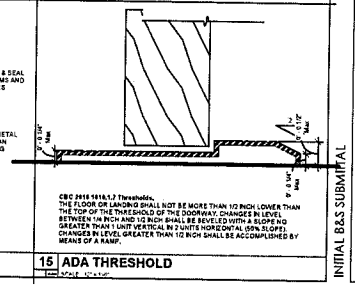
35 DOOR THRESHOLD @ CONCRETE

SCALE: 12" = 1'-0"



25 DOOR - SILL PAN FLASHING

SCALE: 1 1/2" = 1'-0"



15 ADA THRESHOLD

SCALE: 12" = 1'-0"

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AGENCY

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MURRIETA - ALL BUILDINGS
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DOOR DETAILS

NO.	REVISION	DATE
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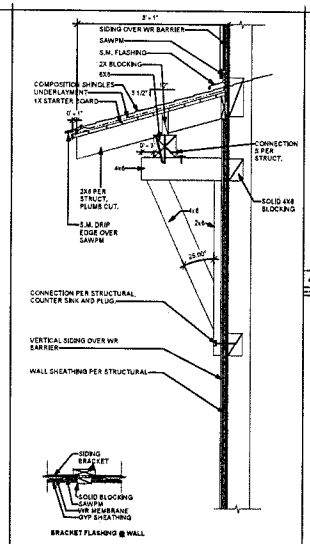
DRAWN BY | CHECKED BY

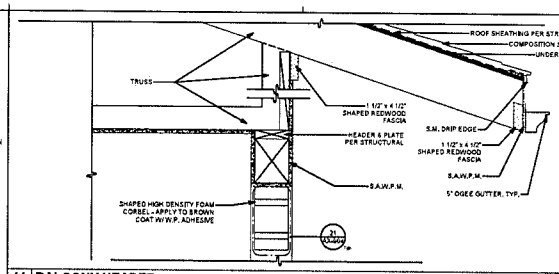
DATE 11/08/2022

PROJECT NUMBER 1853-05

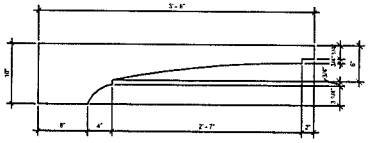
SHEET AX-903



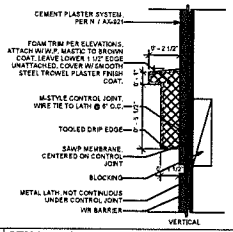
52 WINDOW SHINGLE AWNING1



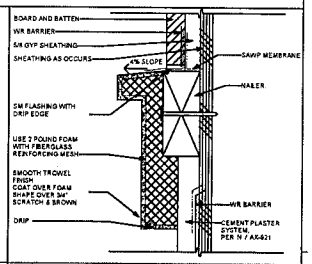
41 BALCONY HEADER



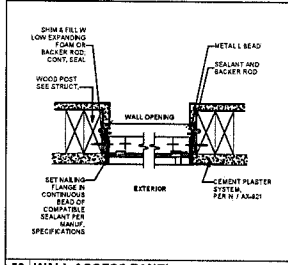
21 BALCONY CORBEL



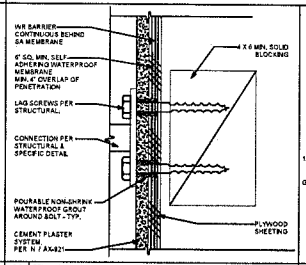
22 STUCCO EXPANSION JOINT @TRIM



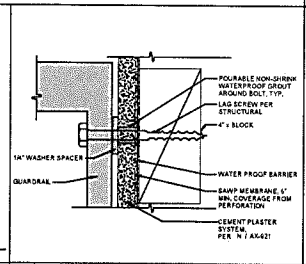
12 BELLYBAND DETAIL



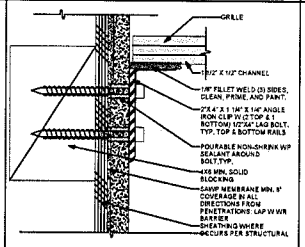
53 WALL ACCESS PANEL



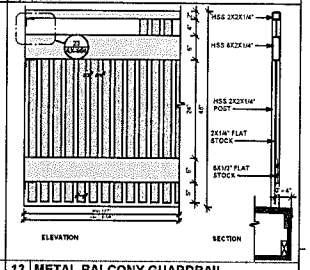
43 TYPICAL WALL CONNECTION



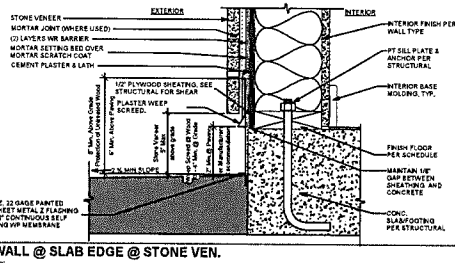
33 LAG SCREW DETAIL



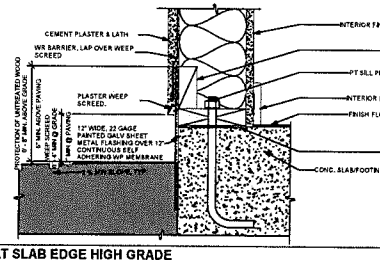
23 GRILLE CONNECTION



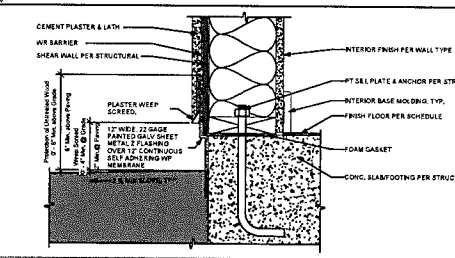
13 METAL BALCONY GUARDRAIL



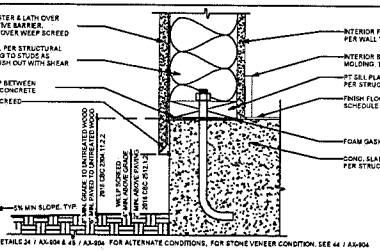
44 EXT. WALL @ SLAB EDGE @ STONE VEN.



24 EXT. WALL AT SLAB EDGE HIGH GRADE



45 EXT. SLAB EDGE HIGH GRADE W/ SHEAR



25 EXT. WALL AT SLAB EDGE

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CONSULTANT

AGENCY

MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
ARCHITECTURAL DETAILS - EXTERIOR

NO.	REVISION	DATE
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-904

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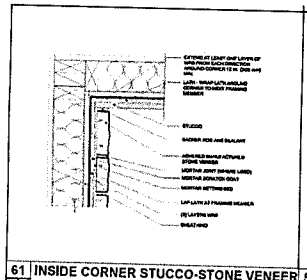
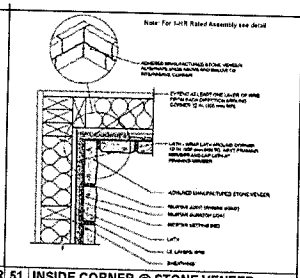
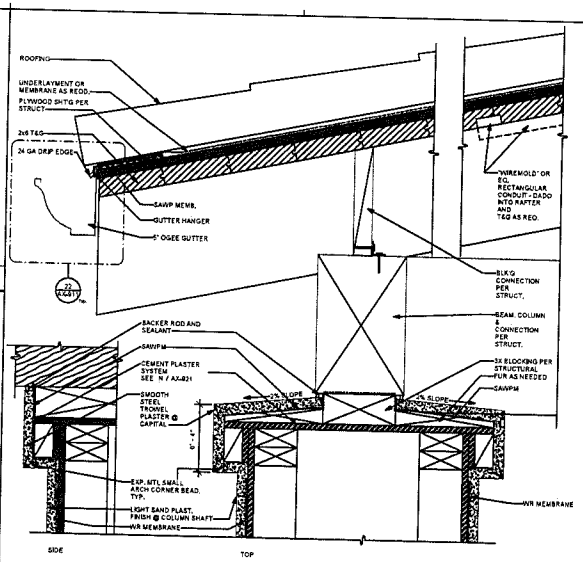


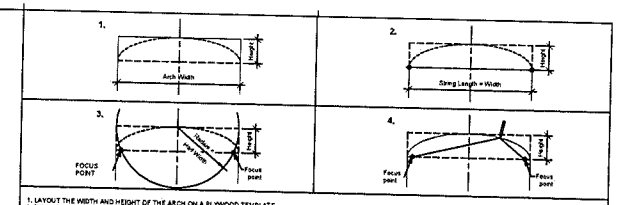
61 INSIDE CORNER STUCCO-STONE VENEER
SCALE: 3" = 1'-0"



51 INSIDE CORNER @ STONE VENEER
SCALE: 3" = 1'-0"

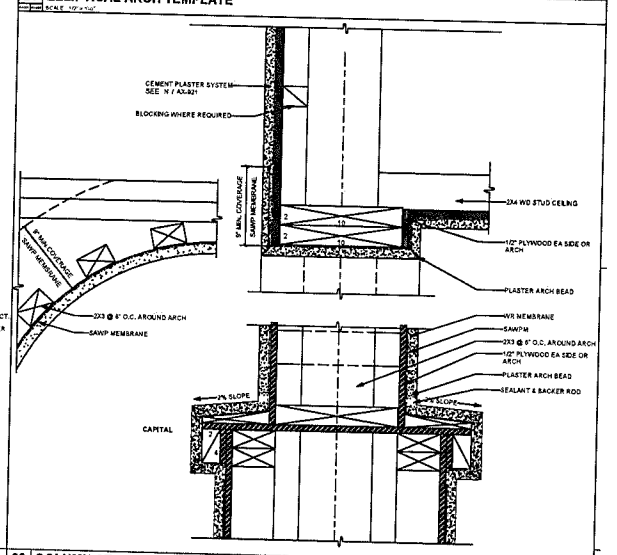


43 COLUMN AT ENTRANCE
SCALE: 3" = 1'-0"

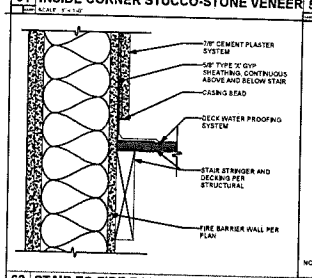


1. LAYOUT THE WIDTH AND HEIGHT OF THE ARCH ON A PLYWOOD TEMPLATE.
2. TIE A STRING BETWEEN PINS ACROSS THE FULL WIDTH OF THE ARCH. PULL THE STRING TIGHT TO MATCH THE WIDTH OF THE OPENING.
3. DRAW AN ARC WITH RADIUS HALF THE WIDTH OF THE OPENING FROM THE TOP CENTER OF THE ARCH. LOCATE FOCUS POINTS WHERE THE ARC INTERSECTS THE HORIZONTAL AXIS.
4. KEEPING THE STRING ATTACHED, MOVE THE PINS INWARD TO THE FOCUS POINTS. WITH THE STRING TAUGHT, TRACE THE SHAPE OF THE ELLIPSE.

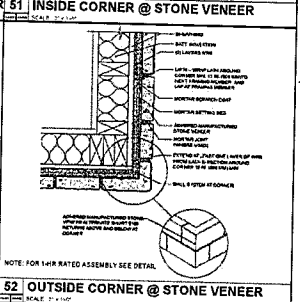
21 ELLIPTICAL ARCH TEMPLATE
SCALE: 1/2" = 1'-0"



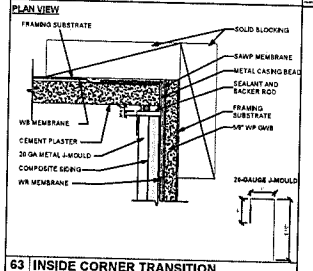
23 COLUMN AT ENTRANCE WITH ELLIPTICAL ARCH
SCALE: 1" = 1'-0"



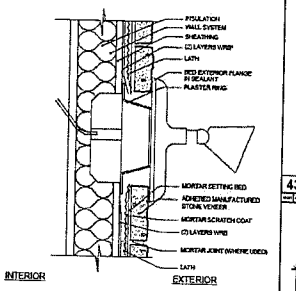
62 STAIR TO FIRE BARRIER WALL @EXT.
SCALE: 3" = 1'-0"



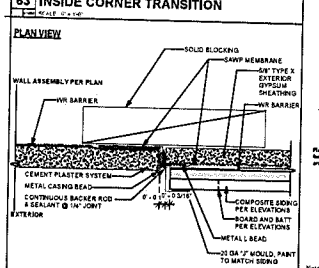
52 OUTSIDE CORNER @ STONE VENEER
SCALE: 3" = 1'-0"



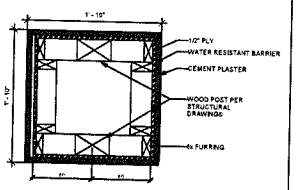
63 INSIDE CORNER TRANSITION
SCALE: 3" = 1'-0"



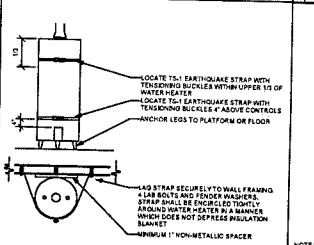
54 PENETRATION FIXTURE@STONE VENEER
SCALE: 3" = 1'-0"



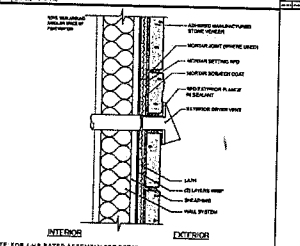
64 TRANS. STUCCO TO BOARD&BATTEN
SCALE: 3" = 1'-0"



44 COLUMN AT PORCH - PLAN
SCALE: 1 1/2" = 1'-0"



65 WATER HEATER MOUNTING
SCALE: 1/2" = 1'-0"



55 DRYER VENT @ STONE VENEER
SCALE: 3" = 1'-0"

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CONSULTANT

PROJECT

MURRIETA - ALL BUILDINGS
24960 ADAMS AVE, MURRIETA CA 92562
ARCHITECTURAL DETAILS - EXTERIOR

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-905

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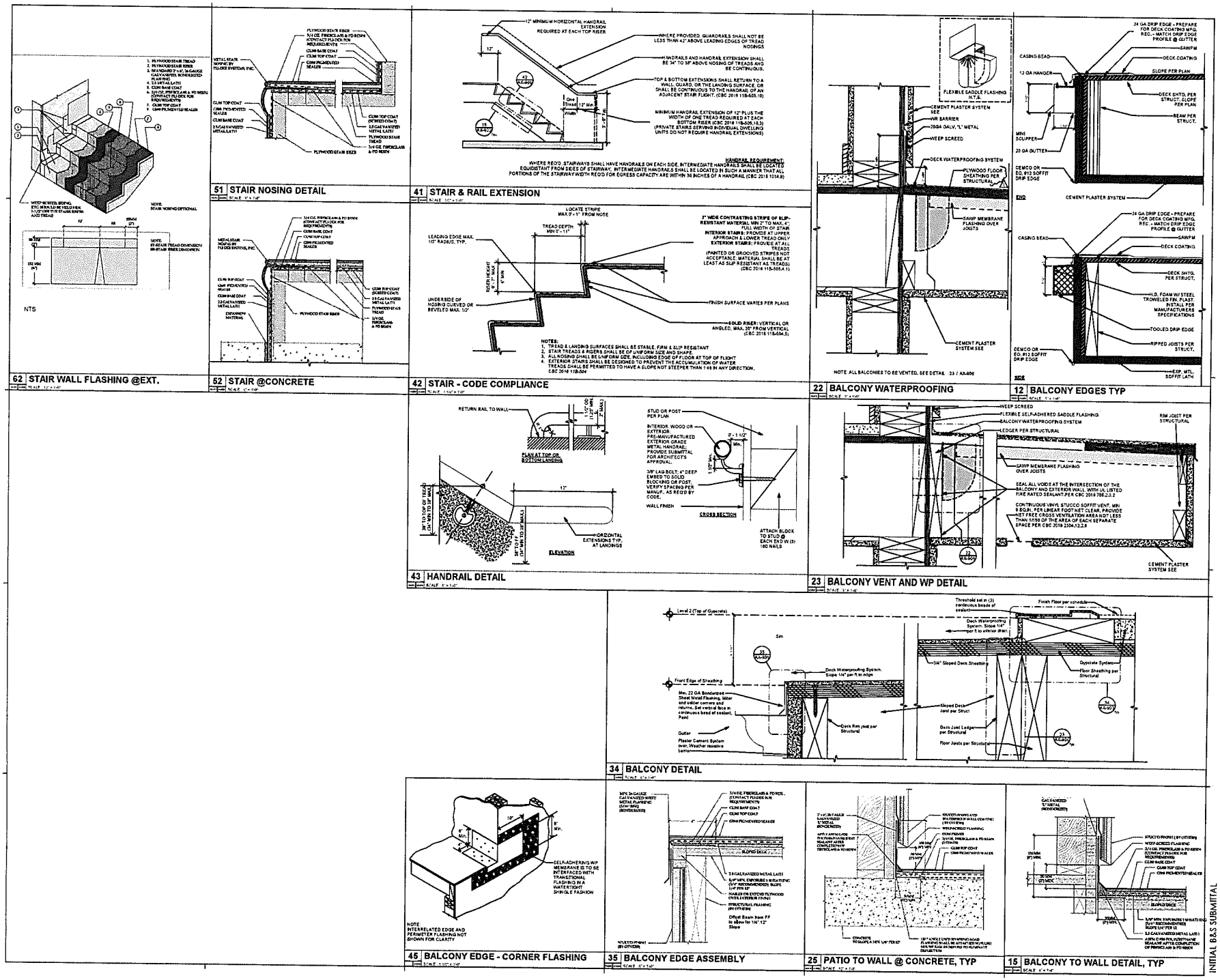

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24960 ADAMS AVE, MURRIETA, CA 92562
ARCHITECTURAL DETAILS - STAIR & BALCONY

NO.	REVISION	DATE
1	COORDINATION	09/02/20 22
2		
3		
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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-906

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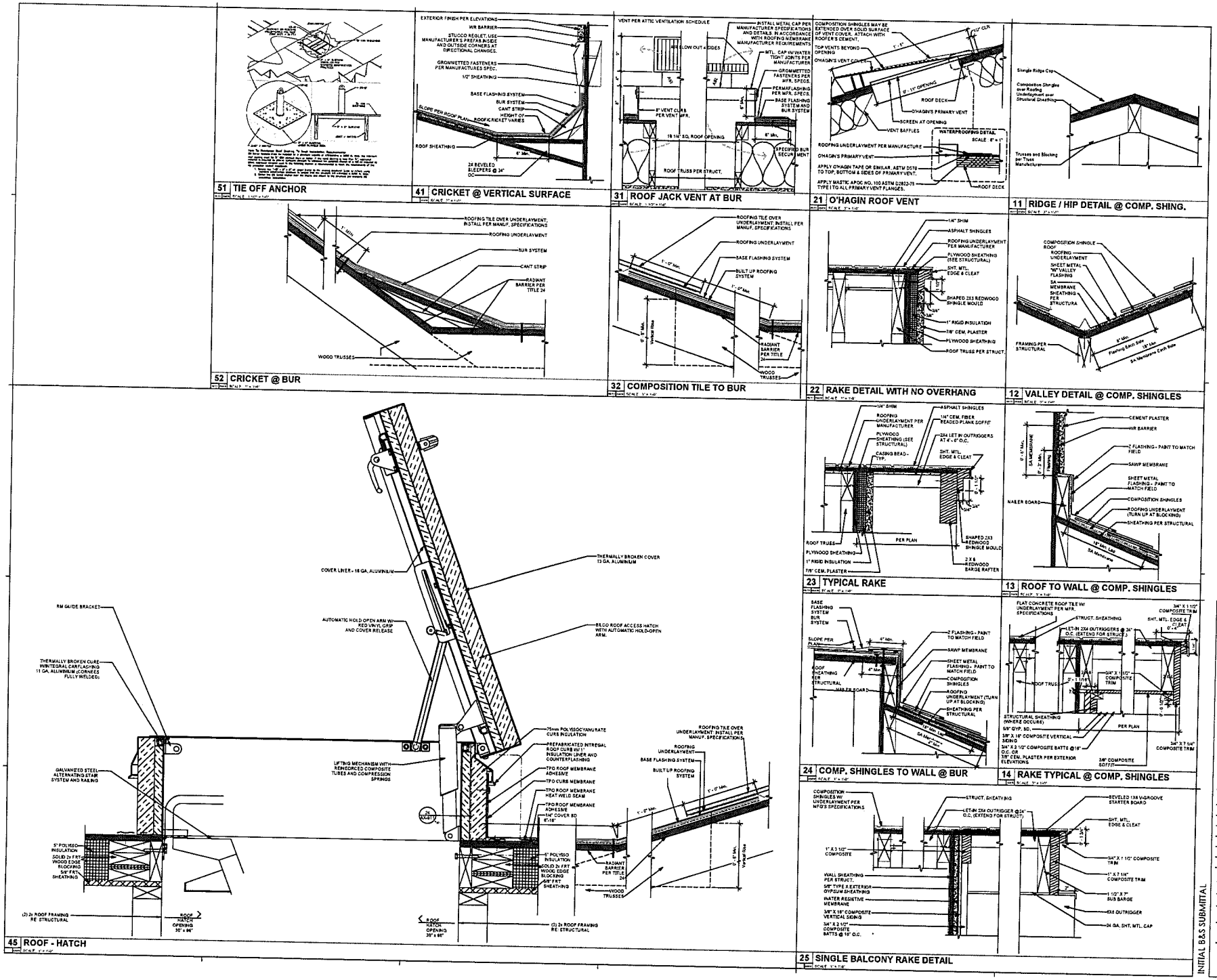

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ROOF DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET AX-910

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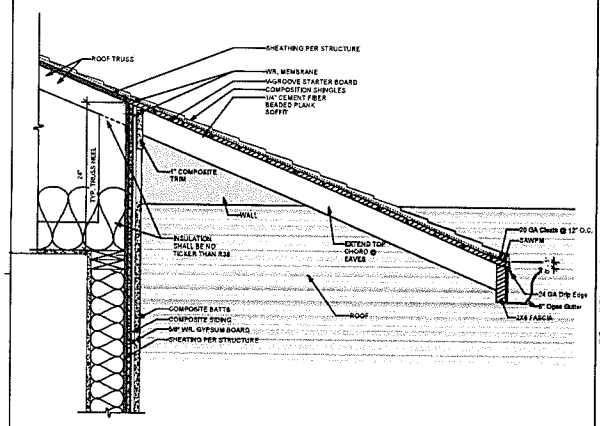
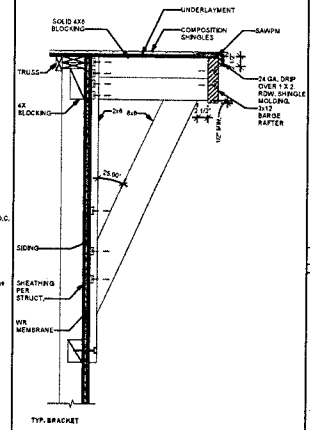
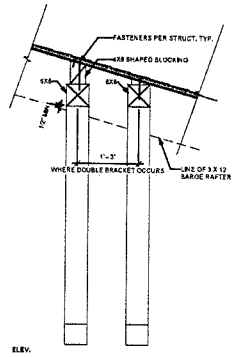
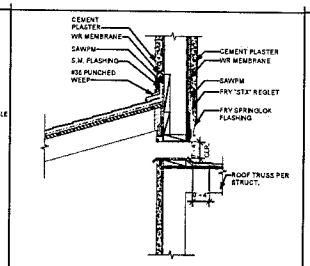


62 CENTRAL EAVE
SCALE 1 1/2" = 1'-0"

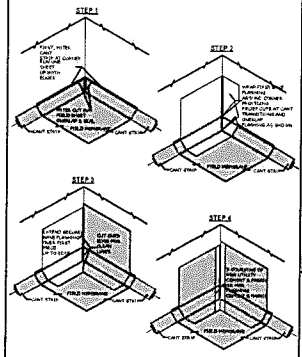




43 BRACKET
SCALE 1" = 1'-0"

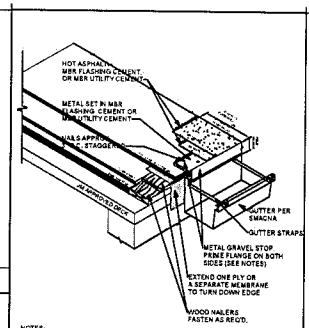


31 OVERFLOW SCUPPER DETAIL
SCALE 1" = 1'-0"



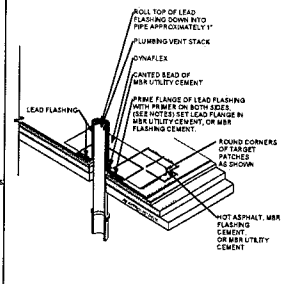
NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. 3-COURSING WITH MBR UTILITY CEMENT & FABRIC OR MBR FLASHING CEMENT & FABRIC MUST BE USED ALONG EDGE OF BASE FLASHING AS DEPICTED IN STEP 4.
3. VERTICAL JOINTS ARE TO BE OVERLAPPED 4" MINIMUM FOR ALL APPLICATIONS. 3 COURSING WITH MBR UTILITY CEMENT AND FABRIC OR JM MBR FLASHING CEMENT IS REQUIRED ON ALL VERTICAL FLASHING LAPS AND INSIDE/OUTSIDE CORNERS EXTENDING PAST LEADING EDGE OF CANT STRIP.
4. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.

33 BASE FLASHING AT INSIDE CORNER
SCALE 3/8" = 1'-0"



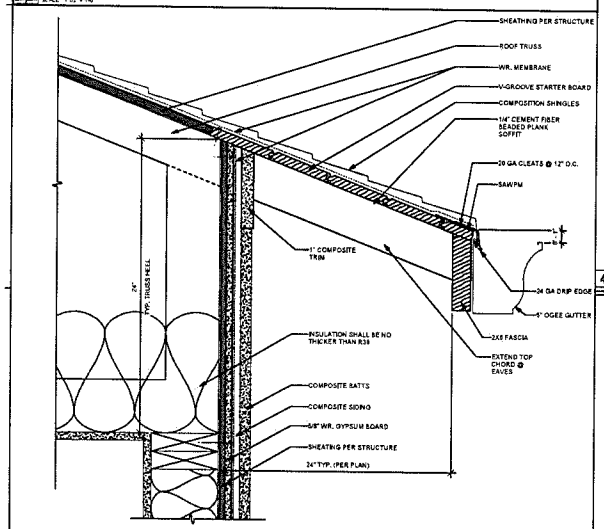
NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. *AN SBS BACKER PLY EXTENDING 8" FROM THE EDGE OF THE ROOF IS REQUIRED FOR EXTENDED TERM 25 AND 30 YEAR GUARANTEES.
3. ANY CARPENTRY, METAL WORK, OR MASONRY CONSTRUCTION SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. SHOP FABRICATED GRAVEL STOPS AND GUTTERS SHOULD BE INSTALLED IN ACCORDANCE WITH SMACNA AND/OR NRCA GUIDELINES. GRAVEL STOP LAPS SHALL UTILIZE EITHER APPROVED SPLICE PLATES OR 4" MINIMUM OVER LAPS WITH APPROVED SEALANT.
5. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
6. USE ASPHALT PRIMER ON GRAVEL STOP FLANGES WHEN USING MBR UTILITY CEMENT, USE PERMAFLASH PRIMER ON GRAVEL STOP FLANGES WHEN USING MBR FLASHING CEMENT.

22 ROOF EDGE GUTTER
SCALE 1" = 1'-0"

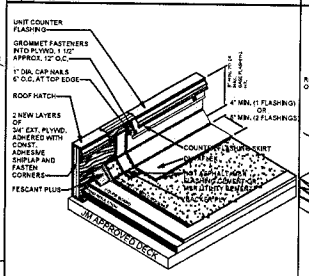


NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. LEAD FLASHING SHALL BE 2.5 LBS. PER SQUARE FOOT MINIMUM.
3. IF LEAD FLASHING IS NOT DESIRED OR PIPE IS TOO TALL, SEE PERMAFLASH DETAIL PMF-4 & PMF-45 FOR A SUITABLE ALTERNATIVE.
4. USE ASPHALT PRIMER ON LEAD FLANGES WHEN USING MBR UTILITY CEMENT.
5. USE PERMAFLASH PRIMER ON LEAD FLANGES WHEN USING MBR FLASHING CEMENT.
6. ANY CARPENTRY, METAL WORK, OR MASONRY CONSTRUCTION SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
7. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.

12 PLUMBING VENT
SCALE 1" = 1'-0"

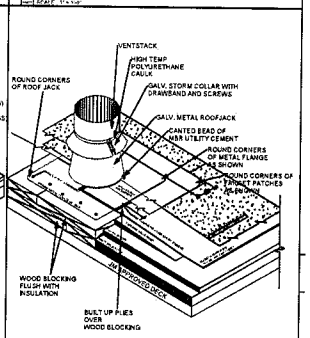


64 TYPICAL EAVE_1
SCALE 3" = 1'-0"



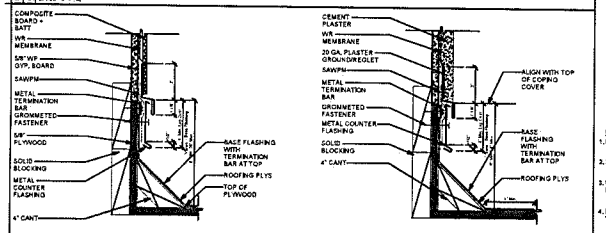
NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. *AN SBS BACKER PLY EXTENDING 2" MIN. FROM TOE OF CANT IS REQUIRED FOR EXTENDED TERM 25 AND 30 YEAR GUARANTEES.
3. HEIGHT OF CURB TO BE ADJUSTED WITH NAILERS. IT IS PREFERRED TO RAISE ROOF HATCH ONTO NAILERS TO EXTEND FLASHING HEIGHT.
4. CURB INSULATION MUST BE MECHANICALLY ATTACHED OR ADHERED SOLIDLY TO METAL CURB.
5. CURB MUST BE SET SO AS TO PROVIDE 8" MIN FLASHING HEIGHT.
6. METAL COUNTER FLASHING IS REQUIRED FOR ALL INSTALLATIONS.
7. ANY CARPENTRY, METAL WORK, OR MASONRY CONSTRUCTION SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
8. VERTICAL JOINTS ARE TO BE OVERLAPPED 4" MINIMUM FOR ALL APPLICATIONS. 3 COURSING WITH MBR UTILITY CEMENT AND FABRIC OR JM MBR FLASHING CEMENT IS REQUIRED ON ALL VERTICAL FLASHING LAPS AND INSIDE/OUTSIDE CORNERS EXTENDING PAST LEADING EDGE OF CANT STRIP.
9. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.

24 ROOF HATCH CURB
SCALE 1" = 1'-0"

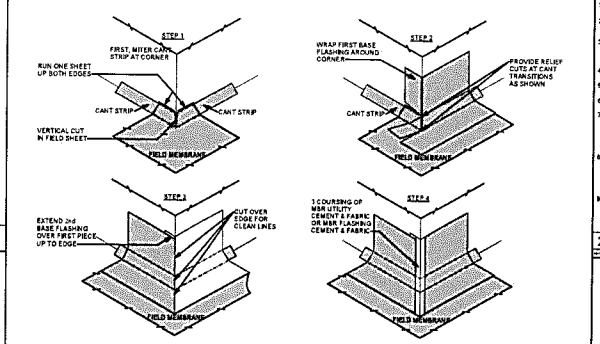


NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
3. ANY CARPENTRY, METAL WORK, OR MASONRY CONSTRUCTION SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
4. SEAL SEAMS OF ROOF JACK.
5. DISTANCE BETWEEN TOP OF ROOF JACK AND VENT STACK SHOULD BE A MINIMUM OF 1".
6. THE TAPERED EDGE STRIP IS OPTIONAL. THE NAILERS AND ROOF SUBSTRATE MUST BE FLUSH.
7. FLASHING ROOF JACK WITH A TARGET PATCH OVER CAP SHEET IS ACCEPTABLE. SEE DF64 FOR TYPICAL FLASHING INSTALLATION.

14 VENT STACK (WARM)
SCALE 1 1/2" = 1'-0"

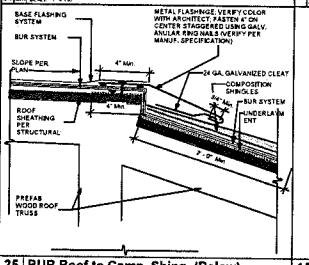


65 BUR WALL TO ROOF
SCALE 3" = 1'-0"

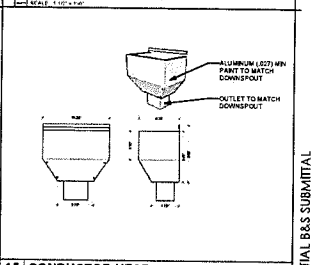


NOTES:
1. REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
2. 3-COURSING WITH MBR UTILITY CEMENT & FABRIC OR MBR FLASHING CEMENT & FABRIC MUST BE USED ALONG EDGE OF BASE FLASHING AS DEPICTED IN STEP 4.
3. VERTICAL JOINTS ARE TO BE OVERLAPPED 4" MINIMUM FOR ALL APPLICATIONS. 3 COURSING WITH MBR UTILITY CEMENT AND FABRIC OR JM MBR FLASHING CEMENT IS REQUIRED ON ALL VERTICAL FLASHING LAPS AND INSIDE/OUTSIDE CORNERS EXTENDING PAST LEADING EDGE OF CANT STRIP.
4. PLEASE SEE BITUMINOUS FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.

45 BASE FLASHING AT OUTSIDE CORNER
SCALE 3/8" = 1'-0"



25 BUR Roof to Comp. Shing. (Below)
SCALE 1" = 1'-0"



15 CONDUCTOR HEAD
SCALE 1/2" = 1'-0"

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ROOF DETAILS

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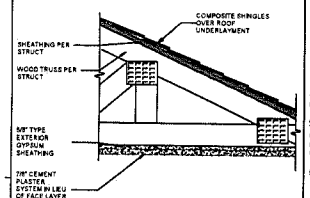
B&S 001 Murrieta Nexus_ALL.DWG 3.4.4

GA FILE NO. RC 2602 1-HOUR FIRE RATED

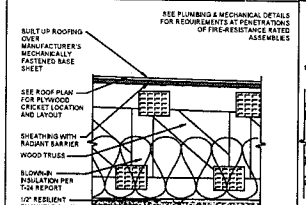


GA FILE NO RC 2602:
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO WOOD ROOF TRUSSES 24" O.C. WITH 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO TRUSSES WITH 1-7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE TRUSSES AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD TRUSSES SUPPORTING 1/2" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH 8D NAILS. APPROPRIATE ROOF COVERING. CEILING PROVIDES ONE-HOUR FIRE-RESISTANCE PROTECTION FOR TRUSSES.

62 ROOF ASSEMBLY, (1 HOUR) @EXTERIOR

SCALE 1 1/2" = 1'-0"

GA File No. RC 2604 1 Hour

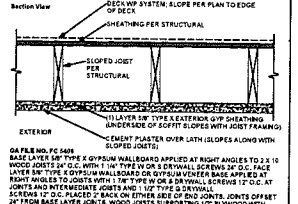


GA FILE NO. RC 2604: ONE LAYER 5/8" PROPRIETARY TYPE "C" GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 16" O.C. (12" O.C. WHEN INSULATION IS DRAPED OVER CHANNELS) WITH 1" TYPE S DRYWALL SCREWS 12" O.C. GYPSUM BOARD END JOINTS ATTACHED WITH SCREWS 8" O.C. TO ADDITIONAL PIECES OF CHANNEL 60" LONG LOCATED 3" BACK ON EITHER SIDE OF END JOINT. RESILIENT CHANNELS APPLIED AT RIGHT ANGLES TO BOTTOM CHORD OF PITCHED WOOD TRUSSES 24" O.C. WITH 1-5/8" TYPE S OR W SCREWS. GLASS FIBER INSULATION SECURED TO WOOD STRUCTURAL PANELS OR DRAPED OVER CHANNELS. TRUSSES SUPPORTING 15/32" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH CONSTRUCTION ADHESIVE AND 6D RING SHANK NAILS 12" O.C.

64 ROOF ASSEMBLY - BUILT UP ROOFING

SCALE 1 1/2" = 1'-0"

GA File No. FC 5408 1 HOUR

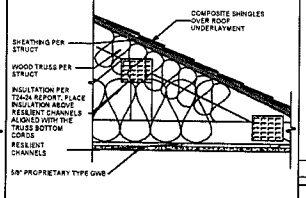


GA FILE NO. FC 5408
BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2 X 10 WOOD JOISTS 24" O.C. WITH 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS WITH 1-7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOISTS AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD JOISTS SUPPORTING 1/2" PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS WITH 8D NAILS. CEILING PROVIDES ONE HOUR FIRE RESISTANCE PROTECTION FOR FRAMING, INCLUDING TRUSSES.

65 BALCONY DECKS @ SLOPED JOIST

SCALE 1 1/2" = 1'-0"

GA FILE NO. RC 2606 1-HOUR FIRE RATED

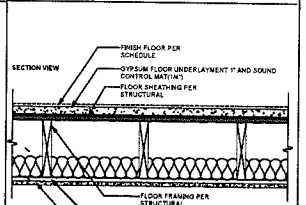


ONE LAYER 5/8" PROPRIETARY TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 16" O.C. (12" O.C. WHEN INSULATION IS DRAPED OVER CHANNELS) WITH 1" TYPE S DRYWALL SCREWS 12" O.C. GYPSUM BOARD END JOINTS ATTACHED WITH SCREWS 8" O.C. TO ADDITIONAL PIECES OF CHANNEL 60" LONG LOCATED 3" BACK ON EITHER SIDE OF END JOINT. RESILIENT CHANNELS APPLIED AT RIGHT ANGLES TO BOTTOM CHORD OF PITCHED WOOD TRUSSES 24" O.C. WITH 1-5/8" TYPE S OR W SCREWS. GLASS FIBER INSULATION SECURED TO WOOD STRUCTURAL PANELS OR DRAPED OVER CHANNELS. TRUSSES SUPPORTING 15/32" WOOD STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH CONSTRUCTION ADHESIVE AND 6D RING SHANK NAILS 12" O.C.

52 ROOF ASSEMBLY (1-HOUR)

SCALE 1 1/2" = 1'-0"

1-Hour Fire Rated: UL Design No. L518 - STC 52 (Interior) 1003365CRT-001) - BC 50 w/ TBs (1003365CRT-001)



BATTS INSULATION: 3 IN. THICKNESS OF GLASS FIBER BATTS SECURED TO JOISTS ON BOTH SIDES WITH STAPLES SPACED 12 IN. OC.

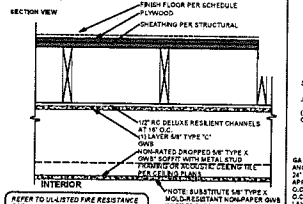
RESILIENT CHANNELS: 1/2" RC DELUXE RESILIENT CHANNELS FORMED FROM NO. 25 MSG GALV STEEL, SPACED 24 IN. OC PERPENDICULAR TO JOISTS. CHANNELS OVERLAPPED 10 IN. AT ENDS AND SECURED TO EACH JOIST WITH ONE 1-1/4 IN. LONG NO. 7 TYPE S BUGLE HEAD SCREW. ADDITIONAL RESILIENT CHANNELS POSITIONED 60 AS TO COINCIDE WITH END JOINTS OF GYPSUM BOARD. ADDITIONAL CHANNELS SHALL EXTEND MIN 3 IN. BEYOND EACH SIDE EDGE OF BOARD.

GYPSUM BOARD: NOM 5/8 IN. THICK, 48 IN. WIDE GYPSUM BOARD, INSTALLED WITH LONG DIMENSION PERPENDICULAR TO RESILIENT CHANNELS AND SIDE EDGES LOCATED BETWEEN JOISTS. GYPSUM BOARD SECURED WITH 1 IN. LONG NO. 7 TYPE S BUGLEHEAD SCREWS SPACED 12 IN. OC. END JOINTS OF GYPSUM BOARD SIMILARLY FASTENED TO ADDITIONAL RESILIENT CHANNELS POSITIONED AT END JOINT LOCATIONS. SCREWS LOCATED 3/4 AND 5/8 IN. FROM SIDE AND END JOINTS, RESPECTIVELY.

54 FLOOR/CEILING ASSEMBLY, TYP.

SCALE 1 1/2" = 1'-0"

1-Hour: UL Design No. L518 - STC 52 (Interior) 1003365CRT-001) - BC 50 w/ TBs (1003365CRT-001)



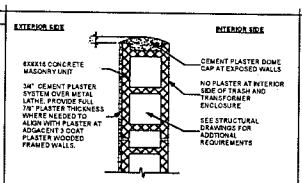
REFER TO UL-LISTED FIRE RESISTANCE RATED ASSEMBLY DETAILS ABOVE. STC NOT REQUIRED AT CORRIDORS. OPTIONAL INSULATION IS OMITTED

NOTE: SUBSTITUTE 5/8" TYPE X MOLD-RESISTANT NON-PAPER GWB W/ FIBERGLASS MATS AT ALL BATHROOM WALLS & CEILINGS, AND AT KITCHEN, LAUNDRY, AND JANITOR CLOSET WET WALLS.

55 FLOOR/CEILING AT INTERIOR CORRIDOR

SCALE 1 1/2" = 1'-0"

EXTERIOR SIDE / INTERIOR SIDE

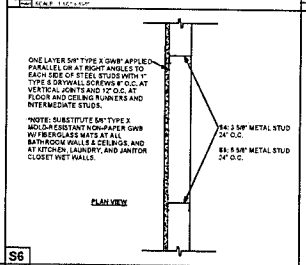


COMPLY WITH THE FOLLOWING STANDARDS:
CEMENT PLASTER ASTM C 926
LATHING & FURRING ASTM C 1063
WELDED WIRE LATH ASTM C 933
WEATHER RESISTIVE BARRIER ASTM D 226

PLAN VIEW

R CMU WALL

SCALE 1 1/2" = 1'-0"

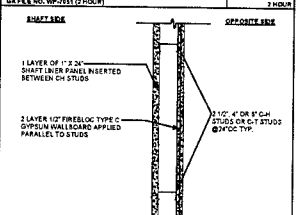


PLAN VIEW

S6 S4 FURRED METAL PLUMBING WALL

SCALE 1 1/2" = 1'-0"

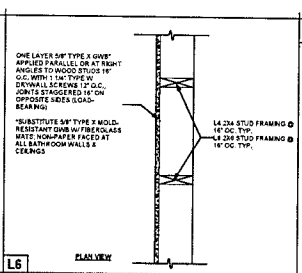
GA FILE NO. WP-7051 (2 HOUR) 2 HOUR



PLAN VIEW

T 2 HR - SHAFT WALL

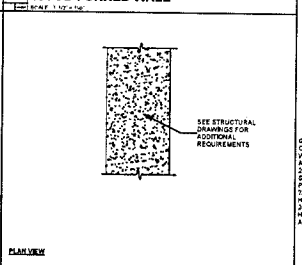
SCALE 1 1/2" = 1'-0"



PLAN VIEW

L6 L4 WOOD FURRED WALL

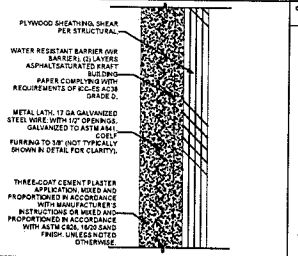
SCALE 1 1/2" = 1'-0"



PLAN VIEW

M CONCRETE WALL

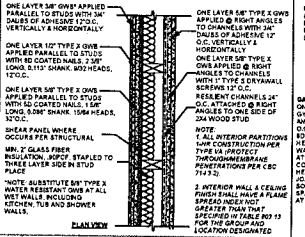
SCALE 1 1/2" = 1'-0"



PLAN VIEW

N CEMENT PLASTER SYSTEM, TYP.

GA FILE NO. WP 5015 60-64 STC 1-HOUR

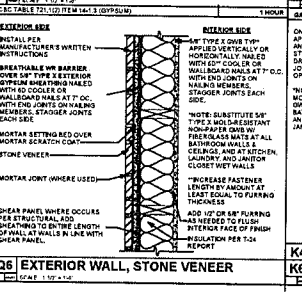


PLAN VIEW

P6 INTERIOR PARTITION - 1HR - STC 60-64

SCALE 1 1/2" = 1'-0"

CBC TABLE 721.1(2) ITEM 14-1.3 (GYPSUM) 1 HOUR

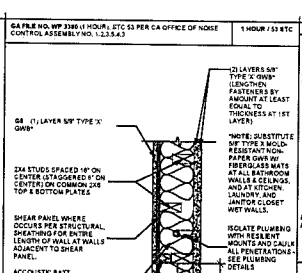


GA FILE NO. RC 2601: LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2 X 10 WOOD JOISTS 24" O.C. WITH 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS WITH 1-7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOISTS AND 1-1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD JOISTS SUPPORTING 1/2" PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS WITH 8D NAILS. APPROPRIATE ROOF COVERING. CEILING PROVIDES ONE-HOUR FIRE-RESISTANCE PROTECTION FOR FRAMING, INCLUDING TRUSSES.

45 SLOPED ROOF ASSEMBLY

SCALE 1 1/2" = 1'-0"

GA FILE NO. WP 3380 (1 HOUR), STC 53 PER CA OFFICE OF NOISE CONTROL ASSEMBLY NO. 1.2.3.5.4.3 1 HOUR / 53 STC



GA FILE NO. WP3380
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2 X 4 WOOD STUDS 16" O.C. STAGGERED 8" O.C. ON 3 X 6 WOOD PLATES WITH 60 COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS. 7" O.C. JOINTS STAGGERED 24" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT. (LOAD-BEARING)

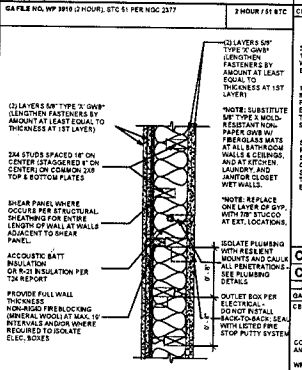
NOTES:
1. REFER TO MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR ADDITIONAL FIRE-RESISTANT & ACOUSTIC REQUIREMENTS AT PENETRATIONS
2. KEYHOLES FOR CONDUIT SHALL BE CUT IN WOOD STUDS IN SIDE SERVED.
3. INSTALL RECESSED FIXTURES SUCH THAT FIRE RESISTANCE RATING IS NOT REDUCED.

PLAN VIEW

G6 1HR - PARTY WALL STAGGERED STUD

SCALE 1 1/2" = 1'-0"

GA FILE NO. WP 3910 (2 HOUR), STC 51 PER NDC 2377 2 HOUR / 51 STC



GA FILE NO. WP3910
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 16" O.C. WITH 1-1/4" TYPE W DRYWALL SCREWS 12" O.C., STAGGERED 8" O.C. ON 2X4 PLATES. WITH 60 COATED NAILS, 1-7/8" LONG, .085" SHANK, 1/4" HEADS. 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO EACH SIDE WITH 60 COATED NAILS, 2-3/8" LONG, .113" SHANK, 9/32" HEADS, 8" O.C. JOINTS STAGGERED 16" EACH LAYER AND SIDE. SOUND TESTED WITH NAILS FOR BASE LAYER SPACED 8" O.C. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT. (LOAD BEARING)

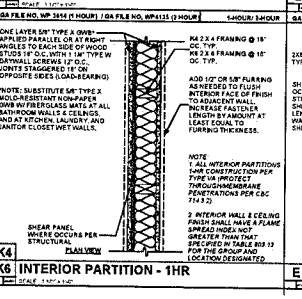
NOTES:
1. REFER TO MECHANICAL, ELECTRICAL & PLUMBING DRAWINGS FOR ADDITIONAL FIRE-RESISTANT & ACOUSTIC REQUIREMENTS AT PENETRATIONS
2. KEYHOLES FOR CONDUIT SHALL BE CUT IN WOOD STUDS IN SIDE SERVED.
3. INSTALL RECESSED FIXTURES SUCH THAT FIRE RESISTANCE RATING IS NOT REDUCED.

PLAN VIEW

J4 2 HR - PARTY WALL STAGGERED STUD

SCALE 1 1/2" = 1'-0"

GA FILE NO. WP 3854 (1 HOUR) / GA FILE NO. WP4125 (2 HOUR) 1-HOUR/ 2-HOUR

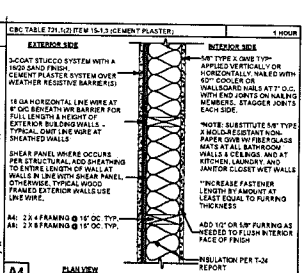


PLAN VIEW

K4 K6 INTERIOR PARTITION - 1HR

SCALE 1 1/2" = 1'-0"

CBC TABLE 721.1(2) ITEM 14-1.3 (CEMENT PLASTER) 1 HOUR



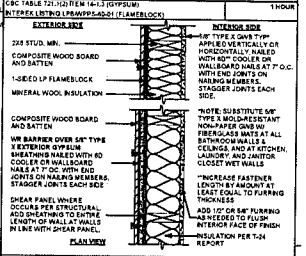
PLAN VIEW

A4 A6 EXTERIOR WALL STUCCO

SCALE 1 1/2" = 1'-0"

CBC TABLE 721.1(2) ITEM 14-1.3 (GYPSUM) 1 HOUR

INTERIOR LISTING LPR-WPS-A0-01 (FLAMEBLOCK)

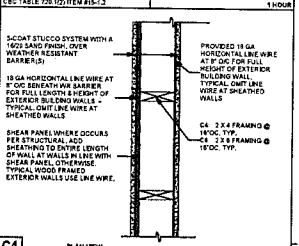


PLAN VIEW

B6 EXTERIOR WALL, BOARD & BATTEN

SCALE 1 1/2" = 1'-0"

CBC TABLE 720.1(2) ITEM #15-1.2 1 HOUR



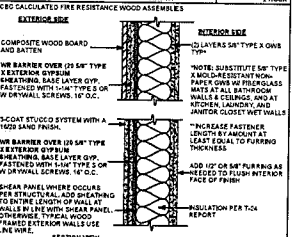
PLAN VIEW

C4 C6 EXTERIOR WALL, STUCCO BOTH SIDES

SCALE 1 1/2" = 1'-0"

GA FILE NO. WP 4290 (2 HOUR), CBC TABLE 722.3.1.4(2) 2 HOUR

CBC CALCULATED FIRE RESISTANCE WOOD ASSEMBLIES

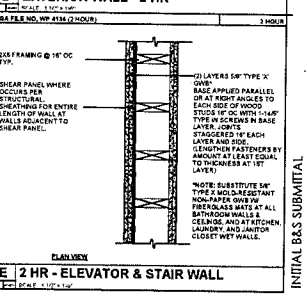


SECTION VIEW

D EXTERIOR WALL - 2 HR

SCALE 1 1/2" = 1'-0"

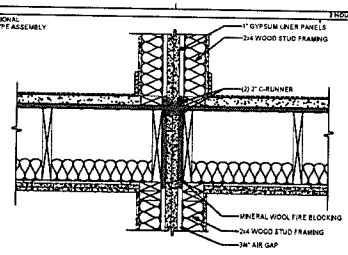
GA FILE NO. WP 4134 (2 HOUR) 2 HOUR


2X6 FRAMING @ 16" OC TYP.
SHEAR PANEL WHERE OCCURS PER STRUCTURAL. SHEATHING FOR ENTIRE LENGTH OF WALL AT WALLS ADJACENT TO SHEAR PANEL.
(2) LAYERS 5/8" TYPE 'X' GWB* BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF WOOD STUDS 16" OC WITH 1-1/4" TYPE W SCREWS IN BASE LAYER. JOINTS STAGGERED 16" EACH LAYER AND SIDE. (LENGTH FASTENERS BY AMOUNT AT LEAST EQUAL TO THICKNESS AT 1ST LAYER)
*NOTE: SUBSTITUTE 5/8" TYPE X MOLD-RESISTANT NON-PAPER GWB W/ FIBERGLASS MATS AT ALL BATHROOM WALLS & CEILINGS, AND AT KITCHEN, LAUNDRY, AND JANITOR CLOSET WET WALLS.

GA FILE NO. ABW 4818 (2 HOUR)

2 HOURS STC (RAL TL19-291, 8-31-19)

SEE DETAILS FA1A-921 FOR ADDITIONAL REQUIREMENTS OF THE WALL TYPE ASSEMBLY

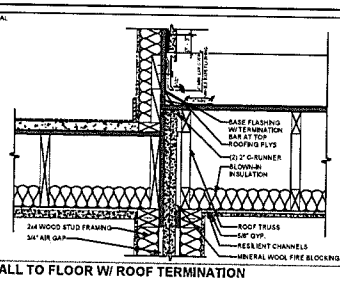


SECTION VIEW

41 FIRE WALL - WALL TO FLOOR TYP.

SCALE 1 1/2" = 1'-0"

SEE DETAILS FA1A-921 FOR ADDITIONAL REQUIREMENTS OF THE WALL TYPE ASSEMBLY



SECTION VIEW

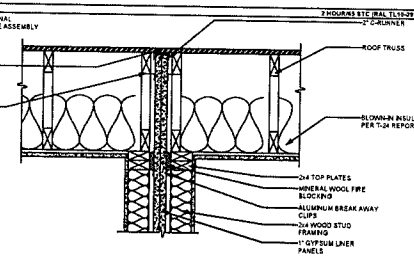
42 FIRE WALL - WALL TO FLOOR W/ ROOF TERMINATION

SCALE 1 1/2" = 1'-0"

GA FILE NO. ABW 4818 (2 HOUR)

2 HOURS STC (RAL TL19-291, 8-31-19)

SEE DETAILS FA1A-921 FOR ADDITIONAL REQUIREMENTS OF THE WALL TYPE ASSEMBLY



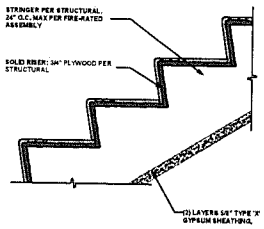
SECTION VIEW

43 FIRE WALL AT ATTIC

SCALE 1 1/2" = 1'-0"

GA FILE NO. FC 5528

1 HOUR

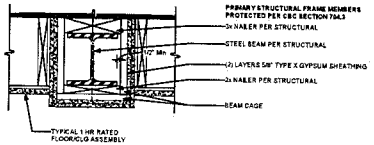


NOTE: THE FOLLOWING GA FILE IS PROVIDED AS REFERENCE FOR MINIMUM CONSTRUCTION REQUIREMENTS TO MEET 1-HOUR FIRE RATING OF THE STAIR ASSEMBLY.

GA FILE NO. FC 5528	GENERIC	1 HOUR FIRE
WOOD JOISTS, GYPSUM WALLBOARD		

35 RATED STAIR AND LANDING ASSEMBLY

SCALE 1 1/2" = 1'-0"



GA FILE NO. BM 2120

BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED TO BEAM CAGE WITH 1 1/4" TYPE S DRYWALL SCREWS 16" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED

BEAM CAGE FABRICATED FROM HORIZONTALLY INSTALLED STEEL ANGLES (25 GAGE STEEL HAVING 1" AND 2" LEGS) LOCATED NOT LESS THAN 1/2" FROM BEAM FLANGE. 1" LEGS OF THE UPPER ANGLES SECURED TO STEEL DECK UNITS WITH 1/2" TYPE S PAN HEAD SCREWS 12" O.C. "U" SHAPED BRACKETS FORMED OF 25 GAGE "U" SHAPED STEEL CHANNELS (1 1/1/8" WIDE WITH 1" LEGS) 24" O.C. SUSPENDED FROM UPPER ANGLES WITH 1/2" TYPE S PAN HEAD SCREWS AND SUPPORTED 1" X 2" ANGLES AT LOWER CORNERS NAIL CO. MINIMUM BEAM SIZE W8X24. (TWO HOUR RESTRAINED OR UNRESTRAINED BEAM.)

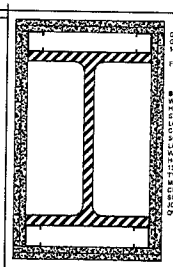
45 1-HOUR STEEL BEAM PROTECTION

SCALE 1 1/2" = 1'-0"

GA FILE NO. CM 1602
GENERIC
1-HOUR FIRE

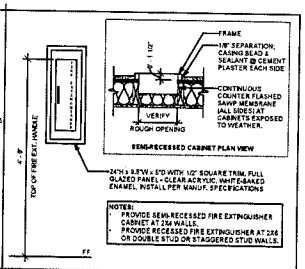
FIRE TEST: UL NC505, 77NK1747, 6-13-77, UL DESIGN X528

BASE LAYER 1/2" TYPE X GYPSUM WALLBOARD APPLIED WITHOUT HORIZONTAL JOINTS TO 15/8" STEEL STUDS
LOCATED AT EACH CORNER OF W6X15.5 COLUMN WITH 1" TYPE S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED WITHOUT HORIZONTAL JOINT & TO STUDS WITH 1 3/4" TYPE S DRYWALL SCREWS 12" O.C. METAL CORNER BEAD APPLIED TO ALL CORNERS WITH 11 DRYWALL SCREWS 12" O.C. IN EACH FLANGE. JOINT COMPOUND 1/16" THICK APPLIED OVER CORNER BEAD.



21 1HR W COLUMN PROTECTION

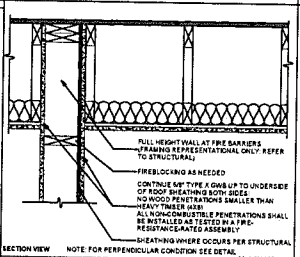
SCALE 1" = 1'-0"



NOTES:
- PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET AT 2X4 WALLS.
- PROVIDE RECESSED FIRE EXTINGUISHER AT 2X6 OR DOUBLE STUD OR STAGGERED STUD WALLS.

11 ACC. FIRE EXTINGUISHER CABINET

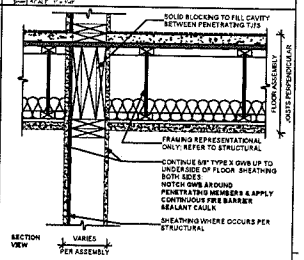
SCALE 1" = 1'-0"



SECTION VIEW NOTE: FOR PERPENDICULAR CONDITION SEE DETAIL 23 / AX-922

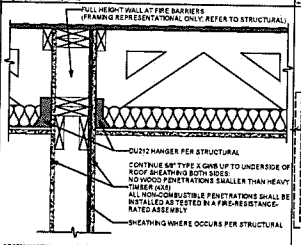
22 FIRE BARRIER - TRUSSES PARALLEL

SCALE 1 1/2" = 1'-0"



12 FIRE BARRIER - WALL TO FLOOR, TYP.

SCALE 1 1/2" = 1'-0"

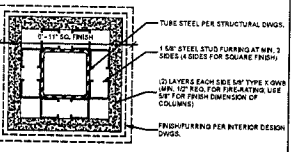


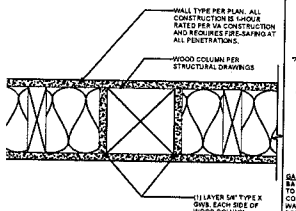
NOTE: FOR PARALLEL CONDITION SEE DETAIL 22 / AX-922

23 FIRE BARRIER-TRUSSES PERPENDICULAR

SCALE 1 1/2" = 1'-0"

TUBE STEEL COLUMN - SQUARE

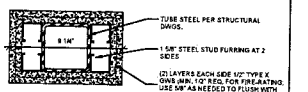




24 1HR WOOD COLUMN PROTECTION

SCALE 1" = 1'-0"

TUBE STEEL COLUMN - IN WALL

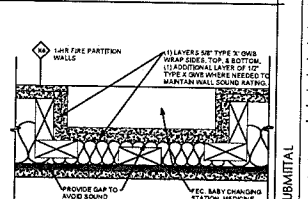


GA FILE NO. 1452 FIRE TEST: UL NC505, 77NK1747, 6-13-77, UL DESIGN X528

BASE LAYER 1/2" TYPE X GYPSUM WALLBOARD APPLIED WITHOUT HORIZONTAL JOINTS TO 15/8" STEEL STUDS LOCATED AT EACH CORNER OF 7 3/4"X10.188 TUBE STEEL COLUMN WITH 1" TYPE S DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED WITHOUT HORIZONTAL JOINTS TO STUDS WITH 1 3/4" TYPE S DRYWALL SCREWS 12" O.C. METAL CORNERBEAD APPLIED TO ALL CORNERS WITH 11 DRYWALL SCREWS 12" O.C. IN EACH FLANGE. JOINT COMPOUND 1/16" THICK APPLIED OVER CORNER BEAD.

14 1HR TUBE STEEL COLUMN PROTECTION

SCALE 1" = 1'-0"



15 RECESSED FIXTURE IN RATED WALL

SCALE 1" = 1'-0"

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FIRE ASSEMBLIES DETAILS

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DATE 11/08/2022

PROJECT NUMBER 1853-05

SHEET AX-922

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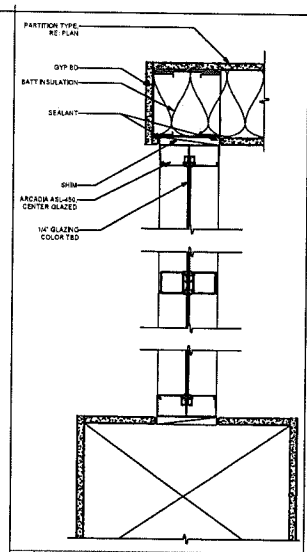
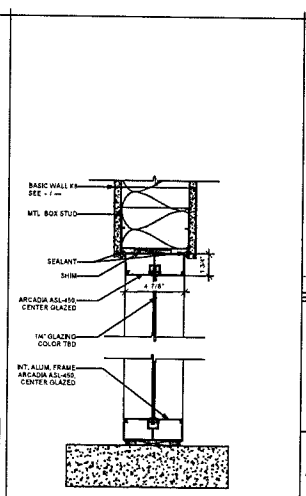
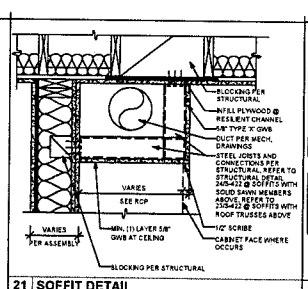
EN-2021 Murrieta Murrieta_RCD01.dwg



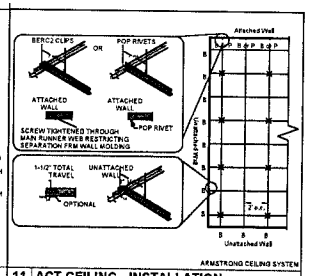
41 STOREFRONT - JAMB



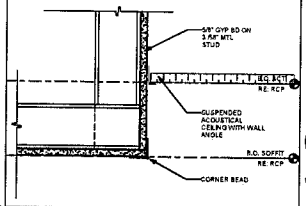
32 STOREFRONT HEAD/SILL



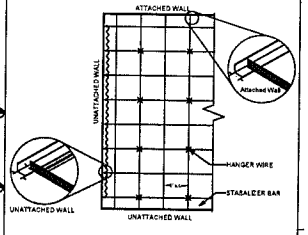
21 SOFFIT DETAIL



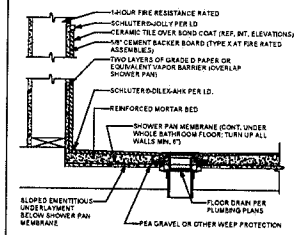
11 ACT CEILING - INSTALLATION



22 SOFFIT CONDITION @ CORRIDOR



12 ACT SYSTEM - LAYOUT



REDGARD CUSTOM BUILDING PRODUCTS QUALIFIES FOR LIFETIME WARRANTY (ONLY IF INSTALLED WITH OPTIONS BELOW):

WATERPROOFING MEMBRANE OPTIONS:
-REDGARD WATERPROOFING AND CRACK PREVENTION MEMBRANE (LIQUICK APPLIED MEMBRANE)-CUSTOM B240 WATERPROOFING AND CRACK PREVENTION MEMBRANE (FABRIC REINFORCE STRENGHT)

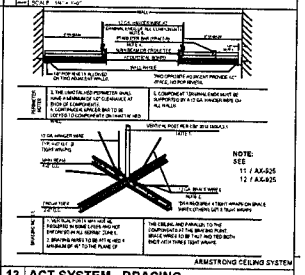
MORTAR OPTIONS:
-MEGALITE CRACK PREVENTION MORTAR (FLEXIBLE AND SAG RESISTANCE)-MEGALITE RAPID SETTING CRACK PREVENTION MORTAR (FOR RAPID INSTALLATION OF TILE)

GROUT OPTIONS:
-POLYBLEND GROUT (POLYMER MODIFIED TILE GROUT)-PRISM SURECOLOR GROUT (SHADE AND EFFLORESCENSE CONTROL)

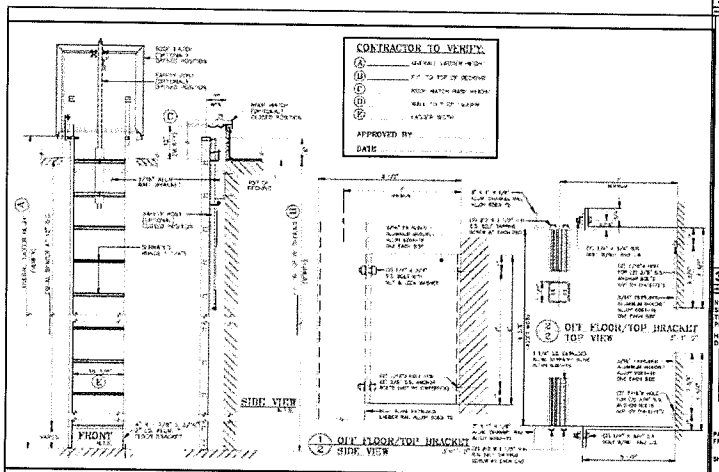
SEALANT OPTION:
-COMMERCIAL 100% SILICONE CAULK (FOR MOVEMENT JOINTS IN TRAFFIC AREAS)

REFERENCE : TCA B421 / TTMAC 328 DRB MODIFIED

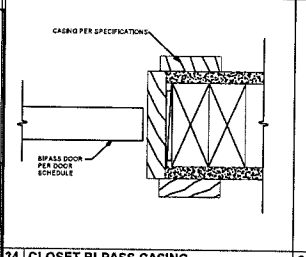
33 TILE FLOOR DRAIN DETAIL



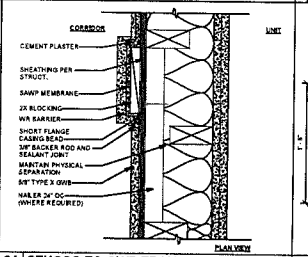
13 ACT SYSTEM - BRACING



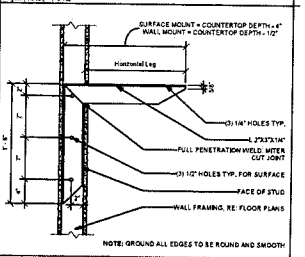
55 LADDER DETAIL



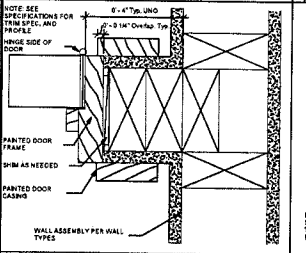
34 CLOSET BI-PASS CASING



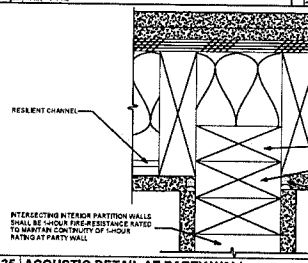
24 STUCCO TO GWB TRANS.



14 COUNTER SUPPORT



35 INTERIOR DOOR CASING



25 ACOUSTIC DETAIL AT PARTY WALL

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24960 ADAMS AVE, MURRIETA CA 92562
ARCHITECTURAL DETAILS - INTERIOR

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-925

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BIM 360://Murrieta-Murrieta - BLDG 3-5.rvt

DIVISION I - APPLICATION, GENERAL PROVISIONS, AND DEFINITIONS

1102A - BUILDING ACCESSIBILITY

1103A - EXTERIOR ROUTE OF TRAVEL

1104A - HAZARDS ON ACCESSIBLE ROUTES

DIVISION II - EXTERIOR FACILITIES

1109A - PARKING FACILITIES

1110A - WALKS AND SIDEWALKS ON AN ACCESSIBLE ROUTE

1116A - EXTERIOR STAIRWAYS

DIVISION III - BUILDING FEATURES

1117A - GENERAL REQUIREMENTS FOR ACCESSIBLE ENTRANCES, EXITS, INTERIOR ROUTES OF TRAVEL AND FACILITY ACCESSIBILITY

1111A - CHANGES IN LEVEL ON ACCESSIBLE ROUTES

1113A - CURB RAMPS ON ACCESSIBLE ROUTES

1126A - DOORS, GATES AND WINDOWS

DIVISION IV - DWELLING UNIT FEATURES

1125A - COVERED DWELLING UNITS

1130A - ACCESSIBLE ROUTE WITHIN COVERED MULTIFAMILY DWELLING UNITS

1131A - CHANGES IN LEVEL ON ACCESSIBLE ROUTES

1132A - DOORS

1133A - KITCHENS

1134A - BATHING AND TOILET FACILITIES

1136A - LAUNDRY ROOMS

1138A ELECTRICAL RECEPTACLE, SWITCH AND CONTROL HEIGHTS

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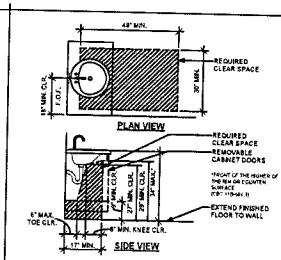
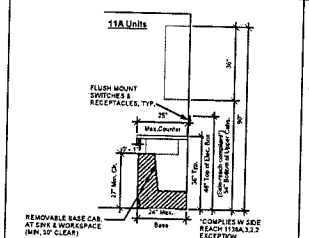


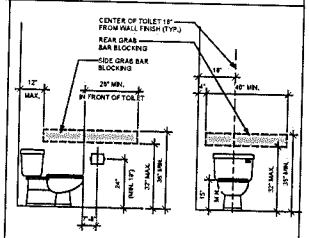
NOTES:

1. ADAPTABLE UNITS - PROVIDE REMOVABLE DOORS AT SINK CABINET THAT DON'T REQUIRE SPECIALIZED KNOWLEDGE OR THE USE OF SPECIALIZED TOOLS.
2. THE FINISHED FLOOR SHOULD EXTEND TO THE WALL.
3. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
4. SINK SHALL BE 6 1/2" DEEP MAX.
5. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE & TOE CLEARANCES.
6. OPERABLE PARTS OF SOAP OR OTHER DISPENSERS LOCATED ON THE BACK WALL OF THE LAVATORY ARE WITHIN REACH RANGE 48" MAXIMUM AFF AND 17"-19" MAXIMUM DEEP DEPENDENT UPON TOE CLEARANCE BELOW PER CBC.
7. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
8. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE (22.2N). LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

21 ADAPTABLE BATHROOM SINK

SCALE: 1/2" = 1'-0"





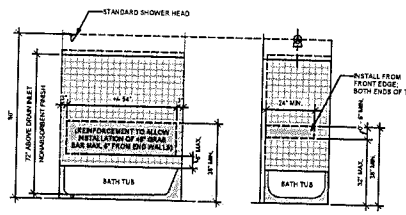
LOCATIONS FOR GRAB BAR REINFORCEMENT - PER 2019 CBC 11A

22 ADP. KITCHEN CASEWORK & RECEPTACLE

SCALE: 1/2" = 1'-0"

12 ADAPTABLE TOILET

SCALE: 1/2" = 1'-0"



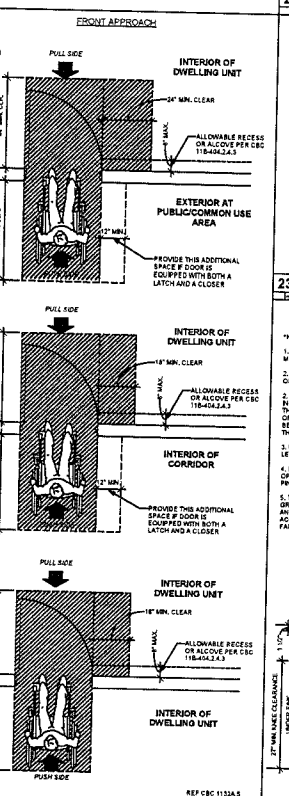
LOCATIONS FOR GRAB BAR REINFORCEMENT - PER 2019 CBC 11A

NOTES:

1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. WALLS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT FINISH TO A HEIGHT MIN. 72" ABOVE THE DRAIN INLET. (2019 CBC 1209.2.3)
3. BUILT-IN TUBS W SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL
4. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS MAX.
5. ALL TUB/SHOWER ENCLOSURES PROVIDE FACTORY INSTALLED BACKING FOR GRAB BAR REINFORCEMENT

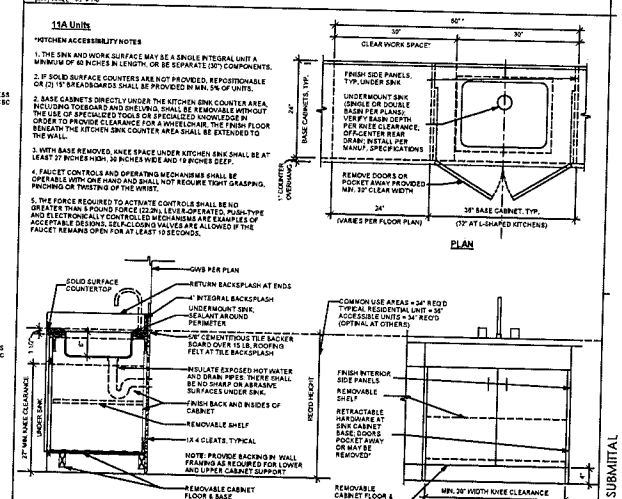
23 ADAPTABLE TUB/SHOWER

SCALE: 1/2" = 1'-0"



35 CLEARANCES AT DOORS & GATES

SCALE: 1/2" = 1'-0"



25 ADAPTABLE REMOVABLE BASE CABINET

SCALE: 1" = 1'-0"

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PROJECT NUMBER 1853-05

SHEET AX-932

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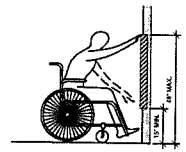
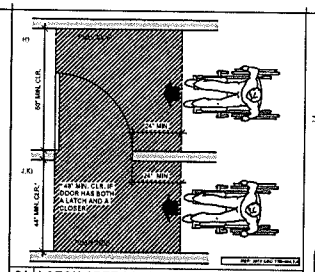
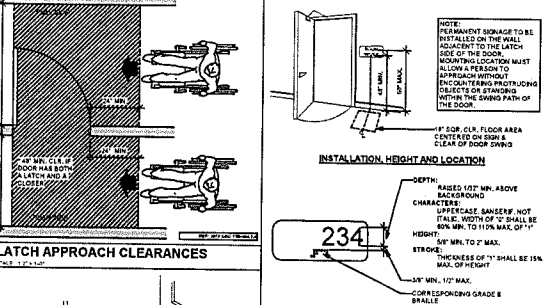


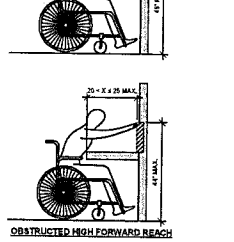
32 ACC. FORWARD REACH



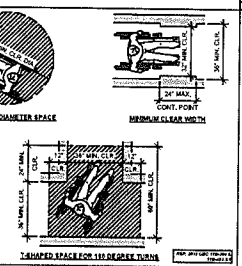
21 LATCH APPROACH CLEARANCES



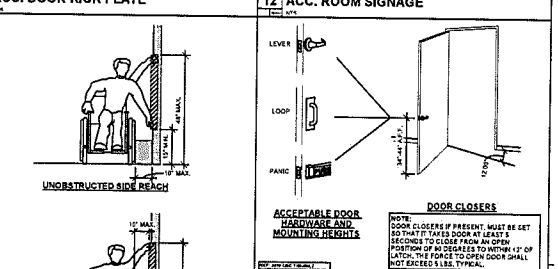
12 ACC. ROOM SIGNAGE



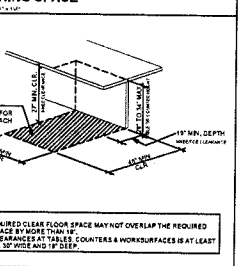
22 ACC. DOOR KICK PLATE



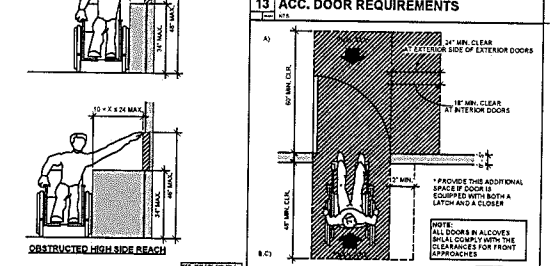
33 TURNING SPACE



13 ACC. DOOR REQUIREMENTS

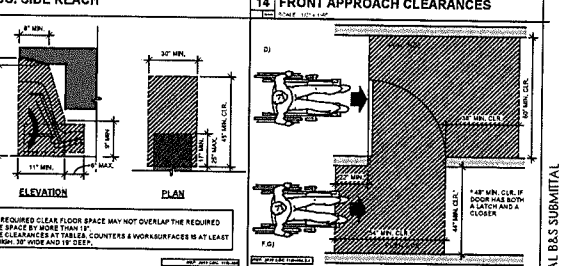


34 COUNTERTOP CLEARANCES

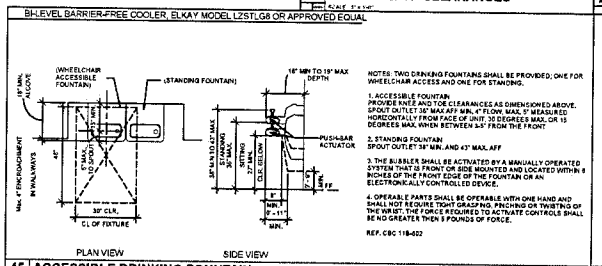


14 FRONT APPROACH CLEARANCES

25 TOE & KNEE CLEARANCES



15 HINGE APPROACH CLEARANCES



45 ACCESSIBLE DRINKING FOUNTAIN

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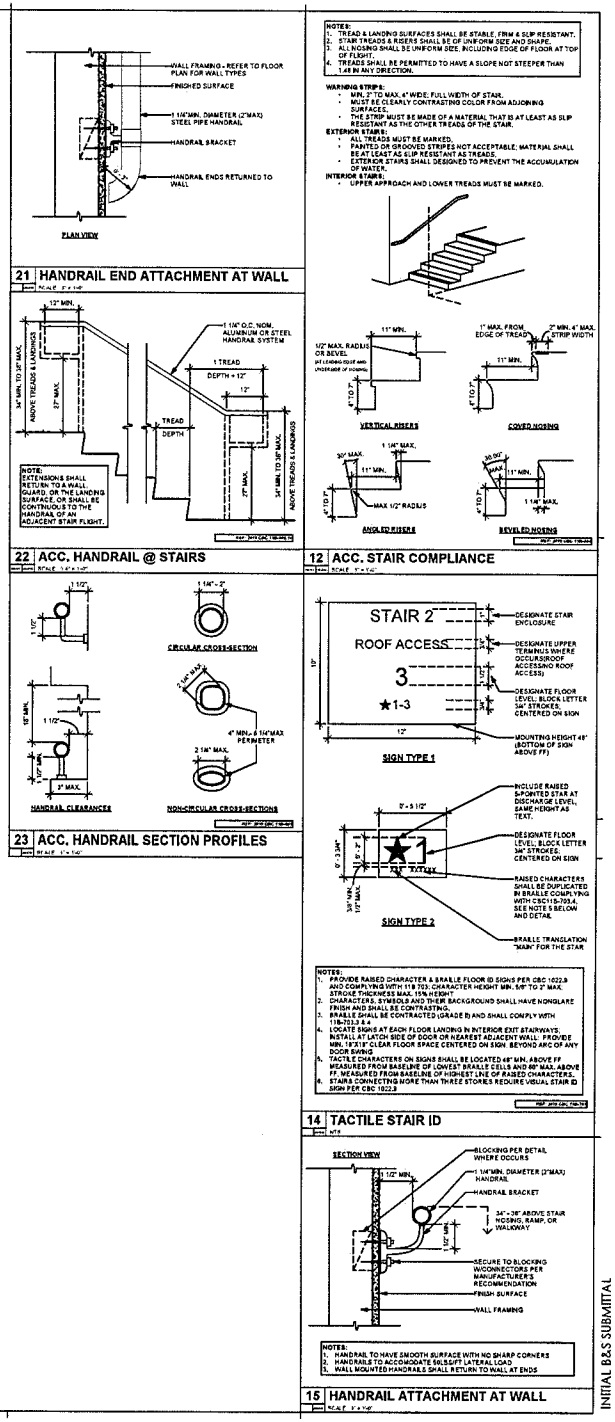

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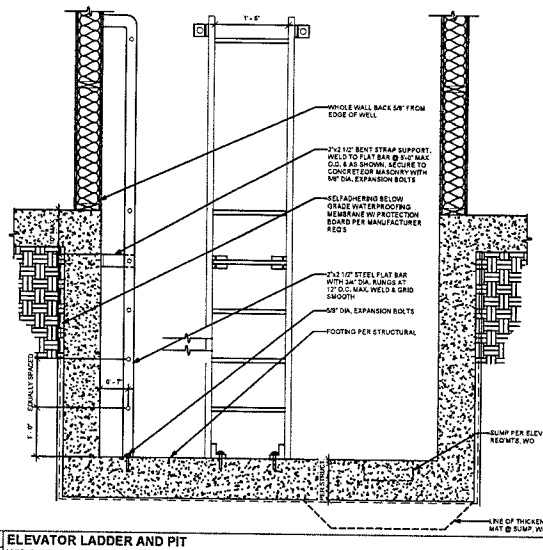
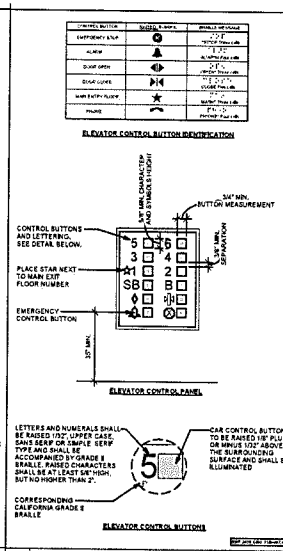
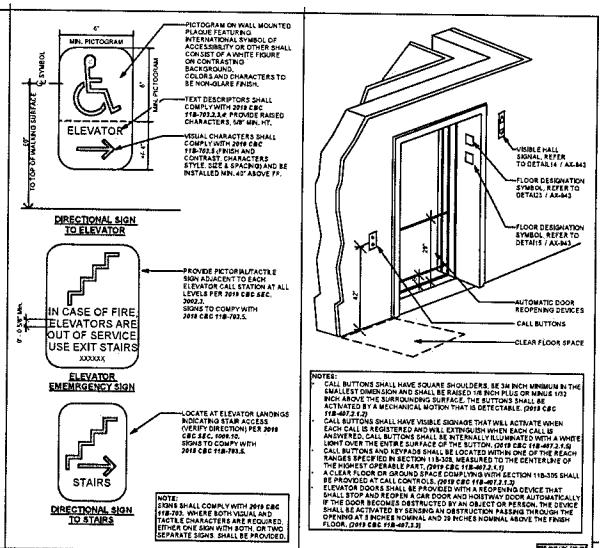


52 ELEVATOR LADDER AND PIT

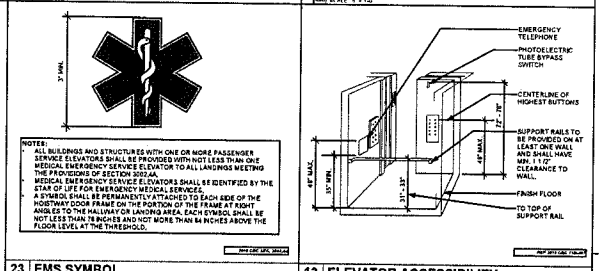


32 ELEVATOR CONTROLS



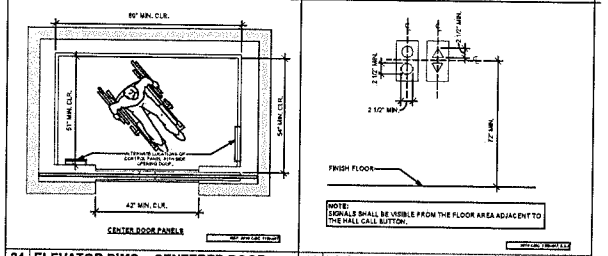
22 DIRECTIONAL SIGNAGE

12 ELEVATOR LANDING REQ'S



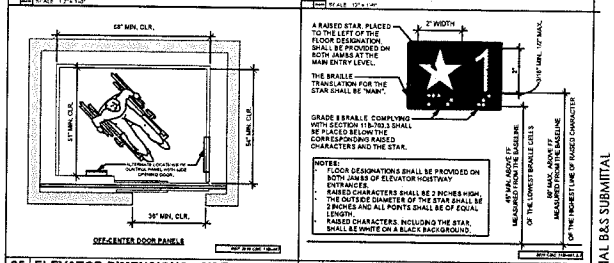
23 EMS SYMBOL

13 ELEVATOR ACCESSIBILITY



24 ELEVATOR DIMS. - CENTERED DOOR

14 VISIBLE HALL SIGNALS



25 ELEVATOR DIMENSIONS - SIDE DOOR

15 FLOOR DESIGNATIONS

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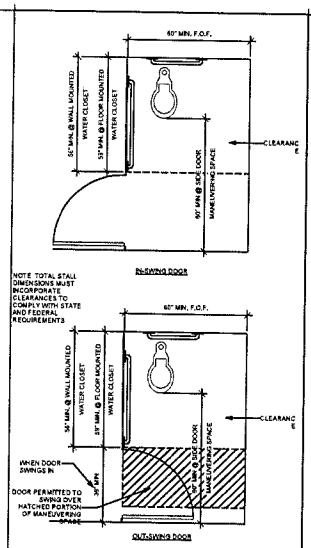
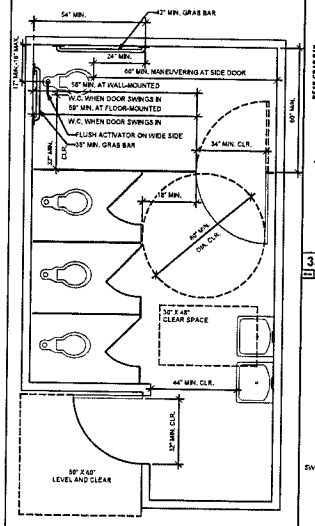


42 ACC. TOILET STALL- SIDE OPENING 5-4048.1.1.2

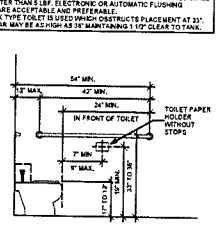
SCALE: 1/2" = 1'-0"



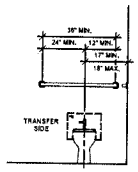
44 MULTIPLE ACCOMODATION TOILET

SCALE: 1/2" = 1'-0"

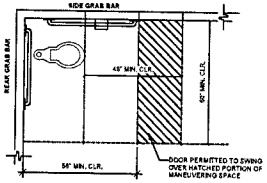
NOTE:
1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. LOCATE CONTROLS AT TRANSFER SIDE OF FIXTURE.
3. WATER CLOSET FLUSH VALVE CONTROLS, OPERATING MECHANISM CONTROLS SHALL BE OPERABLE WITH ONE HAND. SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE MOUNTED NO MORE THAN 44" A.F.F.
4. THE FORCE REQUIRED TO ACTIVATE THE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS & FAUCET AND OPERATING MECHANISM CONTROLS SHALL BE NO GREATER THAN 5 LBF. ELECTRONIC OR AUTOMATIC FLUSHING CONTROLS ARE ACCEPTABLE AND PREFERABLE.
5. WHERE TANK TYPE TOILET IS USED WHICH OBSTRUCTS PLACEMENT AT 23", THE GRAB BAR MAY BE AS HIGH AS 36" MAINTAINING 1 1/2" CLEAR TO TANK.



SIDE GRAB BAR



REAR GRAB BAR



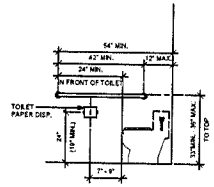
ACCESSIBLE WATER CLOSET CLEARANCE

REF 2018 CBC 11B-604

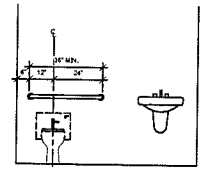
33 ACC. TYPICAL TOILET REQUIREMENTS

SCALE: 1/2" = 1'-0"

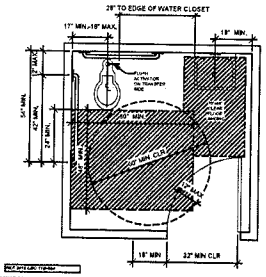
NOTE:
1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. TOTAL STALL DIMENSIONS MUST INCORPORATE CLEARANCES TO COMPLY WITH STATE AND FEDERAL REQUIREMENTS.
3. LOCATE CONTROLS AT TRANSFER SIDE OF FIXTURE.
4. PROVIDE PRIVACY LOCK. MUST COMPLY WITH 2018 CBC 11B-305.
5. REFER TO DETAIL FOR DOOR SIGNAGE REQUIREMENTS.



SIDE GRAB BAR

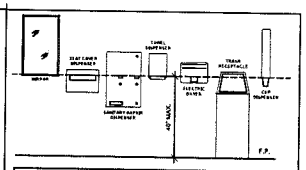


REAR GRAB BAR



23 ACC. SINGLE-ACCOMODATION TOILET

SCALE: 1/2" = 1'-0"

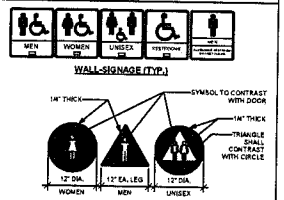


NOTE:
1. CLEAR FLOOR OR GROUND SPACE REQUIRED TO ALLOW FOR OR PARALLEL APPROACH TO ACCESSORIES.
2. ALL OPERABLE PARTS OF FIXTURES AND ACCESSORIES TO BE LOCATED 40" MAX. A.F.F.
3. CONTROLS AND OPERATING MECHANISMS MUST OPERATE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST.
4. MAX. 5 POUND FORCE TO OPERATE CONTROLS.
5. LOCATE COAT HOOKS AND SHELVING WITHIN APPROPRIATE RACH RANGE (48" MAX. ABOVE FLOOR.)

REF CBC 11B-308

11 ACC. RESTROOM ACCESSORIES

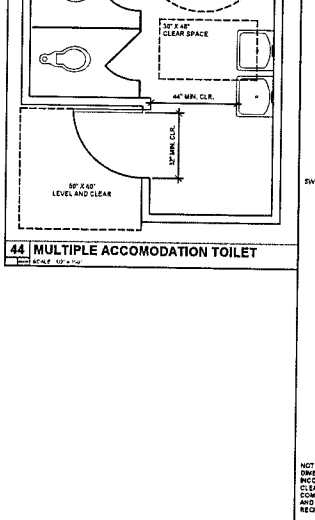
SCALE: 1/2" = 1'-0"



REF CBC 11B-703.1.2

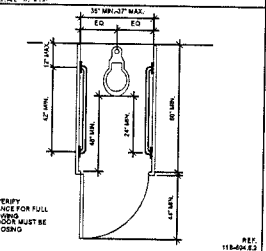
13 ACC. RESTROOM ID SYMBOLS

SCALE: NTS



35 ACC. TOILET STALL - END OPG DR 18-604.8.1.1.3

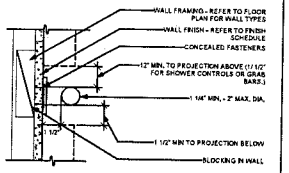
SCALE: 1/2" = 1'-0"



REF. 11B-604.8.2

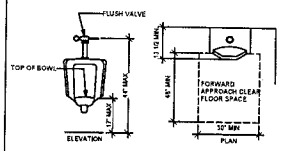
24 ACC. AMBULATORY TOILET STALL

SCALE: 1/2" = 1'-0"



14 ACC. GRAB BAR ATTACHMENT

SCALE: 3" = 1'-0"



15 ACC. URINAL

SCALE: 1/2" = 1'-0"

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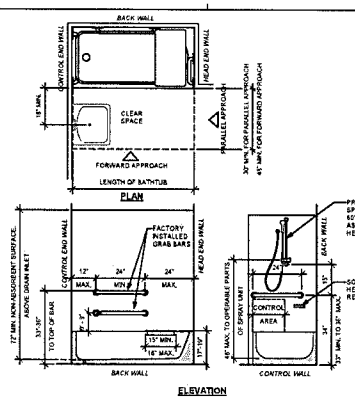


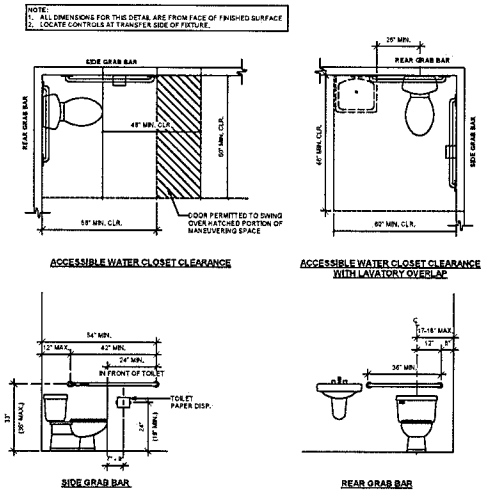
GENERAL NOTES:

1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. TUB SHOWER ENCLOSURES: PROVIDE FACTORY INSTALLED GRAB BARS
3. PROVIDE REMOVABLE SEAT
4. PROVIDE ADDITIONAL 12" GRAB BAR AT FRONT EDGE OF HEAD END WALL
5. WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT FINISH TO A HEIGHT MIN. 72" ABOVE THE DRAIN INLET PER CBC 1210.2.3
6. BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL PER CBC 1210.2.4
7. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS MAX. (APPLIES PER BOTH 11A & 11B)

REF. 11B-607

42 MOBILITY UNIT TUB COMPLIANCE

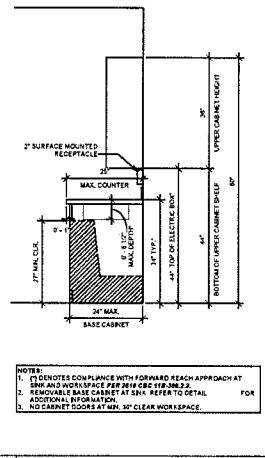
SCALE: 1/2" = 1'-0"



NOTE:
1. ALL DIMENSIONS FOR THIS DETAIL ARE FROM FACE OF FINISHED SURFACE
2. LOCATE CONTROLS AT TRANSFER SIDE OF FIXTURE.

22 MOBILITY UNIT TOILET COMPLIANCE

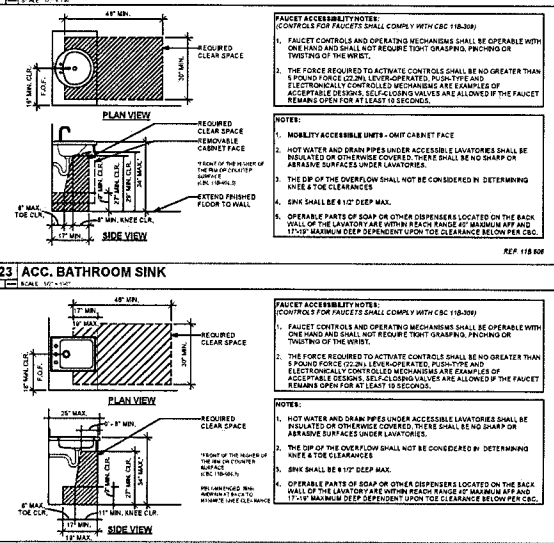
SCALE: 1/2" = 1'-0"



NOTES:
1. (*) DENOTES COMPLIANCE WITH FORWARD REACH APPROACH AT SINK AND WORKSPACE *PER 2019 CBC 11B-306.3.2*
2. REMOVABLE BASE CABINET AT SINK. REFER TO DETAIL FOR ADDITIONAL INFORMATION.
3. NO CABINET DOORS AT MIN. 30" CLEAR WORKSPACE.

34 ACC. KITCHEN CASEWORK

SCALE: 1/2" = 1'-0"



FAUCET ACCESSIBILITY NOTES:
(CONTROLS FOR FAUCETS SHALL COMPLY WITH CBC 11B-309)

1. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
2. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE (22.2N). LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

NOTES:
1. MOBILITY ACCESSIBLE UNITS - OMIT CABINET FACE
2. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
3. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE & TOE CLEARANCES
4. SINK SHALL BE 6 1/2" DEEP MAX.
5. OPERABLE PARTS OF SOAP OR OTHER DISPENSERS LOCATED ON THE BACK WALL OF THE LAVATORY ARE WITHIN REACH RANGE 40" MAXIMUM AFF AND 17"x18" MAXIMUM DEEP DEPENDENT UPON TOE CLEARANCE BELOW PER CBC.

REF. 11B 606

23 ACC. BATHROOM SINK

SCALE: 1/2" = 1'-0"

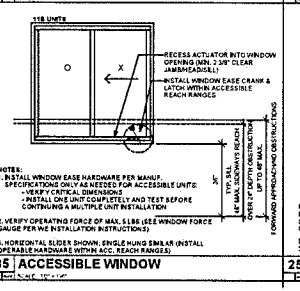
FAUCET ACCESSIBILITY NOTES:
(CONTROLS FOR FAUCETS SHALL COMPLY WITH CBC 11B-309)

1. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
2. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE (22.2N). LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

NOTES:
1. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
2. THE DIP OF THE OVERFLOW SHALL NOT BE CONSIDERED IN DETERMINING KNEE & TOE CLEARANCES
3. SINK SHALL BE 6 1/2" DEEP MAX.
4. OPERABLE PARTS OF SOAP OR OTHER DISPENSERS LOCATED ON THE BACK WALL OF THE LAVATORY ARE WITHIN REACH RANGE 40" MAXIMUM AFF AND 17"x18" MAXIMUM DEEP DEPENDENT UPON TOE CLEARANCE BELOW PER CBC.

24 ACC. KITCHEN SINK

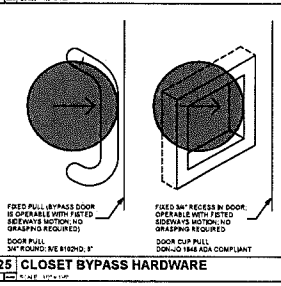
SCALE: 1/2" = 1'-0"



NOTES:
1. INSTALL WINDOW EASE HARDWARE PER MANUF. SPECIFICATIONS ONLY AS NEEDED FOR ACCESSIBLE UNITS:
   - VERIFY CRITICAL DIMENSIONS
   - INSTALL ONE UNIT COMPLETELY AND TEST BEFORE CONTINUING A MULTIPLE UNIT INSTALLATION
2. VERIFY OPERATING FORCE OF MAX. 5 LBS (SEE WINDOW FORCE GAUGE PER INE INSTALLATION INSTRUCTIONS)
3. HORIZONTAL SLIDER SHOWN; SINGLE HUNG SIMILAR (INSTALL OPERABLE HARDWARE WITHIN ACC. REACH RANGES)

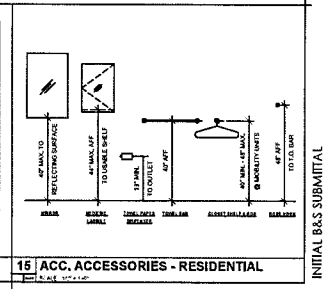
35 ACCESSIBLE WINDOW

SCALE: 1/2" = 1'-0"



25 CLOSET BYPASS HARDWARE

SCALE: 1/2" = 1'-0"



15 ACC. ACCESSORIES - RESIDENTIAL

SCALE: 1/2" = 1'-0"

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ACCESSIBILITY DETAILS - RESIDENTIAL

NO.	REVISION	DATE
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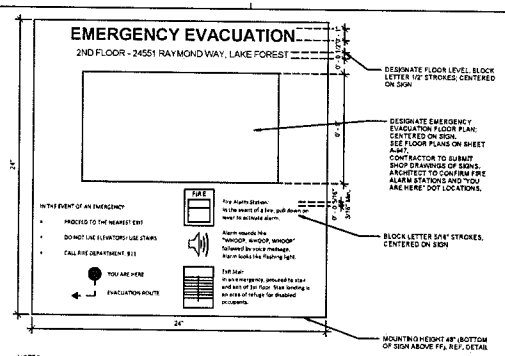
PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-945

INITIAL B&S SUBMITTAL



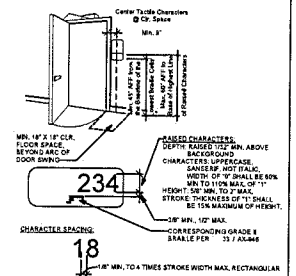
NOTES:

1. FLOOR PLAN SHALL BE ORIENTED TO THE VIEWER'S PERSPECTIVE AT EACH LOCATION.
2. SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIAL.
3. LETTERING SHALL BE A MINIMUM OF 5/16-INCH HIGH, NON-DECORATIVE, AND CONTRAST SHARPLY WITH BACKGROUND.
4. EXIT DOORS SHALL BE CLEARLY IDENTIFIED AT GRADE LEVEL(S).
5. SIGNS MAY ALSO INCLUDE LOCATION OF OTHER SAFETY FEATURES, SUCH AS EXTINGUISHERS OR EMERGENCY PHONES, OR SPECIAL EVACUATION INSTRUCTIONS, SUCH AS AREAS OF REFUGE FOR THE DISABLED.
6. IF "9" OR ANOTHER NUMBER MUST BE USED TO DIAL AN OUTSIDE LINE FROM HOUSE PHONES, INDICATE THIS ON THE SIGN.
7. EMERGENCY EXIT ROUTES AND MAP LEGEND SHALL INCLUDE:
   A. EVACUATION ROUTES TO STAIRS AND BUILDING EXITS.
   B. EXIT DOORS.
   C. LOCATIONS OF MANUAL FIRE ALARM STATIONS.
   D. STATEMENTS DESCRIBING BOTH AUDIBLE AND VISUAL FIRE ALARM SYSTEMS.
   E. FIRE DEPARTMENT EMERGENCY TELEPHONE NUMBER: 911
   F. STATEMENT PROHIBITING THE USE OF ELEVATORS IN CASE OF AN EMERGENCY.
   G. OTHER EMERGENCY PROCEDURE INFORMATION OR INSTRUCTIONS AS NECESSARY (E.G., LOCATION OF AREAS OF REFUGE).

32 EMERGENCY EVACUATION SIGNAGE

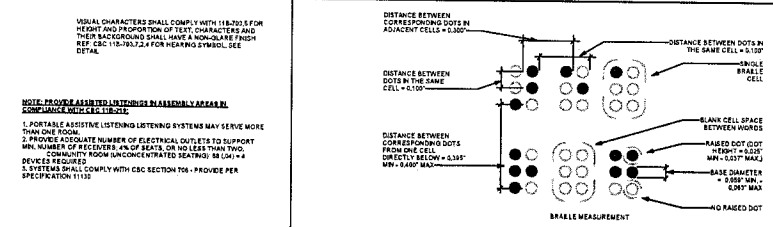
SCALE: 1" = 1'-0"

WALL MOUNTED SIGNAGE TO BE LOCATED ON LATCH SIDE OF DOOR CLEAR OF DOOR SWING. VISUAL SIGNAGE SHALL BE MOUNTED BETWEEN THE HEIGHTS OF 48" MIN. TO 60" MAX ABOVE FF. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" MIN ABOVE FIN FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF LOWEST BRAILLE CELLS AND 60" MAX ABOVE FIN FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS (CBC 11B-703.4) PICTOGRAM TO BE MOUNTED ABOVE TACTILE SIGNAGE.



12 UNIT IDENTIFICATION SIGNAGE

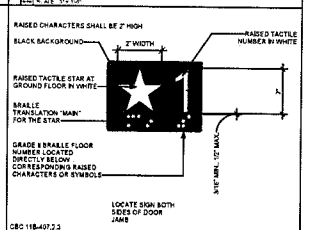
SCALE: 3" = 1'-0"



CBC 11B-703.5.1

33 BRAILLE DOTS

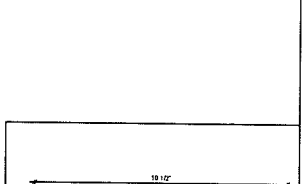
SCALE: 1" = 1'-0"



CBC 11B-407.2.3

13 FLOOR DESIGNATIONS

SCALE: 3" = 1'-0"



VISUAL CHARACTERS SHALL COMPLY WITH 11B-703.5 FOR HEIGHT AND PROPORTION OF TEXT. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH REF. CBC 11B-703.7.2.4 FOR HEARING SYMBOL, SEE DETAIL

NOTE: PROVIDE ASSISTED LISTENINGS IN ASSEMBLY AREAS IN COMPLIANCE WITH CBC 11B-216:

1. PORTABLE ASSISTIVE LISTENING LISTENING SYSTEMS MAY SERVE MORE THAN ONE ROOM.
2. PROVIDE ADEQUATE NUMBER OF ELECTRICAL OUTLETS TO SUPPORT MIN. NUMBER OF RECEIVERS 4% OF SEATS, OR NO LESS THAN TWO. COMMUNITY ROOM (UNCONCENTRATED SEATING) 88 (.04) = 4 DEVICES REQUIRED
3. SYSTEMS SHALL COMPLY WITH CBC SECTION 706 - PROVIDE PER SPECIFICATION 11130

43 ASSIS. LISTENING SYSTEMS

SCALE: 3" = 1'-0"

S1. BUILDING ADDRESS
1. LOCATE AT FRONT SIGN
ADDRESS OR BUILDING NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH [CFC PREMISES IDENTIFICATION 505.1]

S2. FIRE SAFETY & EVACUATION PLANS
POST PLANS IN ACCORDANCE WITH CFC404 IN ASSEMBLY AND BUSINESS OCCUPANCIES.

MATERIAL: PRINTED & FRAMED

S3. RESIDENTIAL UNIT/ LAUNDRY/ COMMON AREA IDENTIFICATION
FONT: TBD
SEE DETAILS

MATERIAL: ACRYLIC PLATE
FONT: TBD

S4. PERSONNEL/UTILITY ROOM IDENTIFICATION
FIRE PROTECTION AND UTILITY EQUIPMENT AND ROOMS SHALL BE IDENTIFIED IN AN APPROVED MANNER.

ALL UTILITY ROOMS INCLUDING SHALL BE CLEARLY LABELED WITH 6-INCH LETTERNG AND SHALL BE RED IN COLOR TO IDENTIFY LOCATION (S) OF FIRE PROTECTION EQUIPMENT

MATERIAL: ACRYLIC PLATE
FONT: TBD

S5. OCCUPANCY
POST OCCUPANT LOAD OF ASSEMBLY SPACES IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM

S6. RESTROOMS
SEE RESTROOM SIGNAGE DETAIL

S7. OFFICES/COMMUNITY AREA SIGNAGE
TBD BY OWNER

S8. PARKING (SEE DETAILS 4 & 5/A9.71)
INCLUDING DETAILS FOR STRIPING AND IDENTIFICATION OF ACCESSIBLE PARKING SPACES

S9. DIRECTIONAL SIGN TO STAIRS
LOCATE AT ELEVATOR LANDINGS INDICATING STAIR ACCESS (VERIFY DIRECTION)

PER CBC 1007.10, SIGNS TO COMPY WITH 11B-703.5

MATERIAL: ACRYLIC PLATE 6" X 8"

S10. DIRECTIONAL SIGN TO ELEVATOR
LOCATE AT STAIR LANDINGS INDICATING ELEVATOR ACCESS

SEE DETAIL

MATERIAL: ACRYLIC PLATE
6" X 8"

S11. ELEVATORS - SEE DETAILS

1. PROVIDE 4"X4" TACTILE DOORJAMB MARKING WITH MIN 2" SYMBOLS (BOTH SIDES)

2. HALL CALL BUTTONS, HALL LANTERN & CAR CONTROLS SHALL COMPLY WITH 11B 407.2

3. MEDICAL EMERGENCY ELEVATORS SHALL BE IDENTIFIED BY THE STAR OF LIFE

MATERIAL: ACRYLIC PLATE

SEE ELEVATOR LANDING DETAIL

S12. STAIRS / FLOOR IDENTIFICATION

SEE STAIR IDENTIFICATION SIGNS DETAILS

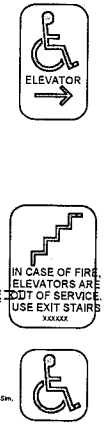
S13. ELEVATOR EMERGENCY SIGN
PROVIDE PICTORIAL/TACTILE SIGN ADJACENT TO EACH ELEVATOR CALL STATION AT ALL LEVELS PER CBC 3002.3, REF. DETAIL

S14. ILLUMINATED EXIT SIGNS - SEE ELECTRICAL
ILLUMINATED EXIT SIGNS SHALL BE PLACED SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR IS MORE THAN 100' (OR THE LISTED VIEWING DISTANCE) FROM THE NEAREST VISIBLE EXIT SIGN. CBC 1011.1

S15. PRIMARY ENTRANCE IDENTIFICATION
1. DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN COMPLIANCE WITH 11B-703.7.2.1

S16. TACTILE EXIT SIGNS
PROVIDE AT GRADE-LEVEL EXTERIOR EXIT SIGNS IN CASES WHERE THE EXIT OR PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE
"EXIT" "EXIT STAIR DOWN" OR "EXIT ROUTE" WHERE APPLIES, COMPLIANT PER CBC 11B 703
CBC 1011.4

S17. ASSISTIVE LISTENING DEVICES
POST AVAILABILITY OF LISTENING DEVICES IN ASSEMBLY AREAS, INCLUDING CONFERENCE AND MEETING ROOMS. CBC 11B-706.1 SEE DETAIL



GENERAL NOTES:
1. SIGNS & IDENTIFICATION SHALL COMPLY WITH CBC 11B 703 FOR ACCESSIBILITY

2. CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE NONGLARE FINISH AND SHALL BE CONTRASTING: GRAPHITE ON TRANSLUCENT WHITE PLAQUE, TYP.

3. SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH CBC 11B-703.4 TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48" MIN. ABOVE FF. MEASURED FROM BASELINE OF LOWEST BRAILLE CELLS AND 60" MAX. ABOVE FF. MEASURED FROM BASELINE OF HIGHEST LINE OF RAISED CHARACTERS

4. VISUAL CHARACTERS SHALL COMPLY WITH 11B-703.5 (FINISH AND CONTRAST, CHARACTERS STYLE, SIZE & SPACING) AND BE INSTALLED MIN. 40" ABOVE FF.

5. ROOM IDENTIFICATION, STAIRWAY LEVEL, EXIT SIGNAGE, RESTROOM & ELEVATOR SIGNAGE ARE TO COMPLY WITH THE REQUIREMENTS FOR TACTILE SIGNAGE AS SPECIFIED IN CBC SECTION 703 AND BE PROVIDED WITH RAISED TACTILE CHARACTERS AND GRADE II BRAILLE.

6. SIGN VENDOR TO PROVIDE DESIGN PACKAGE AND SAMPLES FOR APPROVAL

PICTOGRAMS (CBC 11B-703.6)

- PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM
- THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT
- CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND: EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND

45 SIGNAGE KEY

SCALE: 3" = 1'-0"

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SIGNAGE DETAILS

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DATE 11/08/2022
PROJECT NUMBER 1853-05
SHEET AX-946

SYMBOLS

- DETAIL REFERENCE (WHALE WHILE LEADER)
- DETAIL REFERENCE (WHALE)
- FULL HEIGHT SECTION INDICATOR
- ELEVATION OF WALL OR FRAME
- NORTH ARROW
- TOP/BOTTOM OF ELEVATION
- SLOPE
- WELDED WIRE FABRIC (WWF) (ATTIP)
- DEPRESSED SURFACE FLOOR DEPRESSION
- SLOPED SURFACE
- DEPRESSED FOOTING
- BOTTOM OF PIPES FOOTING
- INDICATES SHEAR WALL TYPE AND LENGTH PER SHEAR WALL SCHEDULE
- INDICATES SPAN AND DIRECTION OF PRE-FABRICATED ROOF TRUSS (BY OTHERS)
- INDICATES SPAN AND DIRECTION OF ROOF RAFTER OR FLOOR JOIST AND/OR WEB DIRECTION
- INDICATES SPAN AND DIRECTION OF ROOF RAFTER OR FLOOR JOIST
- INDICATES DETAILS OF FRAMING OR OTHER STRUCTURAL ELEMENT
- INDICATES HEADER & OVERHANG PER HEADER SCHEDULE
- EARTH LAYER
- INDICATES SAND OR GRAVEL
- INDICATES GRAVEL
- STEEL IN CROSS SECTION
- INDICATES BEARING WALL
- SHADED AREA INDICATES CANTILEVER FRAMING
- SHADED AREA INDICATES FOOTPRINT OF FLOOR ABOVE
- STEEL PIPE TUBE COLUMN
- STEEL PIPE COLUMN
- WIDE FLANGE STEEL COLUMN
- WOOD POST
- INDICATES TOP PLATE SPLICE HOLDOWN PER SCHEDULE
- INDICATES STRAP WALL STRAP / HOLDOWN TYPE PER SCHEDULE
- INDICATES PADFOOTING TYPE PER SCHEDULE
- INDICATES FOOTING TYPE PER SCHEDULE
- ANGLE BRACE
- DOUBLE ANGLE BRACE
- DEAD STEEL CONNECTION
- FULL HEIGHT STIFFENER CONNECTION
- MOMENT CONNECTION
- MEMBER SPLICE
- TOP OF STEEL ELEVATION
- NUMBER OF EVENLY SPACED SPACINGS
- SPECIAL STUD SPACING PER TYPICAL STEEL DETAILS
- BEAM CAMBER AT MIDSPAN

WALL TYPES

- INDICATES PLYWOOD SIDE FOR SHEARWALLS
- INDICATES BEARING WOOD WALL BELOW
- INDICATES BEARING WOOD WALL ABOVE
- INDICATES NON-BEARING WOOD WALL BELOW
- INDICATES NON-BEARING WOOD WALL ABOVE
- INDICATES EXISTING BEARING WOOD WALL
- INDICATES EXISTING NON-BEARING WOOD WALL
- INDICATES BEARING CMU WALL BELOW
- INDICATES BEARING CMU WALL ABOVE
- INDICATES NON-BEARING CMU WALL BELOW
- INDICATES NON-BEARING CMU WALL ABOVE
- INDICATES EXISTING BEARING CMU WALL
- INDICATES EXISTING NON-BEARING CMU WALL
- INDICATES BEARING CONCRETE WALL BELOW
- INDICATES BEARING CONCRETE WALL ABOVE
- INDICATES NON-BEARING CONCRETE WALL BELOW
- INDICATES NON-BEARING CONCRETE WALL ABOVE
- INDICATES EXISTING BEARING CONCRETE WALL
- INDICATES EXISTING NON-BEARING CONCRETE WALL

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AS-5	SIMPSON AES DETAILS

ABBREVIATIONS

A.F.B.	ABOVE AND BELOW
AB	ANCHOR BOLT
ABV	ABOVE
ACI	AMERICAN CONCRETE INSTITUTE
ADDL	ADDITIONAL
ADJ	ADJACENT
AESC	AMERICAN EXPOSED STRUCTURAL STEEL
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT	ALTERNATE
ALUM	ALUMINUM
ANCH	ANCHOR
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
APA	ENGINEERED WOOD ASSOCIATION (FORMERLY THE AMERICAN PLYWOOD ASSOCIATION)
APP'VD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL, ARCHITECT
AWPA	AMERICAN WOOD PRESERVERS ASSOCIATION
AWS	AMERICAN WELDING SOCIETY
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
BLDG	BUILDING
BLK	BLOCK
BLTS	BOLTING
BM	BEAM
BN	BOUNDARY NAIL
B.N.C.A.R.	BOTTOM
BNC	BRACE
BRG	BEARING
BTWN	BETWEEN
CANT	CANTILEVER
CAMBER	CAMBER
CC	CENTER TO CENTER
CG	CENTER OF GRAVITY
CIP	CAST-IN-PLACE
CJ	CONSTRUCTION JOINT, CONTROL JOINT
CL	CENTER LINE
CLR	CLEARANCE, CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPRESSION
CONC	CONCRETE
CONN	CONNECTION, CONNECT
CONSTR	CONSTRUCTION
CONT	CONTINUE, CONTINUOUS
CONTR	CONTRACTOR
CJP	COMPLETE JOINT PENETRATION WELD
CTR	CENTER
CSK	COUNTERSINK, COUNTERSUNK
CU FT	CUBIC FOOT
d	PENNY (NAIL OR BAR DIA)
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DOUGLAS FIR-LARCH
DIA, Ø	DIAMETER
DIAG	DIAGONAL
DIAPH	DIAPHRAGM
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
DWL	DOWEL
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMBED	EMBEDMENT
EN	EDGE NAIL
ENGR	ENGINEER
EQ	EQUAL OR EQUIVALENT
EQUIP	EQUIPMENT
ES	EACH SIDE
EW	EACH WAY
EXIST (E)	EXISTING
EXP	EXPANSION
EXPN	EXPANSION
FB	FINISH
FD	FOUNDATION DRAIN
FLG	FLANGE
FLR	FLOOR
FN	FIELD NAIL
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STEEL
FOW	FACE OF WALL
FRMG	FRAMING
FT	FOOT, FEET
FW	FOOTER ABOVE
FG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GB	GRADE BEAM
GLB	GLUED LAMINATED BEAM
GR	GRADE
GRND	GROUND
HDR	HEADER
HOR	HORIZONTAL
HOR	HORIZONTAL
HDR	HEADER
HGR	HANGER
HP	HIGH POINT
HSS	HORIZONTALLY SLOTTED HOLES
HS	HIGH
HT	HEIGHT
I.D.	INSIDE DIAMETER
IF	INSIDE FACE
INST	INSTALL
IN	INCH
INCL	INCLUDE
INFO	INFORMATION
INSP	INSPECTION
INT	INTERIOR
JST	JOIST
JT	JOINT
K	KIPS
KS	KING STUD
KSF	KIPS PER SQUARE INCH
KSI	KIPS PER SQUARE INCH
LB(S)	POUND(S)
LF	LINEAL FOOT
LW	LINEAL WEAR
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
LSL	LONG SLOTTED HOLES
LSL	LAMINATED STRAND LUMBER
LT WT	LIGHTWEIGHT
LVL	LEVEL OR LAMINATED VENEER LUMBER
MAX	MAXIMUM
MARB	MARBLE
MAX	MAXIMUM
MB	MACHINE BOLT
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM, MINUTE
MISC	MISCELLANEOUS
(N)	NEW
N	NORTH
NO. or #	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF	OUTSIDE FACE
OS	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD
PA	POST ANCHOR
PARALLAM	PARALLAM
PC	PRECAST PIECE
PERP	PERPENDICULAR
PLYWD	PLYWOOD INDEX
PLATE PL	PLATE
PL	PROPERTY LINE
PLF	POUNDS PER LINEAL FOOT
PNCL	PENCIL
PLY	PLYWOOD
PROP	PROPERTY
PT	PRESSURE TREATED
PW	PLATE WASHER
PJP	PARTIAL JOINT PENETRATION WELD
PRFAB	PREFABRICATED
PSI	POUNDS PER SQUARE INCH
PSF	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
P-LAM	PARALLAM
R	FOOTING WIDTH
REF	REFERENCE
REINF	REINFORCE, REINFORCING
REQD	REQUIRED
RF	ROOF
RT	RIGHT EAVES
Ø	ROUND DIAMETER
SCHED	SCHEDULE
SECT	SECTION
SEP	SEPARATION
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SOG	SLAB ON GRADE
SN	SNEAR NAIL
SPCG	SPACING
SPEC	SPECIFICATIONS
SQ	SQUARE
SS	STAINLESS STEEL
SSL	SHORT SLOTTED HOLES
STAGG	STAGGER
STD	STANDARD
STOR	STAGGER
STRR	STRINGERS
STRP	STRIPS
STL	STEEL
STRUCT	STRUCTURAL
SW	SHEAR WALL
SYM	SYMMETRICAL
TB	TIE BEAM
T & B	TOP AND BOTTOM
T & G	TONGUE & GROOVE
TC	TOP OF
TOC	TOP OF CURB, TOP OF CONCRETE
TOF	TOP OF FOOTING
TEMP	TEMPORARY, TEMPERATURE
THRU	THROUGH
THK	THICKNESS, INCH
THR	THRESHOLD
TOF or T	TOP
TOS	TOP OF STEEL, TOP OF STAIR
TOW	TOP OF WALL
TS	DRAWER STUD
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UT	ULTRASONIC TEST
VERT	VERTICAL
VSH	VERTICAL SLOTTED HOLES
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WP	WORKPOINT, WATERPROOF
WWF	WELDED WIRE FABRIC
STRUCTURAL STEEL SHAPES	
W	W SHAPE
C	AMERICAN STD CHANNEL SHAPE
MC	MISC CHANNEL SHAPE
L	ANGLE SHAPE
WT, TS, MT	STRUCT TEE SHAPE
PIPE	STANDARD PIPE SHAPE
PIPE-E	EXTRA STRONG PIPE SHAPE
PIPE-XX	DOUBLE EXTRA STRONG PIPE SHAPE
HSS	HOLLOW STRUCTURAL SECTION

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SHEET INDEX, ABBREVIATIONS, & SYMBOLS

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DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-101

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WOOD (GENERAL)

SAWN LUMBER

SAWN LUMBER PROPERTIES

HARDWARE AND CONNECTORS

HARDWARE AND CONNECTORS

MASONRY

STEEL HEADED STUDS

REINFORCING STEEL

STRUCTURAL STEEL

FOUNDATION

CONCRETE

DESIGN INFORMATION

1. FLOOR LIVE LOADS (2019 CBC SECTION 1603.1.1)

FLOOR LIVE LOADS			
OCCUPANCY OR USE	UNIFORM (PSF)	CONC. (LBS)	REFERENCE
RESIDENTIAL HOTELS AND MULTIFAMILY DWELLINGS PRIVATE ROOMS AND CORRIDORS SERVING THEM PUBLIC ROOMS AND CORRIDORS SERVING THEM	 40 100	—	2019 CBC TABLE 1607.1
RESIDENTIAL - BALCONIES AND DECKS*	60	—	ASCE 7-16 TABLE 4.3-1

*1.5 x OCCUPANCY SERVED

2. ROOF LIVE LOADS (2019 CBC SECTION 1603.1.2)

ROOF LIVE LOADS			
OCCUPANCY OR USE	UNIFORM (PSF)	CONC. (LBS)	REFERENCE
ROOF ORDINARY FLAT, PITCHED AND CURVED ROOFS (THAT ARE NOT OCCUPIABLE)	20	—	2019 CBC TABLE 1607.1

3. ROOF SNOW LOADS (2019 CBC SECTION 1603.1.3)

SNOW DESIGN DATA		
PARAMETER	VALUE	REFERENCE
GROUND SNOW LOAD	Pg = 0 PSF	ASCE 7-16 7.2

4. WIND DESIGN DATA (2019 CBC SECTION 1603.1.4):

WIND DESIGN DATA		
PARAMETER	VALUE	REFERENCE
ULTIMATE DESIGN WIND SPEED (3-SEC GUST)	V_{ult} = 93 MPH	2019 CBC FIG. 1609.3
NOMINAL DESIGN WIND SPEED (3-SEC GUST)	V_{asd} = 72 MPH	2019 CBC 1609.3.1
EXPOSURE CATEGORY	C	2019 CBC 1609.4.3

COMPONENTS & CLADDING WIND PRESSURES (PSF)

SITE AND OCCUPANCY PARAMETERS

BUILDING PARAMETERS

GENERAL

DIMENSIONS

EXISTING CONDITIONS

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POST-INSTALLED ANCHORS IN CONCRETE / MASONRY

1. POST-INSTALLED ANCHOR CAPACITIES IN CONCRETE SHALL BE DETERMINED PER SECTION 1911.2 OF THE CODE AND ACI 318-14 CHAPTER 17 AND STRENGTH DESIGN.
2. POST-INSTALLED ANCHORS IN CONCRETE AND MASONRY SHALL BE PREQUALIFIED FOR SEISMIC APPLICATIONS IN ACCORDANCE WITH THE FOLLOWING INSTALLATION TYPE PREQUALIFIED ANCHORS IN ALL IN ACCORDANCE WITH THE LISTED APPLICABLE ICC ES REPORT, OR REPORT.

SUBSTRATE MATERIAL	ANCHOR TYPE	ANCHOR PRODUCT	ICC ES ANALYSIS REPORT	ACCEPTANCE CRITERIA
CONCRETE	EXPANSION ANCHORS	SIMPSON STRONG-BOLT 2	ICC ESR-1917	AC193
CMU	EXPANSION ANCHORS	SIMPSON STRONG-BOLT 2	APPROVED EP PAG	ACCP OF AC106
CONCRETE	SCREW ANCHOR	SIMPSON TITEN HD	ICC ESR-2713	AC193
CMU	SCREW ANCHOR	SIMPSON TITEN HD	ICC ESR-1056	AC106
CONCRETE	ADHESIVE ANCHORS	SIMPSON SET-3G EP	ICC ESR-2508	AC308
CMU	ADHESIVE ANCHOR	SIMPSON SET-3G EP	APPROVED EP PAG	AC58
CONCRETE	POWER ACTUATED FASTENERS*	SIMPSON PDPI-MX	ICC ESR-1525	AC70

*SUMMARY OF USE OF POWER ACTUATED FASTENERS.
THE MINIMUM SPACING OF POWER ACTUATED FASTENERS IN CONCRETE OR STEEL SHALL NOT BE LESS THAN FOR LISTED MINIMUM LOADS OR FOR SPACING APPROVED IN SEISMIC LIMITED APPROVED FOR SEISMIC LOADING. POWER ACTUATED FASTENERS IN ANCHORS SHALL NOT BE PERMITTED UNLESS APPROVED FOR SEISMIC LOADING.

EXCEPTION: POWER ACTUATED FASTENERS IN CONCRETE USED AS SUPPORTS OF ACOUSTICAL TILE OR LATH AND STRUCTURAL CEILING APPLICATIONS AND DETERMINED SUITABLE WHERE THE SERVICE LOAD ON ANY INDIVIDUAL FASTENER DOES NOT EXCEED 40 LB.

3. FOR ANCHOR ANCHOR EMBEDMENTS SHOWN ON DRAWINGS ARE MINIMUM EFFECTIVE EMBEDMENT. EMBED AS SHOWN IN THE ICC REPORT CORRESPONDING TO THE ANCHOR.
4. LOCATE ALL EXISTING REINFORCEMENT BY NON DESTRUCTIVE MEANS (RADAR, PACHOMETER, ETC.) PRIOR TO DRILLING OR INSTALLING POST-INSTALLED ANCHORS. CONFIRM ANY POST-INSTALLED ANCHOR LOCATIONS WITH LOCAL ENGINEER BEFORE DRILLING. DO NOT CUT OR DAMAGE EXISTING REINFORCEMENT.
5. ALL POST-INSTALLED ANCHORS USED IN DRY INTERIOR CONDITIONS SHALL BE CARBON STEEL, PER ID.
6. ALL POST-INSTALLED ANCHORS USED AT EXTERIOR CONDITIONS, EXPOSED TO THE ELEMENTS, OR PRESENT IN DAMP ENVIRONMENTS SHALL BE STAINLESS STEEL, CH ID.
7. WHERE POST-INSTALLED MECHANICAL ANCHORS ARE USED FOR INSTALLATION OF EQUIPMENT REQUIRED TO OPERATE DURING FIRE, THEY SHALL BE QUALIFIED IN ACCORDANCE WITH AC193.2.
8. IF THE CONCRETE CRACKS DURING THE INSTALLATION OF AN ANCHOR THE ANCHOR SHALL BE REMOVED OR ABANDONED. FOR ABANDONED ANCHORS AND ANANCHORED ANCHOR HOLES:
   A. FILL ALL EMPTY ABANDONED ANCHOR HOLES WITH A DRY-PACK MORTAR.
   B. FOR ABANDONED EXPANSION ANCHORS WHICH CANNOT BE REMOVED WITHOUT DAMAGING THE SURROUNDING CONCRETE, CUT THE ANCHOR FLUSH WITH THE FACE OF CONCRETE (ANCHORS) AND FILL DRILL ABANDONED ANCHOR TO BOTTOM OF HOLE. FILL REMAINDER OF HOLE WITH A DRY-PACK MORTAR.
   C. FOR ABANDONED ADHESIVE OR UNDERCUT ANCHORS WHICH CANNOT BE REMOVED WITHOUT DAMAGING THE SURROUNDING CONCRETE, REMOVE THE END OF THE BOLT TO 1" BELOW THE SURFACE OF CONCRETE (ANCHOR) AND FILL REMAINDER OF HOLE WITH A DRY-PACK MORTAR.
   D. ABANDONED ANCHOR HOLES (WHETHER FILLED WITH DRY-PACK OR CONTAINING ABANDONED ANCHORS) MAY NOT BE LOCATED WITHIN CONCRETE FILL IN TRAMMER CONTRACTOR TO SEE ANCHOR IN TRUSS. ANCHOR NOT MEETING THE MINIMUM SPACING MAY HAVE REDUCED CAPACITY AND SHALL BE REJECTED WITH THE ENGR.

SUBSTRATE MATERIAL	ANCHOR TYPE	ANCHOR PRODUCT	ICC ES ANALYSIS REPORT	ACCEPTANCE CRITERIA
CONCRETE	EXPANSION ANCHORS	HILTI KWIK HUS	ICC ESR-1917	AC193
CONCRETE	SCREW ANCHOR	HILTI KWIK HUS	ICC ESR-1607	AC193
CONCRETE	ADHESIVE ANCHORS	HILTI RE-EP 200	ICC ESR-2322	AC308
CONCRETE	POWER ACTUATED FASTENERS*	HILTI X-U	ICC ESR-2269	AC70

STRUCTURAL COMPOSITE LUMBER

1. STRUCTURAL COMPOSITE LUMBER (SCL) HAVE STRUCTURAL CAPACITIES AND DESIGN PROPERTIES DETERMINED AND MONITORED IN ACCORDANCE WITH ASTM D5456 PER CODE SECTION 2303.1.10.
2. STRUCTURAL COMPOSITE LUMBER SHALL BE IDENTIFIED WITH THE MANUFACTURER'S NAME AND/OR TRADE NAME AND ICC LOGO OF THE INSPECTION AGENCY, PLY COUNT, INTEGRITY OF ADHESIVES AND FILE ELEVATION REPORT NUMBER, THE PLANT NUMBER, PRODUCT DESIGNATION OR TYPE, PRODUCTION DATE, AND GRADE.
3. INSTALLATION, FASTENERS, IDENTIFICATION AND CONNECTION DETAILS SHALL BE IN ACCORDANCE WITH THE APPLICABLE ICC REPORT.
4. LAMINATED VENEER LUMBER (LVL)
   A. LAMINATED VENEER LUMBER SHALL BE ONE OF THE FOLLOWING:
      a. MICRO PLAM LAMINATED VENEER LUMBER GRADE 2.0E (TRUSS), MS, MANUFACTURED BY WEYERHAEUSER IN ACCORDANCE WITH ICC-ESR-1387.
      b. PESCAN LAMINATED VENEER LUMBER GRADE 2.0E (FLAT PAK), MANUFACTURED BY PESCAN IN ACCORDANCE WITH ICC-ESR-2392.
   B. IDENTIFICATION IN ADDITION TO THE IDENTIFICATION LISTED FOR STRUCTURAL COMPOSITE LUMBER ABOVE, LVL SHALL BE IDENTIFIED WITH THE LETTERS OF THE SPECIES GROUP.
5. PARALLEL STRAND LUMBER (PSL)
   A. PARALLEL STRAND LUMBER SHALL BE PARALLAM PLUS STRAND LUMBER GRADE 2.0E DF, MANUFACTURED BY WEYERHAEUSER IN ACCORDANCE WITH ICC-ESR-1387.
6. LAMINATED STRAND LUMBER (LSL)
   A. LAMINATED STRAND LUMBER SHALL BE TIMBERSTRAND LAMINATED STRAND LUMBER GRADE 1.55E, MANUFACTURED BY WEYERHAEUSER IN ACCORDANCE WITH ICC-ESR-1387.
7. PRODUCTS FROM OTHER MANUFACTURERS MAY BE USED WITH EQUAL OR GREATER CAPACITIES. REQUIRED FOR PRODUCT SUBSTITUTION SHALL FOLLOW THE REQUIREMENTS LISTED IN THE SUBMITTAL SECTION.

PRE-FABRICATED WOOD TRUSS NOTES

1. THE DESIGN OF METAL PLATE CONNECTED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
   A. CODES AND STANDARDS:
      a. THE GOVERNING CODE LISTED IN THE PROJECT GENERAL NOTES
      b. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-16)
      c. NATIONAL DESIGN STANDARD FOR WOOD CONSTRUCTION AND SUPPLEMENT (ANSI/AWC NDS-2018)
      d. SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC (SDPWS-2015)
      e. THE NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION (ANSI/TPI 1-2014)
   B. DESIGN CRITERIA:
      a. TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING MINIMUM VERTICAL LIVE AND OTHER DOWN-PRESSURE ON THE CONSTRUCTION WITHOUT REDUCTION (ATTIC MECHANICAL EMBS, ETC.)

         TOP CHORD LOADING:
         ASPHALT SHINGLE ROOFING
         TOP CHORD DEAD LOAD: 15.0 PSF (1.0 PSF SUPERIMPOSED)
         ICE CHORD DEAD LOAD: 22 PSF (5 PSF SUPERIMPOSED)
         CONT-LIVE LOAD: 20 PSF

         INSULATION CEILING:
         DEAD + LIVE LOAD: LOAD
         LIVE ON ONLY: LOAD

         *INCLUDES 5 PSF ALLOWANCE FOR PLANTS

      b. [ ] INDICATES HORIZONTAL SUBTRACTIVE LOAD ON COLLECTOR TRUSSES. THE TRUSS DESIGNER SHALL DESIGN FOR THE TRUSSES FOR THE INDICATED HORIZONTAL LOAD ACTING IN BOTH THE TOP AND BOTTOM TRUSS CHORDS AND TO TAKE DRAINAGE OF THE FORCE INTO THE CHORD THROUGH THE WEB
2. CONTRACTOR REQUIREMENTS
   A. THE CONTRACTOR SHALL ADHERE ALL THE REQUIREMENTS LISTED IN SECTION 2.3.4 OF ANSI/TPI 1-2014 INCLUDING THE FOLLOWING:
      a. MEANS AND METHODS THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, PROGRAMS AND PATTERNS IN CONNECTION WITH THE SETUP, STORAGE, HANDLING, INSTALLATION, TEMPORARY AND BRACING OF THE TRUSSES. REFER TO THE GUIDELINE GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES (BCSI-B1)
      b. MEANS INSTALLATION SHALL COMPLY WITH INSTALLATION TOLERANCES SHOWN IN BCSI-B1
      c. TEMPORARY INSTALLATION BRACING FOR THE TRUSS SYSTEM AND THE PERMANENT TRUSS SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH BCSI-B1
      d. CONSTRUCTION LOADING ON TRUSSES SHALL BE DONE IN ACCORDANCE WITH BCSI-B1
      e. TRUSS DAMAGE, JOBSITE MODIFICATIONS & INSTALLATION ERRORS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ICBO AND THE TRUSS DESIGNER. REFERENCE BCSI-B1.
      f. SEPARATE DRAWINGS FROM THE TRUSS DESIGNER NOT ACCEPTED BY THE BUILDING DEPARTMENT PRIOR TO FABRICATION AND APPROVAL. A COPY OF THE SUBMITTAL SHALL BE NOTED TO THE ENGINEER OF RECORD FOR THE ARCHITECT GENERAL CONFORMANCE TO THE DESIGN INTENT. THE CONTRACTOR SHALL INCORPORATE THE TRUSS REQUIRED FOR THE SUBMITTAL TO BE REVIEWED, DATED AND APPROVED BY ALL PARTIES AND SHALL MAKE THE APPROVED TRUSS PLANS ON THE JOB SITE PRIOR TO ICBO INSPECTION.
3. TRUSS DESIGNER REQUIREMENTS:
   A. THE TRUSS DESIGNER SHALL MEET ALL THE REQUIREMENTS LISTED IN SECTION 2.3.5 OF ANSI/TPI 1-2014 INCLUDING THE FOLLOWING:
      a. TRUSS DESIGNER SHALL DETERMINE THE PREFABRICATION OF THE TRUSS DETAIL DRAWINGS WHICH SHALL CONTAIN THE INFORMATION LISTED IN SECTION 2.3.5.5 OF ANSI/TPI 1-2014. THE INCLUDES ALL HARDWARE, CONNECTIONS, AND DETAILS FOR THE "CALIFORNIA TRUSS" AREAS.
      b. TRUSS DESIGNER SHALL COMPLY WITH THE REFERENCED CODE AND DESIGN CRITERIA AND
      c. TRUSS DESIGNER SHALL SHOW ALL HANGERS, BRACING AND REINFORCEMENTS AS WELL AS METHOD OF BEST MANUFACTURING CONTACTING THE PLANS TO ASSEMBLY AND ERECTION REQUIREMENTS OF THE CODE.
      d. SHALL TRUSS DESIGN DRAWINGS INCLUDE ALL REQUIRED DATA FOR THE FABRICATION OF THE TRUSSES AND PREPARE CALCULATIONS. ALL PLANS, DETAILS AND CALCULATIONS FOR THE TRUSSES SHALL BE STAMPED AND SIGNED BY A LICENSED PROFESSIONAL ENGINEER (STRUCTURAL OR CIVIL) LICENSED TO PRACTICE IN THE STATE OF CALIFORNIA.

WOOD STRUCTURAL PANELS (SHEATHING)

1. WOOD STRUCTURAL PANELS SHALL MEET THE FOLLOWING MINIMUM STANDARDS EXCEPT WHERE OTHERWISE NOTED:

WOOD STRUCTURAL PANEL PROPERTIES

USE	EXP	WIND CLASSIFICATION*	SHEARING GRADE	PERFORMANCE RATING	SPAN RATING	THICKNESS	REFERENCE*
ROOF	E	EXPOSURE 1	REFER TO TYPICAL SHEAR WALL SCHEDULE			APA	APA TEC 7500.1 (STAC PS-1 AND OF PS-2-10)
FLOOR	E	EXPOSURE 1				APA	
WALL	E	EXPOSURE 1				APA	

TABLE NOTES:

   a. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN ACCORDANCE WITH THE FOLLOWING: (VOLUNTARY STANDARDS BY THE ENGINEERED WOOD ASSOCIATION (APA))
      a. VOLUNTARY PRODUCT STANDARD, STRUCTURAL PLYWOOD, PS 1-09
      b. VOLUNTARY PRODUCT STANDARD, PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS, PS 2-10.
   b. WOOD STRUCTURAL PANELS SHALL BE IDENTIFIED IN THE APPROPRIATE MANNER INDICATING CONFORMANCE TO THE APPLICABLE VOLUNTARY STANDARD.
   C. WHERE PANELS ARE EXPOSED TO REPEATED WETTING AND RE-DRYING, LONG-TERM EXPOSURE TO WEATHER OR CONDITIONS OF UNHEATED ATTIC, THE ROOF AND RAINED PLYWOOD SHEATHING SHALL BE USED. (I.E. "EXPOSURE 1" APA RATED PLYWOOD SHEATHING (CDX) SHALL NOT BE USED FOR CONDITIONS IN WHICH CONSTANTLY EXPOSED TO WEATHER.
      a. EXCEPTION: WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED TO THE OUTDOORS ON THE UNDERSIDE IS PERMITTED TO BE "EXPOSURE 1" TYPE.
      b. WOOD STRUCTURAL PANELS TO BE USED AS SIDING SHALL COMPLY WITH ANSI/APA PRP-210
   D. OTHER STRUCTURAL GRADES, EXCEPT FOR PLYWOOD, MAY BE USED IN LIEU OF PLYWOOD FOR WOOD STRUCTURAL SHEAR PANEL WALL ONLY REPAIR.
2. TRANSPORTATION, STORAGE, AND HANDLING
   A. TRANSPORTATION
      a. INTERMOUNTAIN PANELS ON OPEN VEHICLE BEDS, COVER THE BUNDLES WITH A TARP
   B. STORAGE
      a. AIR MUST BE KEPT THE PANELS UNDER COVER WHEN NOT IN USE
      b. WHEN STORING PANELS OUTSIDE STACK THEM ON A FLAT SURFACE ON TOP OF TIMBERS OR OTHER BLOCKING, THREE STRINGERS MINIMUM
      c. NEVER STACK PANELS IN CONTACT WITH THE GROUND
      d. COVER THE STACK WITH A PLASTIC TARP, ENSURING THAT THE SHINGLE IS WELL VENTILATED TO PREVENT MOLDING.
      e. IF MOISTURE ABSORPTION IS EXPECTED, USE THE LATTER AND TO PREVENT DAMAGE
      f. KEEP SHEETS OR OTHER APPROPRIATE GRADE PANELS AWAY FROM HIGH HEAT AREAS
   C. HANDLING
      a. AIR MUST PROTECT THE PANEL EDGES, EXPECIALLY TOWARDS AND GOOD AIR PROTECTS FROM PHYSICAL DAMAGE
      b. ACCLIMATIZE THE PANELS FOR 24 HOURS MINIMUM BEFORE INSTALLATION BY STANDING THE PANELS ON EDGE WITH A GAP BETWEEN EACH TO ALLOW FOR AIR CIRCULATION OR PER MANUFACTURER'S RECOMMENDATION.
3. PLYWOOD CONSTRUCTION
   A. PLOW AND GROOVE THE FRAMING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLIES PERPENDICULAR TO THE FRAMING MEMBERS, SHALL BE CONTINUOUS OVER TWO SPANS MINIMUM AND END JOINTS SHALL BE JOINED OVER FRAMING AND STAGGERED. (SPACE ADC GAP BETWEEN PANELS TO ALLOW FOR PANEL EXPANSION UNLESS RECOMMENDED OTHERWISE BY THE PANEL MAKER. REFER TO SPECIFIC DETAILS IN THE DRAWINGS FOR EXPANSION MATERIALS)
   B. PLYWOOD CONSTRUCTION SHALL BE APPLIED VERTICALLY OR HORIZONTALLY. ALL END JOINTS BE JOINED OVER FRAMING AND STAGGERED.
4. BLOCKING
   A. EDGE: ALL EDGE THE FRAMING SHALL BE BLOCKED UNLESS SPECIFICALLY ALLOWED ON PLANS. WHERE PERMITTED TO BE UNBLOCKED, ALL UNBLOCKED EDGES SHALL BE TONGUE AND GROOVE.
   B. ALL FLOOR SHEATHING SHALL BE BLOCKED UNLESS SPECIFICALLY ALLOWED ON PLANS. WHERE PERMITTED TO BE UNBLOCKED, ALL UNBLOCKED EDGES SHALL BE TONGUE AND GROOVE.
   C. WALL: ALL SHEAR WALL SHALL BE FULLY BLOCKED AT PLYWOOD EDGES.
5. FASTENING
   A. USE SHEARING NAILS AND GARAGE AS COMMON WIRE NAILS WITH LENGTHS AT LEAST EQUAL TO SHEARING THE WIRE PLUS REQUIRED PENETRATION PER ANSI STAPLES AS ACCEPTABLE AS REQUIRED.
   B. EQUIVALENT PNEUMATIC DRIVE NAILS OR STAPLES MAY BE USED IF THE FASTENER MANUFACTURER HAS RECEIVED ICC OR OTHER APPROVAL FOR THE INTENDED USE. FASTENERS TO BE SPACED EQUIVALENT TO EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SPECIFIED COMMON NAIL SPECIFIED.
   C. USE OF MACHINE NAILING IS SUBJECT TO A SATISFACTORY JOB SITE DEMONSTRATION FOR EACH PRODUCT AND THE APPROVAL BY THE PROJECT ARCHITECT OR PROJECT ENGINEER. THE APPROVAL IS SUBJECT TO COMPLETE SATISFACTORY PERFORMANCE. MACHINE NAILING NOT TO BE APPLIED IN SUCH A WAY TO CAUSE DAMAGE. IF NAIL HEADS PENETRATE THE OUTER PLY MORE THAN WOULD PERMITTED FOR A HAND HAMMER OR A MINIMUM ALLOWANCE EXCEEDS DAMAGE ARE NOT SATISFACTORY. THE PLYWOOD WILL BE DEEMED UNSATISFACTORY.
   D. TYPICAL NAILING SHALL BE NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND OTHER SHEAR WALLS AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS. UNLESS OTHERWISE NOTED SEE PLANS AND REFER TO SHEAR WALL SCHEDULE.

GLUED FLOOR SYSTEM

1. ALL FLOOR SHEATHING SHALL BE GLUED TO THE JOISTS.
2. APPLIED ADHESIVE SHALL CONFORMED ASTM D3498 OR THE AFA PERFORMANCE SPECIFICATION AFG-01 SCHEDULE
3. INSTALLATION
   A. THE DESIGNED FLOOR SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE APA-ENGINEERED WOOD CONSTRUCTION GUIDE FOR GLUE AND THE ADHESIVE MANUFACTURER
   B. GLUE SHALL BE APPLIED TO THE JOISTS AND TO THE GIRDERS WITH THE EDGE OF THE 3 & 6 PANELS
   C. GLUE MAY BE APPLIED MANUALLY OR WITH MECHANICAL OR ELECTRICAL EQUIPMENT

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REQUIRED VERIFICATION AND INSPECTIONS

WOOD
CODE CHAPTER 17 AND REFERENCED STANDARDS AND 2019 SDPWS-2015

SPECIAL INSPECTION OR TEST	CONTINUOUS	PERIODIC	CBC REFERENCE
1. HIGH-LOAD DIAPHRAGM AND SHEAR PANELS - VERIFY THE FOLLOWING: - GRADE - THICKNESS - NAILING SIZE OF FRAMING MEMBERS AT ADJOINING PANELS EDGES - NAIL OR STAPLE SPACING AND LENGTH - NUMBER OF FASTENER LINES - SPACING BETWEEN FASTENERS IN EACH LINE - SPACING BETWEEN FASTENERS AT PANEL EDGES	—	X	1705.5.1 2306.2
2. FIELD GLUING OPERATIONS OF PLYWOOD ON THE STRUCTURAL FORCE RESISTING SYSTEM	X	—	1705.5.2
3. WOOD SHEAR WALL, FOUNDATION SILL PLATE AND FOUNDATION ANCHORS OF THE STRUCTURAL FORCE RESISTING SYSTEM: - WOOD SHEAR WALLS - WOOD DIAPHRAGMS - SHAG BOLTS - STRAP TIES - HOLDDOWNS	—	X	1705.5.3
4. WOOD SHEAR WALL, FOUNDATION SILL PLATE AND FOUNDATION ANCHORS OF THE STRUCTURAL FORCE RESISTING SYSTEM: - WOOD SHEAR WALLS - WOOD DIAPHRAGMS - SHAG BOLTS - STRAP TIES - HOLDDOWNS	—	—	1705.5.3
5. METAL PLATE CONNECTED WOOD TRUSSES SPANNING 60 FEET OR GREATER: - TEMPORARY INSTALLATION BRACING - PERMANENT INDIVIDUAL TRUSS MEMBER BRACING IN ACCORDANCE WITH APPROVED TRUSS SUBMITTAL PACKAGE	—	X	1705.5.5
6. METAL PLATE CONNECTED WOOD WALL FRAMING HEIGHTS OF 14 INCHES OR GREATER: - PERMANENT INDIVIDUAL TRUSS MEMBER BRACING IN ACCORDANCE WITH APPROVED TRUSS SUBMITTAL PACKAGE	—	X	1705.5.5

REQUIRED VERIFICATION AND INSPECTIONS

SOILS
CODE TABLE 1704.6

SPECIAL INSPECTION OR TEST	CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	—	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	—	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS	—	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	X	—
5. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS REACHED PROPER GRADE	—	X

REQUIRED VERIFICATION AND INSPECTIONS

CONCRETE CONSTRUCTION
CODE TABLE 1705.3

SPECIAL INSPECTION OR TEST	CONTINUOUS	PERIODIC	REFERENCED STANDARD	CBC REFERENCE
1. INSPECT REINFORCEMENT AND VERIFY PLACEMENT.	—	X	ACI 318: 26.6.1.2(a), 26.6.2.2(d), 26.6.3.2	1908.4
2. IN PROCESS FABRICATION: a. VERIFY MECHANICAL OF REINFORCING BARS OTHER THAN WELDING b. INSPECT WELDS AND FIELD WELDS, MECHANICAL AND	— —	X X	AWS D1.4 ACI 318: 26.6.4	—
3. INSPECT ANCHORS CAST IN CONCRETE	—	X	ACI 318: 17.8.2	—
4. INSPECT FASTENING PLACEMENT INSTALLED IN HARDENED CONCRETE AND VERIFY: (a) ADHESIVE ANCHORS INSTALLED IN HORIZONTAL OR UPWARD SLOPING INTO CONCRETE AND TO RESIST SUSTAINED TENSION LOADS (c) MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DESCRIBED IN (a)	X	X	ACI 318: 17.8.2.4 ACI 318: 17.8.2	— —
5. VERIFY USE OF ENGINEERED MIX DESIGN	—	X	ACI 318: Ch. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1906.2, 1908.3
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	—	ASTM C172 ASTM C31 ACI 318: 26.4.5(a)	1908.10
8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	—	X	ACI 318: 26.4.7-26.4.8	1908.8
12. INSPECT FORMWORK FOR SHAPE, LOCATION, AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	—	X	ACI 318: 26.11.1.2(b)	—

SPECIAL INSPECTIONS LISTED FOR CONCRETE ALSO APPLY TO GROUTING OPERATIONS.

REQUIRED VERIFICATION AND INSPECTIONS

MASONRY
LEVEL 2 QUALITY ASSURANCE
MINIMUM TESTS

PRIOR TO CONSTRUCTION, VERIFY CERTIFICATES OF COMPLIANCE FILED IN MANDATORY CONSTRUCTION IN ACCORDANCE WITH SPECIFIC NOTE WITHIN ARTICLE 1.5

VERIFICATION BY SUBMITTAL FORM AND REVIEW OF PLANS AND REPORTS TO THE PROJECT SITE IN ACCORDANCE WITH SPECIFICATION ARTICLE 1.5 & 1.6 FOR REINFORCING BARS, GROUT

VERIFICATION OF f'_m AND f'_{AAC} IN ACCORDANCE WITH SPECIFICATION ARTICLE 1.4 B PRIOR TO CONSTRUCTION, EXCEPT WHERE SPECIFIC ALLOWANCES ARE MADE IN THE CODE

MINIMUM SPECIAL INSPECTION

INSPECTION TASK	FREQUENCY (a) CONT.	FREQUENCY (a) PERIODIC	REFERENCE FOR CRITERIA TMS 402	TMS 602
1. VERIFY COMPLIANCE WITH THE APPROVED MINUTES		X		Art. 1.5
2. AS REQUIRED BY SPECIFICATION REGARDING VERIFYING THE FOLLOWING ARE IN COMPLIANCE: a. PROPERTIES OF UNPREPARED MORTAR		X		Art. 2.1, 2.1.A
b. GRADE AND SIZES OF PRESTRESSING TENDONS AND ANCHORAGES		X		Art. 2.4 B, 2.4.G
c. GRADE, TYPE, AND SIZES OF REINFORCEMENT, CONNECTORS, ANCHOR BOLTS AND PRESTRESSING TENDONS AND ANCHORAGES		X	Art. 1.4, 2.4A	
d. PRESTRESSING TECHNIQUE		X		Art. 3.6 B
e. PROPERTIES OF THIN-BED MORTAR FOR AAC MASONRY	X(b)	X(c)		Art. 2.1 C
f. SAMPLE PANEL CONSTRUCTION		X	Art. 1.4 D	
3. PRIOR TO GROUTING, VERIFY THE FOLLOWING ARE IN COMPLIANCE: a. GROUT SPACE		X		Art. 3.2 B, 3.2F
b. PLACEMENT OF PRESTRESSING TENDONS AND ANCHORAGES		X	SEC. 10.8, 10.9	Art. 3.4, 3.6
c. PLACEMENT OF REINFORCEMENT, CONNECTORS AND ANCHOR BOLTS		X	SEC. 6.2.1, 6.2.A, 6.2.7	Art. 3.2.E, 3.4
d. PROPERTIES OF UNPREPARED GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS		X		Art. 2.4 B, 2.4.D.1.b
4. DURING GROUT CONSTRUCTION: a. MORTAR AND SPECIMENS MEET THE APPROVED MINUTES		X		Art. 1.5
b. PLACEMENT OF MASONRY UNITS AND MORTAR JOINT CONSTRUCTION		X		Art. 3.3 B
c. SIZE AND LOCATION OF SUPPORTING ELEMENTS		X		Art. 3.3.F
d. TYPE, SIZE AND LOCATION OF ANCHORS (INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION		X	SEC. 1.2.1(b), 6.1.4.2, 6.2.1	
e. WELDING OF REINFORCEMENT	X		SEC. 6.1.4.7	
f. PREPARATION, CONSTRUCTION AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F)		X		Art. 1.4 C, 1.6 D
g. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCE	X			Art. 3.6 B
h. PLACEMENT OF GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS IS IN COMPLIANCE	X			Art. 3.5, 3.6 C
i. PLACEMENT OF AAC MASONRY UNITS AND CONSTRUCTION OF THIN-BED MORTAR JOINTS	X(b)	X(c)		Art. 3.3 B, 3.3 B.1.b
5. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND REINFORCEMENT		X		Art. 1.4 B, 2.4 B.3, 1.4 B.2.b, 2.4 B.2.b, 1.4 B.3, 2.4 B.4

(a) FREQUENCY REFERS TO THE FREQUENCY FOR SPECIAL INSPECTION WHICH MAY BE CONTINUOUS DURING THE TASK LISTED OR PERIODIC DURING THE TASK LISTED. AS DEFINED IN THE TABLE
(b) REQUIRED FOR THE FIRST 300 CU. YD. OF AAC MASONRY
(c) REQUIRED AFTER THE FIRST 300 CU. YD. OF AAC MASONRY

REQUIRED VERIFICATION AND INSPECTIONS

STEEL
WELDING

INSPECTION TASKS PRIOR TO WELDING (AISC 360-16 N5.4-1)	OC	OA	AWS D1.1 D1.5 REFERENCE
1. WELDING PROCEDURE SPECIFICATIONS (WPS) AVAILABLE	P	P	4.3
2. MANUFACTURER CERTIFICATIONS FOR WELDING CONSUMABLES AVAILABLE	P	P	4.2
3. WPS AVAILABLE	P	P	-
4. MANUFACTURER'S ALIGNMENT, FIT-UP GAGES	O	O	4.2
5. WELDER IDENTIFICATION SYSTEM	O	O	4.4
6. FIT-UP OF GROOVE WELDS (INCLUDING JOINT GEOMETRY): - JOINT PREPARATION - DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL) - CLEANLINESS (CONDITION OF STEEL SURFACES) - TACKING (TACK WELD QUALITY AND LOCATION)	O	O	4.5.2 5.1.2 5.1.6 5.1.8, 5.7.2.1
7. FIT-UP OF GROOVE WELDS OF WEB TO FLANGE AND FLANGES WITHOUT BACKING (INCLUDING JOINT GEOMETRY): - JOINT PREPARATION - DIMENSIONS (ALIGNMENT, ROOT OPENING, ROOT FACE, BEVEL) - CLEANLINESS (CONDITION OF STEEL SURFACES) - TACKING (TACK WELD QUALITY AND LOCATION)	P	O	- - - -
8. CONFIGURATION AND FIT OF ACCESS HOLES	O	O	5.2.1, 5.1.7 5.1.8, AISC 360-16 J1.6
9. FIT-UP OF FILLET WELDS: - DIMENSIONS (ALIGNMENT, GAP, AT ROOT) - CLEANLINESS (CONDITION OF STEEL SURFACES) - TACKING (TACK WELD QUALITY AND LOCATION)	O	O	5.2.2.1 5.1.8 5.1.6
10. CHECK WELDING EQUIPMENT	O	—	4.3, 5.11
INSPECTION TASKS DURING WELDING (AISC 360-16 N5.4-2)			
1. CONTROL AND HANDLING OF WELDING CONSUMABLES - PACKAGING - EXPOSURE CONTROL	O	O	4.2 5.2.1 5.1.3 (DAMP) 5.1.3 (DRY)
2. NO WELDING OVER CRACKED TACK WELD	O	O	5.1.9
3. ENVIRONMENTAL CONDITIONS - WIND SPEED WITHIN LIMITS - PRECIPITATION AND TEMPERATURE	O	O	5.1.1 5.1.2
4. WPS FOLLOWED - SETTINGS ON WELDING EQUIPMENT - TRAVEL SPEED - SELECTED WELDING MATERIALS - SHIELDING GAS TYPE/FLOW RATE - PREHEAT APPLIED - INTERPASS TEMPERATURE MAINTAINED (MINIMUM) - PROPER POSITION (F, V, H, OH)	O	O	4.12, 5.2, 5.5, 5.5.1 5.6.1
5. WELDING TECHNIQUES - INTERPASS AND TRIM CLEANING - EACH PASS WITHIN LIMITS (BEAD SIZE) - EACH PASS MEETS QUALITY REQUIREMENTS	O	O	4.2.7, 4.5.3, 5.1.4 5.30.1
6. PLACEMENT AND INSTALLATION OF STEEL HARDENED STUD ANCHORS	P	P	-
INSPECTION TASKS AFTER WELDING (AISC 360-16 N5.4-3)			
1. WELDS CLEANED	O	O	5.30.1
2. SIZE, LENGTH AND LOCATION OF WELDS	P	P	4.5.1
3. WELDS MEET VISUAL ACCEPTANCE CRITERIA - CRACK PROHIBITION - WELD MATERIAL SIZE/TYPE - CRATER CROSS SECTION - WELD PROFILES - WELD SIZE - UNDERCUT - POROSITY	P	P	5.2.1 TABLE 5.1.3.1 TABLE 5.1.3.2 TABLE 5.1.3.4 TABLE 5.1.4.1 (C.V.) TABLE 5.1.3.6 TABLE 5.1.3.7 TABLE 5.1.3.8
4. ARC STRIKES	P	P	5.2.7
5. HEAT AREA	P	P	AISC 360-16 J1.10 5.1.10.4
6. WELD ACCESS HOLES IN ROLLED HEAVY SHAPES AND BUILT-UP HEAVY SHAPES	P	P	-
7. BACKING REMOVED AND WELD TAPS REMOVED (IF REQUIRED)	P	P	5.10, 5.31
8. REPAIR ACTIVITIES	P	P	5.5.1, 5.26
9. DOCUMENT ACCEPTANCE OR REJECTION OF WELDED JOINT OR MEMBER	P	P	5.2.4, 5.5.1
10. NDT PERFORMED WHERE HAVE BEEN NOTED IN REPORTS AS REQUIRED BY THE EOR	O	O	-

STEEL
AS NOTED

INSPECTION TASKS PRIOR TO WELDING (AISC 360-16 N4.1-2)	OC	OA	AISC 360-16 SPEC REFERENCE
1. MANUFACTURER'S CERTIFICATIONS AVAILABLE FOR FASTENER MATERIALS	O	P	J2.1, B.3
2. FASTENERS MARKED IN ACCORDANCE WITH ASTM REQUIREMENTS	O	O	TABLE J2.3 & F1 (SEE ASTM STANDARDS)
3. CONNECTING ELEMENTS INSPECTED PRIOR TO BOLT INSTALLATION (SURFACE CONDITION, HOLE PREPARATION, ETC.)	O	O	J2.1, J2.2, J2.6, J3.2
4. CORRECT FASTENERS SELECTED FOR THE JOINT DETAIL	O	O	A3.4
5. CONNECTING ELEMENTS (INCLUDING THE APPROPRIATE BOLT DISTANCE, CONDITION AND HOLE PREPARATION, IF SPECIFIED, MEET APPLICABLE REQUIREMENTS)	O	O	J3.9, J3.10
6. PRETENSIONING VERIFICATION TESTING TO INSTALLATION PERFORMED, OBSERVED AND DOCUMENTED FOR FASTENER ASSEMBLIES AND METHODS USED	P	O	J3.10
7. PROTECTED STORAGE PROVIDED FOR BOLTS, NUTS, WASHERS AND OTHER FASTENER COMPONENTS	O	O	J2.4, B.3
INSPECTION TASKS DURING INSTALLATION (AISC 360-16 N4.1-3)			
1. FASTENER ASSEMBLIES PLACED IN ALL HOLES AND WASHERS AND NUTS ARE POSITIONED AS REQUIRED	O	O	J3.1, B.3
2. JOINT PREPARATIONS (THE SURFACE CONDITION, GAP, ETC.) MEET THE REQUIREMENTS FOR ASSEMBLY	O	O	J3.2, B.3
3. FASTENER COMPONENT NOT REMOVED OR REPLACED IN A MANNER PREJUDICIAL TO THE INTENDED USE	O	O	J3.7, B.3
4. FASTENERS ARE PRETENSIONED IN ACCORDANCE WITH THE AISC SPECIFICATION, PROCEEDING SYSTEMATICALLY FROM THE MOST RIGID POINT TOWARD THE FREE EDGES	O	O	J3.3, B.3
INSPECTION TASKS AFTER INSTALLATION (AISC 360-16 N4.1-4)			
1. DOCUMENT ACCEPTANCE OR REJECTION OF BOLTED CONNECTIONS	P	P	—

STEEL ELEMENTS OF COMPOSITE CONSTRUCTION
(SEE AISC 360-16 N7.1)

INSPECTION TASKS PRIOR TO CONCRETE PLACEMENT (AISC 360-16 N6.1)			
1. PLACEMENT AND INSTALLATION OF STEEL DECK	P	P	—
2. PLACEMENT AND INSTALLATION OF STEEL HEADED STUD ANCHORS	P	P	—
3. DISCOVERY ACCEPTANCE OR REJECTION OF STEEL ELEMENTS	P	P	—

O = OBSERVE TASKS ON A RANDOM BASIS. OPPORTUNITIES ARE NOT BE DELAYED TO PERFORM THESE INSPECTIONS
P = PERFORM THE TASK FOR EACH WELDED JOINT OR ASSEMBLY, EACH BOLTED CONNECTION, OR STEEL ELEMENT

REFERENCE CONCRETE TABLE NOTE REQUIRED GROUTING INSPECTIONS BELOW BASE PLATES

STRUCTURAL OBSERVATIONS

1. IN ACCORDANCE WITH SECTION 1704.6 OF THE CODE STRUCTURAL OBSERVATIONS SHALL BE PERFORMED FOR THE FOLLOWING ELEMENTS OF CONSTRUCTION:
   A. FOUNDATION & BOND BEAMS
   B. SHEARWALL FRAMING FOR THE WOOD LATERAL FORCE RESISTING SYSTEM INCLUDING DIAPHRAGMS AND SHEAR WALLS
2. THE PRACTICE OF THE STRUCTURAL OBSERVER WHICH IS TO BECOME FAMILIAR WITH THE PROJECT AND GAUGE BY THE CONTRACTOR'S WORK AND DETERMINE IF THE WORK IS BEING COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
   A. STRUCTURAL OBSERVATIONS ARE NOT INSPECTIONS AND SHALL NOT BE TREATED AS A REPLACEMENT FOR THE SPECIAL INSPECTIONS REQUIRED BY THE CODE OR ELSEWHERE TO STAND AND OR FOR SPECIAL INSPECTIONS REQUIRED BY THE DOCUMENT.
   B. THE PERSON COMPLETING THE OBSERVATION OBSERVATIONS DOES NOT SHALL PERFORM ANY TASK OR ACTS OF CONTROL BY THE CONTRACTOR OR ON ANY CODES UNDER THE JURISDICTION OF THE ARCH ON THE PROJECT.
3. ADEQUATE INTERCHANGE SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER FOR REVIEWING OBSERVATIONS, A MINIMUM OF 10 WORKING DAYS, PRIOR TO FIELD WORK OF THE WORK.

STATEMENT OF SPECIAL INSPECTIONS

1. THIS STATEMENT OF SPECIAL INSPECTIONS AND INTENT IS PER AND PURSUANT TO SECTION 1704.3 OF THE CODE. THIS SECTION SET FORTH REQUIRED SPECIAL INSPECTIONS AND TESTS INCLUDING VERIFYING INSPECTION TASKS OF THE CODE. THE FOLLOWING SHALL BE OBSERVED DURING THEIR IMPLEMENTATION.
   A. GENERAL
      a. STRUCTURAL VERIFICATIONS, INSPECTIONS AND TESTS SHALL BE PERFORMED IN ACCORDANCE WITH CHAPTER 17 OF THE CODE AND/OR THE APPLICABLE REFERENCED STANDARDS.
   B. OWNER REQUIREMENTS:
      a. THE OWNER OR OWNER'S AGENT SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN SECTION 1704 OF THE CODE AND IN THIS STATEMENT OF INSPECTIONS.
   C. SPECIAL INSPECTOR QUALIFICATIONS:
      a. THE SPECIAL INSPECTIONS SHALL PROVIDE WRITTEN DOCUMENTATION TO THE BUILDING OFFICIAL DEMONSTRATING HIS OR HER COMPETENCE AND RELEVANT EXPERIENCE OR TRAINING. THE REFERENCE OR TRAINING SHALL BE CONSIDERED RELEVANT WHEN THE DOCUMENTED EXPERIENCE OR TRAINING RELATES TO COMPLETION OF THE 2019 TYPE OF SPECIAL INSPECTION ACTIVITIES FOR PROJECTS OF SIMILAR COMPLEXITY AND MATERIAL CHARACTERS.
   D. CONTRACTOR REQUIREMENTS
      a. SPECIAL INSPECTIONS SHALL BE ADDITIONAL TO THE CONTRACTOR'S QUALITY CONTROL INSPECTIONS AND TESTING. THE CONTRACTOR'S QUALITY CONTROL INSPECTIONS AND TESTING SHALL OCCUR PRIOR TO SPECIAL INSPECTION AND REPORTS SHALL BE AVAILABLE TO THE SPECIAL INSPECTOR.
      b. THE CONTRACTOR SHALL ENSURE THAT THE WORK FOR WHICH SPECIAL INSPECTION IS REQUIRED REMAINS ACCESSIBLE AND EXPOSED FOR SPECIAL INSPECTION PURPOSES UNTIL COMPLETION OF THE REQUIRED SPECIAL INSPECTION.
      c. ANY CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF THE MAIN WIND OR SEISMIC FORCE RESISTING SYSTEM SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND OWNER PRIOR TO COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN A CLEAR DESCRIPTION OF THE AREAS OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS.
   E. SPECIAL INSPECTOR REPORT REQUIREMENTS
      a. THE SPECIAL INSPECTOR SHALL KEEP RECORDS OF INSPECTIONS.
      b. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL AND TO THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.
      c. REPORTS SHALL INDICATE ANY WORK INSPECTED AND ON WHAT NOT COMPLIED WITH CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
      d. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
      e. IF NOT CORRECTED, DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OF THE BUILDING OFFICIAL AND THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD PRIOR TO THE COMPLETION OF THAT PHASE OF WORK.
      f. A FINAL REPORT DOCUMENTING SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED SHALL BE SUBMITTED TO THE BUILDING OFFICIAL.

SUBMITTALS

1. THE FOLLOWING SUBMITTALS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER:
   A. STEEL (INCLUDING MISC. METALS)
      a. SHOP DRAWINGS FOR FABRICATION AND ERECTION
      b. WPS (INCLUDING PQRS AS APPLICABLE)
      c. REINFORCING STEEL
      d. SHOP DRAWINGS FOR FABRICATION AND PLACEMENT
2. BEFORE COMMENCING EACH SUBMITTAL (INCLUDES NOT OR DRAWING, PRODUCT DATA, SAMPLES AND SHEAR DRAWINGS) THE CONTRACTOR SHALL:
   A. REVIEW AND COORDINATE EACH SUBMITTAL WITH OTHER SUBMITTALS AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS. THE INCLUDES THE CONTRACTOR REVIEWING AND VERIFYING THAT THE SUBMITTAL IS COORDINATED AND WITH ALL CONTRACTOR WORK.
   B. DETERMINED AND VERIFIED ALL FIELD AND ENGINEERING DEMANDS, DIMENSIONS, SPECIFIED PERFORMANCE AND DESIGN CRITERIA, AND PLACEMENT REQUIREMENTS, MATERIAL CATALOG NUMBERS AND SIMILAR INFORMATION.
   C. DETERMINED AND VERIFIED ALL INFORMATION RELATED TO THE CONTRACTOR'S RESPONSIBILITIES FOR MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, AND SAFETY PRECAUTIONS AND PROGRAMS.
   D. REVIEWED AND VERIFIED THAT THE ARCHITECTS OR ENGINEERS COMMENTS FROM PREVIOUS SUBMITTAL REVISIONS HAVE BEEN ADDRESSED.
3. EACH SUBMITTAL SHALL BEAR A STAMP OR SPECIFIC WRITTEN CERTIFICATION THAT THE CONTRACTOR HAS TAKEN THE STEPS NECESSARY UNDER THE CONTRACT DOCUMENTS WITH RESPECT TO THE CONTRACTOR'S REVIEW AND APPROVAL OF THAT SUBMITTAL.
4. THE CONTRACTOR'S OBLIGATION TO PERFORM AND COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS SHALL BE ABSOLUTE.
   a. REVIEW AND APPROVAL OF SHOP DRAWINGS BY THE ARCHITECT AND/OR ENGINEER DOES NOT CONSTITUTE APPROVAL OF ANY CHANGE TO THE CONTRACT DOCUMENTS OR MODIFICATION TO THE CONTRACT DRAWINGS IN WHICH REVIEW AND APPROVAL OF THE SUBMITTAL FOR WHICH SUBMITTAL.
   b. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED OF CHANGES REQUIRED, SUBSTITUTIONS OR MODIFICATIONS TO THE CONTRACT DRAWINGS IN WRITING BEFORE AND OR APPROVAL OF THE SUBMITTAL FOR WHICH SUBMITTAL.
5. FABRICATION FOR REPAIR IN THESE DOCUMENTS SHALL NOT COMMENCE UNTIL THE SUBMITTAL HAS BEEN REVIEWED AND APPROVED BY THE ENGINEER.

SHOP FABRICATION

1. SHOP FABRICATION REQUIRES SPECIAL INSPECTION IN ACCORDANCE WITH CODE SECTION 1704.2.5. EXCEPTION: SHOP SPECIAL INSPECTIONS ARE NOT REQUIRED WHEN WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM THIS WORK IN ACCORDANCE WITH CODE SECTION 1704.2.5.1. THE FOLLOWING ACCREDITATION MEETS THE REQUIREMENTS OF THE EXCEPTION:
   A. WELD FABRICATOR (STEEL EXTENDED OF OTHER BUILDINGS)
      a. FOR STEEL EXTENDED BUILDINGS OR ELEMENTS THE FABRICATOR SHALL BE AN AISC CERTIFIED FABRICATOR IN ACCORDANCE WITH THE AISC CERTIFICATION PROGRAM FOR STRUCTURAL STEEL FABRICATORS (AISC 201-14)
      b. OTHER AISC OR NCSEA ACCREDITATION IS ACCEPTABLE IF THE ARCHITECT HAS AUTHORIZED PRIOR TO FABRICATION.
      c. IF FABRICATION IS PERFORMED BY AN APPROVED FABRICATOR A CERTIFICATE OF COMPLIANCE MUST BE PROVIDED TO THE BUILDING INSPECTOR THAT THE MATERIALS SUPPLIED AND WORK PERFORMED BY THE FABRICATOR WERE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
      d. IF FABRICATION IS NOT PERFORMED BY AN APPROVED FABRICATOR, WELDING INSPECTION REPORTS MUST BE SUBMITTED TO THE BUILDING OFFICIAL BY AN APPROVED TESTING AGENCY.
      e.0. NON DESTRUCTIVE TESTING (NDT) MUST BE PERFORMED BY THE FABRICATOR. NOTWITHSTANDING THE AGENCY SHALL REVIEW THE FABRICATOR'S NDT REPORTS.
   B. WOOD BUILDINGS
      a. WOOD STRUCTURAL PANELS (SHEATHING) SHALL BE IDENTIFIED BY THE APPROPRIATE GRADE

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AGENCY

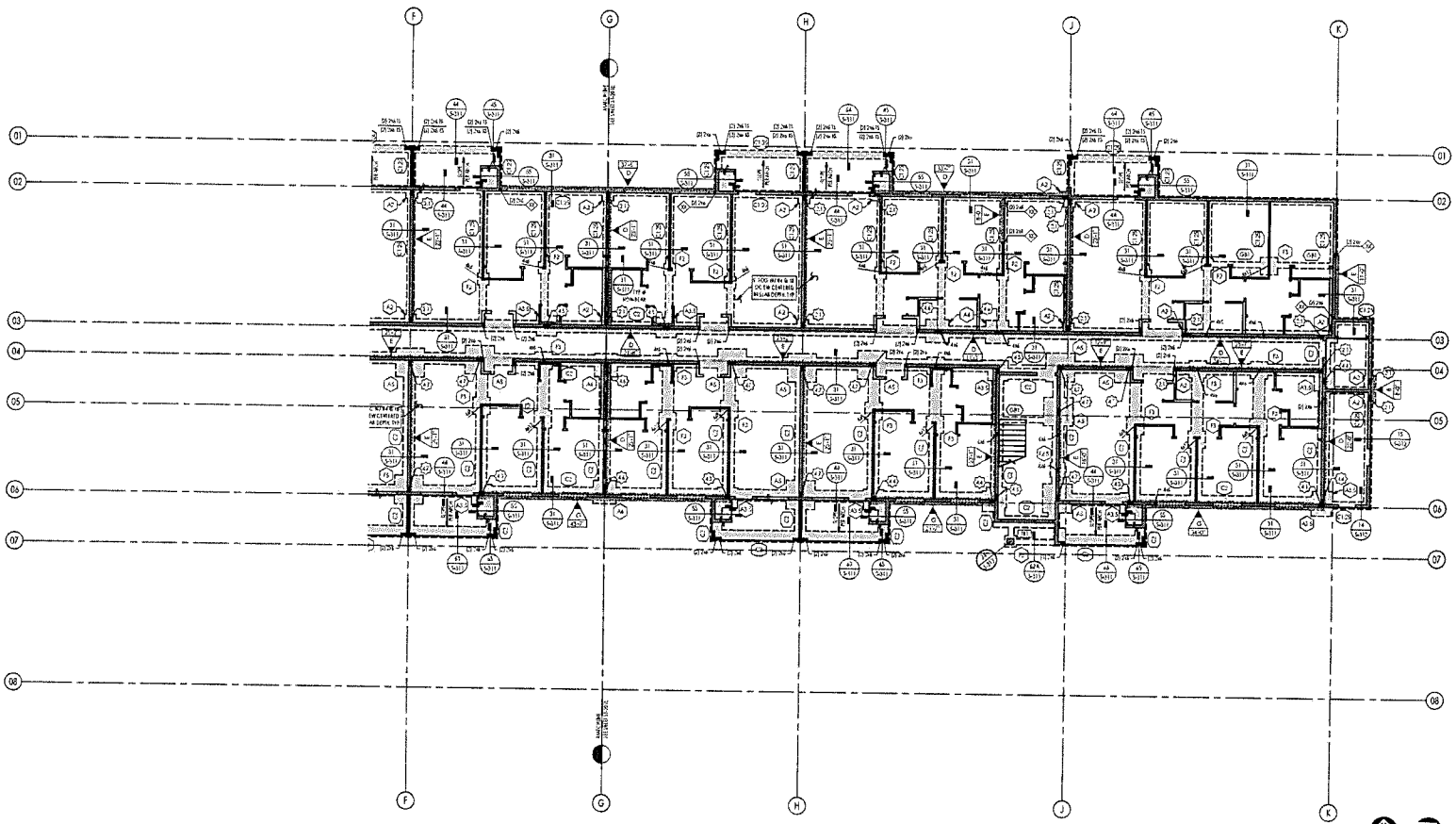
MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA, CA 92562

SPECIAL INSPECTIONS & TESTS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-104

INITIAL B&S SUBMITTAL



1 BLDG 1 - PARTIAL FOUNDATION PLAN - EAST
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FOUNDATION PLAN NOTES

1. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET NO
STRUCTURAL AND MATERIAL NOTES	S-001
STRUCTURAL FLOOR PLAN NOTES	S-002 / S-002
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 / S-602

2. SEE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATIONS, REFERENCE FINISHED FLOOR ELEVATION +/-0.0" CORRESPONDS TO FINISHED FLOOR ELEVATION.
3. ALL DIMENSIONS SHOWN ARE FROM FACE OF CONCRETE/MASONRY, FACE OF STUD WALL, OR CENTERLINE OF COLUMN. ALL COLUMNS ARE CENTERED IN STUD WALLS, UNO.
4. FOR ANY DIMENSION INFORMATION NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
5. SEE ARCHITECTURAL DRAWINGS FOR ANY EMBEDDED REBAR AND ALL BRICK/CONCRETE FINISH.
6. SEE PLANS AND ARCHITECTURAL DRAWINGS FOR DEPRESSIONS AND/OR SLOPES IN CONCRETE SLABS.
7. SEE ARCHITECTURAL DRAWINGS FOR SET AND LOC KNOW OF ALL DOOR AND WINDOW OPENINGS IN BEARING AND NON-BEARING WALLS.
8. SEE ARCHITECTURAL DRAWINGS FOR LOC KNOW OF INTERIOR NON-BEARING PARTITIONS.
9. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL EMBEDDED ITEMS AND SLEEVE PENETRATIONS.
10. FOR TYPICAL SLAB-ON-GRADE REQUIREMENTS, INCLUDING SLAB JOINTS, SEE DETAIL S1/S-501.
11. ALL POSTS IN 4" WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE. ALL POSTS IN 6" WALLS SHALL BE 6x6, UNLESS NOTED OTHERWISE.
12. PLATE WASHERS ARE REQUIRED FOR ALL STEEL PLATE ANCHOR BOLTS. REFER TO S2/S-601 FOR PLATE WASHER REQUIREMENTS AT SHEAR WALLS.
13. ALL HOLDOWN ANCHOR BOLTS SHALL BE TIGHTENED THE PROPER TO CODE DRAWING.
14. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED. INSPECTOR TO VERIFY.
15. THE BUILDING PAD SHALL BE PREPARED AS REQUIRED IN DETAIL S1/S-501. THE BUILDING OFFICIAL SHALL REQUIRE PAD CERTIFICATION BY A GEOTECHNICAL ENGINEER AT THEIR DISCRETION.
16. BOTTOM OF FOOTINGS SHALL BE UNITED DEEPER FOUNDATIONS ARE REQUIRED BY THE BUILDING OFFICIAL.
   A. 18" BELOW PAD OR ADJACENT GRADE AT PERIMETER, WHICHEVER IS DEEPER UNO
   B. 18" BELOW PAD OR ADJACENT GRADE AT INTERIOR GRADE BEAMS, WHICHEVER IS DEEPER UNO
   NOTE: FOOTINGS MAY BE DEEPENED LOCALLY PER DETAIL 2/S-501 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBEDMENTS

SYMBOL LEGEND

- INDICATES NEW WALL TYPE AND LENGTH. SEE SCHEDULE ON S1/S-602
- INDICATES ADDITIONAL REFER TO ARCHITECTURAL DRAWINGS
- INDICATES CONCRETE CURB PER DETAIL 3/S-502
- INDICATES DEEPER FOOTING PER DETAIL 2/S-501

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN / REBAR DETAIL		DET NO
	INDICATES HOLDOWN / REBAR TYPE	
	INDICATES SIMPSON STRONG HOLDOWN TO CONC FOUNDATION CONC TO WALL	7/S-511 2/S-511
	INDICATES SIMPSON STRONG HOLDOWN TO CONC FOUNDATION CONC TO WALL	16/S-511 24/S-511
	INDICATES AN TO FOUNDATION	12/S-512

SCHEDULES

CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH	MIN EMBED BELOW LOWEST PAD GRADE	LONG REBAR	TRANS REBAR	DET NO
CF1-24	2'-0"	SEE NOTE 16	(2) #4 TOP & BOT	#3 @ 24" O.C. BOT	3/S-511
CF2	24"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" O.C. BOT	2/S-511

NOTE: FOOTING MAY BE DEEPENED LOCALLY PER DETAIL 2/S-501 TO ACCOMMODATE ANCHOR BOLT EMBED DEPTH

ISOLATED SQUARE SCHEDULE

TYPE	WIDTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	LONG REBAR	TRANS REBAR	DET NO
CIP1	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP (2) #4 @ BOT	#3 @ 24" O.C.	13/S-512

TIE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	LONG REBAR	TRANS REBAR	DET NO
TB1	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP & BOT	#3 @ 24" O.C.	12/S-512

PAD FOOTING SCHEDULE

TYPE	WIDTH	LENGTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	TOP REBAR	BOT REBAR	DET NO
F2	3'-0"	3'-0"	1'-0"	SEE NOTE 16	-	(6) #5, EW	15/S-511
F2.5	3'-0"	3'-0"	1'-0"		-	(5) #5, EW	
F3	3'-0"	3'-0"	1'-0"		-	(4) #5, EW	
F4	4'-0"	4'-0"	1'-0"		-	(5) #5, EW	
F5	4'-0"	4'-0"	1'-0"		-	(7) #5, EW	
F6	5'-0"	5'-0"	2'-0"		(5) #5, EW	(5) #5, EW	
F7.5	5'-0"	5'-0"	2'-0"		(6) #5, EW	(6) #5, EW	
F8	6'-0"	6'-0"	2'-0"		(6) #5, EW	(6) #5, EW	12/S-512
F9	6'-0"	6'-0"	2'-0"		(7) #5, EW	(7) #5, EW	
F10	6'-0"	6'-0"	2'-0"		(8) #5, EW	(8) #5, EW	
F11	7'-0"	7'-0"	2'-0"		(8) #5, EW	(8) #5, EW	
F12	PER PLAN	PER PLAN	2'-0"		(8) #5 @ 6" EW	(8) #5 @ 6" EW	

ANCHOR SCHEDULE

ANCHOR BOLT TYPE ASTM F1554	ANCHOR BOLT TYPE ASTM F1554	DETAIL
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	5/8"	4/S-601
5/8"	REMA COUPE	4/S-601

SEE TABLES ASTM F1554 AND AISC

INITIAL B&S SUBMITTAL

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nationalcore.org

AGENCY

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

BLDG 1 -
PARTIAL FOUNDATION PLAN - EAST

NO.	REVISION	DATE
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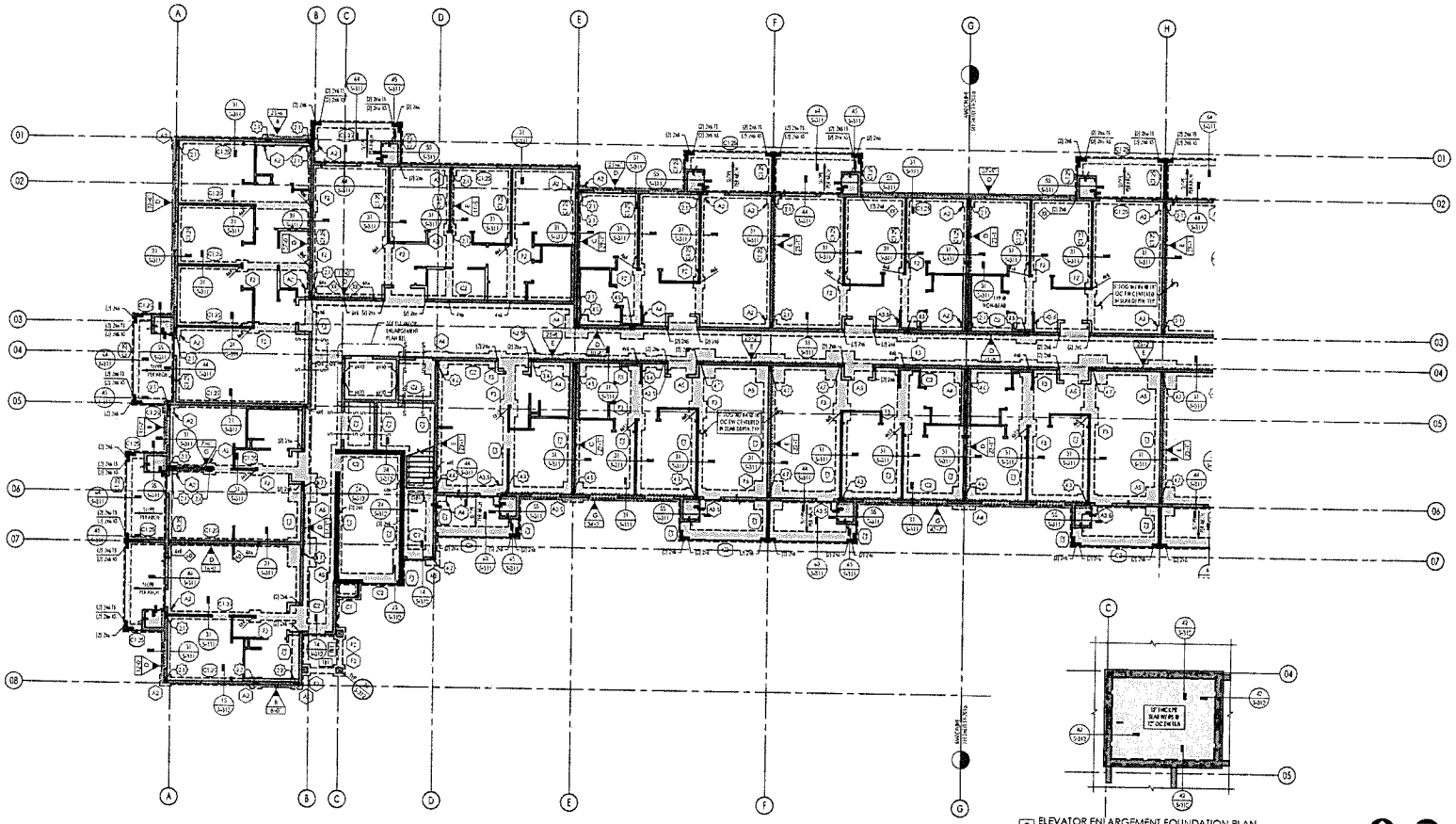
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-201a



1 BLDG 1 - PARTIAL FOUNDATION PLAN - WEST
SCALE: 1/8" = 1'-0"

2 ELEVATOR ENLARGEMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PLAN NORTH TRUE NORTH

FOUNDATION PLAN NOTES

1. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET NO
SYMBOLS AND ABBREVIATIONS	S-101
STRUCTURAL GENERAL NOTES	S-102 & S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-301
TYPICAL WOOD DETAILS	S-401 & S-402

2. SEE ARCHITECTURAL DRAWINGS FOR INTERIOR FLOOR ELEVATIONS. REFERENCE FINISHED FLOOR ELEVATION = 0'-0" CORRESPONDS TO FINISHED FLOOR ELEVATION.
3. ALL DIMENSIONS SHOWN ARE FROM FACE OF CONCRETE UNLESS OTHERWISE NOTED. CONTROL JOINTS SHALL BE LOCATED AT MIDSPAN UNLESS NOTED OTHERWISE.
4. FOR ARCHITECTURAL INFORMATION NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
5. SEE ARCHITECTURAL DRAWINGS FOR ANY EMBEDDED ITEMS AND ALL EXTERIOR CONCRETE PAVE
6. SEE PLANS AND ARCHITECTURAL DRAWINGS FOR DEPRESSIONS AND/OR SLOPES IN CONCRETE SLABS.
7. SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL DOORS AND WINDOW OPENINGS IN BEARING AND NON-BEARING WALLS.
8. SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF INTERIOR NON-BEARING PARTITIONS.
9. SEE ARCHITECTURAL PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SLEEVES IN BEAM AND SLAB PENETRATIONS.
10. FOR TYPICAL SLAB-ON-GRADE REQUIREMENTS, INCLUDING TRENCHES, SEE DETAIL 2/S-201
11. ALL POSTS IN 2" WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE.
ALL POSTS IN 3" WALLS SHALL BE 4x6, UNLESS NOTED OTHERWISE.
12. PLATE WASHERS ARE REQUIRED FOR ALL SILL PLATE ANCHOR BOLTS. REFER TO S-401 AND 402 FOR PLATE WASHER REQUIREMENTS AT SHEAR WALLS.
13. ALL HOLDOWN ANCHOR RODS SHALL BE TIGHTENED JUST PRIOR TO COLUMNS.
14. ALL POST HOLES IN WOOD MEMBERS SHALL BE DRILLED A MAXIMUM OF 1/3 DIAMETER. INSPECTOR TO VERIFY.
15. THE BUILDING PAD SHALL BE PREPARED AS OUTLINED IN GEOTECHNICAL SURVEY. THE BUILDING OFFICIAL SHALL REQUIRE PAD CERTIFICATION BY A GEOTECHNICAL ENGINEER AT HIS DISCRETION.
16. BOTTOM OF FOOTING SHALL BE UNLESS DEEPER FOUNDATIONS ARE REQUIRED IN THE BUILDING OFFICIAL.
A. 18" BELOW PAD OR ADJACENT GRADE AT PERIMETER, WHICHEVER IS DEEPER, UNO
B. 18" BELOW PAD OR ADJACENT GRADE AT INTERIOR GRADE BEAMS, WHICHEVER IS DEEPER, UNO.
NOTE: FOOTING MUST BE DEEPENED LOCALLY PER DETAIL 2/S-201 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBED DEPTH.

SYMBOL LEGEND

	INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE FOR DETAILS.
	INDICATES ADD BOLT REFER TO ADD SCHEDULE
	INDICATES CONCRETE CURB PER DETAIL 2/S-302
	INDICATES DEEPED FOOTING PER DETAIL 2/S-201

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN/ STRAP TYPE	INDICATED HOLDOWN/ STRAP TYPE	DETAIL
	INDICATES TRANSITION FROM HOLDOWN TO CONC FOUNDATION CONC FOUNDATION WALL	1/S-311 2/S-311
	INDICATES TRANSITION FROM HOLDOWN TO CONC FOUNDATION WALL CONC FOUNDATION WALL	1/S-311 2/S-311
	INDICATES ADD TO FOUNDATION	1/S-312

SCHEDULES

CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH	MIN EMBED BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
CF-12	1'-2"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" OC BOT	2/S-311
CF-12	2'-0"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" OC BOT	2/S-311

NOTE: FOOTING MUST BE DEEPENED LOCALLY PER DETAIL 2/S-201 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBED DEPTHS

GRADE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MINIMUM BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
GB1	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP (2) #4 @ BOT	#3 @ 24" OC	12/S-312

TIE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MINIMUM BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
TB1	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP & BOT	#3 @ 24" OC	12/S-312

PAD FOOTING SCHEDULE

TYPE	WIDTH	LENGTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	TOP REINF	BOT REINF	DETAIL
F2	2'-0"	2'-0"	1'-0"	SEE NOTE 16	-	(6) #5 EW	1/S-311
F2	2'-6"	2'-6"	1'-0"		-	(7) #5 EW	
F3	3'-0"	3'-0"	1'-0"		-	(8) #5 EW	
F4	4'-0"	4'-0"	1'-0"		-	(11) #5 EW	
F4	4'-0"	4'-0"	1'-0"		-	(11) #5 EW	
F5	5'-0"	5'-0"	2'-0"		(6) #5 EW	(6) #5 EW	
F5.5	5'-6"	5'-6"	2'-0"		(6) #5 EW	(6) #5 EW	12/S-312
F6	6'-0"	6'-0"	2'-0"		(6) #5 EW	(6) #5 EW	
F6	6'-0"	6'-0"	2'-0"		(6) #5 EW	(6) #5 EW	
F6	6'-0"	6'-0"	2'-0"		(6) #5 EW	(6) #5 EW	
F6	PER PLAN	PER PLAN	2'-0"		#5 @ 12" EW	#5 @ 12" EW	

AD SCHEDULE

AD REF # PER ASSD TYPE AD-1	ANCHORAGE PER DETAIL 3/S-312	DETAIL
AD-1 AD-2	AD-1	SEE SHEETS AD-1 THRU AD-4
AD-3 AD-4 AD-5	AD-2	
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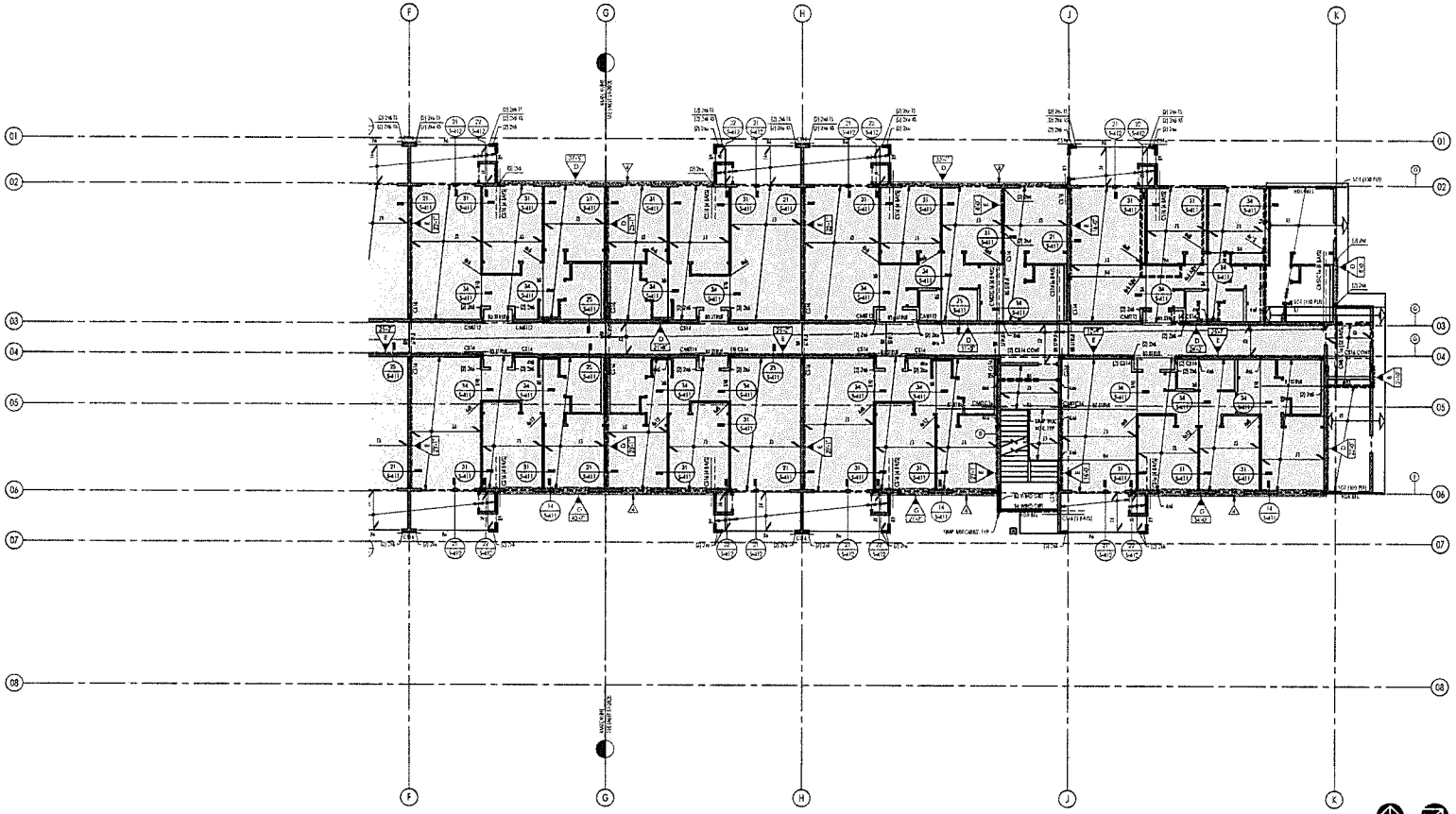
AGENCY

INITIAL B&S SUBMITTAL

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 -
PARTIAL FOUNDATION PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-201b



1 BLDG 1 - PARTIAL SECOND FLOOR PLAN - EAST
SCALE 1/8" = 1'-0"

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING: (NA NOT LIMITED TO THE FOLLOWING, ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. CURB DIMENSIONS AND MOREMENT CONTROL
   B. ALL DIMENSIONS, LEVELS/ROOF, TIMBER SURFACE, SLOPES, DRAINS, SLAB DEPRESSIONS, ETC
   C. LOCATION AND SIZE OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
LAYOUTS AND ABBREVIATIONS	S-101
STRUCTURAL GENERAL NOTES	S-102-S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601-S-605

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TYPE OF SHEATHING AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON FLOOR FRAMING PLAN SEE DETAIL D/S-602 FOR TYPICAL OPENINGS, UNO
5. ALL POSTS IN EXT WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE. ALL POSTS IN INT WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE

   TYPICAL WALL FRAMING IN WALLS:
   2x4 @ 16" O.C. IN ALL EXTERIOR WALLS, UNO
   2x4 @ 16" O.C. IN ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" IN NON BEARING NON BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS, SEE DETAILS 2x4 @ 16" OC 17S-4
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-201 UNO
7. ALL LINES AND POSTS MARKED INDICATED AS "STRUT" SHALL EXTENDED (2) PIECES OF BOUNDARY FRAMING (BN), STC-1
8. DIAPHRAGM TYPE:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO 1/S-401
9. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION

SYMBOL LEGEND

FOOTING MARK	INDICATES FOOTING MARK, TYPE AND LENGTH. SEE SCHEDULE ON 1/S-401
	INDICATES HOLDOWN & STRAPPING AROUND BLOCK WINDOW OPENINGS PER DETAIL 4/S-401
	INDICATES ADD BLOCKS REFER TO ADD SCHEDULE PER S-201
	INDICATES HEADER @ OPENING, REFER TO 5/S-401 FOR HEADER SIZE UNO ON PLANS
	INDICATES TOP PLATE SPLICE, NAILING PER 1/S-601 ADD TWO NAILING NEEDED TO THREE LENGTH OF TOP PLATE, PROVIDE TYPE (X) SPLICE, UNO
	INDICATES CONT BLOCK STRAP PER 2x/S-401 @ FLOOR, UNO
	INDICATES STRAP PER 1x/S-401, UNO
DIC#	INDICATES DRAG TIES CONNECTOR PER 2/S-401, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN and STRAP DETAIL	INDICATES HOLDOWN and STRAP DETAIL	DETAIL
(HD)	INDICATES HOLDOWN & STRAPPING AROUND BLOCK WINDOW	12/S-401
(HD)	INDICATES HOLDOWN & STRAPPING AROUND BLOCK WINDOW	14/S-401
(HD)	INDICATES HOLDOWN OR HOLDOWN TO CONC FOUNDATION CONC STEM WALL	13/S-401 10/S-401
(HD)	INDICATES HOLDOWN OR HOLDOWN TO CONC FOUNDATION CONC STEM WALL	14/S-401 2x/S-401
(HD)	INDICATES HOLDOWN TO CONC FOUNDATION	15/S-401

HOLDOWN/HEADER SCHEDULE

MARK	SIZE	REMARKS
H1	4x8	
H2	4x10	
H3	4x12	
H4	1 3/4"x11 1/2" L.V.	3 PLY
H5	1 3/4"x14 1/2" L.V.	2 PLY
H6	1 3/4"x14 1/2" L.V.	3 PLY
H7	(2) 2x12	
H8	(2) 2x8	
H9	4x8	
H10	4x10	

HOLDOWN/HEADER SCHEDULE

MARK	SIZE	REMARKS
J1	2x4 @ 24" OC	
J2	2x4 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x6 @ 16" OC	SLOPE @ BALCONY
J5	2x6 @ 16" OC	
J6	1 3/4"x11 1/2" LVL @ 16" OC	
J7	1 3/4"x11 1/2" LVL @ 16" OC	REFER TO NOTE @ BALCONY
J8	2x10 @ 16" OC	REFER TO NOTE @ BALCONY

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PROJECT

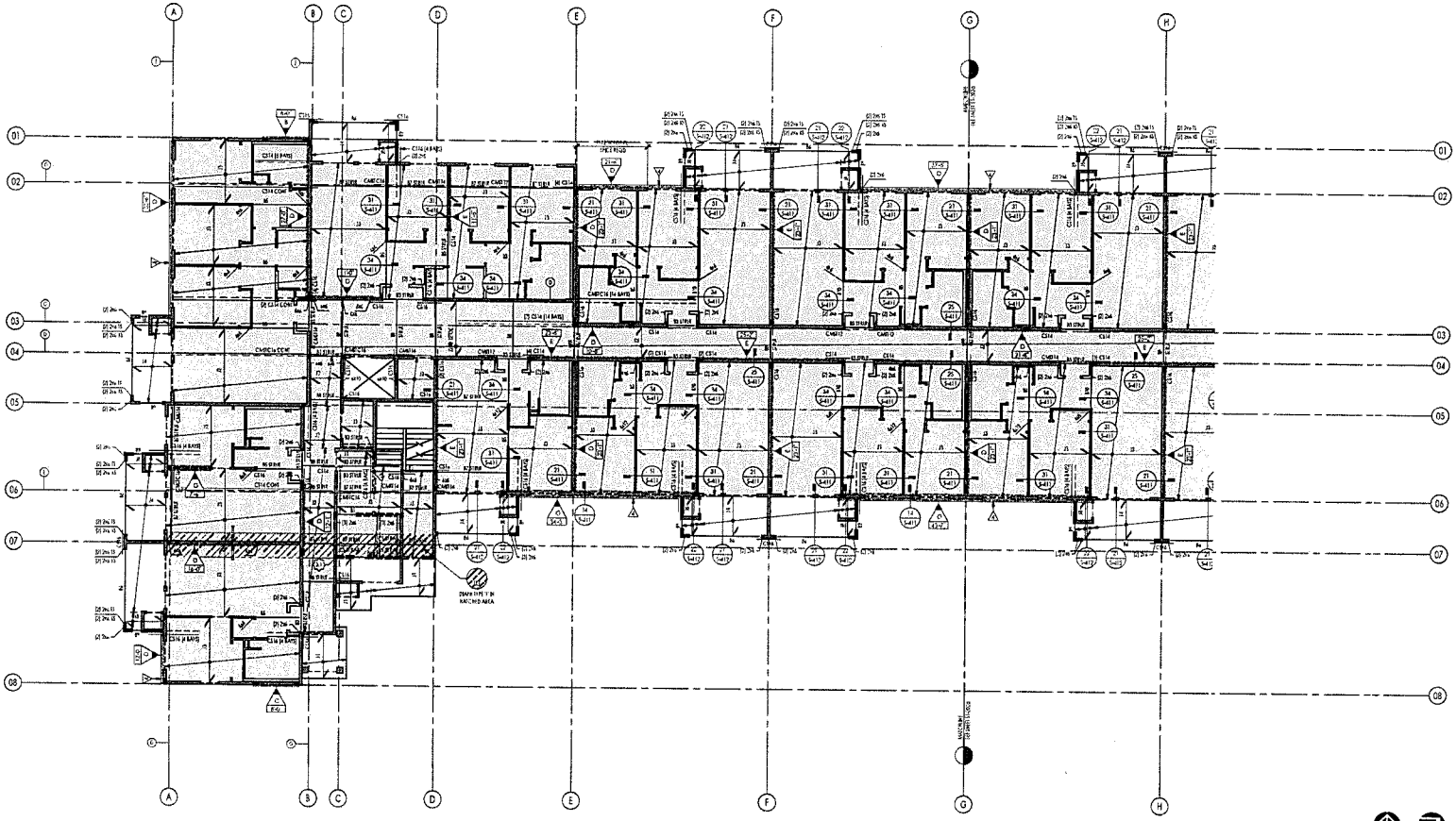
MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

BLDG 1 - PARTIAL SECOND FLOOR FRAMING PLAN - EAST

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-202a

INITIAL B&S SUBMITTAL



1 BLDG 1 - PARTIAL SECOND FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL WINDOWS AND DOORS INCLUDING BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. GRID DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS FOR OPENING, FINISH SURFACE, SLOPES, GRADES, SLAB DEPRESSIONS, ETC
   C. LOCATION AND FINISH OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET NO
STAMPED AND ABRASE CONCRETE	S-501
STRUCTURAL GENERAL NOTES	S-100 - S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 - S-605

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF PARAPETS AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON THE FRAMING PLAN, SEE DETAIL 2/S-603 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN EXTERIOR WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE.
   ALL POSTS IN INTERIOR WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE.
   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" O.C. @ ALL EXTERIOR WALLS, UNO.
   2x4 @ 16" O.C. @ ALL INTERIOR BEARING WALLS, UNO.
   2x4 @ 16" @ ALL INTERIOR NON-BEARING WALLS, UNO.
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF DECK EDGE 2x4 @ 8" O.C. TYP.
6. ALL DIMENSIONS WHICH MATCH ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONTROLLED BY ARCHITECTURAL DRAWINGS.
7. ALL LINED AND DATE MEMBERS INDICATED AS "STRUT" SHALL EXTEND TO BOWS OF BOUNDARY FRAMING (BF), TYP.
8. DRAWING NOTES:
   ALL ROOF DRAINAGE SHALL BE TYPE A, UNO.
   ALL FLOOR DRAINAGE SHALL BE TYPE B, AND
   REFER TO 1/S-601.

SYMBOL LEGEND

- 2CX-W / 3 — INDICATES STEAM WALL TYP. AND LENGTH. SEE SCHEDULE, 4/S-501
- 3 — INDICATES FLOOR DRAIN & STAMPING AREA AS BELOW WINDOW OPENING PER DETAIL 6/S-402
- INDICATES AFS SCD REFER TO AFS SCHEDULE PER S-501
- INDICATES HEADER @ OPENINGS. REFER TO S2/S-601 FOR HEADER SIZE, UNO, OR TS/MS
- INDICATES TOP PLATE SPLICE NAILING PER S2/S-601. NOTE THAT NAILING APPLIES TO ENTIRE LENGTH OF TOP PLATE, PROVIDER TYP. (C) STRUCT. UNO
- INDICATES CONT BLK & STRAP PER S4/S-601 @ ROOFS, UNO
- INDICATES STRAP PER S4/S-601, UNO
- INDICATES DRAG STRUT CONNECTOR PER S5/S-601, UNO

SCHEDULES

HOLDOWN SCHEDULE

MARK	DESCRIPTION	DETAIL
HD1	INDICATES SIMPSON STRAP TO WALL BELOW	S2/S-601
HD2	INDICATES SIMPSON STRAP TO BEAM BELOW	S4/S-601
HD3	INDICATES SIMPSON STRAP TO HOLDOWN IN CONC FOUNDATION (CONC STEM WALL)	S1/S-511 2/S-511
HD4	INDICATES SIMPSON STRAP TO HOLDOWN IN CONC FOUNDATION (CONC STEM WALL)	S1/S-511 2/S-511
HD5	INDICATES AFS SCD FOUNDATION	S2/S-511

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	4x8	
B2	4x10	
B3	4x12	
B4	13D1 1/2" L.V.	3 PLY
B5	13D1 1/2" L.V.	2 PLY
B6	13D1 1/2" L.V.	3 PLY
B7	6D 2x10	
B8	6D 2x8	
B9	6D 2x12	
B10	6D 2x6	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 24" OC	
J2	2x8 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x6 @ 16" OC	2 OPE @ BALCONY
J5	2x6 @ 16" OC	
J6	1 3/4" x 11 7/8" LVL @ 16" OC	
J7	1 3/4" x 11 7/8" LVL @ 16" OC	REFER TO SLOPE @ BALCONY
J8	2x12 @ 16" OC	REFER TO SLOPE @ BALCONY

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AGENCY

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - PARTIAL SECOND FLOOR FRAMING PLAN - WEST

NO.	REVISION	DATE
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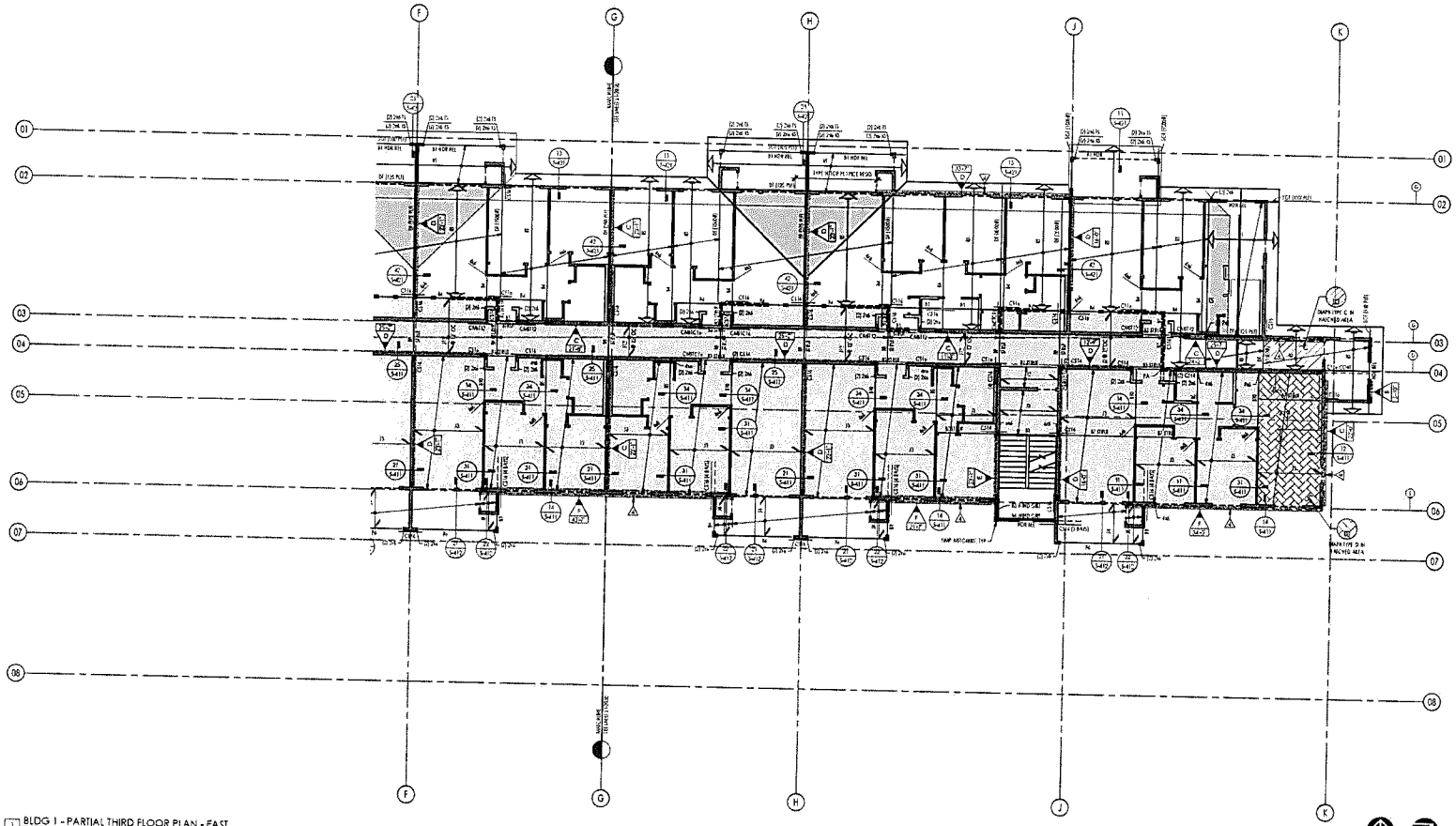
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-202b

INITIAL B&S SUBMITTAL



1 BLDG 1 - PARTIAL THIRD FLOOR PLAN - EAST
SCALE: 1/8" = 1'-0"

PLAN NORTH | TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING THE NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS NOT VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS (SLEEVES, INSERT SURFACE, NOTCHES, DRAINS, SLAB DEPRESSIONS, ETC
   C. LOCATION AND LENGTH OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET NO
STARTER AND ANCHOR ANALYSIS	S-101
STRUCTURAL GENERAL NOTES	S-102, S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-403

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TRY DIMENSIONS AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVES AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. OPENINGS PENETRATING NOT SHOWN ON FLOOR FRAMING PLAN SEE DETAIL S-203-A3 FOR TYPICAL OPENINGS, UNO
5. ALL POURS IN 4" WALLS SHALL BE 6H UNLESS NOTED OTHERWISE
   ALL POURS IN 6" WALLS SHALL BE 8H UNLESS NOTED OTHERWISE

   TYPICAL WALL FRAMING SHALL BE:
   2H @ 12" O.C. IN ALL EXTERIOR WALLS, UNO
   2H @ 16" O.C. IN ALL INTERIOR BEARING WALLS, UNO
   2H @ 16" O.C. IN ALL NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF DOORS, 2H @ 16" O.C. TYP
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-401, UNO
7. ALL LINES AND SITE MEMBERS INDICATED AS "TRIPLE" SHALL RECEIVE (2) ROWS OF BOUNDARY NAILING (BN) STITCH
8. DIAPHRAGM TYPE:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S-201

SYMBOL LEGEND

FLOOR / ROOF	INDICATES THE NEW WALL TYPE AND LENGTH. SEE SCHEDULE ON S-201-A2
	INDICATES NOTCHING & STRAPPING AND/OR & MASON NOTCHING PER DETAIL 6/S-401
	INDICATES AREA TO REFER TO ARCHITECTURAL SCHEDULE PER S-201
	INDICATES NURSE IN DRAINS. REFER TO S-401 FOR HEADER SIZE, UNO ON PLANS
	INDICATES ROOF PLATE STEEL FRAMING PER S-401 NOTE FOR FRAMING ANGLES TO EXTEND LENGTH OF ROOF PLATE, PROVIDE TYPE (C) SPLICE, UNO
	INDICATES OTHER BLOCK STRAP PER 2/S-401 @ FLOOR, UNO
	INDICATES DRAG PER 7/S-401, UNO
DSC#	INDICATES DRAG TIE OR CONNECTOR PER 2/S-401, UNO

SCHEDULES

HOLDOWN SCHEDULE

UNCORED HOLDOWN / STRAP DETAIL	DETAIL
INDICATES SIMPSON STRAP TO WALL BELOW	12/S-401
INDICATES SIMPSON STRAP TO BEAM BELOW	14/S-401
INDICATES SIMPSON DTT2 HOLDOWN TO CONC FOUNDATION (CONC STEM WALL)	1/S-511 / 7/S-511
INDICATES SIMPSON PA HOLDOWN TO CONC FOUNDATION (CONC STEM WALL)	14/S-511 / 24/S-511
INDICATES ANCHOR TO FOUNDATION	12/S-412

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	4x8	
B2	4x10	
B3	4x12	
B4	1.75(14)LVL	2 PLY
B5	1.75(11.25)LVL	2 PLY
B6	1.75(16)LVL	2 PLY
B7	(2) 2x12	
B8	(2) 2x8	
B9	4x12	
B10	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x4 @ 24" OC	
J2	2x6 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x10 @ 12" OC	SLOPE @ BALCONY
J5	2x10 @ 10" OC	
J6	1.75(9.5)LVL @ 16" OC	
J7	1.75(9.5)LVL @ 10" OC	RIPPED FOR SLOPE @ BALCONY
J8	2x12 @ 10" OC	RIPPED FOR SLOPE @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED ROOF TRUSS NOTES SEE NOTE ON SHEET S-101

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
R	ROOF TRUSS (COMMON)	24" OC MAX
RGT	STRUCTURAL GABLE TRUSS	
MT	MONO PITCH TRUSS	24" OC MAX
JT	JACK TRUSS	24" OC MAX
HJT	HALF JACK TRUSS	24" OC MAX
CJT	CORNER JACK TRUSS	
GT	GABLE TRUSS	
MGT	MONO PITCH GIRDER TRUSS	
DT (8")	DRAG TRUSS	
CGT	CALIFORNIA GIRDER TRUSS	
HR	HIP RAFTER / JACK RAFTER	
CH	CALIFORNIA HIP TRUSS	24" OC MAX

(#) = TOTAL LOADING FORCE (TLF) DRAG FORCE IS AT ALL FACTORED LEVEL (ULF) DRAG FORCE CAN ALSO BE REDUCED AS PER NDS 4.2.3 & 12.12.1.1 IN STRUCTURES IMPRESSED BY LIGHT FRAME SHEAR WALLS OR PERFORM TRUSS DRAG ANALYSIS. DRAG TIE DESIGN AND PROPER FOR DRAG TIE LOAD COMBINATIONS OF ASCE 7-16 SECTION 12.4.2.3 AND ALL OTHER STRUCTURES DRAGS SHALL INCLUDE THE EFFECT OF OVERSTRENGTH PER ASCE 7-16 12.4.2.2

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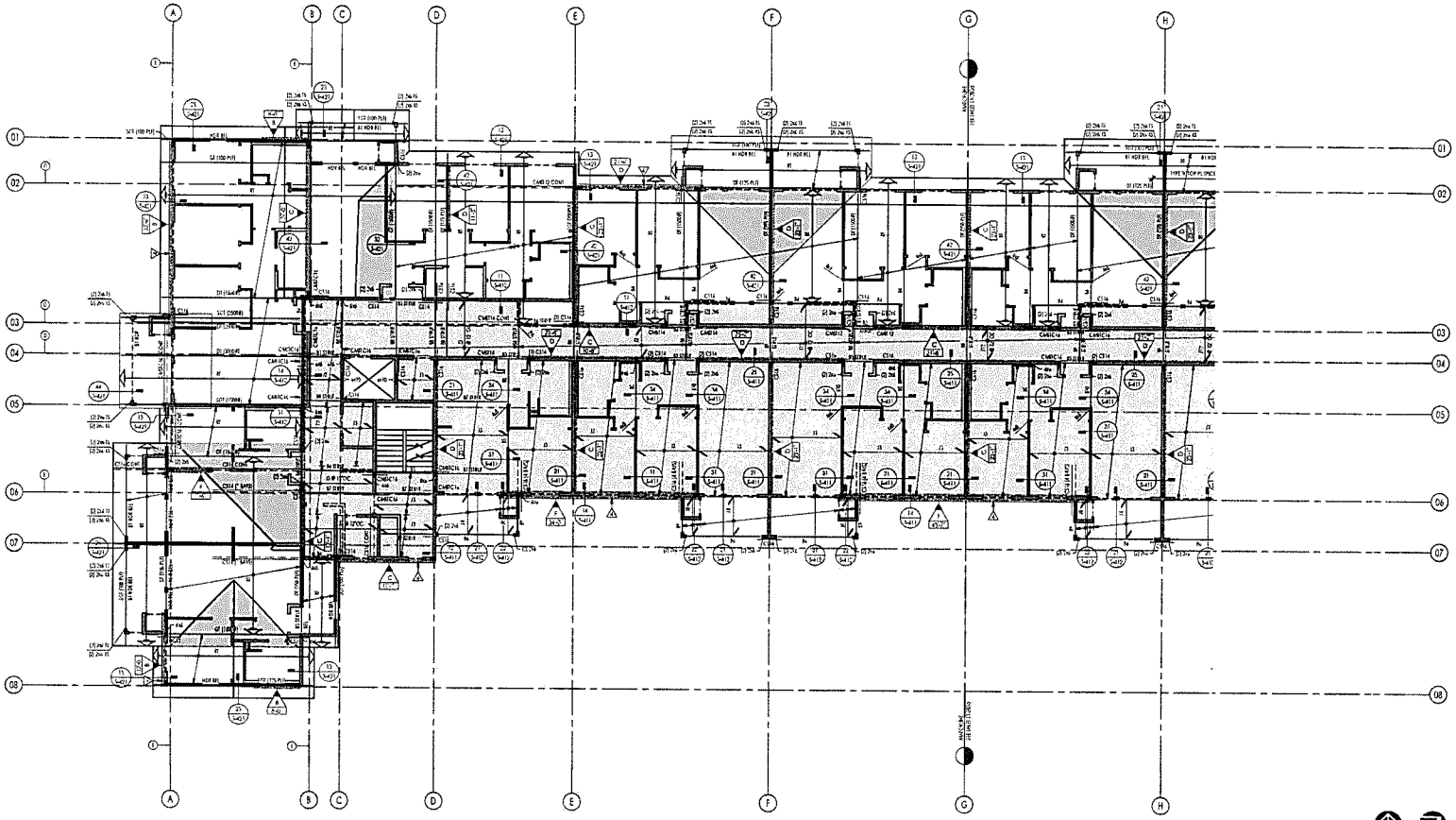
MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

BLDG 1 - PARTIAL THIRD FLOOR FRAMING PLAN - EAST

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-203a



1 BLDG 1 - PARTIAL THIRD FLOOR PLAN - WEST
SCALE 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND LOCATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND NON-STRUCTURAL COLUMNS
   B. ALL DIMENSIONS, LOCATIONS, OPEN SURFACE, DEPTHS, DRAINS, LEAD DEPRESSIONS, ETC
   C. LOCATION AND LOCATION OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET NO
STRUCTURAL GENERAL NOTES	S-001 - S-003
FRAMING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 - S-605

3. SEE ARCHITECTURAL DRAWINGS FOR ALL SIZE OF STUD FRAMING AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVES AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN SEE DETAILS 2/S-601 FOR TYPICAL OPENINGS. UNO
5. ALL POURED WALL SHALL BE 4HR UNLESS NOTED OTHERWISE
   ALL POURED WALL SHALL BE 6HR UNLESS NOTED OTHERWISE

   TYPICAL WALL FRAMING SPACE IS:
   2HR @ 16" O/C @ ALL EXTERIOR WALLS, UNO
   2HR @ 16" O/C @ ALL INTERIOR BEARING WALLS, UNO
   2HR @ 16" @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF STOP STUDS, 2HR @ 8" O/C, TYP
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 1/S-601, UNO
7. ALL LINTEL AND JAMB HOLDOWNS INDICATED AS "TOP OF" SHALL RECEIVE (2) ROWS OF BLOCKING AND NAILING (NN), UNO.
8. GRAVITY HEADER TYPE:
   ALL ROOF DAMPENING SHALL BE TYPE A, UNO
   ALL FLOOR DAMPENING SHALL BE TYPE B, UNO
   REFER TO 1/S-601

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE ON 1/S-601
- INDICATES BLOCKING & STRAPPING ABOVE & BELOW IN WINDOW OPENINGS PER DETAIL 6/S-601
- INDICATES BUNSICH STRAP TO BEAM BELOW
- INDICATES HOLDOWN SCHEDULE
- INDICATES HOLDOWN SCHEDULE
- INDICATES HOLDOWN SCHEDULE
- INDICATES HOLDOWN SCHEDULE
- INDICATES HEADER @ OPENING. REFER TO 1/S-601 FOR HEADER SCHEDULE, UNO ON PLANS
- INDICATES TOP PLATE SPACE HEADING PER 1/S-601. NOTE THAT HEADING NEEDED TO EXTEND LENGTH OF TOP PLATE PROVIDED BY (K) SPACE, UNO
- INDICATES COMB BLOCK STRAP PER 3/S-601 @ FLOOR, UNO
- INDICATES TIE AT PER 3/S-601, UNO
- INDICATES SHEAR TRANSFER CONNECTOR PER 2/S-601, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN/ STRAP TYPE		INDICATED HOLDOWN/ STRAP TYPE	DETAIL
	INDICATES STRAPPED STRAPTO WALL BELOW		1/S-601
	INDICATES BUNSICH STRAP TO BEAM BELOW		1/S-601
	INDICATES HOLDOWN SPECIFIED HOLDOWN TO CONC FOUNDATION	CONC FOUNDATION	1/S-511 2/S-511
	INDICATES TWO PLY HOLDOWN TO CONC FOUNDATION	CONC FOUNDATION	1/S-511 2/S-511
	INDICATES HOLDOWN	FOUNDATION	1/S-511

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	6x8	
B2	6x10	
B3	6x12	
B4	1.75D+1.75C 1.4	3 PLY
B5	1.75D+1.75C 1.4	2 PLY
B6	1.75D+1.75C 1.4	3 PLY
B7	(2) 6x10	
B8	(2) 2x8	
B9	6x8	
B10	6x10	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 24" O.C.	
J2	2x8 @ 16" O.C.	
J3	2x10 @ 16" O.C.	
J4	2x10 @ 16" O.C.	SLOPE @ BALCONY
J5	2x10 @ 16" O.C.	
J6	1.75D + 1.75C 1.4 @ 16" O.C.	
J7	1.75D + 1.75C 1.4 @ 16" O.C.	REFER TO FLOOR PLAN @ BALCONY
J8	2x10 @ 16" O.C.	REFER TO FLOOR PLAN @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED ROOF TRUSS MODEL SEE NOTES ON SHEET S-003

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
JD	ROOF TRUSS (COMMON)	24" O.C. MAX
HGT	STRUCTURAL GABLE TRUSS	
M4	MONO TRUSS	24" O.C. MAX
JT	JACK TRUSS	24" O.C. MAX
V1	VALLEY SPACE TRUSS	24" O.C. MAX
CTT	COMMON JACK TRUSS	
CG	GIRDER TRUSS	
MG2	MONO PACK GIRDER TRUSS	
DT (#*)	DRAG TRUSS	
CG4	CALIFORNIA GIRDER TRUSS	
HJ	HIP RAFTER / JACK RAFTER	
CH1	CALIFORNIA HIP TRUSS	24" O.C. MAX

(#*) - FORCE DRAG FORCE = (1.2D + 0.2S) + 0.7E (ASCE 7-10 EQ. 12.4-5) DRAG FORCE = (0.9D + 0.2S) + 0.7E (ASCE 7-10 EQ. 12.4-7) IN STRUCTURES DIRECTLY BRACED BY LIGHT-FRAME SHEAR WALLS OR DIAPHRAGMS, DRAG MEMBERS SHALL BE DESIGNED TO RESIST FORCES USING THE LOAD COMBINATIONS OF ASCE 7-10 SECTION 12.4.2.3 W/ NO OTHER EFFECTS. DRAG SHALL INCLUDE THE EFFECT OF OVER STRENGTH PER ASCE 7-10 12.4.2.2

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BLDG 1 - PARTIAL THIRD FLOOR FRAMING PLAN - EAST

NO.	REVISION	DATE
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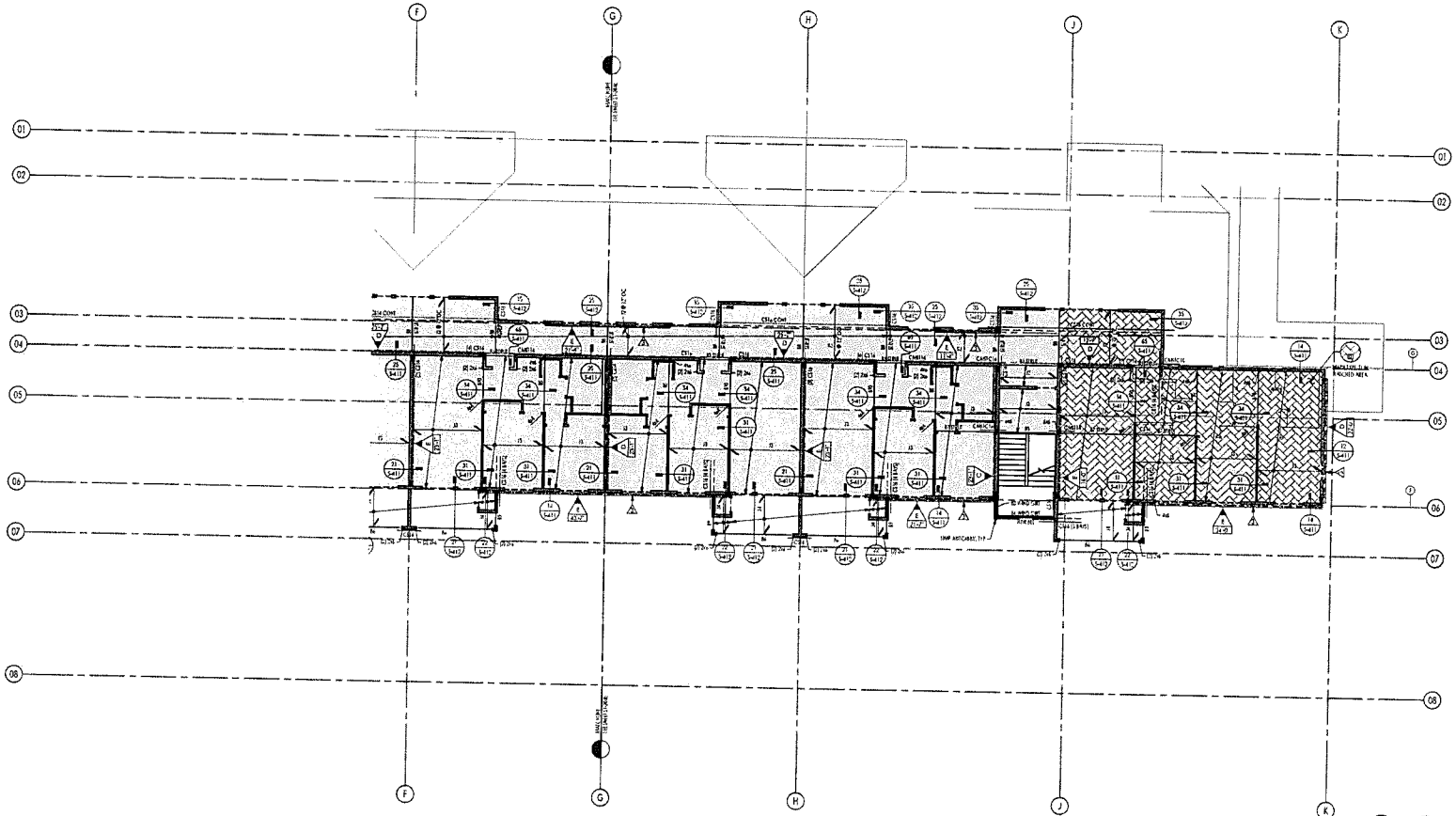
PROJECT MANAGER: M. DOPEMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOPEMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-203b



1 BLDG 1 - PARTIAL FOURTH FLOOR PLAN - EAST
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND NON-CORNER CLOSURES
   B. ALL DIMENSIONS, ELEVATIONS, WALL SURFACES, SLOPES, DRAINS, SLAB DEPRESSIONS, ETC
   C. LOCATION AND LENGTH OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET NO
SYMBOLS AND ABBREVIATIONS	S-101
STRUCTURAL GENERAL NOTES	S-102 / S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 / S-603

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF BREAKAWAYS AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR FOOT PENETRATIONS NOT SHOWN ON FLOOR FRAMING PLAN, SEE DETAIL 2/S-402 FOR TYPICAL OPENINGS, UNO.
5. ALL POURS (W.C. WALLS SHALL BE 4-6 UNLESS NOTED OTHERWISE. ALL POURS (W.C. WALLS SHALL BE 6-6 UNLESS NOTED OTHERWISE
   TYPICAL WALL FRAMING IS AS SEE:
   2x4 @ 16" OC @ ALL EXTERIOR WALLS, UNO
   2x4 @ 16" OC @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" OC ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF SOUND STUDS, 2x4 @ 8" OC TYP
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS AND ARE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S2-401, UNO
7. ALL LINTEL AND JOIST HANGERS NOTED AS "STRUT" SHALL RECEIVE (2) ROWS OF BOUNDARY NAILING (NN) STRUT
8. DRAFT BEAGLE TYPE
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S2.0-401

SYMBOL LEGEND

- STRUT
- INDICATES DRAG WALL TYPE AND LENGTH. SEE SCHEDULE ON S2.0-402
- INDICATES BLOCKING & FRAMING AROUND WINDOW OPENINGS PER DETAIL 4/S-402
- INDICATES AS 6.00 REFER TO AS SCHEDULE PER S-001
- INDICATES HEADER (#) OPENING. REFER TO S2.0-401 FOR HEADER SIZE UNO ON PLANS
- INDICATES TOP PLATE SPLICE NAILING PER S2.0-401. PLATE SPLICE NAILING APPLIES TO ENTIRE LENGTH OF TOP PLATE. PROVIDE PER (C) SPLICE, UNO
- INDICATES CONN BLOCK STRAP PER S2.0-401 @ FLOOR, UNO
- INDICATES STRAP PER S2.0-401, UNO
- DOOR
- INDICATES DRAG STRUT CONNECTION PER S2.0-401, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN / STRAP DESIGNATION	INDICATES HOLDOWN / STRAP TYPE	DETAIL
(H)	INDICATES SIMPSON STRAP TO WALL BELOW	1/S-405
(H)	INDICATES SIMPSON STRAP TO BEAM BELOW	1a/S-405
(H)	INDICATES SIMPSON LATE HOLDOWN TO CONC FOUNDATION / CONC STEM WALL	1/S-311 / 2/S-311
(H)	INDICATES SIMPSON SEISMIC HOLDOWN TO CONC FOUNDATION / CONC STEM WALL	1/S-311 / 2a/S-311
(H)	INDICATES ATS TO FOUND NEWEL	12/S-311

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	4x8	
B2	4x10	
B3	4x12	
B4	1 3/4"x11 7/8" LVL	2 PLY
B5	1 3/4"x11 7/8" LVL	2 PLY
B6	1 3/4"x9 7/8" LVL	2 PLY
B7	3x14	
B8	3x8	
B9	4x8	
B10	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x8 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x14 @ 16" OC	BOPP @ BALCONY
J5	2x10 @ 16" OC	
J6	1 3/4"x11 7/8" LVL @ 16" OC	
J7	1 3/4"x11 7/8" LVL @ 16" OC	REFER TO SLOPE @ BALCONY
J8	2x12 @ 16" OC	REFER TO SLOPE @ BALCONY

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BLDG 1 - PARTIAL FOURTH FLOOR FRAMING PLAN - EAST

NO.	REVISION	DATE
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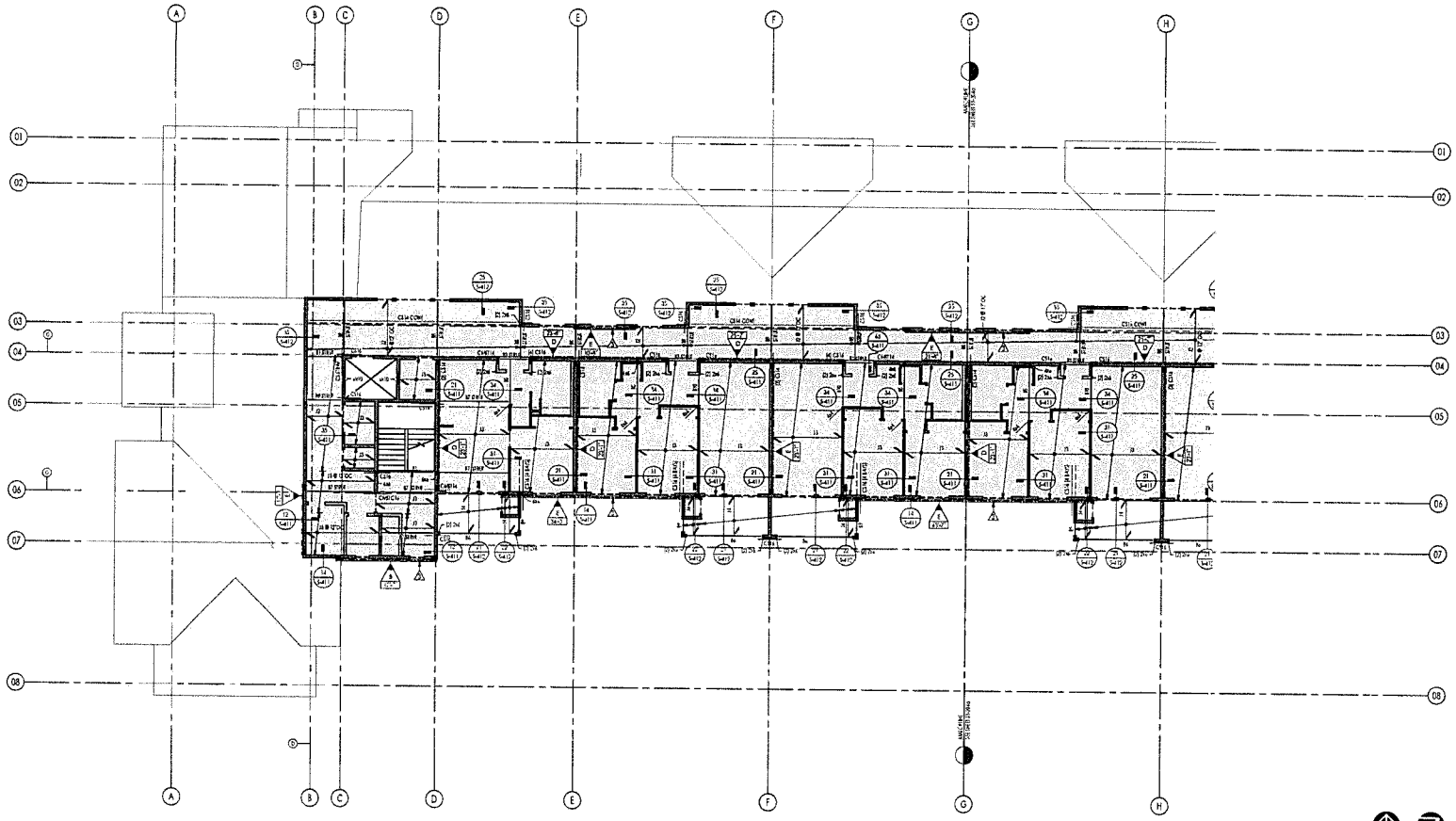
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-204a



1 BLDG 1 - PARTIAL FOURTH FLOOR PLAN - WEST
SCALE 1/8" = 1'-0"

PLAN NORTH | TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. GRID DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS, ELEVATIONS (INCLUDING BUT NOT LIMITED TO, SLOPES, DRAINS, SLAB DEPRESSIONS, ETC
   C. LOCATION AND LENGTH OF EXTERIOR WALL ALCOVES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
STANDARD WALL ANCHORS	S-501
STRUCTURAL GENERAL NOTES	S-102 - S-103
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-403

3. SEE ARCHITECTURAL DRAWINGS FOR ALL NON-CRITICAL FRAMING AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ALL OF PENETRATIONS NOT SHOWN ON THE FLOOR FRAMING PLAN SEE DETAIL 25/S-402 FOR TYPICAL OPENINGS. UNO
5. ALL POSTS OR 2 WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE. ALL POST AND 2 WALL SHALL BE 6x6, UNLESS NOTED OTHERWISE
   TYPICAL WALL FRAMING SHALL BE:
   2x4 @ 16" O.C. OR 2x6 @ 24" O.C. FOR ALL EXTERIOR WALLS, UNO
   2x4 @ 16" O.C. OR 2x6 @ 24" O.C. FOR ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" O.C. FOR ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF JOIST SIZES, 2x4 @ 16" O.C. TOP
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS. SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-401, UNO
7. ALL LINES AND/OR MEMBERS INDICATED AS "DIPS" SHALL BE DIPS OF BOARDERS FRAMING (BNL) STICK
8. DIAPHRAGM TYPES:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S-103

SYMBOL LEGEND

2/S-401	INDICATES TYPE AND WALL TYPE AND LENGTH. SEE SCHEDULE ON 1/S-401
	INDICATES BUILDING 5 STARTING AND END. SEE ON WINDOW DETAILS PER DETAIL 4/S-402
	INDICATES APPLIED REFER TO ARCHITECTURAL PER S-201
	INDICATES HEADER IN OPENING. REFER TO 5/S-401 FOR HEADER SIZE, UNO, ON PLANS
8	INDICATES SHEAR STRUCTURAL FRAMING PER 1/S-401 NOTE THAT FRAMING APPLIES TO ENTIRE LENGTH OF TOP PLANE PROVIDED TYP. (8) SHEET, UNO
	INDICATES CONT. BLK & STRAP PER 24/S-405 @ FACE OF SHEAR, UNO
	INDICATES TIE PER 3x6/S-401, UNO
DACB	INDICATES DIRECTIONAL CONVECTOR PER 23/S-405, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN/ STRAP DESIGN		INDICATES HOLDOWN/ STRAPTYPE	DETAIL
HD		INDICATES SIMPSON STRAP TO WALL BELOW	10/S-405
HD		INDICATES SIMPSON STRAP TO BEAM BELOW	14/S-405
HD		INDICATES SIMPSON SDS HOLDOWN TO CONC FOUNDATION CONC STEM WALL	1/S-411 22/S-411
HD		INDICATES SIMPSON SDS HOLDOWN TO CONC STEM WALL CONC STEM WALL	1/S-411 3/S-411
HD		INDICATES AS SHOWN ON PLAN	10/S-405

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	FRAMING
B1	6x8	
B2	6x10	
B3	6x12	
B4	1.75x11.25" LVL	2 PLY
B5	1.75x14.25" LVL	2 PLY
B6	1.75x16.25" LVL	2 PLY
B7	6x14	
B8	6x16	
B9	6x18	
B10	6x20	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	FRAMING
J1	2x6 @ 24" O.C.	
J2	2x8 @ 16" O.C.	
J3	2x10 @ 16" O.C.	
J4	2x10 @ 16" O.C.	SLOPE @ BALCONY
J5	2x10 @ 12" O.C.	
J6	1.75"x11.25" LVL @ 16" O.C.	
J7	1.75"x11.25" LVL @ 16" O.C.	REFER TO FLOPE @ BALCONY
J8	2x12 @ 16" O.C.	REFER TO FLOPE @ BALCONY

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AGENCY

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MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562
BLDG 1 - PARTIAL FOURTH FLOOR FRAMING PLAN - WEST

NO.	REVISION	DATE
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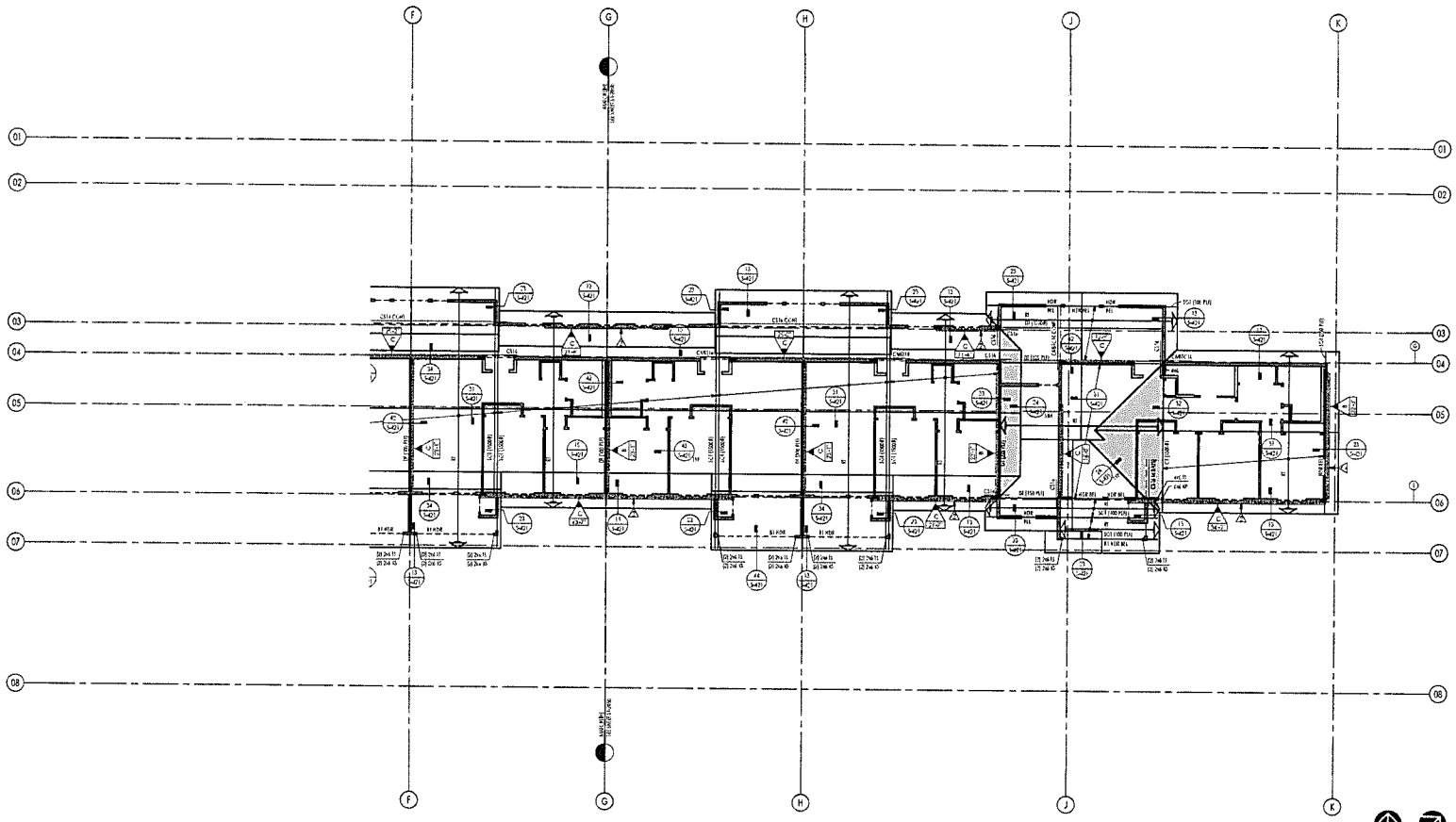
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG | CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-204b



1 BLDG 1 - PARTIAL ROOF PLAN - EAST
SCALE 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

ROOF FRAMING NOTES

1. SEE ARCHITECTURAL DRAWINGS (CS, A2, SDHS, HDHS) AND ELEVATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING, ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. SITE DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS ELEVATIONS, THEN SURFACE SLOPES, GRADE, SLAB DEPRESSIONS, ETC
   C. LOCATION AND FRONT OF EXTERIOR WALLS, ADDITIONS AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS.

DESCRIPTION	SHEET NO
SYMBOLS AND ABBREVIATIONS	S-110
STRUCTURAL GENERAL NOTES	S-002 & S-112
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 & S-402

3. SEE ARCHITECTURAL DRAWINGS FOR ALLOW OF EAVE FRAMING AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS NOTES AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN SEE DETAIL 21/S-402 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 4" WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE
   ALL POSTS IN 6" WALLS SHALL BE 6x6, UNLESS NOTED OTHERWISE.
   TYPICAL WOOD FRAMING SHALL BE:
   2x6 @ 16" OC @ ALL EXTERIOR WALLS, UNO
   2x4 @ 16" OC @ ALL INTERIOR NON-BEARING WALLS, UNO
   2x4 @ 16" @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF 3D" STUDS, 2x4 @ 8" OC, UNO
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-401, UNO
7. DIAPHRAGM TYPES
   ALL ROOF DIAPHRAGMS SHALL BE TYPE 1A, UNO
   REFER TO S-0400
8. ALL UNO ANCHOR MEMBERS INDICATED AS "DBLE" SHALL REQUIRE SIMPSONS OR BLUEBOARD NAILING (BNC STYLE)
9. TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL
10. ALTERATIONS REQUIRED IN THE FIELD ON 10-04-20 TO ANY MEMBER (E.G. PIPE, EQUIPMENT, WATER HEATER) SHALL NOT BE PERMITTED WITHOUT VERIFICATION THAT THE TRUSS IS CAPABLE OF SUPPORTING SUCH ADDITIONAL LOADING.

SYMBOL LEGEND

1 / S-401	INDICATES STRAP WALL TYPE AND LENGTH, SEE SCHEDULE ON 1/S-402
1	INDICATED BLOCKING & STRAPPING ABOVE & BELOW WINDOW OPENINGS PER DETAIL 4a/S-402
	INDICATES AES EQO REFER TO AES SCHEDULE PER S-001
	INDICATES HEADER OR OPENING REFER TO 12/S-401 FOR HEADER DETAILS AND/OR FRAME
8	INDICATES TOP PLATE SPLICE MAKING PER 1/S-402 NOTE THAT MAKING APPLIES TO ENTIRE LENGTH OF TOP PLATE PROVIDED TYPE C DETAIL UNO
	INDICATES COMP. BLK & STRAP PER 24/S-401 @ ROOF, UNO
	INDICATES STRAP PER 24/S-401, UNO
DHEA	INDICATES DRAG TRUSS CONNECTOR PER 21/S-401, UNO

SCHEDULES

REVOCOWN SCHEDULE

*PROPER HOLDOWN DRAW DETAIL		DETAIL
1	INDICATES SIMPSON STRAP TO WALL BELOW	12/S-401
2	INDICATES SIMPSON STRAP TO BEAM BELOW	14/S-401
3	INDICATES SIMPSON SHEETHOLDOWN TO CONC FOUNDATION CONC STEM WALL	12/S-311 2/S-311
4	INDICATES SIMPSON SHEETHOLDOWN TO CONC FOUNDATION CONC STEM WALL	14/S-311 2/S-311
5	INDICATES AES EQO HOLDOWN	12/S-402

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	4x8	
B2	4x10	
B3	4x12	
B4	1 3/4x11 1/2 LVL	3 PLY
B5	1 3/4x14 1/2 LVL	2 PLY
B6	1 3/4x16 1/2 LVL	3 PLY
F	(2) 2x12	
M	(2) 2x8	
B1	4x6	
B3	4x8	
B10	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 24" OC	
J2	2x8 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x10 @ 12" OC	SCPE @ BALCONY
J5	2x10 @ 16" OC	
J6	1 3/4 x 11 1/2 LVL @ 16" OC	
J7	1 3/4 x 11 1/2 LVL @ 12" OC	RIPPED JOIST SLOPE @ BALCONY
J8	2x12 @ 16" OC	RIPPED JOIST SLOPE @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED WOOD TRUSSES NOTE SEE NOTE ON SHEET S-001

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
JR	ROOF TRUSS (COMMON)	24" OC MAX
TGT	TRIAN/CRAL GABLE TRUSS	
M1	MONO PRO CAN TRUSS	24" OC MAX
J1	JACK TRUSS	24" OC MAX
V1*	VALLEY JACK TRUSS	24" OC MAX
C/J	COPNER JACK TRUSS	
G1	GIRDER TRUSS	
MGT	MONO PRO GIRDER TRUSS	
D1 (#*)	DRAG TRUSS	
CG1	CALIFORNIA GIRDER TRUSS	
H1	HIP RAFTER / JACK RAFTER	
CH1	CALIFORNIA HIP TRUSS	24" OC MAX

(#*) - FOUNDATION FORCES IN DRAG FORCES IN A FACTORED LOAD (LRFD) DRAG FORCES CAN CALCULATED IN ACCORDANCE WITH ASCE 7-16 / 12.12.1.1 IN STRUCTURES IN WHICH DIAPHRAGMS ARE LIGHT FRAME (WEAK WALL) OR PORTIONS MODELED ON WEAK WALL WHERE ACCEPTABLE TO MEET FORCES USING THE LOAD COMBINATIONS OF ASCE 7-16 SECTION 12.4.2.3 IN ALL OTHER STRUCTURES DRAG TRUSS INCLUDE THE IMPACT OF OVER STRENGTH PER ASCE 7-16 12.4.2.3

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BLDG 1 - PARTIAL ROOF FRAMING PLAN - EAST

NO.	REVISION	DATE
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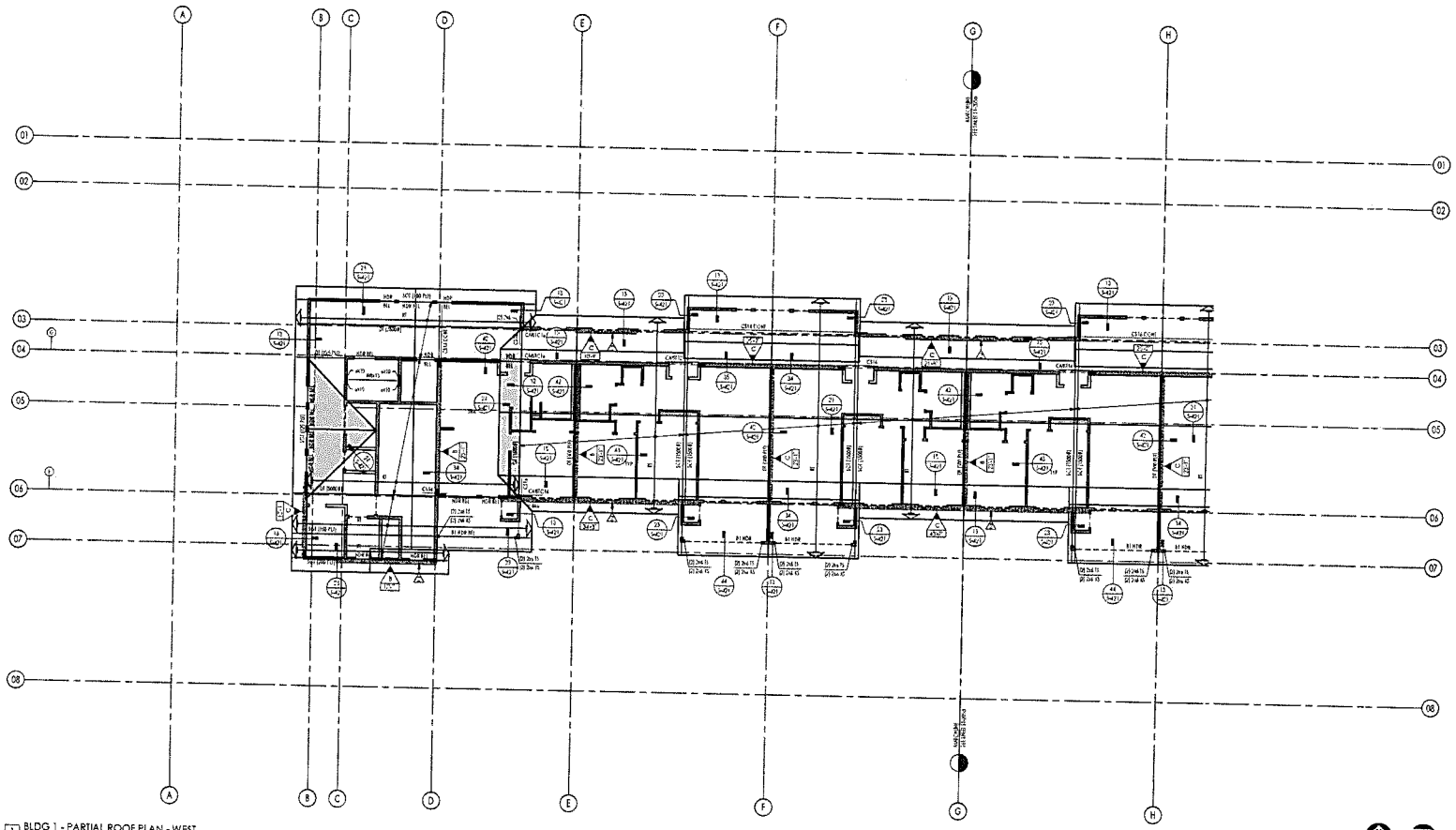
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-205a



1 BLDG 1 - PARTIAL ROOF PLAN - WEST
SCALE 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

ROOF FRAMING NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND LOCATIONS INCLUDING BUT NOT LIMITED TO: SHEAR WALLS, OPENINGS, ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS FOR ARCHITECTURAL FINISH SURFACE SLOPES, CURBS, FLOW DIMENSIONS, ETC
   C. LOCATION AND HEIGHT OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 - S-003
FOOTING AND FOUNDATION	S-104
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-408

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF BEARING AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN SEE DETAIL 2/S-406 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 4" WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE.
   ALL POSTS IN 6" WALLS SHALL BE 4x6 UNLESS NOTED OTHERWISE.
   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" OC @ ALL EXTERIOR WALLS, UNO
   2x4 @ 16" OC @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" OC ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF SHEAR WALLS, 2x4 @ 8" OC, TO U.N.O.
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS. WALLS SHALL BE CONSTRUCTED PER NON BEARING PARTITION WALL DETAIL 4/S-401 UNO
7. DIAPHRAGM TYPES:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   REFER TO S-002
8. ALL LINES AND DIMENSIONS INDICATED AS "SHIM" SHALL BE USED TO ADJUST OR ALIGN ADJACENT FRAMING, ETC.
9. FIGURE DIMENSIONS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.
10. ALTERATIONS RESULTING IN THE ADDITION OF LOADS TO ANY MEMBER (E.G. VS. AC EQUIPMENT, WATER HEATER, ETC.) SHALL NOT BE PERMITTED WITHOUT VERIFICATION THAT THE THAT BEAM AND ITS SUPPORTING SUCH ADDITIONAL LOADING.

SYMBOL LEGEND

- INDICATES THE FAR WALL TYPE AND LENGTH. SEE SCHEDULE ON S-002
- INDICATES BLOCKING & STRAPPING ABOVE & BELOW WINDOW OPENINGS PER DETAIL 6/S-402
- INDICATES ATT 2x10 OTHER SEE ATT SCHEDULE PER S-001
- INDICATES HEADER @ OPENINGS. REFER TO 7/S-401 FOR HEADER SPEC UNO (24" TYP)
- INDICATES TOP PLATE SPLICE. REFERENCE PER 2/S-402. NOTE THAT WALLS ARE LISTED SEPARATELY WITH OFFSET PLATE PROVIDED PER (S) DETAIL UNO
- INDICATES ZONE 1E & 1 STRAP PER 2/S-402 @ ROOF, UNO
- INDICATES STRAP PER 3/S-402, UNO
- INDICATES DRAG STRUT CONNECTION PER 3/S-402, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN/ STRAP DETAIL	INDICATES HOLDOWN/ STRAP TYPE	DETAIL
	INDICATES SIMPSON STRAP TO WALL BELOW	12/S-405
	INDICATES SIMPSON STRAP TO BEAM BELOW	14/S-405
	INDICATES SIMPSON DTT2 HOLDOWN W/ TO CONC FOUNDATION CONC FOUNDATION CONC BEAM WALL	12/S-401 20/S-501
	INDICATES SIMPSON STB HOLDOWN TO CONC FOUNDATION CONC FOUNDATION CONC BEAM WALL	14/S-501 24/S-501
	INDICATES ATT TO FOUNDATION	12/S-402

ROOF/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	4x8	
B2	4x10	
B3	4x12	
B4	1.5x11 7/8" LVL	3 PLY
B5	1.5x11 7/8" LVL	2 PLY
B6	1.5x14" LVL	3 PLY
B7	2x10	
B8	2x12	
B9	4x8	
B10	4x10	

FLOOR/FLOOR JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 24" OC	
J2	2x8 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x10 @ 16" OC	SLOPE @ BALCONY
J5	2x10 @ 16" OC	
J6	1.75" x 11 7/8" LVL @ 16" OC	
J7	1.75" x 11 7/8" LVL @ 16" OC	RIPPED FOR SLOPE @ BALCONY
J8	2x12 @ 16" OC	RIPPED FOR SLOPE @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED ROOF TRUSS NOTES SEE NOTES ON SHEET S-104

ROOF FRAMING SCHEDULE

MARK	DESCRIPTION	REMARKS
RT	ROOF TRUSS (COMMON)	24" OC MAX
RSH	RIDGE STRAP (TYP)	
MT	MONO PITCH TRUSS	24" OC MAX
JT	JACK TRUSS	24" OC MAX
VT	VALLEY JACK TRUSS	24" OC MAX
CJT	COMMON JACK TRUSS	
GT	GIRDER TRUSS	
MGT	MONO PITCH GIRDER TRUSS	
DT (FT)	DRAG TRUSS	
CGT	CALIFORNIA GIRDER TRUSS	
RR	RIP RAFTER / LACE RAFTER	
CRT	CALIFORNIA RIP TRUSS	24" OC MAX

(FT)- FOUND DRAG FORCES IN THE DRAG FORCE IS AT A FACTORED LEVEL (0.7E). DRAG FORCES CALCULATED IN ACCORDANCE WITH ASCE 7-16 SECTION 12.11.1 IN STRUCTURES IMPRESSED WITH LIGHT FRAME SHEAR WALLS. OR PORTIONS THEREOF. DRAG MEMBERS SHALL BE DESIGNED TO RESISTFORCES USING THE LOAD COMBINATIONS OF ASCE 7-16 SECTION 12.4.2.3.1 ALL OTHER STRUCTURES (ONCE SHALL INCLUDE THE IMPACT OF OVERSTRENGTH PER ASCE 7-16 12.4.3.2

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BLDG 1 - PARTIAL ROOF FRAMING PLAN - WEST

NO.	REVISION	DATE
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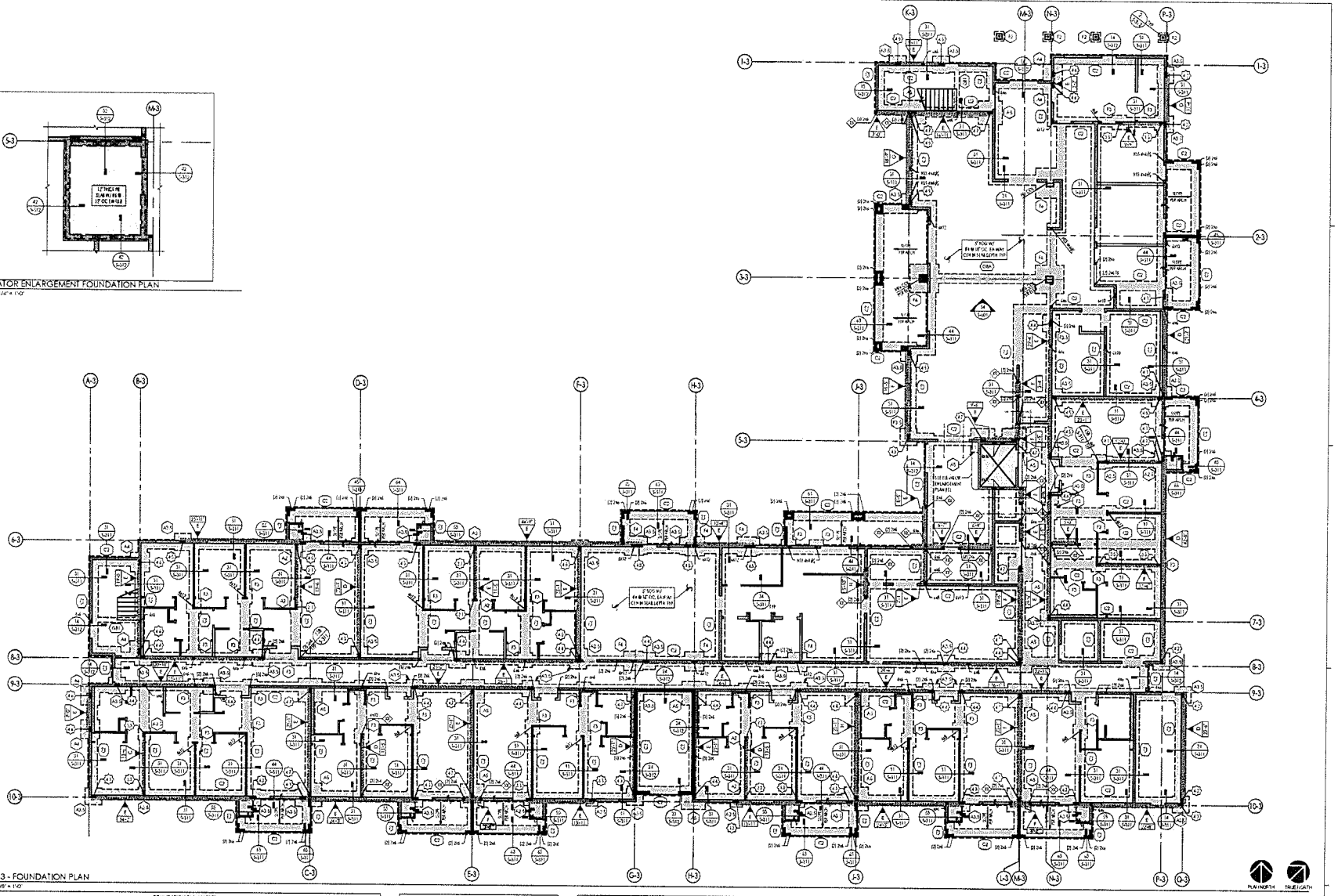
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S1-205b

INITIAL B&S SUBMITTAL

2 ELEVATOR ENLARGEMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



1 BLDG 3 - FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FOUNDATION PLAN NOTES

1. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET NO
SYMBOLS AND ABBREVIATIONS	S-201
STRUCTURAL GENERAL NOTES	S-001-S-003
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601-S-605

2. SEE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR FLEVATIONS, REFERENCE FINISHED FLOOR ELEVATION 1'-0" OF COMMERCIAL/RESIDENTIAL FINISHED FLOOR ELEVATION
3. ALL DIMENSIONS SHOWN ARE FROM FACE OF CONCRETE/MASONRY, FACE OF SHEATHING, OR CENTERLINE OF COLUMN. ALL COLUMNS ARE CENTERED IN THE WALL UNO
4. FOR ANY DIMENSIONAL INFORMATION NOT SHOWN SEE ARCHITECTURAL DRAWINGS
5. SEE ARCHITECTURAL DRAWINGS FOR ANY RAISED BEAMS AND ALL STAIRWELL CONCRETE PAVE
6. SEE PLANS AND ARCHITECTURAL DRAWINGS FOR DEPRESSED AREAS TO BE IN CONCRETE SLABS
7. SEE ARCHITECTURAL DRAWINGS FOR SIZES AND LOCATION OF ALL DOOR AND WINDOW OPENINGS IN BEARING AND NON-BEARING WALLS
8. SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF INTERIOR NON-BEARING PARTITIONS
9. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL EMBEDDED ITEMS AND SLAB PENETRATIONS
10. FOR TYPICAL SLAB ON GRADE REQUIREMENTS, INCLUDING SLAB JOINTS SEE DETAIL 2/S-501
11. ALL POSTS IN 2" WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE
    ALL POSTS IN 4" WALLS SHALL BE 4x6, UNLESS NOTED OTHERWISE
12. PLATE WASHERS ARE REQUIRED FOR ALL SILL PLATE ANCHOR BOLTS. REFER TO S-601-602 FOR PLATE WASHER REQUIREMENTS AS LISTED IN NOTES
13. ALL BOLT DOWN ANCHOR BOLTS SHALL BE TIGHTENED JUST PRIOR TO CONCRETING
14. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED PRIOR TO ERECTION
15. THE INSPECTOR SHALL BE PREPARED AS OUTLINED IN LIST NO. S-004-001. THE BUILDING OFFICIAL SHALL REQUIRE PAD CERTIFICATION BY A GEOTECHNICAL ENGINEER AT THEIR DISCRETION.
16. BOTTOM OF FOOTING SHALL BE UNDER DEEPER FOUNDATIONS ARE REQUIRED IN THE BUILDING OFFICIAL
    A. 18" BELOW PAD OR ADJACENT GRADE AS PERMITTED WHICHEVER IS DEEPER UNO
    B. 18" BELOW PAD OR ADJACENT GRADE AS INTERMEDIATE GRADE BEAMS WHICHEVER IS DEEPER UNO
    NOTE: FOOTING MAY BE DEEPENED LOCALLY PER DETAIL 5/S-501 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBEDDEMENTS.
17. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DIMENSIONS

SYMBOL LEGEND

	INDICATES WALL TYPE AND LENGTH SEE SCHEDULE ON S-201-002
	INDICATES ALL WOOD BEAMS TO ALL SCHEDULE
	INDICATES CONCRETE COLUMN PER DETAIL 3/S-501
	INDICATES STEPPED FOOTINGS PER DETAIL 5/S-501

HOLDOWN SCHEDULE		
SHEARWALL HOLDOWN/ STRAP DETAIL	INDICATES HOLDOWN/ STRAP TYPE	DETAIL
	INDICATES TIMPSON SITE HOLDOWN TO CONC FOUNDATION CONC TO WALL	7/S-511 2/S-511
	INDICATES TIMPSON SITE HOLDOWN TO CONC FOUNDATION CONC TO WALL	14/S-511 2/S-511
	INDICATES ALL TO FOUNDATION	13/S-511

SCHEDULES

CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH	MIN EMBED BELOW LOWEST PAD GRADE	STEM REBAR	BEAM REBAR	DETAIL
CF-12	12"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" OC BOT	3/S-511
CF-1	24"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" OC BOT	3/S-511

NOTE: FOOTING MAY BE DEEPENED LOCALLY PER DETAIL 5/S-501 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBEDDEMENTS

GRADE BEAM SCHEDULE

TYPE	WIDTH	SHEAR WALL	MIN EMBED BELOW LOWEST PAD GRADE	LONG REBAR	TOP BARS REBAR	DETAIL
GB-1	14"	14"	SEE NOTE 16	(2) #4 TOP (2) #4 BOTTOM	#3 @ 24" OC	15/S-511

TIE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	LONG REBAR	TOP BARS REBAR	DETAIL
TB-1	14"	14"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" OC	15/S-511

PAD FOOTING SCHEDULE

TYPE	WIDTH	LENGTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	TOP REBAR	BOTTOM REBAR	DETAIL
P1	2'-0"	2'-0"	1'-0"	SEE NOTE 16	-	(3) #5, EW	16/S-511
P1.5	2'-6"	2'-6"	1'-0"		-	(3) #5, EW	
P2	3'-0"	3'-0"	1'-0"		-	(4) #5, EW	
P3	3'-0"	3'-0"	1'-0"		-	(5) #5, EW	
P4	4'-0"	4'-0"	1'-0"		-	(7) #5, EW	
P5	6'-0"	6'-0"	1'-0"		-	(7) #5, EW	

PAD FOOTING SCHEDULE (CONTINUED)

TYPE	WIDTH	LENGTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	TOP REBAR	BOTTOM REBAR	DETAIL
P6	2'-0"	2'-0"	1'-0"		(2) #5, EW	(3) #5, EW	
P6.5	2'-6"	2'-6"	1'-0"		(2) #5, EW	(3) #5, EW	
P7	3'-0"	3'-0"	1'-0"		(3) #5, EW	(4) #5, EW	
P8	3'-6"	3'-6"	1'-0"		(3) #5, EW	(4) #5, EW	17/S-511
P9	4'-0"	4'-0"	1'-0"		(3) #5, EW	(5) #5, EW	
P10	5'-0"	5'-0"	1'-0"		(3) #5, EW	(6) #5, EW	
P11	PER PLAN	PER PLAN	1'-0"		PER PLAN	PER PLAN	

ASS SCHEDULE

ASS REF # PER 4/S-511 THRU 14/S-511	ANCHORAGE PER DETAIL 3/S-511	DETAIL
(S1) (S2)	(A)	
(S3)	(B)	
(S4) (S5) (S6) (S7)	(C)	
(S8)	(D)	
(S9)	(E)	
(S10)	(F)	SEE SHEET S0.01 FOR FRAMING
(S11)	(G)	
(S12)	(H)	
(S13)	(I)	
(S14)	(J)	BEAM CONN

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BLDG 3 - FOUNDATION PLAN

NO.	REVISION	DATE
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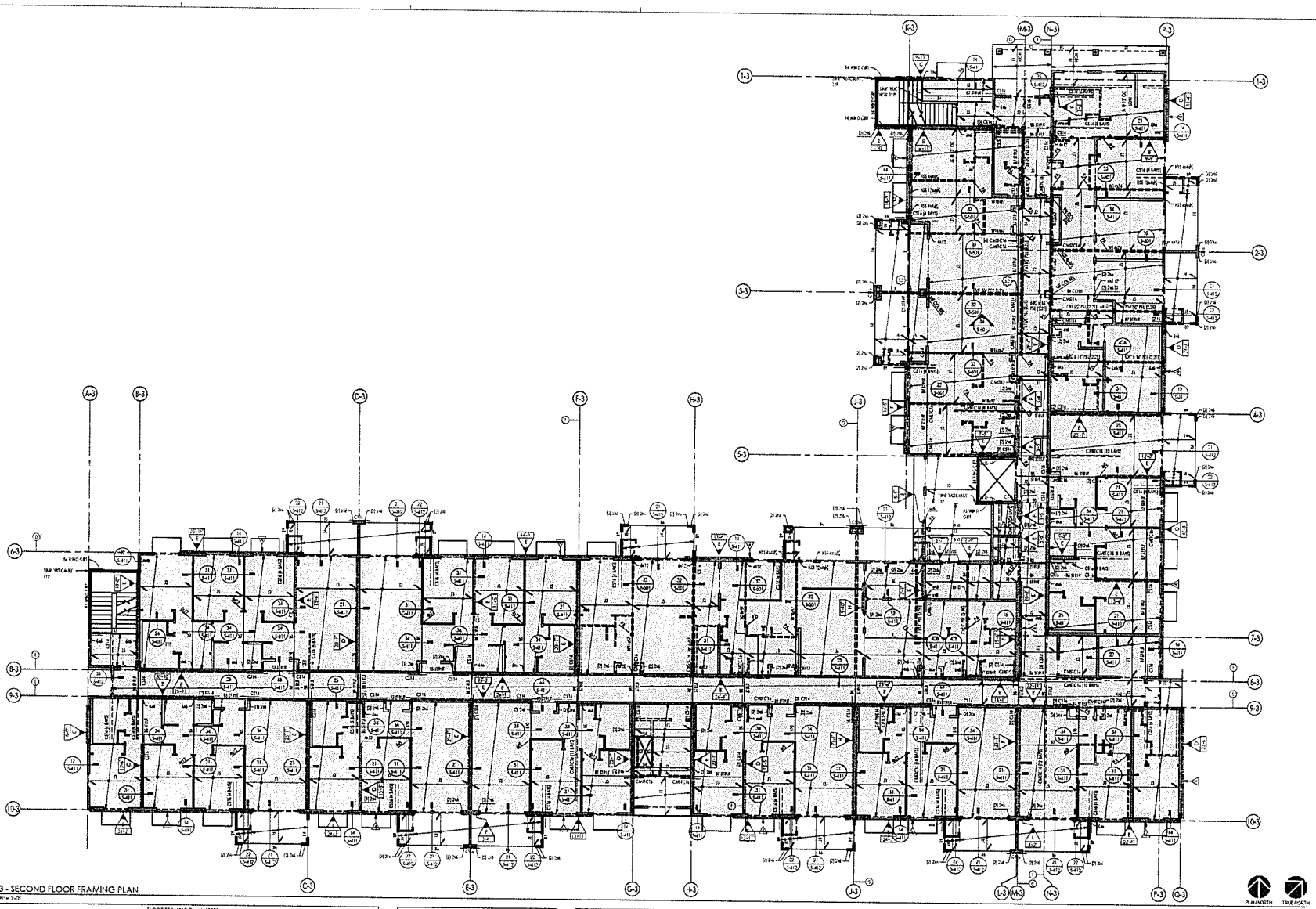
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S3-201

INITIAL B&S SUBMITTAL



1 BLDG 3 - SECOND FLOOR FRAMING PLAN
SCALE 1/8" = 1'-0"

PLAN NORTH | TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING: BUT NOT LIMITED TO: THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. CURB DIMENSIONS AND ROUGH AT CONCRETE
   B. ALL DIMENSIONS, TOP LINTOLS, TOP OF STAIRS, SLOPES, DRAINS, SLAB DEPRESSIONS, ETC
   C. LOCATION AND LENGTH OF EXTERIOR WALL ANCHORS AND DOWELS
   D. ALL NON STRUCTURAL WALLS.
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
SYMBOLS AND ABBREVIATIONS	S-101
STRUCTURAL GENERAL NOTES	S-102 - S-103
FASTENER AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-406

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF FOUNDATION AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVES AND LOCATION OF PIPES, DUCTS AND POWER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN: SEE DETAIL 2/S-401 FOR TYPICAL OPENINGS, UNO
5. ALL POST BEARING WALLS TO BE AT 48" UNLESS NOTED OTHERWISE. ALL POST BEARING WALLS TO BE AT 16" UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" O.C. AT ALL EXTERIOR WALLS UNO
   2x6 @ 16" O.C. AT ALL INTERIOR BEARING WALLS UNO
   2x4 @ 16" O.C. AT ALL INTERIOR NON BEARING WALLS UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF STUD SIZES 2x4 @ 16" O.C. 2X6
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLAN BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-401 UNO
7. ALL WALLS AND/OR MEMBERS INDICATED AS "STRUT" SHALL BE CONSTRUCTED PER NOTES OF BOUNDARY FRAMING UNO, MCE.
8. DIAPHRAGM TYPE:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO.
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B UNO
   REFER TO 1/S-401

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH SEE SCHEDULE ON 1/S-402
- INDICATES INDICATING & SUPPORTING ABOVE & BELOW WINDOW OPENINGS PER DETAIL 4/S-401
- INDICATES AS POST REFER TO ARTS SCHEDULE PER S-001
- INDICATES HEADER W DIMENSIONS REFER TO 2/S-401 FOR HEADER SIZE, UNO ON PLANS
- INDICATES TOP PLATE SPLICE MAKING PER 2/S-403 NORTH & MAKING APPLIES TO ENTIRE LENGTH OF TOP PLATE PROVIDE TYPE (S) SPLICE UNO
- INDICATES CLAY BLOCK STRAP PER 2/S-401 FLOOR UNO
- INDICATES STRAP PER 3/S-401, UNO
- INDICATES DRAG TIMBER CONNECTOR PER 1/S-401 UNO

SCHEDULES

HOLDOWN SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
SYMBOL: INCHES HOLDOWN / STRAP DETAIL	INDICATES HOLDOWN STRAPS	
HD	INDICATES SIMPSON STRAP TO WALL BELOW	1/S-406
HD	INDICATES SIMPSON STRAP TO BEAM BELOW	1/S-406
HD	INDICATES SIMPSON STRAP TO HOLDOWN TO CONC FOUNDATION CONC STEM WALL	1/S-411 2/S-411
HD	INDICATES SIMPSON STRAP DOWN TO CONC FOUNDATION CONC STEM WALL	1/S-411 2/S-411
HD	INDICATES HOLDOWN TO FOUNDATION	1/S-412

FLOOR/ROOF BEAM SCHEDULE

NAME	SIZE	REMARKS
B1	6x8	
B2	6x12	
B3	6x12	
B4	1 3/8x11 1/2 LVL	3 PLY
B5	1 3/8x11 1/2 LVL	3 PLY
B6	1 3/8x14 1/2 LVL	3 PLY
B7	3x7 1/2	
B8	3x7 1/2	
B9	6x8	
B10	6x12	

FLOOR/ROOF JOIST SCHEDULE

NAME	SIZE	REMARKS
J1	2x6 @ 24" OC	
J2	2x6 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x10 @ 16" OC	SLOPE @ BALCONY
J5	2x10 @ 16" OC	
J6	1 3/4x7 1/4 LVL @ 16" OC	
J7	1 3/4x7 1/4 LVL @ 16" OC	REFER TO SLOPE @ BALCONY
J8	2x10 @ 16" OC	REFER TO SLOPE @ BALCONY

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AGENCY

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BLDG 3 -
SECOND FLOOR FRAMING PLAN

NO.	REVISION	DATE
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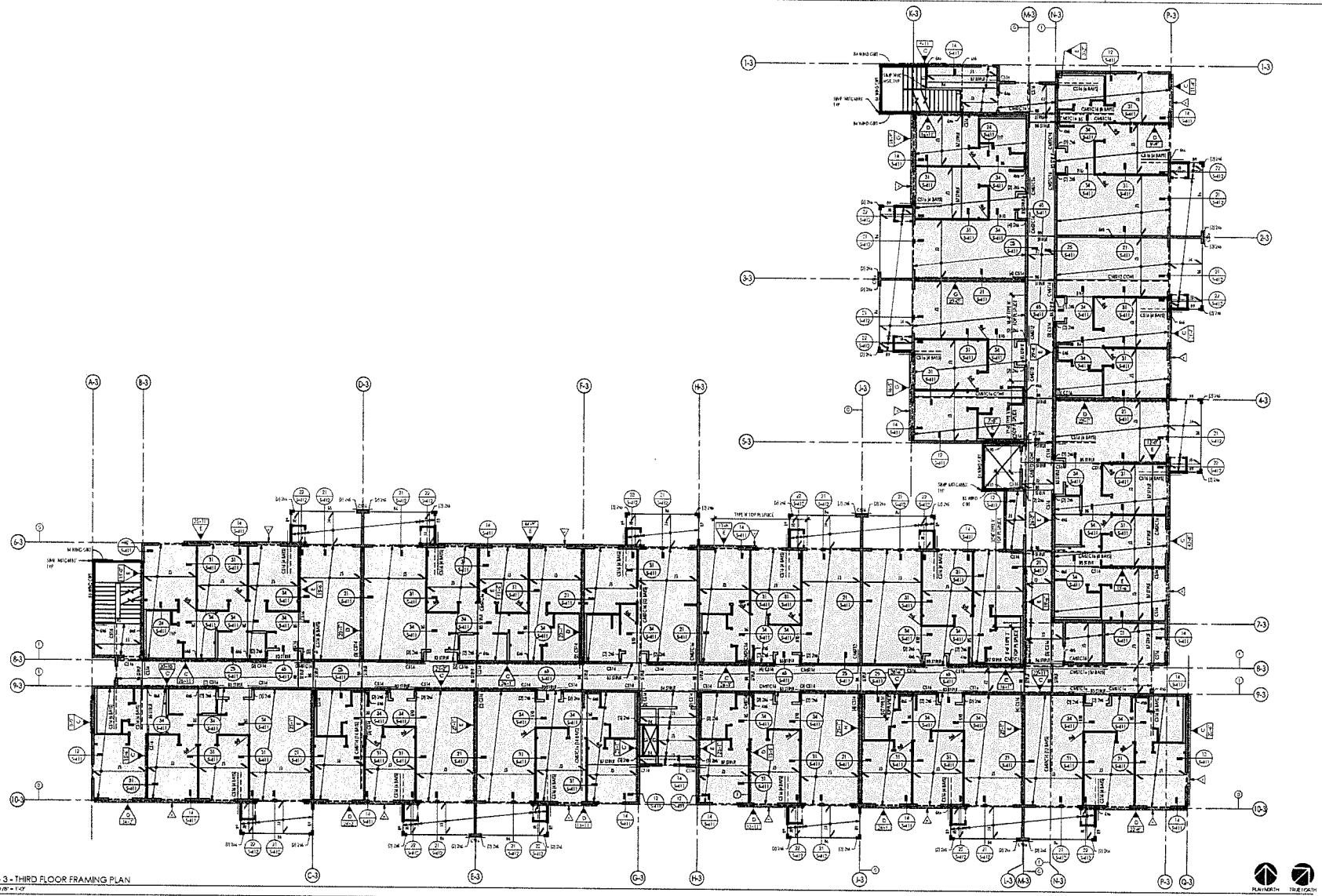
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S3-202



1 BLDG 3 - THIRD FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND DEVIATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. CHECK DIMENSIONS AND HORIZONTAL CONTROL
   B. ALL DIMENSIONS - SEE ARCHITECTURAL SITE PLAN, SITE PLAN, SLAB DEPRESSIONS, ETC
   C. LOCATION AND DESIGN OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
STAIRCASE AND HANDRAILING	S-401
STRUCTURAL GENERAL NOTES	S-101 + S-102
FOUNDATION PLAN	S-201
TYPICAL CONCRETE DETAILS	S-301
TYPICAL WOOD SCHEDULE	S-401 + S-402

3. SEE ARCHITECTURAL DRAWINGS FOR ALL ROOF DRAINAGE AND TOP OF WALL ELEVATIONS
4. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. ROOF OPENINGS NOT SHOWN ON ROOF FRAMING PLAN SHALL BE DETAILED AND FRAMED PER TYPICAL OPENINGS DETAIL
5. ALL POSTS SHALL BE NAILED TO ALL BEAMS UNLESS NOTED OTHERWISE. ALL POSTS SHALL BE BEARING UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" OC AT ALL EXTERIOR WALLS, UNO
   2x4 @ 16" OC AT ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" OF ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF STUD SIZES. 2x4 @ 16" OC, UNO
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER WITH BEARING PARTITION WALL DETAIL 4/S-401, UNO
7. ALL LINES AND POST MEMBERS INDICATED AS "STRUT" SHALL NOT BE LESS THAN 2x6 OR CLOSER TO BOUNDARY MEMBERS, UNO, SHOR
8. DIAPHRAGM TYPE
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S-201-401

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE ON S-201-402
- INDICATES BLOCKING & STRAPPING ABOVE & BELOW WINDOW OPENINGS. REFER DETAIL 6/S-402
- INDICATES ATS WOOD SHEAR WALL PER ATS SCHEDULE PER S-201
- INDICATES HEADER @ OPENING. REFER TO S-401 FOR HEADER SIZE UNLESS NOTED
- INDICATES TOP PLATE SPLICE. NAILING PER S-201-402. MORE TAN 4 NAILING APPLIES TO EITHER LENGTH OF TOP PLATE PROVIDED (#) STAPLES, UNO
- INDICATES CLOSE NAILS STRAP PER S-401-403 (FLOOR, UNO)
- INDICATES SHEAR PER S-401-403, UNO
- DRAG INDICATES DRAG TIES OR CHORDS PER S-401-403, UNO

SCHEDULES

WOOD SHEAR SCHEDULE

STRUCTURAL WOOD SHEAR DETAIL		INDICATES WOOD SHEAR STRAP TYPE	DETAIL
	INDICATES SIMPSON STRAP TO WALL BELOW		12/S-401
	INDICATES SIMPSON STRAP TO BEAM BELOW		14/S-401
	INDICATES SIMPSON STRAP TO FOUNDATION OR CONC STEM WALL	CONC STEM WALL	13/S-401
	INDICATES SIMPSON STRAP TO FOUNDATION OR CONC STEM WALL	CONC FOUNDATION	15/S-401
	INDICATES AT STEP FOUNDATION		17/S-401

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	6x6	
B2	6x12	
B3	6x12	
B4	1 3/4"x12" LVL	3 PLY
B5	1 3/4"x12" LVL	2 PLY
B6	1 3/4"x12" LVL	3 PLY
B7	6x7x12	
B8	6x7x6	
B9	4x6	
B10	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x6 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x10 @ 16" OC	SLOPE @ BALCONY
J5	2x10 @ 12" OC	
J6	1 3/4"x11 7/8" LVL @ 16" OC	
J7	1 3/4"x11 7/8" LVL @ 16" OC	
J8	2x12 @ 16" OC	REFER TO S-401 FOR SLOPE @ BALCONY

PLAN NORTH TRUE NORTH

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ARCHITECT

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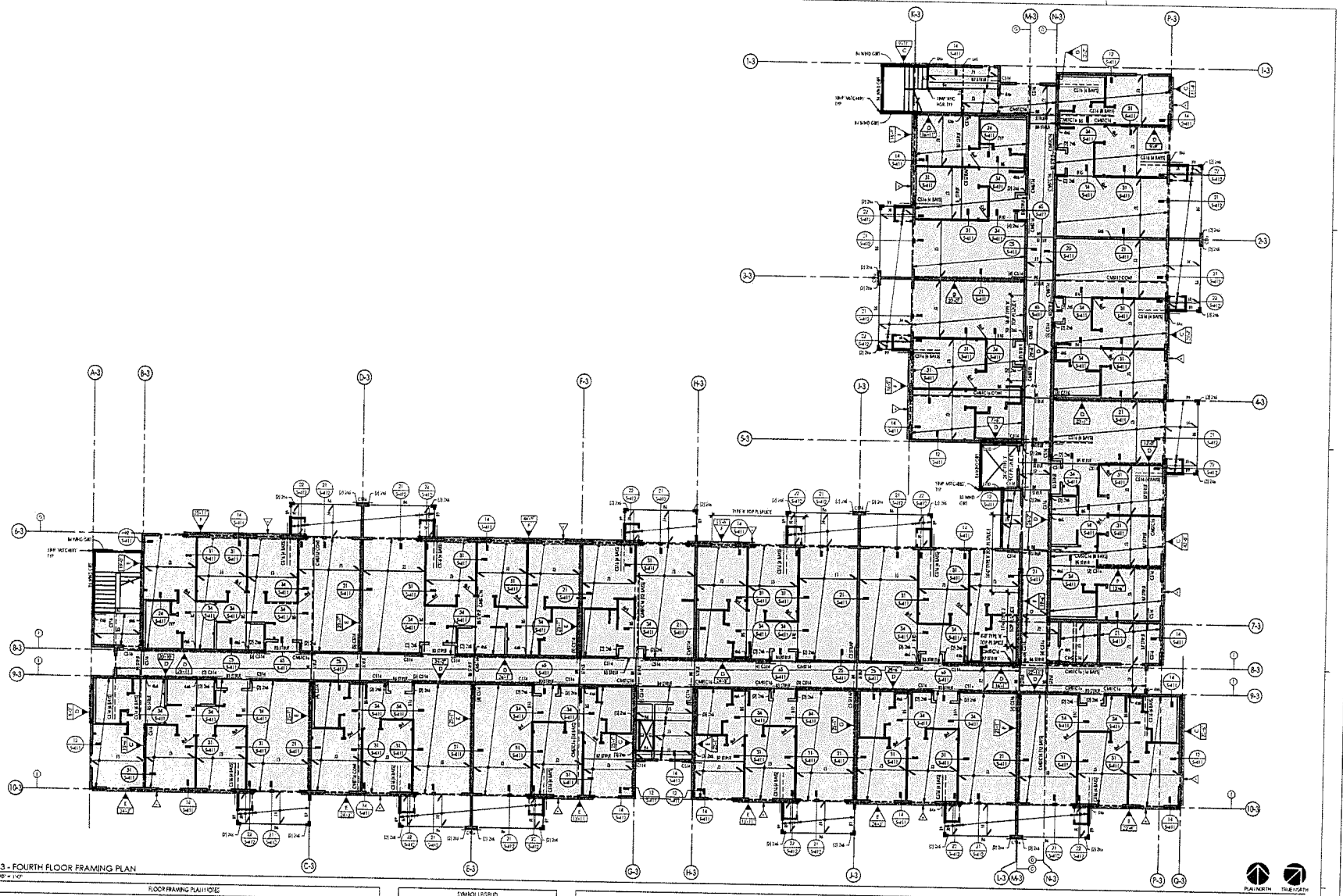
BLDG 3 -
THIRD FLOOR FRAMING PLAN

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S3-203



1 BLDG 3 - FOURTH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. CURB DIMENSIONS AND ACCESSORY DEVICES
   B. ALL DIMENSIONS, SLEEVE LENGTHS, SLOPES, DRAINS, STEAM REFRESHMENT, ETC
   C. LOCATION AND EXTENT OF EXTERIOR WALL ATTACHMENTS AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR OTHER DETAILS:

DESCRIPTION	SHEET NO
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002, S-003
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601, S-602

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF SHEATHING AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. ROOF PENETRATIONS NOT SHOWN ON FLOOR FRAMING PLAN SHALL BE DETAILED PER S-501 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 2" WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE. ALL POSTS IN 4" WALLS SHALL BE 6x6, UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2x4 @ 16" OC @ ALL EXTERIOR WALLS, UNO
   2x6 @ 16" OC @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF STOP STUDS, 2x4 @ 8" OC, TYP.
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S6-411, UNO.
7. ALL LINES AND POSTS MARKED "ALIGN STRUT" SHALL ALIGN TO SHOWN OF BOUNDARY 4/S6-410, UNO.
8. DIAPHRAGM TYPE:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO.
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO.
   REFER TO S-201-403.

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE ON PLAN.
- INDICATES BLOCKING & FRAMING AROUND & BELOW WINDOW OPENINGS PER DETAIL 6/S6-402
- INDICATES ASD HOLD DOWN PER SCHEDULE PER S-201
- INDICATES HEADER OPENING. REFER TO S2/S-401 FOR HEADER SIZE UNO ON PLAN
- INDICATES TOP PLATE SPLICE MAKING PER S2/S-401. NOTE THAT A NAILING APPLIES TO ENTIRE LENGTH OF TOP PLATE PROVIDE TYP. (5) 12-PLICE, UNO
- INDICATES CURB 8x4 STRAP PER 2/S6-401 @ 16" OC UNO
- INDICATES STRAP PER 3/S6-401, UNO
- INDICATES DRAG TRUSS CONNECTOR PER 2/S6-401, UNO

SCHEDULES

HOLLOW SCHEDULE

TYPICAL HOLLOW WALL STRAP DETAIL		DETAIL
4A	INDICATES SIMPSON STRAP TO WALL BELOW	12/S-406
4B	INDICATES SIMPSON STRAP TO BEAM BELOW	14/S-405
4C	INDICATES SIMPSON STRAP HOLLOW WALL TO CONC FOUNDATION CONC STEM WALL	17/S-411 22/S-411
4D	INDICATES SIMPSON STRAP HOLLOW WALL TO CONC FOUNDATION CONC STEM WALL	14/S-411 24/S-411
4E	INDICATES ASD TO FOUNDATION	12/S-411

FLOOR/ROOF BEAM SCHEDULE

NAME	SIZE	REMARKS
B1	6x8	
B2	6x10	
B3	6x12	
B4	3-1.75x9.25 LVL	3 PLY
B5	3-1.75x11.25 LVL	3 PLY
B6	3-1.75x14 LVL	3 PLY
B7	(2) 2x10	
B8	(2) 2x8	
B9	6x8	
B10	6x12	

FLOOR/ROOF JOIST SCHEDULE

NAME	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x8 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x12 @ 16" OC	SLOPE @ BALCONY
J5	2x10 @ 12" OC	
J6	1.75"x 11.25" LVL @ 16" OC	
J7	1.75"x 11.25" LVL @ 12" OC	REFER TO DETAIL 6/S-402 @ BALCONY
J8	2x12 @ 16" OC	REFER TO DETAIL 6/S-402 @ BALCONY

PLAN NORTH TRUE NORTH

INITIAL B&S SUBMITTAL

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BLDG 3 -
FOURTH FLOOR FRAMING PLAN

NO.	REVISION	DATE
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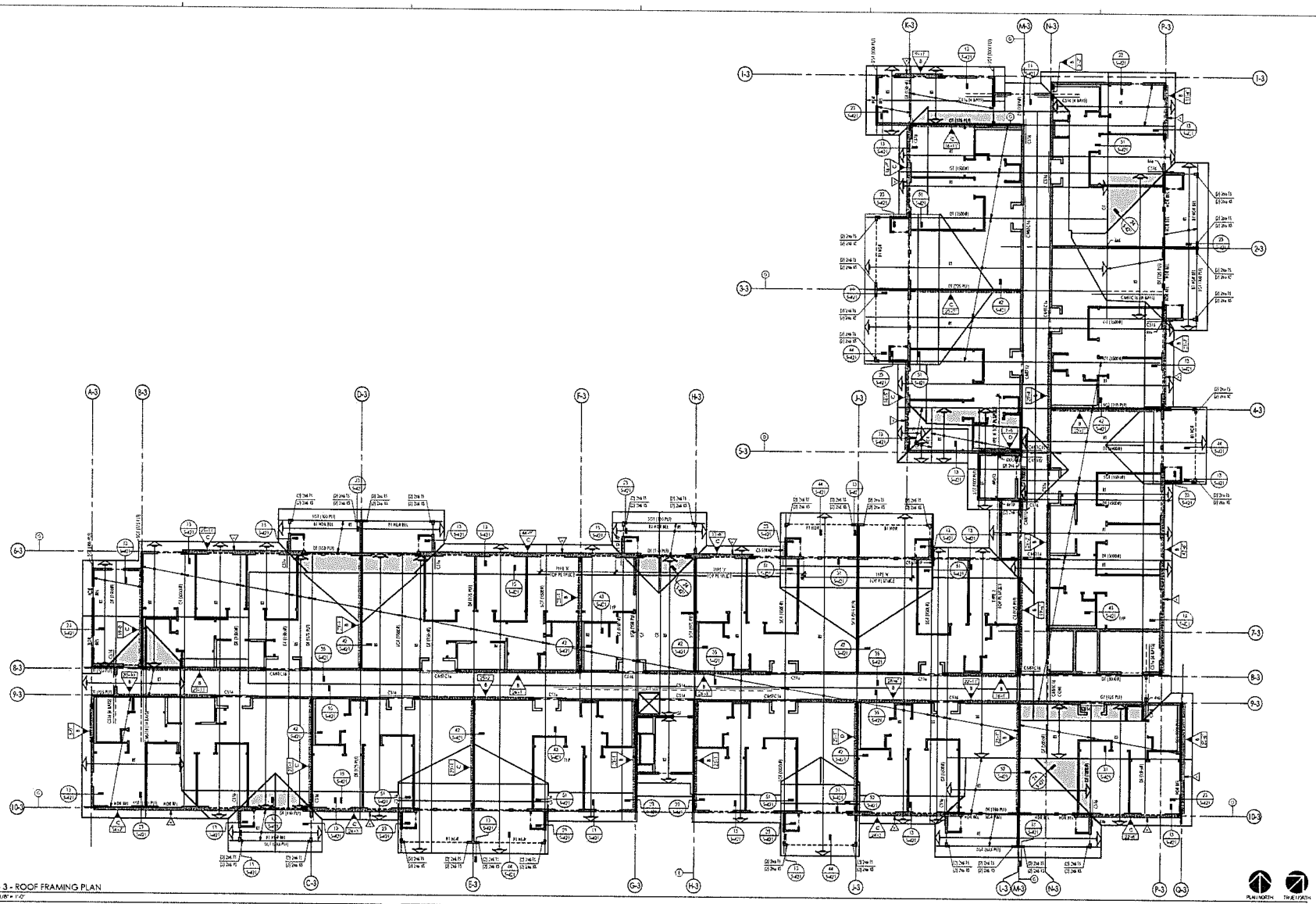
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S3-204



1 BLDG 3 - ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

ROOF FRAMING NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. GRID LINE DIMENSIONS AND HORIZONTAL DIMENSIONS
   B. ALL DIMENSIONS, ELEVATIONS, FINISH SURFACE, SLOPES OR PITCH, STAIR DEPRESSIONS, ETC
   C. LOCATION AND SIZING OF EXTERIOR WALL ATTACHMENTS AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET (S)
SYMBOLS AND ABBREVIATIONS	S-101
STRUCTURAL GENERAL NOTES	S-102 - S-103
FOUNDATION SCHEDULE	S-104
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-406

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF SHEATHING AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER BODY PENETRATIONS. FOR DUCT PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN, SEE DETAIL 2/S-406 FOR TYPICAL OPENINGS. UNO
5. ALL POSTS IN A WALL SHALL BE 4x4, UNLESS NOTED OTHERWISE. ALL POSTS IN A WALL SHALL BE 6x6, UNLESS NOTED OTHERWISE.
   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" O.C. @ ALL EXTERIOR WALLS, UNO
   2x4 @ 16" O.C. @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" O.C. @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EDGE STUDS 2x4 @ 8" O.C. STUD
6. ALL ROOF WALLS ARE SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS FOR ALL BE CONSTRUCTED PER HOWARD AND PARDEW WALL CO. INC. #1,5-419, UNO
7. DIAPHRAGM TYPES
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   REFER TO 1/S-405
8. ALL UNITS AND THE DEMISING WALLS ARE AS "DOUBLE" SHALL EXTEND 2.0 FEET OF BOUNDARY FRAMING (BW). 1/S-2.0
9. TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.
10. ALTERATIONS REQUIRED IN THE ADDITION OF STANDARD ANY MEMBER (E.G. HVAC, SPRINKLER, WATER HEATER) SHALL NOT BE PERMITED WITHOUT VERIFICATION THAT THE TRUSS IS CAPABLE OF SUPPORTING SUCH ADDITIONAL LOADING.

SYMBOL LEGEND

- INDICATES STRAP WALL TYPE AND LENGTH. SEE SCHEDULE ON 1/S-402
- INDICATES HOOD DIMS & DRAWING AND AT E SHEAR ARROW OPENINGS PER DETAIL 4/S-402
- INDICATES ATS PER DETAIL 1/S-401 AS SCHEDULE PER S-001
- INDICATES BEAM IN OPENING. REFER TO 2/S-401 FOR HEADER DETAIL AND ON PLANS
- INDICATES TOP PLATE SPICE MAKING PER 2/S-401 NOTE THAT MAKING APPLIES TO THREE LENGTH OF TOP PLATE PROVIDED THE (C) STAGE, UNO
- INDICATES CLIP & ICE STRAP PER 2/S-401 @ ROOF, UNO
- INDICATES STRAP TIE 3x4 PER, UNO
- INDICATES DRAG TRUSS CONNECTION PER 3/S-406 UNO

SCHEDULES

FOUNDATION SCHEDULE

SPECIFIED HOLD DOWN / STRAP DETAIL		DESCRIPTION	DEPTH
1	HD	INDICATES SIMPSON STRAP TIE HOLD DOWN	12/S-405
2		INDICATES SIMPSON STRAP TIE SEAM BELOW	16/S-405
3	HD	INDICATES SIMPSON STRAP TIE HOLD DOWN TO CONC FOUNDATION / CONC STEM WALL	13/S-411 / 20/S-411
4		INDICATES SIMPSON STRAP TIE HOLD DOWN TO CONC FOUNDATION / CONC STEM WALL	13/S-411 / 24/S-411
5		INDICATES ATS TO FOUNDATION	1/S-412

FLOOR/ROOF SEAM SCHEDULE

NAME	SIZE	REMARKS
F1	4x6	
F2	4x10	
F3	4x12	
F4	1 3/2x11 3/2" LVL	3 PLY
F5	1 3/2x11 3/2" LVL	2 PLY
F6	1 3/2"x14" LVL	3 PLY
F7	1 3/2"x 11 3/2" LVL @ 16" O.C.	
F8	1 3/2"x 11 3/2" LVL @ 16" O.C.	
F9	2x10	
F10	2x12	
F11	4x6	
F12	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" O.C.	
J2	2x8 @ 16" O.C.	
J3	2x12 @ 16" O.C.	
J4	2x10 @ 16" O.C.	SLOPE @ BALCONY
J5	2x10 @ 16" O.C.	
J6	1 3/2"x 11 3/2" LVL @ 16" O.C.	
J7	1 3/2"x 11 3/2" LVL @ 16" O.C.	SLOPED TO SLOPE @ BALCONY
J8	2x12 @ 16" O.C.	SLOPED TO SLOPE @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED ROOF TRUSS NOTES SEE NOTES ON SHEET S-103

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
JT	ROOF TRUSS (COMMON)	24" O.C. MAX.
SCT	STRUCTURAL CLAD TRUSS	
A4	ATTIC TRUSS PRESCRIPTIVE	24" O.C. MAX.
T	JACK TRUSS	24" O.C. MAX.
V3	VALLEY JACK TRUSS	24" O.C. MAX.
C1T	CORNER JACK TRUSS	
GT	GIRDER TRUSS	
MCT	MONO HIP & RIDGE TRUSS	
DT (HT)	DRAG TRUSS	
CCT	CALIFORNIA GABLE TRUSS	
HC	HIP RAFTER / JACK RAFTER	
CHT	CALIFORNIA HIP TRUSS	24" O.C. MAX.

1. (HT) = DENOTES DRAG FORCES IN LBS. DRAG FORCES ARE AS FACTORED (ASD) DRAG FORCES CALCULATED IN ACCORDANCE WITH ASCE 7-10 7.5.1.1.1. IN STRUCTURES THAT ARE BRACED BY LIGHT FRAME SHEAR WALLS OR PORTIONS THEREOF, DRAG MEMBERS SHALL BE DESIGNED TO RESIST FORCES USING THE LOAD COMBINATIONS OF ASCE 7-10 SECTION 12.12.3 IN ALL OTHER STRUCTURES DRAG SHALL INCLUDE THE EFFECT OF OVERSTRENGTH PER ASCE 7-10 12.12

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BLDG 3 - ROOF FRAMING PLAN

NO.	REVISION	DATE
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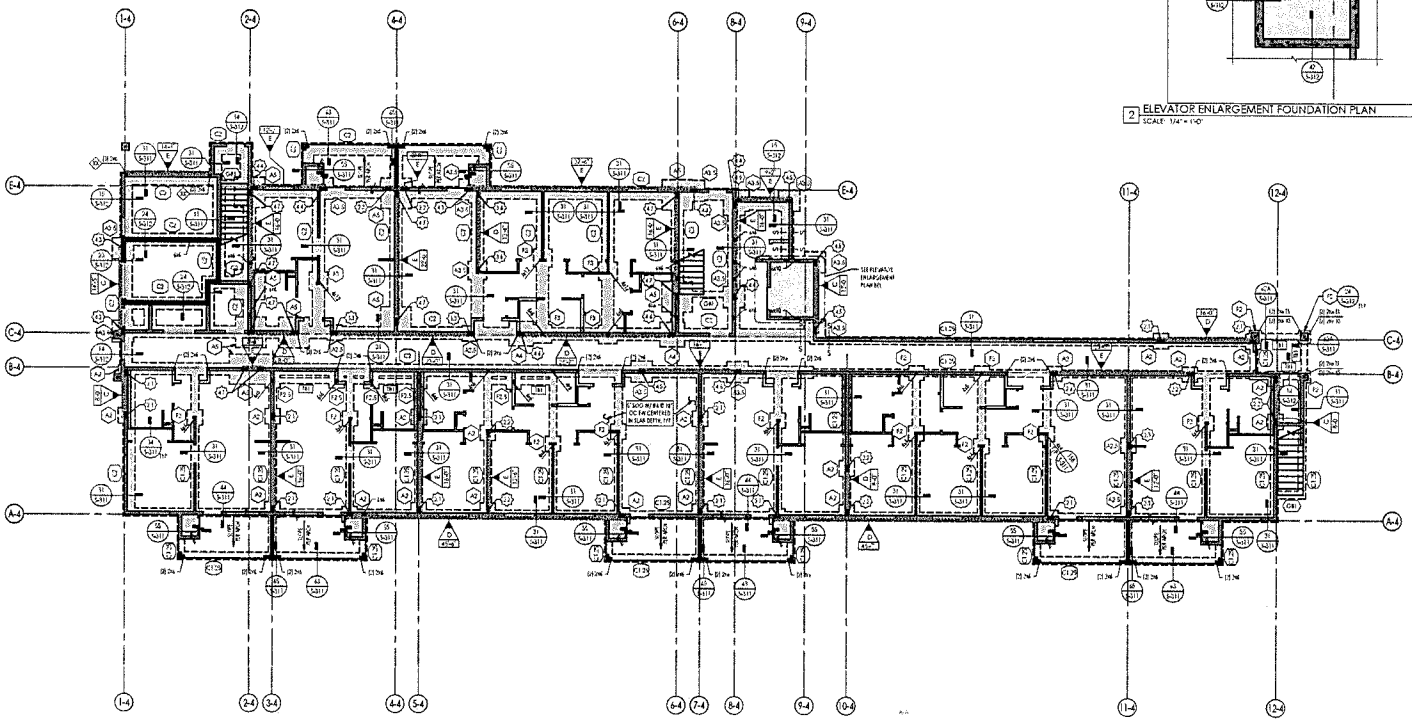
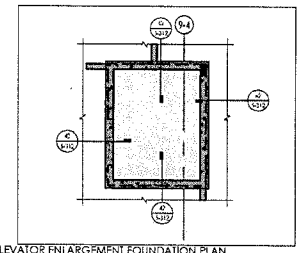
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S3-205



1 BLDG 4 - FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



2 ELEVATOR ENLARGEMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PLAN NORTH TRUE NORTH

FOUNDATION PLAN NOTES

1. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET (S)
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 - S-005
TESTING AND INSPECTION	S-006
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 - S-605

2. SEE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATIONS. REFERENCE FINISHED FLOOR ELEVATION = 0'-0" CORRESPONDS TO FINISHED FLOOR ELEVATION.
3. ALL DIMENSIONS SHOWN ARE FROM FACE OF CONCRETE/MASONRY FACE OF STUD FRAMING, OR CENTERLINE OF COLUMN. ALL COLUMNS ARE CENTERED IN STUD WALLS, UNO.
4. FOR ANY DIMENSIONAL INFORMATION NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
5. SEE ARCHITECTURAL DRAWINGS FOR ANY EMBEDDED ITEMS AND ALL EXTERIOR CONCRETE PAVED.
6. SEE PLAN AND ARCHITECTURAL DRAWINGS FOR DEPRESSIONS AND/OR SLOPES IN CONCRETE SLABS.
7. SEE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS IN BEARING AND NON-BEARING WALLS.
8. SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF INTERIOR NON-BEARING PARTITIONS.
9. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL EMBEDDED ITEMS AND SLAB PENETRATIONS.
10. FOR TYPICAL STRAIGHT BAR REQUIREMENTS, INCLUDING SLAB LENGTHS, SEE DETAIL 1/S-501.
11. ALL POSTS IN EXT WALLS SHALL BE #4 UNLESS NOTED OTHERWISE. ALL POSTS IN INT WALLS SHALL BE #4 UNLESS NOTED OTHERWISE.
12. PLATE WASHERS ARE REQUIRED FOR ALL SILL PLATE ANCHOR BOLTS. REFER TO S-A-400 FOR PLATE WASHER REQUIREMENTS AT SHEAR WALLS.
13. ALL HOLDOWN ANCHOR BOLTS SHALL BE EMBEDDED JUST PRIOR TO CONCRETE POURING.
14. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE DRILLED A MAXIMUM OF 1/16" OVERSIZED. INSPECTION TO VERIFY.
15. THE BUILDING PAD SHALL BE PREPARED AS OUTLINED IN DETAIL 1/S-501. THE BUILDING OFFICIAL SHALL RECEIVE PAD CERTIFICATION BY A GEOTECHNICAL ENGINEER, NEW YORK CERTIFICATION.
16. BOTTOM OF FOOTING SHALL BE UNIFORM DEPTH. DEEPER FOUNDATIONS ARE REQUIRED BY THE BUILDING OFFICIAL.
   A. IF BELOW PAD OR ADJACENT GRADE AS PERMITTED WHICHEVER DEEPER UNO.
   B. IF BELOW PAD OR ADJACENT GRADE AT INTERIOR GRADE BEAM, WHICHEVER DEEPER UNO.
   NOTE: FOOTING MUST BE DEPENDED LOCALLY PER DETAIL 1/S-501 TO ACCOMMODATE ANCHOR BOLT HOLDOWN EMBED DEPTH.

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE ON 1/S-602
- INDICATES ANCHOR BOLT REFER TO ANCHOR BOLT SCHEDULE
- INDICATES CONCRETE CURB PER DETAIL 1/S-501
- INDICATES STEPPED FOOTING PER DETAIL 1/S-501

HOLDOWN SCHEDULE

SIMPSON HOLDOWN STRAP DETAIL		DETAIL
	INDICATES SIMPSON DEAD HOLDOWN TO CONC FOUNDATION. CONC STEM WALL	1/S-611 1/S-611
	INDICATES SIMPSON DEAD HOLDOWN TO CONC FOUNDATION CONC BEAM WALL	1/S-611 2/S-611
	INDICATES AES TO FOUNDATION	1/S-610

SCHEDULES

CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH	MIN EMBED BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
CF-12	12"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" O.C. BOT	1/S-501
CF1	24"	SEE NOTE 16	(2) #4 TOP	#3 @ 24" O.C. BOT	1/S-501

NOTE: FOOTING MUST BE DEPENDED LOCALLY PER DETAIL 1/S-501 TO ACCOMMODATE ANCHOR BOLT EMBED DEPTHS

GRADE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
GB-1	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP (2) #4 @ BOT	#3 @ 24" O.C.	1/S-501

TIE BEAM SCHEDULE

TYPE	WIDTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	LONG REINF	TRANS REINF	DETAIL
TB-12	1'-0"	1'-0"	SEE NOTE 16	(2) #4 @ TOP	#3 @ 24" O.C.	1/S-501

PAD FOOTING SCHEDULE

TYPE	WIDTH	LENGTH	THICKNESS	MIN EMBED BELOW LOWEST PAD GRADE	TOP REINF	BOT REINF	DETAIL
P1	2'-0"	2'-0"	1'-0"	SEE NOTE 16	-	(3) #5 EW	1/S-501
P1.5	2'-6"	2'-6"	1'-0"		-	(3) #5 EW	
P2	3'-0"	3'-0"	1'-0"		-	(4) #5 EW	
P4	4'-0"	4'-0"	1'-0"		-	(5) #5 EW	
P6	6'-0"	6'-0"	1'-0"		-	(7) #5 EW	
A2	2'-0"	2'-0"	2'-0"		(3) #5 EW	(3) #5 EW	2/S-501
A2.5	2'-6"	2'-6"	2'-0"		(3) #5 EW	(3) #5 EW	
A3	3'-0"	3'-0"	2'-0"		(4) #5 EW	(4) #5 EW	
A3.5	3'-6"	3'-6"	2'-0"		(5) #5 EW	(5) #5 EW	
A4	4'-0"	4'-0"	2'-0"		(5) #5 EW	(5) #5 EW	
A5	5'-0"	5'-0"	2'-0"		(6) #5 EW	(6) #5 EW	
A7	PER PLAN	PER PLAN	2'-0"		PER PLAN EW	PER PLAN EW	

AES SCHEDULE

AES REF # PER AES-1 THRU AES-6	ANCHORAGE PER DETAIL 2/S-602	DETAIL
(1) (2)	(A)	SEE SHEETS AES-1 THRU AES-6
(3)	(A)	
(3) (3) (3) (3)	(B)	
(4) (4) (4) (4)	(D)	
(5)	(B)	
(5)	(D)	
(6)	(B)	
(6)	(D)	
(7)	(B)	
(7)	(D)	
(8)	(B)	
(8) (8)	SEAM COAT	

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MURRIETA APARTMENTS
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BLDG 4 - FOUNDATION PLAN

NO.	REVISION	DATE
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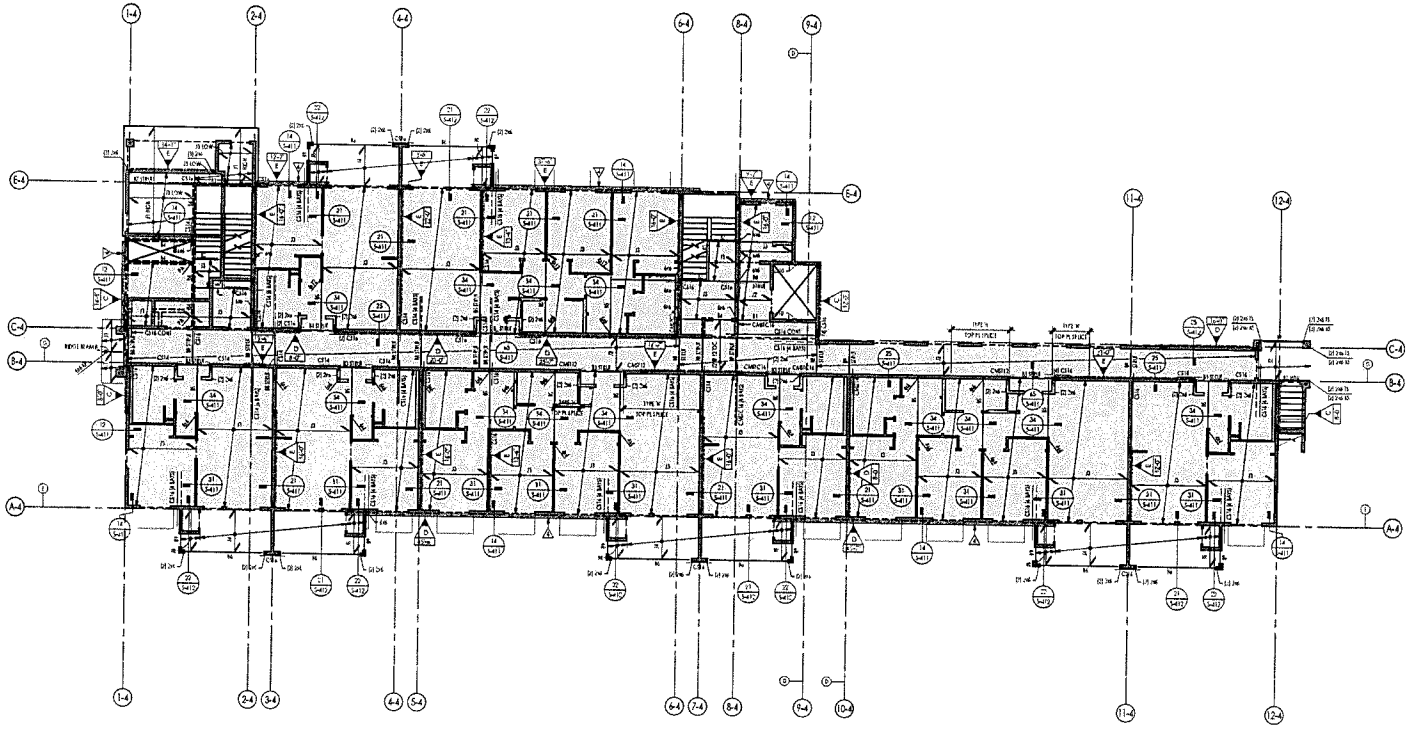
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S4-201



1 BLDG 4 - SECOND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND DEVIATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION:
   A. GRID DIMENSIONS AND NON-COMPLIANCE
   B. ALL DIMENSIONS RELATING TO FINISH SURFACE, EXCEPT DRAWN SLAB DEPRESSIONS, ETC
   C. LOCATION AND SIZE OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS AND TYPICAL DETAILS:

DESCRIPTION	SHEET LIST
DRAWINGS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 & S-003
SEISMIC ANCHORS/TIES	S-004
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-405

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF DRAWINGS AND TOP OF WALL LEVELS, NOTED.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON WOOD FRAMING PLAN, SEE DETAIL 2/S-411 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 6" A WALLS SHALL BE 4X4, UNLESS NOTED OTHERWISE.
   ALL POSTS IN 4" B WALLS SHALL BE 4X4, UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2X4 @ 16" O.C. OF ALL EXTERIOR WALLS, UNO
   2X6 @ 16" O.C. OF ALL INTERIOR BEARING WALLS, UNO
   2X4 @ 16" O.C. OF ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALL TYPES OR STUD SIZES 2X4 @ 16" O.C. UNO
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLAN, BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-401, UNO.
7. ALL UNITS AND DIMENSIONS INDICATED AS "STRAIGHT SHALL REQUIRE CUTS PRIOR TO ROOFING AND FRAMING OF THE STUDS.
8. DIAPHRAGM TYPE
   ALL ROOF DIAPHRAGMS TO BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S-003

SYMBOL LEGEND

2X6	INDICATES THE ALL WALL TYPE AND LENGTH SEE SCHEDULE ON S-003
	INDICATES FLOOR TIE & STRAPPING ABOVE & BELOW WINDOW OPENINGS, PER DETAIL 4/S-401
	INDICATES ARS POST REFER TO ARS SCHEDULE PER S-001
	INDICATES HEADER @ OPENING SEE TYPICAL DETAIL 1/S-411 FOR HEADER SIZE, END OF WALL PLANS
	INDICATES TOP PLATE SPLICE NAILING PER S-S-405 NOTE THAT NAILING APPLIES TO ENTIRE LENGTH OF TOP PLATE, PROVIDE TYPE (1) STUDS, UNO
	INDICATES CONT BLK & STRAP PER S-405-A2 @ FLOOR, UNO
	INDICATES STRAP PER S-S-405, UNO
DHCR	INDICATES GRAVITY TIEBS CONNECTOR PER S1.0-A-1E, UNO

SCHEDULES

HOLDOWN SCHEDULE

SYMBOL	DESCRIPTION	SAT NO.
SYMBOL HOLDOWN STRAP DETAIL	INDICATES HOLDOWN STRAP TYPE	
HD	INDICATES TIMPSON STRAP TO WALL BELOW	T-D-W-S
HD	INDICATES TIMPSON STRAP TO REAR BELOW	W-D-W-A
HD	INDICATES TIMPSON STRAP HOLDOWN TO CONC FOUNDATION CONC STEM WALL	T-D-S-H
HD	INDICATES TIMPSON STRAP HOLDOWN TO CONC FOUNDATION CONC STEM WALL	S-D-S-H
HD	INDICATES TO FOUNDATION	D-D-S-T

NON-ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	6x6	
B2	6x10	
B3	6x12	
B4	1 3/4X11 7/8 LVL	3 PLY
B5	1 3/4X11 7/8 LVL	2 PLY
B6	1 3/4X11 7/8 LVL	3 PLY
B7	(2) 2x12	
B8	(3) 2x8	
B9	4x8	
B10	4x12	

ROOF/FLOOR JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x8 @ 16" OC	
J3	2x12 @ 16" OC	
J4	2x10 @ 16" OC	SLOPE @ BALCONY
J5	2x10 @ 16" OC	
J6	1 3/8 x 11 7/8" LVL @ 16" OC	
J7	1 3/8 x 11 7/8" LVL @ 16" OC	
J8	2x10 @ 16" OC	

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BLDG 4 -
SECOND FLOOR FRAMING PLAN

NO.	REVISION	DATE
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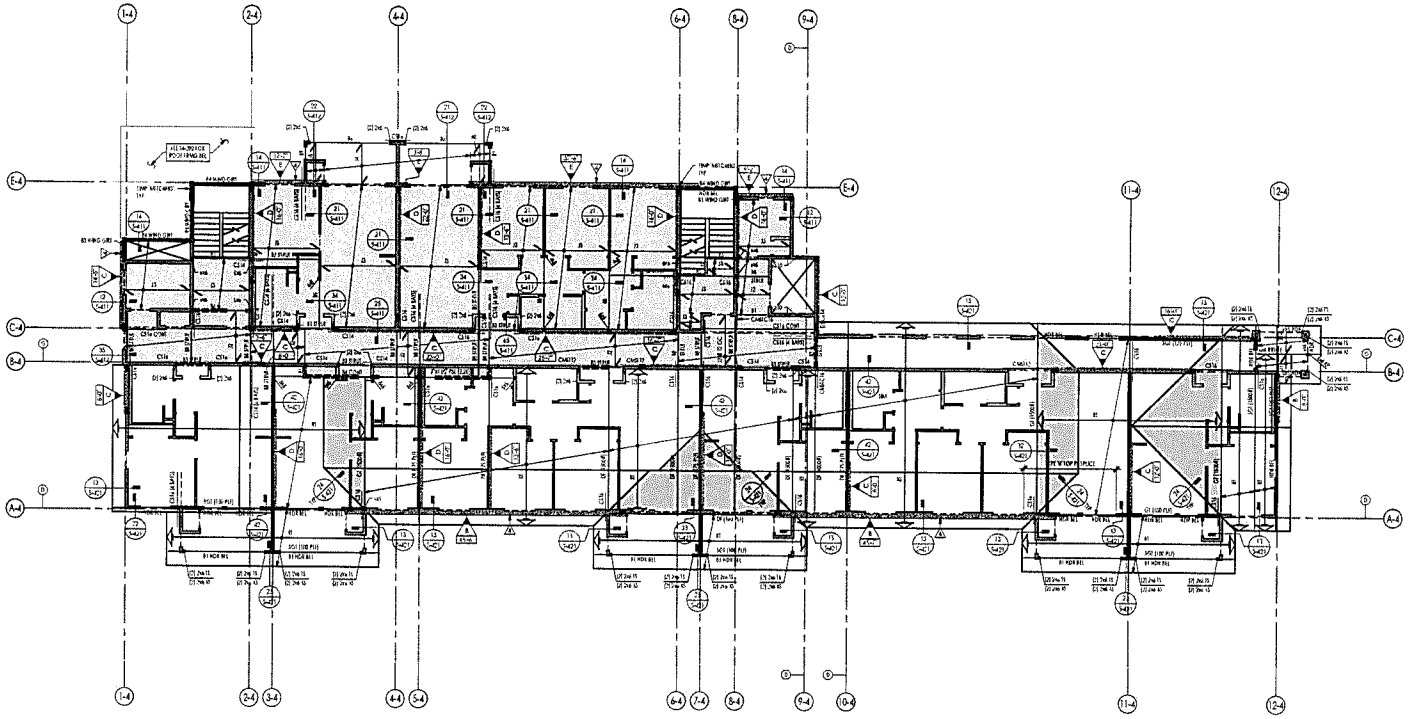
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S4-202



1 BLDG 4 - THIRD FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND (U) JOISTING INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: ALL DIMENSIONS NOTED BE VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND ARCHITECTURAL CONTROLS
   B. ALL DIMENSIONS, ELEVATIONS, TRENCH DEPTHS, CLEARANCES, DEPTHS, ETC.
   C. ROOF, FLOOR AND CEILING DIFFERENCE WALL ARRANGEMENTS AND OPENINGS
   D. ALL NON-STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET (S)
STANDARD AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 & S-003
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-201
TYPICAL WOOD DETAILS	S-401 - S-405

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF SHEARWALL AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, AND MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER BODY PENETRATIONS. FOR ROOF PENETRATIONS, USE SHOWN ON ROOF FRAMING PLAN. SEE DETAIL D2.2-403 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN (E) WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE
   ALL POSTS IN (N) WALLS SHALL BE 6x6, UNLESS NOTED OTHERWISE
   TYPICAL WALL FRAMING SHALL BE:
   2x4 @ 16" O.C. @ ALL EXTERIOR WALLS, UNO
   2x4 @ 16" O.C. @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" O.C. @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF UPSIDE STUDS 2x4 @ 8" O.C. UNO
6. ALL INTERIOR WALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE OPTIMIZED PER NON-BEARING PARTITION WALL DETAIL 4.02-401, UNO
7. ALL SHEAR AND/OR HEADERS, INDICATED AS "STRUT", SHALL RECEIVE (2) ROWS OF BLOCKING, BRACING, (2)2x
8. NAILING CRITERIA
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S2.0-401

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH. REFER SCHEDULE ON S2.0-402
- INDICATES BLOCKING (SHEATHING ABOVE & BELOW WINDOW OPENINGS) PER DETAIL A4C-402
- INDICATES ARE ROU REFER TO ARCH SHEET PER NOTE
- INDICATES HEADER OR OPENING. REFER TO S2.0-401 FOR HEADER TYPE, UNO ON PLANS
- INDICATES STOP PLATE SPACE NAILING PER S2.0-405 WITH FRAMING NAILS TO EVERY LENGTH OF TOP PLATE. PROVIDE 1 TYPE C SPACE, UNO
- INDICATES CONT BLOCK STRAP PER 2x6 @ 48" O.C. (FLOOR), UNO
- INDICATES STRAP PER S2.0-405, UNO
- INDICATES CROSS TIES CONNECTOR PER S2.0-402, UNO

SCHEDULES

HOLDOWN SCHEDULE

SPECIFIED HOLDOWN / STRAP TYPE	INDICATES HOLDOWN / STRAP TYPE	SHT NO.
HD-A	INDICATES SIMPSON STRAP TO WALL BELOW	S2.0-403
HD-B	INDICATES SIMPSON STRAP TO BEAM BELOW	S2.0-403
HD-C	INDICATES SIMPSON STRAP TO BEAM BELOW	S2.0-403
HD-D	INDICATES SIMPSON STRAP TO CONC FOUNDATION CONC STEM WALL	S2.0-403 2.0B-101
HD-E	INDICATES SIMPSON STRAP TO CONC FOUNDATION CONC STEM WALL	S2.0-403 2.0B-101
HD-F	INDICATES SIMPSON STRAP TO CONC FOUNDATION CONC STEM WALL	S2.0-403 2.0B-101
HD-G	INDICATES NO FOUNDATION	S2.0-403

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	6x6	
B2	6x10	
B3	6x12	
B4	1 3/4"x11 7/8" L.V.	3 PLY
B5	1 3/4"x11 7/8" L.V.	2 PLY
B6	1 3/4"x11 7/8" L.V.	3 PLY
B7	(2) 2x12	
B8	(3) 2x8	
B9	4x8	
B10	4x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x4 @ 24" O.C.	
J2	2x4 @ 16" O.C.	
J3	2x10 @ 16" O.C.	
J4	2x10 @ 16" O.C.	SLOPE & BALCONY
J5	2x10 @ 16" O.C.	
J6	1 3/4" x 11 7/8" L.V. @ 16" O.C.	
J7	1 3/4" x 11 7/8" L.V. @ 16" O.C.	REFER TO ROOF & BALCONY
J8	2x12 @ 16" O.C.	REFER TO ROOF & BALCONY

PREFABRICATED ROOF TRUSS

1. ALL PREFABRICATED ROOF TRUSSES NOTED SHALL BE NOTED ON SHEET S-002

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
RT	ROOF TRUSS (COMMON)	24" O.C. MAX
SCT	STRUCTURAL CANTILEVER TRUSS	
MT	MONO PITCH TRUSS	24" O.C. MAX
JT	JACK TRUSS	24" O.C. MAX
VT	VALLEY / HIP TRUSS	24" O.C. MAX
CJT	CONTINUOUS JACK TRUSS	
GT	GIRDER TRUSS	
MCT	MONO PITCH CANTILEVER TRUSS	
GT (FT)	GABLE TRUSS	
CCT	CALIFORNIA CANTILEVER TRUSS	
HT	HIP RAFTER / JACK RAFTER	
CHT	CALIFORNIA HIP TRUSS	24" O.C. MAX

(FT) - EQUIVALENT GRAVITY FORCE IN LIEU OF DEAD FORCE IS AT A FACTOR OF 0.6 (0.7T). (DEAD FORCES CALCULATED IN ACCORDANCE WITH ASCE 7-10 (7.1.1.1) IN STRUCTURES, FORMS, FRAMING, OR SIMILAR SHALL BE DESIGNED TO RESIST FORCES IN LIEU OF DEAD FORCE. (DEAD FORCE SHALL BE DEFINED TO RESIST FORCES IN LIEU OF DEAD FORCE IN ACCORDANCE WITH ASCE 7-10 (7.1.1.1) IN ALL OTHER STRUCTURES (GRADE 2 WILL INCREASE THE EFFECTIVE STRENGTH PER ASCE 7-16 (12.4.3.2)

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ARCHITECT

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BLDG 4 -
THIRD FLOOR FRAMING PLAN

NO.	REVISION	DATE
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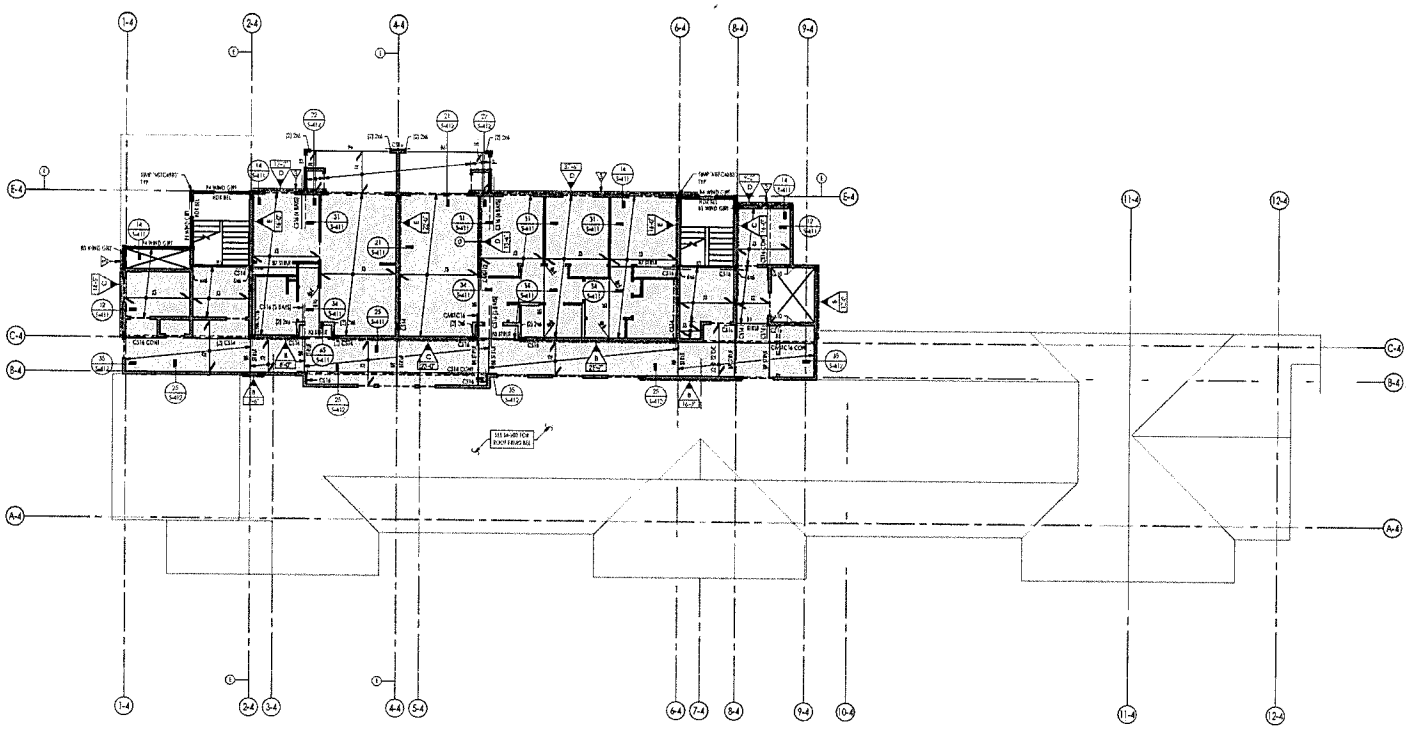
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S4-203

INITIAL B&S SUBMITTAL



1 BLDG 4 - FOURTH FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH | TRUE NORTH

FLOOR FRAMING PLAN NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATION MODIFICATIONS, BUT NOT LIMITED TO THE FOLLOWING. ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. WALL DIMENSIONS AND INTERIOR ALCOVES.
   B. ALL DIMENSIONS, ELEVATIONS, TIMES SURFACE SLOPES, DRAINAGE, SLAB DEPRESSIONS, ETC.
   C. LOCATION AND LENGTH OF EXTERIOR WALL ALTERNATES AND OPTIONS.
   D. ALL NON-STRUCTURAL WALLS.
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 & S-003
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 & S-602

3. SEE ARCHITECTURAL DRAWINGS FOR ALL TOP OF BEARING AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. DO NOT ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN. SEE DETAILS 2/S-403 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 4" IN WALL SHALL BE 4x4, UNLESS WOOD OTHERWISE. ALL POSTS IN 6" IN WALL SHALL BE 6x6, UNLESS WOOD OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2x6 @ 16" OC @ ALL EXTERIOR WALLS, UNO
   2x6 @ 16" OC @ ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" @ ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF FOUR HOUR 2x4 @ 12" OC, STUDS
6. ALL WALL BLOCK WALLS NOT SHOWN ON THE ELECTRICAL FRAMING PLANS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL 4/S-403, UNO
7. ALL LINES AND/OR WALKWAYS INDICATED AS "STRUT" SHALL REFER TO RCMP OR NONGRAVITY WALKWAYS (BW) STRUT.
8. DIAPHRAGM TYPE
   ALL ROOF DIAPHRAGMS SHALL BE TYPE A, UNO
   ALL FLOOR DIAPHRAGMS SHALL BE TYPE B, UNO
   REFER TO S/S-401

SYMBOL LEGEND

2x4	INDICATES SHEAR WALL TYPE AND LENGTH. SEE SCHEDULE ON PLAN-402
2x4	INDICATES BLOCKING & STRAPPING ABOVE & BELOW WINDOW OPENINGS PER DETAIL 4/S-403
	INDICATES ATTACHED MULLIONS AS SCHEDULE PER S-001
	INDICATES HEADER @ OPENING. REFER TO S/S-401 FOR HEADER SIZE, UNO ON PLANS
8	INDICATES TOP PLATE SPLICE HANGING PER S/S-401. NOTE THAT HANGING MULLIONS WITH LENGTH OF TOP PLATE PROVIDED PER 8 SPLICE, UNO
	INDICATES CONT BLKG STRAP PER 2/S-403 @ FLOOR, UNO
	INDICATES STRAP PER 3/S-403, UNO
DSCB	INDICATES DEAD STRUT COMMENCE PER S/S-401, UNO

SCHEDULES

HOLDOWN SCHEDULE

SYMBOL	HOLDOWN/STRAP DETAIL	INDICATED HOLDOWN/STRAP TYPE	DET NO.
1	1	INDICATES HOLDOWN DEAD TO WALL BELOW	1/S-403
2	2	INDICATES STRAP FROM STEM TO BEAM BELOW	3/S-403
3	3	INDICATES STRAP FROM STEM TO HOLDOWN TO CONC FOUNDATION CONC STEM WALL	2/S-403 2/S-501
4	4	INDICATES STRAP FROM STEM TO HOLDOWN TO CONC FOUNDATION CONC STEM WALL	3/S-403 2/S-501
5	5	INDICATES ANTI-SPLIT FOUNDATION	12/S-501

FLOOR/ROOF BEAM SCHEDULE

MARK	SIZE	REMARKS
B1	2x6	
B2	4x10	
B3	4x12	
B4	1 3/4"x11 7/8" LVL	3 PLY
B5	1 3/4"x11 7/8" LVL	2 PLY
B6	1 3/4"x14" LVL	3 PLY
B7	(E) 2x12	
B8	(E) 6x8	
B9	4x12	
B10	6x12	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x8 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x10 @ 16" OC	SLOPE @ BALCONY
J5	2x12 @ 16" OC	
J6	1 3/4"x 11 7/8" LVL @ 16" OC	
J7	1 3/4"x 11 7/8" LVL @ 16" OC	TAPERED FOR SLOPE @ BALCONY
J8	2x10 @ 16" OC	TAPERED FOR SLOPE @ BALCONY

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AGENCY

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BLDG 4 -
FOURTH FLOOR FRAMING PLAN

NO.	REVISION	DATE
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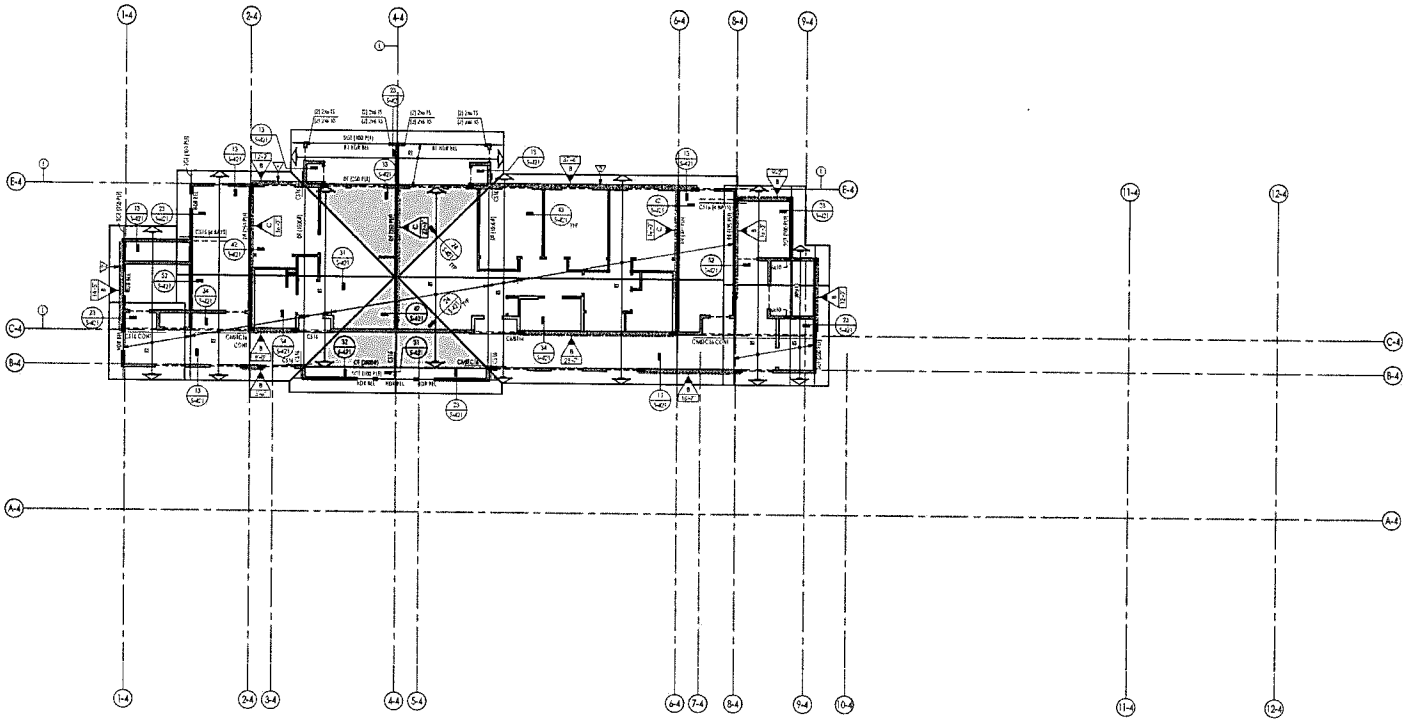
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S4-204



1 BLDG 4 - ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH TRUE NORTH

ROOF FRAMING NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND LOCATIONS INCLUDING, BUT NOT LIMITED TO: THE FOLLOWING; ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION.
   A. GRID DIMENSIONS AND HORIZONTAL CLEARANCE
   B. ALL DIMENSIONS, ELEVATIONS, FINISH LINE, FACE, SLOPES, DRAINS, SLAB DEPRESSIONS, ETC.
   C. LOCATION AND EXTENT OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS:

DESCRIPTION	SHEET #(S)
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 - S-003
SPECIAL INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-451 - S-460

3. SEE ARCHITECTURAL DRAWINGS FOR ALL SLOPE OF SHEATHING AND TOP OF WALL ELEVATIONS.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR ROOF PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN, SEE DETAIL S2.0-401 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS IN 2" WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE
   ALL POSTS IN 4" WALLS SHALL BE 4x6, UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE:
   2x4 @ 16" OC IN ALL EXTERIOR WALLS, UNO
   2x6 @ 16" OC IN ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" OC IN ALL INTERIOR NON-BEARING WALLS, UNO
   REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF THICKER STUDS, 2x4 @ 8" OC, ETC.
6. ALL METER IN ALLS NOT SHOWN ON THE STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED PER NON-BEARING PARTITION WALL DETAIL S2.0-401 UNO.
7. DRAWING NOTATIONS:
   ALL ROOF DRAIN PLACING SHALL BE TYPE A, UNO
   REFER TO QUANTS
8. ALL LINES AND RIDGE MEMBERS INDICATED AS "STRUT" SHALL BE (2) 2x6 PLY BOARD NAILED TOGETHER.
9. TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A REGISTERED DESIGN PROFESSIONAL.
10. ALTERATIONS SEEKING TO BE ADDED TO, OR ALTER ANY MEMBER IN D.O. WILL REQUIRE WRITTEN HEAT REPORT BY REGISTERED MEMBER, A MEMBER NOT THE TRUSS OR CAMBER OF SUPPORTING SUCH ADDITIONAL LOADING.

SYMBOL LEGEND

	INDICATES SHEAR WALL TYPE AND LENGTH SEE SCHEDULE ON S2.0-402
	INDICATES BOLDFACE STRAPPING AND B.B. BELOW WINDOW OPENINGS PER DETAIL S2.0-402
	INDICATES WS ROOF REFER TO WS SCHEDULE PER S2.0-201
	INDICATES HEADER @ OPENING. REFER TO S2.0-401 FOR HEADER SIZE, UNO ON PLANS
	INDICATE ROOF TOP PLATE SPLICE HAMMER PER S2.0-401 NOTE THAT A HAMMER IS REQUIRED EVERY LENGTH OF TOP PLATE. PROVIDE 1 PER (1) SPLICE UNO
	INDICATES CONTINUE STRAP PER S2.0-401 & ROOF, UNO
	INDICATES STRAP PER S2.0-401, UNO
DSCH	INDICATES DRAG TRUSS CONNECTOR PER S2.0-401, UNO

SCHEDULES

HOLDOWN SCHEDULE

SYMBOL	INDICATES HOLDOWN	DETAIL
HD1	INDICATES SIMPSON STRAP TO WALL BELOW	S2.0-401
HD2	INDICATE SIMPSON STRAP TO BEAM BELOW	S2.0-401
HD3	INDICATES SIMPSON SB HOLDOWN TO CONC FOUND W/ 8inch CONC STEM WALL	S2.0-311 S2.0-311
HD4	INDICATES SIMPSON SB HOLDOWN TO CONC FOUNDATION	S2.0-311
HD5	INDICATE: AD TO FOUNDATION	S2.0-311

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x6 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x10 @ 16" OC	
J5	1 3/4"x11 7/8" LVL	3 PLY
J6	1 3/4"x11 7/8" LVL	2 PLY
J7	1 3/4"x11 7/8" LVL	3 PLY
J8	2x10 @ 16" OC	
J9	2x10 @ 16" OC	
J10	2x10 @ 16" OC	
J11	2x10 @ 16" OC	
J12	2x10 @ 16" OC	

FLOOR/ROOF JOIST SCHEDULE

MARK	SIZE	REMARKS
J1	2x6 @ 16" OC	
J2	2x6 @ 16" OC	
J3	2x10 @ 16" OC	
J4	2x10 @ 16" OC	
J5	2x10 @ 16" OC	SUPPORT BALCONY
J6	2x10 @ 16" OC	
J7	1 3/4"x 11 7/8" LVL @ 16" OC	
J8	1 3/4"x 11 7/8" LVL @ 16" OC	
J9	2x10 @ 16" OC	SUPPORT DECK JOIST @ BALCONY
J10	2x10 @ 16" OC	SUPPORT DECK JOIST @ BALCONY

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED ROOF TRUSS NOTES SEE NOTES ON SHEET S-002.

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
JT	ROOF TRUSS (COMMON)	24" OC MAX
SGT	SUPERTRUSS (GABLE TRUSS)	
HT	HIPPED TRUSS	24" OC MAX
JT	VALLEY JACK TRUSS	24" OC MAX
CJT	COMMON JACK TRUSS	
GT	GIRDER TRUSS	
HJT1	HIPPED TRUSS (GIRDER TYPE)	
DT (PT)	DRAG TRUSS	
CGT	CALIFORNIA GIRDER TRUSS	
HR	HIP RAFTER / JACK RAFTER	
CHT	CALIFORNIA HIP TRUSS	24" OC MAX

(PT) - TOTAL DRAG FORCE IN ALL DRAG FORCES AT A FACTORED LEVEL (E.G. DRAG FORCES CALCULATED IN ACCORDANCE WITH ASCE 7-16 12.10.1.1). IN STRUCTURES ENTIRELY BRACED BY LIGHT FRAME SHEAR WALLS, OR PORTICAL TIMBER SPACE-FRAMED WALLS, IN ADDITION TO DEEP FORCES (SEE THE LOAD COMBINATIONS OF ASCE 7-16 SECTION 12.4.2.3). ALL OTHER STRUCTURES DRAG SHALL INCLUDE THE EFFECT OF OVERSTRENGTH PER ASCE 7-16 12.4.3.2

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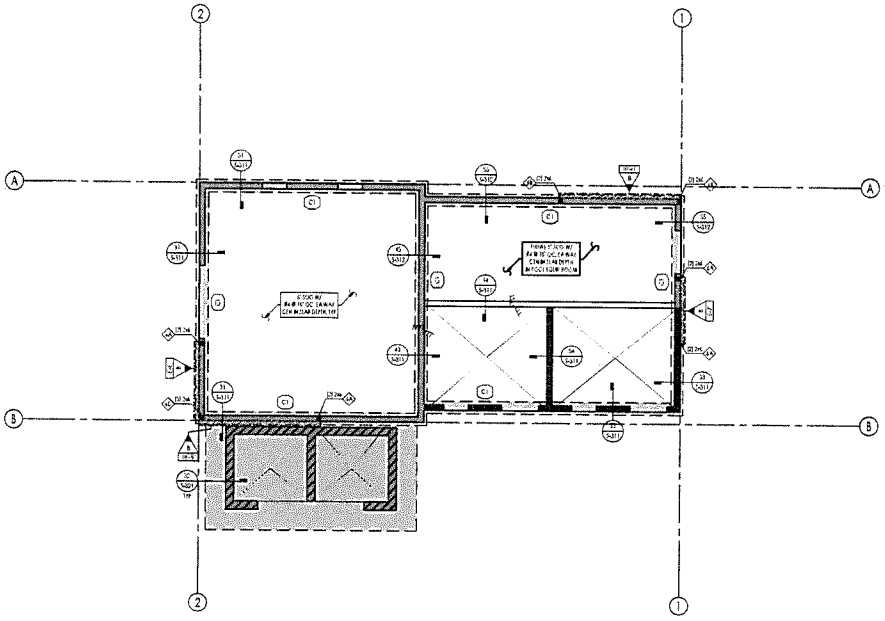
BLDG 4 - ROOF FRAMING PLAN

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S4-205



1 BLDG 5 - FOUNDATION PLAN
SCALE 1/4" = 1'-0"

PLAN NORTH TRUE NORTH

FOUNDATION PLAN NOTES

1. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET (S)
STANDARD AND METAL ANCHORS	S-201
STRUCTURAL GENERAL NOTES	S-102 - S-5.2
TESTING AND INSPECTION	S-104
TYPICAL CONCRETE DETAILS	S-202
TYPICAL WOOD DETAILS	S-401 - S-405

2. SEE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATIONS. REFERENCE FINISHED FLOOR ELEVATION = 0'-0" CORRESPONDS TO FINISHED FLOOR ELEVATION
3. ALL DIMENSIONS SHOWN ARE FROM FACE OF CONCRETE (UNMASONRY), FACE OF SHEATHING, OR CENTERLINE OF COLUMN. ALL COLUMNS ARE CENTERED IN STUD WALLS, UNO
4. FOR ANY DIMENSIONAL INFORMATION NOT SHOWN, SEE ARCHITECTURAL DRAWINGS
5. SEE ARCHITECTURAL DRAWINGS FOR ANY EMBEDDED ITEMS AND ALL EXTERIOR CONCRETE PAVE
6. SEE PLANS AND ARCHITECTURAL DRAWINGS FOR DEPRESSIONS AND/OR SLOPES IN CONCRETE SLABS
7. SEE ARCHITECTURAL DRAWINGS FOR TEE AND LOCATION OF ALL DUCTS AND MISCELLANEOUS OPENINGS IN BEARING AND NON-BEARING WALLS
8. SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF INTERIOR NON-BEARING PARTITIONS
9. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL EMBEDDED ITEMS AND PLANE PENETRATIONS
10. FOR TYPICAL SLAB-ON-GRADE REQUIREMENTS, INCLUDING SLAB SOAKS, SEE DETAIL 3/S-201
11. ALL POSTS IN CF WALLS SHALL BE 4x4, UNLESS NOTED OTHERWISE
    ALL POSTS IN CF WALLS SHALL BE 4x6, UNLESS NOTED OTHERWISE
12. PLATE WASHERS ARE REQUIRED FOR ALL BOLT PLATE ANCHOR BOLTS. REFER TO 3/S-401 FOR PLATE WASHER REQUIREMENTS AT METAL STUD WALLS
13. ALL HOLDOWN ANCHOR RODS SHALL BE TIGHTENED AND PRETENSIONED PRIOR TO CONCRETING
14. ALL BOLT HOLES IN WOOD MEMBERS SHALL BE DRILLED A MAXIMUM OF 1/16", OVERSIZED. INSPECTOR TO VERIFY
15. THE BUILDING PAD SHALL BE PREPARED AS OUTLINED IN DETAIL 5/S-202. THE BUILDING OFFICIAL SHALL REQUIRE PAD CERTIFICATION BY A GEOTECHNICAL ENGINEER AT PRE-POUR REVIEW
16. BOTTOM OF FOOTING SHALL BE UNIFORM DEPTH. FOUNDATIONS ARE REQUIRED BY THE BUILDING OFFICIAL:
    A. ___ BELOW PAD OR ADJACENT GRADE AT PERIMETER, WHICHEVER IS DEEPER, UNO.
    B. ___ BELOW PAD OR ADJACENT GRADE AT INTERIOR GRADE BEAMS, WHICHEVER IS DEEPER, UNO
    NOTE: FOOTING MAY BE DEEPENED LOCALLY PER DETAIL 12/S-201 TO ACCOMMODATE ANCHOR BOLT HOLDOWN HARDWARE REPAIR

SYMBOL LEGEND

CF-1	INDICATES STRAP WALL TYPE AND LENGTH. SEE SCHEDULE C-W 15/S-401
	INDICATES CONCRETE CURB PER DETAIL 11/S-202
	INDICATES SLEEVED ROOFING PER DETAIL 12/S-201
	INDICATES SLEEVED BOLTS ON FLOOR PER DETAIL 3/S-201

SCHEDULES

HOLDOWN SCHEDULE

INDICATES HOLDOWN / STRAP TYPE	INDICATES HOLDOWN / STRAP TYPE	DETAIL
HD	INDICATES STAMPED STRAP TO WALL BELOW	12/S-401
HD	INDICATES STAMPED STRAP TO BEAM BELOW	14/S-401
HD	INDICATES UNIBOLT DTT2 HOLDOWN TO CONC FOUNDATION CONC STEM WALL	7/S-211 / 7/S-211
HD	INDICATES STAMPED SB HOLDOWN TO CONC STEM WALL CONC FILL WALL	14/S-211 / 14/S-211

CONTINUOUS FASTENER SCHEDULE

MARK	WIDTH	ASTM COATED BLOCK (CONSULT PAD GRADE	CONN TERM	TO ANC TERM	DETAIL
C1	1-1/2	MS HOTDIP Zn	10d NAIL	#5 @ 24" OC BOT	1/S-211

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AGENCY

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24960 ADAMS AVE, MURRIETA, CA 92562

BLDG 5 - FOUNDATION PLAN

NO.	REVISION	DATE
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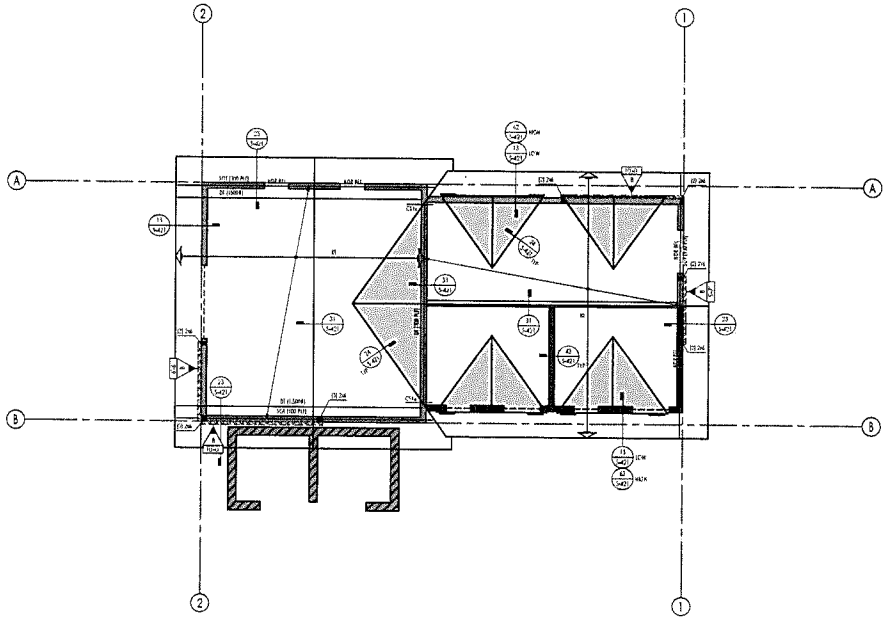
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S5-201



1 BLDG 5 - ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"

PLAN NORTH TRUE NORTH

ROOF FRAMING NOTES

1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS INCLUDING: (NOT ALL LIMITED TO: THE FOLLOWING, ALL DIMENSIONS TO BE VERIFIED PRIOR TO CONSTRUCTION
   A. GRID DIMENSIONS AND NONGRIDAL COMPONENTS
   B. ALL DIMENSIONS, SLOPES, FINISH SURFACE SLOPES, DRAINS, SLAB DEPRESSIONS, ETC.
   C. LOCATION AND EXTENT OF EXTERIOR WALL ASSEMBLIES AND OPENINGS
   D. ALL NON STRUCTURAL WALLS
2. REFER TO THE FOLLOWING SHEETS FOR TYPICAL DETAILS

DESCRIPTION	SHEET(S)
SYMBOLS AND ABBREVIATIONS	S-001
STRUCTURAL GENERAL NOTES	S-002 - S-003
TESTING AND INSPECTION	S-004
TYPICAL CONCRETE DETAILS	S-501
TYPICAL WOOD DETAILS	S-601 - S-605

3. SEE ARCHITECTURAL DRAWINGS FOR ALL NON STRUCTURAL FRAMING AND TOP OF WALL PARAPETS, ETC.
4. SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF PIPES, DUCTS AND OTHER ROOF PENETRATIONS. FOR SOME PENETRATIONS NOT SHOWN ON ROOF FRAMING PLAN SEE DETAIL 2/S-602 FOR TYPICAL OPENINGS, UNO.
5. ALL POSTS (4x4) WALLS SHALL BE 4x4 UNLESS NOTED OTHERWISE.
   ALL POSTS (6x6) WALLS SHALL BE 6x6 UNLESS NOTED OTHERWISE.

   TYPICAL WALL FRAMING SHALL BE
   2x6 @ 16" OC IN ALL EXTERIOR WALLS, UNO
   2x4 @ 16" OC IN ALL INTERIOR BEARING WALLS, UNO
   2x4 @ 16" OC IN ALL INTERIOR NONBEARING WALLS, UNO
6. ALL INTERIOR WALLS NOT SHOWN ON THIS STRUCTURAL FRAMING PLANS BUT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE CONSTRUCTED FOR NONBEARING EXTERIOR WALL DETAIL 4/S-602, UNO
7. DIAPHRAGM TYPES:
   ALL ROOF DIAPHRAGMS SHALL BE TYPE 1A, UNO
   REFER TO S-0401
8. ALL LINES AND ANCHOR BOLTS INDICATED AS TYPICAL SHALL EXTEND DEPTHS OF REINFORCED MASONRY (MR) STOPS.
9. PLATES, MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, DRILLED OR OTHERWISE ALTERED IN ANY WAY WITHOUT WRITTEN CONCURRENCE AND APPROVAL OF A RESPONSIBLE DESIGN PROFESSIONAL.
10. ALTERATIONS REQUIRING NOTIFICATION OF LOADING EQUIPMENT, MECHANICAL EQUIPMENT, WATER HEATERS SHALL NOT BE PERMITTED WITHOUT VERIFICATION THAT THE TRUSS IS CAPABLE OF SUPPORTING SUCH ADDITIONAL LOADING.

SYMBOL LEGEND

- INDICATES SHEAR WALL TYPE AND LENGTH, SEE SCHEDULE ON S-0.402
- INDICATES BLOCKING OR STRAPPING ABOVE OR BELOW WINDOW OR DOOR PER DETAIL 4/S-602
- INDICATES ARE BOLT REFER TO ARE SCHEDULE PER S-201
- INDICATES HEADER OR OPENING, REFER TO S-0401 FOR HEADER SIZE UNO ON PLANS
- INDICATES TOP PLATE SPLICE WARNING PER S-0.402 NOTE THAT NAILING APPLIES TO ENTIRE LENGTH OF TOP PLATE, PROVIDE TYPE (C) SPLICE, UNO
- INDICATES COMP. BAR & STRAP PER 2x6-A66 @ 800X, UNO
- INDICATES STRAP PER 2x6-A66, UNO
- INDICATES DRAG TRUSS CONNECTION PER 3/S-A66, UNO

PREFABRICATED ROOF TRUSS

1. FOR PREFABRICATED WOOD TRUSS NOTES SEE NOTES ON SHEET S-002

ROOF TRUSS SCHEDULE

MARK	DESCRIPTION	REMARKS
T1	ROOF TRUSS (COMMON)	24" OC MAX
SGT	STRUCTURAL GABLE TRUSS	
M1	MONO PITCH TRUSS	24" OC MAX
J1	JACK TRUSS	24" OC MAX
VT	VALLEY JACK TRUSS	24" OC MAX
C1T	CORNER JACK TRUSS	
G1	GIRDER TRUSS	
MG1	MONO PITCH GIRDER TRUSS	
D1 (F1)	DRAG TRUSS	
CG1	CALIFORNIA GIRDER TRUSS	
H1	HIP RAFTER / VALLEY RAFTER	
CH1	CALIFORNIA HIP TRUSS	24" OC MAX

(F1) - 1000 LB DRAG FORCE IN LIEU OF DRAG FORCES (L & V) NOTED ON PLAN. DRAG FORCES CALCULATED IN ACCORDANCE WITH ASCE 7-16 12.10.1.1 IN STRUCTURES WHERE I = 1.0 AND SDS = 0.9 (SEE NOTE 1 ON SHEET S-002). THE 1000 LB DRAG FORCE IS ASSUMED TO ACT ALONG THE LONGITUDINAL LOAD COMBINATIONS OF ASCE 7-16 SECTION 12.4.2.3 IN ALL OTHER STRUCTURES DRAGS SHALL INCLUDE THE EFFECTS OF EARTHQUAKE PER ASCE 7-16 12.4.2.

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ADDITIONAL

INITIAL B&S SUBMITTAL

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BLDG 5 - ROOF PLAN

NO.	REVISION	DATE
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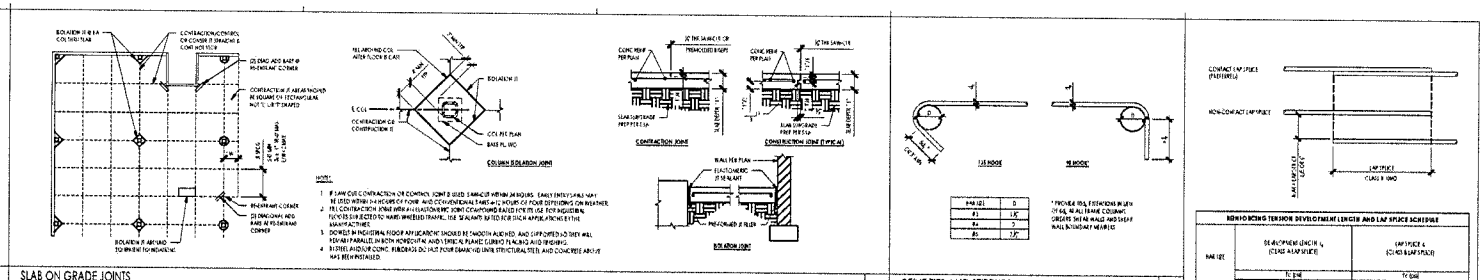
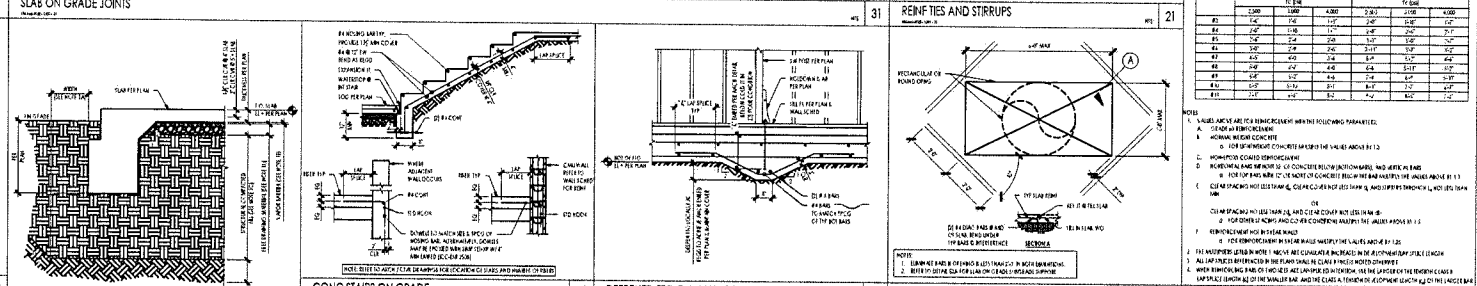
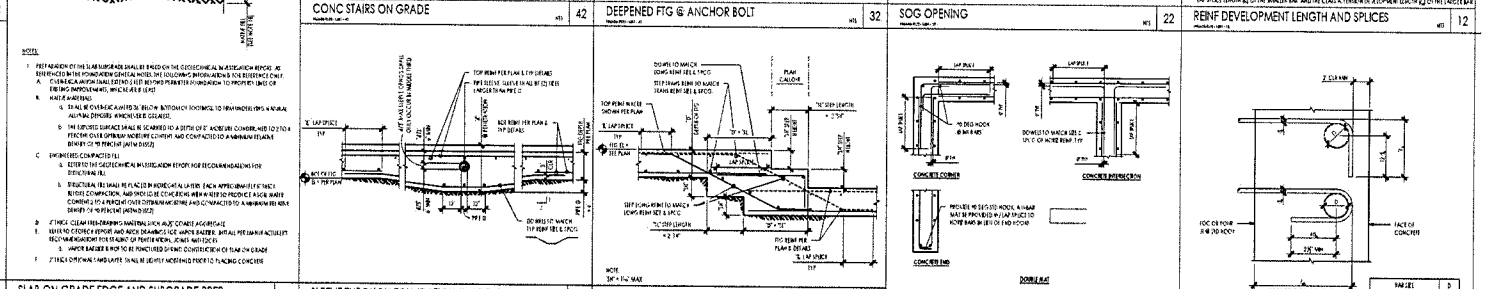
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S5-202



61 SLAB ON GRADE JOINTS — 31

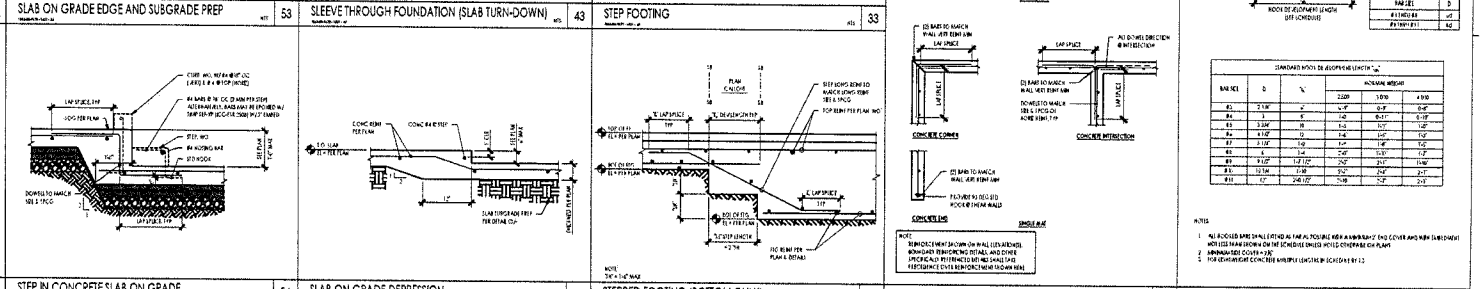


62 CONC STAIRS ON GRADE — 42



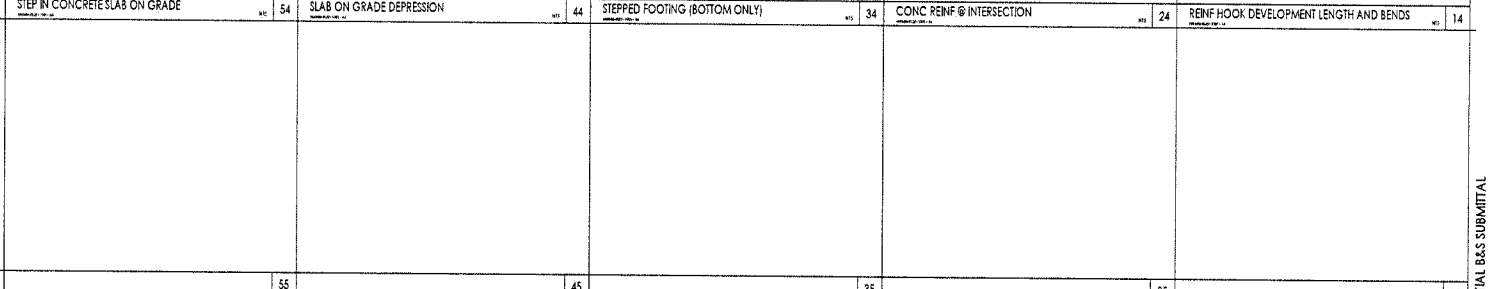
63 SLAB ON GRADE EDGE AND SUBGRADE PREP — 53

SLEEVE THROUGH FOUNDATION (SLAB TURN-DOWN) — 43



64 STEP IN CONCRETE SLAB ON GRADE — 54

SLAB ON GRADE DEPRESSION — 44



65 — 55 — 45

DEEPENED FTG @ ANCHOR BOLT — 32

STEP FOOTING — 33

STEPPED FOOTING (BOTTOM ONLY) — 34

REINF TIES AND STIRRUPS — 21

SOG OPENING — 22

CONC REINF @ INTERSECTION — 24

REINF DEVELOPMENT LENGTH AND SPLICES — 12

REINF HOOK DEVELOPMENT LENGTH AND BENDS — 14

66 — 56 — 46 — 36 — 26 — 16

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TYPICAL CONCRETE DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-301

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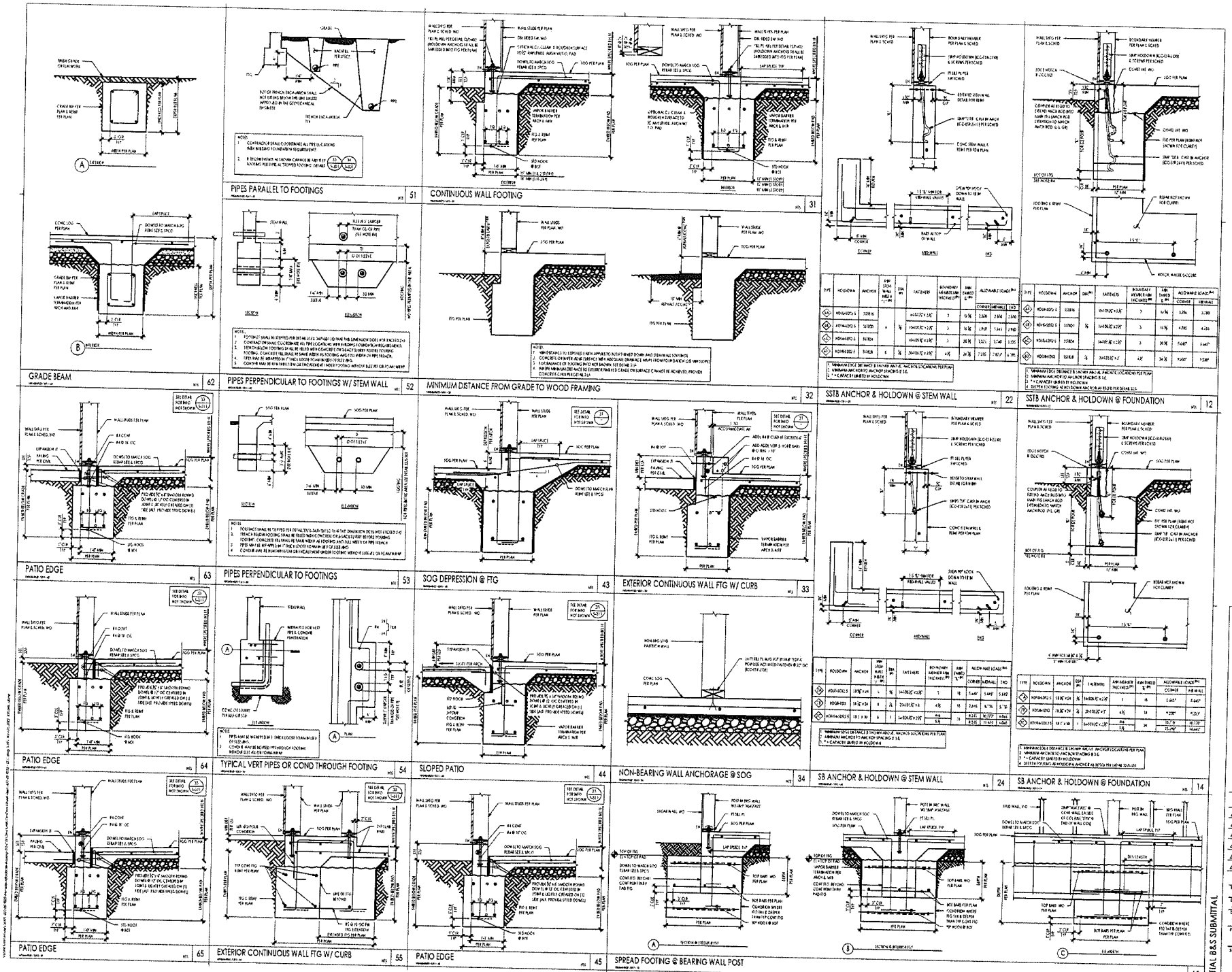

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24960 ADAMS AVE, MURRIETA CA 92562

CONCRETE DETAILS

NO.	REVISION	DATE
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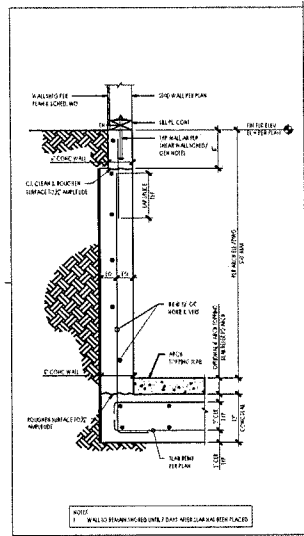
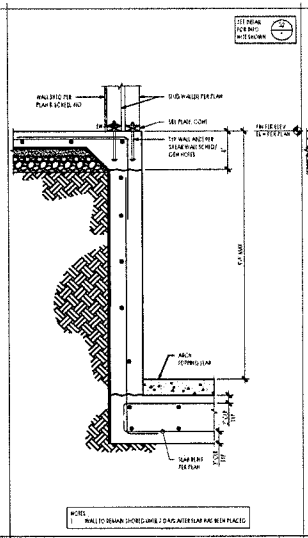
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-311

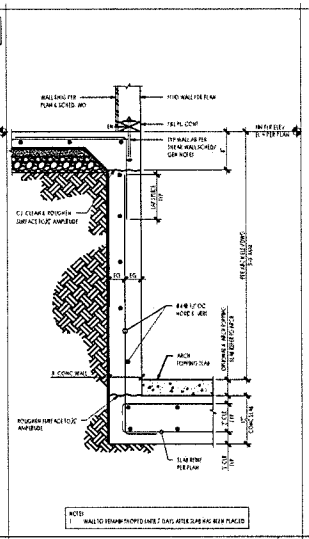
INITIAL B&S SUBMITTAL



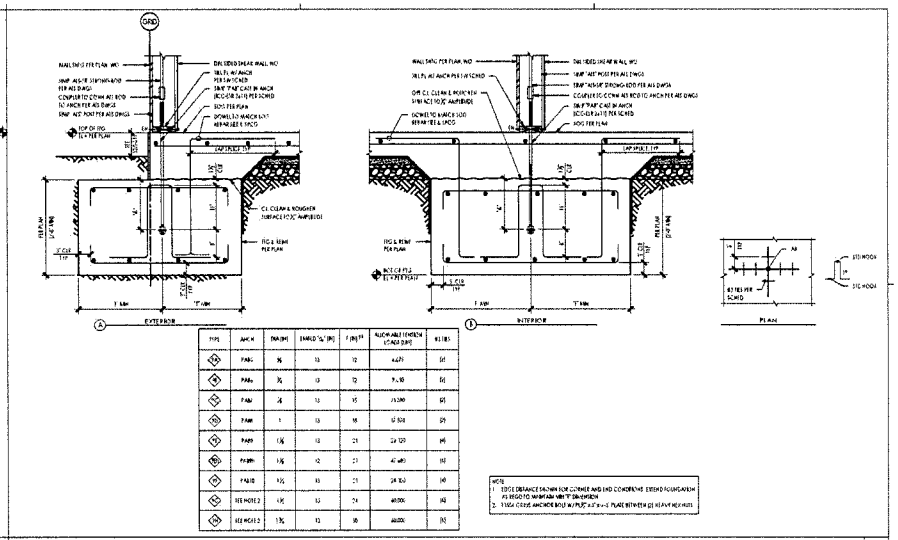
ELEVATOR PIT DETAIL 62



ELEVATOR PIT DETAIL @ DBL WALL 52



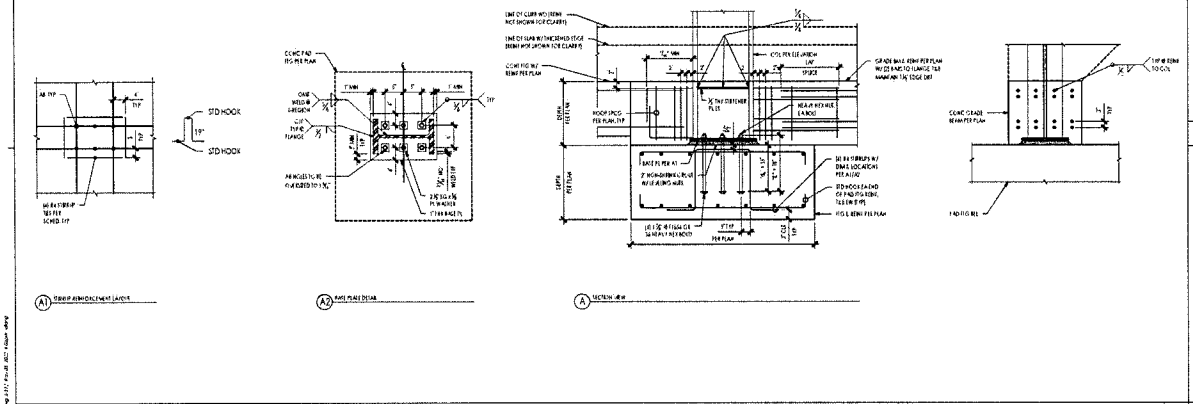
ELEVATOR PIT DETAIL 42



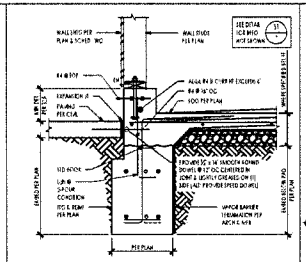
TYPE	ANCH	DIA (IN)	EMBED (IN)	F (IN)	ALLOW AXIAL TENSION (LBS)	V (LBS)
1	PABA	3/8	13	12	4,675	5[illegible]
2	PABB	3/8	13	12	9,350	5[illegible]
3	PABC	1/2	13	15	15,200	6[illegible]
4	PABD	1	13	18	57,500	8[illegible]
5	PABE	1 1/4	13	21	89,700	9[illegible]
6	PABF	1 1/2	12	21	42,400	10[illegible]
7	PABG	1 1/2	13	21	58,100	10[illegible]
8	SEE NOTE 2	1 1/2	13	24	48,000	10[illegible]
9	SEE NOTE 2	1 3/4	13	30	48,000	10[illegible]

NOTE
1. EDGE DISTANCE SHOWN FOR CORNER AND END CONDITIONS. EXTEND FOUNDATION AS REQUIRED TO MAINTAIN MIN 7" DIMENSION
2. THIS CODE ANCHOR BOLT IS PRECAST INTO 2-1 PLACE BETWEEN (2) HEAVY HEX NUTS

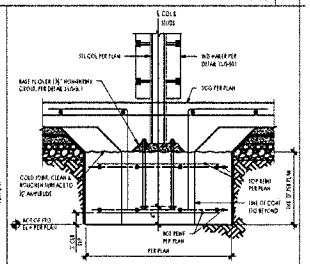
PAB ANCHORAGE & HOLDOWN @ ATS 12



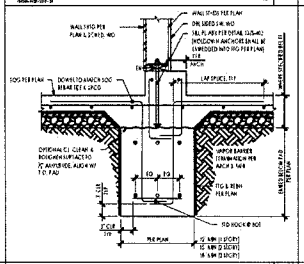
FIXED MOMENT FRAME FOUNDATION 34



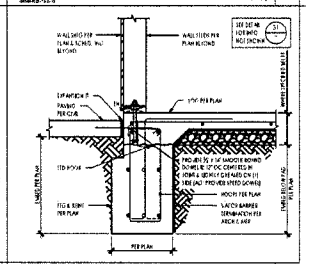
EXTERIOR CONTINUOUS WALL FTG W/ CURB 23



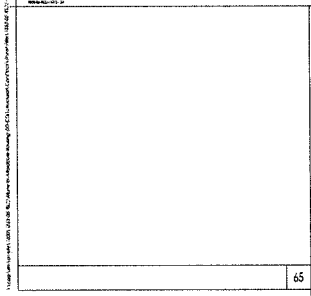
STEEL COL @ INTERIOR CONT FTG 13



CONTINUOUS WALL FOOTING 24



EXTERIOR CONTINUOUS WALL FTG W/ CURB 14



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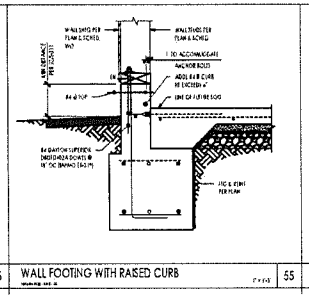
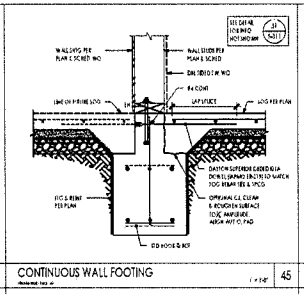
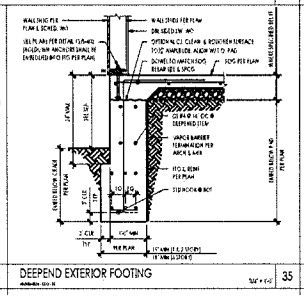


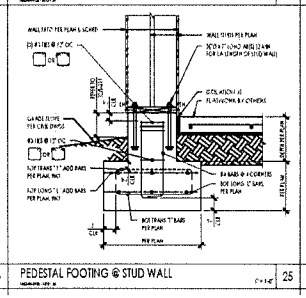
WALL FOOTING WITH RAISED CURB 55



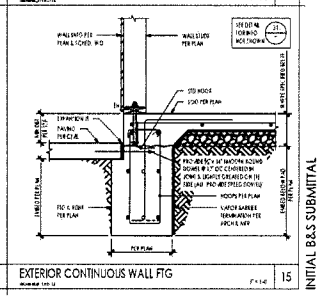
CONTINUOUS WALL FOOTING 45



DEEPEND EXTERIOR FOOTING 35



PEDESTAL FOOTING @ STUD WALL 25



EXTERIOR CONTINUOUS WALL FTG 15

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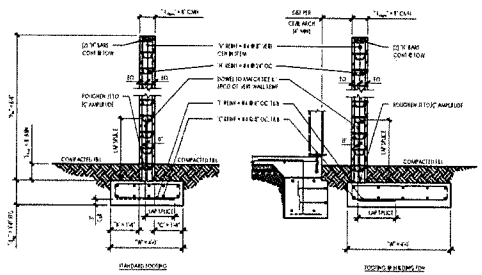
24960 ADAMS AVE, MURRIETA, CA 92562

CONCRETE DETAILS

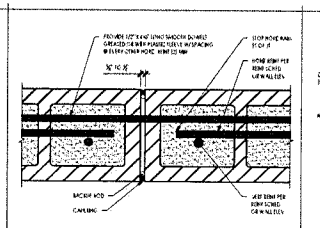
NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-312

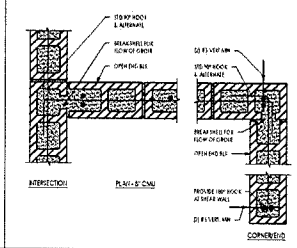
INITIAL B&S SUBMITTAL



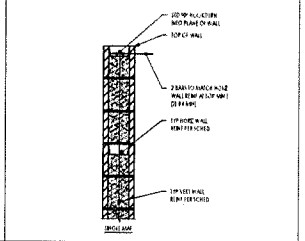
61	51		
62	52	FREE-STANDING CMU WALL	32
63	53	43	33
64	54	44	34
65	55	45	35



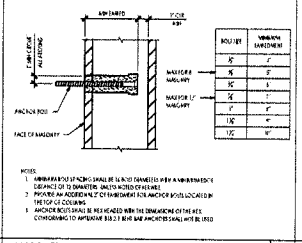
CONTROL JOINT W/ CONT REINFORCEMENT 21



MASONRY WALL CORNER DETAIL 22



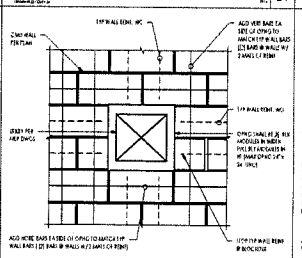
TYP REINF AT TOP OF WALL 23



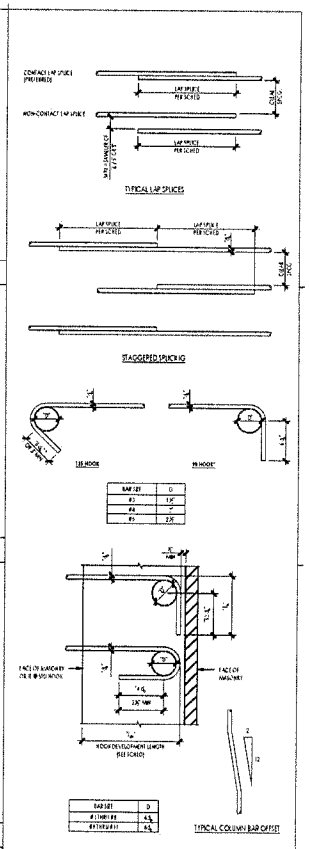
BOLT SIZE	VERTICAL EMBEDMENT
1/2"	7"
5/8"	8"
3/4"	9"
7/8"	10"
1"	12"
1 1/8"	14"
1 1/4"	16"

NOTES:
1. MINIMUM 1/2" DIA BOLTS SHALL BE SLOTTED DIAMETER WITH A MINIMUM EDGE DISTANCE OF 1.5 DIAMETERS. (UNLESS NOTED OTHERWISE)
2. PROVIDE AN ADDITIONAL 2" OF EMBEDMENT FOR ANCHOR BOLTS LOCATED IN THE TOP OF COURSING
3. ANCHOR BOLTS SHALL BE HEX HEADED WITH THE DIMENSIONS OF THE HEX CONFORMING TO AMERICAN S.B.C.I. BOLT AND ANCHOR DETAILS WITH BL. DISD

MASONRY ANCHOR BOLT SCHEDULE 24



RECTANGULAR PENETRATION IN MASONRY 25



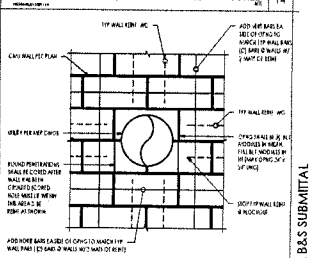
BAR SIZE	D
#3	3 1/2"
#4	4"
#5	5 1/2"

BAR SIZE	D
#7 (TWO BR)	4 1/2
#7 (THREE BR)	4 1/2

BAR SIZE	DEVELOPMENT LENGTH (LD) OR LAP SPLICE LENGTH (LS)	HOOKED DEVELOPMENT LENGTH (LDH)	D	L
#3	20"	6"	3 1/2	6"
#4	26"	8"	4	8"
#5	33"	10"	5 1/2	10"
#6	40"	12"	6 1/2	12"
#7	53"	16"	8 1/2	12"
#8	68"	19"	9	14"
#9	87"	22"	10 1/2	14"

NOTES:
1. LD = DEVELOPMENT LENGTH (LS) AND SPLICE LENGTH (IN) INDICATED IN SCHEDULES FOR ALL DOWEL LENGTHS MUST SHOWN ON PLANS UNLESS OTHERWISE FURNISHED BY THE TRADE AND JURISDICTION AGENCY.
2. LD = DEVELOPMENT LENGTH (LS) AND SPLICE LENGTHS (IN) INDICATED IN SCHEDULE CORRESPOND TO GRADE 60 BARS IN 4,000 PSI (28 MPa) NORMAL WEIGHT CONCRETE.
3. THE ACCEPTANCE OF ALL DOWEL DEVELOPMENT AND SPLICE LENGTHS ARE NOT SPECIFICALLY DETAILED AND DIMENSIONED ON THE DRAWINGS.
4. WHERE BARS OF DIFFERENT SIZES ARE LAP SPLICED, SPLICE LENGTH IS ALL BE THE SPLICE LENGTH OF THE SMALLER BAR.
5. NOTE THAT THE LAP SPLICES SHOWN ACCOUNT FOR THE INCREASE IN LAP SPLICE IN REGIONS OF HIGHER WHERE THE DESIGN ALLOWABLE STRESS IN THE REINFORCEMENT ARE LESS THAN 60 PERCENT OF THE ALLOWABLE STRESS HIGH STRESS, IS.
6. D = FINISHED INSIDE BEND DIAMETER
7. d_b = NOMINAL BAR DIAMETER

MASONRY-LAP SPLICE / DEVELOPMENT LENGTH SCHED 14



ROUND PENETRATION IN MASONRY 15

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MURRIETA APARTMENTS
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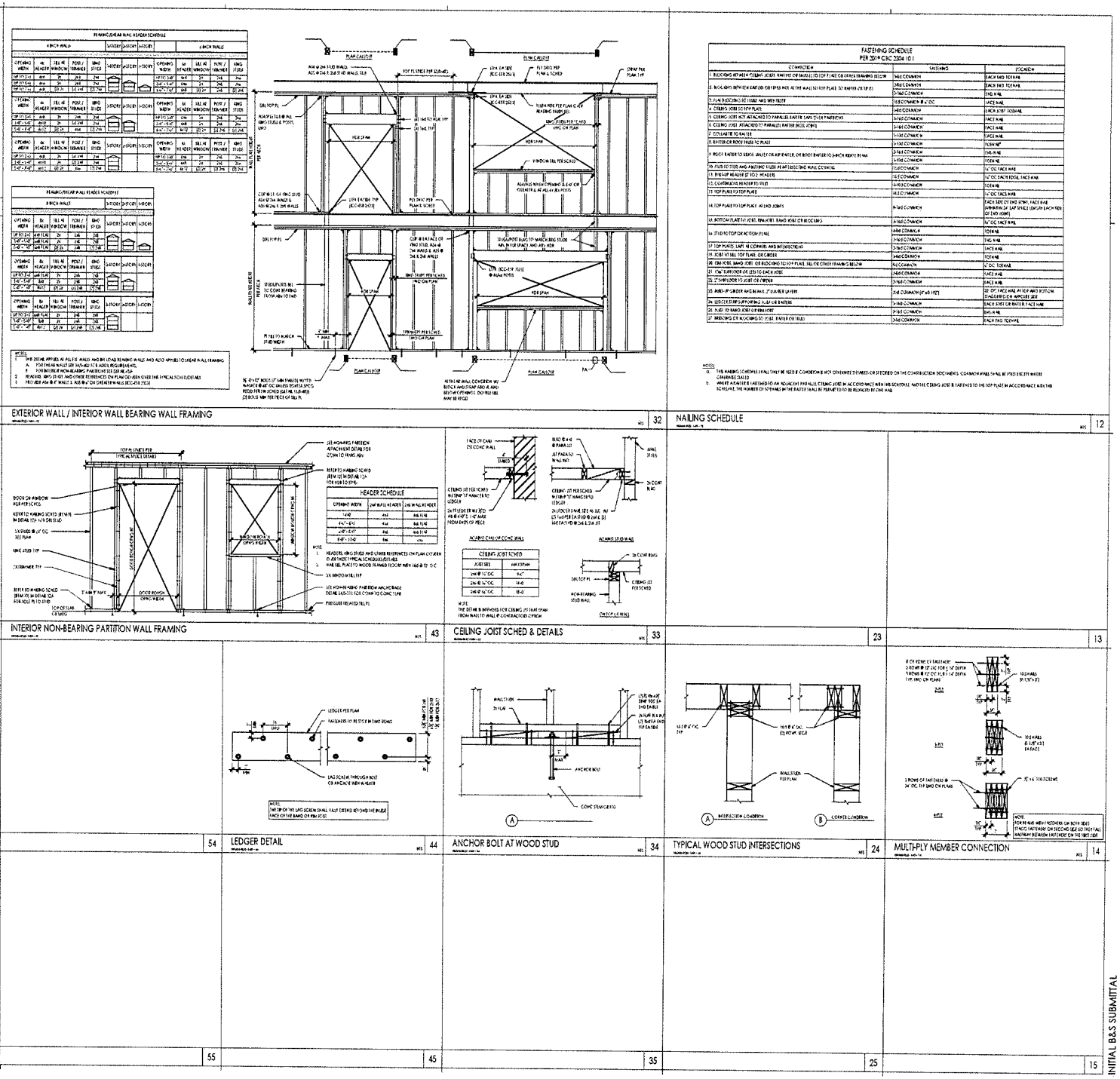
TYPICAL MASONRY DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-321



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TYPICAL WOOD DETAILS

NO.	REVISION	DATE
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△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-401

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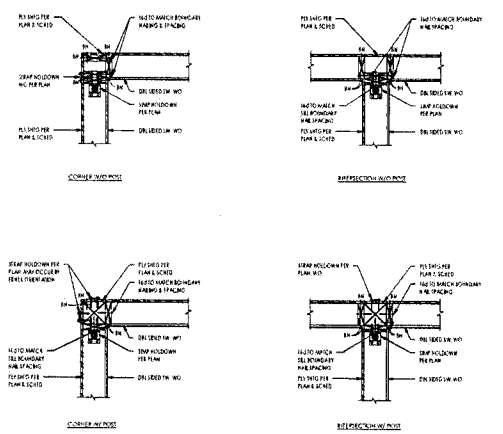
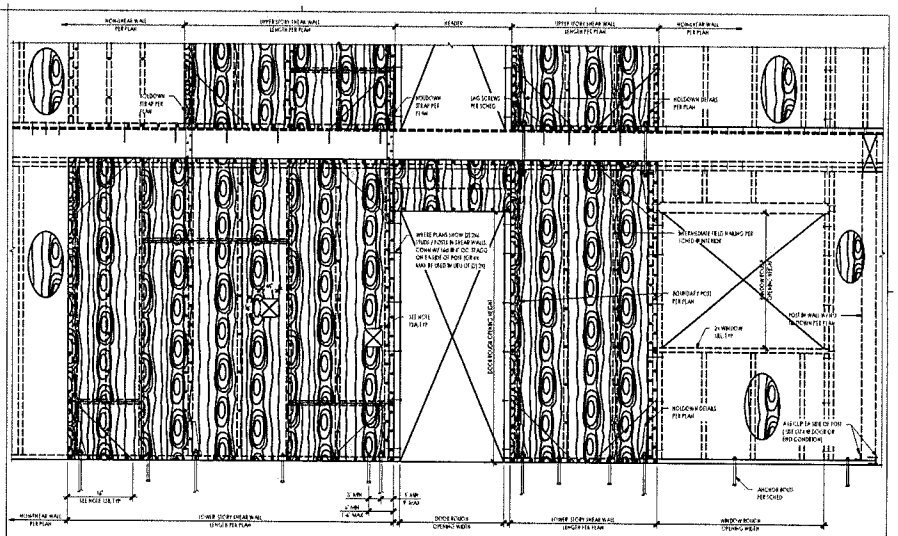
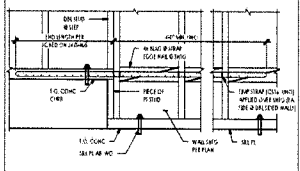


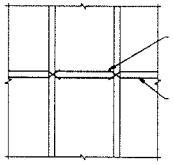
61



62 SHEAR WALL INTERSECTION 42



63 STRAP AT STEP IN SHEAR WALL SILL PLATE



53 TYPICAL BLOCKING DETAIL 43

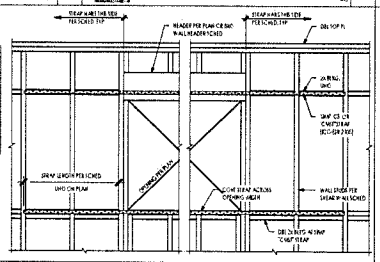
WALL MARK	STRUCT SHEATHING	T.O.	* DRAWING SEE	NAILING 2,3,4 EDGES	INTERMEDIATE SUPPORTS	SILL NAILING 7 WALL STUDS	LOG SCREWS 14 OPTION	AVG	10,11 ANCHOR BOLTING	CAPACITY PER LENG. WALL SEGMENT
1	15/32" STRUCT I PLYWOOD	2x	1/A1.0 @ 7" OC	10d @ 4" OC	10d @ 12" OC	16 OC	14" OC	5/8" DIA @ 48" OC	360 PLF
2	15/32" STRUCT I PLYWOOD	2x	1/A1.0 @ 7" OC	10d @ 4" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	16 OC	14" OC	340 PLF
3	15/32" STRUCT I PLYWOOD	2x	1/A1.0 @ 7" OC	10d @ 4" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	4 OC	12" OC	540 PLF
4	15/32" STRUCT I PLYWOOD	2x	10d @ 3" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	4 OC	8" OC	5/8" DIA @ 32" OC	610 PLF
5	15/32" STRUCT I PLYWOOD	2x	10d @ 2" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	4 OC	8" OC	5/8" DIA @ 32" OC	760 PLF
6	15/32" STRUCT I PLYWOOD (EACH FACE OF WALL)	2x	10d @ 4" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	4 OC	8" OC	5/8" DIA @ 32" OC	860 PLF
7	15/32" STRUCT I PLYWOOD (EACH FACE OF WALL)	2x	10d @ 3" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	(2) 8 OC*	8" OC*	5/8" DIA @ 16" OC	1060 PLF
8	15/32" STRUCT I PLYWOOD (EACH FACE OF WALL)	2x	10d @ 2" OC	10d @ 12" OC	SAME AS LAG SCREWS @ 16" OC	(2) 8 OC*	8" OC*	5/8" DIA @ 16" OC	1200 PLF
9	15/32" STRUCT I PLYWOOD (EACH FACE OF WALL)	2x	10d @ 2" OC	10d @ 4" OC	SAME AS LAG SCREWS @ 16" OC	(2) 8 OC*	(2) 8 @ 4" OC*	5/8" DIA @ 16" OC	1740 PLF

NOTES:
1. ALL PLYWOOD SHALL BE GRADE MINIMUM WITH A SPAN RATING OF 32/16 AND ALL PANEL EDGES SHALL BE BACKED. PROVIDE 1/8" GAP AT ALL PANEL JOINTS.
2. ALL NAILS SHALL BE COMMON NAILS.
3. PROVIDE 3 X 3X ANGLE AND UNDER ENVELOPE WITH HOLDOWNS ON THE DRAWINGS. SILL PLATES AND STOP PLATES.
4. WHERE THE NAILS ARE SPACED ON CENTER OR LESS, NAILS SHALL BE STAGGERED.
5. NAILS SHALL BE 1/2 INCH MINIMUM FROM PLYWOOD PANEL EDGE AND 3/8 INCH MINIMUM FROM CONNECTING MEMBER EDGE WHERE THE NAILS EXCEED 300 PLF.
6. USE 2x FRAMING AS HORIZONTAL PLATES. BLOCKING AND ALL FOUR (4) ADJACENT PANEL EDGES WHERE SHEAR EXCEEDS 300 PLF. STRUCTURALLY ACCEPTABLE ALTERNATE IS USE (2) 2x INSTEAD OF 4x FRAMING AS HORIZONTAL PLATES.
7. WHERE SILL SHEAR TRANSFER IS THROUGH LAG SCREWS, SILL PLATE SHALL BE A MINIMUM OF 3 1/2" THICK.
8. LAG TO BEAM SHALL BE 4 INCHES LONG AND HOLES ARE TO BE PRE-DRILLED 40 TO 60% OF THE BLOCKING DEPTH.
9. SEE DETAILS ON ANCHOR FOR TYPICAL CONSTRUCTION.
10. REFER TO PLANS FOR ANCHOR BOLTS AS REQUIRED FOR EMBEDMENT AND SILL PLATE THICKNESS.
11. ANCHOR BOLTS AND ANCHOR BOLTS AS REQUIRED FOR PLYWOOD HOLES. WHERE PLYWOOD IS RATED BY APA PERFORMANCE STANDARD DRAWING AND IS OF THE SAME NUMBER OF LAYERS AS PLYWOOD PLYWOOD RATED.
12. USE WASHERS OF WITH MECHANICAL PENETRATIONS IN SHEAR WALLS.
   A. 4 X 4 X 1/4" WASHER MINIMUM.
   B. 4x WOOD OR METAL IN SHEARWALL WHERE NOT AT CORNERS, SQUARE PENETRATION SHALL NOT BE CLOSER THAN 1/2" FROM EDGE OF WASHER.
13. REFER TO 1/A1.0 FOR ALL PLYWOOD. FASTENER EDGE DIST IS 3/8" MIN & 2" END DISTANCE MIN 2" MIN FASTENER INTO 3x BOARD.
   WALL NO DOUBLE SIDED PLYWOOD REQUIRE SEAM BOARDS.
14. SIMPSON STRONG CLIP SHALL BE INSTALLED IN A CONCENTRIC OVERLAPPING FASHION. IF CLIP IS NOT NEEDED TO ACHIEVE SHEARING, (2) 10d x 2 1/2" NAILS IN ALL SIDES.

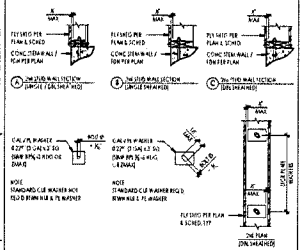
64 FORCE TRANSFER AROUND OPENINGS 44

MARK	# OF PLYS	SIMPSON STRAP	WALL SHEARED OF OPENING	STRAP LENGTH (IN)	ALLOWABLE TENSION ADJ. (LBS)
▽	1	CS16	(16) 10d x 3 1/2"	12	1,510
▽	1	CS14	(20) 10d x 3 1/2"		1,955
▽	1	CS14	(26) 10d x 3 1/2"		2,490
▽	2	CMST12	(30) 10d x 3 1/2"		4,490
▽	2	CMST14	(46) 10d x 3 1/2"		6,455
▽	2	CMST12	(54) 10d x 3 1/2"	19	7,210

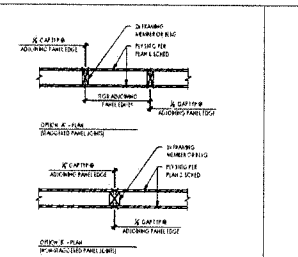
NOTES:
1. 2 BAYS OR 12' MIN STRAP LENGTH
2. BOUNDARY AND EDGE NAILING TO HAPPY PACK OR 10 STUDS / FRAMING SHALL OCCUR ABOVE AND BELOW OPENINGS AT THE CORNERS
3. SEE TYPICAL SHEAR WALL ELEVATION FOR BALANCE OF INFO NOT SHOWN



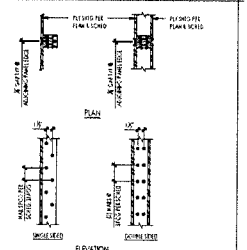
65 55 45



34 PLATE WASHER DETAIL 35



24 DOUBLE SIDED SHEAR WALL 25



14 2x STUD NAILING @ ADJOINING PANEL EDGES 15

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nationalcore.org

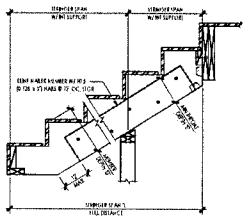
AGENCY

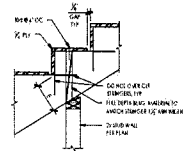
MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA, CA 92562

TYPICAL WOOD DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-402





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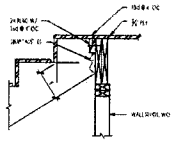

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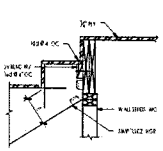

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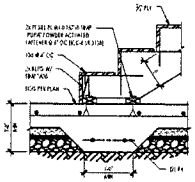
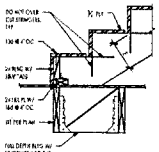
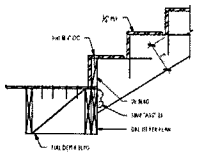


F DETAIL



D DETAIL



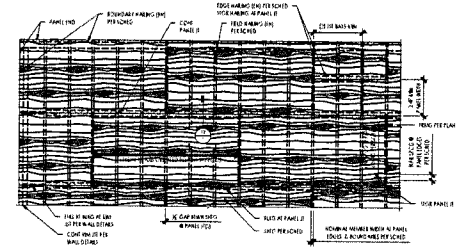
B DETAIL

MAXIMUM ALLOWED DAMAGE = 1/8.0			
MATERIAL DEPTH "W"	MATERIAL DEPTH "D"	MIN TREAD "T"	MAX LEAP "H"
1.5"	7.5	9.5"	2.0"

NOTES:
1. PANELS RATED ON 2.5" MAX RISE AND 10" MIN RUN
2. DEFLECTION CRITERIA
   DL = L/240
   TOTAL = L/240
3. LIVE LOAD CRITERIA
   DL = 24.2 PSI MAX
   LL = 100 PSI MAX
4. PROVIDE MINIMUM EFFECTIVE STRINGER DEPTH AS SHOWN. DO NOT OVER CUT STRINGER
5. SEE PROFILES ALL INFO NOT SHOWN

61

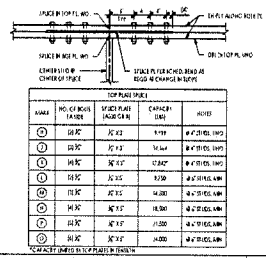
62 STAIR STRINGER CONNECTIONS



DIAPHRAGM SCHEDULE													
TYPE	LOCATION	SHEATHING SHEATHING	SHEATHING GRADE	STAM RATING	BLOCKING	NAILS	BOUNDARY NAILING (DIM)	EDGE NAILING AT CONE PANEL EDGES (DIM)	EDGE NAILING AT OTHER PANEL EDGES (DIM)	FIELD NAILING (DIM)	PANEL EDGE SUPPORT (OR NOMINAL MEMBER WIDTH AT PANEL EDGES)	LINES OF FASTENERS	
A	WOOD	SEE NOTES	SHEATHING	32 / 24	NO	10d	6	-	6	12	H-CLIPS	1	
B	FLOOR	23/32	SHEATHING/DECK	48 / 24	NO	10d	4	-	4	12	H-CLIPS	1	
C	WOOD	SEE NOTES	SHEATHING	32 / 16	YES	10d	6	3	6	12	2x4 FLAT	1	
D	FLOOR	23/32	SHEATHING/DECK	48 / 24	YES	10d	4	4	4	12	2x4 FLAT	1	
E	FLOOR	23/32	SHEATHING/DECK	48 / 24	YES	10d	4	4	4	12	2x4 FLAT	1	
F	FLOOR	23/32	SHEATHING/DECK	48 / 24	YES	10d	2	3	3	12	2x4 FLAT	1	

NOTES:
1. DIAPHRAGM NAILING SHALL BE PER FLOOR FRAMING PLAN AND NAILING SCHEDULE PROJECT GENERAL NOTES
2. MINIMUM EDGE DISTANCE FOR NAILS SHALL BE 3/8" EXCEPT FOR NAILING EDGE AND 3/4" FROM FRAMING EDGE
3. NAILS SHALL BE DRIVEN FLUSH TO TOP OF PLYWOOD SURFACE AND SHALL NOT PENETRATE THE TOP OF PLYWOOD WITH FRAME CONNECTORS DETECTED WITH HAMMER DRIVEN NAILS
4. WHERE H-CLIPS ARE SPECIFIED THEY CAN BE INSTALLED AS FOLLOWS:
   A. ONE H-CLIP SHALL BE PLACED BETWEEN ADJACENT PANELS AT ALLOCATION MIDWAY BETWEEN EACH PAIR OF TRUSSES, RAFTERS OR JOISTS. MORE THAN 32 H-CLIPS ARE REQUIRED BETWEEN SUPPORTS WHICH SPACED AT 16" ON CENTER
   B. USE THE SAME TYPE PANEL EDGE CLIP AS THE PANEL SHEATHING. H-CLIPS MUST BE DAMPLY
   C. ABUTTING WOOD STRUCTURAL PANELS BE MITED AS CLOSELY AS CLIPS PERMIT. DOCUMENTATION MUST BE OF ABUTTING SHEETS WHAT BE POSSIBLE PROVIDING THAT GAPS DO NOT EXCEED MAXIMUM OPENING OF 3/8"
5. PLYWOOD SHEATHING THICKNESS SHALL BE INSTALLED AS FOLLOWS:
   A. 7/16 @ SINGLE PLY OR ALTERNATE THICKNESS
   B. 7/16 @ TEE
   C. 7/16 @ TEE WITH NO GAP NAIL
6. STRUCTURALLY ACCEPTABLE TO USE THIS HAMMER OR FRAMING GRADE @ FLOOR LOCATIONS WITHOUT GYPCRETE TOPPING

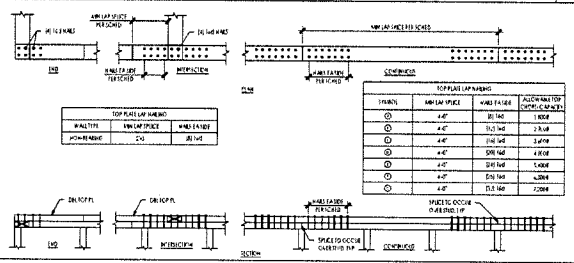
32 PLYWOOD DIAPHRAGM SHEATHING 12



TOP PLATE SPLICE				
MARK	PROJECT BOLTS (FASTER)	SPLICE PLATE (ALONG CENTER)	CAPACITY (LBS)	NOTES
A	(16) 3/C	3/C x 8.2	9,700	@ 2" STEEL, 1 HFS
2	(16) 3/C	3/C x 9.3"	14,400	@ 4" STEEL, 1 HFS
3	(14) 3/C	3/C x 9.3"	12,800*	@ 4" STEEL, 1 HFS
4	(12) 3/C	3/C x 9.5	9,700	@ 4" STEEL, 4 HFS
5	(12) 3/C	3/C x 9.5	14,200	@ 4" STEEL, 4 HFS
6	(14) 3/C	3/C x 9.5"	18,900	@ 4" STEEL, 4 HFS
7	(14) 3/C	3/C x 9.5"	21,500	@ 4" STEEL, 4 HFS
8	(14) 3/C	3/C x 9.5"	24,000	@ 4" STEEL, 4 HFS

*CAPACITY LIMITED BY TOP PLATE BY TENSION

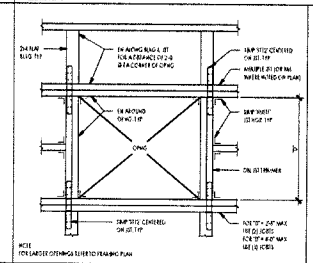
63 TOP PLATE SPLICE W/ STEEL TIE PLATE 53



TOP PLATE LAP NAILING		
WALL TYPE	MIN LAP SPLICE	NAILS EA SIDE
NON-RESILIENT	2'-0"	(8) 16d

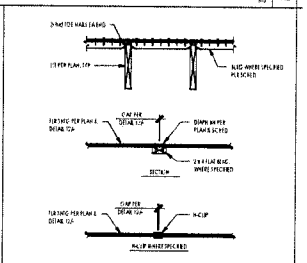
TOP PLATE LAP NAILING			
STRAPS	MIN LAP SPLICE	NAILS EA SIDE	ALLOWABLE TOP CHORD CAPACITY
2	4'-0"	(8) 16d	1,800#
3	4'-0"	(12) 16d	2,700#
4	4'-0"	(16) 16d	3,600#
5	4'-0"	(20) 16d	4,800#
6	4'-0"	(24) 16d	5,400#
7	4'-0"	(28) 16d	6,200#
8	4'-0"	(32) 16d	7,200#

53 DBL TOP PLATE SPLICE NAILING 33



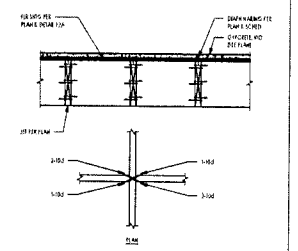
NOTE
FOR LARGER OPENINGS REFER TO FRAMING PLAN

23 OPENING AT FRAMING 13



13 DIAPHRAGM PANEL JOINTS

64 54 44 34 24 14



14 TYP JOIST BLOCKING

65 55 45 35 25 15

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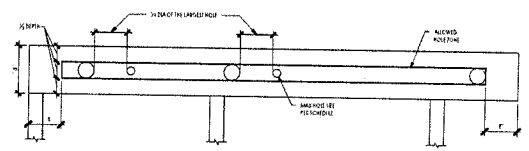
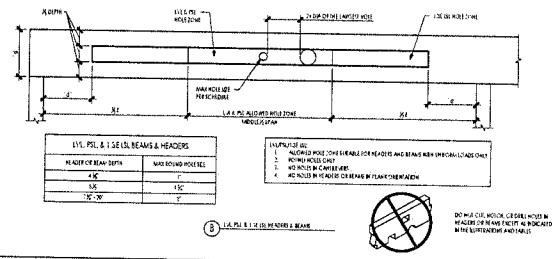
ADDENDA

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562
TYPICAL WOOD DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

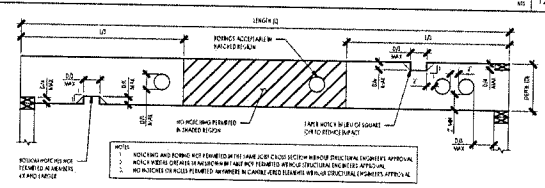
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J. LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-403





ALLOWABLE HOLES THRU ENGINEERED LUMBER HEADERS & BEAMS

NTS | 12



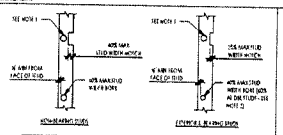
NOTES
1 NOTCHING AND BORING NOT PERMITTED IN THE SAME JOIST CROSS SECTION WITHOUT STRUCTURAL ENGINEERS APPROVAL
2 NOTCH WIDTH CREATES INSUFFICIENT NET NOT PERMITTED WITHOUT STRUCTURAL ENGINEERS APPROVAL
3 NO NOTCHES OR HOLES PERMITTED IN CANTILEVERED ELEMENTS WITHOUT STRUCTURAL ENGINEERS APPROVAL

NOTCH AND HOLE LIMITATIONS

JOIST SIZE	MAX NOTCH	MAX NOTCH DEPTH	MAX HOLE DIA.	MAX HOLE DIA.
2X4	NONE	NONE	NONE	NONE
2X6	1½"	⅜"	1½"	1½"
2X8	1¾"	1½"	1¾"	2¼"
2X10	2"	1½"	2¼"	3"
2X12	2¼"	1½"	2½"	3½"

SAWN LUMBER AND RAFTER JOIST NOTCHING AND BORING LIMITATIONS

NTS | 13



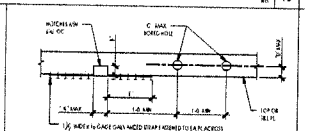
MAXIMUM BORED HOLE DIAMETER/NOTCH DEPTH

WALL SIZE (IN)	APPLICATION	MAX HOLE DIAMETER (IN)	MAX NOTCH DEPTH (IN)
2X4	NON-BEARING	2⅜"	1⅜"
	EXTERIOR/BEARING	1¼"	⅝"
2X6	NON-BEARING	3½"	1⅝"
	EXTERIOR/BEARING	2¼"	1⅜"

NOTES
1 NOTCHING AND BORING NOT PERMITTED IN THE SAME STUD SECTION.
2 NO MORE THAN 2 SUCCESSIVE ONE STUDS ARE PERMITTED TO HAVE 40% MAX. BORED HOLES.

TYP WALL NOTCH AND BORING LIMITATIONS

NTS | 24



HOTCH AND HOLE LIMITATIONS

TOP PLATE (IN) PL	A	B	C	D	E	F
2X4	1/2"	1/2"	1/2"	1/2"	1/2"	6
2X6	1/2"	1/2"	1/2"	1/2"	1/2"	9
2X8	1/2"	1"	1/2"	1/2"	1/2"	12

TOP PL AND SILL NOTCH AND BORING LIMITATIONS

NTS | 14

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TYPICAL WOOD DETAILS

NO.	REVISION	DATE
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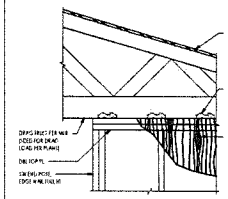
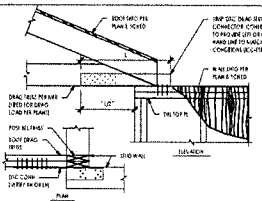
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-404

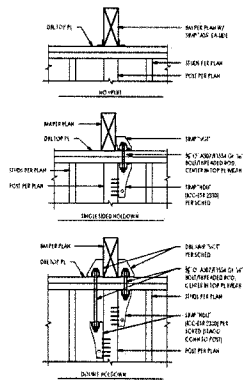


61		51	DRAG TRUSS PARALLEL TO WALL — 41



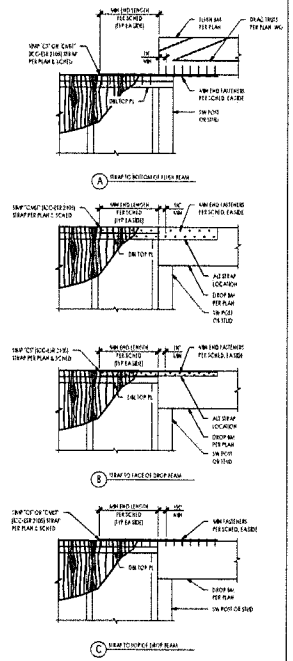
MODEL	QTY	FASTENERS	ALLOWABLE TENSION LOADS (lbs)	
			COMPRESSION	TENSION
DTC26A(HRS)	16	(8)10d x 1½ SDS	2,595	3,270
DTC26A(HRS)	27	(6)10d x 1½ SDS	4,040	4,195

62		52	



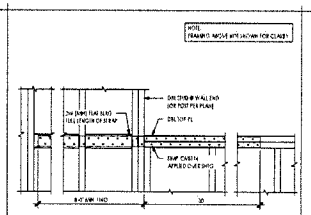
TYPE	HOLDOWN		NAIL PLIES	FASTENERS		ALLOWABLE UPLIFT LOADS (LBS)
	TO BEAM	TO POST		TO BEAM	TO POST	
A	(1) VGT	HDU4	2	(14) 10d x 1½"	(6) 10d x 1½"	4,765
B	(2) VGT	(2) HDU4	2	(32) 10d x 1½"	(20) 10d x 1½"	7,145
C	(1) VGT R/L	HDU2	2	(14) 10d x 1½"	(6) 10d x 1½"	3,270
D	(2) VGT R/L	(2) HDU4	2	(32) 10d x 1½"	(20) 10d x 1½"	5,540
E	SIMPSON "A35"	-	-	-	-	—

63		53	BEAM TO WALL POST CONNECTION — 43



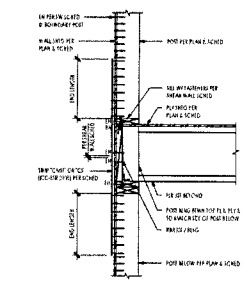
STRAP MODEL	END FASTENERS	END LENGTH (in)	ALLOWABLE TENSION LOADS (lbs)
CS16	(4)10d	11	1,705
	(5)10d	13	
CS14	(6)10d	15	2,490
	(7)10d	16	
CMSTC16	(8)10d	16	3,490
	(10)10d	20	4,490
CMST14	(12)10d	26	6,475
	(14)10d	30	
CMST12	(14)10d	33	9,215
	(18)10d	39	

64		54	44 — DRAG STRAP AT BEAM-TO-WALL — 34



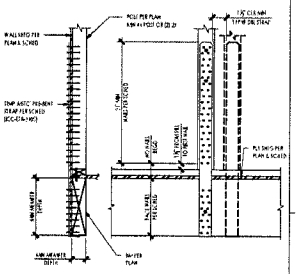
STRAP MODEL	END FASTENERS	END LENGTH (in)	FASTENERS PER SPLICE	SPLICE LENGTH (in)	MIN BLKG WIDTH	ALLOWABLE TENSION LOADS (lbs)
CS16	(4)10d	11	(6)10d	8	1½"	1,705
	(5)10d	13	(8)10d	9		
CS14	(6)10d	15	(8)10d	9	1½"	2,490
	(7)10d	16	(9)10d	10		
CMSTC16	(8)10d	16	(11)10d	10	1½"	4,490
	(10)10d	20	(13)10d	10		
CMST14	(12)10d	26	(16)10d	14	1½"	6,475
	(14)10d	30	(18)10d	16		
CMST12	(14)10d	33	(19)10d	16	1½"	9,215
	(18)10d	39	(22)10d	21		

65		55	45 — 35 — BLOCK & STRAP PERP TO FRMG — 24



MARK	STRAP MODEL	FASTENERS	END LENGTH (in)	ALLOWABLE TENSION LOADS (lbs)
1	CS16	(5)10d	11	1,705
2	CS14	(6)10d	15	2,490
3	CMSTC16	(8)10d (8)10d	20	4,565
4	CMST14	(12)10d	26	6,490
		(14)10d	30	
5	CMST12	(14)10d	33	9,215
		(18)10d	39	

12		12	STRAP ACROSS FLOOR — 14



TYPE	PRE-BENT STRAP	MIN WOOD MEM DIMENSIONS		FASTENERS (EACH END)			ALLOWABLE TENSION LOADS (LBS)
		WIDTH (MIN in)	DEPTH (MIN in)	BEAM		STUDS/PCS	
				FACE	BOTTOM		
1	MSTC40B3	2	9½"	(3)10d		4-10d	5,955
2	MSTC52B3	2½"	11½"	(4)10d			4,690
3	(2) MSTC40B3	3	9½"	(5)10d			7,354
4	(2)MSTC52B3	3½"	11½"	(6)10d			8,906

15		15	SHEAR WALL POST TO BEAM HOLD DOWN — 14

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nationalcore.org

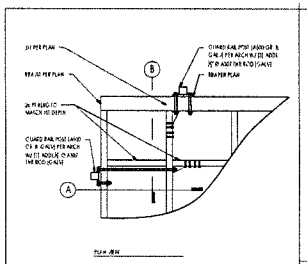
AGENCY

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

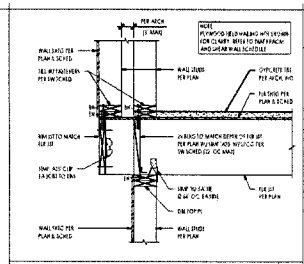
TYPICAL WOOD DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

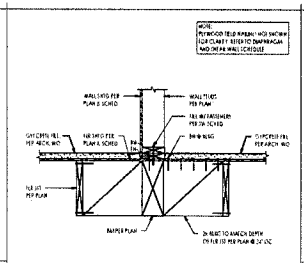
PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-405



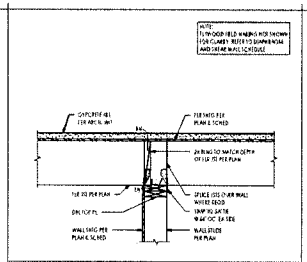
GUARD RAIL CONNECTION — 62



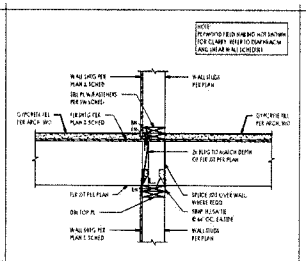
CANTILEVER OFFSET WALL @ FLOOR FRAMING — 51



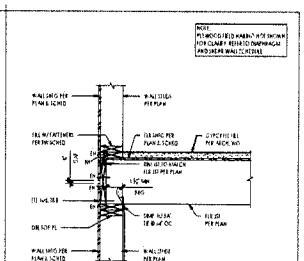
BEAM SUPPORTED SHEAR WALL ABOVE — 42



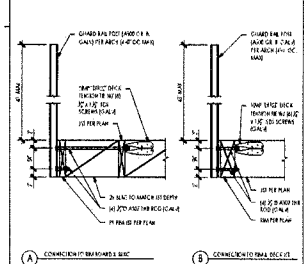
FLOOR FRAMING PERP OVER SHEAR WALL BELOW — 31



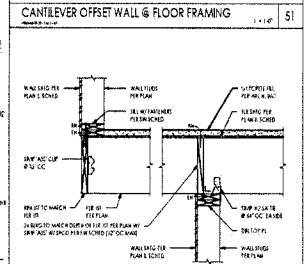
FLOOR FRAMING PERP TO WALL — 21



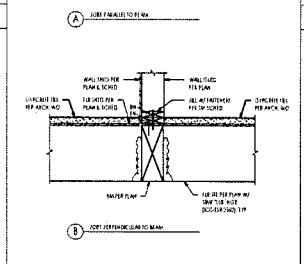
FLOOR FRAMING PERP TO WALL — 12



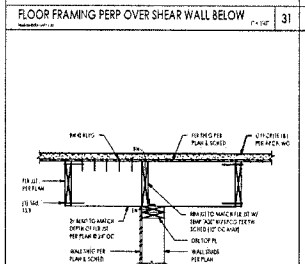
CANTILEVER OFFSET WALL — 52



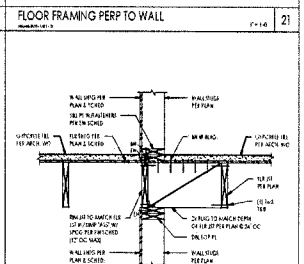
BEAM SUPPORTED SHEAR WALL ABOVE — 42



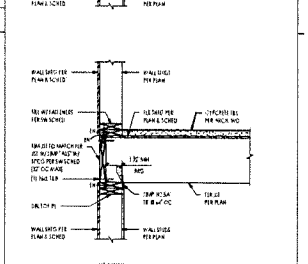
FLOOR FRAMING PARA OVER SHEAR WALL BELOW — 32



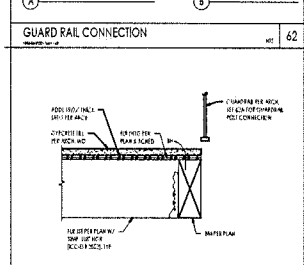
FLOOR FRAMING PARALLEL TO WALL — 22



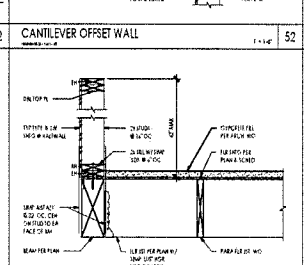
FLOOR FRAMING PERP TO WALL — 12



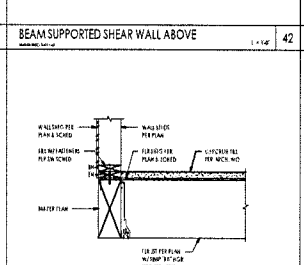
BEAM W/ PERP JOISTS @ GUARDRAIL — 63



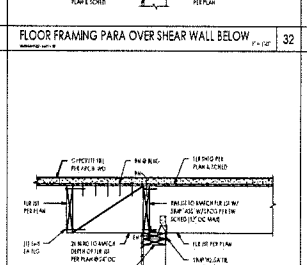
HALFWALL @ FLOOR FRAMING — 53



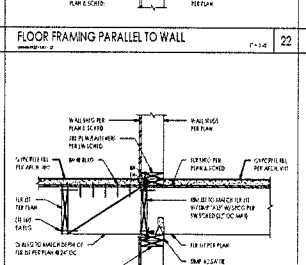
FLOOR FRAMING PERP TO BEAM @ UPPER WALL — 43



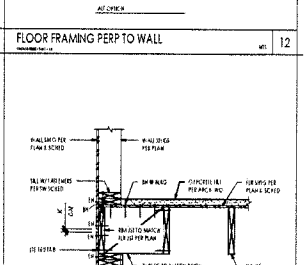
FLOOR FRAMING CHANGE OF DIRECTION @ WALL — 33



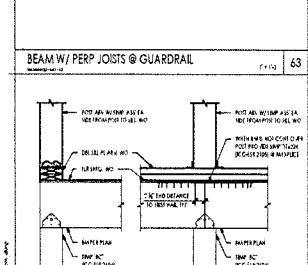
FLOOR FRAMING CHANGE OF DIRECTION @ WALL — 23



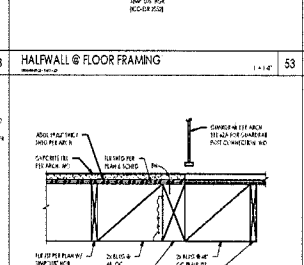
FLOOR FRAMING PARALLEL TO WALL — 14



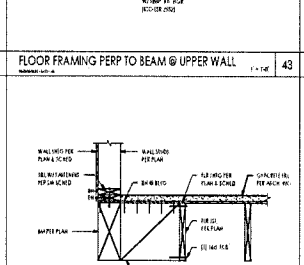
BEAM TO POST CONNECTION — 64



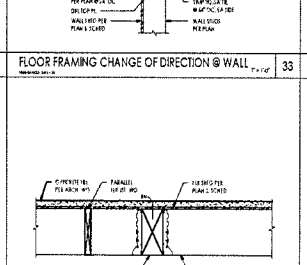
BEAM W/ PARALLEL JOISTS @ GUARDRAIL — 54



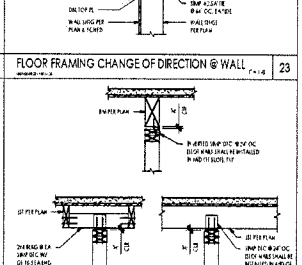
FLOOR FRAMING PARA TO BEAM @ UPPER WALL — 44



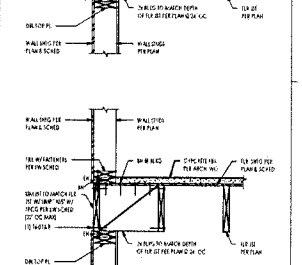
FLOOR JOIST TO BEAM CONNECTION — 34



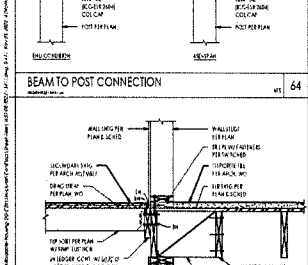
NON-BEARING TOP PLATE CONNECTION — 24



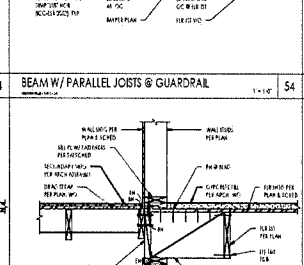
FLOOR FRAMING PARALLEL TO WALL — 14



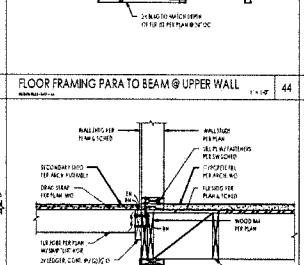
INTERIOR SHEAR WALL (JOIST PERP) — 65



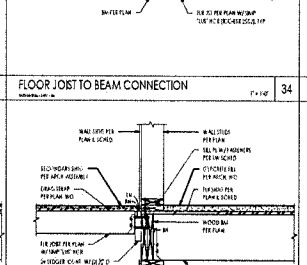
FLOOR FRAMING PARALLEL TO WALL — 55



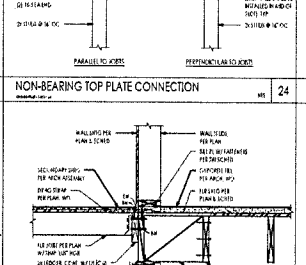
INTERIOR SHEAR WALL (JOIST PARA) — 45



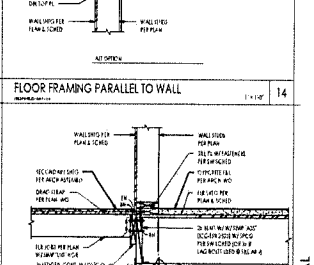
INTERIOR SHEAR WALL (JOIST PERP) — 35



INTERIOR SHEAR WALL (JOIST PARA) @ CORRIDOR — 25



INTERIOR SHEAR WALL (JOIST PERP) @ CORRIDOR — 15



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9421 Haven Avenue

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Tel: 949.394.7996 Fax: 909.483.6524

nationalcore.org

AGENCY

MURRIETA APARTMENTS

24960 ADAMS AVE, MURRIETA CA 92562

FLOOR FRAMING DETAILS

NO.	REVISION	DATE

PROJECT MANAGER: M. DOREMUS

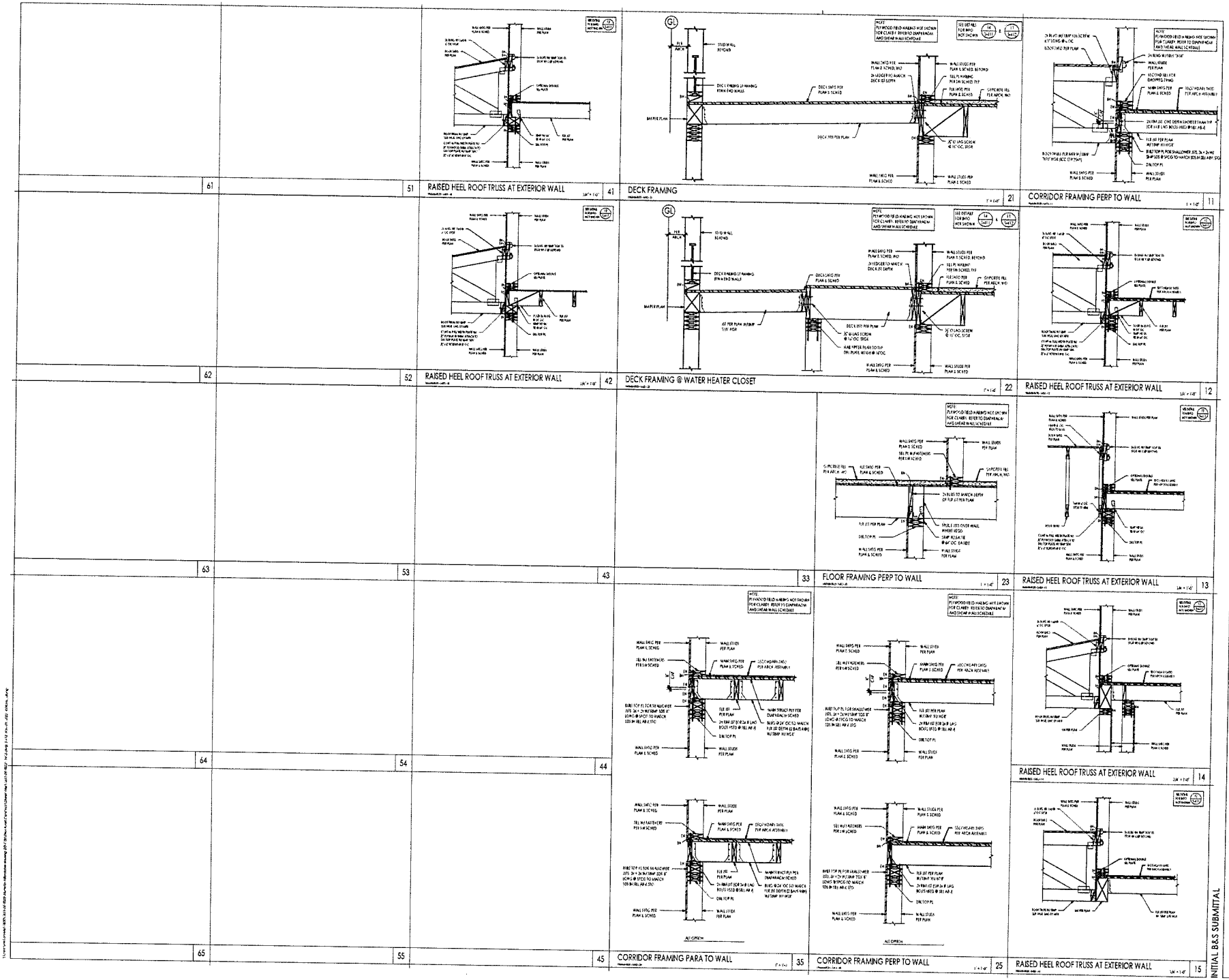
DRAWN BY: J LONG

CHECKED BY: M. DOREMUS

DATE: 11/08/2022

PROJECT NUMBER: 1853-05-RS22

SHEET: S-411



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Rancho Cucamonga, CA 91730
Tel: 949.394.7996 Fax: 909.483.6524
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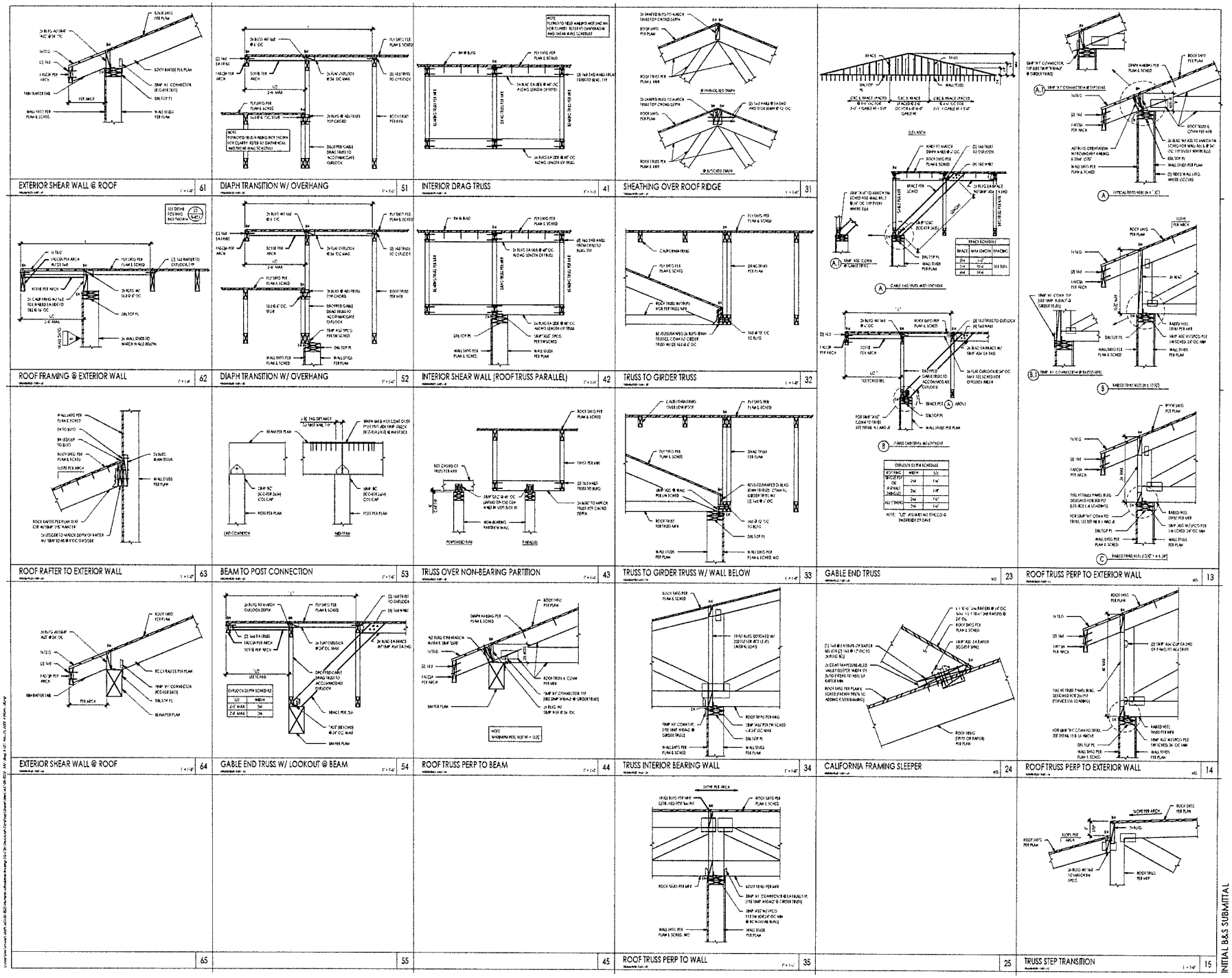
ADDENDA

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

FLOOR FRAMING DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-412



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AGENCY

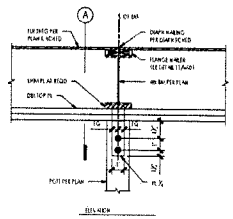
MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562

ROOF FRAMING DETAILS

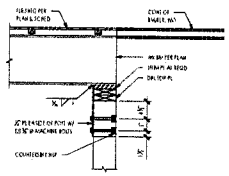
NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER M. DOREMUS
DRAWN BY J. LONG
CHECKED BY M. DOREMUS
DATE 11/08/2022
PROJECT NUMBER 1853-05-RS22
SHEET S-421

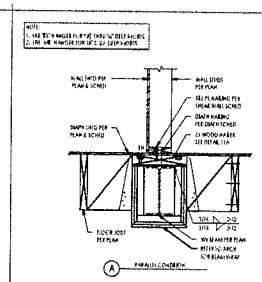
INITIAL B&S SUBMITTAL

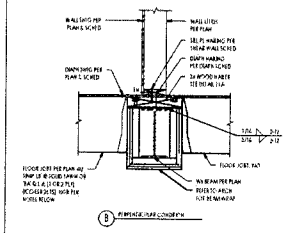


61 | 51

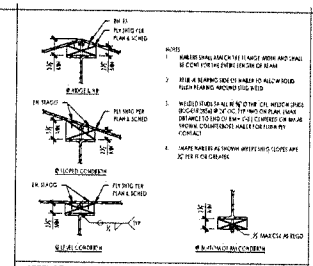


62 | 52 | STEEL BEAM TO WOOD POST CONNECTION | 42

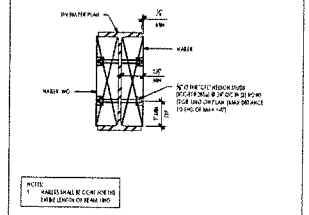




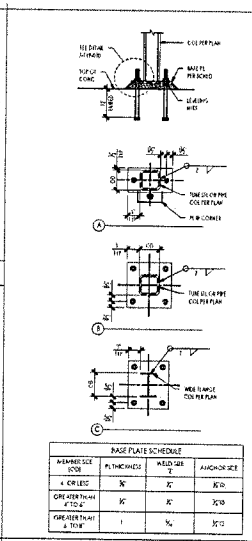
32 | TOP FLANGE HANGER TO STEEL BEAM



21 | STEEL BEAM NAILERS



22 | WEB NAILER

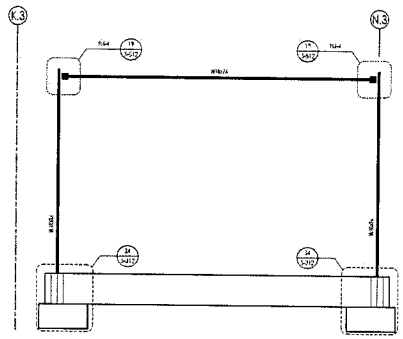


BASE PLATE SCHEDULE

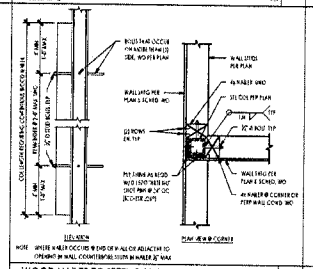
ANCHOR SIZE (FOR	PL THICKNESS	WELD SIZE	ANCHOR SIZE
4 OR LESS	3/8"	1/4"	3/4"Ø
GREATER THAN 4" TO 6"	1/2"	1/4"	3/4"Ø
GREATER THAN 6" TO 8"	1	5/16"	3/4"Ø

12 | BASE PLATE DETAIL

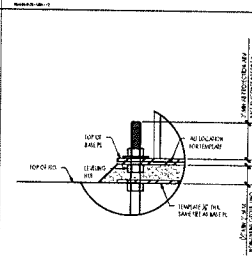
63 | 53



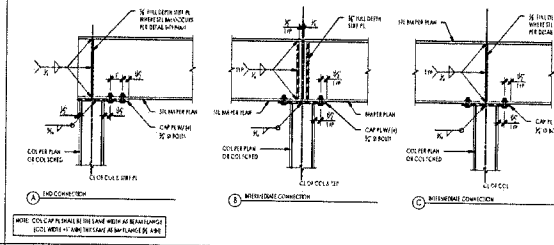
64 | 54 | BUILDING 3 MOMENT FRAME ELEVATION | 34



23 | WOOD NAILER TO STEEL COLUMNS



13 | ANCHOR BOLT PROJECTION



14 | STEEL CONNECTION - BEAM TO COL

65 | 55 | 45 | 35 | 25 | 15

INITIAL B&S SUBMITTAL

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Rancho Cucamonga, CA 91730
Tel: 949.394.7996 Fax: 909.483.6524
nationalcore.org

ADDENDA

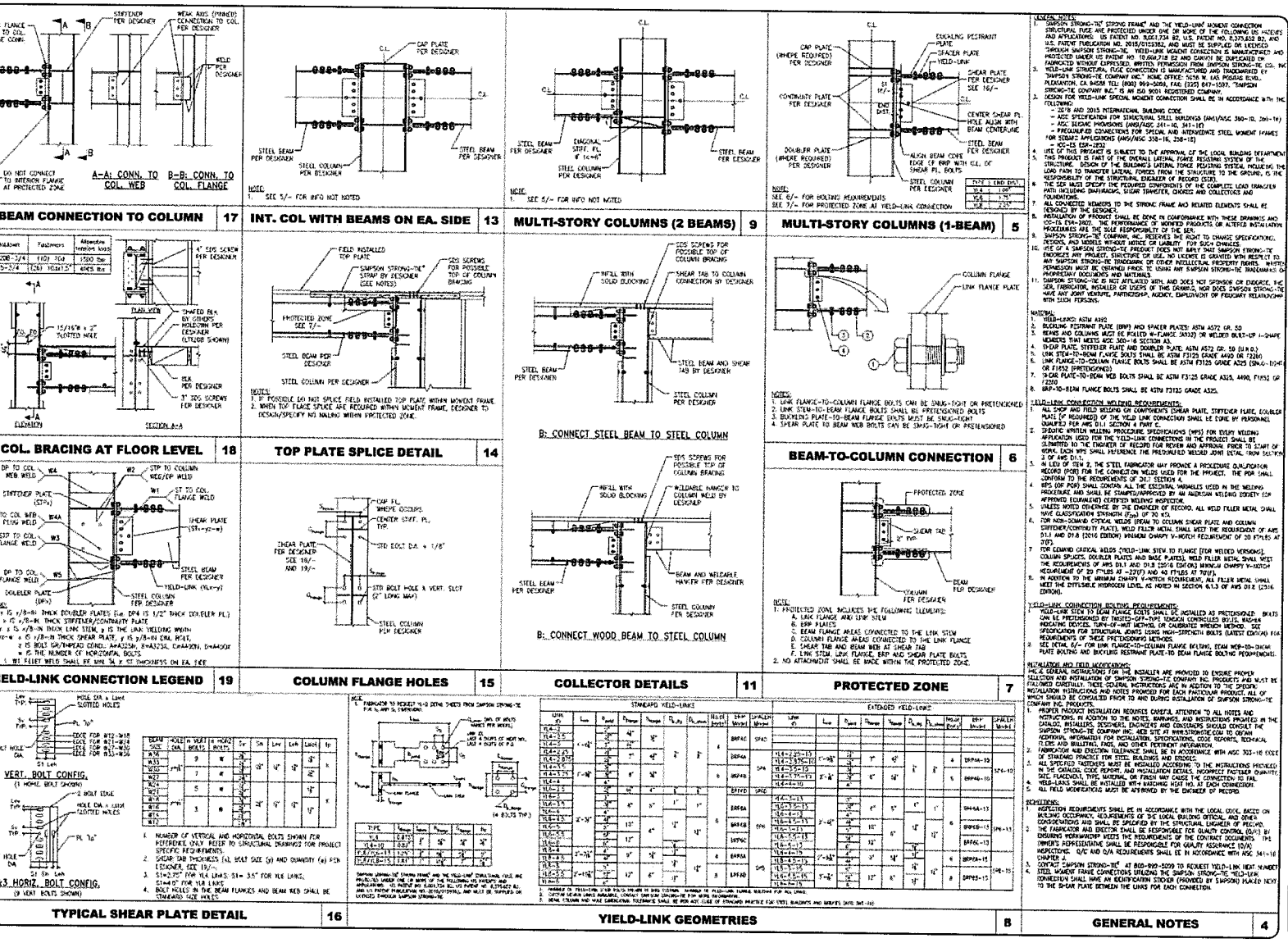
MURRIETA APARTMENTS

24960 ADAMS AVE, MURRIETA CA 92562

TYPICAL STEEL DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: M. DOREMUS
DRAWN BY: J.LONG
CHECKED BY: M. DOREMUS
DATE: 11/08/2022
PROJECT NUMBER: 1853-05-RS22
SHEET: S-501



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AGENCY

SIMPSON Strong-Tie Co. Inc.
5956 W. Las Positas Blvd.
Pleasanton, CA 94588
Tel: (925) 847-3097
Fax: (925) 847-1597
www.strongtie.com
THERE'S NO EQUAL.

YIELD-LINK® MOMENT CONNECTION
STEEL SPECIAL MOMENT FRAME
COMMECTION DETAILING INFORMATION

NO.	DATE	REVISIONS	BY	APPROVED
1				

NAME B.W.
DATE 09-22-2020
SCALE N.T.S.
DRAWN BY
SHEET YL-INST (WOOD)
1 OF 1 SHEETS
JOB NO ES-210687

MURRIETA APARTMENTS
24960 ADAMS AVE, MURRIETA CA 92562
SIMPSON YIELD-LINK
MOMENT CONNECTION DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

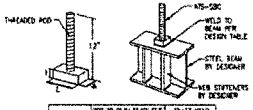
PROJECT MANAGER M. DOREMUS
DRAWN BY J.LONG
CHECKED BY M. DOREMUS
DATE 11/08/2022
PROJECT NUMBER 1853-05-RS22
SHEET S-512

INITIAL B&S SUBMITTAL

1. ATS IS AN ASSEMBLAGE OF STEEL COMPONENTS, WHICH INCLUDE RODS, PLATES, COUPLER NUTS, TAKE-UP DEVICES AND NUTS, STUDS, POSTS AND FASTENERS ARE NOT SHIPPED WITH THE ANCHOR TIEDOWN SYSTEM. COMPRESSION MEMBERS SHOWN ARE THE MINIMUM SIZES BASED ON FULL SECTION MEMBERS, WITH THE SPECIFICATIONS NOTED BELOW, AND ARE BASED ON LOADS WATCHING THE TENSION FORCE OF THE ROD UNLESS SPECIFIC INSTRUCTIONS OR COMPRESSION FORCES ARE PROVIDED BY THE DESIGNER. THE DESIGNER IS RESPONSIBLE FOR COORDINATION OF LUMBER SPECIFICATIONS, STUD AND POST DESIGN PER THE CODE LOAD COMBINATIONS AND MODIFICATIONS (HOLES, NOTCHES, ETC) TO THE STUDS AND POSTS. ALL COMPRESSION LUMBER IS BASED ON THE FOLLOWING, UNO: DF-L
   2X4: STUD
   2X6: NO. 2
   4X: NO. 2
   6X: NO. 1
   ALL WOOD PLATES (TOP AND SOLE/SILL) ARE BASED ON THE FOLLOWING, UNO: DF-L WITH $F_{c\perp wp}$ = 625 PSI
2. SIMPSON STRONG-TIE IS PROVIDING THE ANCHOR TIEDOWN SYSTEM TO MEET THE ATS MODEL SPECIFICATION OR DESIGN FORCES PROVIDED AND DETERMINED BY THE DESIGNER. SIMPSON STRONG-TIE HAS NOT CONFIRMED AND IS NOT RESPONSIBLE FOR ANY OF THE DESIGN, ENGINEERING, CALCULATIONS OR DERIVATION OF STRUCTURAL FORCES RELATED TO THE BUILDING. THE DESIGNER IS RESPONSIBLE FOR EVALUATING THE EFFECTS OF LUMBER SHRINKAGE AND ATS ELONGATION ON SHEARWALL DRIFT. SIMPSON STRONG-TIE HAS NOT CONFIRMED AND IS NOT RESPONSIBLE FOR VERIFYING THE SHEARWALL SYSTEM'S ADHERENCE TO BUILDING CODE DRIFT REQUIREMENTS OR ITS PERFORMANCE IN CONSIDERATION OF STRUCTURAL DEFORMATION COMPATIBILITY. THESE DRAWINGS ARE SPECIFIC TO ATS AND ARE NOT APPLICABLE TO OTHER MANUFACTURER TIE DOWN SYSTEMS.
3. LUMBER SPECIFICATIONS BETWEEN THESE DRAWINGS AND THE PROJECT STRUCTURAL DRAWINGS MAY VARY AND RESULT IN LOWER ALLOWABLE COMPRESSION CAPACITIES. THE DESIGNER IS RESPONSIBLE FOR REVIEW AND ACCEPTANCE OF THE ATS INSTALLATION DRAWING LUMBER SPECIFICATIONS.
4. THE TAKE-UP DEVICE CONFIGURATIONS SHOWN ON THIS SHEET ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE ELEVATIONS ON THE SUBSEQUENT PAGES FOR TAKE-UP DEVICE CONFIGURATIONS BASED ON FRAMING CONDITIONS PARTICULAR TO EACH PROJECT OR PER DESIGNERS SHRINKAGE SPECIFICATIONS.
5. CONTRACTOR OR INSTALLER OF ATS SHALL CUT RODS TO LENGTH AS REQUIRED.
6. DO NOT WELD PRODUCTS LISTED UNLESS THESE DRAWINGS SPECIFICALLY IDENTIFY A PRODUCT AS ACCEPTABLE FOR WELDING OR UNLESS SPECIFIC APPROVAL FOR WELDING IS PROVIDED BY THE ENGINEER OF RECORD. SOME STEELS HAVE POOR WELDABILITY AND A TENDENCY TO CRACK WHEN WELDED. CRACKED STEEL WILL NOT CARRY LOAD AND MUST BE REPLACED. WHERE FIELD WELDING IS SPECIFICALLY ALLOWED TO CONNECT THE SIMPSON STRONG-TIE CONNECTOR TO THE PRIMARY STRUCTURE, WELDING SHALL BE IN ACCORDANCE WITH AWS STANDARDS.
7. FULLY ENGAGE EACH ROD INTO THE SPECIFIED COUPLING NUT UNTIL EACH ROD CAN BE SEEN FULLY IN THE WITNESS HOLES OR POSITIVE STOP HAS BEEN ACHIEVED.
8. INSTALL NUTS SNUG TIGHT, PLUS AN ADDITIONAL 1/2 TURN.
9. IN THE EVENT OF A DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND THESE INSTALLATION DRAWINGS, THE STRUCTURAL DRAWINGS ALWAYS GOVERN.
10. SIMPSON STRONG-TIE HIGHLY RECOMMENDS THAT A PRE-CONSTRUCTION MEETING BE HELD PRIOR TO PLACEMENT OF CONCRETE TO ASSIST IN THE INSTALLATION PROCESS AND VERIFY QUANTITIES. TO COORDINATE THIS MEETING, CALL SIMPSON SALES AT 800-999-5099.
11. PLANS ARE NOT FOR CONSTRUCTION WITHOUT SUBSTANTIATION OF REVIEW BY THE RESPONSIBLE DESIGNER AND THE GOVERNING BUILDING JURISDICTION.
12. THE ATUD/TUD AND RTUD ARE NOW UL LISTED AS THROUGH-PENETRATION FIRESTOP SYSTEMS COVERED UNDER UL FIRE RESISTANCE DIRECTORY R40313. SEE DETAIL 4 FOOTNOTES. WHERE FIRE CAULKING OR SPRAY-ON INSULATION IS OTHERWISE REQUIRED, DO NOT USE ANY MATERIAL THAT MAY BE CORROSIVE TO METAL. SHRINKAGE COMPENSATING DEVICES (E.G., PTUD, ATUD, TUD) HAVE MOVING COMPONENTS AND MAY NOT FUNCTION PROPERLY IF THERE IS ANY COMPRESSION OR DEBRIS INTERFERENCE. DIRECT CONTACT WITH FIRE CAULKING OR SPRAY INSULATION MUST BE AVOIDED. INDIRECT CONTACT MUST ALSO BE AVOIDED, AS REMNANTS OF THE CAULKING MATERIAL MAY STILL BE HELD IN THE ROD THREADS, WHICH CAN BE DETRIMENTAL TO THE PERFORMANCE OF THE COMPONENTS WHEN THE ROD PASSES THROUGH THE DEVICE DURING BUILDING SHRINKAGE. THE FIRE CAULKING OR SPRAY INSULATION MATERIAL MUST ALSO BE PLIABLE IN ORDER TO BE COMPATIBLE WITH WOOD SHRINKAGE AND GENERAL LIGHT FRAME CONSTRUCTION RESIDUAL MOVEMENT.

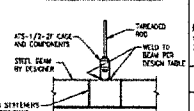
1 GENERAL NOTES AND CONDITIONS OF USE

ATS-S9C MODELS

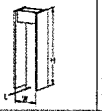


MODEL	HSS TO BEAM PLATE WELD			FILLET WELD	
	L (IN)	W (IN)	t (IN)	SIZE (IN)	LENGTH (IN)
ATS-S9C5H	3	3	3/4	1/4	5
ATS-S9C8H	3	3	1	5/16	5
ATS-S9C9H	3	3	1 1/4	5/16	10
ATS-S9C10H	5	3	1 1/2	5/16	14
ATS-S9C11H	6	3	1 1/2	5/16	18
ATS-S9C12H	7	3	1 3/4	5/16	18

ATS-1/2-2F STEEL CAGE

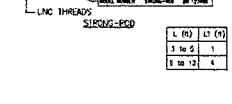


MODEL	SIDE PLATES			FILLET WELD	
	t (IN)	H (IN)	W (IN)	SIZE (IN)	LENGTH (IN)
ATS-1/2-2F	3 1/2	16	3	3/8	14



2 STEEL BEAM CONNECTION

ROD DIA (IN)	PLES THREAD MODEL NO.	STRONG-ROD MODEL NO.
MILD STEEL ROD		
1/2	ATS-R4 or ATR1/2	-
5/8	ATS-R5 or ATR5/8	-
3/4	ATS-R6 or ATR3/4	-
7/8	ATS-R7 or ATR7/8	-
1	ATS-R8 or ATR1	-
1 1/8	ATS-R9 or ATR1-1/8	-
1 1/4	ATS-R10 or ATR1-1/4	-
1 3/8	ATS-R11 or ATR1-3/8	-
1 1/2	ATS-R12 or ATR1-1/2	-
1 3/4	ATS-R14 or ATR1-3/4	-
2	ATS-R16 or ATR2	-
HIGH STRENGTH ROD		
5/8	ATS-HSR5	ATS-SR5H
3/4	ATS-HSR6	ATS-SR6H
7/8	ATS-HSR7	ATS-SR7H
1	ATS-HSR8	ATS-SR8H
1 1/8	ATS-HSR9	ATS-SR9H
1 1/4	ATS-HSR10	ATS-SR10H
1 3/8	ATS-HSR11	ATS-SR11H
1 1/2	ATS-HSR12	ATS-SR12H
1 3/4	ATS-HSR14	ATS-SR14H
2	ATS-HSR16	ATS-SR16H
1 1/8	ATS-HSR9	-
1 1/4	ATS-HSR10	-

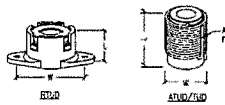


L (IN)	L1 (IN)
3 to 5	1
5 to 12	4

NOTES
1. FULLY THREADED AND STRONG-ROD IS UNCOATED OR PLAIN BLACK STEEL.
2. ATS-R & ATS-SR STRONG-ROD MODEL DESIGNATION: THE NUMBERS FOLLOWING ATS-R(E) & ATS-SR(E) REPRESENTS THE ROD DIAMETER IN 1/8" INCREMENTS FOLLOWED BY LENGTH IN FT. (i.e. ATS-SR5H-10 IS 5/8" DIAMETER BY 10 FEET LONG HIGH STRENGTH ROD)
3. ATR MODEL DESIGNATION: THE NUMBERS FOLLOWING ATR(E) IS THE ROD ROD DIAMETER FOLLOWED BY LENGTH IN INCHES (i.e. ATR5/8X120 IS 5/8" DIAMETER BY 120 INCHES LONG MILD STEEL ROD)

3 STRONG-ROD

MODEL NO.	MAXIMUM THREADED ROD SIZE (IN)	H (IN)	L (IN)	COMPENSATION (IN)
ATS-ATUD6-2	3/4	1 3/4	3 1/8	2
ATS-ATUD9	1 1/8	2 1/8	3 1/4	1
ATS-ATUD9-2	1 1/8	2 1/8	3 1/8	2
ATS-ATUD9-3	1 1/8	2 1/8	5	3
ATS-TUD10	1 1/4	2 3/8	3 1/4	1
ATS-ATUD14	1 3/4	2 7/8	3 1/4	3/4
ATS-ATUD14-1	1 3/4	3 1/4	2 7/8	1
ATS-ATUD14-2	1 3/4	3	3 7/8	2
ATS-ATUD14-1.5	2	3 3/8	3 3/4	1.5
RTUS49	1/2	2 1/4	1	NO UNIT
RTUD5	5/8	3 1/2	1 7/16	NO UNIT
RTUD6	3/4	3 1/2	1 7/16	NO UNIT
RTUD7	7/8	4	2	NO UNIT
RTUD8	1	4	2	NO UNIT



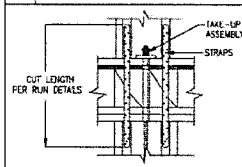
INSTALLATION (TUD OR ATUD)
1. PLACE TAKE-UP DEVICE OVER ROD FROM LEVEL BELOW ONTO APPROPRIATE BEARING PLATE.
2. INSTALL PLATE WASHER ON TOP OF TUD OR ATUD, AND SECURE THE NUT ON TOP BY FINGER TIGHTENING PLUS AN ADDITIONAL 1/2 TO 1/3 TURN WITH WRENCH.
3. REMOVE ACTIVATION PIN.

INSTALLATION (RTUD)
1. RTUD MUST BE INSTALLED ON TOP OF BPRTUD BEARING PLATE AND FASTENED THROUGH THE BPRTUD TO WOOD PLATES WITH
   - RTUD 4R5, 5, 6, 7 & 8: (2) #9X2-1/2 STRONG DRIVE® SD SCREWS

THROUGH-PENETRATION FIRESTOP SYSTEM
1. THE ATUD/TUD AND RTUD ARE RATED AS UL LISTED THROUGH-PENETRATION FIRESTOP SYSTEMS, TESTED PER E814 AND COVERED UNDER UL FIRE RESISTANCE DIRECTORY R40313. SEE SIMPSON STRONG-TIE LITERATURE F-L-SR521 FOR FURTHER INFORMATION.

CODE APPROVALS
1. ICC-ES ESR 2320 W/CITY OF LA LABC SUPPLEMENT
2. FL 10007

4 TAKE UP DEVICE



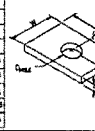
1. VERTICAL STRAPS ARE SOLD SEPARATELY, UNO.
2. WHEN STRAPS OCCUR WITH ATS, REFER TO THE STRUCTURAL DRAWINGS AND ATS INSTALLATION DETAILS.
3. REFER TO THE APPLICABLE CODE FOR MINIMUM NAIL EDGE AND END DISTANCES.

5 ALT. STRAP TRANSITION

MODEL	CORRESPONDING ROD DIAMETER
ATS-M4	1/2"
ATS-M5	5/8"
ATS-M6	3/4"
ATS-M7	7/8"
ATS-M8	1"
ATS-M9	1 1/8"
ATS-M10	1 1/4"
ATS-M11	1 3/8"
ATS-M12	1 1/2"
ATS-M14	1 3/4"
ATS-M16	2"

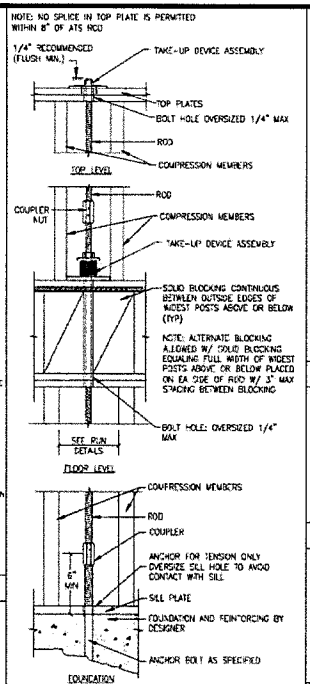
6 HEAVY HEX NUTS

MODEL	DIMENSIONS			
	W (IN)	H (IN)	H_1 (IN)	W_1 (IN)
LBP 1/2	2	2	9/64	6/16
LBP 5/8	2	2	9/64	11/16
SP 3/4-3	3	3	1/4	13/16
SP 7/8-R	3	3	5/16	15/16
SP 1-3	3	3	5/8	1 1/16
SP 1-1/4	3	3	5/8	1 5/16
SP 1-1/2	3	3	5/8	1 9/16
SP 1-3/4	3	3	5/8	1 13/16
SP 2	3 1/4	3 1/4	5/8	2 1/16



7 PLATE WASHERS

NOTE: NO SPLICE IN TOP PLATE IS PERMITTED WITHIN 8" OF ATS ROD

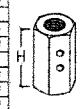


NOTES
1. SIMPSON STRONG-TIE ASSUMES 6" MINIMUM ANCHOR BOLT PROJECTION TO DETERMINE ROD LENGTHS ABOVE CONCRETE SURFACE UNLESS NOTED OTHERWISE BY THE DESIGNER. IF THIS VARIES, COORDINATE WITH SIMPSON STRONG-TIE PRIOR TO SHIPMENT OF RODS.

8 INSTALLATION DETAIL

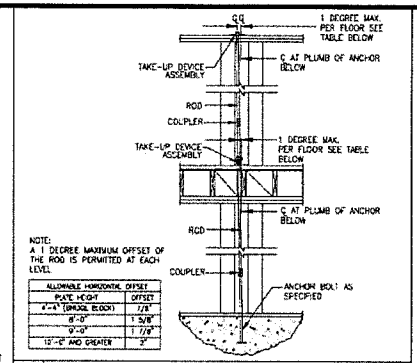
MODEL		ROD DIA (IN)	H^2 (IN)
MILD STEEL	HIGH STRENGTH		
CWM1/2	-	1/2 TO 1/2	1 1/2
CWM5/8	ATS-HSC55	5/8 TO 5/8	1 3/4
CWM3/4	HSCWM3/4	3/4 TO 3/4	2
CWM7/8	ATS-HSC77	7/8 TO 7/8	2 1/4
CWM1	ATS-HSC81	1 TO 1	2 1/2
ATS-C09	ATS-HSC99	1 1/8 TO 1 1/8	2 3/4
CWM1 1/4	ATS-HSC1010	1 1/4 TO 1 1/4	3
ATS-C1111	ATS-HSC1111	1 3/8 TO 1 3/8	3 1/4
-	ATS-HSC1212	1 1/2 TO 1 1/2	3 1/2
-	ATS-HSC1414	1 3/4 TO 1 3/4	4
-	ATS-HSC1616	2 TO 2	4 1/2
CWM5/8-1/2	ATS-HSC34	3/8 TO 1/2	1 5/8
CWM3/4-5/8	ATS-HSC65	3/4 TO 5/8	1 7/8
ATS-C75	ATS-HSC76	7/8 TO 3/4	2 1/8
CWM1-7/8	ATS-HSC87	1 TO 7/8	2 3/8
ATS-C08	ATS-HSC98	1 1/8 TO 7	2 5/8
ATS-C109	ATS-HSC109	1 1/4 TO 1 1/8	2 7/8
ATS-C1110	ATS-HSC1110	1 3/8 TO 1 1/4	3 1/8
-	ATS-HSC1211	1 1/2 TO 1 3/8	3 3/8
-	ATS-HSC1412	1 3/4 TO 1 1/2	3 3/4
-	ATS-HSC1614	2 TO 1 3/4	4 1/4

Units in 1/8" increments (Ex: 8 = 1/8 OR 1 1/8")



COUPLER NOTES AND INSTALLATION NOTES
1. TIGHTEN THE TWO RODS UNTIL EACH ROD CAN BE FULLY SEEN IN THE WITNESS HOLE
2. ADDITIONAL COUPLER NUTS SIZES INCLUDING OVERSIZED THREADS (OSE) FOR GALVANIZED ANCHOR BOLTS ARE AVAILABLE - REFER TO NOMENCLATURE BREAKDOWN IN THIS DETAIL FOR ITEMS NOT LISTED IN TABLE
3. HEIGHTS LISTED ARE MINIMUM DIMENSIONS - FOR COUPLERS NOT LISTED MINIMUM HEIGHT = (1ST DIAMETER + 2ND DIAMETER + 1/2")
4. CWM AND HSCWM MODELS LISTED ABOVE AS APPLICABLE - ROD DIAMETER FOR CWM AND HSCWM MODELS ARE LISTED IN INCHES

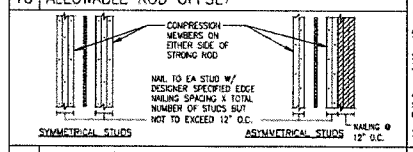
9 COUPLER NUTS



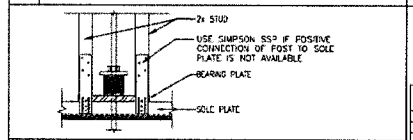
NOTE:
A 1 DEGREE MAXIMUM OFFSET OF THE ROD IS PERMITTED AT EACH LEVEL

ALLOWABLE HORIZONTAL OFFSET	
PLATE HEIGHT	OFFSET
4"-4" (SINGLE BLOCK)	7/8"
8'-0"	1 5/8"
9'-0"	1 7/8"
12'-0" AND GREATER	2"

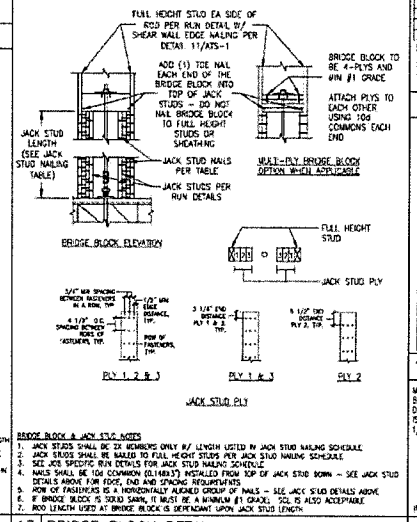
10 ALLOWABLE ROD OFFSET



11 SHEARWALL EDGE NAILING

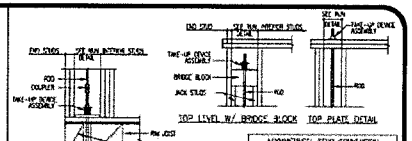


12 OPTIONAL SSP WHEN STUD IS OVER PLATE



BRIDGE BLOCK & JACK STUD NOTES
1. JACK STUDS SHALL BE 2X MEMBERS ONLY W/ LENGTH LISTED IN JACK STUD NAILING SCHEDULE
2. JACK STUDS SHALL BE NAILED TO FULL HEIGHT STUDS PER JACK STUD NAILING SCHEDULE
3. SEE JOB SPECIFIC RUN DETAILS FOR JACK STUD NAILING SCHEDULE
4. NAILS SHALL BE 10d COMMON (0.148X3") INSTALLED FROM TOP OF JACK STUD DOWN - SEE JACK STUD DETAILS ABOVE FOR EDGE, END AND SPACING REQUIREMENTS
5. ROW OF FASTENERS IS A HORIZONTALLY ALIGNED GROUP OF NAILS - SEE JACK STUD DETAILS ABOVE
6. IF BRIDGE BLOCK IS SOLID SAWN, IT MUST BE A MINIMUM #1 GRADE. SCL IS ALSO ACCEPTABLE
7. ROD LENGTH USED AT BRIDGE BLOCK IS DEPENDANT UPON JACK STUD LENGTH

13 BRIDGE BLOCK DETAIL

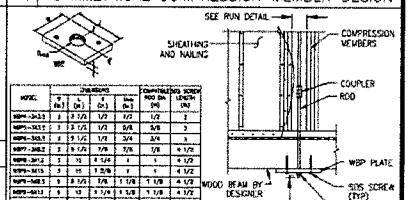


ASYMMETRICAL STUD CONFIGURATION		
SYMMETRICAL LAYOUT	ASYMMETRICAL CONFIGURATION END OF WALL	ASYMMETRICAL CONFIGURATION INTERIOR SIDE
(1) 2x4	(1) 2x4	(1) 2x4
(2) 2x4	(2) 2x4	(2) 2x4
(3) 2x4	(2) 2x4	(4) 2x4
(4) 2x4	(2) 2x4	(6) 2x4
(5) 2x4	(2) 2x4	(8) 2x4
(6) 2x4	(2) 2x4	(10) 2x4
(7) 2x4	(2) 2x4	(12) 2x4
(8) 2x4	(2) 2x4	(14) 2x4
(9) 2x4	(2) 2x4	(16) 2x4
(10) 2x4	(2) 2x4	(18) 2x4
(11) 2x4	(2) 2x4	(20) 2x4
(12) 2x4	(2) 2x4	(22) 2x4

NOTES
1. SYMMETRICAL LAYOUT CONFIGURATIONS ARE THE NUMBER OF COMPRESSION MEMBERS PRESENTS ON EACH SIDE OF ROD.
2. 2x4 MINIMUM SHOWN

ASYMMETRICAL COMPRESSION MEMBER RULES
1. MAXIMUM SPACING BETWEEN END STUDS AND INTERIOR STUDS SHALL NOT EXCEED SPACING SPECIFIED IN JOB SPECIFIC RUN DETAILS
2. TOP PLATE AND STRAP TERMINATIONS SHALL USE TWO END STUDS ALL LEVELS
3. BRIDGE BLOCK TERMINATIONS SHALL USE TWO END STUDS AT THE UPPERMOST LEVEL WHEN A SINGLE JACK IS SPECIFIED AND SHALL USE ONE END STUD IF A DOUBLE JACK IS SPECIFIED (SEE JOB SPECIFIC RUN DETAILS FOR JACK SPECIFICATIONS). ALL OTHER LEVELS SHALL USE TWO END STUDS
4. ADDITIONAL LUMBER SHOULD BE ADDED AT THE UPPERMOST LEVEL AS NEEDED FOR END OF WALL FRAMING
5. A MINIMUM OF ONE INTERIOR STUD IS REQUIRED AT ALL LEVELS
6. AT ANY FLOOR LEVEL, A MAXIMUM OF 8 ADDITIONAL STUDS MAY BE USED AT THE INTERIOR STUDS AS COMPARED TO THE INTERIOR STUD PACK ABOVE
7. SEE DETAIL 11 FOR SHEAR WALL EDGE NAILING

14 ASYMMETRICAL COMPRESSION MEMBER DESIGN



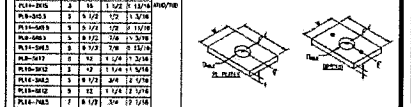
MODEL	DIMENSIONS				COMPATIBLE WITH COUPLER ROD DIA (IN)	COMPATIBLE WITH SCREW LENGTH (IN)
	W (IN)	H (IN)	t (IN)	W_{wp} (IN)		
MPR-3X3.5	3	3 1/2	1/2	1/2	1/2	2
MPR-3X3.5	3	3 1/2	1/2	5/8	5/8	2
MPR-3X5.5	4	5 1/2	1/2	3/4	3/4	3
MPR-3X6.5	3	6 1/2	7/8	7/8	7/8	4 1/2
MPR-3X7	3	7	4 1/4	1	1	4 1/2
MPR-3X9	3	9	1 3/8	1	1	4 1/2
MPR-4X3	5	3 1/2	7/8	1 1/8	1 1/8	4 1/2
MPR-4X4	5	4	1 1/4	1 3/8	1 1/8	4 1/2
MPR-4X10	5	10	1 1/4	1 3/8	1 1/8	4 1/2

NOTES
1. WASHER PLATE THROUGH WBP PLATE
2. WASHER PLATE ONLY ONCE AND TIGHTEN AGAINST WBP PLATE
3. FASTEN ROD AND WBP PLATE ASSEMBLY TO WOOD BEAM WITH (2) SDS SCREWS (PROVIDED AS A KIT): SEE TABLE FOR SDS SCREW LENGTH

15 WOOD BEAM BEARING PLATE

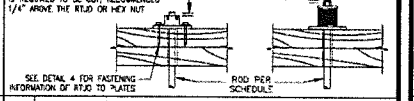
MODEL	DIMENSIONS				COMPATIBLE WITH COUPLER ROD DIA (IN)
	W (IN)	H (IN)	t (IN)	W_{wp} (IN)	
PLB-3X3	3	3 1/2	3/4	13/16	
PLB-3X3	3	3 1/2	1	13/16	
PLB-3X4	3	5 1/2	1	1 3/16	
PLB-3X5	3	6 1/2	7/8	1 3/16	
PLB-3X6	3	7	1 1/4	1 3/16	
PLB-3X7	3	8 1/2	7/8	1 13/16	
PLB-3X9	3	12	1 1/4	1 3/16	
PLB-3X10	3	12	1 1/2	1 3/16	
PLB-3X12	3	15	1 1/2	1 3/16	
PLB-3X14	3	16	1 1/2	1 13/16	5/8 AND 7/8
PLB-3X15	3	17	1 1/2	1 3/16	
PLB-3X16	3	18	1 1/2	1 3/16	
PLB-3X18	3	20	1 1/2	1 3/16	
PLB-3X20	3	22	1 1/2	1 3/16	
PLB-3X22	3	24	1 1/2	1 3/16	
PLB-3X24	3	26	1 1/2	1 3/16	
PLB-3X26	3	28	1 1/2	1 3/16	
PLB-3X28	3	30	1 1/2	1 3/16	
PLB-3X30	3	32	1 1/2	1 3/16	
PLB-3X32	3	34	1 1/2	1 3/16	
PLB-3X34	3	36	1 1/2	1 3/16	
PLB-3X36	3	38	1 1/2	1 3/16	
PLB-3X38	3	40	1 1/2	1 3/16	
PLB-3X40	3	42	1 1/2	1 3/16	
PLB-3X42	3	44	1 1/2	1 3/16	
PLB-3X44	3	46	1 1/2	1 3/16	
PLB-3X46	3	48	1 1/2	1 3/16	
PLB-3X48	3	50	1 1/2	1 3/16	

MODEL	DIMENSIONS				COMPATIBLE WITH COUPLER ROD DIA (IN)
	W (IN)	H (IN)	t (IN)	W_{wp} (IN)	
BPPLB3-4X	3	3 1/2	1/4	5/8	
BPPLB3-6X	3	4 1/2	1/4	1	
BPPLB3-8X	3	5 1/2	1/4	1	
BPPLB3-9X	3	7 1/2	1/4	1	5/8
BPPLB3-9	3	8	1/4	1 3/16	
BPPLB3-9H	3	5 1/2	1/2	1 3/16	
BPPLB3-9W	3	9 1/2	1/4	2 1/16	
BPPLB3-9E	3	5 1/2	1/2	2 1/16	



16 BEARING PLATES FOR ATUD/TUD AND RTUD

MINIMUM OF 2 3/4" CLEARANCE REQUIRED BETWEEN TOP OF ROD AND BOTTOM OF ROOF DECK AT TIME OF INSTALLATION. WHERE ROD IS REQUIRED TO BE CUT, RECOMMENDED 1/4" ABOVE THE RTUD OR HEX NUT



17 TAKE-UP DEVICE INSTALLATION AT TOP LEVEL

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5956 W. Las Positas Blvd.
Pleasanton, CA 94588
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RM DESIGN GROUP

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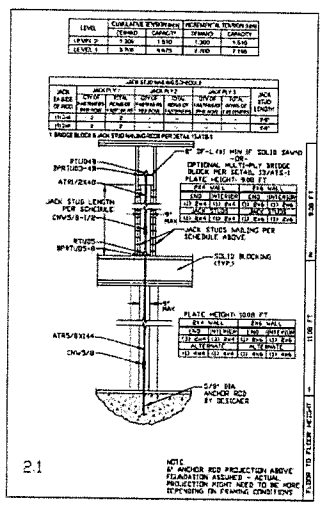
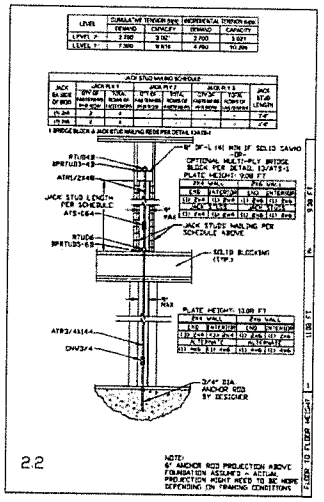
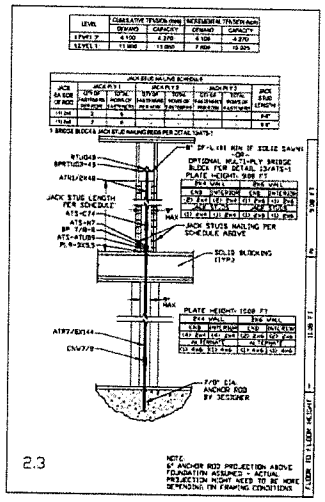
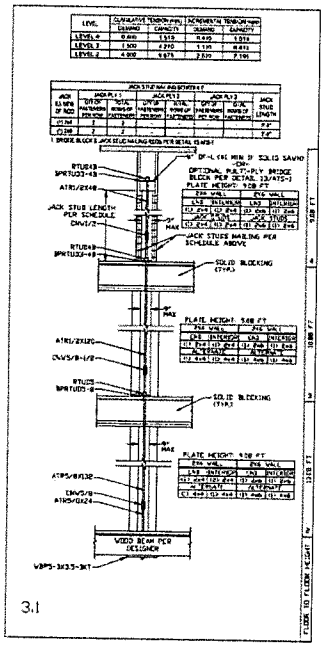
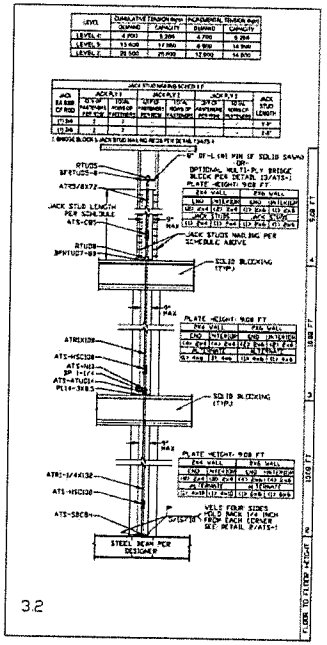
SHEET:
ATS-1
SHEET 1 OF 5
JOB NO. ES-225035











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3530 W. Lake Fairway Road
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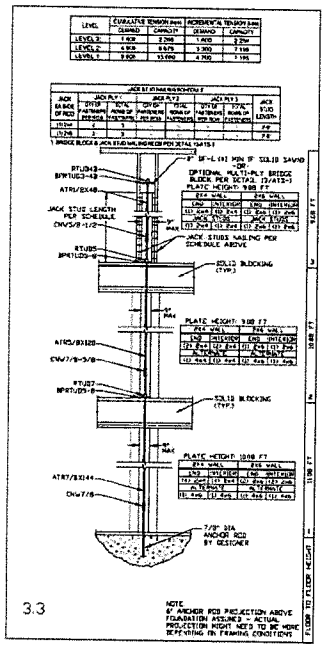
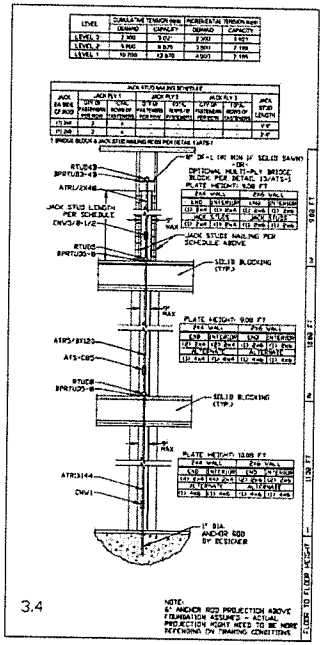
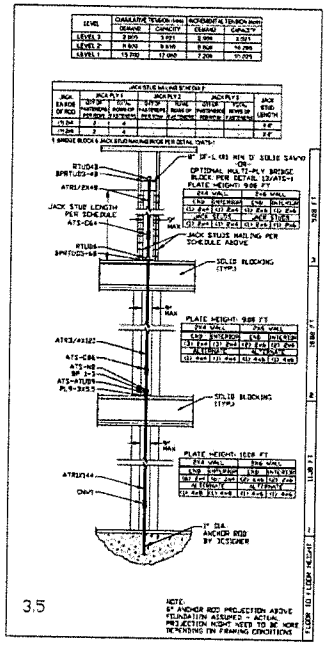
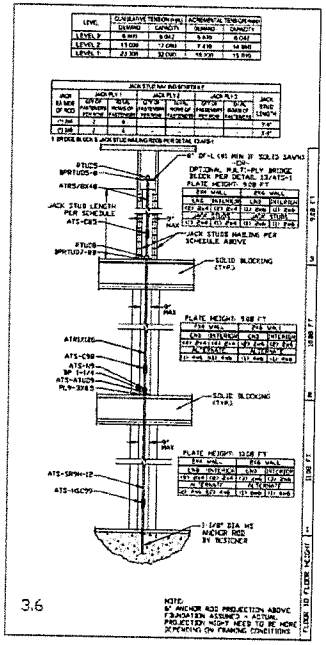
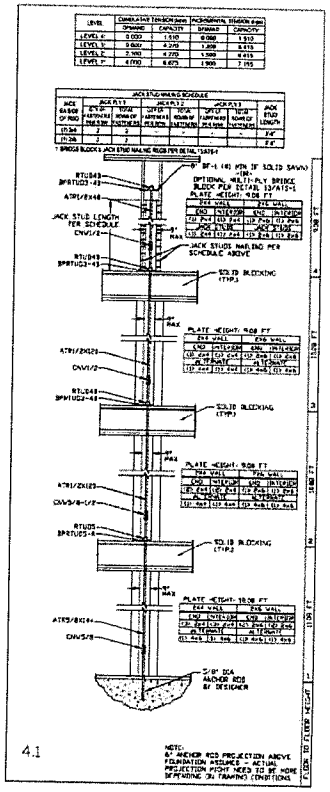
SHEET 2 OF 5
JOB NO. ES-225035











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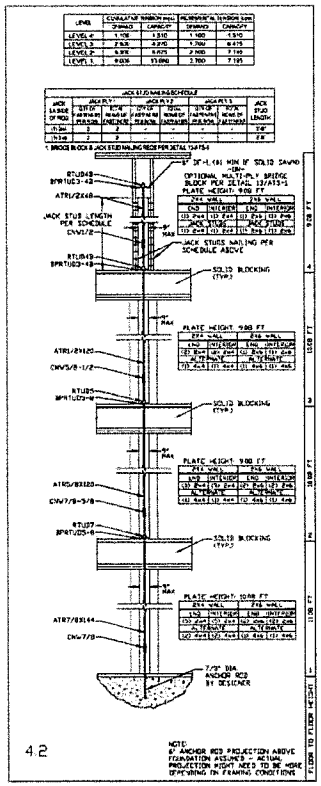
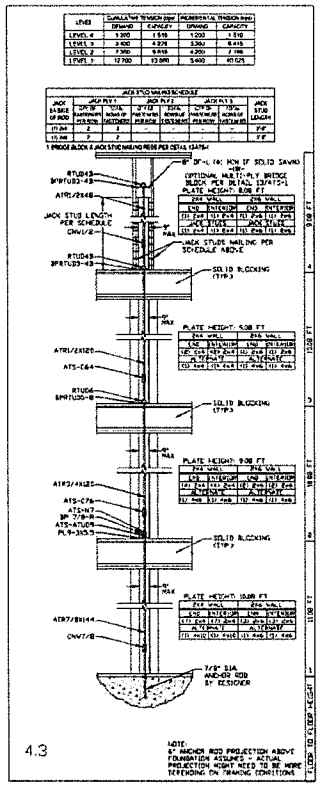
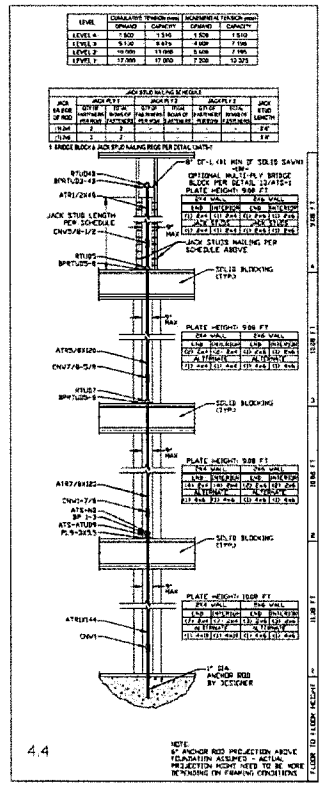
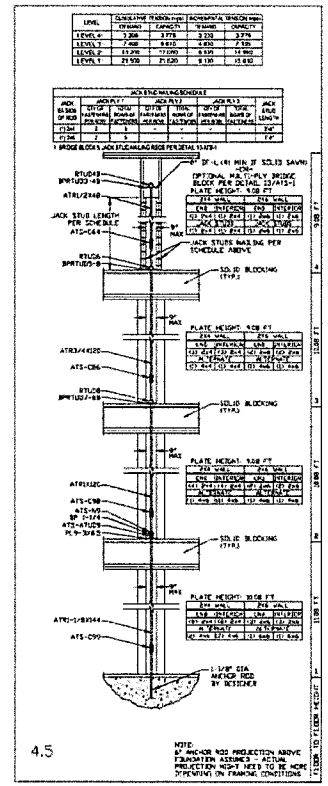
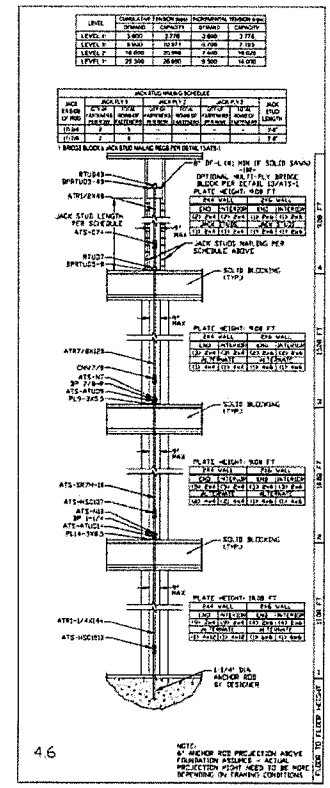
SHEET 3 OF 5
JOB NO.
ES-225035











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SHEET 4 OF 5
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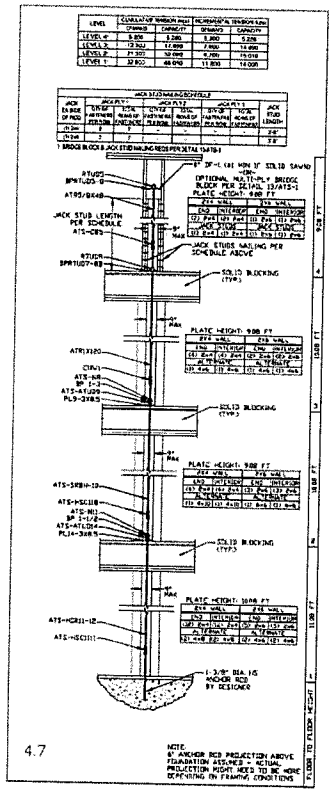

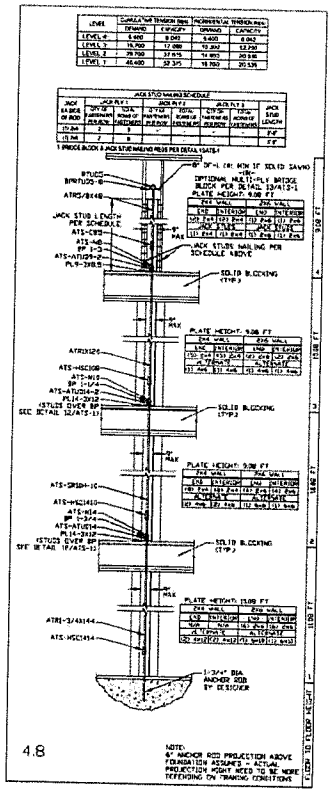

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SCALE: N.T.S.
SHEET:
ATS-5
SHEET 5 OF 5
JOB NO. ES-225035

GENERAL NOTES

MECHANICAL WORK CONSISTS OF ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE EXECUTION AND COMPLETION OF THE SYSTEMS AS INDICATED ON THESE DRAWINGS.

SUBMITTAL REQUIREMENTS
- WITHIN 15 DAYS OF CONTRACT AWARD, THE MECHANICAL CONTRACTOR SHALL SUBMIT COMPLETE APPLICABLE PRODUCT, EQUIPMENT, AND MATERIAL INFORMATION IN THE FORM OF AN ELECTRONIC SUBMITTAL (PDF). NO PRODUCT, EQUIPMENT, OR MATERIAL SHALL BE ORDERED OR INSTALLED UNTIL SUBMITTALS ARE APPROVED BY THE MECHANICAL ENGINEER. ANY ITEM NOT INCLUDED IN THE SUBMITTAL SHALL BE PROVIDED WITHOUT SUBSTITUTION. SUBMITTAL INFORMATION SHALL INCLUDE: MANUFACTURER'S NAME AND CATALOGUE NUMBERS, DIMENSIONS, CAPACITIES, PERFORMANCE CURVES, AND ALL OTHER CHARACTERISTICS AND ACCESSORIES AS LISTED IN THE CONTRACT DOCUMENTS. THE INFORMATION SHALL BE CURRENT MANUFACTURER'S SUBMITTALS AND BROCHURES.
- SUBMITTALS FOR ANY EQUIPMENT SUBSTITUTED AS EQUIVALENT TO THE SCHEDULED EQUIPMENT SHALL INCLUDE TABULATED COMPARISON DATA SO AS TO CLEARLY DEMONSTRATE EQUIVALENCY. THIS DATA SHALL SPECIFICALLY INCLUDE COMPARISONS BETWEEN SCHEDULED AND PROPOSED EQUIPMENT IN THE FOLLOWING AREAS:
  - WEIGHT (INCLUDING CURBS AND ACCESSORIES)
  - DIMENSIONS
  - ELECTRICAL AND GAS REQUIREMENTS (VOLTAGE, PHASE, FULL LOAD AMPS & BTU)
  - SOUND LEVELS (WHERE APPLICABLE)
  - PERFORMANCE (EFFICIENCIES, HEATING, COOLING, AIR FLOW, STATIC PRESS.)
- ALL WORK INDICATED ON THESE PLANS SHALL BE DONE IN COMPLIANCE WITH CURRENT STATE AND LOCAL CODES, ALL APPLICABLE CALIFORNIA TITLE-24 REQUIREMENTS, AND ALL MANUFACTURER INSTALLATION GUIDELINES. IN THE EVENT OF CONFLICT BETWEEN CODES, THE MORE RESTRICTIVE REQUIREMENTS SHALL BE EXERCISED.
- NOTHING IN THESE DRAWINGS AND/OR SPECIFICATIONS SHALL BE INTERPRETED TO CONFLICT WITH ANY CITY OR STATE LAW, REGULATION, CODE, ORDINANCE, RULING OR FIRE UNDERWRITER'S REQUIREMENT APPLICABLE TO THIS CLASS OF WORK.
- CONSTRUCTION AND/OR ENGINEERING COSTS RESULTING FROM PRODUCT SUBSTITUTIONS SHALL BE PAID BY THE MECHANICAL CONTRACTOR. APPROVAL OF SUBSTITUTED PRODUCTS DOES NOT NEGATE THIS OBLIGATION.
- THE MECHANICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AIR TERMINALS WITH THE REFLECTED CEILING PLAN AND VERIFY CORRECT LOCATION OF EQUIPMENT, PIPING AND PLUMBING SERVICES BEFORE PROCEEDING WITH INSTALLATION.
- ALL LOCATIONS OF DUCTWORK, EQUIPMENT AND PIPING ARE SHOWN DIAGRAMMATICALLY. THE MECHANICAL CONTRACTOR SHALL ADHERE TO LOCATIONS INDICATED ON THE DRAWINGS AS CLOSELY AS POSSIBLE, VARYING PIPE RUNS AS REQUIRED TO MEET STRUCTURAL AND OTHER INTERFERENCES AS REQUIRED BY THE PROJECT.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE ACCESS PANELS WHERE REQUIRED FOR ALL MECHANICAL-RELATED EQUIPMENT, ACCESSORIES, AND CONTROLS.
- DUCT DIMENSIONS SHOWN ARE INTERNAL.
- ALL EQUIPMENT SHALL BE FURNISHED AND INSTALLED WITH AT LEAST THE MANUFACTURER'S MINIMUM RECOMMENDED CLEARANCE ALLOWANCE FOR SUFFICIENT ACCESS TO CONTROLS, FILTERS, ELECTRIC MOTORS, ETC. FOR MAINTENANCE AND PROPER OPERATION.

MECHANICAL ABBREVIATIONS

SPECIFICATION

INSTALLATION NOTES

SPLIT HEAT PUMP SCHEDULE

INDOOR FAN COIL SCHEDULE

SYMBOL	MANUFACTURER	MODEL	MATCHING OUTDOOR UNIT	COOLING CAP BTU/H	HEATING CAP (47°F) BTU/H	CFM	ESP	REFRIG.	FLA	POWER	MCA	MCOP	WEIGHT (LBS.)	NOTES
FC-A	MITSUBISHI	PEAD-A12AA7	HP-A	12,000	16,300	445	0.6	410A	1.16	208/230-1-60	1.45	-	58	
FC-B	MITSUBISHI	PEAD-A15AA7	HP-B	15,000	18,000	540	0.6	410A	1.35	208/230-1-60	1.69	-	62	1,2,3
FC-C	MITSUBISHI	PEAD-A18AA7	HP-C	19,000	24,700	540	0.6	410A	1.35	208/230-1-60	1.69	-	62	
FC-1	MITSUBISHI	PKFY-P18NLMU-E	HP-1	18,000	20,000	440	-	410A	15	208/230-1-60	0.24	15	28.4	1,3
FC-2	MITSUBISHI	PKFY-P18NLMU-E	HP-2	18,000	20,000	440	-	410A	15	208/230-1-60	0.24	15	28.4	1,3,4
FC-3	MITSUBISHI	PVFY-P36NAMU-E1	HP-3	36,000	40,000	1,095	0.5	410A	-	208/230-1-60	4.1	15	141	1,3
FC-4	MITSUBISHI	PEFY-P36NMAU-E4	HP-4	36,000	40,000	1,270	0.6	410A	3.4	208/230-1-60	4.25	16	84	1,3,4
FC-5	MITSUBISHI	PEFY-P36NMAU-E4	HP-5	36,000	40,000	1,270	0.6	410A	3.4	208/230-1-60	4.25	15	84	1,3,4
FC-6	MITSUBISHI	PKFY-P12NLMU-E	HP-3	12,000	13,500	415	-	410A	-	208/230-1-60	0.38	15	29	1,3,4
FC-7	MITSUBISHI	PVFY-P54NAMU-E1	HP-6	54,000	60,000	1,485	0.5	410A	-	208/230-1-60	5.6	15	172	1,3
FC-8	MITSUBISHI	PVFY-P54NAMU-E1	HP-7	54,000	60,000	1,485	0.5	410A	-	208/230-1-60	5.6	15	172	1,3
FC-9	MITSUBISHI	PKFY-P12NLMU-E	HP-3	12,000	13,500	415	-	410A	-	208/230-1-60	0.38	15	29	1,3,4
FC-10	MITSUBISHI	PKFY-P12NLMU-E	HP-4	12,000	13,500	415	-	410A	-	208/230-1-60	0.38	15	29	1,3,4
FC-11	MITSUBISHI	PKFY-P12NLMU-E	HP-4	12,000	13,500	415	-	410A	-	208/230-1-60	0.38	15	29	1,3,4
FC-12	MITSUBISHI	PKFY-P12NLMU-E	HP-5	12,000	13,500	415	-	410A	-	208/230-1-60	0.38	15	29	1,3,4
FC-13	MITSUBISHI	PKFY-P18NLMU-E	HP-8	19,000	20,000	440	-	410A	15	208/230-1-60	0.24	15	28.4	1,3

OUTDOOR HEAT PUMP

SYMBOL	MANUFACTURER	MODEL	RATED COOLING CAP			RATED HEATING CAP			POWER	MCA	MCOP	WEIGHT (LBS.)	NOTES
			BTU/H	SEER	EER	BTU/H @47°F	BTUH/H @17°F	HSPF					
HP-A	MITSUBISHI	SUZ-KA12NA2	12,000	20.5	12.9	15,000	8,900	13	208/230-1-60	9	16	81	3
HP-B	MITSUBISHI	SUZ-KA15NAR1	15,000	18.6	12.5	21,000	13,800	12.1	208/230-1-60	12	15	60	3
HP-C	MITSUBISHI	SUZ-KA18NA2	18,000	19.8	14.1	21,600	14,000	12.9	208/230-1-60	14	24	127	3
HP-1	MITSUBISHI	PUMY-P36NKMU	36,000	18.3	12.8	42,000	25,200	11.7	208/230-1-60	29	44	271	3
HP-2	MITSUBISHI	PUMY-P36NKMU	36,000	18.3	12.8	42,000	25,200	11.7	208/230-1-60	29	44	271	3
HP-3	MITSUBISHI	PUMY-P60NKMU3	60,000	20	13.3	66,000	39,600	12	208/230-1-60	36	45	302	3
HP-4	MITSUBISHI	PUMY-P60NKMU3	60,000	20	13.3	66,000	39,600	12	208/230-1-60	36	45	302	3
HP-5	MITSUBISHI	PUMY-HP48NKMU1	48,000	16.5	11.3	54,000	31,200	11	208/230-1-60	28	44	271	3
HP-6	MITSUBISHI	PUMY-P60NKMU3	60,000	20	13.3	66,000	39,600	12	208/230-1-60	36	45	302	3
HP-7	MITSUBISHI	PUMY-P60NKMU3	60,000	20	13.3	66,000	39,600	12	208/230-1-60	36	45	302	3
HP-8	MITSUBISHI	PUMY-P36NKMU	36,000	18.3	12.8	42,000	25,200	11.7	208/230-1-60	29	44	271	3

NOTES
1. PROVIDE MANUFACTURER'S DRAIN PAN LEVEL SENSOR AND WIRED TOUCH REMOTE CONTROLLER
2. INDOOR UNIT POWERED BY OUTDOOR UNIT. POWER AND CONTROL WIRING BY MECHANICAL CONTRACTOR
3. PROVIDE REFRIGERANT LINE SETS PER MANUFACTURER'S SIZING CRITERIA FOR MAXIMUM LENGTH OF PIPE, AND FURNISH AND PROVIDE MANUFACTURER'S 410A RATED VALVES, PORT ADAPTORS, PLUGS, AND PIPING ACCESSORIES NECESSARY FOR COMPLETE INSTALLATION
4. PROVIDE MANUFACTURER'S RECOMMENDED CONDENSATE PUMP

EXHAUST FAN SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	STYLE	POWER	CFM	E.S.P "W.C.	WATTS (BHP)	HP	SONES	RPM	WEIGHT (LBS)	NOTES
EF-A	PANASONIC	FV-05/11VKSL1	DWELLING RR	INLINE	120-1-60	50	0.25	9.9	-	3	1054	11.8	1,2,3,4,5
EF-1	GREENHECK	SQ-80-VG	TRASH	INLINE	208/230-1-60	270	0.6	(0.1)	1/10	25	1021	41	4,6,7
EF-2	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-3	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-4	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	8	625	9	4,6
EF-5	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-6	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-7	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-8	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	8	625	9	4,6
EF-9	GREENHECK	SQ-80-VG	TRASH	INLINE	208/230-1-60	270	0.6	(0.1)	1/10	25	1021	41	4,6,7
EF-10	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-11	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-12	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-13	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-14	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-15	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	8	625	9	4,6
EF-16	GREENHECK	SP-B80	RESTROOM	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-17	GREENHECK	SP-B80	RESTROOM	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-18	GREENHECK	SP-B110	RESTROOM	CABINET	115/120-1-60	135	0.125	8	-	11	950	0	4,6,7
EF-19	GREENHECK	SP-B150	RESTROOM	CABINET	115/120-60-1	155	0.28	10.2	-	22	1050	10	4,6,7
EF-20	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-21	GREENHECK	SQ-80-VG	TRASH	INLINE	208/230-1-60	270	0.6	(0.1)	1/10	25	1021	41	4,6,7
EF-22	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-23	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-24	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-25	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	9	625	9	4,6
EF-26	GREENHECK	SP-B80	TRASH	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-27	GREENHECK	SP-B50	JANITORS	CABINET	115/120-1-60	65	0.125	15	-	8	625	9	4,6
EF-28	GREENHECK	SP-B50	MAINTENANCE	CABINET	115/120-1-60	65	0.125	15	-	8	625	9	4,6
EF-29	GREENHECK	SP-B80	RESTROOM	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6
EF-30	GREENHECK	SP-B80	RESTROOM	CABINET	115/120-1-60	95	0.25	4.5	-	7	900	10	4,6

NOTES
1. PROVIDE MANUFACTURER'S MULTI-SPEED TIME DELAY MODULE WITH CONTINUOUS LISTED AIRFLOW. SET MAXIMUM AIRFLOW TIME DELAY TO 30 MINUTES.
2. PROVIDE MANUFACTURER'S HUMIDITY SENSOR MODULE
3. PROVIDE WALL SWITCH ADJACENT TO ROOM LIGHT SWITCH. SWITCH SHALL CONTROL HIGH FAN SPEED VS LOW FAN SPEED. A LABEL SHALL BE APPLIED AT THE FAN CIRCUIT BREAKER SWITCH TO COMMUNICATE THE REQUIRED CONTINUOUS BUILDING VENTILATION FUNCTION AND IMPORTANCE WITH A STATEMENT TO MAKE CLEAR HOW THE CONTROL SWITCH IS TO BE OPERATED. THE LABEL SHALL READ "TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH, THE FAN SWITCH SHOULD BE ON AT ALL TIMES WHEN THE UNIT IS OCCUPIED UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION". IT IS RECOMMENDED THAT THE LABEL TEXT BE IN BOLD TYPE, PLACED ON A WHITE BACKGROUND AND NO SMALLER THAN THE EQUIVALENT OF ARIAL 12 POINT TYPE.
4. PROVIDE MANUFACTURER'S BACKDRAFT DAMPER
5. THE 2019 CALIFORNIA ENERGY CODE REQUIRES DWELLING UNIT VENTILATION. DWELLING UNIT VENTILATION CAN BE ACHIEVED VIA BALANCED VENTILATION OR EXHAUST-ONLY VENTILATION. EXHAUST-ONLY VENTILATION REQUIRES ENVELOPE LEAKAGE TESTING (BLOWER DOOR TESTING) FOR ALL DWELLING UNITS. THIS PROJECT ASSUMES EXHAUST-ONLY VENTILATION WITH ENVELOPE LEAKAGE TESTING. ALL DWELLING UNITS SHALL BE TESTED TO THE SATISFACTION OF THE CALIFORNIA ENERGY COMMISSION. THE MECHANICAL CONTRACTOR IS NOT RESPONSIBLE FOR COMPLIANCE WITH THE ENVELOPE LEAKAGE REQUIREMENTS. DETAILS FOR METHODS OF COMPLYING WITH THE REQUIRED ENVELOPE-LEAKAGE TESTING IN ACCORDANCE WITH REFERENCE NONRESIDENTIAL APPENDIX NA7.18.2 (OR REFERENCE RESIDENTIAL APPENDIX RA3.8) SHALL BE LISTED ON THE ARCHITECTURAL SHEETS.
6. PROVIDE WALL SWITCH ADJACENT TO ROOM LIGHT SWITCH
7. PROVIDE MANUFACTURER'S INLET GUARD

SUPPLY FAN SCHEDULE

SYMBOL	MANUFACTURER	MODEL	STYLE	POWER	CFM	E.S.P. "W.C.	WATTS (BHP)	WEIGHT (LBS)	NOTES
SA-1	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-2	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-3	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-4	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-5	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-6	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-7	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-8	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-9	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-10	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-11	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-12	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-13	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-14	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-16	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-17	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-18	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY
SA-19	PANASONIC	FV-15NLFS1	CABINET	115/120-1-60	150	0.4	24.8	17.4	ALL APPLY

NOTES
1. PROVIDE MANUFACTURER'S BACKDRAFT DAMPER
2. PROVIDE MANUFACTURER'S FILTER BOX WITH 2" MERV 13 FILTER
3. PROVIDE MANUFACTURER'S MANUAL SPEED CONTROLLER DIAL, MOUNT TO UNIT FOR BALANCING

PACKAGED TERMINAL HEAT PUMP SCHEDULE

SYMBOL	MANUFACTURER	MODEL	TOT. COOLING			NET HEATING @ 47F		CFM	POWER	AUX ELEC HEAT (KW)	MCA	MCOP	REFRIG.	WEIGHT (LBS.)	NOTES
			MBTUH	SEER	EER	MBTUH	HSPF								
PTHP-1	EPHOCA	DK82H050	8	16	11	10	3.43	235	208-1-60	2	10.7	20	R-410A	90	ALL APPLY

NOTES
1. PROVIDE MANUFACTURER'S PROGRAMMABLE TOUCH CONTROLLER WIRED 7-DAY PROGRAMMABLE THERMOSTAT. MOUNT AT 48" AFF
2. PROVIDE MANUFACTURER'S EXTERIOR WALL TERMINATION VENTS

AIR TERMINAL SCHEDULE

SYMBOL	MANUFACTURER	MODEL	NECK SIZE	BORDER	CONST.	FINISH	OBD	NOTES
CRG-1	TITUS	350RL	18"X18"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CRG-2	TITUS	350RL	14"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CRG-3	TITUS	350RL	10"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CRG-4	TITUS	350RL	14"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CRG-5	TITUS	350RL	14"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CRG-6	TITUS	350RL	14"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CSD-1	TITUS	301RS	12"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CSD-2	TITUS	301RS	8"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CSD-3	TITUS	301RS	6"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
CSD-4	TITUS	301RS	10"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WRG-2	TITUS	350RL	30"X12"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WRG-3	TITUS	350RL	30"X12"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-1	TITUS	301RS	6"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-2	TITUS	301RS	30"X12"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-3	TITUS	301RS	12"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-4	TITUS	301RS	24"X14"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-5	TITUS	301RS	24"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-6	TITUS	301RS	10"X6"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WSD-7	TITUS	301RS	12"X10"	BORDER TYPE 1	STEEL	SOFT WHITE	YES	1
WVL-1	GREENHECK	EDJ-430	18"X18"	INTERG. FLANG	ALUMINUM	-	NO	2,3
WVL-2	GREENHECK	EDJ-430	18"X12"	INTERG. FLANG	ALUMINUM	-	NO	2
WVL-3	GREENHECK	EDJ-430	24"X24"	INTERG. FLANG	ALUMINUM	-	NO	2,3
WVL-4	GREENHECK	EDJ-430	12"X12"	INTERG. FLANG	ALUMINUM	-	NO	2

NOTES
1. MATCH DEFLECTIONS SEEN ON PLAN. IF DEFLECTIONS ARE NOT SHOWN ASSUME 4-WAY THROW
2. COORDINATE COLOR AND FINISH WITH ARCHITECT PRIOR TO EQUIPMENT PURCHASE
3. PROVIDE LOUVER SIZE 'TITUS' 301RL GRILLE AT INTERIOR FACE OF LOUVER TO PROVIDE A FINISHED AESTHETIC INSIDE THE LAUNDRY ROOM

HVAC LEGEND

SYMBOL	DESCRIPTION	ABBREV.	SYMBOL	DESCRIPTION	ABBREV.	SYMBOL	DESCRIPTION	ABBREV.
	SUPPLY AIR DIFFUSER	SA		RECTANGULAR DUCT	-		VOLUME DAMPER	VD
	RETURN AIR GRILLE	RA		LINED RECTANGULAR DUCT	-		FIRE DAMPER	FD
	EXHAUST AIR GRILLE	EA	FLEXIBLE DUCT ROUND	RIGID ROUND DUCT	-	SD	SMOKE DETECTOR	SD
	CEILING EXHAUST FAN	CEF		FLEXIBLE ROUND DUCT	-		FLEXIBLE CONNECTION	FC
	SIDEWALL GRILLE REGISTER OR LOUVER	-		POINT OF CONNECTION OR DISCONNECTION	POC/POD		THERMOSTAT SENSOR	-
	GRILLE, DIFFUSER, REGISTER, OR LOUVER TAG	-	Ø	DIAMETER	DIA		EQUIPMENT OR DUCTWORK TO BE REMOVED	-

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AGENCY

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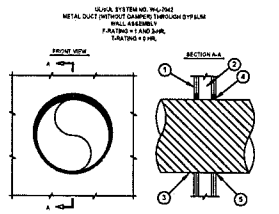
24960 Adams Ave, Murrieta CA 92562

GENERAL NOTES, SPECIFICATIONS, LEGENDS, ABBREVIATIONS, SCHEDULES

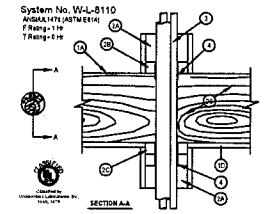
NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M-001

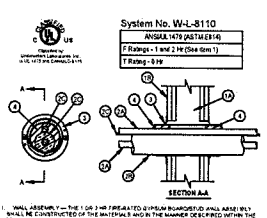
50% CD



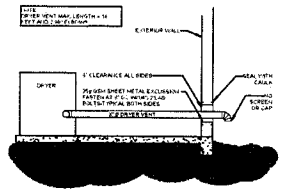
52 DUCT THROUGH 1-HOUR RATED WALL
SCALE: NONE



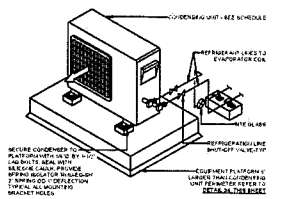
43 REFRIGERANT PIPING THRU RATED FLOOR
SCALE: NONE



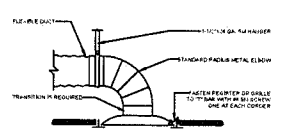
45 REFRIGERANT PIPING THRU RATED WALL
SCALE: NONE



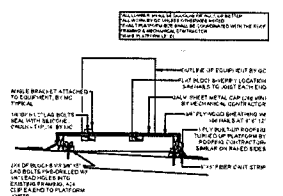
31 DRYER VENT
SCALE: NONE



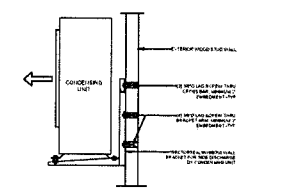
32 CONDENSING UNIT ON PLATFORM
SCALE: NONE



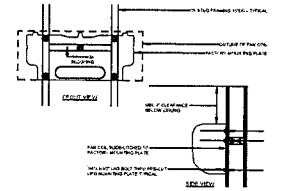
33 DIFFUSER/GRILLE CONNECTION
SCALE: NONE



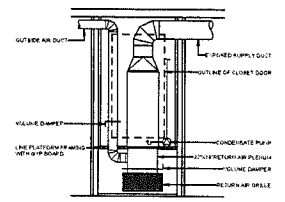
34 EQUIPMENT ON PLATFORM
SCALE: NONE



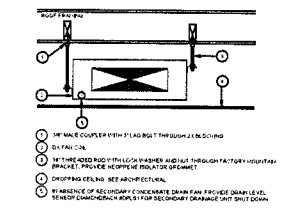
35 WALL MOUNTED CONDENSING UNIT
SCALE: NONE



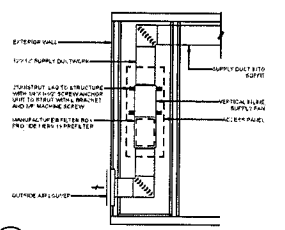
21 WALL MOUNTED FAN COIL
SCALE: NONE



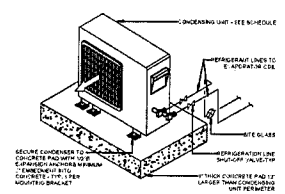
22 VERTICAL MOUNTED FAU
SCALE: NONE



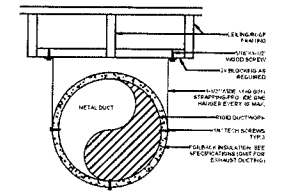
23 SUSPENDED FAN COIL SUPPORT
SCALE: NONE



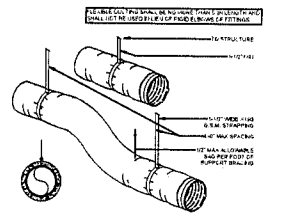
24 VERTICAL MOUNTED SUPPLY FAN
SCALE: NONE



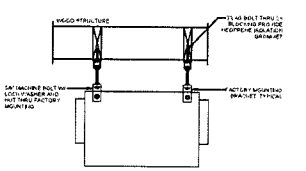
25 CONDENSING UNIT ON CONCRETE PAD
SCALE: NONE



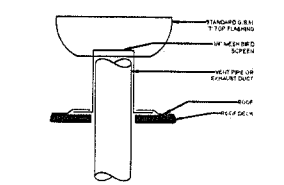
12 DUCT SUPPORT (WOOD FLOOR)
SCALE: NONE



13 FLEXIBLE DUCT SUPPORT
SCALE: NONE



14 INLINE FAN SUPPORT
SCALE: NONE



15 ROOF JACK
SCALE: NONE

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

MECHANICAL DETAILS

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M-002

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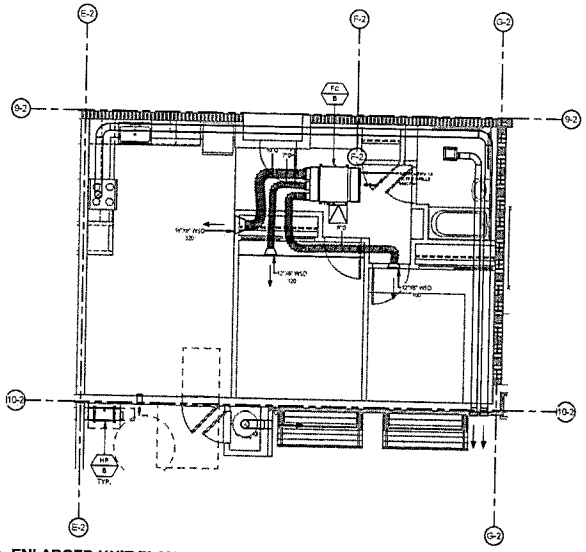
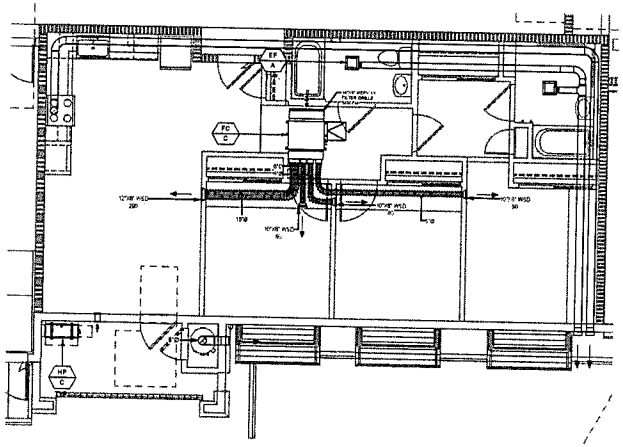
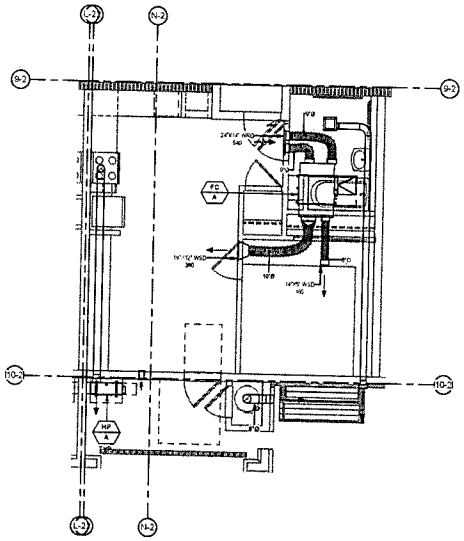


2 ENLARGED UNIT PLAN-2 BD / 1 BA-MECHANICAL
SCALE: 1/4" = 1'-0"



3 ENLARGED UNIT PLAN-3 BD / 2 BA-MECHANICAL
SCALE: 1/4" = 1'-0"



1 ENLARGED UNIT PLAN-1 BD / 1 BA-MECHANICAL
SCALE: 1/4" = 1'-0"

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MECHANICAL ENLARGED PLANS

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PROJECT NUMBER
M22010
SHEET
M-003

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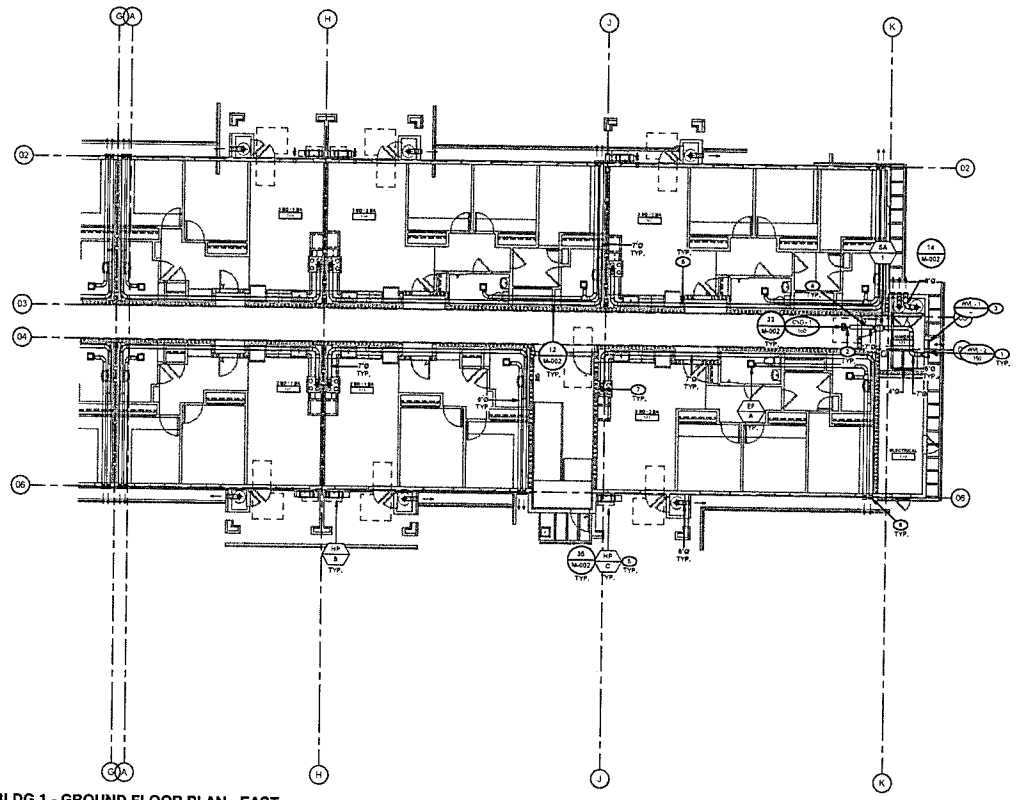
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-003
3. 3-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
4. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
5. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
6. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-002
7. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CFC (PART 4.5) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM ADJUSTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
8. GDM EXHAUST AIR WALL VENTIEYESROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 BLDG 1 - GROUND FLOOR PLAN - EAST
SCALE: 1/8" = 1'-0"

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BLDG 1 - GROUND FLOOR PLAN - EAST

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DATE 07.27.22
PROJECT NUMBER M22010
SHEET M1-101a

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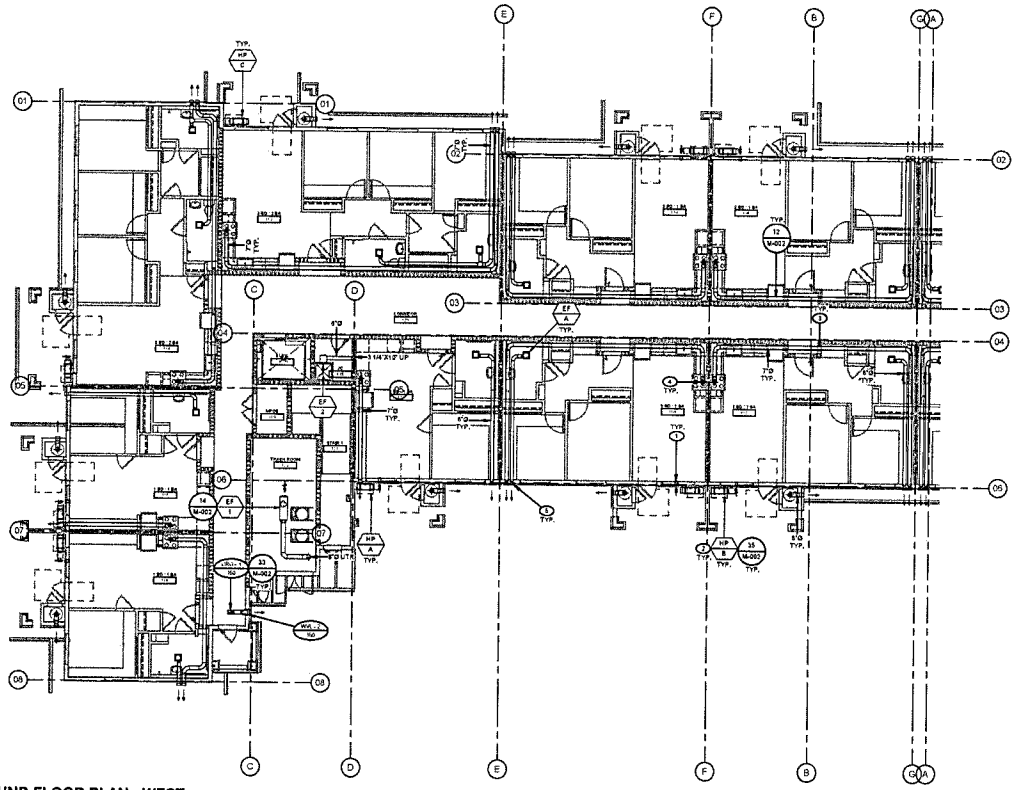
REFERENCE NOTES

1. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 207 #11-165 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER.
2. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S) INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
3.
4. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
5. GEM EXHAUST AIR WALL VENTEYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 BLDG 1 - GROUND FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

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BLDG 1 - GROUND FLOOR PLAN - WEST

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PROJECT NUMBER M22010
SHEET M1-101b

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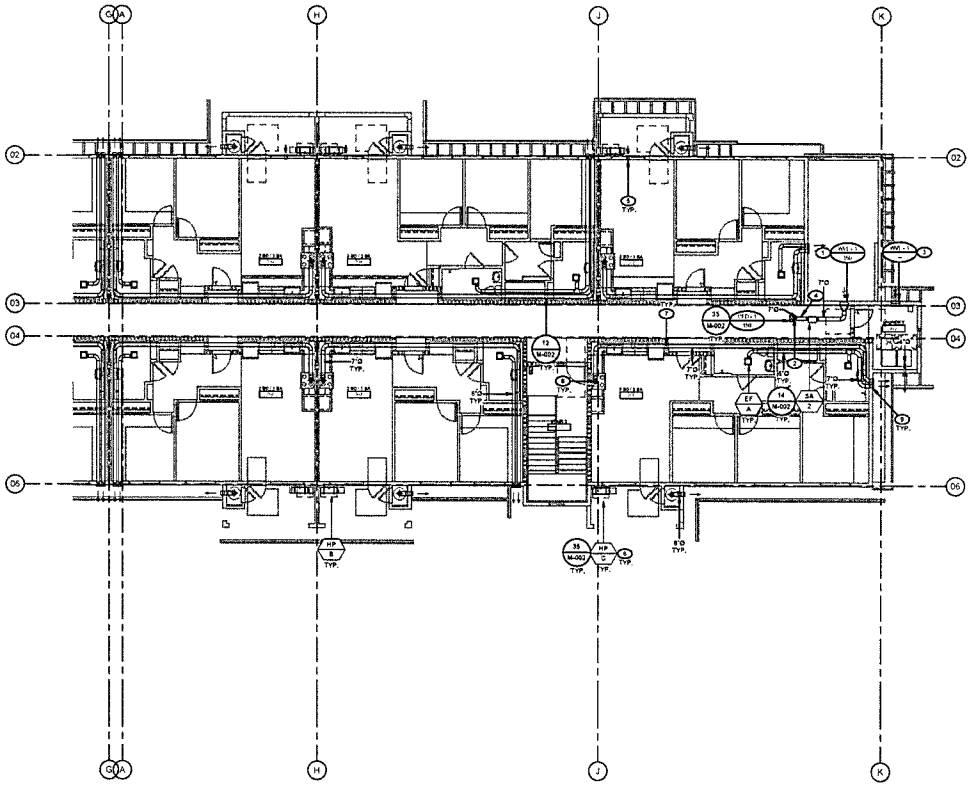
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 1/M-002
3. 3-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
4. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
5. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200' #11-555 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
6. REFRIGERANT PIPING (LINE SETS) FROM CONDENSING UNIT TO INDOOR FAN COILS. INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
7. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-002
8. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEDC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
9. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 1 - SECOND FLOOR PLAN - EAST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - SECOND FLOOR PLAN - EAST

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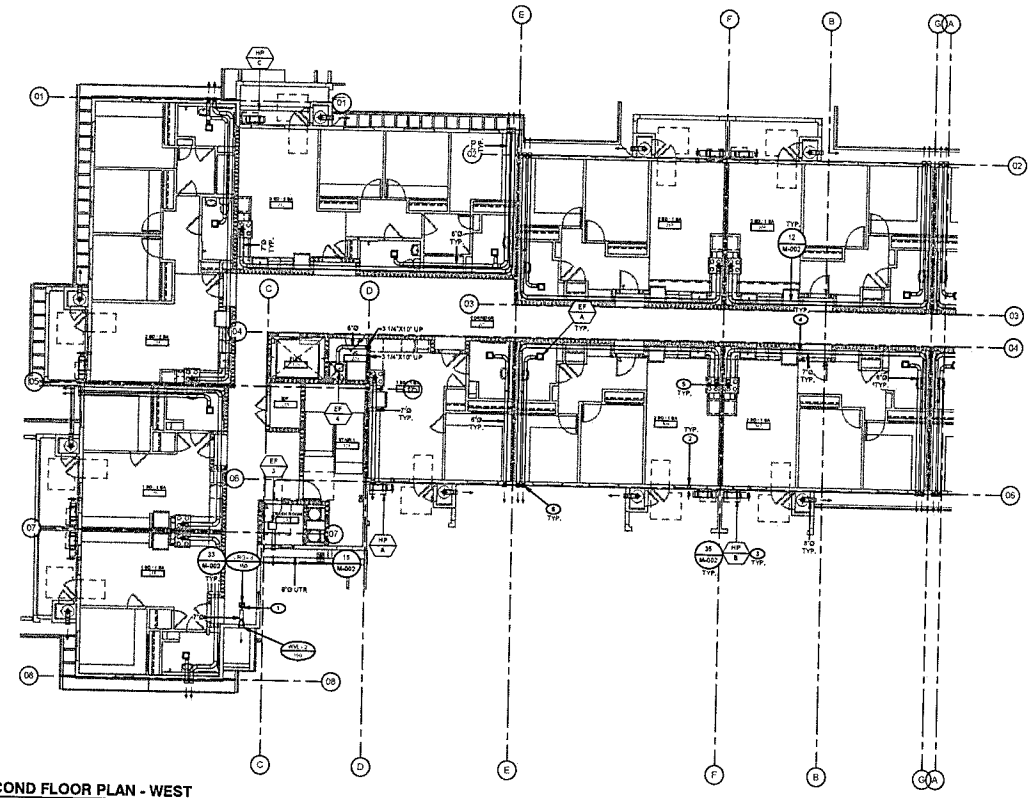
REFERENCE NOTES

1. FLEXIBLE DUCT AT END RUN CONDITION, FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OR FITTINGS. SEE DETAIL 13/M-003
2. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #11-665 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
3.
4. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.8 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-003
5. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI OR CEC APPROVED EQUIVALENT STANDARD AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
6. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 BLDG 1 - SECOND FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

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BLDG 1 - SECOND FLOOR PLAN - WEST

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PROJECT NUMBER M22010
SHEET M1-102b

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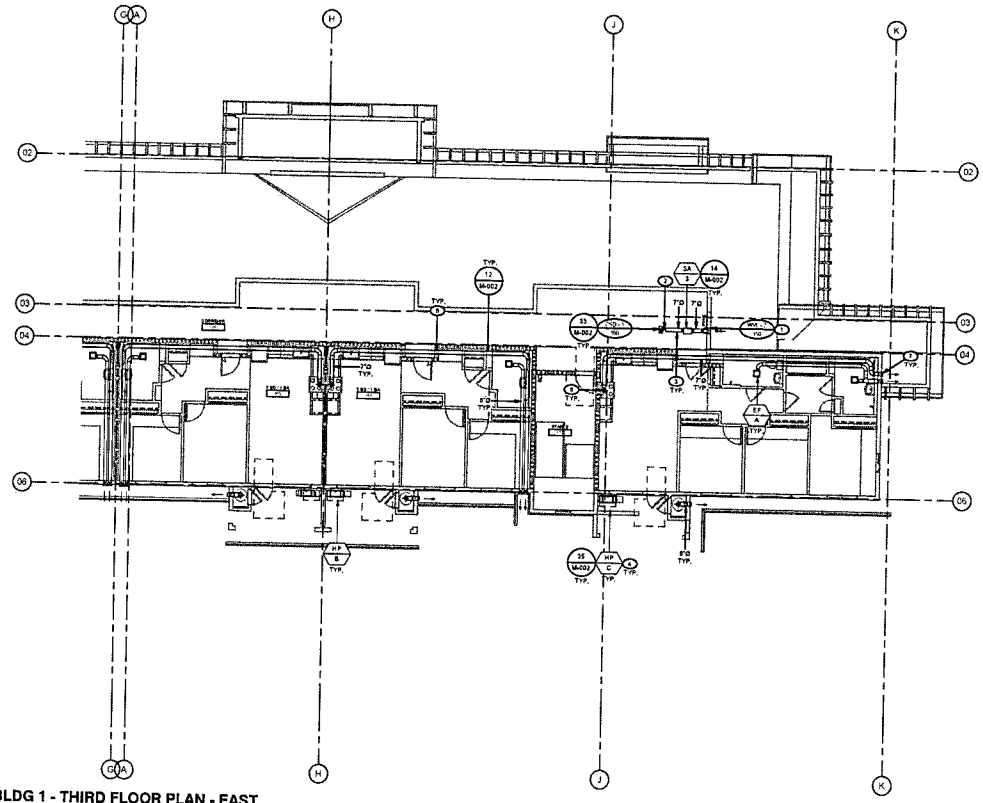
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF MORE ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
3. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
4. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S) INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
5. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.3.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-002
6. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEHC (RA3.2.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
7. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 BLDG 1 - THIRD FLOOR PLAN - EAST
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MURRIETTA
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BLDG 1 - THIRD FLOOR PLAN - EAST

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DATE 07.27.22
PROJECT NUMBER M22010
SHEET M1-103a

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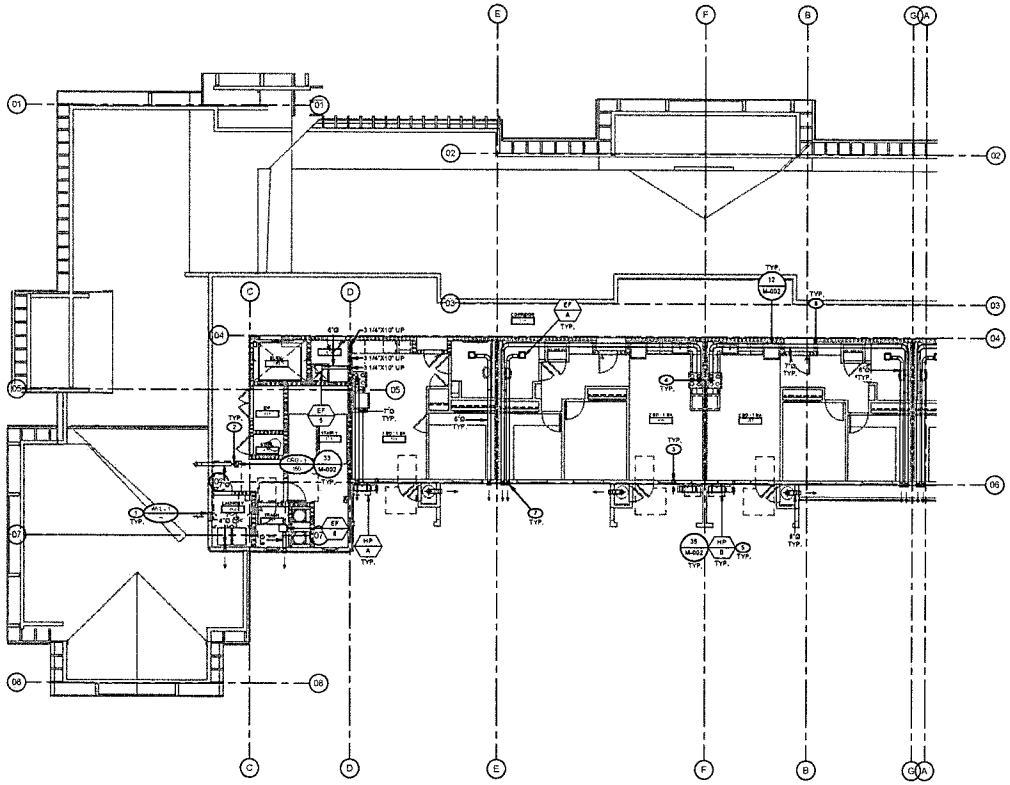
REFERENCE NOTES

1. 2-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 1/SM-002
3. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #11-455 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
4. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEVC (RA2.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
5. REFRIGERANT PIPING (LINE SETS) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
6. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/SM-002
7. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 1 - THIRD FLOOR PLAN - WEST**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - THIRD FLOOR PLAN - WEST

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PROJECT MANAGER

DRAWN BY | CHECKED BY

DATE
07.27.22

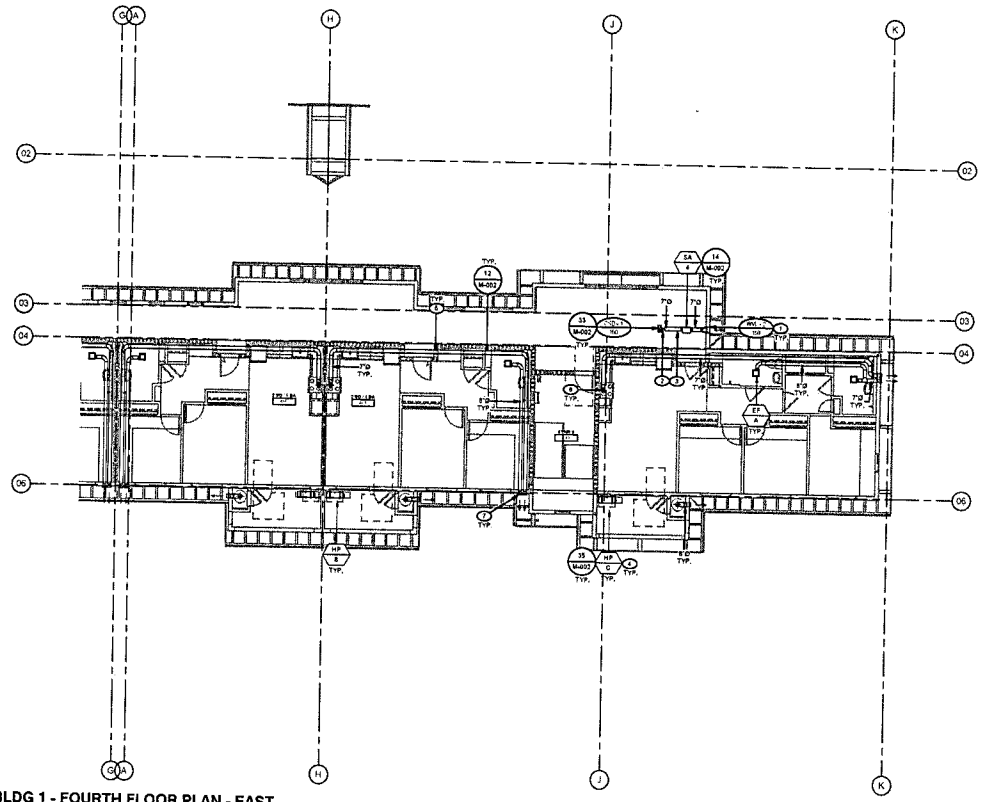
PROJECT NUMBER
M22010

SHEET
M1-103b

50% CD

REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 1/M-002
3. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
4. REFRIGERANT PIPING (LINE SETS) FROM CONDENSING UNIT TO INDOOR FAN COILS) INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
5. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.6 EXCEPTION 4 SUMMARY
6. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEMC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 1.0 SONE OR LESS WHEN OPERATING AT 100CFM
7. 63M EXHAUST AIR WALL VENT(SEYBOW) TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 3F FROM PROPERTY LINES.



1 **BLDG 1 - FOURTH FLOOR PLAN - EAST**
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - FOURTH FLOOR PLAN - EAST

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M1-104a

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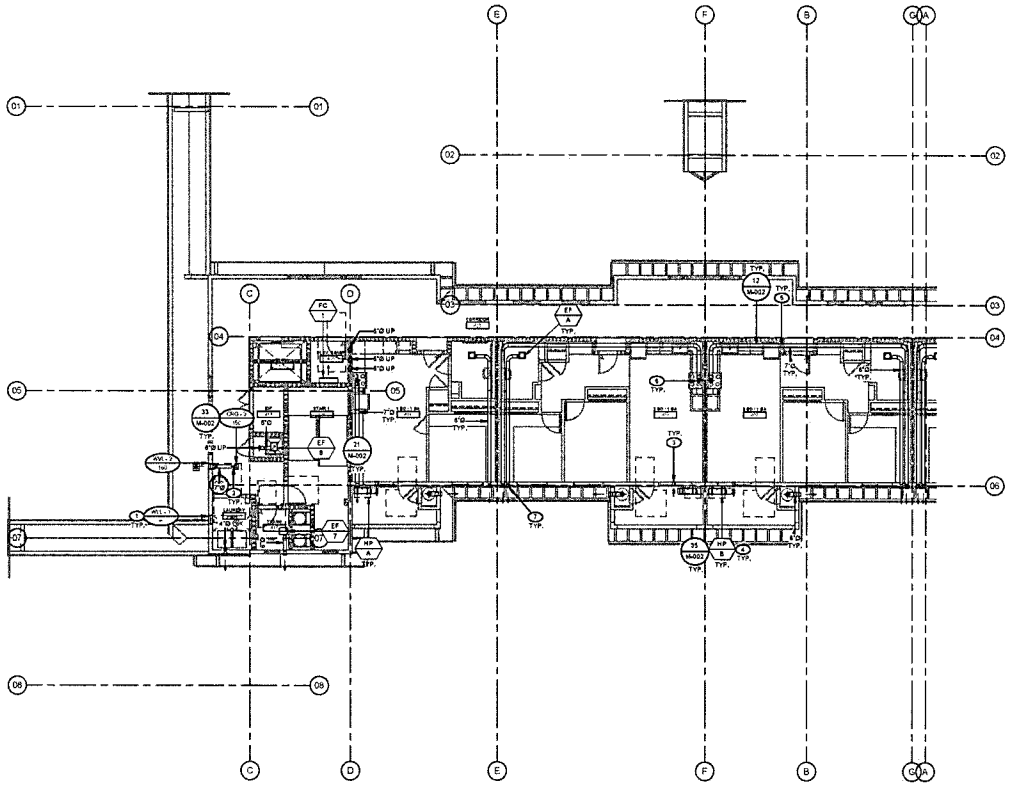
REFERENCE NOTES

1. 3-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
3. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #11-555 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
4. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
5. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-002
6. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
7. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 10' FROM PROPERTY LINES.



1 **BLDG 1 - FOURTH FLOOR PLAN - WEST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - FOURTH FLOOR PLAN - WEST

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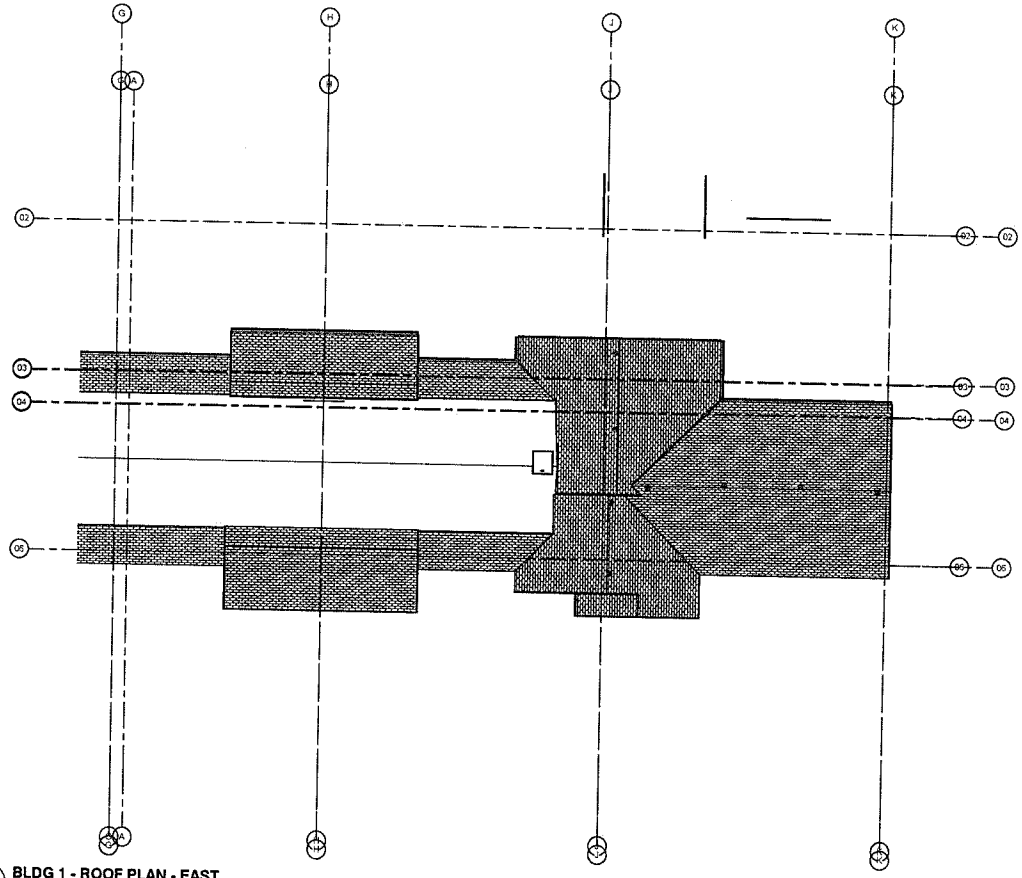

1 BLDG 1 - ROOF PLAN - EAST
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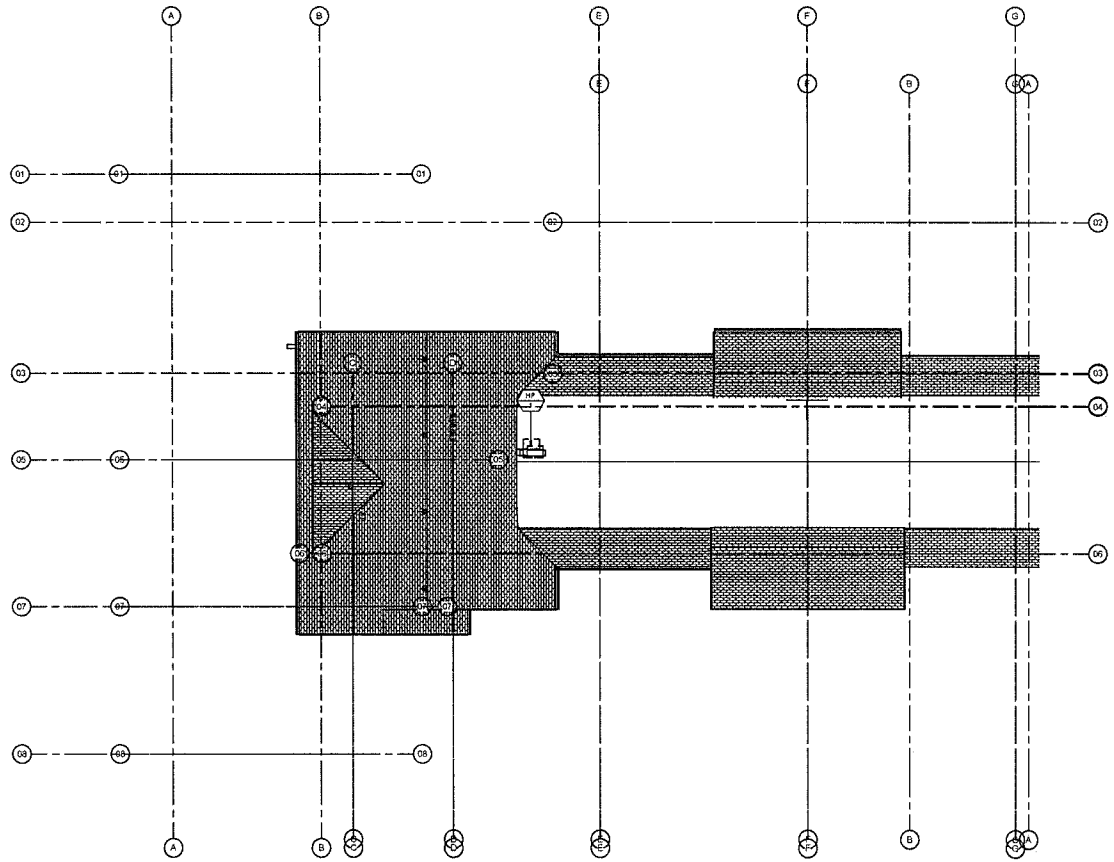

1 **BLDG 1 - ROOF PLAN - WEST**
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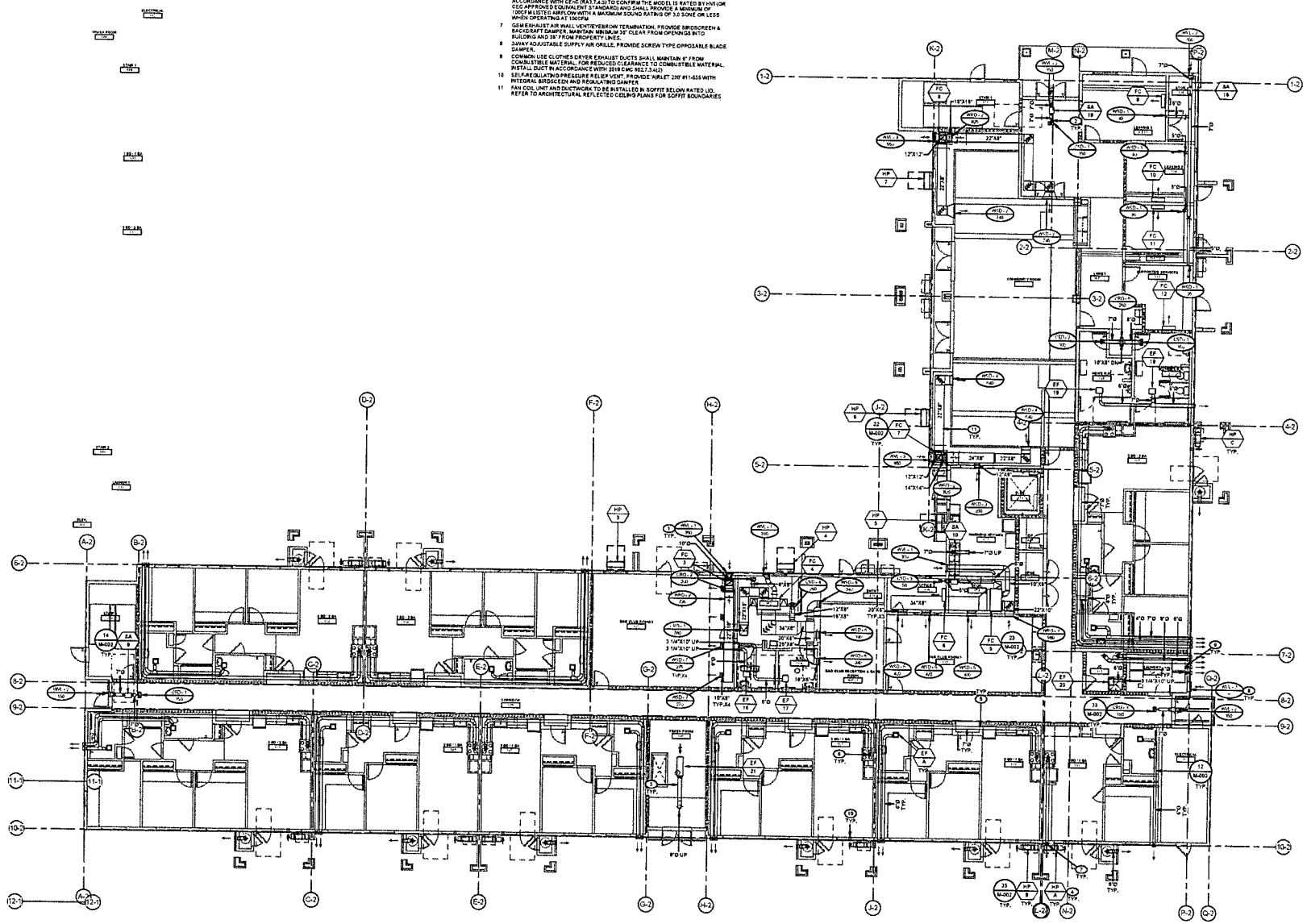
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
3. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
4. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
5. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 52/M-002
6. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEnC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CSG APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
7. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.
8. 3-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
9. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL. FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL, INSTALL DUCT IN ACCORDANCE WITH 2018 CMC 902.7.3.4(2)
10. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 411-655 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
11. FAN COIL UNIT AND DUCTWORK TO BE INSTALLED IN SOFFIT BELOW RATED LID. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR SOFFIT BOUNDARIES



1 **BLDG 3 - GROUND FLOOR PLAN**
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24960 Adams Ave, Murrieta CA 92562

BLDG 3 - GROUND FLOOR PLAN

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DATE 07.27.22
PROJECT NUMBER M22010
SHEET M3-101

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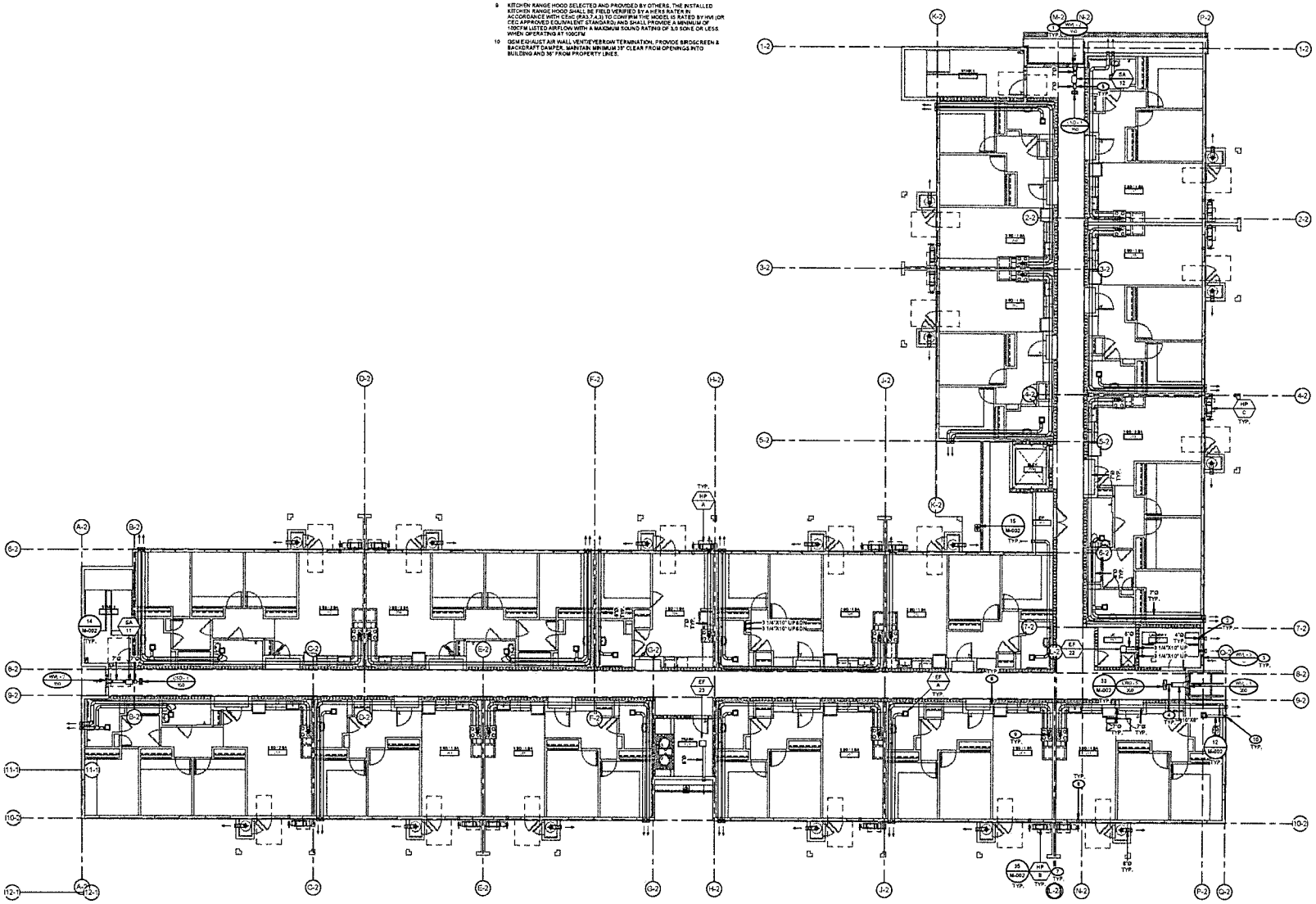
REFERENCE NOTES

1. OUTSIDE AIR INTAKE, MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL. FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL, INSTALL DUCT IN ACCORDANCE WITH 2016 CMC 802.2.4(3)
3. 2WAY ADJUSTABLE SUPPLY AIR GRILLE, PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
4. FLEXIBLE DUCT AT END RUN CONDITION, FLEXIBLE DUCTING SHALL BE NO MORE THAN 8' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-001
5. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
6. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE 'AIRLET 202' #11-655 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
7. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL 6 SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
8. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-002
9. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEMC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
10. DEM EQ HAUST AIR WALL VENTEYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 3ft CLEAR FROM OPENINGS INTO BUILDING AND 3ft FROM PROPERTY LINES.



1 **BLDG 3 - SECOND FLOOR PLAN**
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BLDG 3 - SECOND FLOOR PLAN

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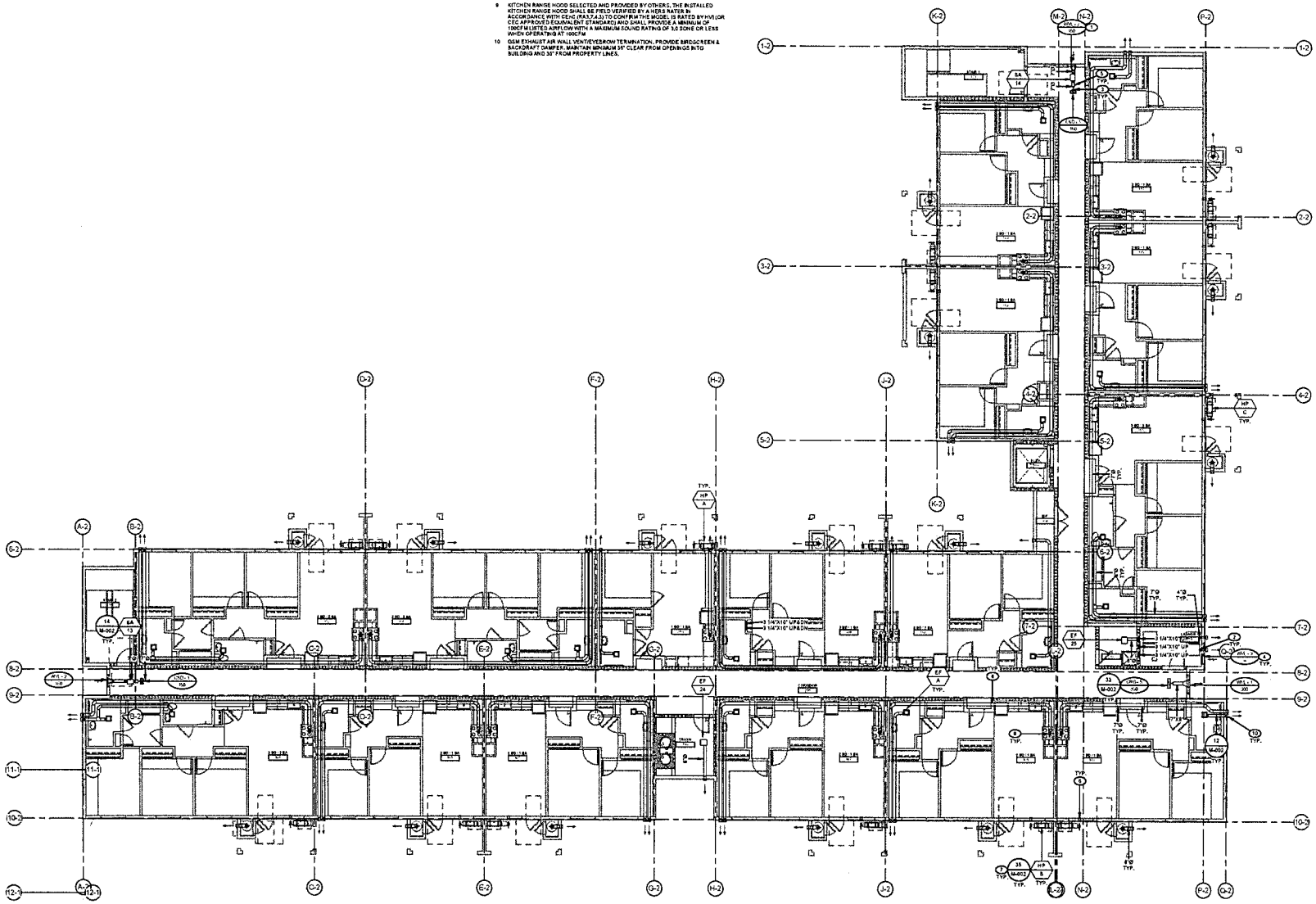
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M3-102

50% CD

REFERENCE NOTES

1. OUTSIDE AIR INTAKE, MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL. FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL, INSTALL DUCT IN ACCORDANCE WITH 2018 CMC 922.7.3.4(2)
3. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5 IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
4. 3WAY ADJUSTABLE SUPPLY AIR GRILLE, PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
5. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
6. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #114555 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
7. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
8. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/2/M-002
9. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM VENTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
10. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 30' FROM PROPERTY LINES.



1 **BLDG 3 - THIRD FLOOR PLAN**
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DATE 07.27.22
PROJECT NUMBER M22010
SHEET M3-103

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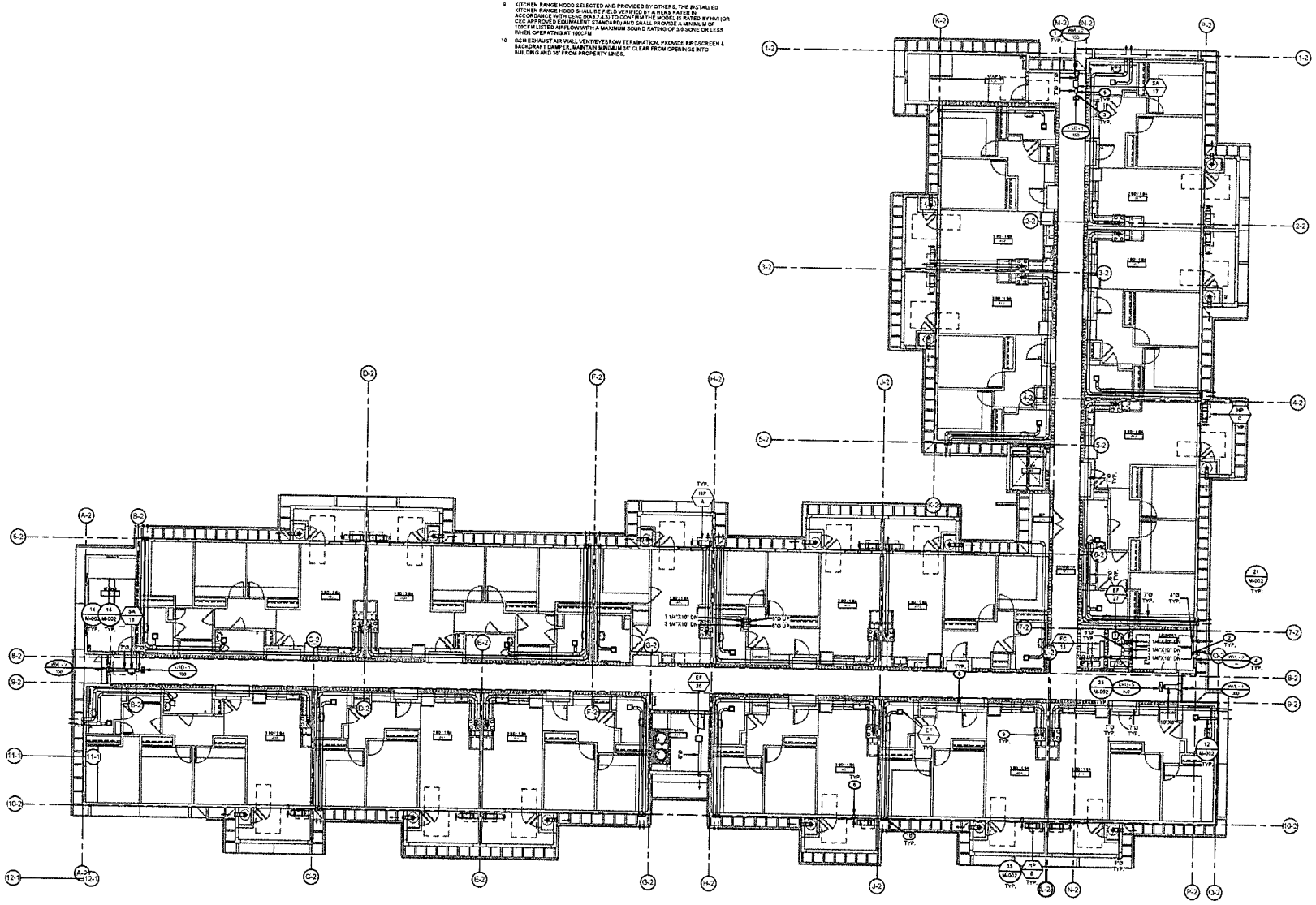
REFERENCE NOTES

1. OUTSIDE AIR INTAKE, MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL INSTALL DUCT IN ACCORDANCE WITH 2016 CMC 602.7.3.4(C)
3. FLEXIBLE DUCT AT END RUN CONDITION, FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
4. 24WAY ADJUSTABLE SUPPLY AIR GRILLE, PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
5. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
6. SELF-REGULATING PRESSURE RELIEF VENT, PROVIDE AIRLET 229 #11-655 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
7. REFRIGERANT PIPING LINE SETS3 FROM CONDENSING UNIT TO INDOOR FAN COIL(S) INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
8. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT, PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/3/M-002
9. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS, THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEHC (RA 7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CF M LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
10. DEM EXHAUST AIR WALL VENT(EYEBROW) TERMINATION, PROVIDE BIRDSCREEN & BACKDRAFT DAMPER, MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 3 - FOURTH FLOOR PLAN**
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - FOURTH FLOOR PLAN

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M3-104

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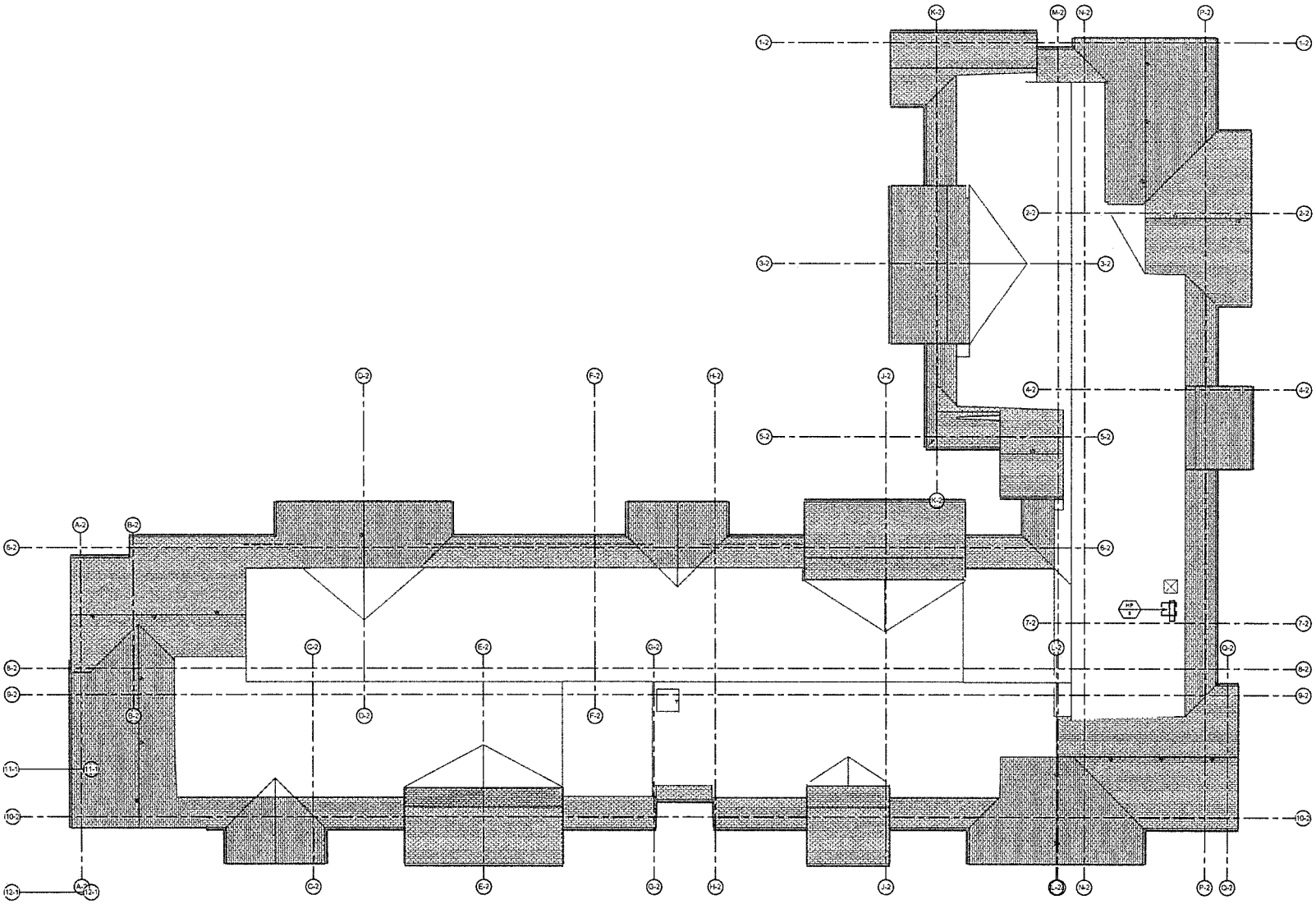

1 **BLDG 3 - ROOF PLAN**
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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ROOF PLAN

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DATE
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PROJECT NUMBER
M22010

SHEET
M3-105

50% CD

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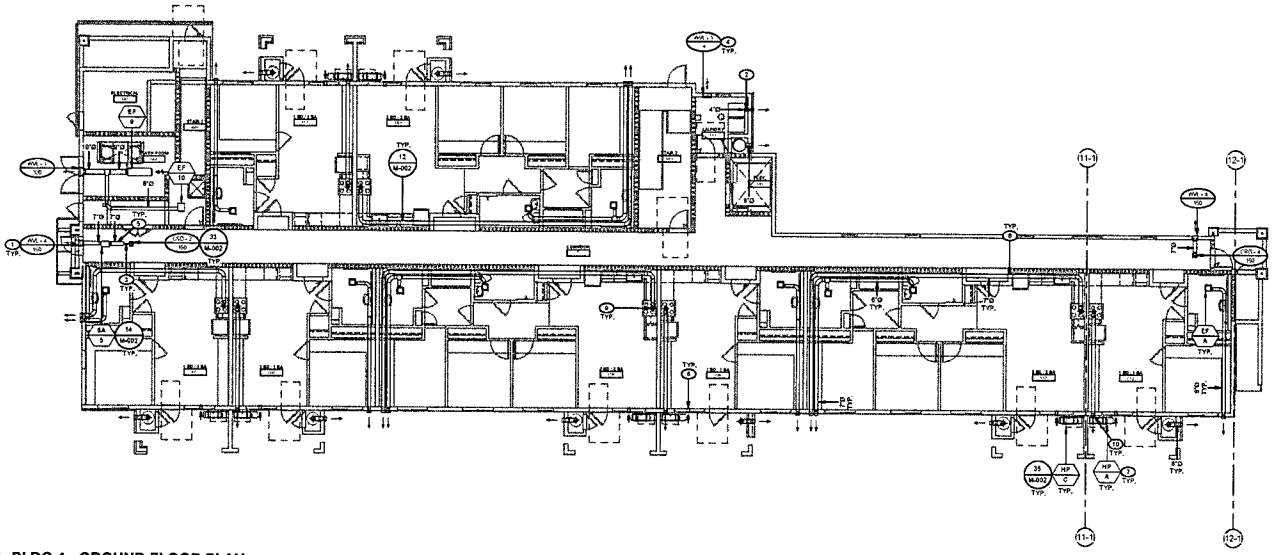
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL, INSTALL DUCT IN ACCORDANCE WITH 2016 CMC #22.7.3.4(2)
3. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTWO SHALL BE NO MORE THAN 5 IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-002
4. 2-WAY ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
5. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
6. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE JUBLET 200 #11-888 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
7. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S) INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
8. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-602
9. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
10. GSM EXHAUST AIR WALL VENT/EVERSON TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 BLDG 4 - GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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24960 Adams Ave, Murrieta CA 92562

BLDG 4 - GROUND FLOOR PLAN

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DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M4-101

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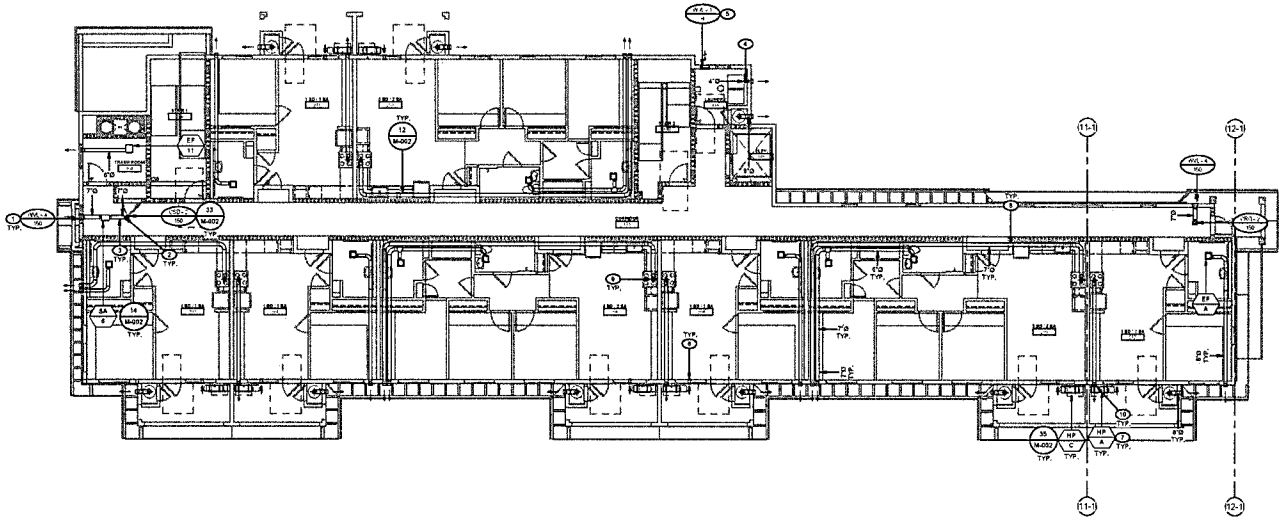
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION, FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13M-002
3. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIR FLOW DUE TO SYSTEM EFFECT
4. COMMON USE CLOTHES DRYER EXHAUST DUCTS SHALL MAINTAIN 6" FROM COMBUSTIBLE MATERIAL. FOR REDUCED CLEARANCE TO COMBUSTIBLE MATERIAL, INSTALL DUCT IN ACCORDANCE WITH 2016 CMC 802.7.3.4(2)
5. 24"X4" ADJUSTABLE SUPPLY AIR GRILLE. PROVIDE SCREW TYPE OPPOSABLE BLADE DAMPER.
6. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #11-855 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
7. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COILS. INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
8. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 13M-002
9. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CBSC (RA3.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
10. GSM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 4 - SECOND FLOOR PLAN**
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BLDG 4 - SECOND FLOOR PLAN

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PROJECT MANAGER

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DATE
07.27.22

PROJECT NUMBER
M22010

SHEET
M4-102

50% CD

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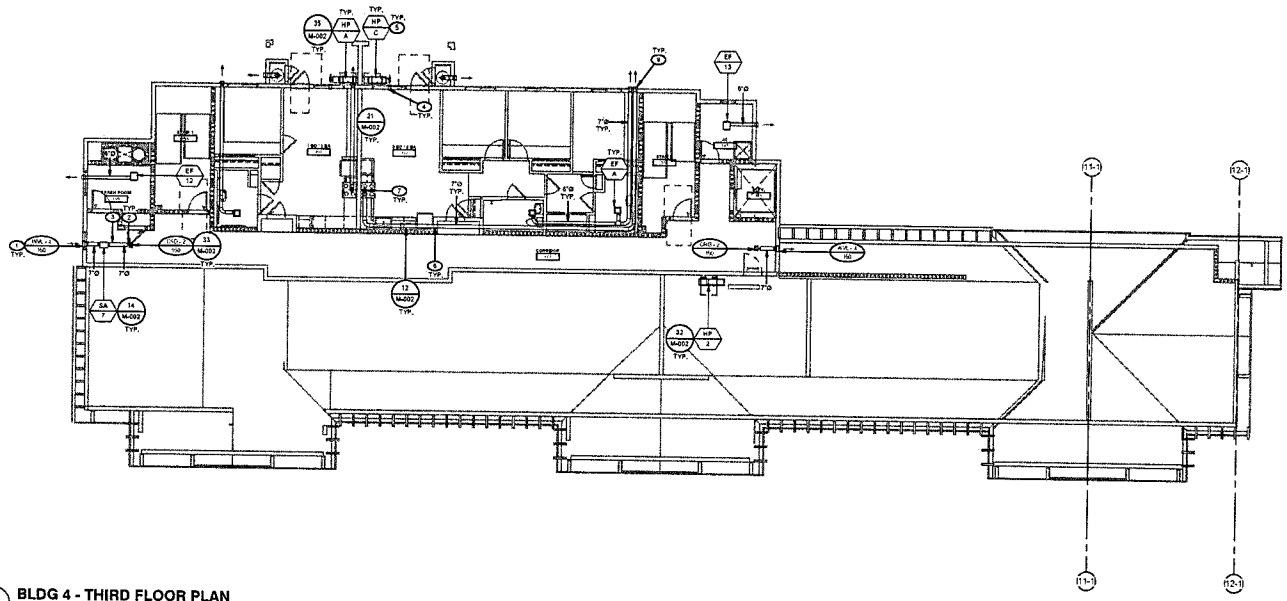
REFERENCE NOTES

1. OUTSIDE AIR INTAKE, MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OR FITTINGS. SEE DETAIL 1/M-003
3. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
4. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200 #11-855 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
5. REFRIGERANT PIPING LINE SET(S) FROM CONDENSING UNIT TO INDOOR FAN COIL(S). INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
6. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.3.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-003
7. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEnC (RA2.7.4.3) TO CONFIRM THE MODEL IS RATED BY HVI OR CEC APPROVED EQUIVALENT STANDARD AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
8. OEM EXHAUST AIR WALL VENT/EYEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 4 - THIRD FLOOR PLAN**
SCALE: 1/8" = 1'-0"

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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M4-103

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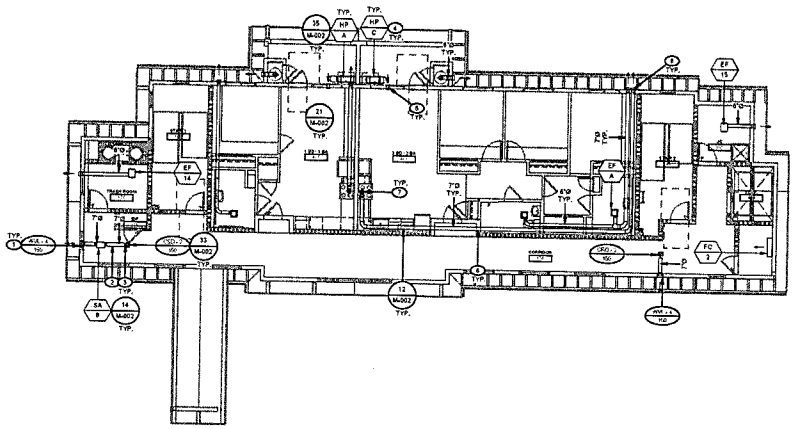
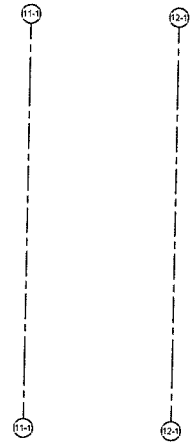
REFERENCE NOTES

1. OUTSIDE AIR INTAKE. MAINTAIN 10' FROM ALL PLUMBING VENTS, FLUES, AND EXHAUST OUTLETS
2. USE STRAIGHT RUNS FOR THREE DUCT DIAMETERS MINIMUM AT FAN COIL SUPPLY OUTLET TO PREVENT REDUCED AIRFLOW DUE TO SYSTEM EFFECT
3. FLEXIBLE DUCT AT END RUN CONDITION. FLEXIBLE DUCTING SHALL BE NO MORE THAN 5' IN LENGTH AND SHALL NOT BE USED IN LIEU OF RIGID ELBOWS OF FITTINGS. SEE DETAIL 13/M-602
4. REFRIGERANT PIPING LINE SETS) FROM CONDENSING UNIT TO INDOOR FAN COILS), INSTALL & SIZE PIPING PER MANUFACTURER'S GUIDELINES FOR TOTAL LENGTH OF RISE & RUN
5. SELF-REGULATING PRESSURE RELIEF VENT. PROVIDE AIRLET 200' #11-665 WITH INTEGRAL BIRDSCREEN AND REGULATING DAMPER
6. PENETRATION OF 1-HOUR FIRE RATED CORRIDOR WALL BY DWELLING UNIT SUPPLY AIR DUCT. PROVIDE FIRE CAULKING IN COMPLIANCE WITH CBC 717.5.4 EXCEPTION 4 FOR PENETRATION OF FIRE PARTITION WITHOUT FIRE DAMPER. SEE DETAIL 5/M-602
7. KITCHEN RANGE HOOD SELECTED AND PROVIDED BY OTHERS. THE INSTALLED KITCHEN RANGE HOOD SHALL BE FIELD VERIFIED BY A HERS RATER IN ACCORDANCE WITH CEC (RA2.7.4) TO CONFIRM THE HOOD IS RATED BY HVI (OR CEC APPROVED EQUIVALENT STANDARD) AND SHALL PROVIDE A MINIMUM OF 100CFM LISTED AIRFLOW WITH A MAXIMUM SOUND RATING OF 3.0 SONE OR LESS WHEN OPERATING AT 100CFM
8. GSM EXHAUST AIR WALL VENT/SEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36" FROM PROPERTY LINES.



1 **BLDG 4 - FOURTH FLOOR PLAN**
SCALE: 1/8" = 1'-0"



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BLDG 4 - FOURTH FLOOR PLAN

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DRAWN BY: CHECKED BY:
DATE: 07.27.22
PROJECT NUMBER: M22010
SHEET: M4-104

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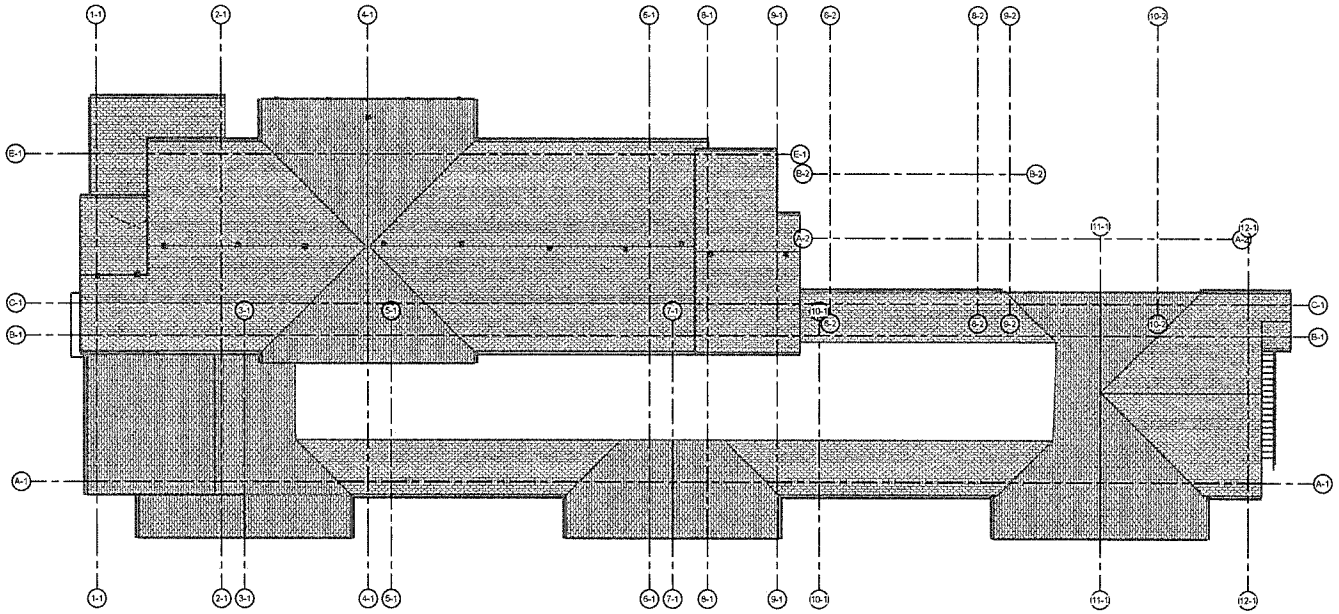

1 **BLDG 4 - ROOF PLAN**
SCALE: 1/8" = 1'-0"

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DATE
07.27.22

PROJECT NUMBER
M22010

SHEET
M4-105

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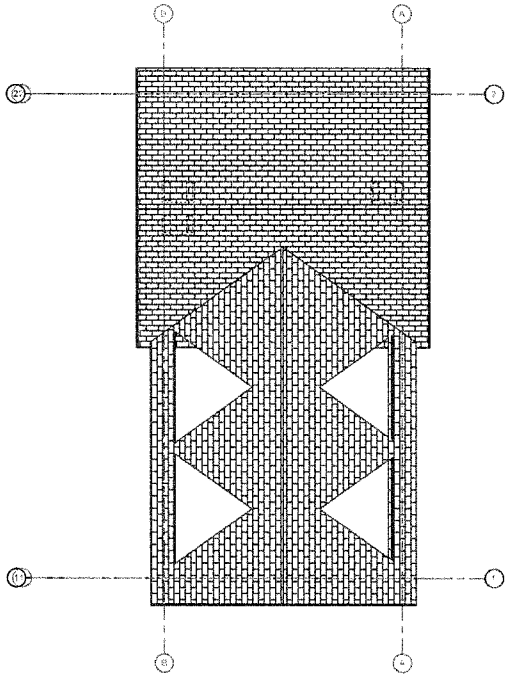
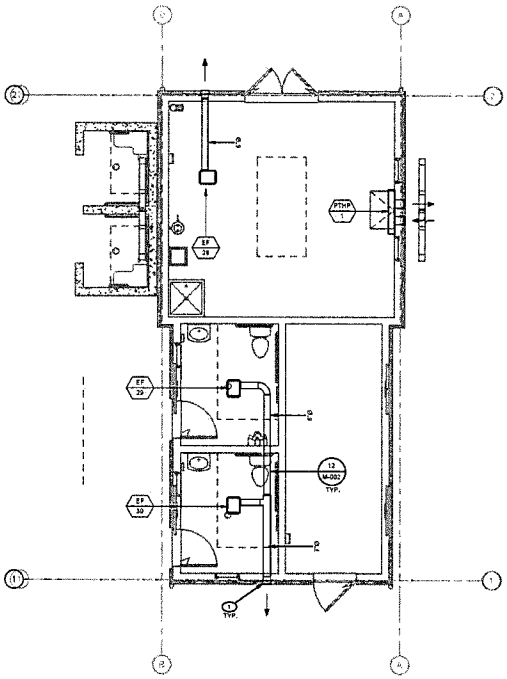
REFERENCE NOTES

1 GSM EXHAUST AIR WALL VENT/EVEBROW TERMINATION. PROVIDE BIRDSCREEN & BACKDRAFT DAMPER. MAINTAIN MINIMUM 36" CLEAR FROM OPENINGS INTO BUILDING AND 36' FROM PROPERTY LINES.



2 BLDG M -ROOF PLAN
SCALE: 1/4" = 1'-0"



1 BLDG M - GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 5 - FLOOR PLANS

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET M5-101

50% CD

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GENERAL NOTES

MECHANICAL/PLUMBING WORK CONSISTS OF ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR AND INCIDENTAL TO THE EXECUTION AND COMPLETION OF THE SYSTEMS AS INDICATED ON THESE DRAWINGS.

SUBMITTAL REQUIREMENTS

- WITHIN 15 DAYS OF CONTRACT AWARD THE MECHANICAL/PLUMBING CONTRACTOR SHALL SUBMIT COMPLETE APPLICABLE PRODUCT, EQUIPMENT, AND MATERIAL INFORMATION IN THE FORM OF AN ELECTRONIC SUBMITTAL (PDF). NO PRODUCT, EQUIPMENT, OR MATERIAL SHALL BE ORDERED OR INSTALLED UNTIL SUBMITTALS ARE APPROVED BY THE MECHANICAL ENGINEER. ANY ITEM NOT INCLUDED IN THE SUBMITTAL SHALL BE PROVIDED WITHOUT SUBSTITUTION. SUBMITTAL INFORMATION SHALL INCLUDE MANUFACTURER'S NAME AND CATALOGUE NUMBERS, DIMENSIONS, CAPACITIES, PERFORMANCE CURVES, AND ALL OTHER CHARACTERISTICS AND ACCESSORIES AS LISTED IN THE CONTRACT DOCUMENTS. THE INFORMATION SHALL BE CURRENT MANUFACTURER'S SUBMITTALS AND BROCHURES.
- SUBMITTALS FOR ANY EQUIPMENT SUBSTITUTED AS EQUIVALENT TO THE SCHEDULED EQUIPMENT SHALL INCLUDE TABULATED COMPARISON DATA SO AS TO CLEARLY DEMONSTRATE EQUIVALENCY. THIS DATA SHALL SPECIFICALLY INCLUDE COMPARISONS BETWEEN SCHEDULED AND PROPOSED EQUIPMENT IN THE FOLLOWING AREAS:
  - WEIGHT (INCLUDING CURBS AND ACCESSORIES)
  - DIMENSIONS
  - ELECTRICAL AND GAS REQUIREMENTS (VOLTAGE, PHASE, FULL LOAD AMPS & BTU)
  - SOUND LEVELS (WHERE APPLICABLE)
  - PERFORMANCE (EFFICIENCIES, HEATING, COOLING, AIR FLOW, STATIC PRESS.)
- ALL WORK INDICATED ON THESE PLANS SHALL BE DONE IN COMPLIANCE WITH CURRENT STATE AND LOCAL CODES. ALL APPLICABLE CALIFORNIA TITLE-24 REQUIREMENTS, AND ALL MANUFACTURER INSTALLATION GUIDELINES. IN THE EVENT OF CONFLICT BETWEEN CODES, THE MORE RESTRICTIVE REQUIREMENTS SHALL BE EXERCISED.
- NOTHING IN THESE DRAWINGS AND/OR SPECIFICATIONS SHALL BE INTERPRETED TO CONFLICT WITH ANY CITY OR STATE LAW, REGULATION, CODE, ORDINANCE, RULING, OR FIRE UNDERWRITER'S REQUIREMENT APPLICABLE TO THIS CLASS OF WORK.
- CONSTRUCTION AND/OR ENGINEERING COSTS RESULTING FROM PRODUCT SUBSTITUTIONS SHALL BE PAID BY THE MECHANICAL/PLUMBING CONTRACTOR. APPROVAL OF SUBSTITUTED PRODUCTS DOES NOT NEGATE THIS OBLIGATION.
- THE PLUMBING CONTRACTOR SHALL COORDINATE THE INSTALLATION OF AIR TERMINALS WITH THE REFLECTED CEILING PLAN, AND VERIFY CORRECT LOCATION OF EQUIPMENT, PIPING, AND PLUMBING SERVICES BEFORE PROCEEDING WITH INSTALLATION.
- ALL LOCATIONS OF EQUIPMENT AND PIPING ARE SHOWN DIAGRAMMATICALLY. THE PLUMBING CONTRACTOR SHALL ADHERE TO LOCATIONS INDICATED ON THE DRAWINGS AS CLOSELY AS POSSIBLE, VARYING PIPE RUNS AS REQUIRED TO MEET STRUCTURAL AND OTHER INTERFERENCES AS REQUIRED BY THE PROJECT.
- THE PLUMBING CONTRACTOR SHALL PROVIDE ACCESS PANELS WHERE REQUIRED FOR ALL PLUMBING-RELATED EQUIPMENT, ACCESSORIES, AND CONTROLS.
- ALL EQUIPMENT SHALL BE FURNISHED AND INSTALLED WITH AT LEAST THE MANUFACTURER'S MINIMUM RECOMMENDED CLEARANCE ALLOWANCE FOR SUFFICIENT ACCESS TO CONTROLS, FILTERS, ELECTRIC MOTORS, ETC. FOR MAINTENANCE AND PROPER OPERATION.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTALLATION REQUIREMENTS. VERIFY COMPLIANCE WITH MANUFACTURER'S INSTALLATION REQUIREMENTS BEFORE PROCEEDING WITH INSTALLATION. THE MECHANICAL/PLUMBING CONTRACTOR SHALL CONTACT METRICS MECHANICAL ENGINEERING BEFORE COMMENCING WITH WORK IN THE EVENT THAT DESIGN DRAWINGS CONFLICT WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
- ALL PLUMBING PIPING AND EQUIPMENT SHALL BE PROVIDED WITH SEISMIC RESTRAINING SERVICES AS REQUIRED BY LOCAL BUILDING CODES.

[illegible]

INSTALLATION NOTES

[illegible]

SPECIFICATION

[illegible]

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	HW	CW	W	V	DESCRIPTION	NOTES
KS-2	Kitchen Sink						
WC-1	WATER CLOSET	-	3/4"	3"	2"	SEASONS KEATING #LL-487EW (HD SUPPLY SOLUTIONS #710696), WHITE, SEASONS KEATING TOILET TANK (HD SUPPLY SOLUTIONS #189860), WHITE, 1.0 GPF, ADA COMPLIANT, TWO PEICE, BOTTOM OUTLET TOILET, USE OPEN FRONT SEAT AT NON-RES LOCATIONS AND CLOSE FRONT AT RESIDENCES	ALL APPLY
WC-2	ADA WATER CLOSET	-	3/4"	3"	2"	NIAGARA CONSERVATION STEALTH #772048, WHITE, TOILET TANK #772044, WHITE, 0.8 GPF, ADA COMPLIANT, ELONGATED, WATERSENCE LABEL, TWO PEICE, BOTTOM OUTLET TOILET, NIAGRA STEALTH PUSH BUTTON #C7715ADA, CHROME/SILVER. USE OPEN FRONT SEAT AT NON-RES LOCATIONS AND CLOSE FRONT AT RESIDENCES	ALL APPLY
LAV-1	RESIDENTIAL WALL MOUNT LAVATORY	3/8"	3/4"	2"	1-1/2"	AMERICAN STANDARD 'DECORUM' (20"L X 18-1/4"W X 5"H) #9024.004EC, WHITE CHINA, WALL MOUNT WITH CLEVELAND FAUCET GROUP (CFG) #CA47713L, 4-INCH CENTERSET, NEO PEARL AERATOR 0.5 GPM @ 60 PSI, WATER SENSE LABELED, PROVIDE JR SMITH WALL CARRIER SUPPORT BRACKET	ALL APPLY
LAV-2	NON-RES WALL MOUNT LAVATORY	3/4"	3/4"	2"	1-1/2"	AMERICAN STANDARD 'DECORUM' (20"L X 18-1/4"W X 5"H) #9024.004EC, WHITE CHINA, WALL MOUNT WITHPROVIDE SLOAN #SF-2150 ELECTRONIC FAUCET, NEO PEARL AERATOR 0.5 GPM @ 60 PSI, ADA COMPLIANT, 'BDM' MIXING VALVE, PROVIDE JR SMITH WALL CARRIER SUPPORT BRACKET	ALL APPLY
UR-1	ADA WATER CLOSET	-	1-1/4"	2	2	NIAGARA CONSERVATION STEALTH #772048, WHITE, TOILET TANK #772044, WHITE, 0.8 GPF, ADA COMPLIANT, ELONGATED, WATERSENCE LABEL, TWO PEICE, BOTTOM OUTLET TOILET, NIAGRA STEALTH PUSH BUTTON #C7715ADA, CHROME/SILVER. USE OPEN FRONT SEAT AT NON-RES LOCATIONS AND CLOSE FRONT AT RESIDENCES	ALL APPLY
BT-1	BATHTUB/SHOWER	3/4"	3/4"	2"	1-1/2"	FIBER CARE BATHS (60"L X 30"W X 72"H) #ET60-32HC, WHITE WITH TUB SPOUT/SHOWER HEAD CLEVELAND FAUCET GROUP (CFG) CAPSTONE TUB-SHOWER CHROME TRIM KIT, (HD SUPPLY SOLUTIONS #402552) AND CLEVELAND FAUCET GROUP (CFG) CAPSTONE TUB-SHOWER ANIT-SCALD MIXING VALVE (HD SUPPLY SOLUTIONS #416002), 1.5 GPM	ALL APPLY
SH-2							
KS-1	KITCHEN SINK	3/4"	3/4"	2"	1-1/2"	ELKAY (25"X21-1/4"X5-3/8") STAINLESS STEEL DROP-IN TOP MOUNTED SINK (3-HOLE) CENTER DRAIN HOLE (#GE12521), CLEVELAND FAUCET GROUP (CFG) #CA40512 (HD SUPPLY #412900) AND MAINTENANCE WAREHOUSE GARBAGE DISPOSAL (HD SUPPLY #405750)1/2 HP, 120V, NEO PEARL AERATOR 1.0GPM @ 60 PSI	ALL APPLY
WS-1	WASH SINK	1/2"	3/4"	2"	1-1/2"	MOEN #7425 SINGLE HANDLE FAUCET 1.75 GPM, CHROME, MOEN #G5202134Q 20G STAINLESS SINK, SS STRAINER, DRAIN, 1.5 GPM @ 60 PSI	ALL APPLY
MS-1	MOP SINK	1/2"	3/4"	2"	1-1/2"	MOLDED-STONE MOP SERVICE BASIN (36"L X 24"W) #MSB3624, WHITE, SYMMONS SYMMETRIX #S-2490, SILVER.	ALL APPLY
HB-1		-	3/4"	-	-	HOSE BIB #102-433HC (GRAINGER #6QXC7) BRASS, LOCKABLE	ALL APPLY
HB-2	HOSE BIB	-	3/4"	-	-	ZURN #Z1325 DUAL WALL MOUNT RECESSED WALL HYDRANT, PROVIDE WITH VACUUM BREAKER, POLISHED BRONZE FACE	ALL APPLY
FD-1	FLOOR DRAIN	-	-	2"	1-1/2"	JAY R SMITH #2005Y02-A05PB-U 5"Ø CAST IRON FLOOR DRAIN WITH BRONZE STRAINER 'PRECISION PRODUCTS' PRIME-RITE TRAP PRIMER AND ACCESS PANEL	ALL APPLY
FS-1	FLOOR SINK	-	-	2"	1-1/2"	PROFLOW SERIES #PF806K CAST IRON FLOOR SINK 'PRECISION PRODUCTS' PRIME-RITE TRAP PRIMER & ACCESS PANEL	ALL APPLY
EW-1	EYE WASH SINK	3/4"	3/4"	2"	1-1/2"	GUARDIAN EYEWASH #G-1814P, ORANGE	ALL APPLY
DF-1	DRINKING FOUNTAIN	-	3/4"	2"	1-1/2"	ELKAY 'EZH20' BOTTLING FILLING STATION AND WATER COOLER #EMABFTL8WSLK WITH IN WALL CARRIER #MLP200	ALL APPLY

NOTES

1. ALL PLUMBING FIXTURE ACCESSORY EQUIPMENT, TRIM, DRAINS, AND FITTINGS NOT SCHEDULED ARE TO BE SUPPLIED BY PLUMBING CONTRACTOR TO ENSURE COMPLETE INSTALLATION AND PROPER FUNCTION OF SCHEDULED PLUMBING FIXTURES.
2. ALL PLUMBING FIXTURES, EQUIPMENT, TRIM, AND FITTINGS SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, INCLUDING BUT NOT LIMITED TO WATER AND ENERGY CONSERVATION CODES. THE SCHEDULED AND/OR SPECIFIED PLUMBING FIXTURES AND EQUIPMENT REPRESENT THE MINIMUM CRITERIA AND SHALL BE THE BASIS FOR THE CONTRACTOR'S BASE BID. IF THE SCHEDULED OR SPECIFIED FIXTURES OR EQUIPMENT DO NOT COMPLY WITH THE GOVERNING CODES OR REGULATIONS IN ALL RESPECTS, THE CONTRACTOR SHALL PROVIDE AN ALTERNATE BID FOR THE COMPLYING FIXTURES, EQUIPMENT, TRIM, OR FITTINGS. THE ABSENCE OF AN ALTERNATE BID SHALL BE CONSTRUED TO MEAN THAT THE CONTRACTOR'S BID INCLUDES ALL COSTS NECESSARY TO MEET ALL REGULATIONS AND CODES.
3. PLUMBING FIXTURES, PIPING, & FITTINGS REQUIRED TO BE LEAD FREE PER CALIFORNIA AB1953 SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61, SECTION 9.

RESIDENTIAL HEAT PUMP WATER HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	CAPACITY (GALLONS)	FIRST HOUR RATING (GALLONS)	RECOVERY (GALLONS) 90°F RISE	ENERGY FACTOR	POWER	MCA	MCOP	DRY WEIGHT (LBS.)	NOTES
WH-A	RHEEM	PROPH50 T2 RH350-SO	50	67	29	3.55	208/240-1-60	-	30	218	ALL APPLY
WH-B	RHEEM	PROPH65 T2 RH350-SO	65	75	29	3.7	208/240-1-60	-	30	262	ALL APPLY
WH-1	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-2	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-5	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-9	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-10	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-13	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-14	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY
WH-30	RHEEM	PROPH80 T2 RH350-SO	80	89	29	3.7	208/240-1-60	-	30	281	ALL APPLY

NOTES

1. PROVIDE WITH APPROVED P&T VALVE
2. INSTALL WITH 'SMITTY' PAN AND DRAIN
3. PROVIDE WITH SEISMIC RESTRAINT. SEE DETAIL XX/PX.X

ELECTRIC WATER HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	CAPACITY (GAL)	FITTINGS INLET & OUTLET	OPERATING PRESSURE MIN	OPERATING PRESSURE MAX	POWER	CURRENT	KW	FULL WEIGHT	NOTES
WH-3	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-4	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-6	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-7	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-8	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-16	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-17	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-18	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-19	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-20	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-21	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-22	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-23	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-24	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-26	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-27	EEMAX	SPEX3512	-	3/8"COMPRESSION	25	150	120-1-60	30	4	3	-
WH-28	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-
WH-29	EEMAX	SPEX95	-	1/2"COMPRESSION	25	150	240-1-60	40	10	3	-

NOTES

1. PROVIDE WITH APPROVED P&T VALVE
2. INSTALL WITH 'SMITTY' PAN AND DRAIN
3. PROVIDE WITH SEISMIC RESTRAINT. SEE DETAIL XX/PX.X

DOMESTIC WATER SUBMETER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	MATERIAL	SIZE	MAX FLOW	MIN FLOW	TYPE	WEIGHT	NOTES
SM-A	NORGAS	SINGLEMAG	POLYMER	3/4"	0.25	20 GPM	COLD	0.75	ALL APPLY

NOTES

1. PROVIDE WITH OUTSIDE MDT WIRELESS TRANSMITTER BY TEHAMA WIRELESS
2. PROVIDE REMOTE METER DISPLAY, 'DISPLAY MDT' BY TEHAMA WIRELESS
3. PROVIDE WIRELESS DATA COLLECTION UNIT, 'DCAP' BY TEHAMA WIRELESS
4. PROVIDE TEHAMA WIRELESS DIVERSITY REPEATER AS REQUIRED
5. INSTALL PER MANUFACTURER'S GUIDELINES

PLUMBING LEGEND

OUTLET ID	DISTANCE FROM METER	LINE PRESSURE
	SOIL, WASTE, OR SEWER	W
	GREASE WASTE	GW
	STORM/OVERFLOW DRAIN	SD / OD
	VENT	-
	CONDENSATE DRAIN	COND
	COLD WATER	CW
	COLD WATER TRAP PRIMER	-
	HOT WATER SUPPLY	HW
	HOT WATER RECIRCULATION	HWR
	GAS LINE	G
	PIPE UP	-
	PIPE DOWN	-
	PIPE CONNECTION	-
	CAPPED OR PLUGGED PIPE	-
	PIPE OR EQUIP. T.B.R.	-
	HOSE BIB	HB
	RECESSED HOSEBIB	RHB
	FIRE RISER	-
	FIRE DEPARTMENT CONNECTION	FDC
	FLOOR CLEAN OUT	FCO
	CLEAN OUT TO GRADE	COTG
	WALL CLEAN OUT	WCO
	FLOOR SINK	-
	FLOOR DRAIN	-
	POINT OF CONNECTION / DIS.	POC / POD
	FIXTURE GAS SUPPLY	-
	WATER HAMMER ARRESTOR	WHA
	GATE VALVE	-
	BALL VALVE	-
	BALANCING VALVE/CIRCUIT SETTER	-
	GAS COCK	-
	CHECK VALVE	-
	DOUBLE CHECK VALVE	-
	VALVE IN RISER	-
	AUTOMATIC AIR VENT	AAV
	VALVE IN YARD BOX	-

PLUMBING ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISH FLOOR
TV	ALARM TEMPERING VALVE
ADA	AMERICAN DISABILITIES ACT
ARCH	ARCHITECTURAL, ARCHITECT
AA	AREA ALARM
B	BATHTUB
BEH	BEHIND
BEL	BELOW
MBTUH	BTU PER HOUR (THOUSANDS)
BLDG	BUILDING
CI	CAST IRON
CLG	CEILING
CP	CHROME PLATED
CD	CONDENSATE DRAIN
CFH	CUBIC FEET PER HOUR
DCW	DOMESTIC COLD WATER
DN	DOWN
DF	DRINKING FOUNTAIN
EWC	ELECTRIC WATER COOLER
ELEC	ELECTRICAL
ESH	EMERGENCY SHOWER
(E)	EXISTING
EXP	EXPOSED
FF	FINISH FLOOR
FG	FINISH GRADE
FU	FIXTURE UNITS
FD	FLOOR DRAIN
FS	FLOOR SINK
FT	FLUSH TANK OR FEET
FV	FLUSH VALVE
GPM	GALLONS PER MINUTE
GALV	GALVANIZED
GO	GAS OUTLET
GA	GAUGE (OR GAGE)
HP	HORSEPOWER
HB	HOSE BIBB
KW	KILLOWATTS
L	LAVATORY
LH	LEFT HAND
MFR	MANUFACTURE, MANUFACTURER
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PH	PHASE
PIV	POST INDICATOR VALVE
LBS	POUNDS
PSI	POUNDS PER SQUARE INCH
P	PUMP
RPM	REVOLUTIONS PER MINUTE
RH	RIGHT HAND
RD	ROOF DRAIN
RM	ROOM
RI&C	ROUGH IN AND CONNECT
SH	SHOWER
SOV	SHUT OFF VALVE
S	SINK
SD	STORM DRAIN
TA	TEMPERATURE
TXV	THERMOSTATIC EXPANSION VALVE
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
UTR	UP THROUGH ROOF
URN	URINAL
VS	VACUUM SWITCH
VTR	VENT THROUGH ROOF
W	WASTE
WCH	WATER CHILLER
WC	WATER CLOSET
WH	WATER HEATER
WT	WEIGHT
W/	WITH
W/O	WITHOUT
ZV	ZONE VALVE

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AGENCY

MURRIETA

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GENERAL NOTES, SPECIFICATIONS, LEGENDS, ABBREVIATIONS, SCHEDULES

NO.	REVISION	DATE
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PROJECT MANAGER

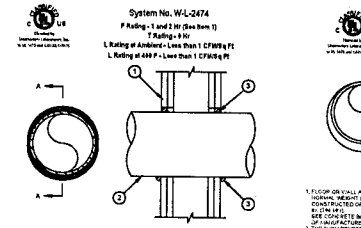
DRAWN BY | CHECKED BY

DATE 07.27.22

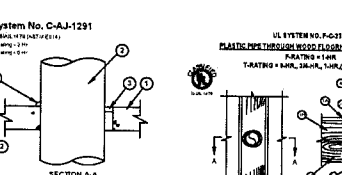
PROJECT NUMBER M22010

SHEET P-001

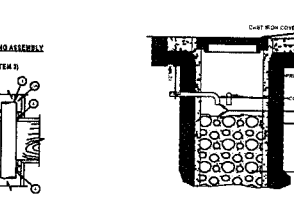
50% CD



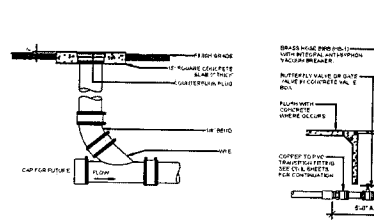
52 METALLIC PIPING THRU RATED WALL
SCALE: NONE



62 METALLIC PIPING THRU RATED FLOOR
SCALE: NONE



43 NON-METALLIC PIPING THRU RATED FLOOR
SCALE: NONE



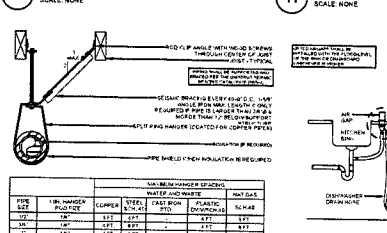
55 METALLIC PIPING THRU RATED FLOOR
SCALE: NONE

45 NON-METALLIC PIPING THRU RATED WALL
SCALE: NONE

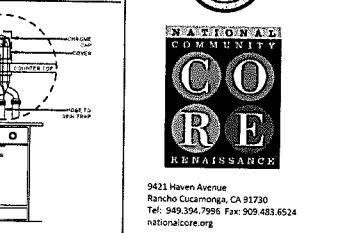
31 CONDENSATE TO DRYWELL
SCALE: NONE

21 CLEANOUT TO GRADE
SCALE: NONE

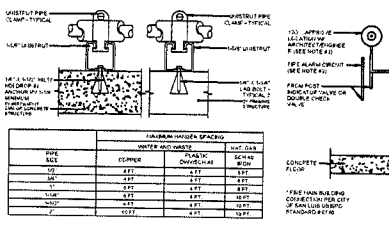
11 DOMESTIC WATER SUBMETER
SCALE: NONE



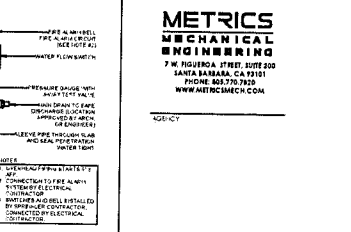
32 CONDENSATE TO DRYWELL
SCALE: NONE



12 DISHWASHER AIR GAP
SCALE: NONE

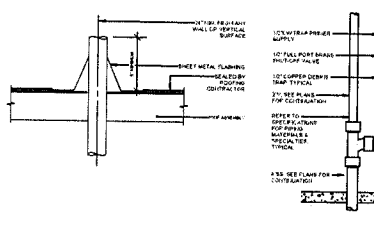


33 'POINT-OF-USE' WATER HEATER
SCALE: NONE

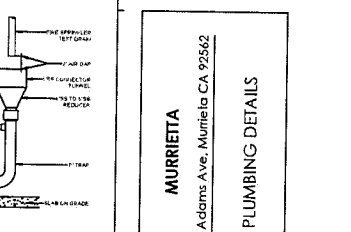


23 TYPICAL PIPING SUPPORT
SCALE: NONE

13 FIRE RISER
SCALE: NONE

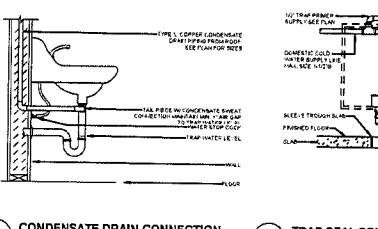


34 HEAT PUMP WATER HEATER
SCALE: NONE

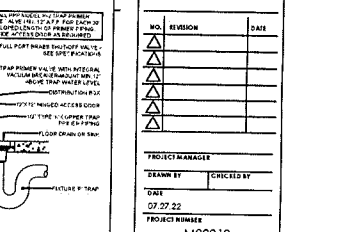


24 VENT THROUGH ROOF
SCALE: NONE

14 FIRE SPRINKLER DRAIN
SCALE: NONE



25 CONDENSATE DRAIN CONNECTION
SCALE: NONE



15 TRAP SEAL PRIMER
SCALE: NONE

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PLUMBING DETAILS

NO.	REVISION	DATE

PROJECT MANAGER
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DATE 07.27.22
PROJECT NUMBER M22010
SHEET P-002

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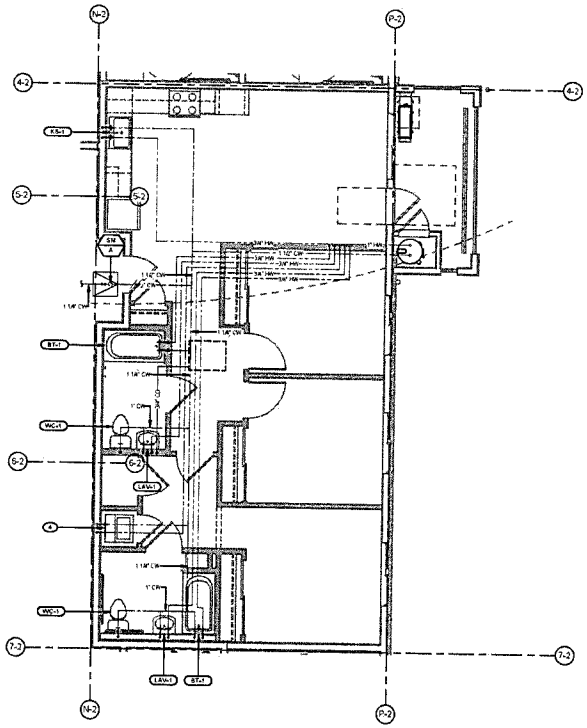
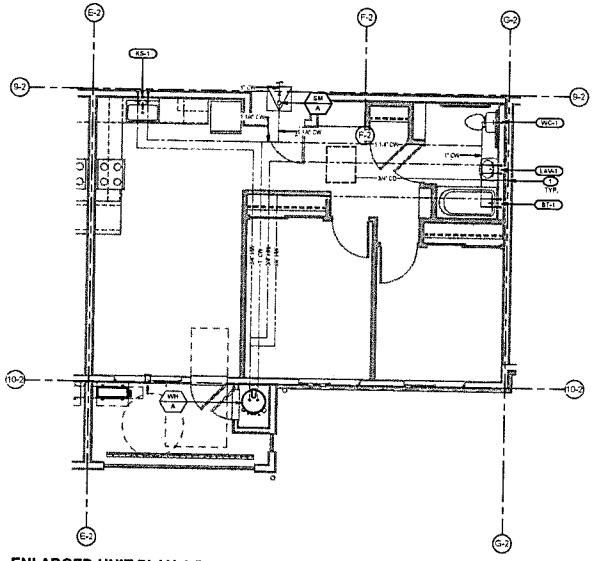
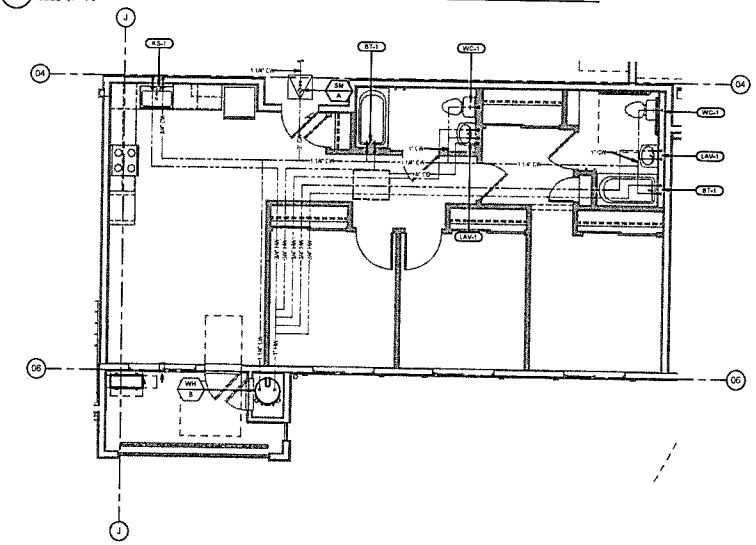


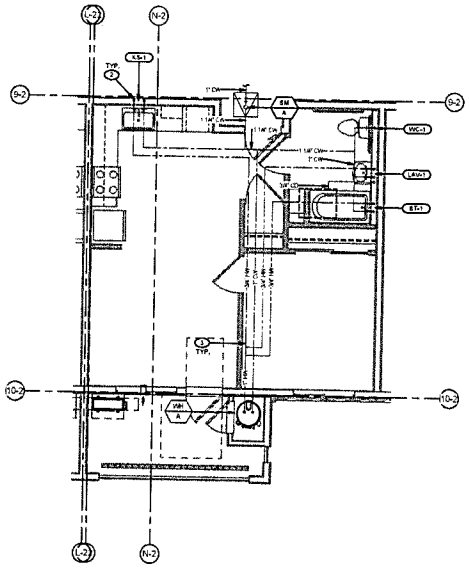
4 ENLARGED UNIT PLAN-MANAGER'S UNIT
SCALE: 1/4" = 1'-0"



2 ENLARGED UNIT PLAN-2 BD / 1 BA
SCALE: 1/4" = 1'-0"



3 ENLARGED UNIT PLAN-3 BD / 2 BA
SCALE: 1/4" = 1'-0"



1 ENLARGED UNIT PLAN-1 BD / 1 BA
SCALE: 1/4" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	56 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-1	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	-
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HS-1	3/4"	-	-	1-1/2"
HS-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FS-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. CONDENSATE DRAIN PIPING FROM FAN COIL TO LAVATORY TAILPIECE CONNECTION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. SEE DETAIL 25/P-002
2. PROVIDE 1/2" FLEXIBLE HOT WATER SUPPLY LINE FROM KITCHEN SINK ANGLE STOP TO DISHWASHER WATER INLET. PROVIDE AIR GAP FITTING AT DISHWASHER DRAIN CONNECTION PER DETAIL 12/P-003
3. PROVIDE LINE SIZE MANIFOLD FOR HOT WATER PIPING DISTRIBUTION WITHIN DWELLING. ROUTE HOT WATER PIPING TO REDUCE PIPING LENGTH FROM MANIFOLD AS MUCH AS POSSIBLE
4. PROVIDE CLOTHES WASHER OUTLET BOX WITH WATER HAMMER ARRESTERS AND QUARTER TURN SHUTOFF VALVES. PROVIDE FLOOD STOP #FBSWH AUTOMATIC SHUT OFF VALVES AT BOTH HOT AND COLD WATER CONNECTIONS AND WHITE WASHING MACHINE DRAIN PAN WHR1,FDOL #R012926 (OR EQUAL) AT WASHING MACHINE

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ENALRGED UNIT PLAN

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SHEET P-003

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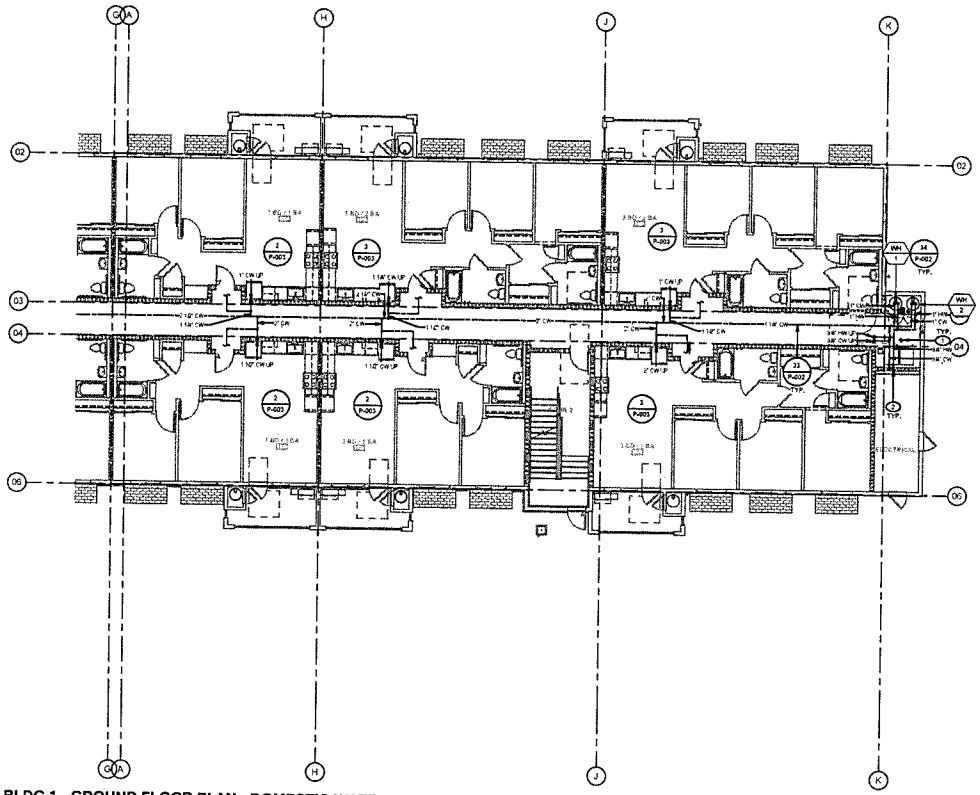

1 **BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - EAST**
SCALE: 1/8" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	56 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WG-1	3/4"	-	3"	3"
WC-2	3/4"	-	3"	3"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WB-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HS-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
FWH	3/4"	3/4"	2"	1-1/2"
FCO	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. DOMESTIC COLD WATER SUPPLY RISER. PROVIDE FULL PORT SHUT-OFF VALVE. SEE DETAIL 11/P-201
2. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS

UTILITY LINE SIZING

DOMESTIC WATER SERVICE

TOTAL WSFU	TOTAL GPM	FLUSH TYPE	METER SIZE	SERVICE SIZE	DEVELOPED LENGTH (L=1.25)	FRICTION LOSS PSI/100'
527	139	TANK	3"	4"	419'	2.2

STREET PRESSURE	METER LOSS	BFP LOSS	GRAVITY LOSS	MISC LOSS	REQUIRED RESIDUAL PRESSURE	AVAIL FRICTION LOSS
79 PSI	6	10	17 PSI	5 PSI	10 PSI	10 PSI

MAXIMUM ALLOWABLE WSFU (CPVC SCH 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 5 FPS)	-	4	11	21	32	127	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	4	11	21	34	115	-	-	-	-

MAXIMUM ALLOWABLE WSFU (PVC SCH 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 5 FPS)	-	-	-	-	-	-	275	634	1795	2476
HOT WATER (MAX. 5 FPS)	-	-	-	-	-	-	235	545	1541	1670

MAXIMUM ALLOWABLE WSFU (CPVC SCH 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 5 FPS)	6	9	6	15	21	16	-	-	-	-
HOT WATER (MAX. 5 FPS)	6	9	6	15	21	16	-	-	-	-

SANITARY SEWER

TOTAL DFU	BUILDING SEWER SLOPE	PIPE SIZE	MAXIMUM ALLOWABLE DFU @ LIMITED PIPE					
			PIPE SIZE	3"	3"	4"	6"	8"
4045	1/4" PER 1'-0"	2'-0"	DFU	8	35	-	-	-
	1/8" PER 1'-0"	4'-0"	DFU	-	-	172	576	2112

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BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - EAST

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FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	48 P-002	52 P-002	58 P-002	61 P-002

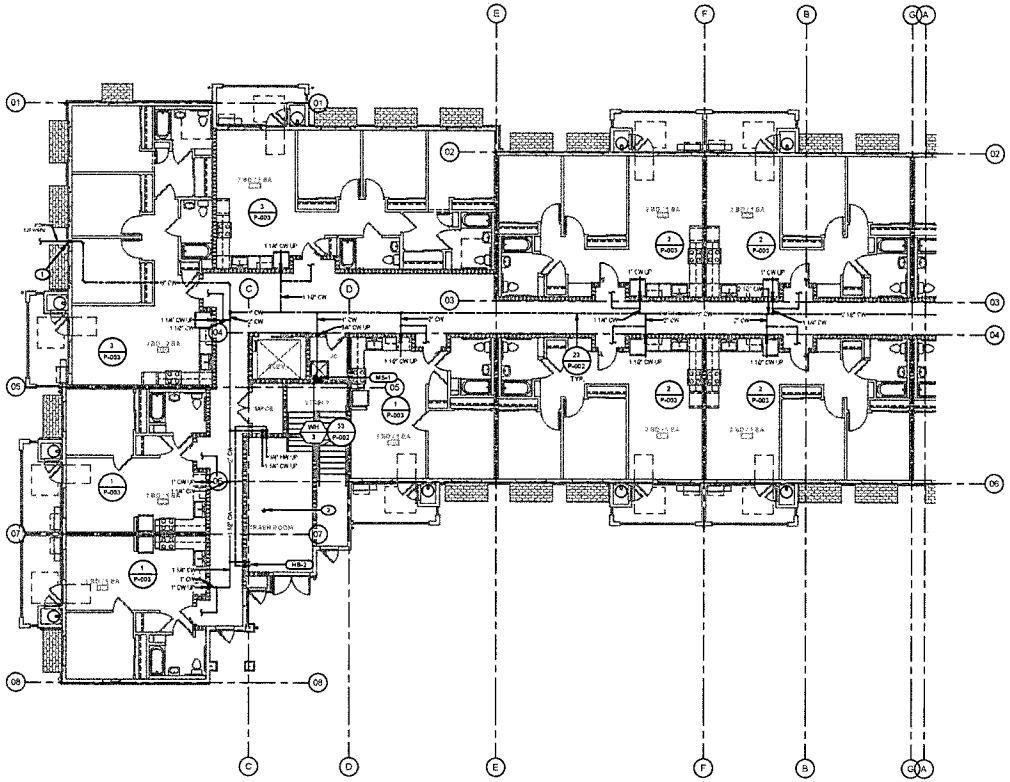
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	3"	1-1/2"
WS-1	3/4"	1/2"	3"	1-1/2"
MS-1	3/4"	1/2"	3"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	3"	1-1/2"
FS-1	-	-	3"	1-1/2"
EW-1	3/4"	3/4"	3"	1-1/2"
DC-1	3/4"	-	3"	1-1/2"

REFERENCE NOTES

1. DOMESTIC COLD WATER SUPPLY RISER. PROVIDE FULL PORT SHUT-OFF VALVE. SEE DETAIL 11/P-002
2. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK 1" TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 16/P-002



1 **BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - WEST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - GROUND FLOOR PLAN - DOMESTIC WATER - WEST

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FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	55 P-002	61 P-002

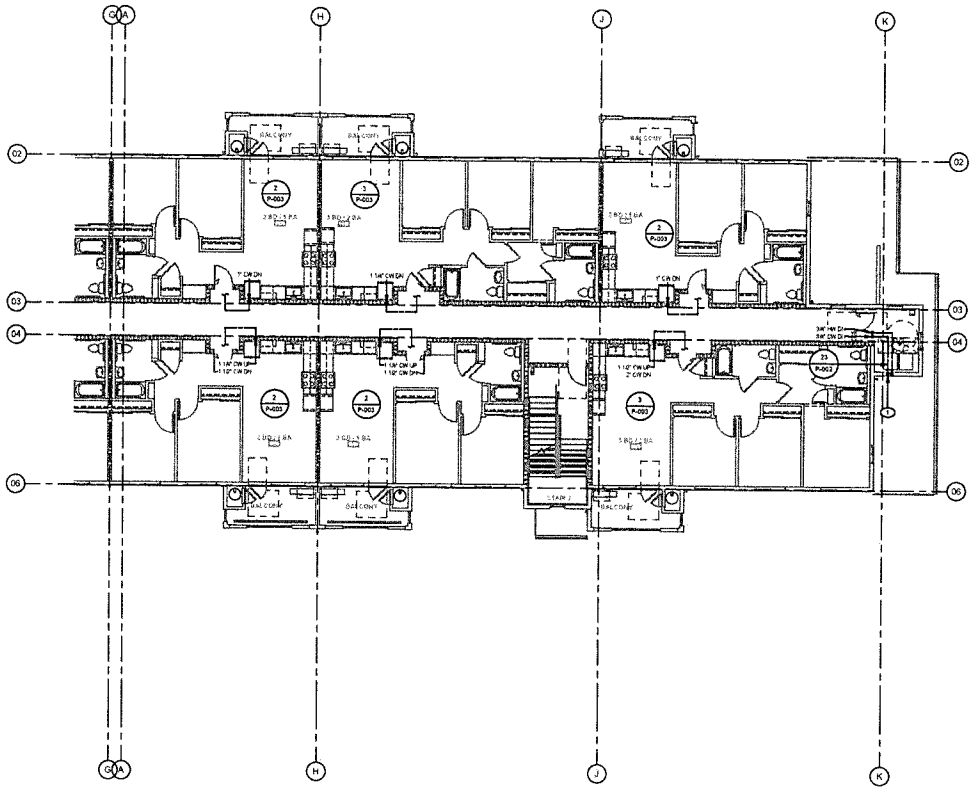
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS.

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	3"
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FD-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS



1 **BLDG 1 - SECOND FLOOR PLAN - DOMESTIC WATER - EAST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - SECOND FLOOR PLAN - DOMESTIC WATER - EAST

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FIRE RATED PENETRATIONS

SEE DETAILS 43/P-002 43/P-002 42/P-002 55/P-002 61/P-002

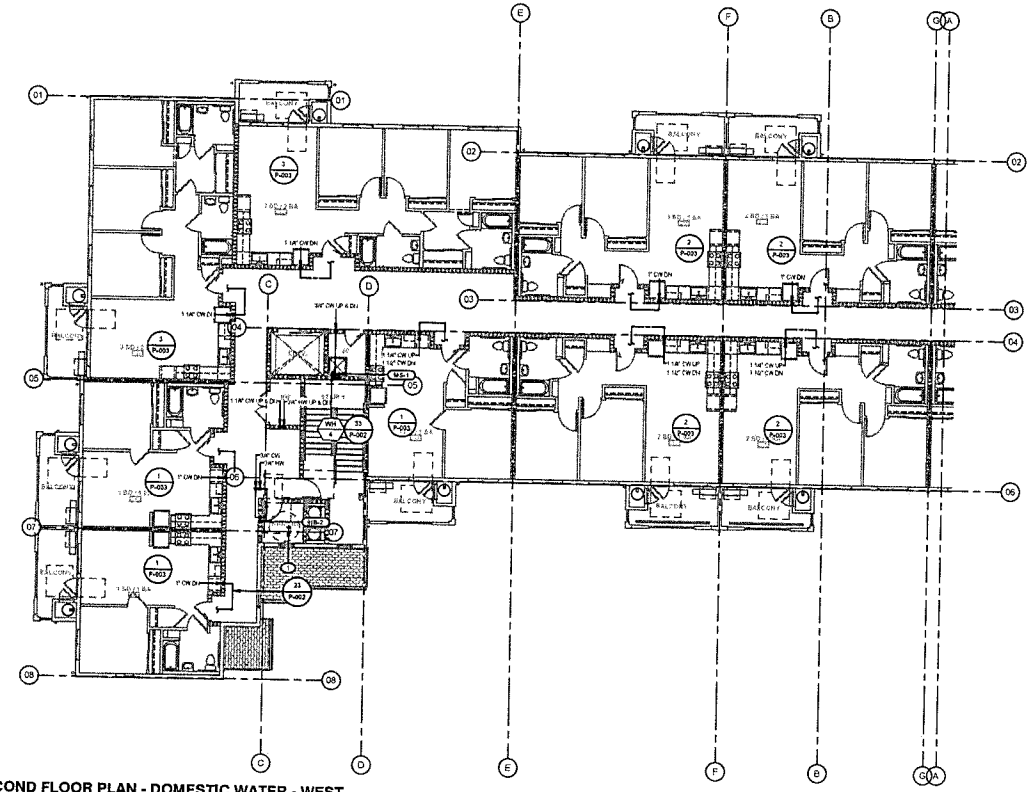
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2				
WC-1	3/4"	-	2"	2"
WC-2	3/4"	-	2"	2"
LAV-1	3/4"	3/4"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"		2"	2
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2				
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	2"	-
HB-2	3/4"	-	2"	-
FD-1	-	-	-	-
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
[illegible]	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAINSINK 'P' TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/M-002



1 BLDG 1 - SECOND FLOOR PLAN - DOMESTIC WATER - WEST
SCALE: 1/8" = 1'-0"

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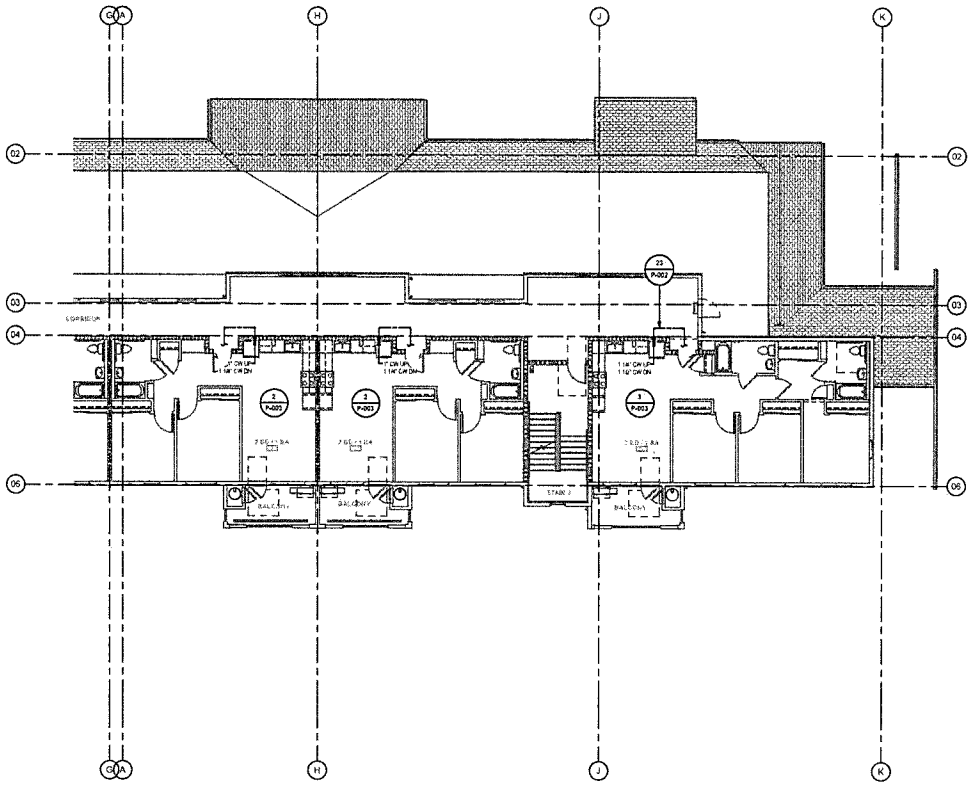
FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	66 P-003	81 P-003

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	2"
ET-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
FD-1	3/4"	3/4"	2"	1-1/2"
HS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DT-1	3/4"	-	3"	1-1/2"



1 **BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - EAST**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - EAST

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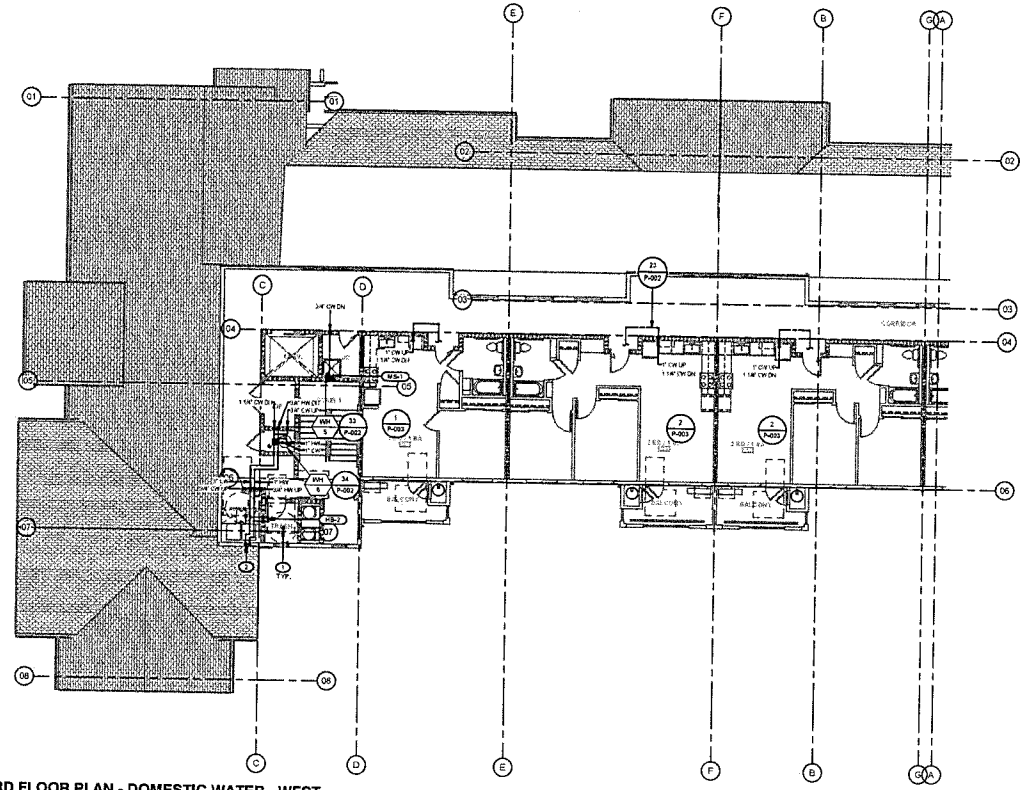

1 BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - WEST
SCALE: 1/8" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAIL 3	43 P-002, 48 P-002, 52 P-002, 55 P-002, 41 P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	2"	2"
WC-2	3/4"	-	2"	2"
LAV-1	3/4"	3/4"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FS-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK 9' TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE, SEE DETAIL 15/P-002
2. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS

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BLDG 1 - THIRD FLOOR PLAN - DOMESTIC WATER - WEST

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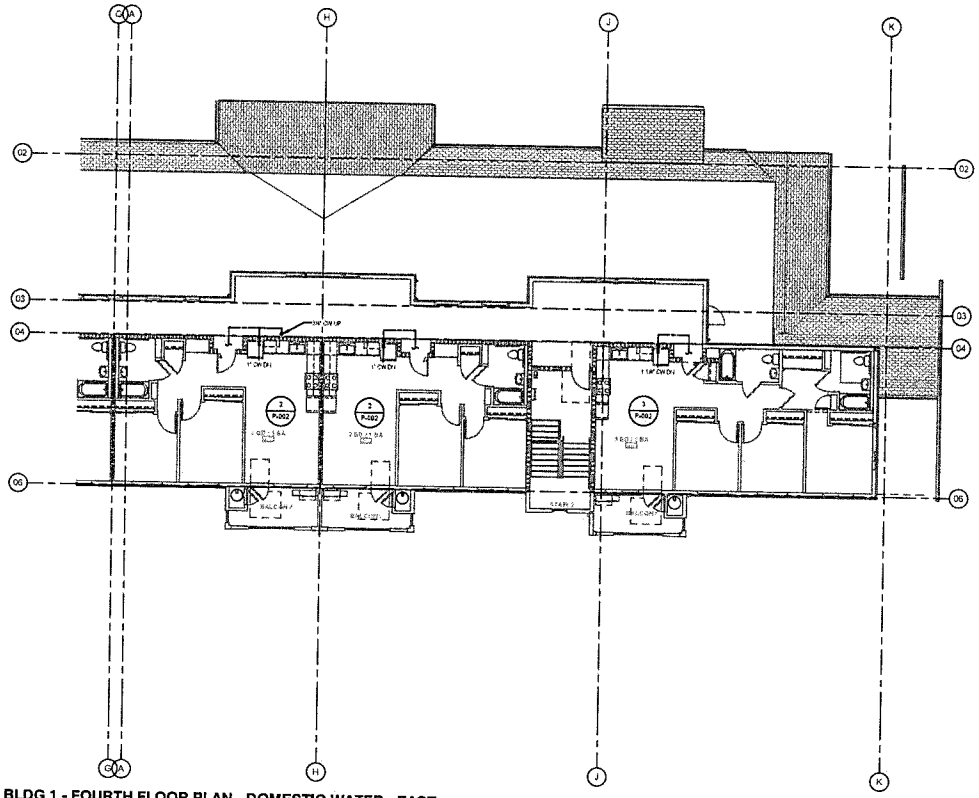
FIRE RATED PENETRATIONS

SEE DETAILS 43/P-002 49/P-002 52/P-002 55/P-002 61/P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	-
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	1-1/2"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FD-1	-	-	2"	1-1/2"
EWH-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - EAST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - EAST

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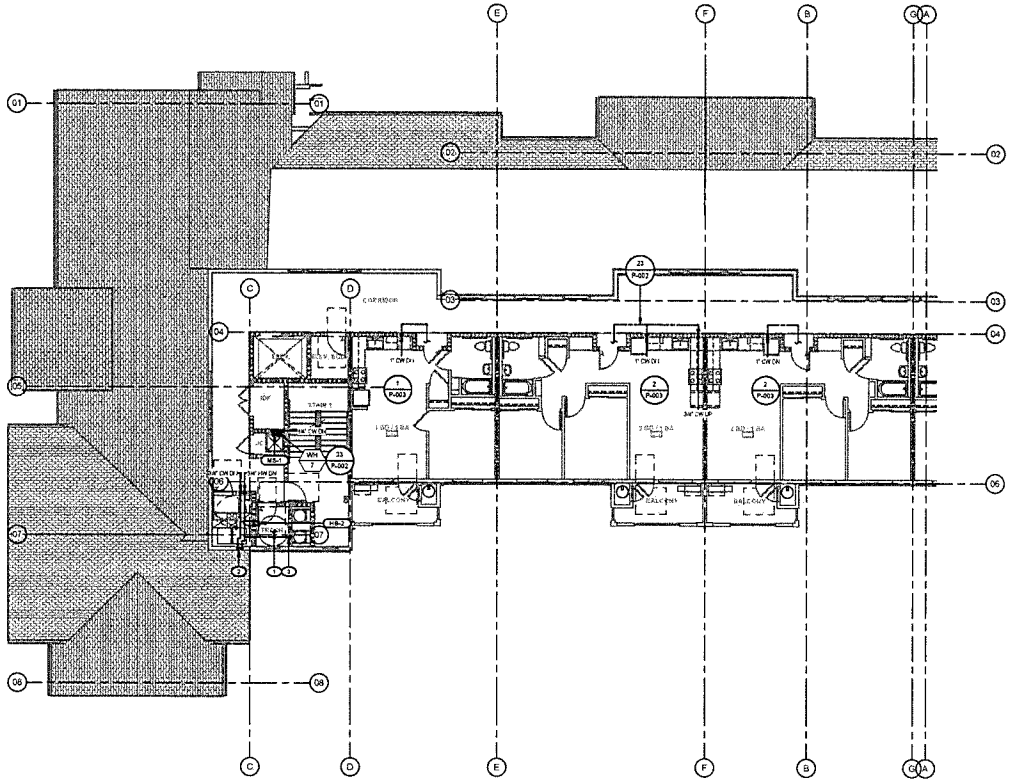

1 **BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - WEST**
SCALE 1/8" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002, 45 P-002, 52 P-002, 55 P-002, 61 P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
K-1	-	-	-	-
WC-1	3/4"	-	3"	3"
WC-2	3/4"	-	3"	3"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	3"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DS-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK "P" TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET EDGE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/P-002
2. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS
3. HOT WATER CONNECTION TO TRASH CHUTE WASH DOWN SYSTEM. PROVIDE SHUT OFF VALVE AND VACCUME BREAKER FOR BACKFLOW PREVENTION

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BLDG 1 - FOURTH FLOOR PLAN - DOMESTIC WATER - WEST

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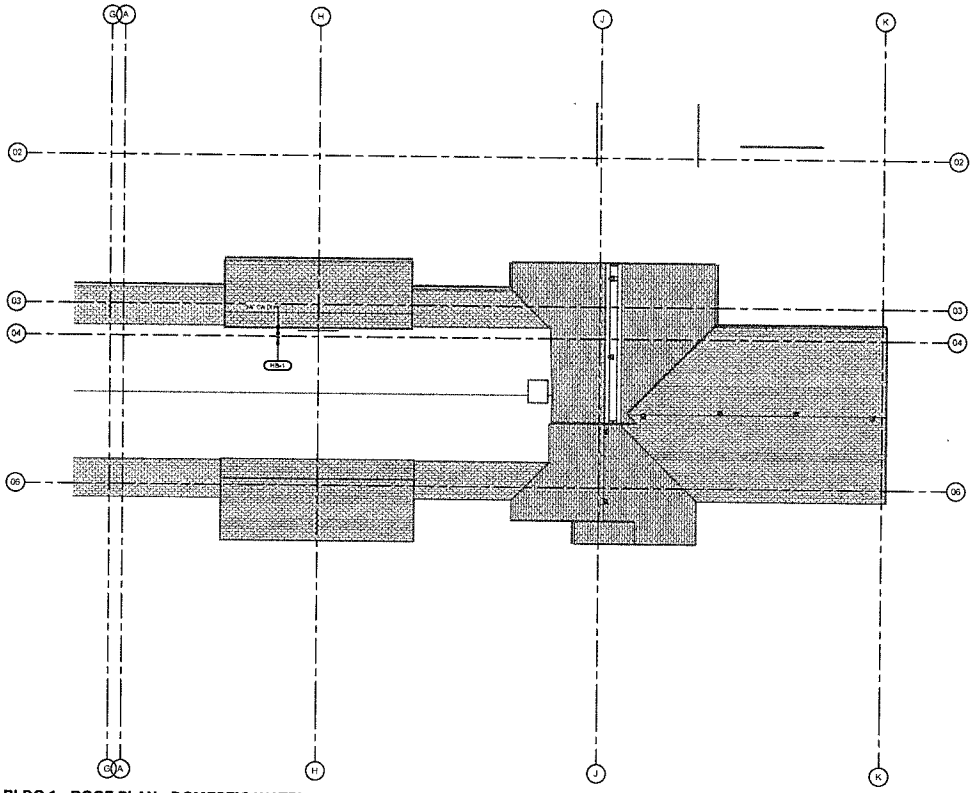

1 **BLDG 1 - ROOF PLAN - DOMESTIC WATER - EAST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - ROOF PLAN - DOMESTIC WATER - EAST

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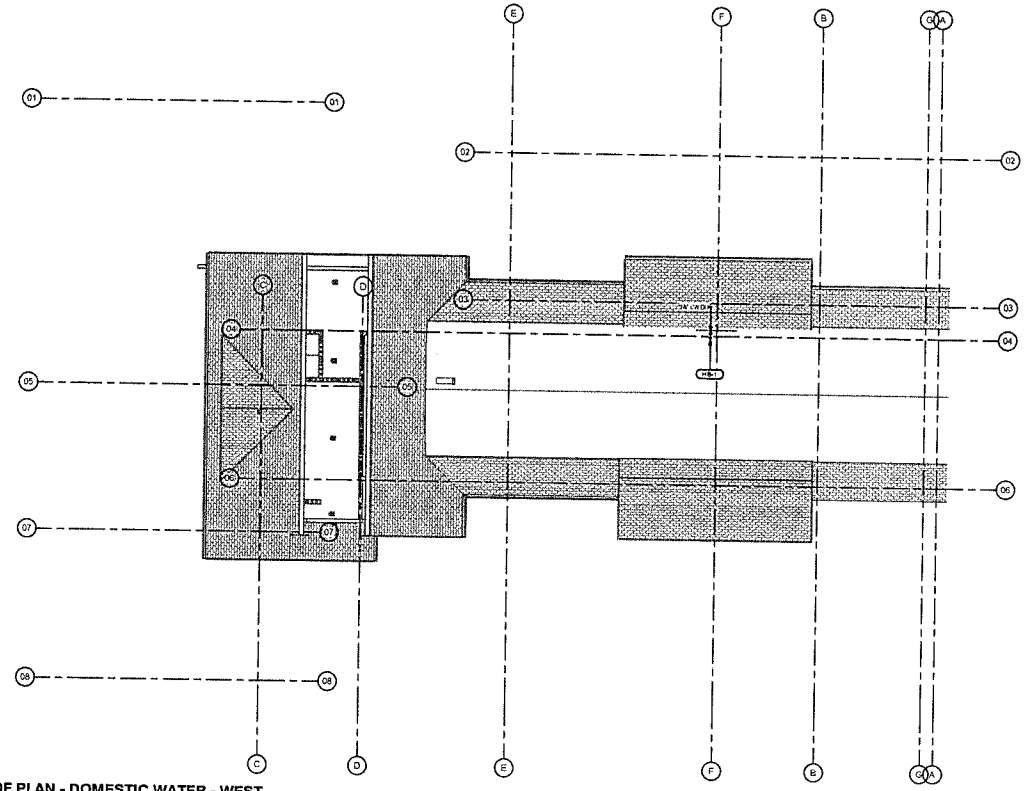

1 BLDG 1 - ROOF PLAN - DOMESTIC WATER - WEST
SCALE: 1/8" = 1'-0"

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BLDG 1 - ROOF PLAN - DOMESTIC WATER - WEST

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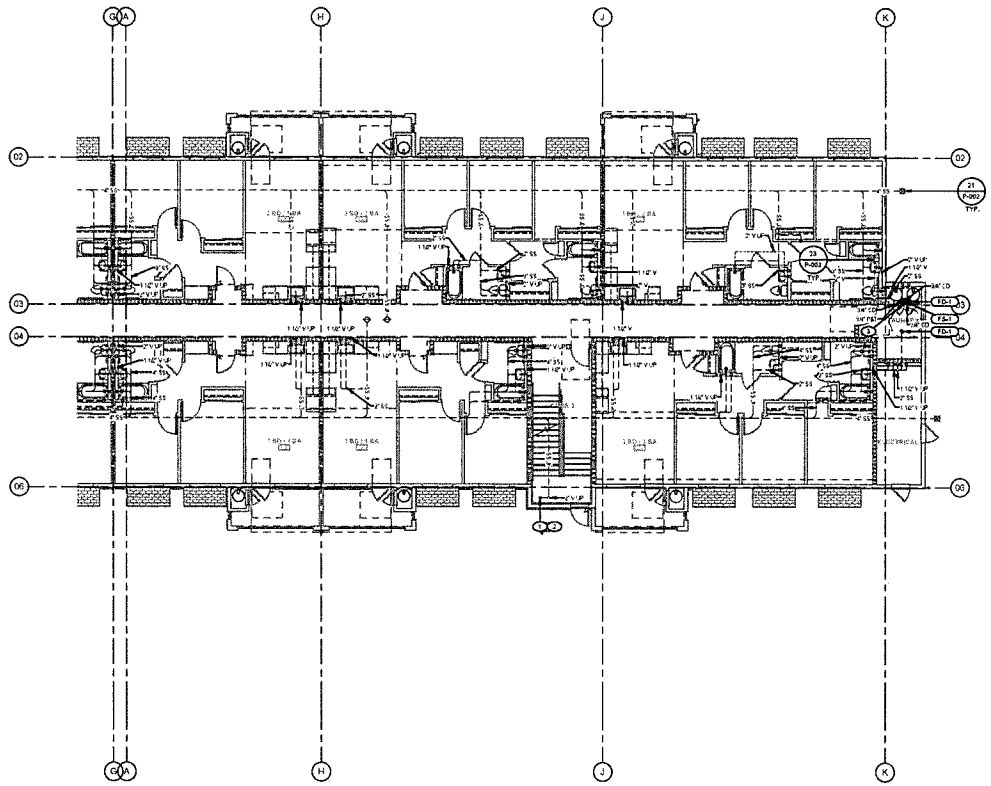

1 **BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - EAST**
SCALE: 1/8" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAILS 43 P-002, 44 P-002, 42 P-002, 50 P-002, 51 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	1
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
EW-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. LOCATION OF NEW FIRE RISER. TO BE INSTALLED BY FIRE SPRINKLER CONTRACTOR. SEPARATE PERMIT AND APPROVAL SHALL BE OBTAINED FROM THE FIRE AND BUILDING DEPARTMENTS. SEE DETAIL 1/P-002 FOR REFERENCE
2. HUB DRAIN FOR FIRE SPRINKLER RISER. PROVIDE AIR GAP TERMINATION AND TRAP PRIMER. SEE DETAIL 1/P-002
3. WATER HEATER CONDENSATE & PST DRAIN PIPING TO FLOOR SINK AIR GAP TERMINATION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. TERMINATE MIN. 1" ABOVE FLOOR SINK FLOOD RIM

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - EAST

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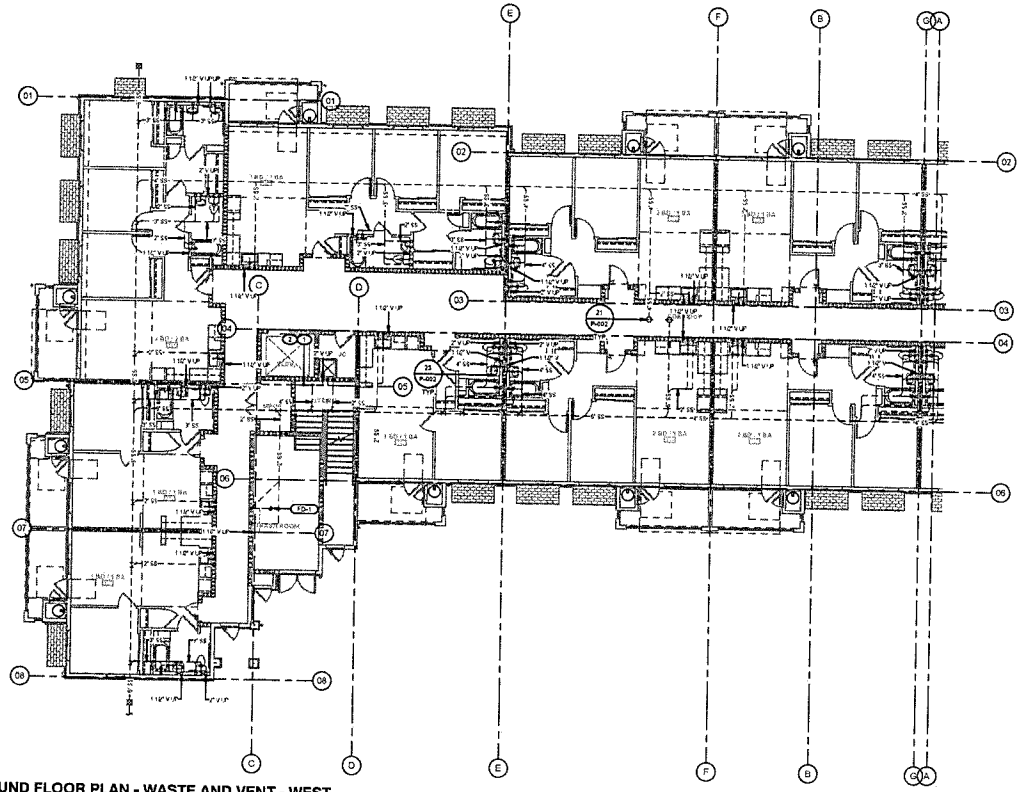

1 **BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - WEST**
SCALE: 1/8" = 1'-0"

FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	48 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
K-S-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2
ST-1	3/4"	-	2"	1-1/2"
SH-2	-	3/4"	2"	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EWH	3/4"	3/4"	2"	1-1/2"
EWH	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 LOCATION OF NEW FIRE RISER. TO BE INSTALLED BY FIRE SPRINKLER CONTRACTOR. SEPARATE PERMIT AND APPROVAL SHALL BE OBTAINED FROM THE FIRE AND BUILDING DEPARTMENTS. SEE DETAIL 13/P-003 FOR REFERENCE

2 HUB DRAIN FOR FIRE SPRINKLER RISER. PROVIDE AIR GAP TERMINATION AND TRAP PRIMER. SEE DETAIL 14/P-002

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR PLAN - WASTE AND VENT - WEST

NO.	REVISION	DATE
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PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
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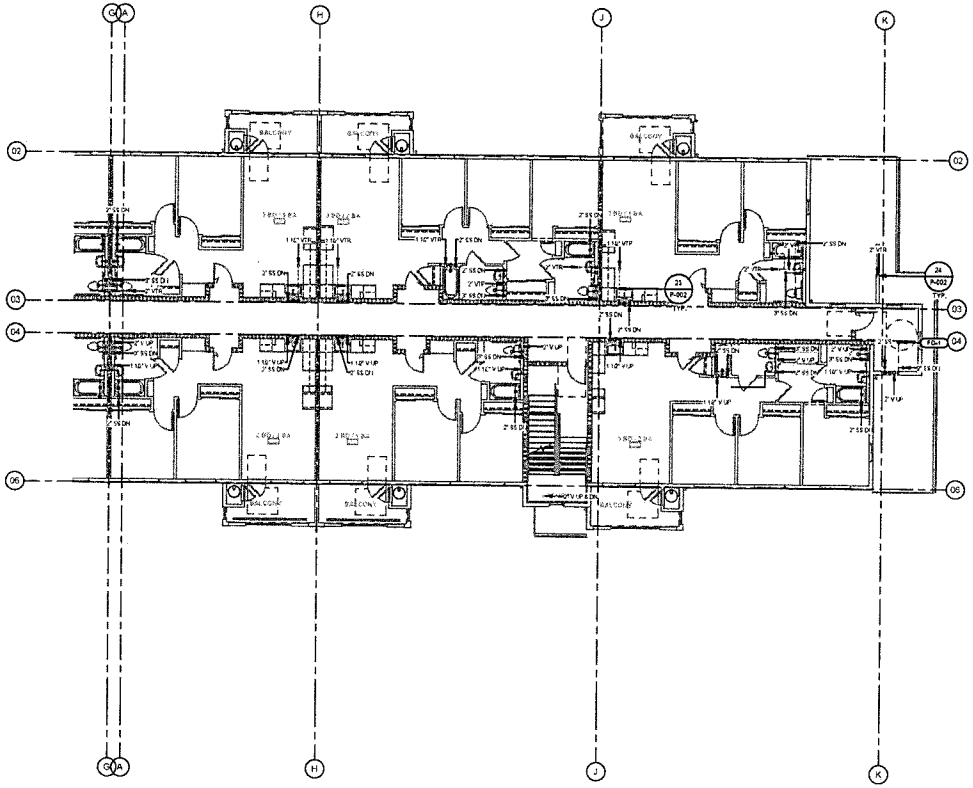
FIRE RATED PENETRATIONS

SEE DETAILS #3 P-002, #5 P-002, #2 P-002, #3 P-002, #1 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
GAL2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EWA-1	3/4"	3/4"	2"	1-1/2"
DR-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - EAST**
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - EAST

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PROJECT MANAGER

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PROJECT NUMBER
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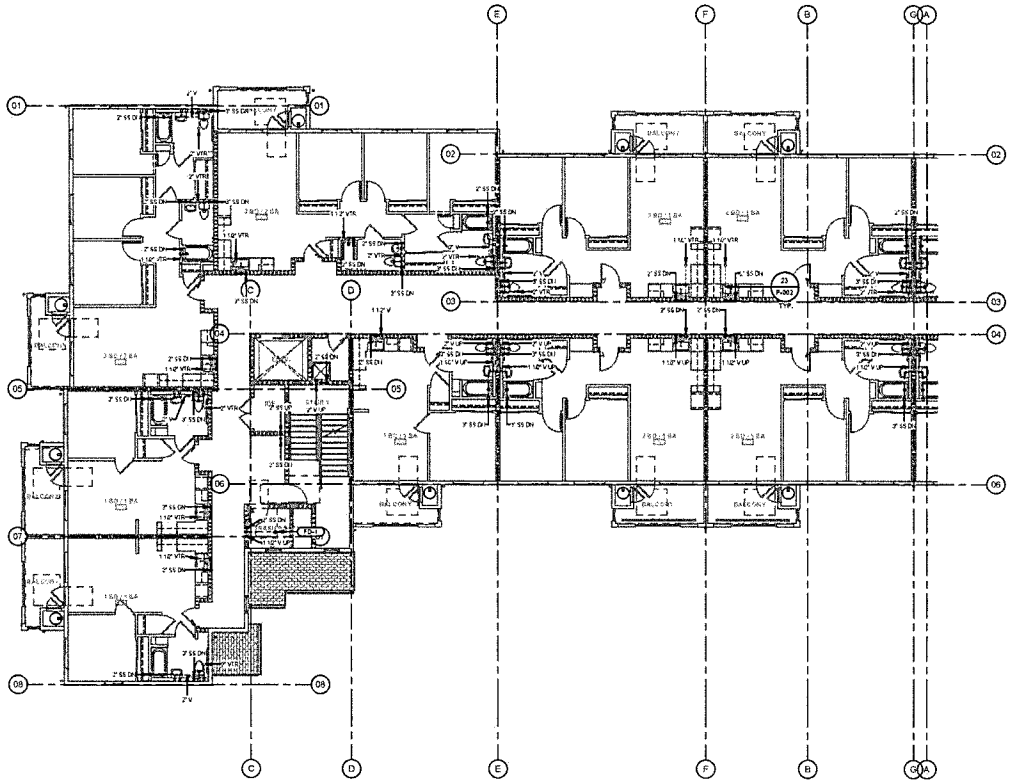
FIRE RATED PENETRATIONS

SEE DETAILS	43/P-002 · 44/P-002 · 52/P-002 · 55/P-002 · 41/P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
DFS-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EWC-1	3/4"	3/4"	2"	1-1/2"
DR-1	3/4"	-	3"	1-1/2"



1 **BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - WEST**
SCALE: 1/8" = 1'-0"

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MURRIETTA
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BLDG 1 - SECOND FLOOR PLAN - WASTE AND VENT - WEST

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PROJECT NUMBER M22010
SHEET P1-202b

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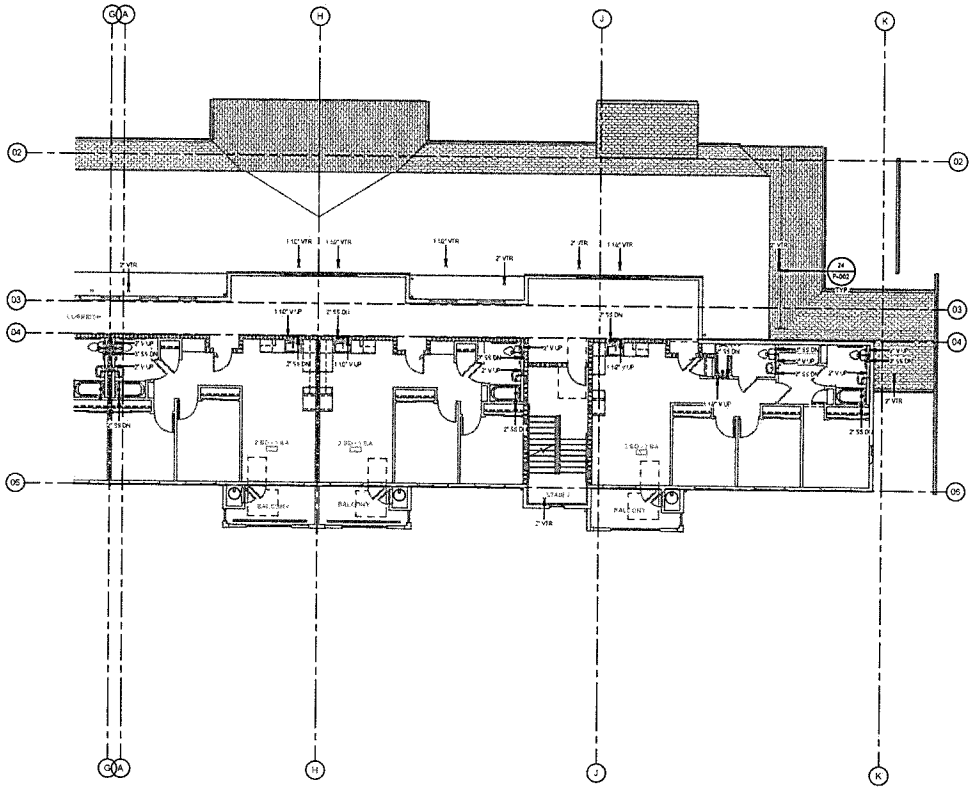
FIRE RATED PENETRATIONS

SEE DETAILS				
43 P-002	46 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	2"	2"
WC-2	3/4"	-	2"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/8"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
SPA-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EWH	3/4"	3/4"	2"	1-1/2"
DH-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - EAST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - EAST

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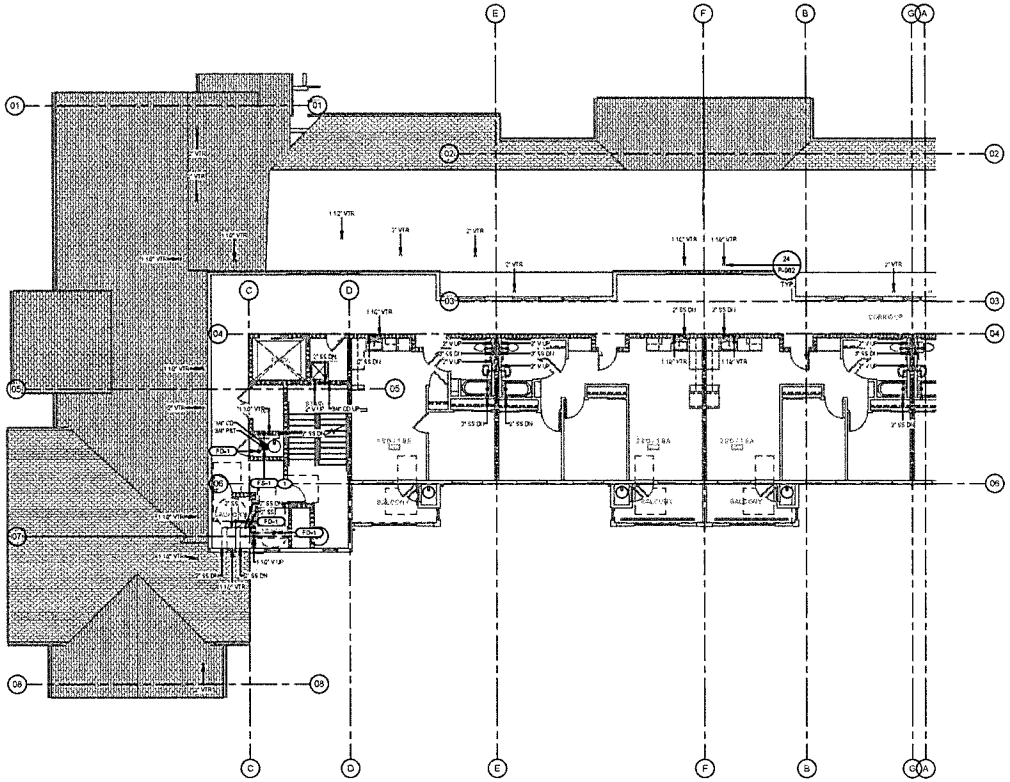
FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	43 P-002	52 P-002	56 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WG-1	3/4"	-	3"	2"
WG-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
CH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
FW-1	3/4"	3/4"	2"	1-1/2"
DT-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - WEST**
SCALE: 1/8" = 1'-0"

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BLDG 1 - THIRD FLOOR PLAN - WASTE AND VENT - WEST

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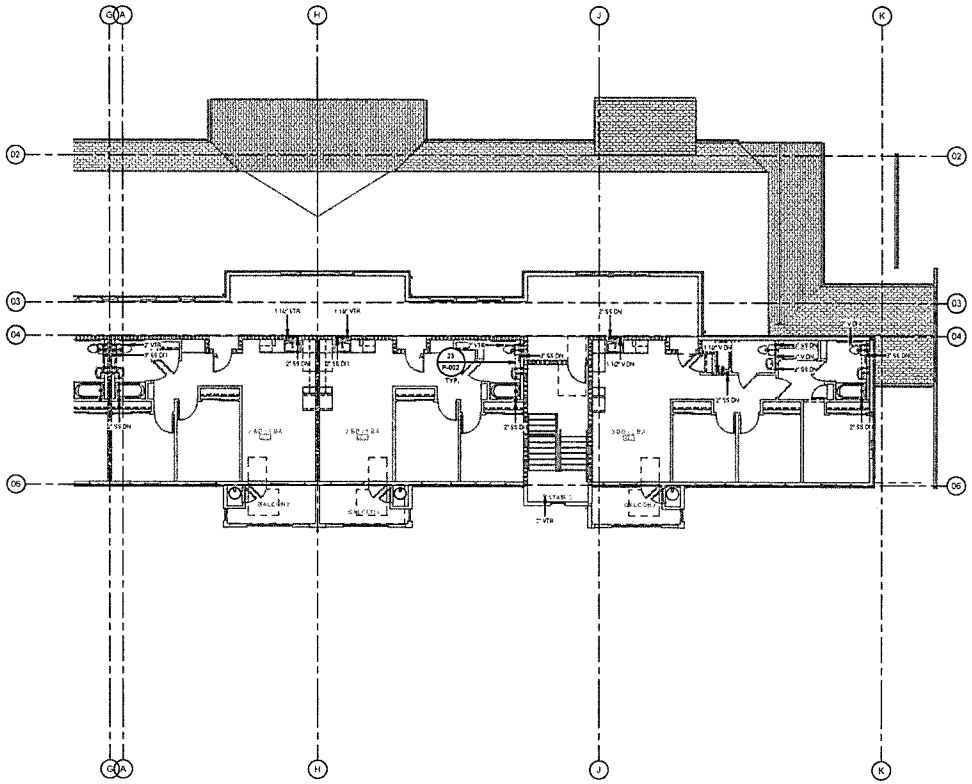
FIRE RATED PENETRATIONS

SEE DETAILS 43 P-002, 45 P-002, 52 P-002, 60 P-002, 61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/8"	2"	1-1/2"
UR-1	1-1/4"	-	3"	2"
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - EAST**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - EAST

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DATE 07.27.22
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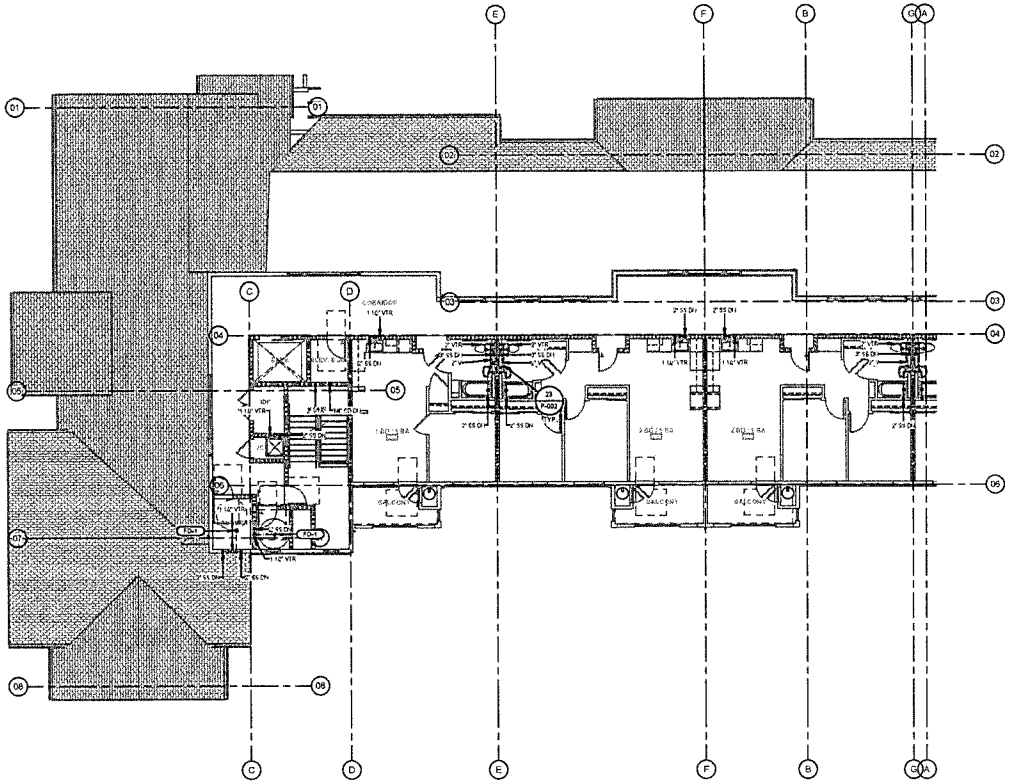
FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002 · 46 P-002 · 52 P-002 · 55 P-002 · 61 P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	2"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DI-1	3/4"	-	2"	1-1/2"



1 **BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - WEST**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24940 Adams Ave, Murrieta CA 92562

BLDG 1 - FOURTH FLOOR PLAN - WASTE AND VENT - WEST

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PROJECT NUMBER M22010
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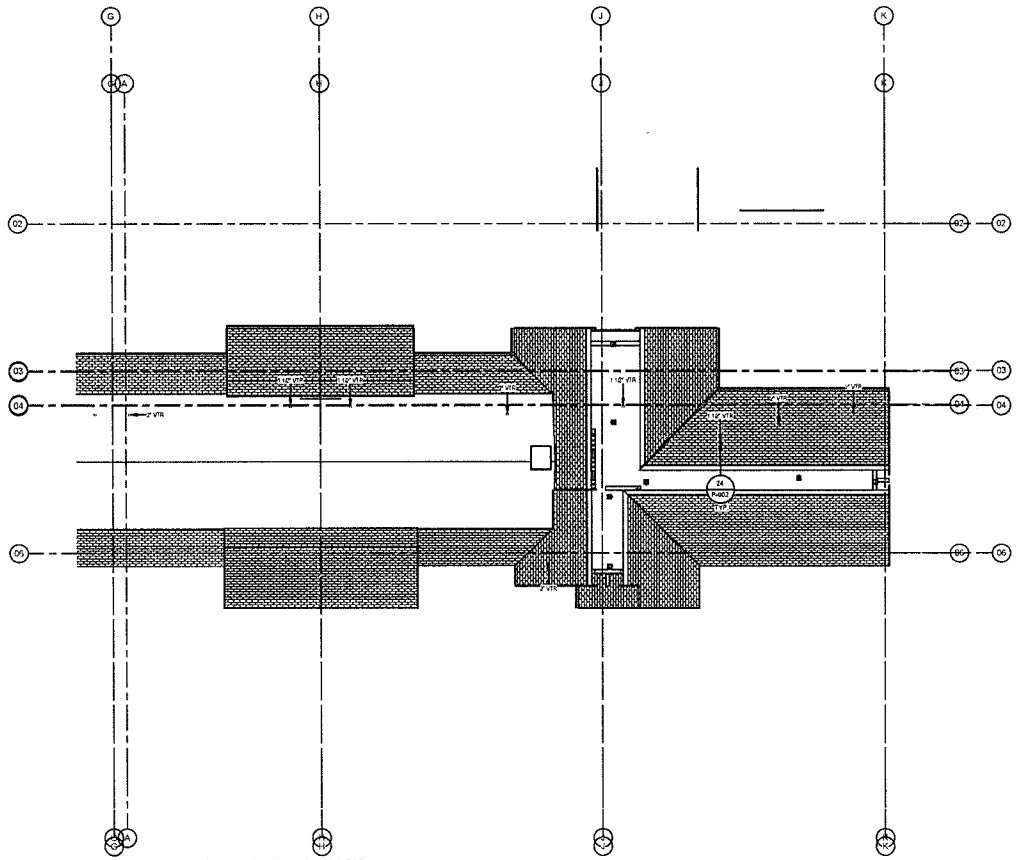

1 **BLDG 1 - ROOF PLAN - WASTE AND VENT - EAST**
SCALE: 1/8" = 1'-0"

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - ROOF PLAN - WASTE AND VENT - EAST

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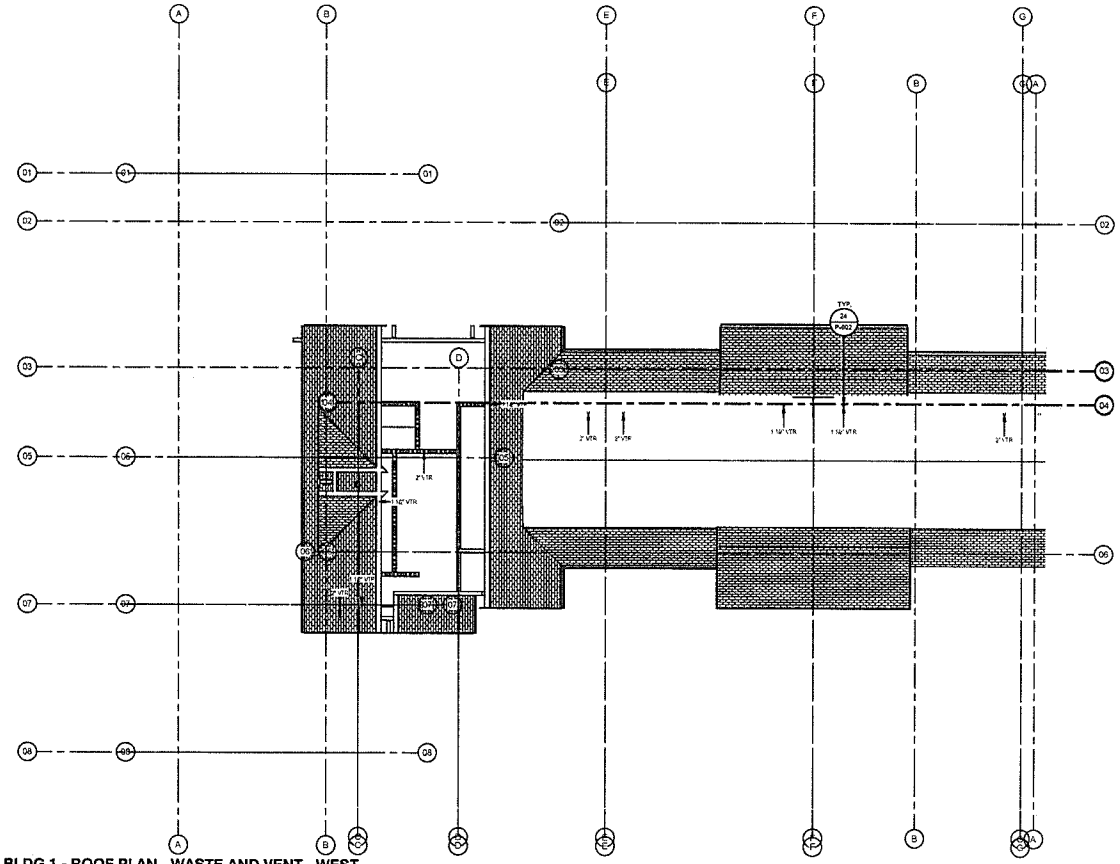

1 BLDG 1 - ROOF PLAN - WASTE AND VENT - WEST
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BLDG 1 - ROOF PLAN - WASTE AND VENT - WEST

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PROJECT NUMBER M22010
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FIRE RATED PENETRATIONS

SEE DETAILS	43 P-003, 45 P-003, 52 P-003, 53 P-003, 41 P-003

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-1	3/4"	-	2"	2"
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
URI-1	1-1/4"	-	2"	2"
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2				
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DW-1	3/4"	-	2"	1-1/2"

~~REFERENCE NOTES~~

1. DOMESTIC COLD WATER SUPPLY RISER. PROVIDE FULL PORT SHUT-OFF VALVE. SEE DETAIL 1/P-003
2. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS

UTILITY LINE SIZING

DOMESTIC WATER SERVICE

TOTAL WSFU	TOTAL GPM	FLUSH TYPE	METER SIZE	SERVICE SIZE	DEVELOPED LENGTH (L+1.25)	FRICTION LOSS PSI/100'
1010	245	Valve	3"	4"	400	1.5

STREET PRESSURE	METER LOSS	BFP LOSS	GRAVITY LOSS	MISC LOSS	REQUIRED RESIDUAL PRESSURE	AVAIL. FRICTION LOSS
75 PSI	6	15	17 PSI	6 PSI	30 PSI	18 PSI

MAXIMUM ALLOWABLE WSFU (CPC SCR11 FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	3	8	18	27	65	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	2	6	14	27	65	-	-	-	-

MAXIMUM ALLOWABLE WSFU (CPC SCR11 FLUSH TANK)

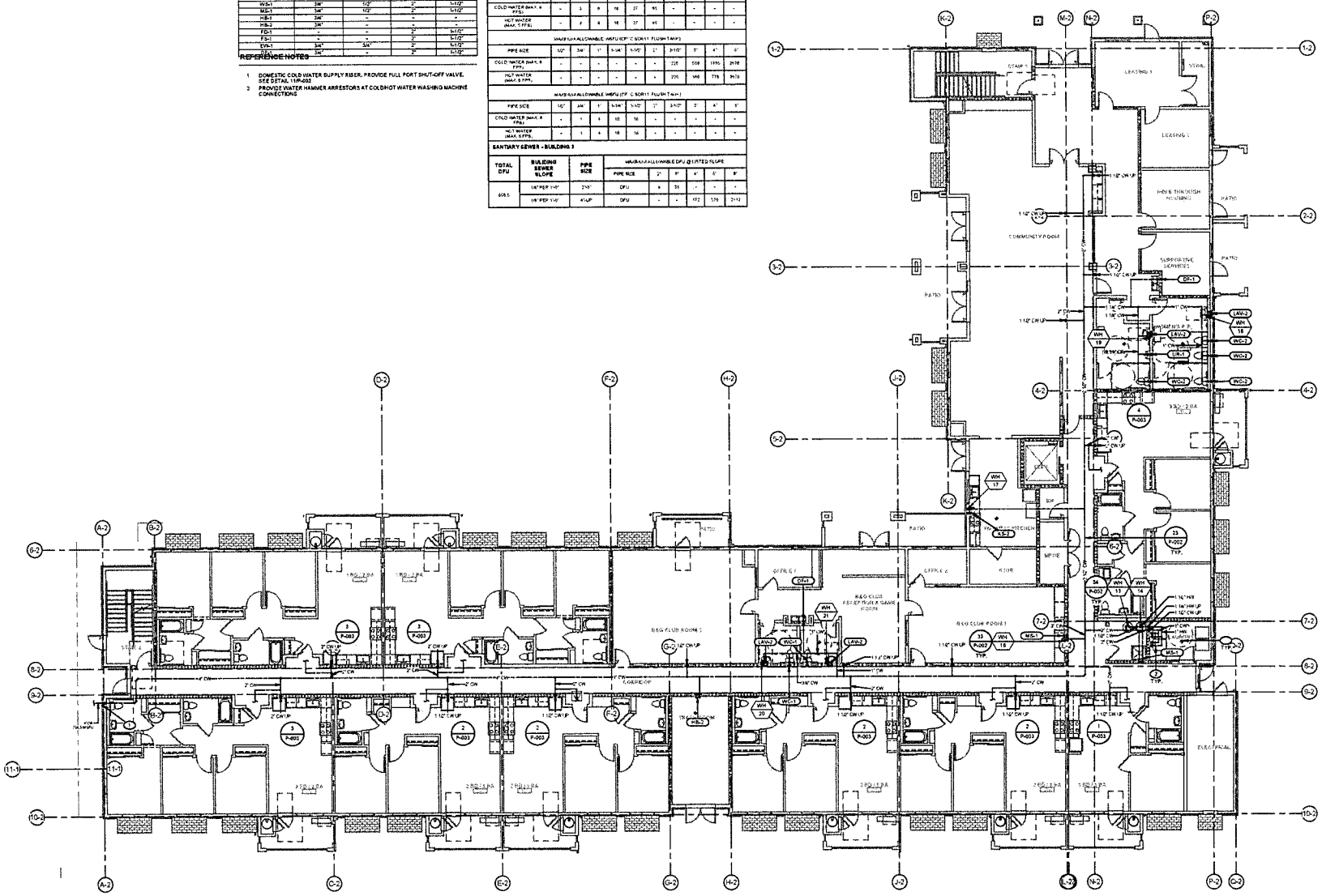
PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	-	-	-	-	-	225	500	1575	2520
HOT WATER (MAX. 5 FPS)	-	-	-	-	-	-	225	500	775	1575

MAXIMUM ALLOWABLE WSFU (CPC SCR11 FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	1	4	10	16	-	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	1	4	10	16	-	-	-	-	-

SANITARY SEWER - BUILDING 3

TOTAL DFU	BUILDING SEWER SLOPE	PIPE SIZE	MAXIMUM ALLOWABLE DFU @ LISTED SLOPE					
			PIPE SIZE	2"	3"	4"	6"	8"
4085	1/4" PER 1'-0"	2"-3"	DFU	8	36	-	-	-
	1/8" PER 1'-0"	4"-UP	DFU	-	-	192	576	2112



1 BLDG 3 - GROUND FLOOR PLAN - DOMESTIC WATER & GAS
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - GROUND FLOOR PLAN - DOMESTIC WATER

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY | CHECKED BY
DATE 07.27.22
PROJECT NUMBER M22010
SHEET P3-101

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FIRE RATED PENETRATIONS

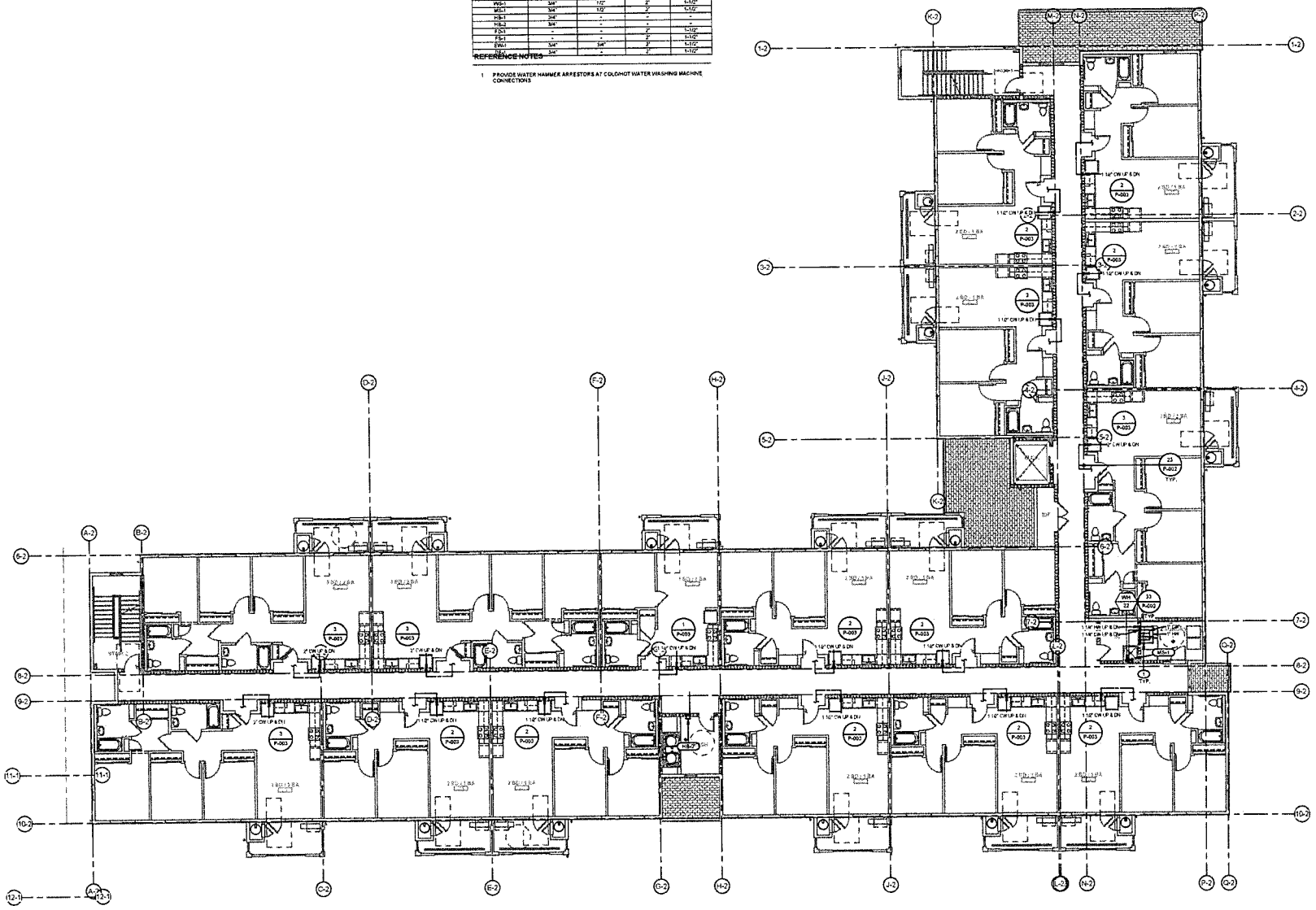
SEE DETAILS	43 P-002	46 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS.

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	1"	2"
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	2"	-
HB-2	3/4"	-	2"	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
~~REFERENCE NOTES~~	3/4"	-	2"	1-1/2"

1 PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS



1 **BLDG 3 - SECOND FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562
BLDG 3 - SECOND FLOOR PLAN - DOMESTIC WATER

NO.	REVISION	DATE

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PROJECT NUMBER M22010
SHEET P3-102

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FIRE RATED PENETRATIONS

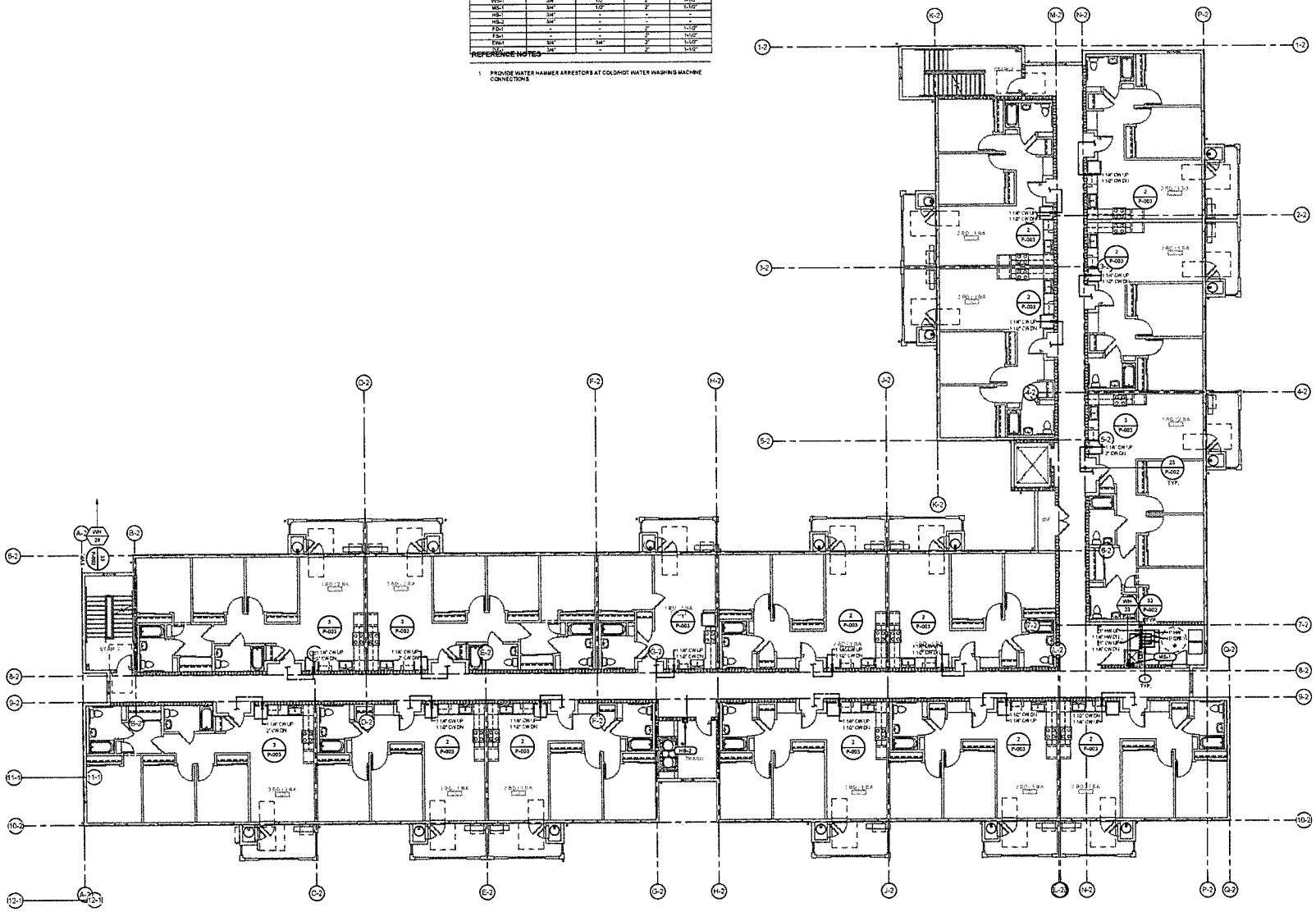
SEE DETAILS	43/P-002 · 45/P-002 · 52/P-002 · 56/P-002 · 61/P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FS-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
FW-1	3/4"	3/4"	2"	1-1/2"
RW-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS



1 **BLDG 3 - THIRD FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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MURRIETTA
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BLDG 3 - THIRD FLOOR PLAN - DOMESTIC WATER

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1		
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PROJECT NUMBER M22010
SHEET P3-103

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FIRE RATED PENETRATIONS

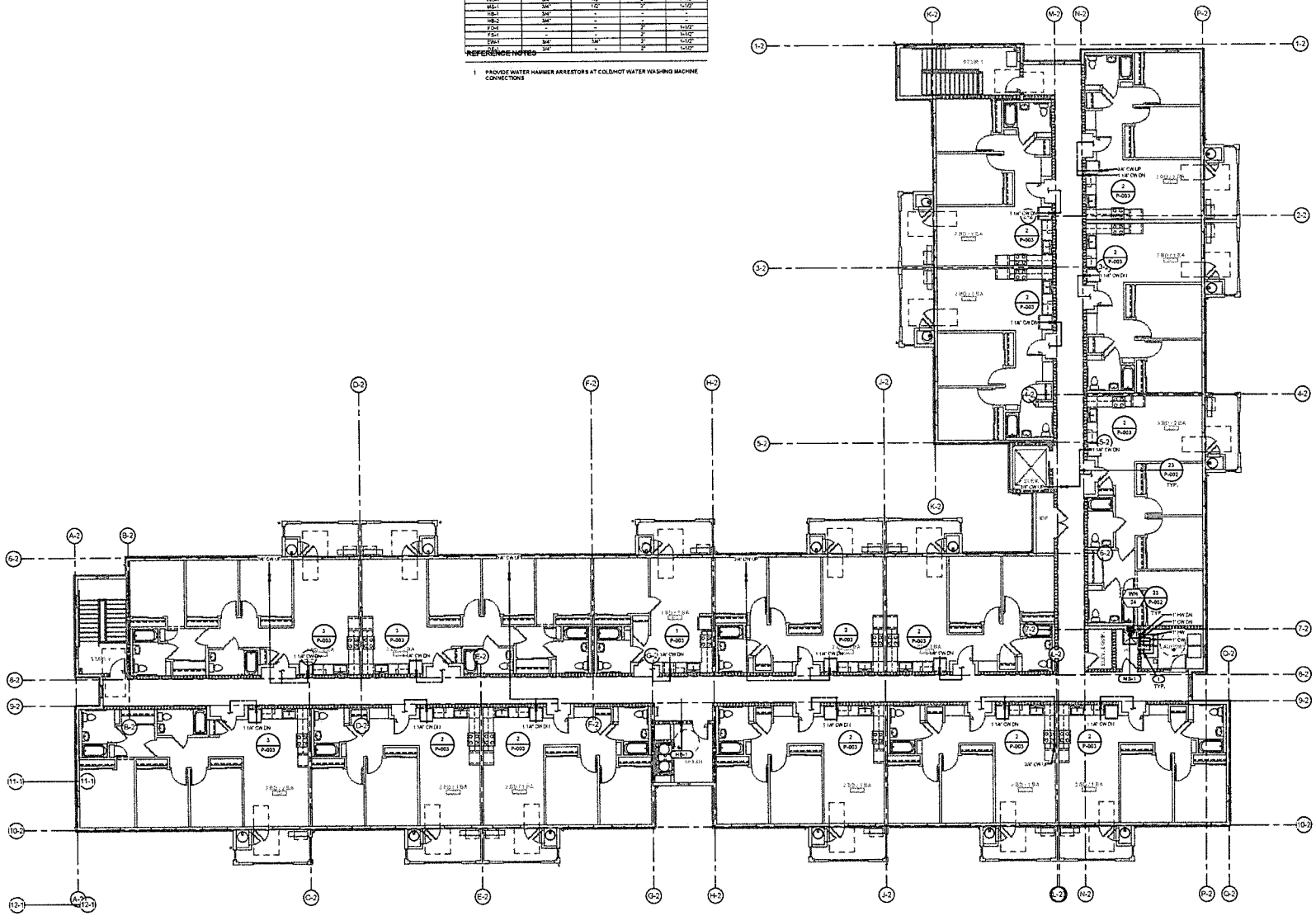
SEE DETAILS	45 P-002, 46 P-002, 52 P-002, 55 P-002, 61 P-002
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS	

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WS-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	4"	3"
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WM-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	-
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS



1 **BLDG 3 - FOURTH FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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BLDG 3 - FOURTH FLOOR PLAN - DOMESTIC WATER

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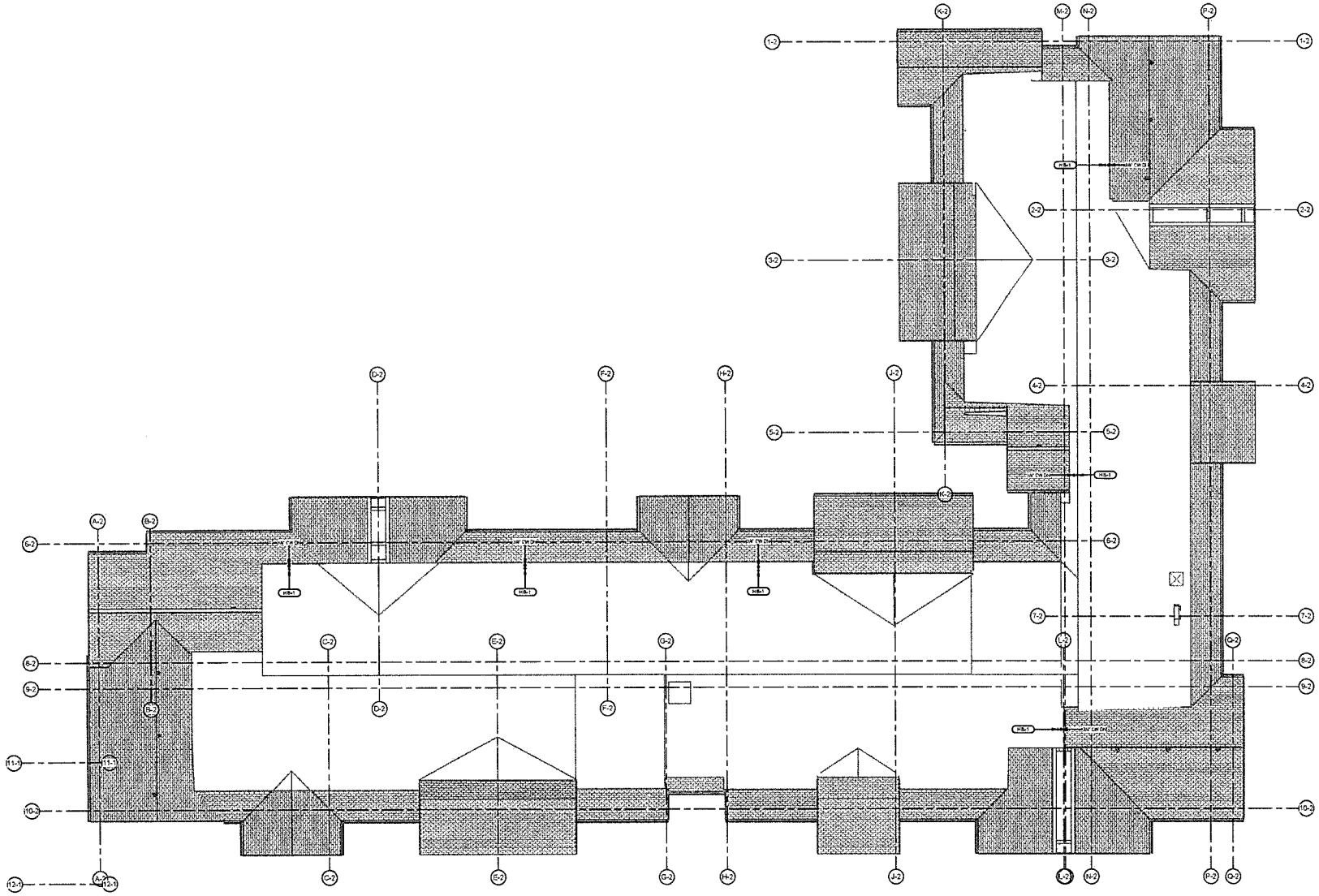

1 **BLDG 3 - ROOF PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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MURRIETTA
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BLDG 3 - ROOF PLAN - DOMESTIC WATER

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SHEET
P3-105

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FIRE RATED PENETRATIONS

SEE DET46.5	43 P-002	43 P-002	62 P-002	55 P-002	61 P-002

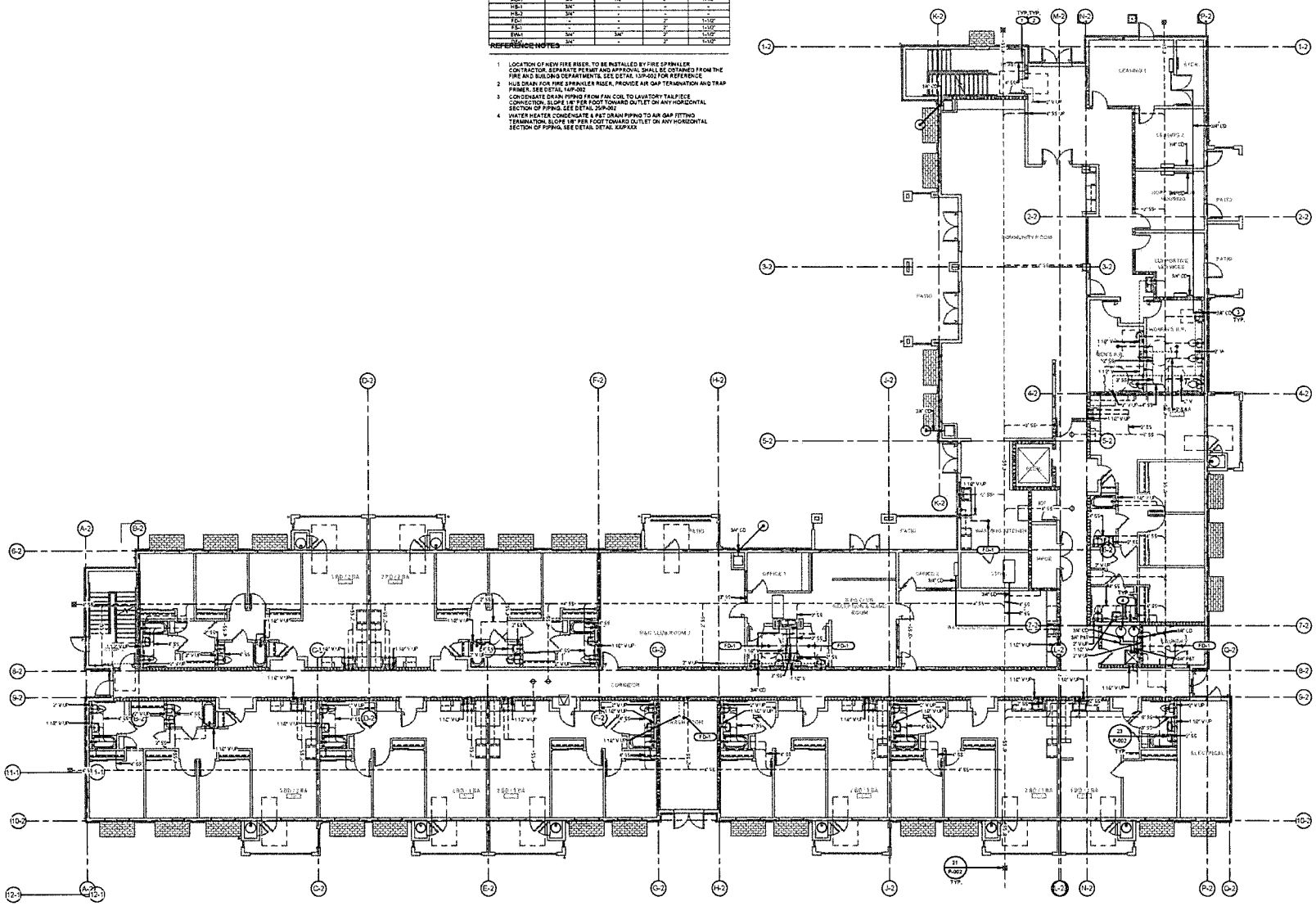
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
FS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
ST-1	3/4"	3/4"	2"	1-1/2"
SH-1	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
KS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
BW-1	3/4"	3/4"	2"	1-1/2"
FW-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. LOCATION OF NEW FIRE RISER, TO BE INSTALLED BY FIRE SPRINKLER CONTRACTOR. SEPARATE PERMIT AND APPROVAL SHALL BE OBTAINED FROM THE FIRE AND BUILDING DEPARTMENTS. SEE DETAIL 1/P-002 FOR REFERENCE
2. HUB DRAIN FOR FIRE SPRINKLER RISER. PROVIDE AIR GAP TERMINATION AND TRAP PRIMER. SEE DETAIL 1/P-002
3. CONDENSATE DRAIN PIPING FROM FAN COIL TO LAVATORY TAILPIECE CONNECTION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. SEE DETAIL 25/P-002
4. WATER HEATER CONDENSATE & P&T DRAIN PIPING TO AIR GAP FITTING TERMINATION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. SEE DETAIL DET.A6, 6/UPA.XX



1 **BLDG 3 - GROUND FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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24960 Adams Ave, Murrieta CA 92562
BLDG 3 - GROUND FLOOR PLAN - WASTE AND VENT

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SHEET P3-201

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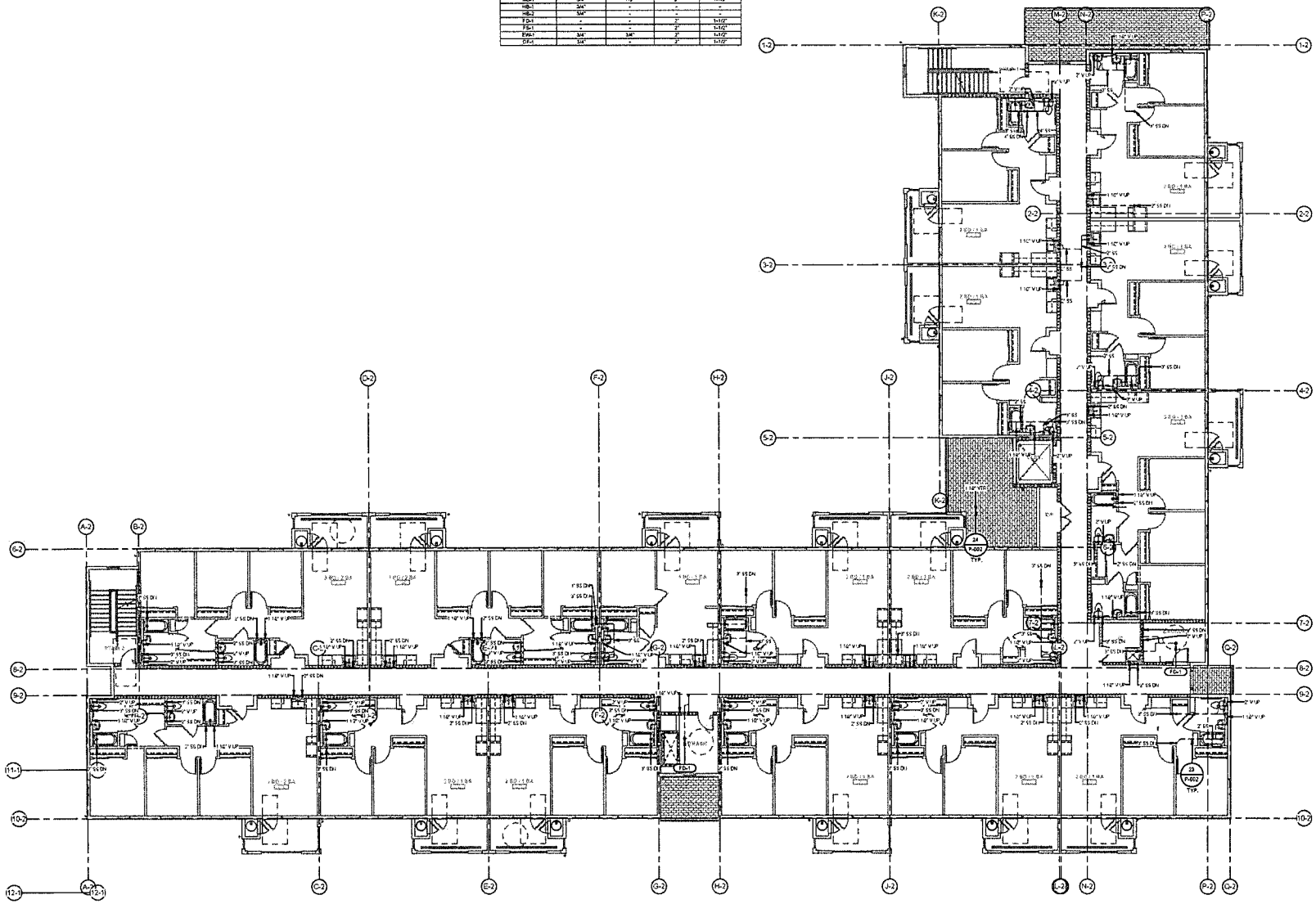
FIRE RATED PENETRATIONS

SEE DETAILS	41 P-002	41 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WB-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
FW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"



1 **BLDG 3 - SECOND FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - SECOND FLOOR PLAN - WASTE AND VENT

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PROJECT NUMBER M22010
SHEET P3-202

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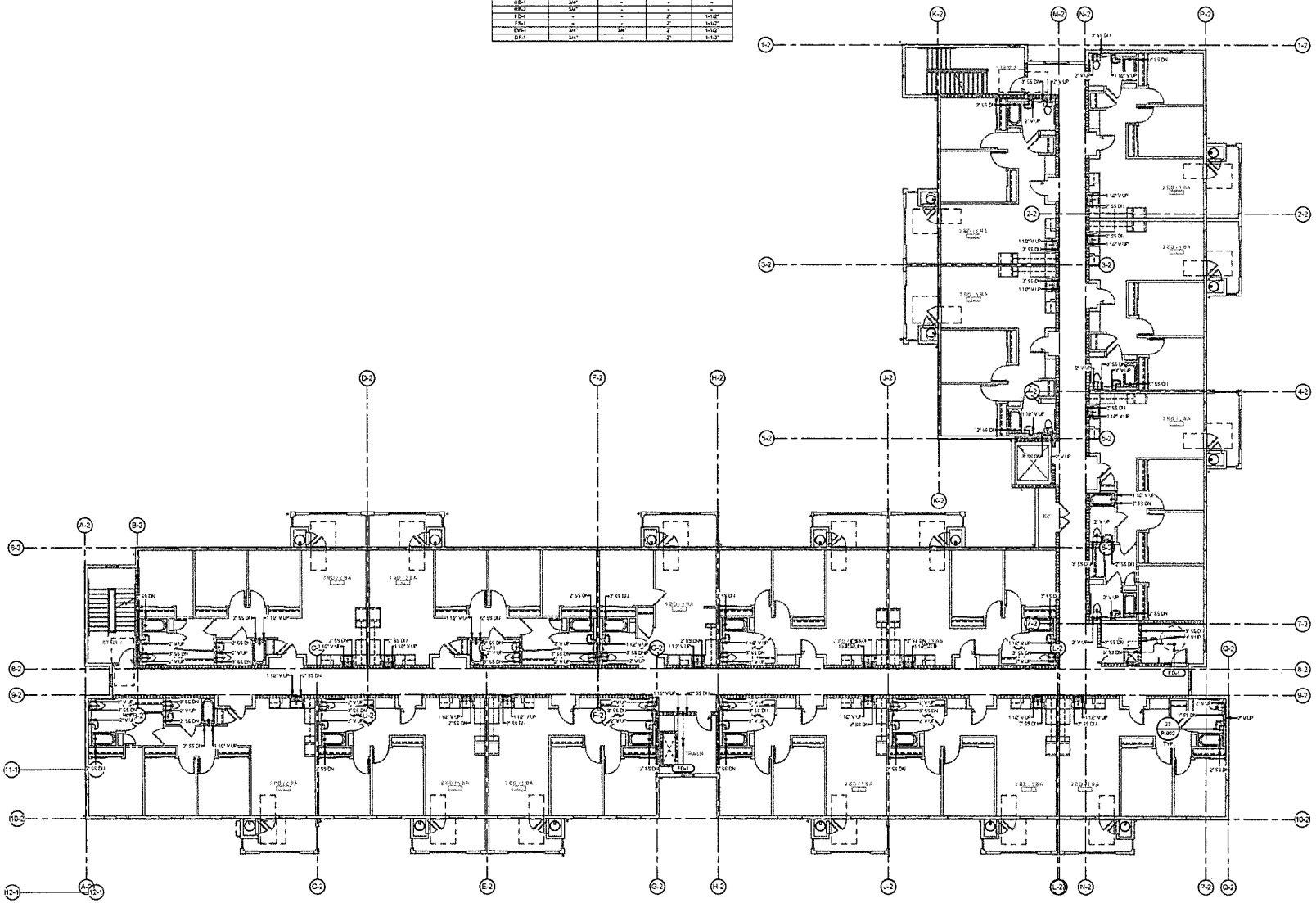
FIRE RATED PENETRATIONS

SEE DETAILS	#3 P-001	#8 P-001	S2 P-001	S5 P-001	S1 P-001

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-1	-	-	-	-
KS-1	3/4"	3/4"	3"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	3"	1-1/2"



1 **BLDG 3 - THIRD FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - THIRD FLOOR PLAN - WASTE AND VENT

NO.	REVISION	DATE

PROJECT MANAGER
DRAWN BY
CHECKED BY
DATE 07 27 22
PROJECT NUMBER M22010
SHEET P3-203

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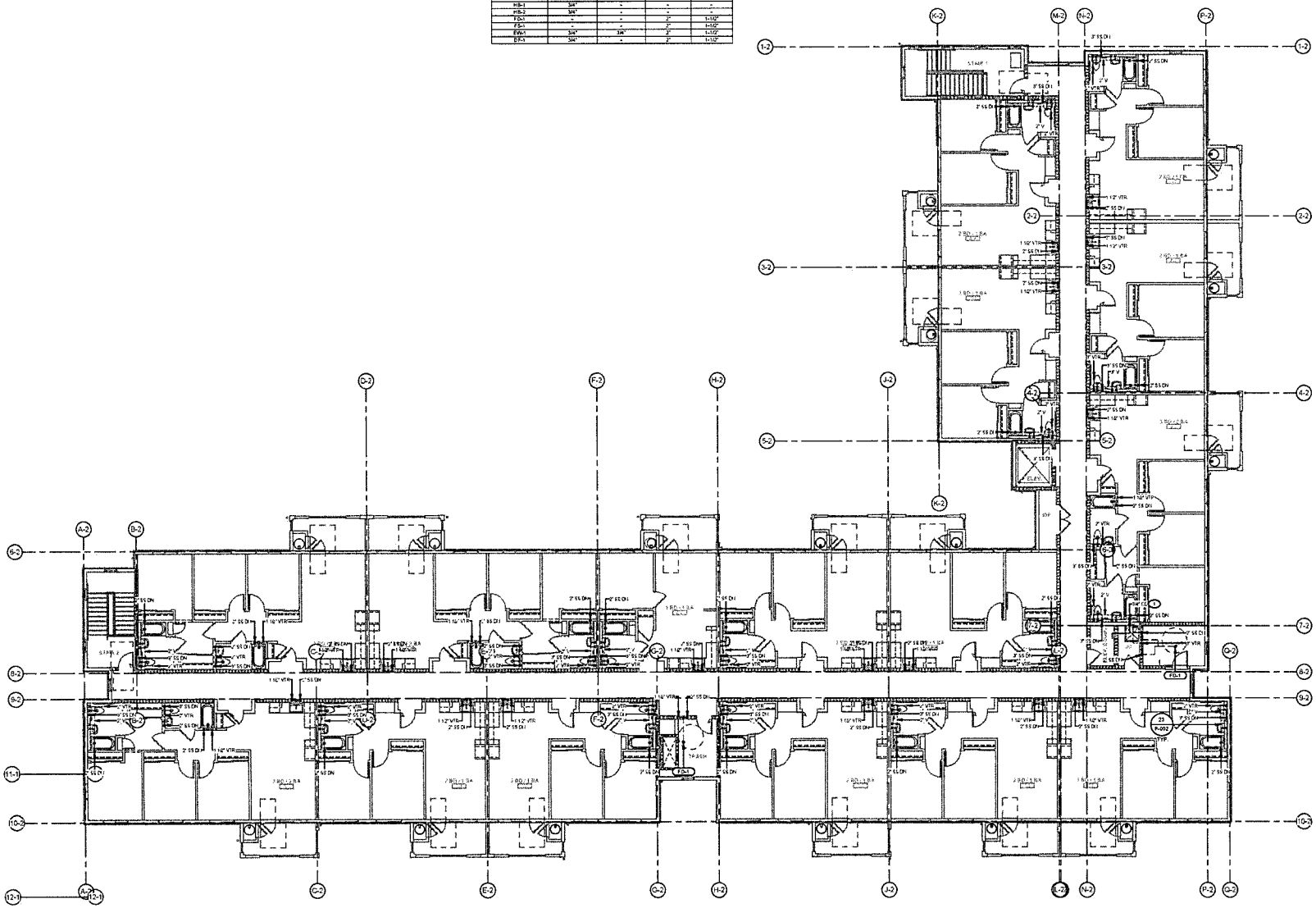
FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"



1 **BLDG 3 - FOURTH FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - FOURTH FLOOR PLAN - WASTE AND VENT

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DATE 07.27.22
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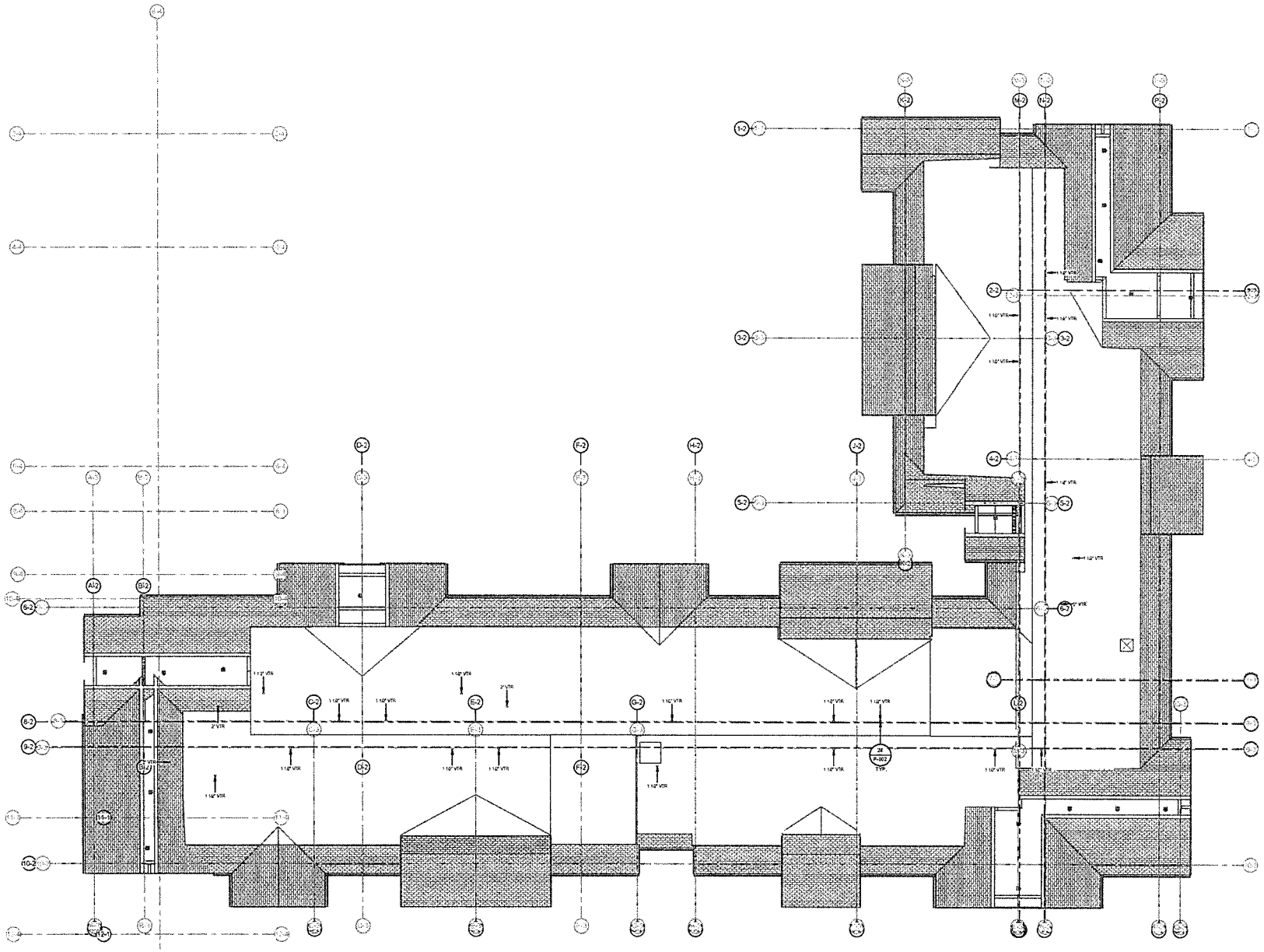

1 BLDG 3 - ROOF PLAN - WASTE AND VENT
SCALE: 1/8" = 1'-0"

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MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ROOF PLAN - WASTE AND VENT

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SHEET P3-205

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UTILITY LINE SIZING

DOMESTIC WATER SERVICE

TOTAL WSFU	TOTAL GPM	FLUSH TYPE	METER SIZE	SERVICE SIZE	DEVELOPED LENGTH (L.F.±25)	FRICTION LOSS PSI/100'
344.5	82	Tanks	3"	4"	300'	3.1

STREET PRESSURE	METER LOSS	BFP LOSS	GRAVITY LOSS	MISC LOSS	REQUIRED RESIDUAL PRESSURE	AVAIL. FRICTION LOSS
74 PSI	4	15	17 PSI	0 PSI	15 PSI	18 PSI

MAXIMUM ALLOWABLE WSFU (EPT'S SORT FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	1	5	11	25	45	115	-	-	-	-
HOT WATER (MAX. 5 FPS)	1	5	11	25	45	115	-	-	-	-

MAXIMUM ALLOWABLE WSFU (EPT'S SORT FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	-	-	-	-	-	506	776	1751	4679
HOT WATER (MAX. 5 FPS)	-	-	-	-	-	-	203	346	779	2078

MAXIMUM ALLOWABLE WSFU (EPT'S SORT FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	3	8	15	25	-	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	3	8	15	25	-	-	-	-	-

SANITARY SEWER - BUILDING 3

TOTAL DFU	BUILDING SEWER SLOPE	PIPE SIZE	MAXIMUM ALLOWABLE DFU @ LISTED SLOPE					
			PIPE SIZE	2"	3"	4"	5"	6"
3325	1/8" PER 1'-0"	6"-0"	DFU	8	33	-	-	-
	1/4" PER 1'-0"	4"-0"	DFU	-	-	172	574	2172

FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	56 P-002	61 P-002

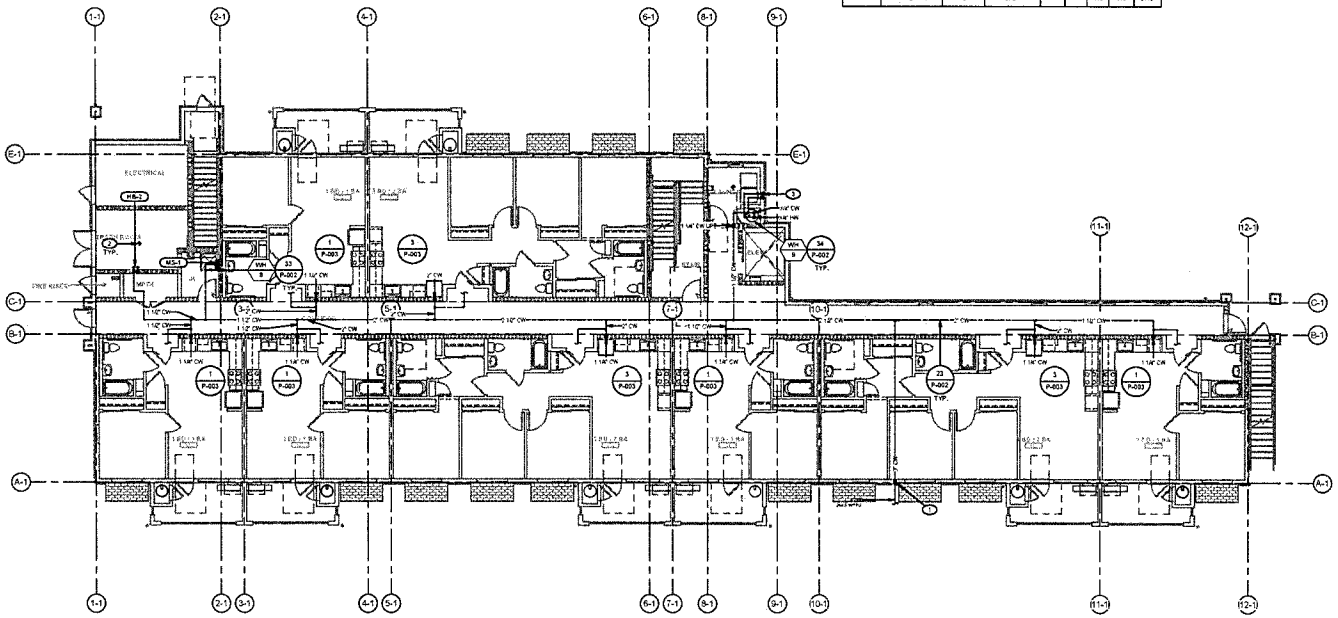
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KB-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	3	3
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FS-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. DOMESTIC COLD WATER SUPPLY RISER. PROVIDE FULL PORT SHUT-OFF VALVE. SEE DETAIL 11/P-002
2. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK 'P' TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/P-002
3. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS



1 **BLDG 4 - GROUND FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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BLDG 4 - GROUND FLOOR PLAN - DOMESTIC WATER

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PROJECT NUMBER M22010
SHEET P4-101

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FIRE RATED PENETRATIONS

SEE DETAILS #3 P-002, #8 P-002, #2 P-002, #4 P-002, #1 P-002

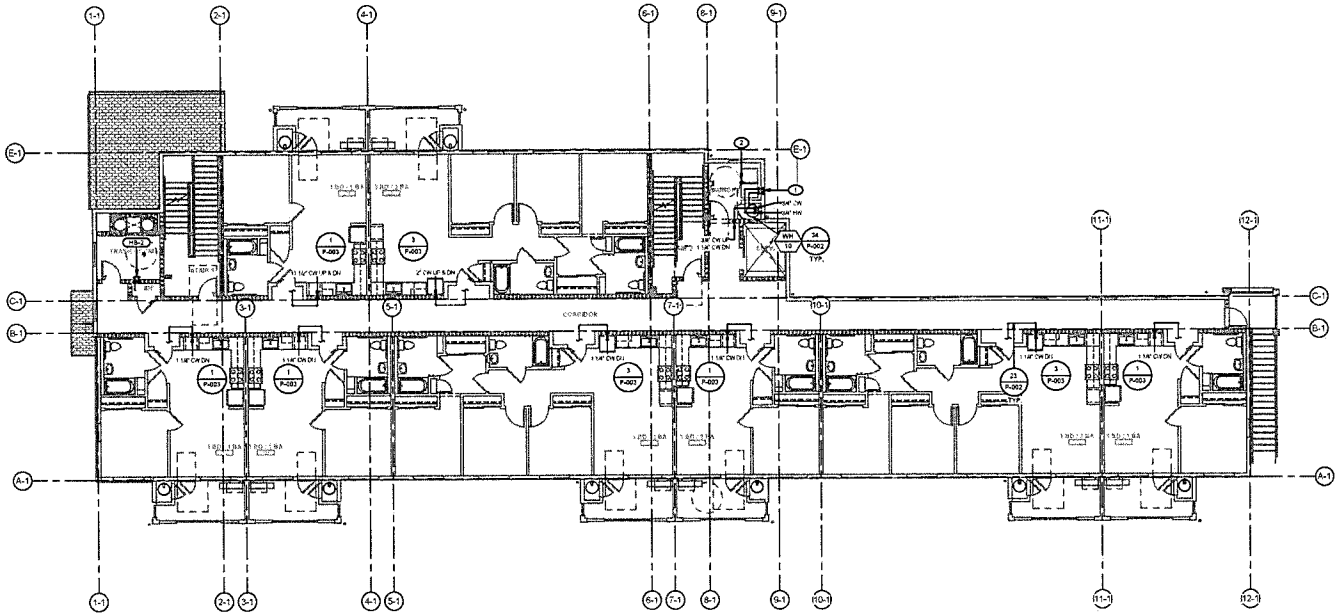
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	1
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	3"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FP-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. PROVIDE WATER HAMMER ARRESTORS AT COLD/HOT WATER WASHING MACHINE CONNECTIONS
2. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK 'P' TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/P-002



1 **BLDG 4 - SECOND FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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24960 Adams Ave, Murrieta CA 92562

BLDG 4 - SECOND FLOOR PLAN - DOMESTIC WATER

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PROJECT NUMBER
M22010

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P4-102

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FIRE RATED PENETRATIONS

SEE DETAILS	43 P-003 · 46 P-003 · 52 P-003 · 55 P-003 · 61 P-003

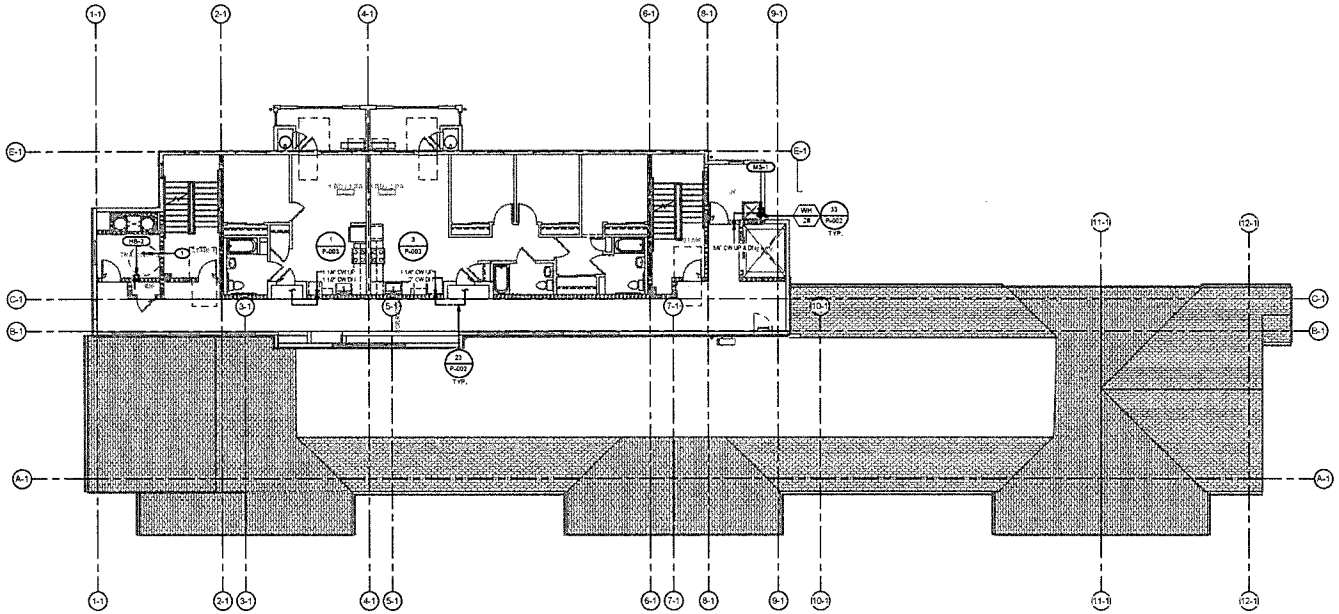
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KSB-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
SC-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WSH	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
FPM-1	3/4"	3/4"	2"	1-1/2"
[illegible]	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/SINK 9" TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/P-003



1 **BLDG 4 - THIRD FLOOR PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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BLDG 4 - THIRD FLOOR PLAN - DOMESTIC WATER

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FIRE RATED PENETRATIONS

SEE DETAILS 42 P-002, 45 P-002, 52 P-002, 58 P-002, 61 P-002

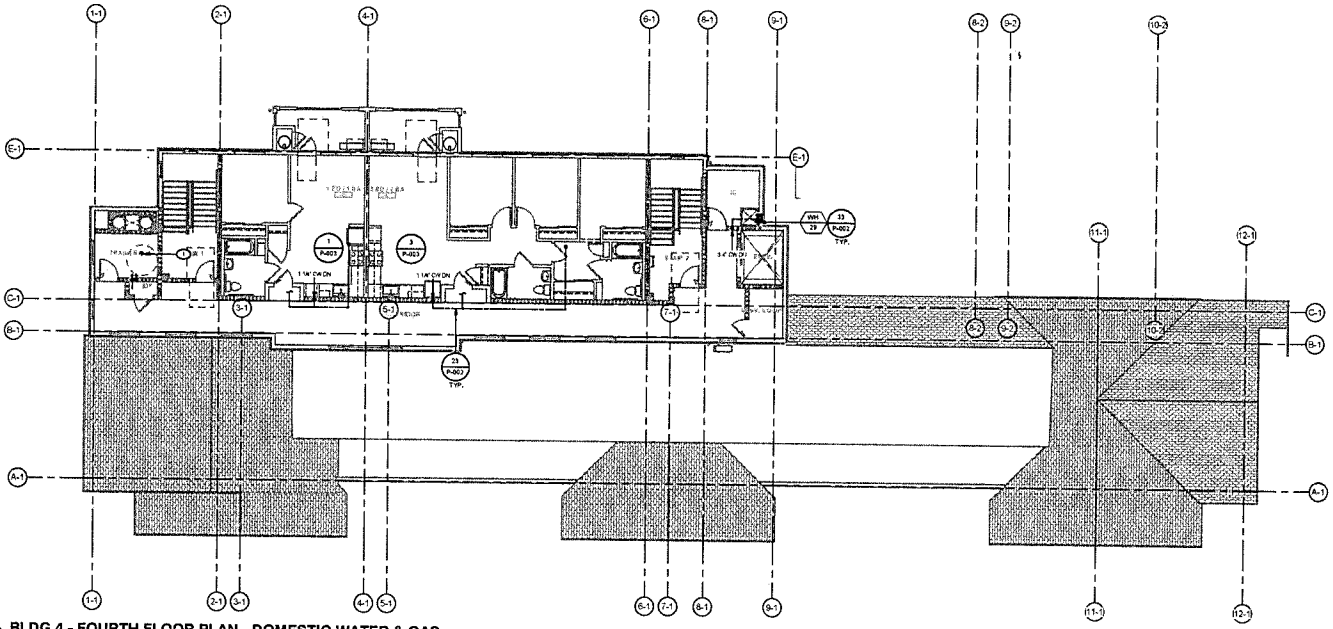
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

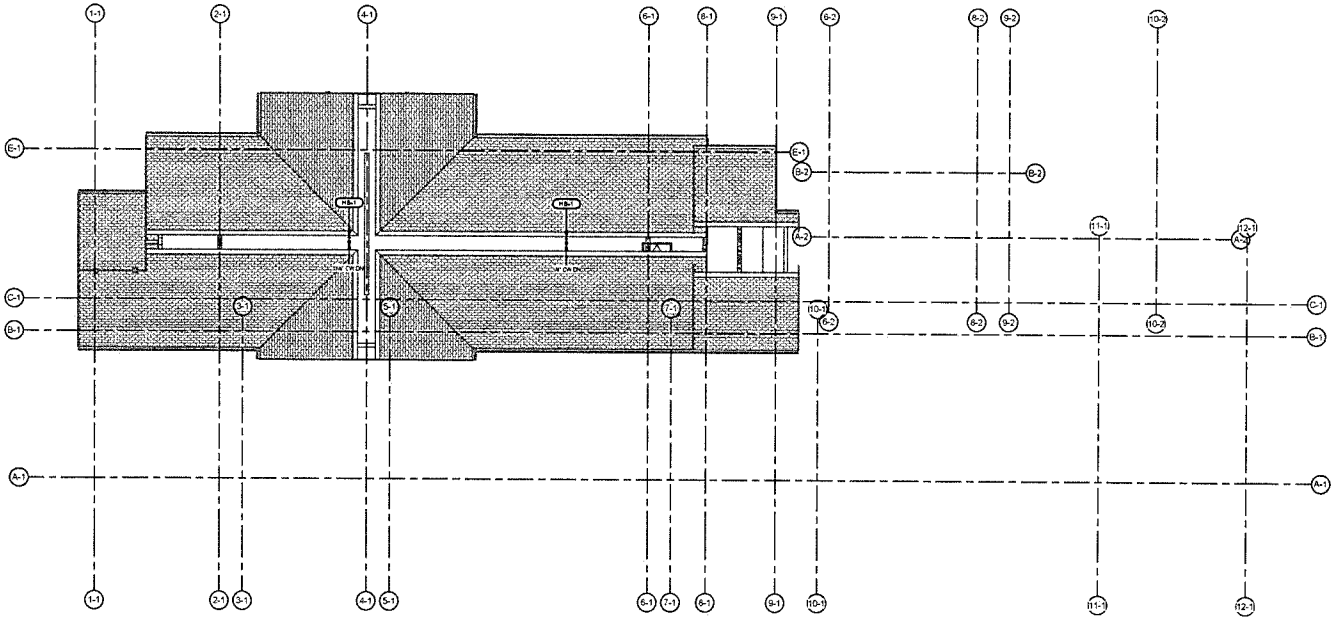
BRANCH LINE SIZING

FIXTURE	CW	HW	W	U
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
FS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FD-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. PROVIDE 1/2" TRAP PRIMER TO FLOOR DRAIN/INK 'P' TRAP - PROVIDE ACCESS PANEL AND SHUTOFF VALVE AHEAD OF PRIMER VALVE AND PROVIDE AN APPROVED AIR-GAP ON THE OUTLET SIDE OF THE TRAP PRIMER VALVE. SEE DETAIL 15/P-002





1 **BLDG 4 - ROOF PLAN - DOMESTIC WATER & GAS**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 4 - ROOF PLAN - DOMESTIC WATER

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PROJECT MANAGER
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DATE 07 27 22
PROJECT NUMBER M22010
SHEET P4-105

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FIRE RATED PENETRATIONS

SEE DETAILS	43 / P-002	45 / P-002	52 / P-002	55 / P-002	61 / P-002

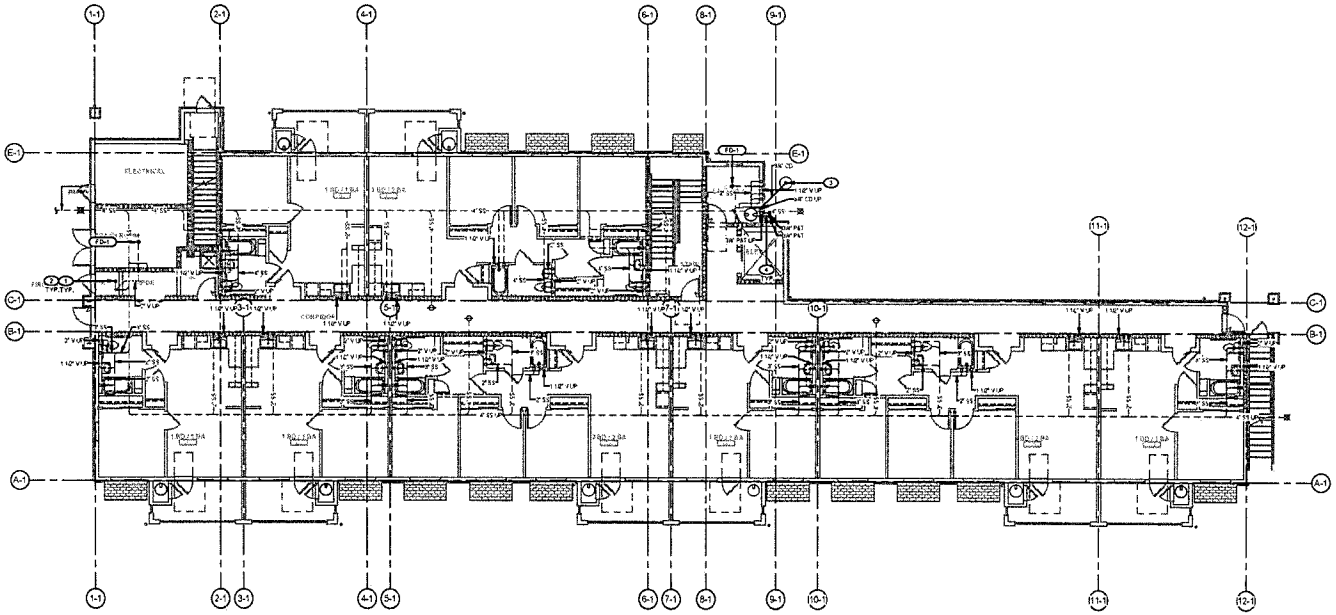
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2"
ST-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
FD-2	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1. LOCATION OF NEW FIRE RISER, TO BE INSTALLED BY FIRE SPRINKLER CONTRACTOR. SEPARATE PERMIT AND APPROVAL SHALL BE OBTAINED FROM THE FIRE AND BUILDING DEPARTMENTS. SEE DETAIL 13/P-003 FOR REFERENCE
2. HUB DRAIN FOR FIRE SPRINKLER RISER. PROVIDE AIR GAP TERMINATION AND TRAP PRIMER. SEE DETAIL 14/P-002
3. CONDENSATE DRAIN TO DRY WELL TERMINATION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. SEE DETAIL 31/P-002
4. 3/4" PAT DRAIN LINE FROM WATER HEATER TO EXTERIOR TERMINATION. SLOPE 1/8" PER FOOT TOWARD OUTLET ON ANY HORIZONTAL SECTION OF PIPING. TERMINATE 12"-18" ABOVE FINISHED GRADE



1 **BLDG 4 - GROUND FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 4 - GROUND FLOOR PLAN - WASTE AND VENT

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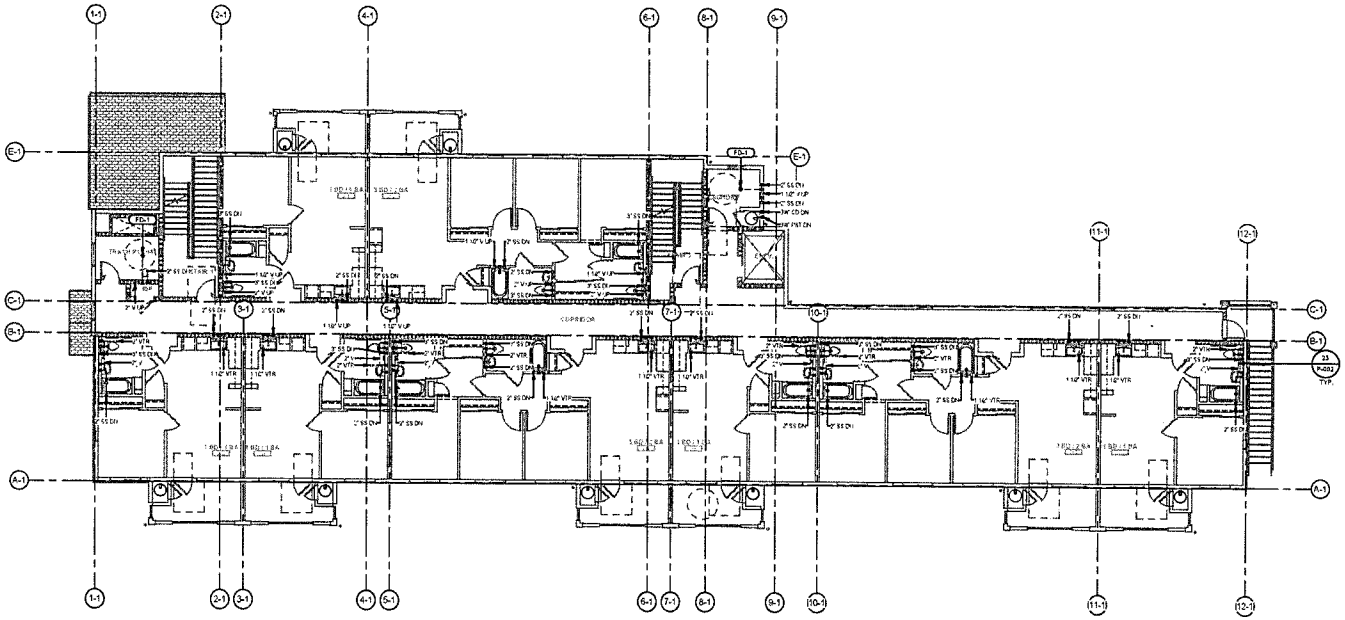
FIRE RATED PENETRATIONS

SEE DETAILS	42 P-002	43 P-002	52 P-002	55 P-002	61 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2"	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	2"	-
HB-2	3/4"	-	2"	-
FD-1	-	-	2"	1-1/2"
FB-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DT-1	3/4"	-	2"	1-1/2"



1 **BLDG 4 - SECOND FLOOR PLAN - WASTE AND VENT**
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MURRIETTA
24960 Adams Ave, Murrieta CA 92562
BLDG 4 - SECOND FLOOR PLAN - WASTE AND VENT

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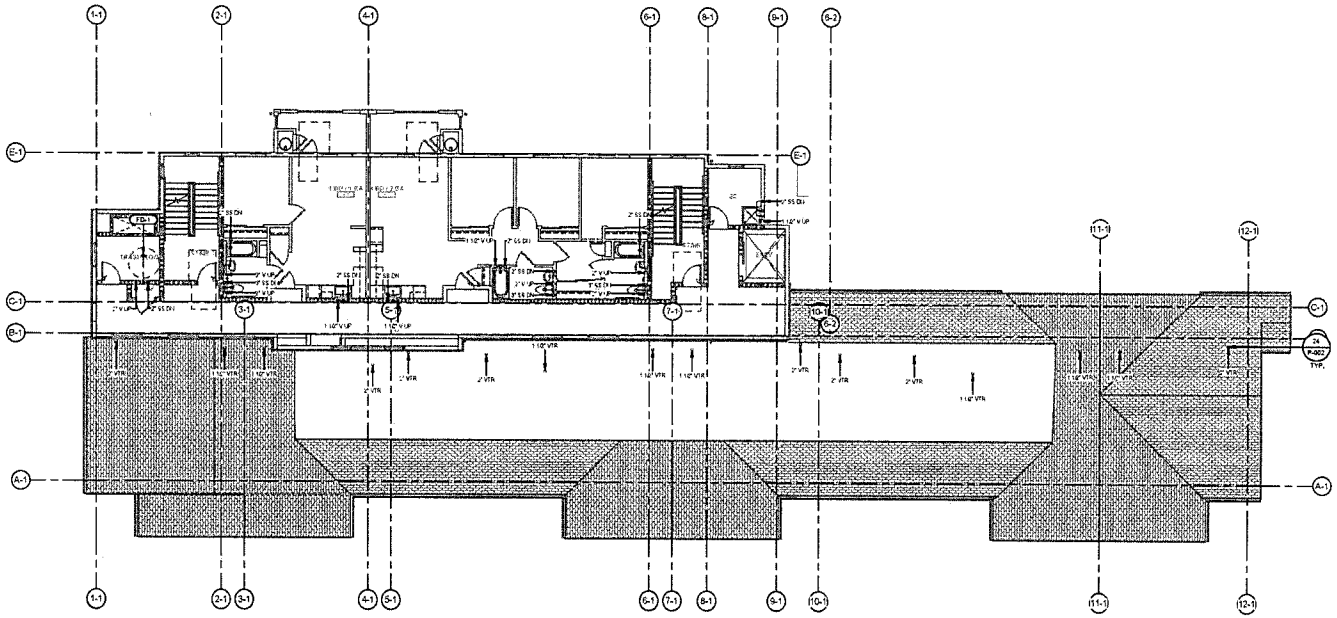
FIRE RATED PENETRATIONS

SEE DETAILS	43 P-002	45 P-002	52 P-002	55 P-002	41 P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
R-S-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/4"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SINK	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
EW-1	3/4"	-	2"	1-1/2"



1 **BLDG 4 - THIRD FLOOR PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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BLDG 4 - THIRD FLOOR PLAN - WASTE AND VENT

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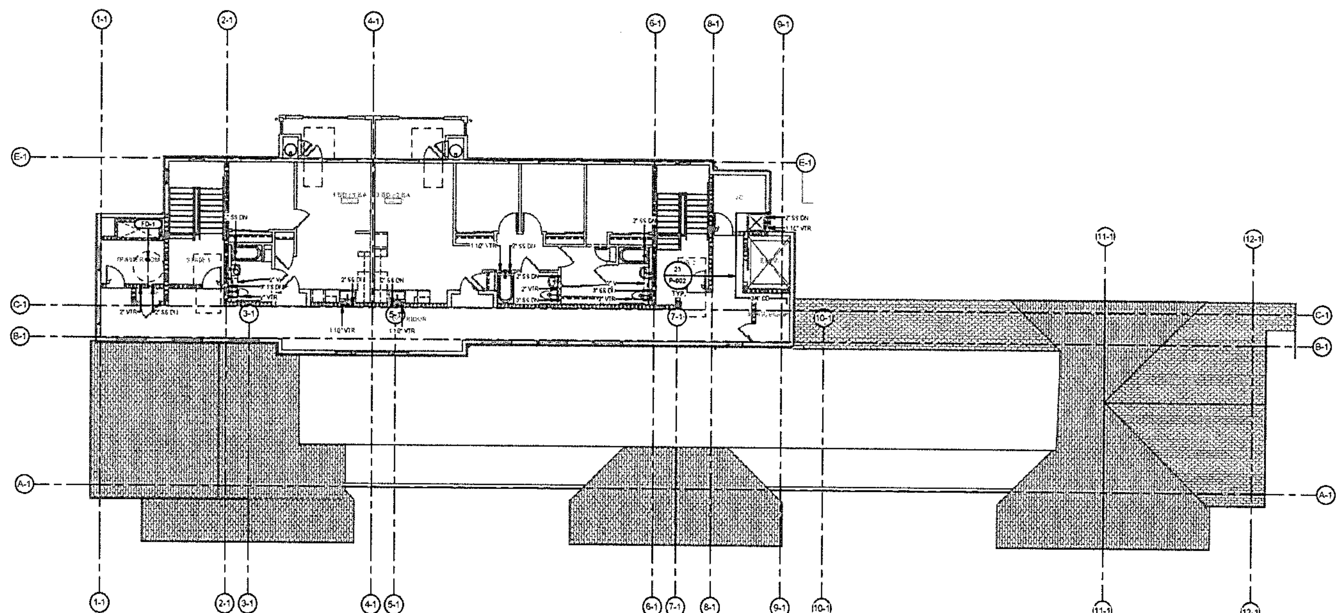
FIRE RATED PENETRATIONS

SEE DETAILS 43/P-002, 45/P-002, 52/P-002, 55/P-002, 61/P-002

FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

FIXTURE	CW	HW	W	V
KS-2				
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2				
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"



1 BLDG 4 - FOURTH FLOOR PLAN - WASTE AND VENT

SCALE: 1/8" = 1'-0"

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MURRIETA

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BLDG 4 - FOURTH FLOOR PLAN - WASTE AND VENT

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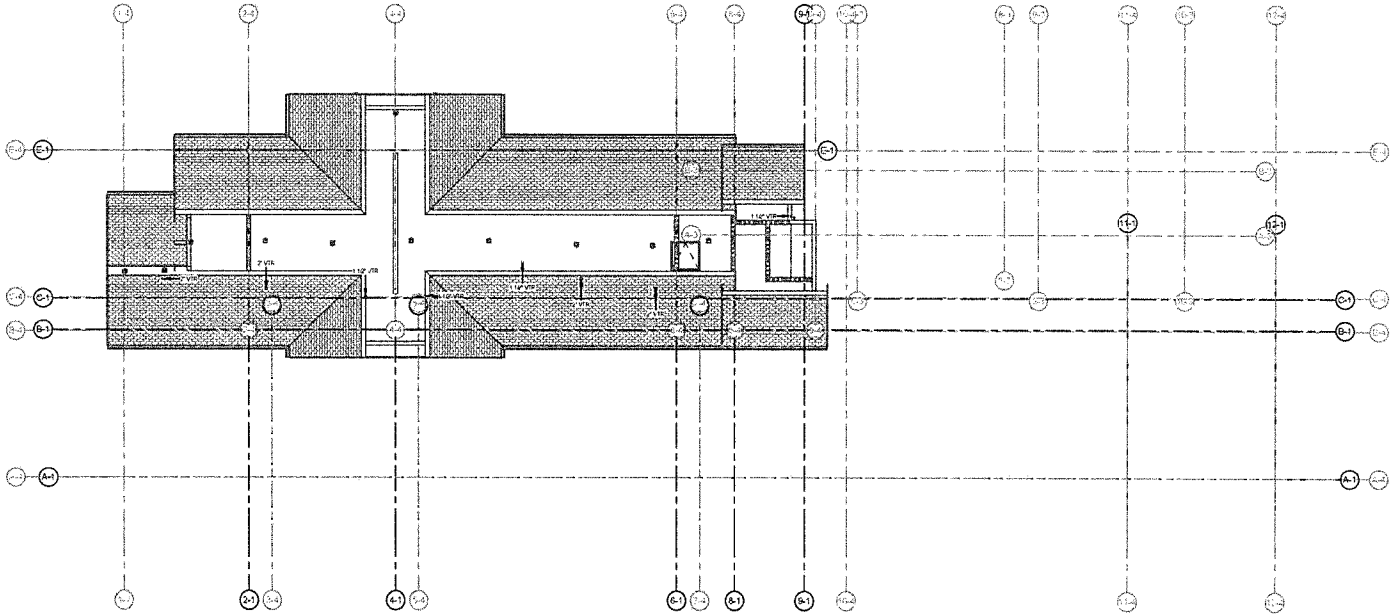

1 **BLDG 4 - ROOF PLAN - WASTE AND VENT**
SCALE: 1/8" = 1'-0"

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BLDG 4 - ROOF PLAN - WASTE AND VENT

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PROJECT NUMBER
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UTILITY LINE SIZING

DOMESTIC WATER SERVICE

TOTAL WSFU	TOTAL GPM	FLUSH TYPE	METER SIZE	SERVICE SIZE	DEVELOPED LENGTH (L x1.25)	FRICTION LOSS PSI/100'
15	11	TANK	3	4"	51'	1.0

STREET PRESSURE	METER LOSS	BFP LOSS	GRAVITY LOSS	MISC LOSS	REQUIRED RESIDUAL PRESSURE	AVAIL. FRICTION LOSS
74 PSI	6	10	17 PSI	5 PSI	30 PSI	15 PSI

MAXIMUM ALLOWABLE WSFU (CPVC SDR 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 5 FPS)	-	4	10	16	32	111	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	4	10	16	32	111	-	-	-	-

MAXIMUM ALLOWABLE WSFU (CPVC SDR 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	-	-	-	-	-	275	596	1755	3670
HOT WATER (MAX. 5 FPS)	-	-	-	-	-	-	228	390	778	3378

MAXIMUM ALLOWABLE WSFU (CPVC SDR 11, FLUSH TANK)

PIPE SIZE	1/2"	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	6"
COLD WATER (MAX. 8 FPS)	-	2	6	12	25	-	-	-	-	-
HOT WATER (MAX. 5 FPS)	-	2	6	12	25	-	-	-	-	-

SANITARY SEWER - BUILDING 5

TOTAL DFU	BUILDING SEWER SLOPE	PIPE SIZE	MAXIMUM ALLOWABLE DFU @ LISTED SLOPE					
			PIPE SIZE	2"	3"	4"	6"	8"
17	1/4" PER 1'-0"	2"-8"	DFU	4	36	-	-	-
	1/8" PER 1'-0"	4"-10"	DFU	-	-	172	675	2101

FIRE RATED PENETRATIONS

SEE DETAILS 42 P-002, 49 P-002, 52 P-002, 56 P-002, 61 P-002

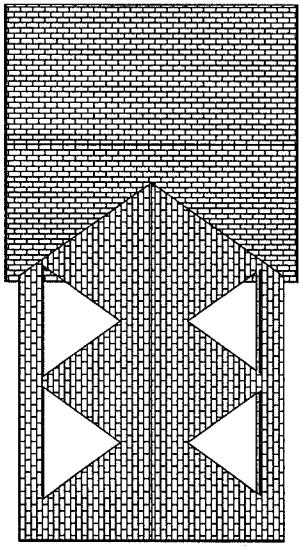
FOR PIPING PENETRATION FIRE STOPPING OF FIRE-RATED WALLS, FLOORS, & CEILINGS

BRANCH LINE SIZING

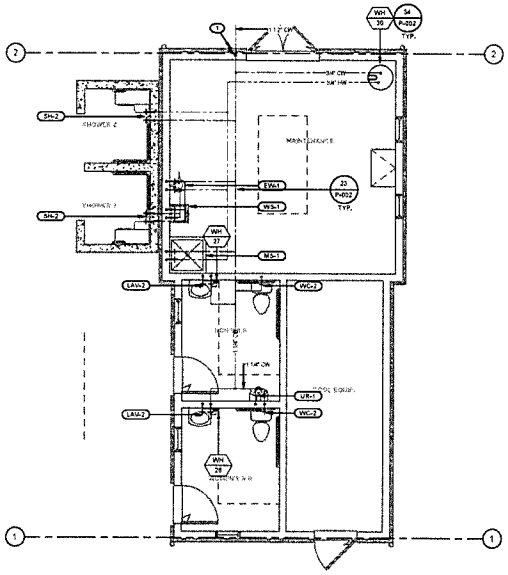
FIXTURE	CW	HW	W	V
KS-2	-	-	-	-
WC-1	3/4"	-	3"	2"
WC-2	3/4"	-	3"	2"
LAV-1	3/4"	3/8"	2"	1-1/2"
LAV-2	3/4"	3/4"	2"	1-1/2"
UR-1	1-1/4"	-	2	2
BT-1	3/4"	3/4"	2"	1-1/2"
SH-2	-	-	-	-
KS-1	3/4"	3/4"	2"	1-1/2"
WS-1	3/4"	1/2"	2"	1-1/2"
MS-1	3/4"	1/2"	2"	1-1/2"
HB-1	3/4"	-	-	-
HB-2	3/4"	-	-	-
FD-1	-	-	2"	1-1/2"
FS-1	-	-	2"	1-1/2"
EW-1	3/4"	3/4"	2"	1-1/2"
DF-1	3/4"	-	2"	1-1/2"

REFERENCE NOTES

1 DOMESTIC COLD WATER SUPPLY RISER. PROVIDE FULL PORT SHUT-OFF VALVE. SEE DETAIL 11/P-002



2 **BLDG 5 -ROOF PLAN-DOMESTIC WATER**
SCALE: 1/4" = 1'-0"



1 **BLDG 5 - GROUND FLOOR PLAN-DOMESTIC WATER**
SCALE: 1/4" = 1'-0"

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AGENCY

MURRIETTA
24960 Adams Ave, Murrieta CA 92562

BLDG 5 - GROUND FLOOR PLANS - DOMESTIC WATER

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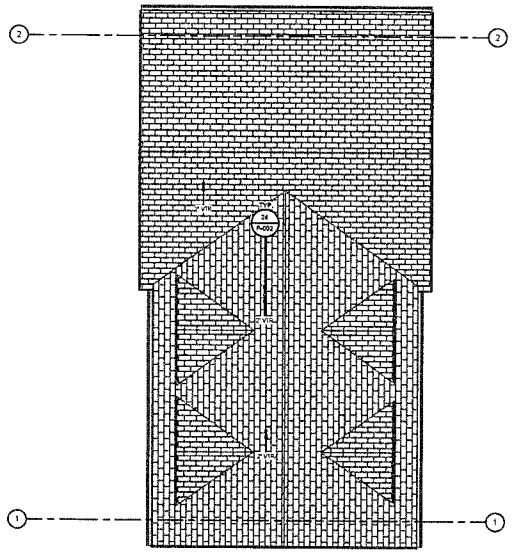
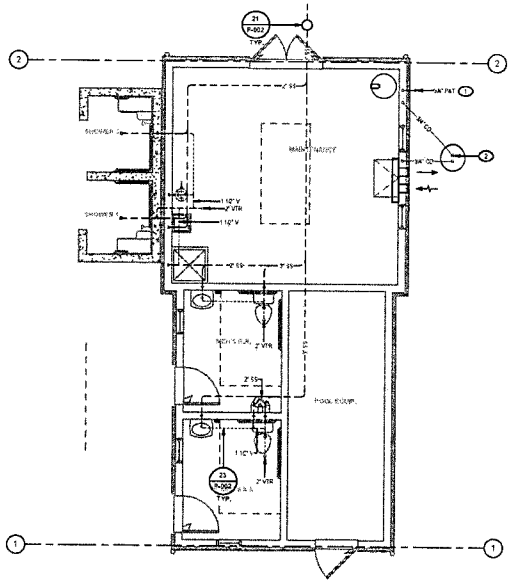


2 BLDG 5 -ROOF PLAN-WASTE AND VENT
SCALE: 1/4" = 1'-0"



1 BLDG 5 - GROUND FLOOR PLAN-WASTE AND VENT
SCALE: 1/4" = 1'-0"

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MURRIETTA
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BLDG 5 - GROUND FLOOR PLAN - WASTE AND VENT

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ELECTRICAL PLAN CONVENTIONS

DETAIL CALLOUT/REFERENCE
- DETAIL NO.
- PLAN REFERENCE NO.

REFERENCE / NOTE CALLOUT
- FILE/SHEET SHEET NOTE

LUMINAIRE DESIGNATION
- LUMINAIRE DESIGNATION
- 15 D — BRANCH CIRCUIT, SWITCHLEG(S)

FEEDER DESIGNATION
- FEEDER DESIGNATION NO. REFERS TO FEEDER SCHEDULE (INCLUDED ON THE SINGLE LINE DIAGRAM, SCHEDULE NOTES, FEEDER SPECIFICATION, CONDUIT SPECIFICATION, AND ROUTING)
- BRANCH CIRCUIT DESIGNATION

EQUIPMENT DESIGNATION
- AHU — EQUIPMENT DESIGNATION "M" = MECHANICAL
- PA — P = PLUMBING
- FDS — FS = FOOD SERVICE

LUMINAIRE DISTRIBUTION
- LIGHT DISTRIBUTION INDICATED BY APPROACH

ELECTRICAL ABBREVIATIONS

A	AMPERE	GC	GENERAL CONTRACTOR
ABV	ABOVE	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
AC	ALTERNATING CURRENT	GND	GROUND
ADJ	ADJUSTABLE	GRS	GALVANIZED RIGID STEEL
AFF	ABOVE FINISH FLOOR	GWS	GANG WALL SWITCH
AFG	ABOVE FINISH GRADE	H	HEIGHT
AHJ	AUTHORITY HAVING JURISDICTION	HID	HIGH INTENSITY DISCHARGE
AIC	AMPERES INTERRUPTING CAPACITY	HIGH	HIGH OUTPUT
AL	ALUMINUM	HOA	HAND-OFF-AUTO
APCD	AIR POLLUTION CONTROL DISTRICT	HP	HORSEPOWER
ATS	AUTOMATIC TRANSFER SWITCH	HPF	HIGH POWER FACTOR
AV	AUDIBLE AUDIO VISUAL	HPS	HIGH PRESSURE SODIUM
AWG	AMERICAN WIRE GAUGE	HZ	HERTZ
BFG	BELOW FINISH GRADE	ID	IDENTIFICATION
BLDG	BUILDING	IBC	BOARD GROUND
BOD	BASIS OF DESIGN	IECC	INTERNATIONAL BUILDING CODE
C	CONDUIT	INDOV	JUNCTION BOX
CA	CAUTION	J	
CATV	CABLE TELEVISION	KILO	KILO
CB	CIRCUIT BREAKER	KVA	KILOVOLTAMPS
CBC	CA BUILDING CODE	KW	KILOWATT
CEC	CA ELECTRICAL CODE	L	
CF	COMPACT FLUORESCENT	LL	LOWER LEVEL
CFC	CA FIRE CODE	LRA	LOCKED ROTOR AMPS
CLG	CEILING	LB	LIFE SAFETY BRANCH
CL	CENTER LINE	LIGHT	LIGHT
CKT	CIRCUIT	LTG	LIGHTING
CNTR	COMPACTOR	LV	LOW VOLTAGE
COL	CONDUIT ONLY (WITHOUT WIRE)	LVC	
CR	CRITICAL BRANCH	MCA	MECHANICAL CONTRACTOR
CSFM	CALIFORNIA SFM	MCB	CIRCUIT AMPS
CT	CURRENT TRANSFORMER	MCCB	MAIN CIRCUIT BREAKER
CU	COPPER	MFR	MANUFACTURER
D		MIN	MAIN FUSIBLE SWITCH
DB	DISTRIBUTION / DEMARCATION	MISC	MISCELLANEOUS
DC	DEPTH	MLO	MAIN LUGS ONLY
DSA	DEPARTMENT OF THE STATE ARCHITECT	MOCP	MAXIMUM OVERCURRENT
DSC	DIRECT CURRENT	MPOE	MAIN POINT OF ENTRY
DIA	DIAMETER	MSB	MAIN SWITCHBOARD
DPDT	DOUBLE POLE DOUBLE THROW	MT	MOUNT
E		MTG HT	MOUNTING HEIGHT
(E)	EXISTING	MTS	MANUAL TRANSFER SWITCH
(E)(R)	EXISTING TO BE RELOCATED	MTR	MAIN TELEPHONE TERMINAL BOARD
EC	ELECTRICAL CONTRACTOR	MTRC	MAIN TELEPHONE TERMINAL CABINET
ELEC	ELECTRICAL	N	
EMT	ELECTRICAL METALLIC TUBING	NEW	NEW
EOL	END OF LINE RESISTOR	NEUTRAL	NEUTRAL CONDUCTOR
EOR	ENGINEER OF RECORD	NC	NORMAL CLOSED
F	FUSE	NEC	NATIONAL ELECTRICAL CODE
FBO	FURNISHED BY OTHERS	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOC
FA	FIRE ALARM CONTROL PANEL	NIC	NOT IN CONTRACT
FAT	FIRE ALARM TERMINAL	NL	NIGHT LIGHT
FBO	FURNISHED BY OTHERS	NO	NORMALLY OPEN, NUMBER
FLA	FULL LOAD AMPS	NPT	NORMAL POWER FACTOR
FLR	FLOOR	NTS	NOT TO SCALE
FLUOR	FLUORESCENT	OD	OUTSIDE DIAMETER
FU	FUSES FOR	OAH	OVERALL HEIGHT
FS	FUSIBLE SWITCH	OC	ON CENTER
FVNR	FULL VOLTAGE NON-REVERSING	OCP	OVERCURRENT PROTECTION
G	GROUND	OD	OUTSIDE DIAMETER
G	GROUNDING CONDUCTOR	OH	OVERHEAD
OPP	OPPOSITE		
O&M	OPERATION & MAINTENANCE		
OSA	OFFICE OF THE STATE ARCHITECT		
OSHPD	OFFICE OF STATE-WIDE HEALTH PLANNING & DEVELOPMENT		
OVLD	OVERLOAD		
P			
PL	POLE		
PA	PUBLIC ADDRESS		
PB	PULLBOX		
PC	PHOTOCELL		
PCC	PULL BOX CONTRACTOR		
PH	PHASE		
PNL	PANEL		
POC	POINT OF CONNECTION		
PV	PHOTOVOLTAIC		
Q			
(R)	RELOCATED		
RECEPT	RECEPTACLE		
REQD	REQUIRED		
RLA	RUNNING/STATED LOAD AMPS		
RM	ROOM		
RMD	RIGID METAL CONDUIT		
RMN	RESIDENT		
RPLC	REPLACE		
RS	RAPID START		
S			
SDC	SIGNAL CABINET		
SCCC	SHORT CIRCUIT CURRENT		
SFM	STATE FIRE MARSHAL		
SHT	SHEET		
SL	SWITCH LEG		
SPEC	SPECIFICATION		
SPDT	SINGLE POLE DOUBLE THROW		
SQ	SQUARE		
SURF	SURFACE SERVICE		
SVC	SERVICE		
SW	SWITCH		
T			
TR	TRANSFORMER		
TBP	TO BE REMOVED		
TC	TIME CLOCK		
TEL	TELEPHONE		
TG	TO GROUND		
TSP	TWISTED SHIELDED PAIR		
TTB	TELEPHONE TERMINAL BOARD		
TSC	TELEPHONE TERMINAL CABINET		
TZ	SPARKGRAPHER		
TYP	TYPICAL		
U			
UC	UNDERCABINET OR UNDERCOUNTER		
UG	UNDERGROUND		
UGPS	UNDERGROUND PULL SECTION		
UNDERV	UNDERVOLTAGE RELAY		
UL	UNDERWRITERS LABORATORIES		
UNO	UNLESS OTHERWISE NOTED		
UOC	UNDER CABINET		
V			
VOL	VOLT		
VA	VOLT AMPERES		
VAC	VOLT ALTERNATING CURRENT		
VDC	VOLTAGE		
VR	VARIABLE RESISTANT		
W			
WATT	WATT, WATTS OR WATT		
WM	WHOLESALER		
WP	WEATHERPROOF		
X			
XFMR	TRANSFORMER		

ELECTRICAL SYMBOLS

LIGHTING
- CEILING MOUNT LUMINAIRE
- WALL MOUNT LUMINAIRE
- PENDANT MOUNT LUMINAIRE
- RECESSED DOWNLIGHT
- RECESSED WALL WASH DOWNLIGHT
- RECESSED TRACK
- RECESSED FRACTOUR LIGHT
- RECESSED EXIT LIGHT
- STRIP LIGHT
- LUMINAIRE WITH EMERGENCY BATTERY PACK OR EMERGENCY BRANCH CIRCUIT CONNECTION
- TRACK LIGHT
- DIRECTIONAL FLOOD LIGHT
- EMERGENCY LUMINAIRE
- AREA LIGHT (EXTERIOR)
- BOLLARD (EXTERIOR)
- UP LIGHT (FLUSH IN GRADE)
- DIRECTIONAL GROUND MOUNTED LIGHT
- END MOST HOME RUN DIRECTIONS NOTED
- EXIT SIGN (WALL MOUNTED)

RACEWAYS & CONDUCTORS
- UNDERGROUND CONDUIT
- CONDUIT (CONCEALED IN STRUCTURE)
- OVERHEAD CONDUCTORS (NOT IN CONDUIT)
- WIRE HOLD RACEWAY
- HOME RUN CONDUIT CROSS (WIRE DENOTE NUMBER OF CONDUCTORS - EX: MULTIPLE HOT AND NEUTRAL GROUND CONDUCTOR NOT SHOWN)
- CONDUIT TURNS UP (TOWARDS VIEWER)
- CONDUIT TURNS DOWN (AWAY FROM VIEWER)
- CONDUIT STUB (NO MARKER)
- CONDUIT STUB (WITH MARKER)
- CONDUIT SEAL
- CONDUIT CONTINUATION

SWITCHES
- SPST
- DPDT
- 3-WAY
- 4-WAY
- STAND ALONE DIMMER
- TIMER SWITCH
- PADLOCKING
- KEY OPERATED
- DEVICE + CONVENIENCE COUNTER SPLASH
- OCCUPANCY SENSOR
- PHOTOS/DRIGHT/PHOTOCELL
- POWER PACK
- LOW VOLTAGE SWITCH/PATCH

FIRE ALARM
- FIRE ALARM CONTROL PANEL
- ANNUNCIATOR PANEL
- HORN
- STROBE
- AUDIBLE/VISUAL
- FLOW SWITCH
- TAMPER SWITCH
- PULL STATION
- BELL
- SMOKE DETECTOR (W/ BASE)
- DUCT MOUNTED SMOKE DETECTOR W/ BASE
- HEAT DETECTOR
- END OF LINE RESISTOR
- FIRE SMOKE DAMPER

MISCELLANEOUS
- CHIME
- NURSE CALL

POWER & COMMUNICATION
- SINGLE RECEPTACLE
- DUPLEX RECEPTACLE
- HALF-SWITCHED DUPLEX RECEPTACLE
- FULL SWITCHED RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- SPECIAL PURPOSE RECEPTACLE - THREE PHASE
- SPECIAL PURPOSE RECEPTACLE - SINGLE PHASE
- DEVICE MOUNTED FLUSH IN FLOOR
- DEVICE MOUNTED FLAT ON PEDESTAL
- DEVICE MOUNTED ABOVE COUNTER SPLASH
- JUNCTION BOX
- TELEPHONE DEVICE
- COMMUNICATIONS DEVICE (DATA/TEL)
- TELEVISION OUTLET
- DISCONNECT SWITCH (FUSED/UNFUSED)
- COMBINATION MOTOR STARTER/DISCONNECT
- CORD DROP RECEPTACLE
- MOTOR
- CIRCUIT BREAKER
- FUSIBLE SWITCH
- FUSE
- DRAW-OUT STUBS
- GROUND
- PHASE
- FLUSH MOUNT PANEL
- SURFACE MOUNT PANEL
- SURFACE PANEL WITH WORKING CLEARANCE NOTED
- DRY TYPE TRANSFORMER (RATING NOTED)
- THREE PHASE DELTA CONNECTION, NEUTRAL GROUNDED
- THREE PHASE WYE CONNECTION
- RELAY
- UTILITY METER
- UTILITY METER WITH CTS

ADA MOUNTING HEIGHTS

DEVICE	MOUNTING HEIGHT	NOTES
PROTRUDING OBJECT (WALL MOUNTED)	LEADING EDGE BETWEEN 27" AND 80" AFF	OBJECT SHALL NOT PROTRUDE FAORE THAN 4" INTO THE CIRCULATION PATH
RECEPTACLE, COMMUNICATION, TELEPHONE, CATV, ETC	15" AFF TO THE BOTTOM OF THE OUTLET BOX	APPLICABLE TO RECEPTACLES 150 AMPS AND LESS, CONTROLS, AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM PER CBC 11B-308.1.1 (SWITCHES) AND 11B-308.1.2 (RECEPTACLES). OUTLETS SHALL BE INSTALLED NO LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM
LUMINAIRE SWITCHES	48" AFF TO THE TOP OF THE OUTLET BOX	
DEVICES ABOVE A 20"-25" DEEP COUNTER/OBSTRUCTION	46" (MAX.) TO THE TOP OF THE OUTLET BOX (SIDE APPROACH) 44" (MAX.) TO THE TOP OF THE OUTLET BOX (FORWARD APPROACH)	COORDINATE WITH ARCHITECTURAL PLANS OBSTRUCTIONS SHALL NOT EXTEND FAORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE/DEVICE
FIRE ALARM PULL STATION IS	BETWEEN 42"-48" (MAX.) TO THE TOP OF THE ACTIVATING HANDLE	
OUTLET BOX FOR THERMOSTAT (BY OTHERS)	BETWEEN 42"-48" (MAX.) TO THE TOP OF THE OUTLET BOX	VERIFY WITH MECHANICAL PRIOR TO ROUGH IN

NOTES
1) DEVICES SHALL MOUNT PER MATRIX ABOVE UNLESS OTHERWISE NOTED PER PLANS.
2) PRIOR TO ROUGH IN, THE ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS FOR DEVICES AND EQUIPMENT CONNECTION LOCATIONS WITH THE ARCHITECT OR OWNER. WHERE DEVICES ARE LOCATED ABOVE COUNTERS AND SHELVING, SPECIAL ATTENTION SHALL BE TO ENSURE OUTLETS AND COVER PLATES DO NOT CONFLICT WITH EDGES OF COUNTER SPACE, SHELVING, TRIM, WAINSCOTTING, ETC. CONSULT ARCHITECTURAL DETAILS AND ELEVATION ELEVATIONS, AS THEY SHALL GOVERN WHERE THERE IS CONFLICT WITH ELECTRICAL PLANS.
3) EXCEPTIONS: APPLIANCES (I.E. KITCHEN RANGES, DRYER, ASHERS, ETC.) WHICH DO NOT HAVE CONTROLS LOCATED ON APPLIANCE

GENERAL POWER & COMMUNICATION PLAN NOTES

GENERAL
1 DEVICE AND EQUIPMENT FINAL LOCATION SHALL BE FIELD VERIFIED WITH ALL TRADES DURING ROUGH-IN. OBTAIN ACCEPTANCE OF EXACT LOCATION WITH ARCHITECT/OWNER REPRESENTATIVES TO AVOID CONFLICT WITH FURNITURE, CASEWORK, ETC.

ON BUILDING UNITS
2 TAMPER PROOF RECEPTACLES SHALL BE UTILIZED IN DWELLING UNITS, GUEST ROOMS, GUEST SUITES, AND CHILD CARE AREAS AS OUTLINED IN CEC 406.12

3 AFCI PROTECTION SHALL BE PROVIDED FOR ALL 120V, SINGLE PHASE, 15 AND 20 AMP RATED BRANCH CIRCUITS SERVING KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR

RECEPTACLES
4 RECEPTACLES INSTALLED IN EXTERIOR LOCATIONS SHALL BE PROVIDED WITH A WEATHERPROOF WHILE-IN-USE COVER (LOCKING AS REQUIRED PER PLAN IS).

WIRING
5 SEPARATE NEUTRAL CONDUCTORS SHALL BE INSTALLED FOR EACH BRANCH CIRCUIT AS INDICATED PER CONSTRUCTION DOCUMENTS

6 FEEDERS AND BRANCH CIRCUITS SHALL CARRY A GROUNDING CONDUCTOR. SHALL BE INSTALLED IN EACH CONDUIT/RACEWAY AND SHALL BE BONDED TO THE METALLIC COMPONENTS OF THE RACEWAY SYSTEM. GROUNDING CONDUCTORS SHALL BE SIZED PER THE CONSTRUCTION DOCUMENTS OR CEC REQUIREMENTS, WHICHEVER IS GREATER. MAINTAIN THE UNIFORMITY AND CONTINUITY OF THE GROUNDING SYSTEM IN CONDUIT AND RACEWAYS. GROUND CONDUCTORS SHALL BE SIZED AS INDICATED IN CEC TABLE 250.122, UNLESS OTHERWISE NOTED ON THE DRAWINGS. IT SHALL BE PERMITTED TO UTILIZE A SINGLE GROUND CONDUCTOR WHEN BRANCH CIRCUITS ARE CONTAINED IN A SINGLE RACEWAY. CIRCUIT GROUND CONDUCTOR SHALL BE SIZED FOR THE LARGEST OVERCURRENT DEVICE.

OVERCURRENT PROTECTION
7 THERMAL OVERLOAD PROTECTION SHALL BE PROVIDED FOR ALL MOTORS WHERE REQUIRED PER CEC 430. OVERLOAD PROTECTION MAY BE PROVIDED INTEGRAL TO EQUIPMENT

8 WHERE INDICATED ON THE CONSTRUCTION DOCUMENTS, FUSIBLE DISCONNECT SWITCHES SHALL BE PROVIDED WITH DUAL ELEMENT TIME DELAY FUSES. FUSES SHALL BE SIZED AS NOTED PER THE CONSTRUCTION DOCUMENTS AND/OR PER MANUFACTURER REQUIREMENTS. VERIFY FUSE SPECIFICATION WITH EQUIPMENT MANUFACTURER INFORMATION DURING SUBMITTAL REVIEW, PRIOR TO PROCUREMENT.

WARNING AND CLEARANCE
9 ELECTRICAL EQUIPMENT SHALL BE PROVIDED WITH FIELD OR FACTORY MARKING INDICATING THE POTENTIAL ARC FLASH HAZARDS AS REQUIRED PER CEC 110.16 AND 110.21

10 WORKING SPACE AT ELECTRICAL EQUIPMENT SHALL BE MAINTAINED AS REQUIRED PER CEC 110

COMMUNICATION
11 PROVIDE EACH COMMUNICATION DEVICE LOCATION WITH A 4" SQUARE, RECESSED JUNCTION BOX, WITH 1-GANG RINGS AND (1)1-1/2" CONDUIT STUB TO ACCESSIBLE CEILING SPACE ABOVE, UNLESS OTHERWISE NOTED.

12 WIRE EACH TELEPHONE JACK WITH A 4 PAIR, 24 GAUGE CONTINUOUS CABLE (CATEGORY 5e). HOME RUN TELEPHONE CONDUCTORS FROM THE DEVICE TO THE COMMUNICATION BOARD (SEE PLANS). CONDUCTORS SHALL TERMINATE AT AN OWNER APPROVED JACK

13 WIRE EACH TELEVISION OUTLET WITH A RG6U (WITH QUAD SHIELD COAXIAL CABLE. HOME RUN CABLE TO THE COMMUNICATION BACKBOARD (SEE PLANS). PROVIDE ADEQUATE SLACK AT BACKBOARD FOR CATV UTILITY CONNECTION.

14 ELECTRICAL AND COMMUNICATION OUTLETS SHOWN IN THE SAME LOCATION SHALL BE MOUNTED ON OPPOSITE SIDES OF THE SAME STUD. COORDINATE BETWEEN ELECTRICAL AND COMMUNICATIONS PLANS

GENERAL LIGHTING PLAN NOTES

1 LIVE VOLTAGE POWERED EXIT SIGNS, EMERGENCY LUMINAIRES, AND EMERGENCY BATTERY PACKS SHALL BE PROVIDED WITH A CONSTANTLY ENERGIZED BRANCH CIRCUIT CONNECTION FOR CHARGING. EXIT SIGNS (EMERGENCY LIGHTING) SHALL BE INSTALLED WITH WIRING METHODS COMPLIANT WITH CEC ARTICLE 700.12(F). IN NO INSTANCE SHALL AN EXIT SIGN HAVE A FEED THROUGH BRANCH CIRCUIT.

2 EGRESS ILLUMINATION SHALL MEET OR EXCEED CODE REQUIREMENTS. EMERGENCY LIGHTING SHALL BE PROVIDED ALONG THE INTERIOR PATH OF EGRESS TO THE EXTERIOR EXIT DISCHARGE AND/OR AREA OF REFUGE AS REQUIRED PER THE CBC

3 BRANCH CIRCUIT CONDUCTORS SHALL BE A MINIMUM OF #12 THWN, UNLESS OTHERWISE NOTED OR REQUIRED BY THE CEC.

4 REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LUMINAIRE LOCATION PRIOR TO INSTALLATION

5 LUMINAIRE CONTROL SWITCHES SHALL BE INSTALLED ON THE STRIKE SIDE OF THE DOOR UNLESS OTHERWISE NOTED PER THE PLANS. REFER TO ARCHITECTURAL PLANS

6 THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE CEC T-24 INSTALLATION CERTIFICATION AND LIGHTING ACCEPTANCE DOCUMENTATION FORMS CAN BE DOWNLOADED ON-LINE AT: HTTPS://energy.ca.gov/archive/essential/forms/2019

GENERAL ROOF PLAN NOTES

1 RECEPTACLES INSTALLED AT ROOF LEVEL SHALL BE PROVIDED WITH A WEATHERPROOF WHILE-IN-USE COVER (LOCKING AS REQUIRED PER PLAN IS)

2 FINAL CONNECTIONS (WITHIN TWO FEET) FOR EACH MECHANICAL/PLUMBING EQUIPMENT SHALL BE MADE WITH LIQUID TIGHT, FLEXIBLE CONDUIT. A GROUNDING CONDUCTOR SHALL BE CALCULATED, MINIMUM SIZE PER CEC REQUIREMENTS

3 ALL EQUIPMENT SHOWN AT ROOF LEVEL SHALL BE RATED FOR EXTERIOR USE (IE NEMA 3R RATING)

4 VERIFY LOCATION OF ROOF-MOUNT DISCONNECT SWITCHES AND CONDUIT ENTRY LOCATIONS FOR EQUIPMENT IN ROOF WITH MECHANICAL CONTRACTOR AND APPROVED EQUIPMENT SUBMITTALS PRIOR TO ROUGH-IN

5 CONDUIT SHALL NOT BE INSTALLED AND PORTED ALONG TOP OF ROOF UNLESS SPECIFICALLY INDICATED PER PLANS. CONDUIT SERVING ROOF MOUNT EQUIPMENT SHALL ROUTE THE ACCESSIBLE CEILING SPACE BELOW ROOF. CONDUIT PENETRATIONS AT ROOF SHALL BE APPROVED BY THE ROOFING CONTRACTOR. ROOF PENETRATIONS SHALL BE PROPERLY SEALED AND SHALL NOT COMPROMISE ROOF INTEGRITY.

CODE COMPLIANCE

THE WORK IDENTIFIED IN THESE PLANS AND SPECIFICATIONS SHALL CONFORM TO AND BE INSTALLED IN COMPLIANCE WITH APPLICABLE CODES, STANDARDS, AND ORDINANCES ENFORCED BY THE LOCAL AUTHORITY HAVING JURISDICTION AT TIME OF PERMIT ISSUE UNLESS OTHERWISE NOTED. CODES, STANDARDS, AND ORDINANCES SHALL BE THE LATEST EDITION WITH CALIFORNIA AND LOCAL JURISDICTION AMENDMENTS AS APPLICABLE. LOCAL ORDINANCE, ETC.

- CALIFORNIA CODE OF REGULATIONS TITLE 24
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING CODE
- CALIFORNIA ACCESSIBILITY CODE

GENERAL NOTES

WORK PERFORMED
1 FURNISH LABOR, MATERIALS, EQUIPMENT, COMPONENTS, TOOLS, TRANSPORTATION TO/FROM THE WORK SITE, AND NECESSARY SERVICES (I.E. AS REQUIRED TO SUPPORT AND INSTALL/PUT THE ELECTRICAL WORK SHOWN ON THE CONSTRUCTION DOCUMENTS

2 "PROVIDE" AS USED ON THE CONSTRUCTION DOCUMENTS IS DEFINED AS "FURNISH AND INSTALL"

3 PERMITS SHALL BE OBTAINED FOR ELECTRICAL WORK. ARRANGE SPECIFICS WITH THE AHJ AND OBTAIN ACCEPTANCE. CONFLICT WITH THE ELECTRICAL INSPECTOR PRIOR TO BEGINNING WORK.

4 ELECTRICAL WORK SHALL BE PERFORMED BY A CALIFORNIA STATE LICENSED ELECTRICIAN.

5 INSTALL EQUIPMENT AT LOCATIONS INDICATED ON THE DRAWINGS, AS CLOSELY AS FIELD CONDITIONS PERMIT. OBTAIN ACCEPTANCE OF EQUIPMENT OVERLOADING PRIOR TO INSTALLATION THROUGH SUBMITTAL REVIEW. CALIFORNIA ELECTRICAL CODE (CEC) MINIMUM WORKING CLEARANCES SHALL BE MAINTAINED.

6 ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT REFLECT MINOR VARIATIONS IN EQUIPMENT ALIGNMENT/INSTALLATION THAT MAY BE NECESSARY. REVIEW EXISTING FIELD CONDITIONS AND MAKE PROPER ADJUSTMENTS AS REQUIRED TO AVOID CONFLICT WITH OTHER TRADES OR PORTIONS OF WORK. SATISFY THE DESIGN REQUIREMENTS AND MEET CODE MINIMUMS. OBTAIN ACCEPTANCE OF ADJUSTMENTS FROM THE ARCHITECT/ENGINEER.

7 DRAWINGS DO NOT SHOW THE EXTENT OF JAMBS AND PULL BOXES THAT ARE REQUIRED TO IMPLEMENT THE ELECTRICAL WORK. PROVIDE THE QUANTITY OF JAMBS AND PULL BOXES AS REQUIRED TO IMPLEMENT ELECTRICAL WORK, COMPLY WITH CODE, AND MEET AHJ REQUIREMENTS.

8 NOTIFY THE ARCHITECT/ENGINEER OF DISCREPANCIES WITH THE DRAWINGS, THIS SPECIFICATION, AND/OR ACTUAL FIELD CONDITIONS

9 COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES

10 RACEWAYS WITHIN THE BUILDING SHALL BE CONCEALED, WITH THE EXCEPTION OF EXPOSED STRUCTURE AND WHERE SPECIFICALLY ALLOWED BY THE ARCHITECTURAL NOTES, WHERE APPROVED, EXPOSED CONDUIT SHALL BE RUN SQUARE AND PLUMB WITH BUILDING LINES, AND SHALL BE PROPERLY SUPPORTED PER CODE

11 EXPOSED CONDUIT BELOW 7' AFF, AND WHERE SUBJECT TO PHYSICAL DAMAGE, SHALL BE INSTALLED IN GRC CONDUIT

12 WHERE CONDUIT ONLY IS SHOWN ON THE DRAWINGS AND/OR INSTALLED FOR FUTURE PROVIDING, 1" AND LARGER, INSTALL A NYLON PULL CORD/ROPE

13 FLUSH MOUNTED PANELBOARDS/LOAD CENTERS SHALL HAVE A MINIMUM OF (1) 3/4" C.O. INSTALLED FROM THE PANEL TO AN ACCESSIBLE CEILING AREA, FOR EVERY FOUR BRANCH CIRCUIT SPARES AND/OR SPACES.

BIDDING
1 PRIOR TO BIDDING, CONSULT PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. IF PROJECT SPECIFICATIONS HAVE NOT BEEN PROVIDED, REQUEST THEM FROM THE ARCHITECT AND/OR ENGINEER OF RECORD.

2 PRIOR TO THE SUBMISSION OF BID REVIEW EXISTING FIELD CONDITIONS AND MAKE PROPER ADJUSTMENTS AS OUTLINED IN THE PROJECT SPECIFICATIONS.

3 OBTAIN ENGINEERING PRE-APPROVAL FOR ALTERNATE PRODUCT AS OUTLINED IN THE PROJECT SPECIFICATIONS.

FINAL ACCEPTANCE
1 COMPLETE ACCEPTANCE TESTING AS REQUIRED PER THE PROJECT SPECIFICATIONS. SUBMIT APPROPRIATE DOCUMENTATION TO THE OWNER, ARCHITECT, AND AHJ

2 TEST THE ELECTRICAL SYSTEM AND COMPONENTS TO ENSURE PROPER PERFORMANCE. MAKE CORRECTIONS WHERE REQUIRED. DEMONSTRATE SYSTEM PERFORMANCE TO THE OWNER AND OBTAIN ACCEPTANCE

3 PROVIDE RECORD DRAWINGS PER THE PROJECT SPECIFICATIONS TO THE OWNER

4 PROVIDE O&M MANUALS PER THE PROJECT SPECIFICATIONS TO THE OWNER

MATERIAL
1 FURNISHED MATERIAL AND EQUIPMENT SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS

2 FURNISHED MATERIAL, EQUIPMENT, AND FIRE STOP THROUGH PENETRATIONS SHALL BE LISTED BY UL OR AN EQUIVALENT NATIONALLY RECOGNIZED TESTING AGENCY. PRODUCT LISTING(S) SHALL BE PROVIDED TO THE EOR AT TIME OF SUBMITTAL REVIEW

3 FURNISHED MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURER REQUIREMENTS, SUBJECT TO REVIEW, INSPECTION, AND APPROVAL BY THE AHJ

PENETRATIONS
1 CONDUIT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL MAINTAIN RATINGS AS SPECIFIED IN CBC CHAPTER 7 AND COMPLY WITH LOCAL AHJ REQUIREMENTS. PROVIDE TAGING TO MAINTAIN INTEGRITY OF THE FIRE RATED ASSEMBLY BY PROVIDING THE FOLLOWING: A PHYSICAL BACKSTOP/BOX AROUND EQUIPMENT (INCLUDING LUMINAIRES, PANELS, OUTLETS, ETC.) AS APPLICABLE. PENETRATIONS SHALL BE INSTALLED PER APPROVED MANUFACTURER THROUGH-PENETRATION FIRE STOP SYSTEM DETAILS. ELECTRICAL OUTLET BOXES INSTALLED FLUSH IN FIRE RATED ASSEMBLIES SHALL NOT EXCEED 16 SQ. IN., OR MORE THAN 100 SQ. IN. FOR ANY 100SQ. FT. OF WALL

2 THE PROJECT STRUCTURAL ENGINEER AND ARCHITECT SHALL APPROVE PENETRATION OF STRUCTURAL MEMBERS (INCLUDING BUT NOT LIMITED TO: BEAMS, COLUMNS, FOOTINGS, ETC.). PERFORM WORK IN ACCORDANCE TO STRUCTURAL DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

EQUIPMENT ANCHORAGE
1 ELECTRICAL EQUIPMENT SHALL BE ANCHORED OR BRACED TO MEET THE HORIZONTAL AND VERTICAL FORCES IDENTIFIED IN THE 2019 CBC AND ASCE 7-16.

2 WHERE ANCHORAGE DETAILS ARE NOT SHOWN ON THE DRAWINGS THE INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER AND AHJ.

3 THE STRUCTURAL ENGINEER OF RECORD SHALL VERIFY THE ADEQUACY OF THE STRUCTURES ABILITY TO SUPPORT HANGER AND/OR BRACE LOADS DUE TO ELECTRICAL EQUIPMENT

MECHANICAL & PLUMBING (LISTING)
1 PROVIDE LIQUID TIGHT FLEXIBLE CONDUIT BRANCH CIRCUIT CONNECTIONS, BETWEEN EXTERIOR MECHANICAL UNIT MOUNTED DISCONNECT SWITCH AND ROOF JACK, FOR POWER AND CONTROL CIRCUITS

2 CONDUIT SYSTEM FOR MECHANICAL COMPONENTS SHALL BE THE RESPONSIBILITY OF THE MECHANICAL/MECHANICAL CONTROL CONTRACTOR. CONDUIT SHALL BE INSTALLED IN ACCORDANCE TO DIVISION 26 SPECIFICATIONS

3 PROVIDE A 4" SQUARE JUNCTION BOX WITH 1-GANG RINGS AND (1) 1/2" CONDUIT TO ACCESSIBLE CEILING SPACE ABOVE AT EACH THERMOSTAT LOCATION OR TO THE ASSOCIATED MECHANICAL UNIT AS REQUIRED

4 PROVIDE POWER AND FIRE ALARM WIRING TO DUCT MOUNTED SMOKE DETECTORS. DUCT MOUNTED SMOKE DETECTORS PROVIDED & INSTALLED BY THE MECHANICAL CONTRACTOR.

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CONSULTANT

NOT FOR CONSTRUCTION
REGISTERED PROFESSIONAL ENGINEER
ALEXANDER J. HOLT
No. E-18 Exp. 12-31-2023
STATE OF CALIFORNIA
PROFESSIONAL ENGINEER
ELECTRICAL
Expires 12-31-2023

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

GENERAL NOTES SYMBOLS AND ABBREVIATIONS

NO.	REVISION	DATE

PROJECT MANAGER SE
DRAWN BY S

Indoor Lighting

Electrical Power Distribution

Indoor Lighting

Electrical Power Distribution

Indoor Lighting

Electrical Power Distribution

Indoor Lighting

Electrical Power Distribution

Indoor Lighting

Electrical Power Distribution

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EXPIRES 12-31-2025

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MURRIETA

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TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 1

NO.	REVISION	DATE
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PROJECT MANAGER SE

DRAWN BY SE/MC CHECKED BY HG

DATE 11/08/2022

PROJECT NUMBER -

SHEET E-010

INITIAL B&S SUBMITTAL

SUBMITTED 2-2-2-38 PM
BLDG 1 - Indoor Lighting, B.LDG.A.A

STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-01
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-01
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 3 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

7. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Exception: Four lines made based on information presented in this document. If any variables have been changed by permit applicant, an explanation should be included in Table 2 Additional Remarks. These documents must be provided to the building inspector during construction and are both "or" in the form name. Must be completed through an acceptance Test Technician Certification Provider (ATCP), for more information visit: http://www.energy.ca.gov/title24/nrcv_inspection.html

Form/Title	Required Inspection Test Field Verified	Form Location Field Verified Pass	Fail
NRCA-LIGHTING-01 - Must be submitted for compulsory lighting and automatic time switch controls.	☐	☐	
NRCA-LIGHTING-02 - Must be submitted for automatic daylight control.	☐	☐	
NRCA-LIGHTING-03 - Must be submitted for demand responsive lighting controls.	☐	☐	

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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-02
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-02
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 4 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

8. INDOOR LIGHTING LOAD TABLE (Not including PAFs)

Group Lighting Control

01	02	03	04	05	06	07	08	09	10
Area Description	Complete Building or Area Category Power Allowance (Watts)	Area Controlled	Multi-Level Control Type	Shut-Off Controls	Shut-Off Controls Allowance	Occupancy Sensor Required	Daylighting Required	Interior/Exterior Switch Required	Field Inspection Pass	Fail
Room	Storeroom	1 Lamp*	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Corridor	Corridor Area	Multi-Pathway	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Dock	All Other Space Types	1 Lamp*	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Janitor	Janitor/ Workroom Janitor Area	1 Lamp*	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Office	Office 250 square feet or less	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Laundry	Laundry Area	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Lounge	Lounge/Waiting/ Vestibule Area	1 Lamp*	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Restroom	Restroom	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Community Rooms	Convention, Conference, Multipurpose and Meeting Center Areas	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	Included	N/A	No	☐	☐
Storage Rooms	Warehouse	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐
Washing Kitchen	Kitchen/ Food Preparation Area	Manual ON/OFF	Manual ON/OFF	Occupancy Sensor	N/A	N/A	No	☐	☐

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
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STATE OF CALIFORNIA
Electrical Power Distribution
NRNC-ELEC-01
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-ELEC-01
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 5 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:	Nicholas Kelly
Company:	Rincon Consultants, Inc.
Signature and Date:	11/1/2022
Title:	Senior Mechanical Engineer
Phone:	(805) 547-0900

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I am the person with authority over the design of plans, and documentation of compliance with Title 24 Parts 1 and 6 of the California Code of Regulations.

1. The information provided on this Certificate of Compliance is true and correct.
2. I have reviewed the Certificate of Compliance documents and found that the building design or system design identified on the Certificate of Compliance complies with the requirements of Title 24, Parts 1 and 6 of the California Code of Regulations except for those exceptions identified in the Certificate of Compliance documents.
3. The mandatory requirements for manufactured fenestration products, equipment, and materials not covered by this building design or system design identified on the Certificate of Compliance documents have been met.
4. I have the knowledge, training, and skill to assume responsibility for the proper completion of the Certificate of Compliance documents for the building design or system design identified on the Certificate of Compliance documents.
5. I am the person who is the "Responsible Person" as defined in the mandatory requirements of the California Code of Regulations, Title 24, Parts 1 and 6 for the building design or system design identified on the Certificate of Compliance documents.
6. I have ensured that the proper signature of the Responsible Person is on the Certificate of Compliance documents.

Responsible Person's Name:	Nicholas Kelly
Company:	Rincon Consultants, Inc.
Signature and Date:	11/1/2022
Title:	Senior Mechanical Engineer
Phone:	(805) 547-0900

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
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STATE OF CALIFORNIA
Electrical Power Distribution
NRNC-ELEC-02
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-ELEC-02
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 6 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

A. GENERAL INFORMATION

(1) Project Name:	Murrieta
(2) Conversion Type:	Write Project
a Conversion Center:	b Support Area: Warehouse c. See Table 1

B. PROJECT SCOPE

This table displays all electrical systems other and within the scope of the permit application.

01	02	03	04	05
Electrical Service Designation/Description	Scope of Work	Rating (kVA)	LOADs Provided Metering System Exception to §130.5(a)[1]	System subject to CA Low Carbon Fuels (LCF) Legislation to §130.5(d)(iv) (Y/N)
MDEP	New electrical service equipment and meter	3	☐	☐
01	Electrical Emergency Controls	Where required, electrical emergency controls must be specified which are capable of switching and subsequently shutting off the load and equipment based automatically upon loss of power. Electrical emergency controls which enable demand response shall include a time-based automatic signal which complies with §110.12 and §110.9 and demand response requirements in §110.12(a), §110.12(b) and §110.12(c) when demand response requirements are required.

Mandatory lighting and non-residential branch circuits (required by Table 130.5) are either accessory/exempt from LCFS legislation.
Applicants if necessary necessarily to provide a compliance system that balances overprovisioning with footprint and trade for a cost-effective plan.

C. COMPLIANCE RESULTS

Compliance results are automatically calculated from data input and recommendations in Tables 2 through 5. Notes if any and entries table uses "COMPLIES with Compensated Equivalency" refer to Table 2b Equivalent Compliance for substitution or any compliance factor replacement factors.

01	02	03	04	05
Service Electrical Metering (§130.5(a) (See Table 2)	Pass / Fail	Separate Sub-Metering (§130.5(b) (See Table 2)	Pass / Fail	Voltage Drop (§130.5(c) (See Table 2)	Pass / Fail	Conductor/Resistance (§130.5(e) (See Table 2)	Pass / Fail
Yes	Pass	Yes	Pass	Yes	Pass	Yes	Pass

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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-03
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-03
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 7 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:	Nicholas Kelly
Company:	Rincon Consultants, Inc.
Signature and Date:	11/1/2022
Title:	Senior Mechanical Engineer
Phone:	(805) 547-0900

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I am the person with authority over the design of plans, and documentation of compliance with Title 24 Parts 1 and 6 of the California Code of Regulations.

1. The information provided on this Certificate of Compliance is true and correct.
2. I have reviewed the Certificate of Compliance documents and found that the building design or system design identified on the Certificate of Compliance complies with the requirements of Title 24, Parts 1 and 6 of the California Code of Regulations except for those exceptions identified in the Certificate of Compliance documents.
3. The mandatory requirements for manufactured fenestration products, equipment, and materials not covered by this building design or system design identified on the Certificate of Compliance documents have been met.
4. I have the knowledge, training, and skill to assume responsibility for the proper completion of the Certificate of Compliance documents for the building design or system design identified on the Certificate of Compliance documents.
5. I am the person who is the "Responsible Person" as defined in the mandatory requirements of the California Code of Regulations, Title 24, Parts 1 and 6 for the building design or system design identified on the Certificate of Compliance documents.
6. The Responsible Person's signature, proper designation, and the certification of compliance are also required on all other applicable certificates (as permits, inspections, installations, tests and verifications) submitted to the enforcement agency for acceptance as a building energy application.
7. I will provide a completed signature copy of the Certificate of Compliance documents to the building owner or operator, and to the enforcement agency for all applicable inspections. I understand that a completed signature copy of the Certificate of Compliance is required to be posted in the building prior to the building inspection.
8. I understand that a completed signature copy of the Certificate of Compliance is required to be submitted to the enforcement agency for approval before the building receives final occupancy approval.

Responsible Person's Name:	Nicholas Kelly
Company:	Rincon Consultants, Inc.
Signature and Date:	11/1/2022
Title:	Senior Mechanical Engineer
Phone:	(805) 547-0900

A. PROJECT SCOPE

This table displays all the lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.6 or §141.0(b)2 for alterations.

Scope of Work	Compliance Form	Nonresidential Spaces
Any Project Consists of Alterations, all that apply	Calculation Method	Area (ft²)
☒ New Lighting System	Area Category Method	19896
☐ New Lighting System - Parking Garage		
Total Area of Work (ft²)		19896

B. COMPLIANCE RESULTS

Table 2 Lighting Power Allowance Compliance Results

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Lighting in unoccupied and uncontrolled space built not be counted for compliance per §140.6(b)2	Complies Building or Area Category Power Allowance	Area Category Power Allowance	Tailored Lighting Power Allowance	Total Allowance	Adjustments Incl Lighting Control Credits in §140.6(a)4	Total Adjusted Allowance	Total Adjusted Display Fixtures Adjustments	Compliance Results	
	Watts	Watts	Watts	Watts	Watts	Watts	Watts	Pass / Fail	
Complies	19,896.0	0		= 19,896	0.934	0	18,581	Complies	

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STATE OF CALIFORNIA
Electrical Power Distribution
NRNC-ELEC-03
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-ELEC-03
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 8 of 9)
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D. EXCEPTIONAL CONDITIONS

This table is used when such conditions, approvals, between of alterations made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

The table is used when such remarks made by the permit applicant to the Authority having Jurisdiction.

F. SERVICE ELECTRICAL METERING

This table provides service and or multi-metering additional service systems CA subsystems to applicable compliance with §130.5(a)

01	02	03	04	05	06	07
Electrical Service Designation/Description	Rating (kVA)	Separate Metering Subsystems per Table 130.5-A				Field Inspection
		Residential Dwelling Units	Guestroom Hotel/Motel Units	Dwelling Units Not Separately Metered	Units per Meter Limit	Location of Requirements in Construction Documents	Pass	Fail
MDEP	3	☐	☐	☒	☐	E-007	☐	☐

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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-04
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-04
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 9 of 9)
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G. COMPLIANCE RESULTS

Complies Compliance Results (See Table 4 for Details)	COMPLIES
Total Power Allowance Compliance (See Table 4 for Details)	

H. DIRECTIONAL CONDITIONS

The table is used when such conditions, approvals between of alterations made or data entered in tables throughout the form.

I. ADDITIONAL REMARKS

The table is used when such remarks made by the permit applicant to the Authority Having Jurisdiction.

J. INDOOR LIGHTING FIXTURE SCHEDULE

01	02	03	04	05	06	07	08	09	10	11
Fixture or Type	Complete Luminaire Description	Watts or Watts/Foot	Small Appliance & Other Change*	Zone	Zone is Vestibule Exterior Zone*	Total Number of Luminaires	Latitude per §140.6(a)2B	Design Watts	Field Inspection Pass	Fail
C1A	C1A 17W LED	4w	4w	4	Left, Space	1	4w	129	☐	☐
C1B	C1B 17W LED	4w	4w	4	Left, Space	34	4w	1,122	☐	☐
C2B	C2B 34W LED	4w	4w	4	Left, Space	67	4w	3,146	☐	☐
C2C	C2C 17W LED	4w	4w	4	Left, Space	1	4w	4w	☐	☐
C3A	C3A 17W LED	4w	4w	4	Left, Space	38	4w	152	☐	☐
C3B	C3B 34W LED	4w	4w	4	Left, Space	1	4w	4w	☐	☐
C4	C4 27W LED	4w	4w	4	Left, Space	1	4w	4w	☐	☐
C5	C5 36W LED	4w	4w	4	Left, Space	1	4w	4w	☐	☐
					Total Designed Watts COMPLIANCE SPACE			3,434		

*WARNING! Design Watts for small aperture and color changing luminaires when qualified per §140.6(a)2B. It adjusted to be 75% of their rated wattage. Table 1 automatically makes this adjustment. Not permit applicant should enter full rated wattage in column 06.

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STATE OF CALIFORNIA
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G. INFORMATION OF ELECTRICAL CIRCUITS FOR ENERGY MONITORING

This table includes primary meter or alternative replacement principal power distribution systems to demonstrate compliance with §130.5(b). Any load types does not need included in the service do not need to be shown.

01	02	03	04	05	06
Load Type per Table 140.6-B	Minimum Required Submetering Load per Table 130.5-B	Compliance Method*	Location of Requirements in Construction Documents	Field Inspection Pass	Fail
NONE					
Indoor lighting including exit, signs and ambient	not required	Method 1		☐	☐
HVAC mechanical equipment	not required	Method 1		☐	☐
Plug loads and inductors less than 30kW	not required	Method 1		☐	☐
Lighting including exit, signs and ambient	not required	Method 1		☐	☐
Charging station, non-residential vehicles	All loads connected	Method 2		☐	☐

*NOTES 1 "Direct" is a metered meter Compliance method shown, please indicate how compliance has been achieved in the space provided below.

Comments: for each compliance method shown, please indicate how compliance has been achieved in the space provided below.
Method 1, individually metered meters for each load type.
Method 2, individually metered meters for each load type, and a meter for all other loads that are not separately metered.
Method 3, branch circuits over load type, individually and provision for adding future branch circuit monitoring.
Method 4, Alternative Compliance Method, please provide details.
See Chapter 8 of the Nonresidential Compliance Manual for more detail on compliance Methods.

H. VOLTAGE DROP

This table provides voltage drop for complaints, installations, principal power distribution systems, or alternative plan and, mainly or replace draft instant and branch circuits, to demonstrate compliance with §130.5(c). For alternatives, only the affected circuits need be included in compliance per §141.0(b)2F(iv).

01	02	03	04	05	06	07	08
Electrical Service Designation/Description	Complaints Voltage Drop or Input and Branch Circuit Conductors Compliance Limited	Location of Voltage Drop Calculations	Circuit Formulas for Voltage Drop Calculations in Construction Documents	Field Inspection Pass	Fail
MDEP	☒ Voltage drop less than 5%	In construction documents	5.0%	☐	☐

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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-05
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-05
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L. LIGHTING POWER ALLOWANCE: COMPLIES BUILDING OR AREA CATEGORY METHODS

Office <250 sq ft	Office 250 square feet or less	0.7	796.1	549.0	Yes	Yes
Office >250 sq ft	Office greater than 250 square feet	0.85	242.5	164.5	Yes	Yes
Laundry	Laundry Area	0.6	154.1	92.5	Yes	Yes
Electrical/Mechanical	Electrical/Mechanical Telephone Rooms	0.2	326.7	130.7	Yes	Yes
Restroom	Restroom	0.85	861.1	731.9	Yes	Yes
Community Rooms	Classrooms, Conference, Multipurpose and Meeting Center Areas	0.85	6,499.5	5,524.6	Yes	Yes
Storage	Commercial Industrial Storage Area	0.45	798.1	359.2	Yes	Yes
Washing Kitchen	Kitchen/ Food Preparation Area	0.95	496.5	471.7	Yes	Yes
Corridor	Corridor Area	0.6	2,931.6	1,759.0	Yes	Yes
Lounge	Lounge/Waiting Area	0.65	163.2	106.1	Yes	Yes
Electrical	Electrical/Mechanical Telephone Rooms	0.1	97.5	9.8	Yes	Yes
Janitor	Janitor/ Mechanical Janitor Area	0.6	79.2	47.5	Yes	Yes
Work	Workroom	0.9	461.1	415.0	Yes	Yes
Dock	All Other Space Types	0.7	152.7	106.9	Yes	Yes
Corridor	Corridor Area	0.6	2,213.9	1,328.3	Yes	Yes
Laundry	Laundry Area	0.45	119.2	53.7	Yes	Yes
Electrical	Electrical/Mechanical Telephone Rooms	0.9	97.5	87.8	Yes	Yes
Janitor	Janitor/ Mechanical Janitor Area	0.6	22.8	13.7	Yes	Yes
Work	Workroom	0.9	461.1	415.0	Yes	Yes
Dock	All Other Space Types	0.7	152.7	106.9	Yes	Yes
Office	Office 250 square feet or less	0.7	796.1	557.3	Yes	Yes
Office	Office 250 square feet or less	0.85	242.5	206.1	Yes	Yes
Restroom	Restroom	0.85	861.1	731.9	Yes	Yes
Storage	Commercial Industrial Storage Area	0.45	798.1	359.2	Yes	Yes
Washing Kitchen	Kitchen/ Food Preparation Area	0.95	496.5	471.7	Yes	Yes
Corridor	Corridor Area	0.6	2,931.6	1,759.0	Yes	Yes
Lounge	Lounge/Waiting Area	0.65	163.2	106.1	Yes	Yes
Electrical	Electrical/Mechanical Telephone Rooms	0.1	97.5	9.8	Yes	Yes
Janitor	Janitor/ Mechanical Janitor Area	0.6	79.2	47.5	Yes	Yes
Work	Workroom	0.9	461.1	415.0	Yes	Yes
Dock	All Other Space Types	0.7	152.7	106.9	Yes	Yes
Corridor	Corridor Area	0.6	2,213.9	1,328.3	Yes	Yes
Laundry	Laundry Area	0.45	119.2	53.7	Yes	Yes
Electrical	Electrical/Mechanical Telephone Rooms	0.9	97.5	87.8	Yes	Yes
Janitor	Janitor/ Mechanical Janitor Area	0.6	22.8	13.7	Yes	Yes
Work	Workroom	0.9	461.1	415.0	Yes	Yes
Dock	All Other Space Types	0.7	152.7	106.9	Yes	Yes
			TOTALS	19,896.0	Yes	Yes

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-06
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-06
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Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

M. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD DISPLAYING LIGHTING SYSTEM

This section does not apply to this project.

N. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE

This section does not apply to this project.

O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

This section does not apply to this project.

P. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ROOM AND TASK LIGHTING

This section does not apply to this project.

Q. ADDITIONAL LIGHTING ALLOWANCE: TAILORED DEMONSTRATION/SPECIAL EFFECTS

This section does not apply to this project.

R. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE

This section does not apply to this project.

S. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))

This section does not apply to this project.

T. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS

This section does not apply to this project.

U. 40% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS

This section does not apply to this project.

V. DISPLAYED SERVICE POWER ADJUSTMENT FACTOR (PAF)

This section does not apply to this project.

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
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STATE OF CALIFORNIA
Indoor Lighting
NRNC-LIGHT-07
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-LIGHT-07
Project Name: Murrieta Affordable Housing Building 3 Report Page: (Page 1 of 9)
Project Address: 24960 Adams Ave,Data Prepared: 11/1/2022

X. INDOOR LIGHTING FIXTURE SCHEDULE

Particularly showing manufacturer model and for confirmation over observed to confirm wattage used for compliance per §140.6(a) Wattage used based for the minimum rated for the luminaire, and the family.

Fixture or Type	Complete Luminaire Description
C1A	C1A 17W LED
C1B	C1B 17W LED
C2B	C2B 34W LED
C2C	C2C 17W LED
C3A	C3A 17W LED
C3B	C3B 34W LED
C4	C4 27W LED
C5	C5 36W LED

Y. MODULAR LIGHTING SYSTEMS

This section does not apply to this project.

Z. INDOOR LIGHTING CONTROLS (Not including PAFs)

This table, for indoor lighting controls for unoccupied and unoccupied spaces. Where a control having a "✓" is shown, the room section of this table provides more detail on how compliance is achieved. The lighting controls control of for Compliance Statement Table are the first page that shows "Shift Shift Shift Control" of the room, see full plans.

Lighting Level Controls

01	02	03	04	05	06	07	08
Mandatory General Requirements (§130.1(b))				Shut off controls (§130.1(c))		Field Inspection	
Accounted in 06 Table 1F				Shut off Controls Control Capacity		Pass	Fail
						☐	☐

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
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STATE OF CALIFORNIA
Electrical Power Distribution
NRNC-ELEC-05
CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE — NRNC-ELEC-05
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H. VOLTAGE DROP

NOTE 1 "Particular to CA Title 24" is a statement under Compliance Method shown, please indicate where the calculation appears in the space provided below.

NOTE 2
Mandatory: Voltage drop calculations must be completed by the permit applicant/person. The calculations documents if attested by the Authority Having Jurisdiction, based "accepted" if applicable. Calculations will be the responsibility of the installing contractor, which "Confirms for Responsible".

I. CIRCUIT CONTROLS FOR LED-TYPE RECEPTACLES AND CONTROLLED RECEPTACLES

This table provides compliance table for compliance replacement, minimum power distribution system to demonstrate compliance with §130.5(d) Shall synthetically and non-synthetic receptacle for the Authority Having Jurisdiction, to be able to apply a time-based and/or based power source.

01	02	03	04	05	06	07	08
Circuit Number or Description	Controlled Type of Controlled Receptacle	Snap-Off Controls	Automatic Time Switch Control	Manual Switch Control	Location of Requirements in Construction Documents	Field Inspection Pass	Fail

*NOTE 2 "Other" is a compliance method shown, please indicate how compliance has been achieved in the space provided below.

J. EXCEPTIONS OR REQUIRED CERTIFICATES OF INSTALLATION

Particularly large spaces based on information presented in this document if any data has been changed by permit applicant, an explanation should be included in Table 2 Additional Remarks. These documents must be provided to the building inspector during construction and can be found under or

Form/Title	Required Inspection Test Field Verified	Form Location Field Verified Pass	Fail
NRCA-ELEC-01 - Must be submitted for all buildings.	☐	☐	

K. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Particularly large spaces based on information presented in this document if any data has been changed by permit applicant, an explanation should be included in Table 2 Additional Remarks. These documents must be provided to the building inspector during construction and can be found under or

Form/Title	Required Inspection Test Field Verified	Form Location Field Verified Pass	Fail
NRCA-ELEC-01 - Must be submitted for all buildings.	☐	☐	

Registration Number: | Registration Date/Time: | Registration Provider: Energycheck
CA Building Energy Efficiency Standards - 2013 Nonresidential Compliance | Report Version: 2013.1.000 Schema Version: rev.20130601 | Report Generated: 2022-11-01 14:50:21

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TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 3

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-011

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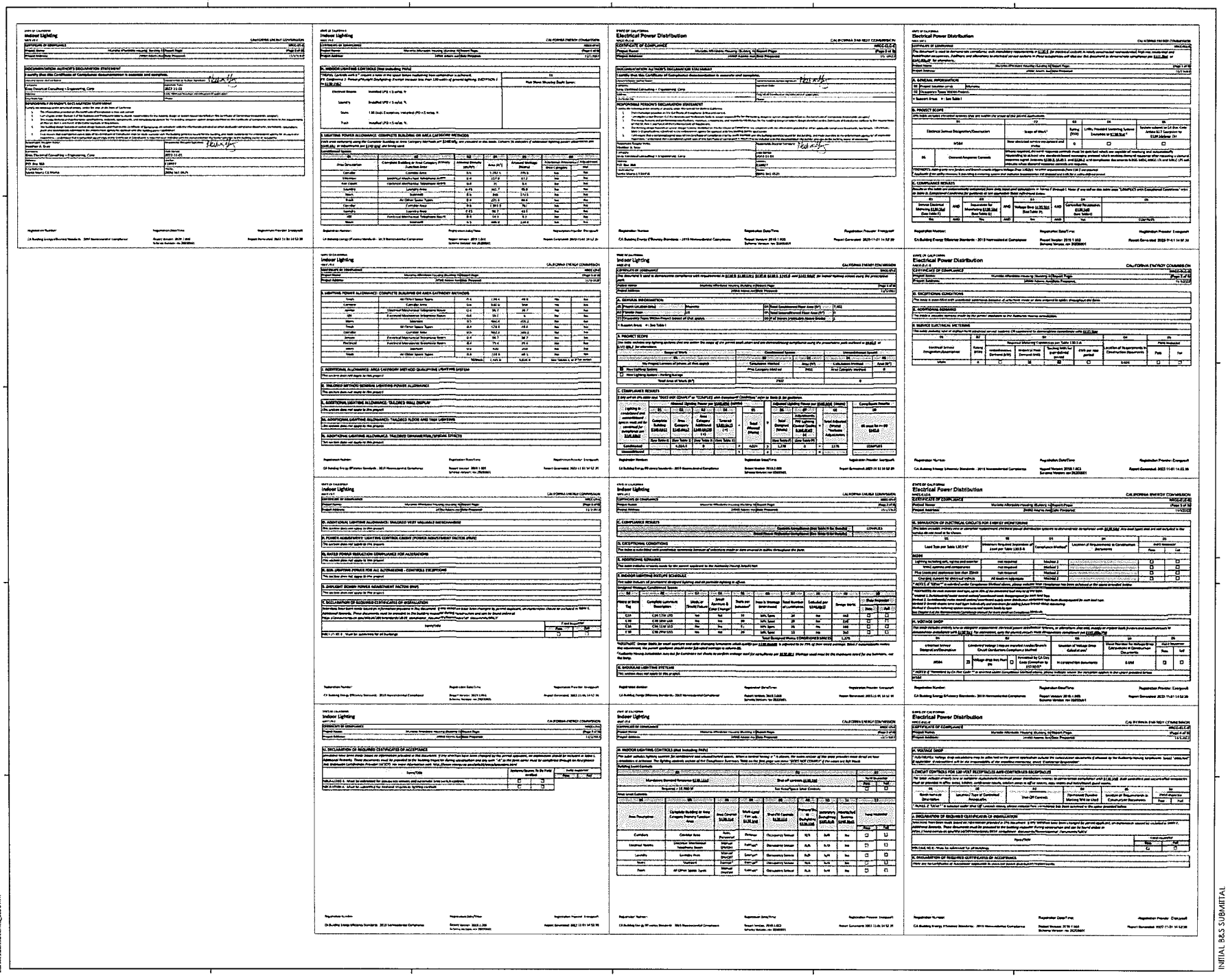

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TITLE 24 COMPLIANCE DOCUMENTATION - BLDG 4

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PROJECT MANAGER SE

DRAWN BY SE/MC | CHECKED BY HG

DATE 11/08/2022

PROJECT NUMBER -

SHEET E-012

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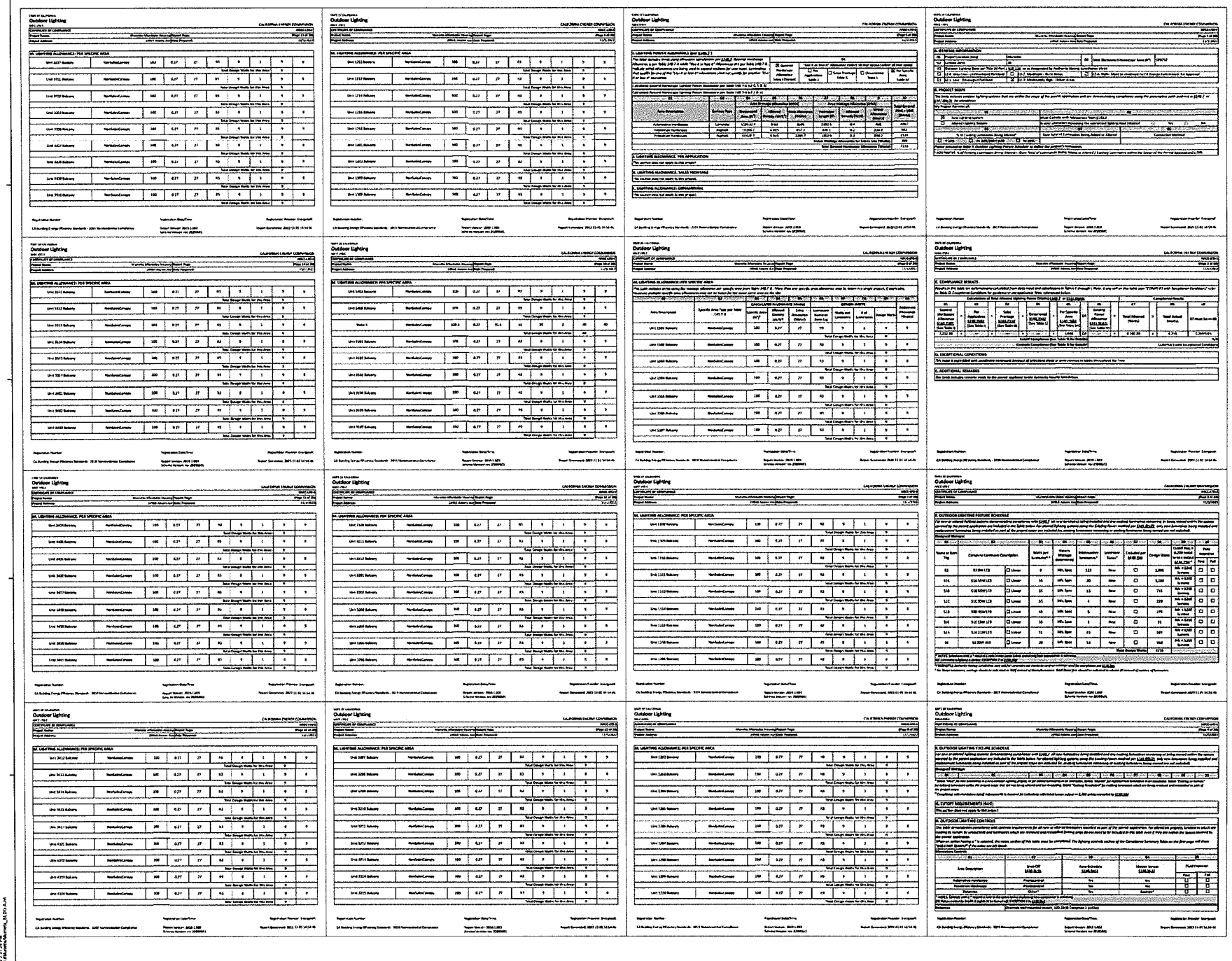

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TITLE 24 COMPLIANCE DOCUMENTATION - OUTDOOR LIGHTING

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PROJECT MANAGER SE

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DATE 11/08/2022

PROJECT NUMBER -

SHEET E-013

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Outdoor Lighting

CALIFORNIA ENERGY COMMISSION

Outdoor Lighting

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Outdoor Lighting

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Outdoor Lighting

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TITLE 24 COMPLIANCE DOCUMENTATION - OUTDOOR LIGHTING

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PROJECT MANAGER SE

DRAWN BY SE/MC CHECKED BY HG

DATE 11/08/2022

PROJECT NUMBER -

SHEET E-014

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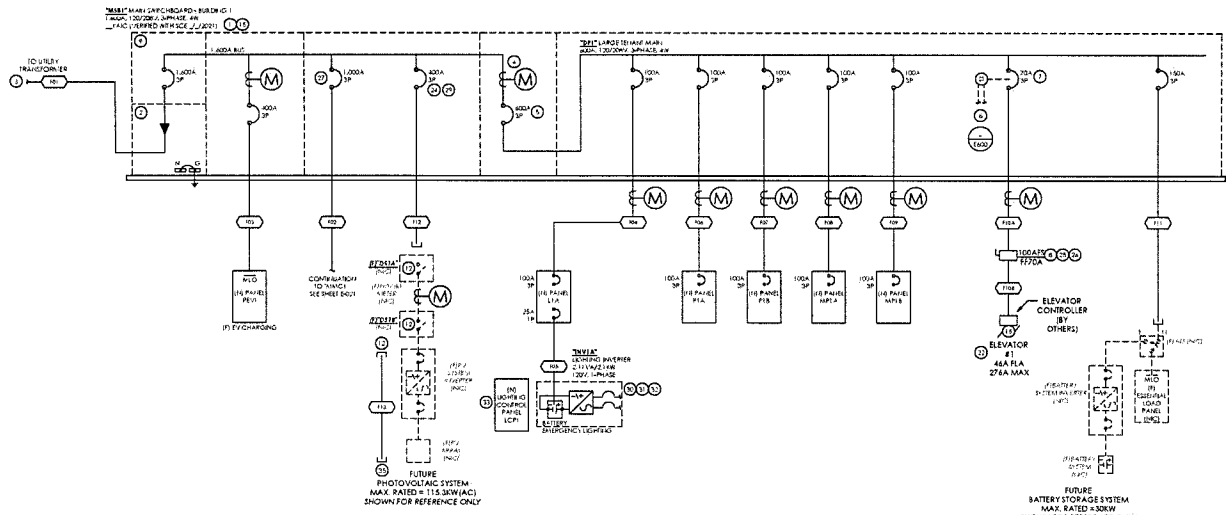

SINGLE LINE DIAGRAM - BUILDING 1

SCALE: NTS

SINGLE LINE DIAGRAM GENERAL NOTES

- FAULT CURRENT CALCULATION NOTE
  THE ELECTRICAL DISTRIBUTION SHALL BE PROVIDED WITH A FAULT RATING CAPABLE TO WITHSTAND THE FAULT VALUE INDICATED ON THE SINGLE LINE DIAGRAM, AND / OR REFLECTED IN THE FEEDER SCHEDULE PREPARED FOR THIS PROJECT. THE FORMULAS USED IN THIS CALCULATION ARE AS FOLLOWS:

  C FACTOR = 1/Z PER U.S.
  F1 FACTOR = (1.73 x L x I) / (PC x C x E)
  M FACTOR = 1 / (1 + F1 FACTOR)
  SHORT CIRCUIT AMPS AT FAULT = I x M

  DEFINITIONS
  Z PER U.S. = CONDUCTOR IMPEDANCE PER LINE AT FOOT
  L = CONDUCTOR LENGTH IN FEET
  I = FAULT CURRENT RATING AVAILABLE AT THE SOURCE
  PC = EQUIVALENT OF PARALLED CONDUCTORS PER PHASE
  C = C FACTOR (SEE EQUATION)
  E = LINE VOLTAGE

- THE CONTRACTOR SHALL MEET ALL SERVING UTILITY REQUIREMENTS WITH RESPECT TO PROCUREMENT AND INSTALLATION OF THE ELECTRICAL SERVICE. REQUIREMENTS INCLUDE, HOWEVER ARE NOT LIMITED TO THE FOLLOWING:
  - METER LINE CONFIGURATION SHALL BE AS REQUIRED PER THE SERVING UTILITY.
  - SERVICE EQUIPMENT UNDERGROUND PULL SECTION SHALL MEET SERVING UTILITY COMPANY REQUIREMENTS.
  - REMOTE METER CONSOLE SHALL ENTER SERVICE ENTRANCE EQUIPMENT AT TOP OF SECTION. OBTAIN APPROVAL ON ALL REMOTE METER LOCATIONS FROM THE SERVING UTILITY PRIOR TO INSTALLATION.
  - WORKING CLEARANCE AT LEVEL, CONCRETE STRUCTURE (I.E. FLOOR, PAD) MUST BE PROVIDED A MINIMUM OF 48" IN FRONT OF ALL PG&E METERING AND PULL SECTIONS AS PER ELECTRIC SERVING UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN SERVING UTILITY COMPANY APPROVAL OF THE SERVICE EQUIPMENT DURING SUBMITTAL REVIEW AND PRIOR TO PROCUREMENT.
- CONDUCTORS SHALL BE THHW/THWN COPPER UNLESS OTHERWISE NOTED. AMPACITY SIZES NOTED ON THE CONSTRUCTION DOCUMENTS ARE BASED ON 75 DEG. CONDUCTORS.
- TERMINALS FOR SWITCHES, CIRCUIT BREAKERS AND OTHER EQUIPMENT, AS SPECIFIED, SHALL BE LISTED AND IDENTIFIED FOR USE WITH 75 DEG. CONDUCTORS.
- FIELD TERMINATIONS OF CONDUCTORS TO ELECTRICAL EQUIPMENT AND DEVICES SHALL BE TORQUED WITH TOOLS TO THE MANUFACTURER RECOMMENDED SPECIFICATION.
- THE MAIN CIRCUIT BREAKER SHALL BE 100% RATED PER THE VALUE NOTED.
- THE ELECTRICAL DISTRIBUTION DESIGN SHOWN IS BASED ON SCHNEIDER ELECTRIC PRODUCT. ENGINEERING PROVIDED EQUAL PRODUCT OF AN ALTERNATE MANUFACTURER WILL BE ACCEPTABLE, HOWEVER, THIS DETERMINATION WILL BE MADE DURING THE SUBMITTAL REVIEW PROCESS. ALTERNATE PRODUCT SHALL NOT BE USED AS BASE OF A BID WITHOUT PRE-APPROVAL FROM THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A FORMAL PREBID SUBMITTAL IN ACCORDANCE TO THE GENERAL CONDITIONS OF THE PROJECT SPECIFICATIONS.
- EMERGENCY / DISTRIBUTION EQUIPMENT (I.E. BOXES, CABINETS, TRANSFER SWITCHES, GENERATORS, POWER PANELS, ETC.) SHALL BE PERMANENTLY MARKED SO THEY WILL BE READILY IDENTIFIED AS A COMPONENT OF AN EMERGENCY CIRCUIT OR SYSTEM IN ACCORDANCE TO NEC 700.9(B)

SERIES RATED EQUIPMENT:
- SERIES RATED EQUIPMENT SHALL NOT BE PERMITTED EXCEPT AS NOTED BELOW.
  SERIES RATED EQUIPMENT SHALL BE PERMITTED FOR FAULT PROTECTIVE ELECTRICAL DISTRIBUTION AND SHALL COMPLY WITH THE FOLLOWING:
  - SERIES RATING SHALL NOT BE PERMITTED FOR MOTOR LOADS WHERE INDICATED IN ACCORDANCE WITH CEC 240.86.
  - THE COMBINATION OF SERIES RATED DEVICES SHALL BE MANUFACTURER TESTED COMBINATIONS AS PER CEC 240.86. TESTED COMBINATIONS SHALL BE FULLY IDENTIFIED FOR ENGINEERING APPROVAL PRIOR TO PROCUREMENT.
  - MANUFACTURER FIELD LABELING SHALL BE INSTALLED IN ACCORDANCE TO CEC 110.22(C) WITH INDICATION OF THE FOLLOWING:

    "CAUTION - SERIES RATED SYSTEM RATED XX,XXX AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED."
  - FUTURE MODIFICATION OR REPLACEMENT OF OVERCURRENT PROTECTIVE DEVICES MUST COMPLY WITH MANUFACTURER TESTING AND SPECIFIC SERIES RATING COMBINATION.

PHOTOVOLTAIC SYSTEM DEFERRED APPROVAL NOTES

1. A PERMANENT PLAQUE SHALL BE PROVIDED AT THE BUILDING MAIN ELECTRICAL PANEL CLEARLY IDENTIFYING THE EXISTENCE OF AN ALTERNATE POWER SOURCE AND LOCATION OF MEANS OF DISCONNECT FOR ALTERNATE POWER SYSTEM.
2. PV SYSTEM SCHEMATIC CONNECTION IS HAVE BEEN INCLUDED FOR REFERENCE ONLY. ACTUAL SYSTEM REQUIREMENTS SHALL BE DETERMINED BY EQUIPMENT/SYSTEM VENDOR AND INCORPORATED IN DEFERRED SUBMITTAL FOR PERMITTING.
3. SPECIFIC REQUIREMENTS
   3.1 THE SOLAR INTERCONNECTION TO THE BUILDING MAIN ELECTRICAL SERVICE SHALL BE IN ACCORDANCE TO CEC ARTICLE 690.
   3.2 THE PHOTOVOLTAIC SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS CEC 605.11.1-605.11.4. MARKING IS REQUIRED ON THE INTERIOR AND EXTERIOR DIRECT CURRENT (DC) CONDUIT, ENCLOSURES, RACEWAYS, CABLE ASSEMBLIES, JUNCTION BOXES, COMBINER BOXES, AND DISCONNECTS.
   3.3 SOLAR COMPONENTS SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS. AND MUST BE LOCATED OVER GROUND POWER WHERE ACCESS FOR 3 DOES NOT CONFLICT WITH OVERHEAD OBSTACLES SUCH AS TREES, WIRES, OR SIGNS.
   3.4 THERE SHALL BE A 36 (4) FOOT WIDE CLEAR PERIMETER AROUND THE EDGES OF THE ROOF UNLESS EITHER ONE OF THE BUILDING IS LESS THAN FOUR (4) FOOT CLEAR PERIMETER SHALL BE PERMITTED SINCE VENTILATION OPERATIONS. PROVIDE DISTANCES BETWEEN ARRAYS TO BE EIGHT (8) FEET OR GREATER IN WIDTH OR A FOUR (4) FOOT OR GREATER PATHWAY AND BORDERING ROOF SKYLIGHTS OR SMOKE AND HEAT VENTS OF A FOUR (4) FOOT OR GREATER, AND A BORDERING FOUR (4) FOOT BY EIGHT (8) FOOT TO EXISTING OUTDATE EVERY 20 FEET ON ALTERNATE SIDES OF THE PATHWAY.
   3.5 THE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) WITH CALIFORNIA AMENDMENTS AS APPLICABLE AND SHALL BE PREPARED BY A LICENSED DESIGN PROFESSIONAL. IN ADDITION, THE GENERAL REQUIREMENTS OF CHAPTERS 1-4. SPECIAL REQUIREMENTS MAY ALSO APPLY. THE DESIGN SHALL COMPLY WITH ARTICLE 690, 445, 480, AND 705. OTHER ARTICLES MAY ALSO APPLY DEPENDING ON THE SYSTEM CONFIGURATION.
   3.6 THE PHOTOVOLTAIC SYSTEM SHALL BE INSTALLED BY A QUALIFIED ELECTRICIAN.
4. THE PHOTOVOLTAIC SYSTEM SHALL BE A DEFERRED APPROVAL. INSTALLATION OF THE PHOTOVOLTAIC SYSTEM SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED A PERMIT FOR THE WORK BY THE AUTHORITY HAVING JURISDICTION.

REFERENCE NOTES

GENERAL NOTE: REFERENCE NOTES ARE TYPICAL FOR SHEETS E-020 - E-024. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

1. FACILITY MAIN ELECTRIC SERVICE AND DISTRIBUTION SWITCHGEAR, NEMA 1 ENCLOSURE, RATING AS INDICATED.
2. UTILITY APPROVED UNDERGROUND PULL SECTION AND POINT OF DELIVERY. PULL SECTION SHALL MAINTAIN EQUAL RATING TO SERVICE MAIN OVERCURRENT PROTECTIVE DEVICE (SEE NOTE #5).
3. UTILITY SECONDARY SERVICE CONDUIT INSTALL PER UTILITY HANDOUT PACKAGE.
4. UTILITY APPROVED COMMERCIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH THE UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS:
   4.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   4.2 HISTORICAL PEAK DEMAND (KW)
   4.3 TRACKING KWH FOR A USER DEFINED PERIOD
   4.4 TWH PER RATE PERIOD.
5. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE DEVICE WITH ARMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
6. ELEVATOR SHUNT TRIP WIRING.
7. OVERCURRENT DEVICE SIZED BASED ON WYE-DELTA / SOLID STATE STARTING MEANS. VERIFY OVERCURRENT DEVICE REQUIREMENTS FOR ELEVATOR WITH MANUFACTURER PRIOR TO INSTALLATION.
8. FEEDERS HAVE BEEN SIZED TO ENSURE 3% VOLTAGE DROP UPON STARTING. REDUCERS SHALL BE UTILIZED WHERE LUG PROVIDERS CANNOT ACCOMMODATE FEEDER SIZES. PROVIDE SUBMITTAL DOCUMENTATION TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PRODUCT PROCUREMENT.
9. CUSTOMER OWNED FEEDER BREAKER SECTION. LABEL SECTION: "CAUTION - NON UTILITY CONDUCTOR TERMINATION".
10. TYPICAL UNIT FLOOR PLAN TYPE DESIGNATION. REFER TO ARCHITECTURAL PLATS. TYPICAL.
11. PHASE DESIGNATION. CONFIRM PER APPROVED PRODUCT SUBMITTAL. TYPICAL.
12. FUTURE VISIBLE AND LOCKABLE DISCONNECT NEEDING GAP FEEDER 912 AND 913 IN AN ACCESSIBLE LOCATION WITHIN THE MAIN ELECTRICAL ROOM FOR FUTURE EXTENDED TO PHOTOVOLTAIC SYSTEM.
13. NOT USED.
14. UTILITY APPROVED RESIDENTIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS. TYPICAL.
   14.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   14.2 HISTORICAL PEAK DEMAND (KW)
   14.3 TRACKING KWH FOR A USER DEFINED PERIOD
   14.4 TWH PER RATE PERIOD.
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN UTILITY COMPANY APPROVAL OF SWITCHGEAR AND METERING COMPONENTS PRIOR TO PROCUREMENT. SWITCHGEAR CONFIGURATION SHALL MEET ALL UTILITY AND EUSERC APPLICABLE REQUIREMENTS.
16. METER AND MAIN FOR MECHANICAL SMOKE REMOVAL SYSTEM SHALL BE LOCATED AHEAD OF THE BUILDING'S SERVICE DISCONNECT PURSUANT TO LEGALLY REQUIRED STANDBY SYSTEMS CEC 701.12(E).
17. NOT USED.
18. COMMERCIAL LARGE TENANT MAIN WITH CT METERING AND DISTRIBUTION AS INDICATED.
19. RESIDENTIAL GROUP METERING.
20. RESIDENTIAL GROUP METERING MAIN AND CUSTOMER FEEDER TERMINATION.
21. RESIDENTIAL GROUP METERING MAIN LUG BUS SPACER WHERE REQUIRED. CONFIRM PER APPROVED PRODUCT SUBMITTAL.
22. THE ELEVATOR SHALL BE PROVIDED WITH REVERSE PHASE AND OPEN PHASE PROTECTION TO DISCONNECT THE MOTORS COMPLETELY FROM THE LINE IN THE EVENT OF PHASE REVERSAL OR LOSS OF ONE PHASE.
23. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE DEVICE WITH ARMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACK-FEED.
24. THE SOLAR INTERCONNECTION CIRCUIT BREAKER SHALL BE LOCATED AT THE FURTHEST POINT OF THE DISTRIBUTION PANEL BUS BAR OPPOSING THE MAIN CIRCUIT BREAKER (CEC 705.12).
25. PROVIDE FAST ACTING FUSE DESIGN (FL SERIES (600V)) FOR FAULT CURRENT LIMITED NOT EXCEEDING 50,000 AIC. 600V-A-P-D OR ENGINEER APPROVED EQUAL.
26. ELEVATOR DISCONNECT SHALL COMPLY WITH NEC 620.51(A). DISCONNECT SHALL HAVE LOCKING PROVISION IN ACCORDANCE WITH NEC 110.25.
27. EFFIGIFIELD LABELING OF UNMETERED DISTRIBUTION METERS GROUP REQUIREMENTS.
28. CIRCUIT BREAKER SHALL BE PROVIDED WITH PAD LOCKABLE HASP SUBJECT TO APPROVAL OF GWP AND LOCAL AHJ.
29. DEVICE SHALL BE LISTED FOR BACK-FEED.
30. INVERTER BASE OF DESIGN: OPTIONAL POWER INVERTER ECT 1 ADDITIONAL OR EQUIVALENT APPROVED EQUAL. SYSTEM CAPACITY AS INDICATED. UL 9540 LISTED STANDALONE ELIGIBILITY SYSTEM. INVERTER PER DIVISION 26 SPECIFICATION SECTION 26 33 23. BATTERY SHALL MAINTAIN CAPACITY FOR 90 MINUTE OPERATION. INSTALL UNIT IN ACCORDANCE TO MANUFACTURER SPECIFICATIONS AND ENVIRONMENTAL REQUIREMENTS.
31. THE EMERGENCY / FLEXIBLE SYSTEM SHALL COMPLY WITH THE FOLLOWING:
   31.1 PURSUANT TO CEC 700.3. MEANS FOR TESTING ALL EMERGENCY LIGHTING AND POWER SYSTEMS DURING MAXIMUM ALLOCATED LOAD CONDITIONS SHALL BE PROVIDED FOR THE BUILDING AND FIRE DEPARTMENT PERSONNEL TESTING AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH NFPA 110.
   31.2 PURSUANT TO CEC 700.4 THE EMERGENCY SYSTEM SHALL HAVE ADEQUATE CAPACITY AND RATING FOR ALL LOADS TO BE OPERATED SIMULTANEOUSLY. THE EMERGENCY SYSTEM EQUIPMENT SHALL BE SUITABLE FOR THE MAXIMUM AVAILABLE FAULT CURRENT AT ITS TERMINALS.
32. PROVIDE WITH INTEGRAL AUXILIARY BRANCH OUTPUT CIRCUIT BREAKERS AS INDICATED ON THE RESPECTIVE PANEL SCHEDULE SHEET E-030 AND WHEN PER FACTOR.
33. LIGHTING CONTROL PANELS REFER TO ELECTRICAL SCHEDULES SHEET E-030 FOR ADDITIONAL INFORMATION.
34. FUTURE CUSTOMER OWNED ENERGY MONITORING METER (BY OTHERS) SHOWN FOR REFERENCE ONLY.
35. CAP FEEDER AT ROOF FOR FUTURE EXTENDED TO PHOTOVOLTAIC SYSTEM EQUIPMENT.

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SINGLE LINE DIAGRAM - BUILDING 1

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PROJECT MANAGER: SE
DRAWN BY: SE/MC CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-020

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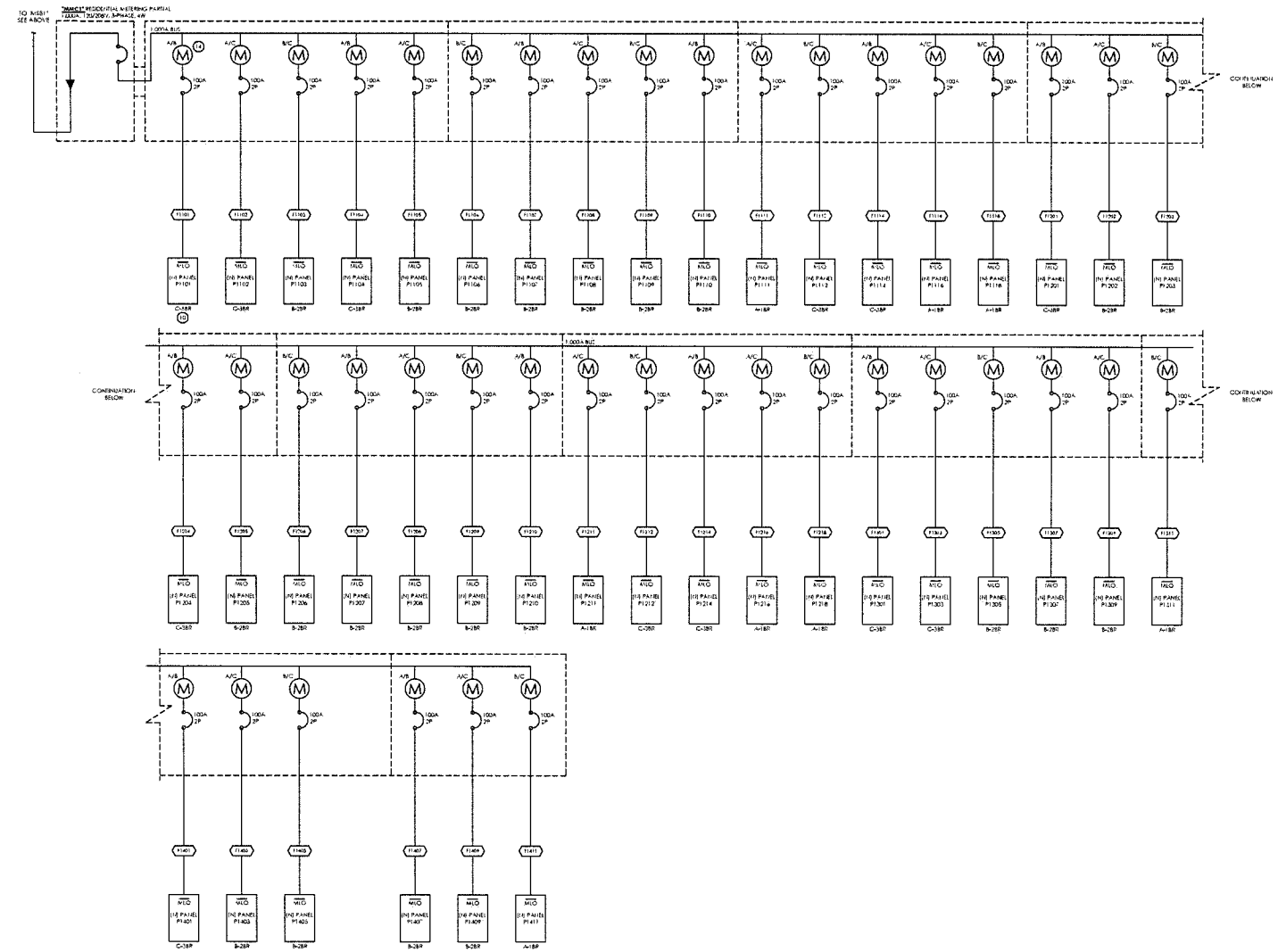

SINGLE LINE DIAGRAM - BUILDING 1

SCALE: NTS

REFERENCE NOTES

GENERAL NOTE: REFERENCE NOTES ARE TYPICAL FOR SHEETS E001-E026. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

1. FACILITY MAIN ELECTRICAL SERVICE AND DISTRIBUTION SWITCHGEAR, ITEM A (ENCLOSURE RATING AS INDICATED).
2. UTILITY APPROVED UNDERGROUND PULL SECTION AND POINT OF DELIVERY. PULL SECTION SHALL MAINTAIN EQUAL RATING TO SERVICE MAIN OVERCURRENT PROTECTIVE DEVICE (SEE NOTE #5).
3. UTILITY SECONDARY SERVICE CONDUIT. INSTALL PER UTILITY HANDOUT PACKAGE.
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   - 4.2 HISTORICAL PEAK DEMAND (KW)
   - 4.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 4.4 TOU PER RATE PERIOD.
5. MAIN OVER CURRENT PROTECTION. RATING AND ACTUAL AS INDICATED. PROVIDE DEVICE WITH ARC FAULT PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
6. ELEVATOR UNIT TRIP WIRING.
7. OVERCURRENT DEVICE SIZED BASED ON WYE-DELTA / SOLID STATE STARTING MEANS. VERIFY OVERCURRENT DEVICE REQUIREMENTS FOR ELEVATOR WITH MANUFACTURER PRIOR TO INSTALLATION.
8. FEEDERS HAVE BEEN SIZED TO ENSURE 3% VOLTAGE DROP UPON STARTING. REDUCERS SHALL BE UTILIZED WHERE LOAD PROVISIONS CANNOT ACCOMMODATE FEEDER SIZES. PROVIDE SUBMITTAL DOCUMENTATION TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PRODUCT PROCUREMENT.
9. CUSTOMER OWNED FEEDER BREAKER SECTION. LABEL SECTION "CAUTION - NON-METER CONDUCTOR TERMINATION".
10. TYPICAL UNIT FLOOR PLAN TYPE DESIGNATION. REFER TO ARCHITECTURAL PLANS. TYPICAL.
11. PHASE DESIGNATION. CONFIRM PER APPROVED PRODUCT SUBMITTAL. TYPICAL.
12. FUTURE VENTS AND LOCKABLE DISCONNECT AT ROOF. CAP FEEDER TO 2' AND TO 3'-0" IN AN ACCESSIBLE LOCATION WITHIN THE MAIN ELECTRICAL ROOM FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM.
13. NOT USED.
14. UTILITY APPROVED RESIDENTIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS, TYPICAL:
   - 14.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 14.2 HISTORICAL PEAK DEMAND (KW)
   - 14.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 14.4 TOU PER RATE PERIOD.
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN UTILITY COMPANY APPROVAL OF SWITCHGEAR AND METERING COMPONENTS PRIOR TO PROCUREMENT. SWITCHGEAR CONFIGURATION SHALL MEET ALL UTILITY AND ELECTRIC APPLICABLE REQUIREMENTS.
16. METER AND MAIN FOR MECHANICAL SMOKE REMOVAL SYSTEM SHALL BE LOCATED AHEAD OF THE BUILDING SERVICE DISCONNECT PURSUANT TO LEGALLY REQUIRED STANDBY SYSTEMS CEC 701.12(B).
17. NOT USED.
18. COMMERCIAL LARGE TENANT MAIN WITH CT METERING AND DISTRIBUTION AS INDICATED.
19. RESIDENTIAL GROUP METERING.
20. RESIDENTIAL GROUP METERING MAIN AND CUSTOMER FEEDER TERMINATION.
21. RESIDENTIAL GROUP METERING MAIN LUG BUS SPACER WHERE REQUIRED. CONFIRM PER APPROVED PRODUCT SUBMITTAL.
22. THE ELEVATOR SHALL BE PROVIDED WITH REVERSE PHASE AND OPEN PHASE PROTECTION TO DISCONNECT THE MOTORS COMPLETELY FROM THE LINES IN THE EVENT OF PHASE REVERSAL OR LOSS OF ONE PHASE.
23. MAIN OVER CURRENT PROTECTION. RATING AND ACTUAL AS INDICATED. PROVIDE DEVICE WITH ARC FAULT PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
24. THE SOLAR INTERCONNECTION CIRCUIT BREAKER SHALL BE LOCATED AT THE FURTHEST POINT OF THE DISTRIBUTION PANEL BUS BAR, OPPOSING THE MAIN CIRCUIT BREAKER (CEC 705.12).
25. PROVIDE FAST ACTING FUSE, EDSON JFL SERIES (600V) FOR FAULT CURRENT LIMITING NOT EXCEEDING 5000 AIC. 600V AHJ OR ENGINEER APPROVED EQUAL.
26. ELEVATOR DISCONNECT SHALL COMPLY WITH NEC 620.51(A). DISCONNECT SHALL HAVE LOGIC BASED PROVISIONS IN ACCORDANCE WITH NEC 110.25.
27. ENSURE FIELD LABELING OF UNMETERED DISTRIBUTION MEETS GWP REQUIREMENTS.
28. CIRCUIT BREAKER SHALL BE PROVIDED WITH PADLOCKABLE HASP SUBJECT TO APPROVAL OF GWP AND LOCAL AHJ.
29. DEVICE SHALL BE LISTED FOR BACKFEED.
30. INVERTER BASED ON DESIGN. CONSULT POWER INVERTER EQUAL AND CONFIRM OR ENGINEERING APPROVED EQUAL. SYSTEM CAPACITY AS INDICATED. UL 924 LISTED STANDALONE LIGHTING SYSTEM INVERTER PER DIVISION 26 SPECIFICATIONS SECTION 26 33 23. BATTERY SHALL MAINTAIN CAPACITY FOR 90 MINUTE OPERATION. INSTALL UNIT IN ACCORDANCE TO MANUFACTURER SPECIFICATIONS AND ENVIRONMENTAL REQUIREMENTS.
31. THE EMERGENCY LIGHTING SYSTEM SHALL COMPLY WITH THE FOLLOWING:
   - 31.1 PURSUANT TO CEC 700.3, MEANS FOR TESTING ALL EMERGENCY LIGHTING AND POWER SYSTEMS DURING MAXIMUM ANTICIPATED LOAD CONDITIONS SHALL BE PROVIDED FOR THE BUILDING AND FIRE DEPARTMENT PERSONNEL TESTING AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH NFPA 110.
   - 31.2 PURSUANT TO CEC 700.4 THE EMERGENCY SYSTEM SHALL HAVE ADEQUATE CAPACITY AND RATING FOR ALL LOADS TO BE OPERATED SIMULTANEOUSLY. THE EMERGENCY SYSTEM EQUIPMENT SHALL BE SUITABLE FOR THE MAXIMUM AVAILABLE FAULT CURRENT AT ITS TERMINALS.
32. PROVIDE WITH INTEGRAL AUXILIARY BRANCH OUTPUT CIRCUIT BREAKERS AS INDICATED ON THE RESPECTIVE TYPE PANEL SCHEDULE SHEET E-033 AND WITH POWER FACTOR.
33. LIGHTING CONTROL PANELS REFER TO ELECTRICAL SCHEDULES SHEET E-030 FOR ADDITIONAL INFORMATION.
34. FUTURE CUSTOMER OWNED ENERGY MONITORING METER (BY OTHERS) SHOWN FOR REFERENCE ONLY.
35. CAP FEEDER AT ROOF FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM EQUIPMENT.

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

SINGLE LINE DIAGRAM - BUILDING 1

NO.	REVISION	DATE
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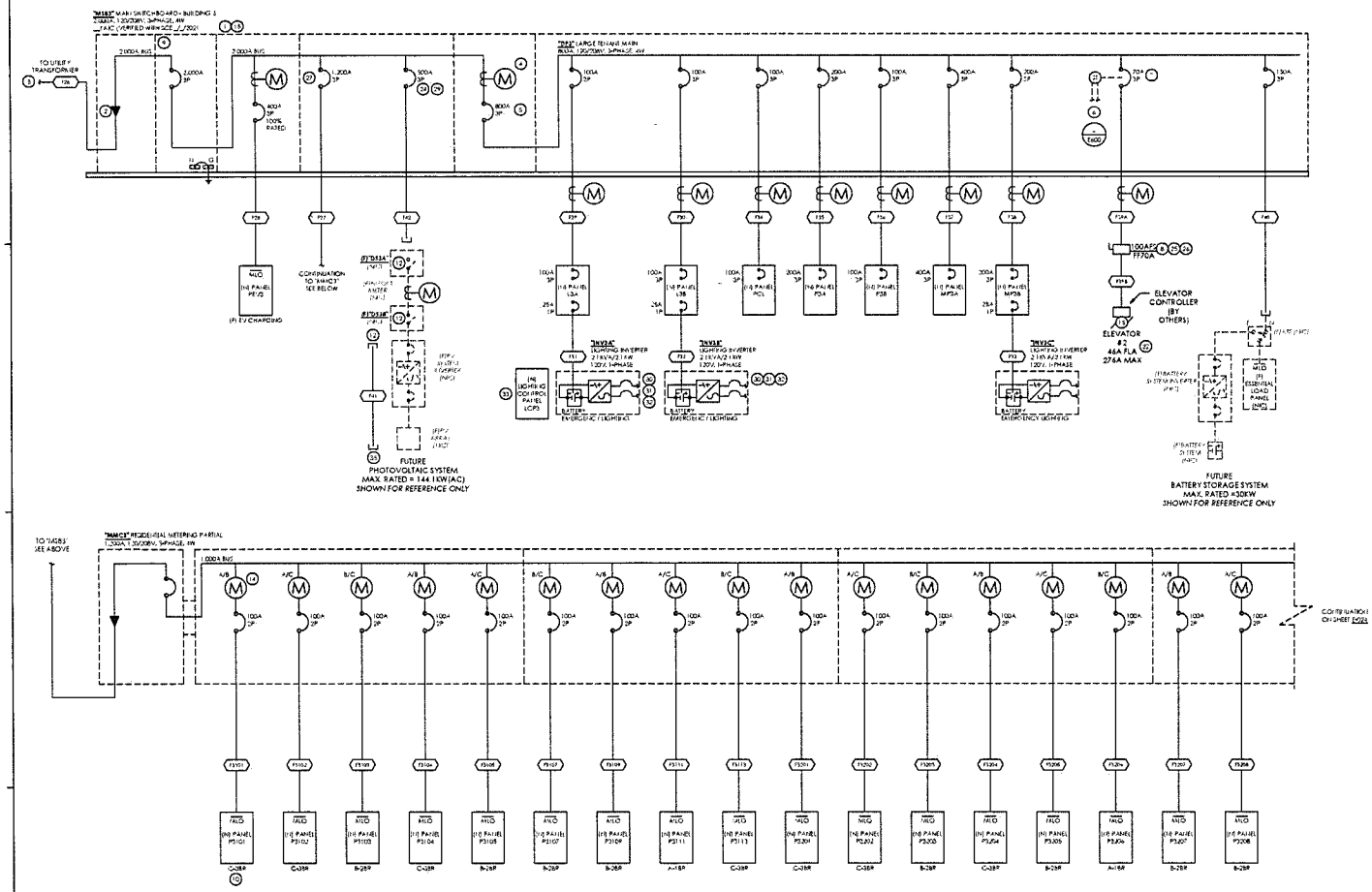
PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-021

INITIAL B&S SUBMITTAL



SINGLE LINE DIAGRAM - BUILDING 3

SCALE: NTS

REFERENCE NOTES

GENERAL NOTE: REFERENCE NOTES ARE TYPICAL FOR SHEETS E010 - E024. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

1. FACILITY MAIN ELECTRIC SERVICE AND DISTRIBUTION SWITCHGEAR. UL94-5 ENCLOSURE. RATING AS INDICATED.
2. UTILITY APPROVED UNDERGROUND PULL SECTION AND POINT OF DELIVERY. PULL SECTION SHALL MAINTAIN FLOWS RATING TO SERVICE MAIN OVERCURRENT PROTECTIVE DEVICE (SEE NOTE #9).
3. UTILITY SECONDARY SERVICE CONDUIT. INSTALL PER UTILITY MAIN DOUT PACKAGE.
4. UTILITY APPROVED COMMERCIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH THE UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 HIGH RESIDENTIAL ENERGY CODE REQUIREMENTS:
   - 4.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 4.2 HISTORICAL PEAK DEMAND (KW)
   - 4.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 4.4 1 KWH PER RATE PERIODS.
5. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE DEADICE WITH I-RMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
6. ELEVATOR SHUNT TRIP WIRING.
7. OVERCURRENT DEVICE SIZED BASED ON WYE-DELTA / SOLID STATE STARTING MEANS. VERIFY OVERCURRENT DEVICE REQUIREMENTS FOR ELEVATOR WITH MANUFACTURER PRIOR TO INSTALLATION.
8. FEEDERS HAVE BEEN SIZED TO ENSURE 3% VOLTAGE DROP UPON STARTING. REDUCERS SHALL BE UTILIZED WHERE LUG PROVIDING CANNOT ACCOMMODATE FEEDER SIZES. PROVIDE SUBMITTAL DOCUMENTATION TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PRODUCT PROCUREMENT.
9. OWNER OWNED FEEDER BREAKER SECTION. LABEL SECTION. COORDINATE NONMETALLIC CONDUCTOR TERMINATION.
10. TYPICAL UNIT FLOOR PLAN TYPE DESIGNATION. REFER TO ARCHITECTURAL PLANS. TYPICAL.
11. PHASE DESIGNATION. CONFIRM PER APPROVED PRODUCT SUBMITTAL. TYPICAL.
12. FUTURE VISIBLE AND LOCKABLE DISCONNECT MEANS. CAP FEEDER T1.2 AND T1.3 IN AN ACCESSIBLE LOCATION WITHIN THE MAIN ELECTRICAL ROOM FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM.
13. NOT USED.
14. UTILITY APPROVED RESIDENTIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS. TYPICAL.
   - 14.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 14.2 HISTORICAL PEAK DEMAND (KW)
   - 14.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 14.4 1 KWH PER RATE PERIODS.
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN UTILITY COMPANY APPROVAL OF SWITCHGEAR AND METERING COMPONENTS PRIOR TO PROCUREMENT. SWITCHGEAR CONFIGURATION SHALL MEET ALL UTILITY AND ELECTRIC AUTHORITY REQUIREMENTS.
16. METER AND MAIN FOR MECHANICAL SMOKE REMOVAL SYSTEM SHALL BE LOCATED AHEAD OF THE BUILDINGS SERVICE DISCONNECT PURSUANT TO LEED NC / REQUIRED STATED BY SYSTEMS CEC 701.12(D).
17. NOT USED.
18. COMMERCIAL LARGE TENANT MAIN WITH CT METERING AND DISTRIBUTION AS INDICATED.
19. RESIDENTIAL GROUP METERING.
20. RESIDENTIAL GROUP METERING MAIN AND CUSTOMER FEEDER TERMINATION.
21. RESIDENTIAL GROUP METERING MAIN LUG BUS SPACER WHERE REQUIRED. CONFIRM PER APPROVED PRODUCT SUBMITTAL.
22. THE ELEVATOR SHALL BE PROVIDED WITH REVERSE PHASE AND OPEN PHASE PROTECTION TO DISCONNECT THE MOTORS COMPLETELY FROM THE LINE IN THE EVENT OF PHASE REVERSAL OR LOSS OF ONE PHASE.
23. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE DEADICE WITH I-RMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
24. THE SOLAR INTERCONNECTION CIRCUIT BREAKER SHALL BE LOCATED AT THE FURTHEST POINT OF THE DISTRIBUTION PANEL BUS BAR, OPPOSING THE MAIN CIRCUIT BREAKER (CEC 705.12).
25. PROVIDE FAST ACTING FUSE, EDISON JFL SERIES (600V) FOR FAULT CURRENT LIMITING NOT EXCEEDING 5000 AIC. ALTERNATE OR ENGINEER APPROVED EQUAL.
26. ELEVATOR DISCONNECT SHALL COMPLY WITH NEC 620.51(A). DISCONNECT SHALL HAVE LOCKING PROVISIONS IN ACCORDANCE WITH NEC 110.25.
27. ENSURE FIELD LABELING OF UNMETERED DISTRIBUTION MEETS GWP REQUIREMENTS.
28. CIRCUIT BREAKER SHALL BE PROVIDED WITH PAD LOCKABLE HASP SUBJECT TO APPROVAL OF GWP AND LOCAL AHJ.
29. DEVICE SHALL BE LISTED FOR BACKFEED.
30. INVERTER BASED ON DESIGN + CONCEPTUAL POWER INVERTER EQ. 1 ADVANCED OR EQUIVALENT APPROVED EQUAL. SYSTEM CAPACITY AS INDICATED. UL PVA LISTED STANDALONE LIGHTING SYSTEM INVERTER PER DIVISION 26 SPECIFICATION SECTION 26 32 23. BATTERY SHALL MAINTAIN CAPACITY FOR 90 MINUTE OPERATION WHEN ALL LINE IN ACCORDANCE TO MANUFACTURER SPECIFICATIONS AND ENVIRONMENTAL REQUIREMENTS.
31. THE EMERGENCY LIGHTING SYSTEM SHALL COMPLY WITH THE FOLLOWING:
   - 31.1 PURSUANT TO CEC 700.3, MEANS FOR TESTING ALL EMERGENCY LIGHTING AND POWER SYSTEMS DURING MAXIMUM ANTICIPATED LOAD CONDITIONS SHALL BE PROVIDED FOR THE BUILDING AND FIRE DEPARTMENT PERSONNEL. TESTING AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH NFPA 110.
   - 31.2 PURSUANT TO CEC 700.4 THE EMERGENCY SYSTEM SHALL HAVE ADEQUATE CAPACITY AND RATING FOR ALL LOADS TO BE OPERATED SIMULTANEOUSLY. THE EMERGENCY SYSTEM EQUIPMENT SHALL BE SUITABLE FOR THE MAXIMUM AVAILABLE FAULT CURRENT AT ITS TERMINALS.
32. PROVIDE WITH INTEGRAL AUXILIARY BRANCH OUTPUT CIRCUIT BREAKERS AS INDICATED ON THE RESPECTIVE BIN. PANEL SCHEDULE SHEET E-033 AND UTILITY POWER FACTOR.
33. LIGHTING CONTROL PANELS REFER TO ELECTRICAL SCHEDULES SHEET E-030 FOR ADDITIONAL INFORMATION.
34. FUTURE CUSTOMER OWNED ENERGY MONITORING METER (BY OTHERS) SHOWN FOR REFERENCE ONLY.
35. CAP FEEDER AT ROOF FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM EQUIPMENT.

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SINGLE LINE DIAGRAM - BUILDING 3

NO	REVISION	DATE
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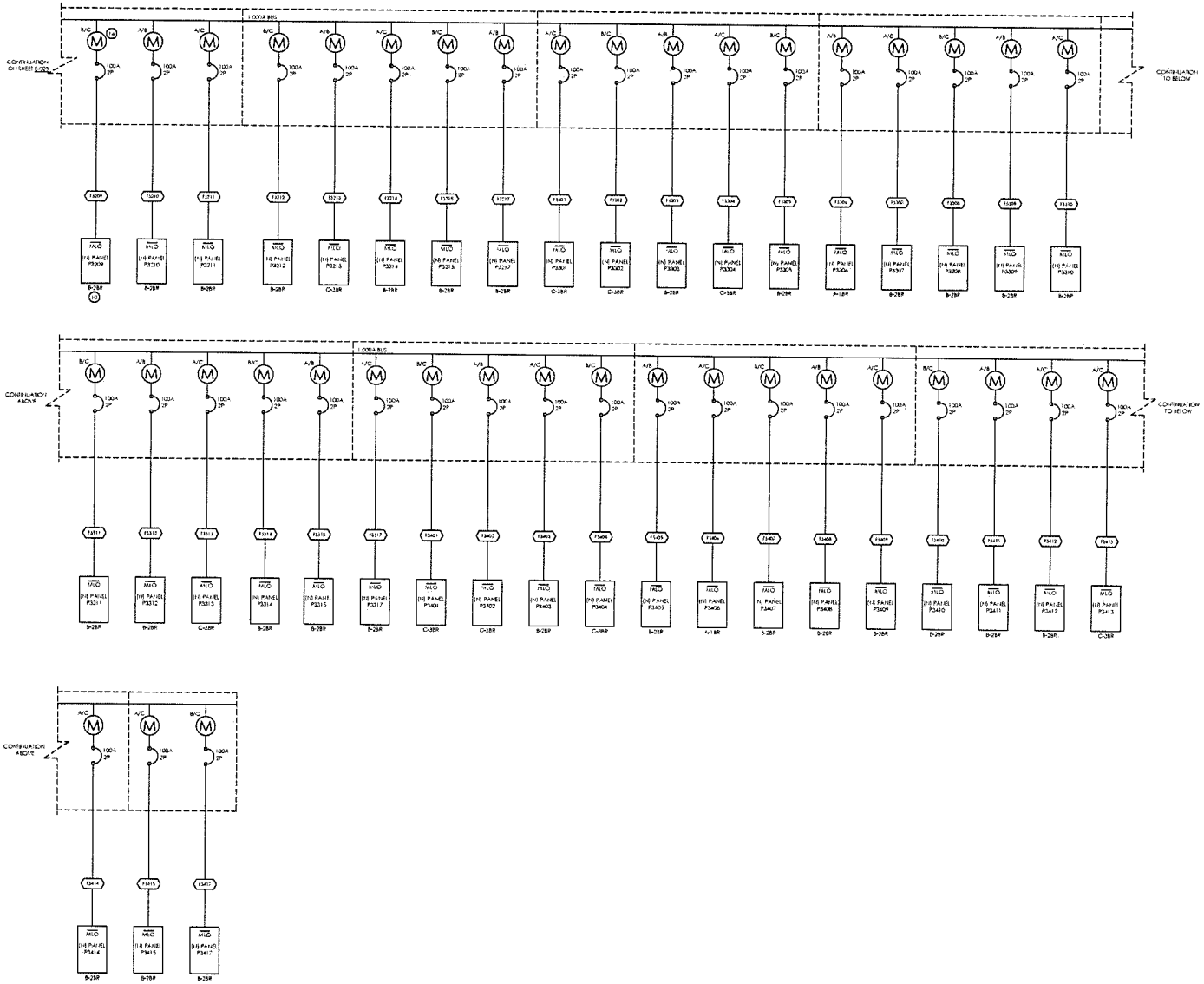
PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
SHEET: E-022

INITIAL B&S SUBMITTAL



SINGLE LINE DIAGRAM - BUILDING 3

SCALE: NTS

REFERENCE NOTES

GENERAL NOTE: REFERENCE NOTES ARE TYPICAL FOR SHEETS E0.01-E0.04. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

1. FACILITY MAIN ELECTRIC SERVICE AND DISTRIBUTION SWITCHGEAR. FIELD VERIFY ENCLOSURE RATING AS INDICATED.
2. UTILITY APPROVED UNDERGROUND PULL SECTION AND POINT OF DELIVERY. PULL SECTION SHALL HAVE AN EQUAL RATING TO SERVICE MAIN OVERCURRENT PROTECTIVE DEVICE (SEE NOTE #3).
3. UTILITY SECONDARY SERVICE CONDUIT & EQUAL PER UTILITY HANDOUT PACKAGE.
4. UTILITY APPROVED COMMERCIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH THE UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 NON-RESIDENTIAL ENERGY CODE REQUIREMENTS:
   - 4.1. INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 4.2. HISTORICAL PEAK DEMAND (KW)
   - 4.3. TRACKING KWH FOR A USER DEFINED PERIOD
   - 4.4. TOU PER RATE PERIOD
5. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE OSHA SHOCK AND FIRE PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
6. ELEVATOR SHUNT TRIP BREAKER
7. OVERCURRENT DEVICES SIZED BASED ON HYPER-DELTA / SOLID STATE STARTING METHOD. VERIFY OVERCURRENT DEVICE REQUIREMENTS FOR ELEVATOR WITH MANUFACTURER PRIOR TO INSTALLATION.
8. FEEDERS HAVE BEEN SIZED TO ENSURE 2% VOLTAGE DROP UPON STARTING. REDUCERS SHALL BE UTILIZED WHERE LUG PROVIDED CANNOT ACCOMMODATE FEEDER SIZE. PROVIDE SUBMITTAL DOCUMENTATION TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PRODUCT PROCUREMENT.
9. CUSTOMER OWNED FEEDER BREAKER SECTION. LABEL SECTION: "CAUTION - NON-UTILITY CONDUCTOR TERMINATION".
10. TYPICAL UNIT / FLOOR PLAN TYPE DESIGNATION. REFER TO ARCHITECTURAL PLANS. TYPICAL.
11. PHASE DESIGNATION. CONFIRM PER APPROVED PRODUCT SUBMITTAL. TYPICAL.
12. FUTURE VISIBLE AND LOCKABLE DISCONNECT MEANS. CAP FEEDER TO 2 AND PLACE IN AN ACCESSIBLE LOCATION WITHIN THE MAIN ELECTRICAL ROOM FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM.
13. NOT USED.
14. UTILITY APPROVED RESIDENTIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS. TYPICAL:
   - 14.1. INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 14.2. HISTORICAL PEAK DEMAND (KW)
   - 14.3. TRACKING KWH FOR A USER DEFINED PERIOD
   - 14.4. TOU PER RATE PERIOD
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN UTILITY COMPANY APPROVAL OF SWITCHGEAR AND METERING COMPONENTS PRIOR TO PRODUCTION. SWITCHGEAR CONFIGURATION SHALL MEET ALL UTILITY AND EUSERC APPLICABLE REQUIREMENTS.
16. METER AND MAIN FOR MECHANICAL SMOKE REMOVAL SYSTEM SHALL BE LOCATED AHEAD OF THE BUILDINGS SERVICE DISCONNECT PURSUANT TO LOCALLY REQUIRED STATED BY SYSTEMS CEC 701.12(E)
17. NOT USED.
18. COMMERCIAL LARGE TENANT (MAIN WITH CT) METERING AND DISTRIBUTION AS INDICATED.
19. RESIDENTIAL GROUP METERING.
20. RESIDENTIAL GROUP METERING MAIN AND CUSTOMER FEEDER TERMINATION.
21. RESIDENTIAL GROUP METERING MAIN LUG BUS SPACER WHERE REQUIRED. CONFIRM PER APPROVED PRODUCT SUBMITTAL.
22. THE ELEVATOR SHALL BE PROVIDED WITH REVERSE PHASE AND OPEN PHASE PROTECTION TO DISCONNECT THE MOTOR COMPLETELY FROM THE LINE IN THE EVENT OF PHASE REVERSAL OR LOSS OF ONE PHASE.
23. MAIN OVER CURRENT PROTECTION. RATING AMPACITY AS INDICATED. PROVIDE SHOCK AND FIRE PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACKFEED.
24. THE SOLAR INTERCONNECTION CIRCUIT BREAKER SHALL BE LOCATED AT THE FURTHEST POINT OF THE DISTRIBUTION PANEL BUS BAR, OPPOSING THE MAIN CIRCUIT BREAKER (CEC 705.12).
25. PROVIDE FAST ACTING FUSE, EDISON JFL SERIES (600V) FOR FAULT CURRENT LIMITED NOT EXCEEDING 5000 AIC (600A-2000A) OR ENGINEER APPROVED EQUAL.
26. ELEVATOR DISCONNECT SHALL COMPLY WITH NEC 620.51(A). STEAM DISCONNECT SHALL HAVE LOCKING PROVISION IN ACCORDANCE WITH NEC 110.25.
27. ENSURE FIELD LABELING OF UNGROUNDED DISTRIBUTION MEETS GWP REQUIREMENTS.
28. CIRCUIT BREAKER SHALL BE PROVIDED WITH PAD LOCKABLE HASP SUBJECT TO APPROVAL OF GWP AND LOCAL AHJ.
29. DEVICE SHALL BE LISTED FOR BACKFEED.
30. INVERTER BASE OF DESIGN - CRUCIAL POWER INVERTER KIT 1 ADI (GEN-14) OR EXCEEDING APPROVED EQUAL. SYSTEM CAPACITY ASSUMED AS 9.24 UNITED STANDALONE LIGHTING SYSTEM INVERTER PER DIVISION 26 SPECIFICATIONS SECTION 26 33 23. BATTERY SHALL MAINTAIN CAPACITY FOR 90 MINUTE OPERATION. INSTALL UNIT IN ACCORDANCE TO MANUFACTURER SPECIFICATIONS AND ENVIRONMENTAL REQUIREMENTS.
31. THE EMERGENCY LIGHTING SYSTEM SHALL COMPLY WITH THE FOLLOWING:
   - 31.1. PURSUANT TO CEC 700.3, MEANS FOR TESTING ALL EMERGENCY LIGHTING AND POWER SYSTEMS DURING MAINTENANCE AUTOMATED LOAD CONDITIONS SHALL BE PROVIDED FOR THE BUILDING AND FIRE DEPARTMENT PERSONNEL. TESTING AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH NFPA 110.
   - 31.2. PURSUANT TO CEC 700.4 THE EMERGENCY SYSTEM SHALL HAVE ADEQUATE CAPACITY AND RATING FOR ALL LOADS TO BE OPERATED SIMULTANEOUSLY. THE EMERGENCY SYSTEM EQUIPMENT SHALL BE SUITABLE FOR THE MAXIMUM AVAILABLE FAULT CURRENT AT ITS TERMINALS.
32. PROVIDE WITH INTEGRAL AUXILIARY BRANCH OUTPUT CIRCUIT BREAKERS AS INDICATED ON THE RESPECTIVE 3-PH. PANEL SCHEDULE SHEET E-033 AND SHIFT POWER FACTOR.
33. LIGHTING CONTROL PANELS REFER TO ELECTRICAL SCHEDULES SHEET E-030 FOR ADDITIONAL INFORMATION.
34. FUTURE CUSTOMER OWNED ENERGY MONITORING METER (BY OTHERS) SHOWN FOR REFERENCE ONLY.
35. CAP FEEDER AT ROOF FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM EQUIPMENT.

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EXPIRES 12.31.2021

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SINGLE LINE DIAGRAM - BUILDING 3

NO.	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-023

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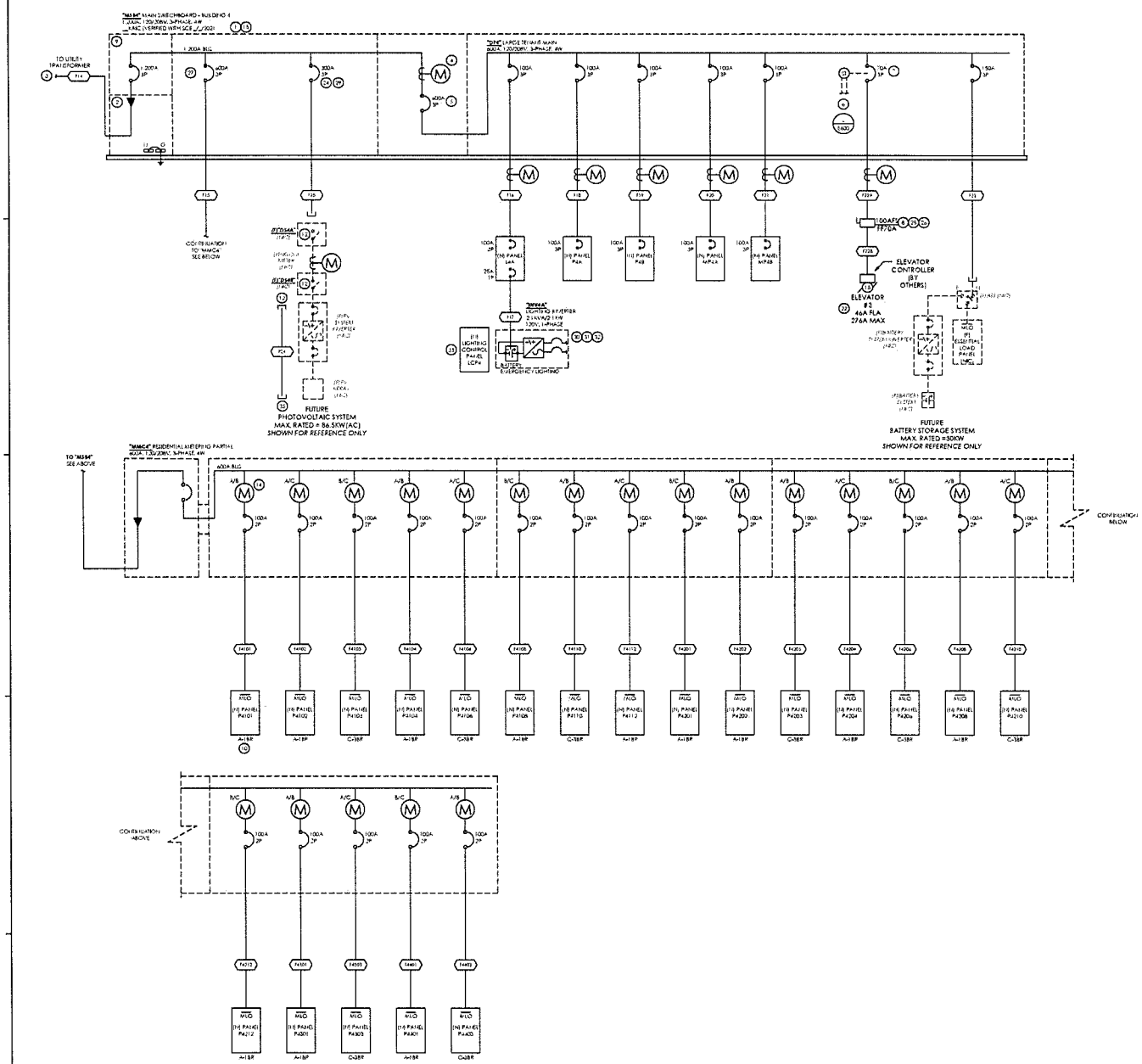
BIM 360://Murrieta/Murrieta_BLDG A.rvt



SINGLE LINE DIAGRAM - BUILDING 4 AND 5

SCALE: NTS

REFERENCE NOTES

GENERAL NOTE: REFERENCE NOTES ARE TYPICAL FOR SHEETS E0.00 - E0.04. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

1. FACILITY MAIN ELECTRIC SERVICE AND DISTRIBUTION SWITCHGEAR, NEMA 1 ENCLOSURE RATING AS INDICATED
2. UTILITY APPROVED UNDERGROUND PULL SECTION AND POINT OF DELIVERY. PULL SECTION SHALL AVAILABLE FAULT RATING TO SERVICE MAIN OVERCURRENT PROTECTIVE DEVICE (SEE NOTE #5)
3. UTILITY SECONDARY SERVICE CONDUIT: EXTEND PER UTILITY MAP OUT PACKAGE
4. UTILITY APPROVED COMMERCIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH THE UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 NON RESIDENTIAL ENERGY CODE REQUIREMENTS:
   - 4.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 4.2 HISTORICAL PEAK DEMAND (KW)
   - 4.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 4.4 TOU PER RATE PERIOD.
5. MAIN OVER CURRENT PROTECTION, RATING AMPACITY AS INDICATED. PROVIDE DE ACE WITH ARMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACK-FEED
6. ELEVATOR SHUNT TRIP WIRING
7. OVERCURRENT DEVICE SIZED BASED ON WYE-DELTA / SOLID STATE STARTING MEANS. VERIFY OVERCURRENT DEVICE REQUIREMENTS FOR ELEVATOR WITH MANUFACTURER PRIOR TO INSTALLATION.
8. FEEDERS HAVE BEEN SIZED TO ENSURE 3% VOLTAGE DROP UPON STARTING. REDUCERS SHALL BE UTILIZED WHERE NO PROVISIONS CAN NOT ACCOMMODATE FEEDER SIZES. PROVIDE SUBMITTAL DOCUMENTATION TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PRODUCT PROCUREMENT.
9. CUSTOMER OWNED FEEDER BREAKER SECTION. LABEL SECTION: CAUTION - NON UTILITY CONDUCTOR TERMINATION
10. TYPICAL UNIT FLOOR PLAN TYPE DESIGNATION. REFER TO ARCHITECTURAL PLANS TYPICAL
11. PHASE DESIGNATION. CONFIRM PER APPROVED PRODUCT SUBMITTAL TYPICAL
12. FUTURE VISIBLE AND LOCKABLE DISCONNECT AS A CAP FEEDER TO 2 AND 3 TO BE IN ACCESSIBLE LOCATION WITHIN THE MAIN ELECTRICAL ROOM FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM
13. HOT USED
14. UTILITY APPROVED RESIDENTIAL METER SOCKET. CONTRACTOR SHALL COORDINATE METER SET WITH UTILITY. METER SHALL BE CAPABLE OF THE FOLLOWING FEATURES AS REQUIRED PER THE 2019 RESIDENTIAL ENERGY CODE REQUIREMENTS: TYPICAL
   - 14.1 INSTANTANEOUS (AT THE TIME) KW DEMAND
   - 14.2 HISTORICAL PEAK DEMAND (KW)
   - 14.3 TRACKING KWH FOR A USER DEFINED PERIOD
   - 14.4 TOU PER RATE PERIOD.
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN UTILITY COMPANY APPROVAL OF SWITCHGEAR AND METERING COMPONENTS PRIOR TO PROCUREMENT. SWITCHGEAR CODE REQUIREMENTS SHALL MEET ALL UTILITY AND ELECTRIC APPLICABLE REQUIREMENTS
16. METER AND MAIN FOR MECHANICAL SMOKE REMOVAL SYSTEM SHALL BE LOCATED AHEAD OF THE BUILDINGS SERVICE DISCONNECT PURSUANT TO LOCALLY REQUIRED STANDARDS SYSTEMS CEC 701.10(B)
17. HOT USED
18. COMMERCIAL LARGE TENANT MAIN WITH CT METERING AND DISTRIBUTION AS INDICATED
19. RESIDENTIAL GROUP METERING
20. RESIDENTIAL GROUP METERING MAIN AND CUSTOMER FEEDER TERMINATION
21. RESIDENTIAL GROUP METERING MAIN LUG BUS SPACER WHERE REQUIRED CONFIRM PER APPROVED PRODUCT SUBMITTAL
22. THE ELEVATOR SHALL BE PROVIDED WITH REVERSE PHASE AND OPEN PHASE PROTECTION TO DISCONNECT THE MOTOR IS COMPLETELY FROM THE LINES IN THE EVENT OF PHASE REVERSAL OR LOSS OF ONE PHASE
23. MAIN OVER CURRENT PROTECTION, RATING AMPACITY AS INDICATED. PROVIDE DE ACE WITH ARMS PROTECTION AS PER NEC 240.87. DEVICE SHALL BE LISTED FOR BACK-FEED
24. THE SOLAR BREAKER CONNECTION CIRCUIT BREAKER SHALL BE LOCATED AT THE FURTHEST POINT OF THE DISTRIBUTION PANEL BUS BAR, OPPOSING THE MAIN CIRCUIT BREAKER (CEC 705.12).
25. PROVIDE FAST ACTING FUSE, EDISON FCL SERIES (600V) FOR FAULT CURRENT LIMITING NOT EXCEEDING 50000 AIC. ADVANCE FUSE OR ENGINEER APPROVED EQUAL
26. ELEVATOR DISCONNECT SHALL COMPLY WITH NEC 620.51(A). DISCONNECT SHALL HAVE LOCKING PROVISIONS IN ACCORDANCE WITH NEC 110.25.
27. ENSURE FIELD LABELING OF UNMETERED DISTRIBUTION MEETS GWP REQUIREMENTS.
28. CIRCUIT BREAKER SHALL BE PROVIDED WITH PADLOCKABLE HASP SUBJECT TO APPROVAL OF GWP AND LOCAL AHJ
29. DEVICE SHALL BE LISTED FOR BACK-FEED
30. INVERTER BASIS OF DESIGN: CRUCIAL POWER INVERTER EC1140(208)-NC OR EQUIVALENT APPROVED EQUAL. SYSTEM CAPACITY AS INDICATED. (E) PER LISTED DRAWINGS THE LIGHTING SYSTEM IS WITHIN PER DIVISION 26 SPECIFICATIONS SECTION 26 33 23. BATTERY SHALL MAINTAIN CAPACITY FOR 90 MINUTE OPERATION AND ALL UNITS ACCORDANCE TO MANUFACTURER SPECIFICATIONS AND ENVIRONMENTAL REQUIREMENTS.
31. THE EMERGENCY LIGHTING SYSTEM SHALL COMPLY WITH THE FOLLOWING:
   - 31.1 PURSUANT TO CEC 700.3. MEANS FOR TESTING ALL EMERGENCY LIGHTING AND POWER SYSTEMS DURING MAXIMUM AUTHORIZED LOAD CONDITIONS SHALL BE PROVIDED FOR THE BUILDING AND FIRE DEPARTMENT PERSONNEL. TESTING AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH NFPA 110
   - 31.2 PURSUANT TO CEC 700.4 THE EMERGENCY SYSTEM SHALL HAVE ADEQUATE CAPACITY AND RATING FOR ALL LOADS TO BE OPERATED SIMULTANEOUSLY. THE EMERGENCY SYSTEM EQUIPMENT SHALL BE SUITABLE FOR THE MAXIMUM AVAILABLE FAULT CURRENT AT ITS TERMINALS
32. PROVIDE WITH INTEGRAL AUXILIARY BRANCH OUTPUT CIRCUIT BREAKERS AS INDICATED ON THE RESPECTIVE TEN. PANEL SCHEDULE SHEET E-033 AND UNITY POWER FACTOR.
33. LIGHTING CONTROL PANELS REFER TO ELECTRICAL SCHEDULES SHEET E-030 FOR ADDITIONAL INFORMATION.
34. FUTURE CUSTOMER OWNED ENERGY MONITORING METER (BY OTHERS) SHOWN FOR REFERENCE ONLY.
35. CAP FEEDER AT ROOF FOR FUTURE EXTENSION TO PHOTOVOLTAIC SYSTEM EQUIPMENT

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

SINGLE LINE DIAGRAM - BUILDING 4 AND 5

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER	SE
DRAWN BY	SE/MC
CHECKED BY	HG
DATE	11/08/2022
PROJECT NUMBER	-
SHEET	E-024

INITIAL B&S SUBMITTAL

"MMC1" - RESIDENTIAL METERING SECTION

TYPE: RESIDENTIAL GROUP METERING
BUS: 1,000A
120/208V, 3-PHASE, 4W
LOCK MAIN CIRCUIT BREAKER

OCP SERVICES: ARC FAULT & BRANCH CIRCUITS
MAX SIZE BREAKER
CIRCUIT BREAKER SPACES
PRTV-DR WITH EQUIPMENT GROUND BUS

LOCATION: MAIN ELECTRICAL ROOM
MAIN:
MOUNTING: SURFACE
FED FROM: "MCB1"

NOTES	EC CIRCUIT	DESCRIPTION	BREAKER	WIRE	L1	L2	L3	N	TYPE	PHASE A	PHASE B	PHASE C	TYPE	N	L1	L2	L3	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	P1101	1/2							11149 MCC4									1/2	P1202	2	3,7
3,7	3	" "									10921 10331									" "	4	3,7
3,7	5	P1102	1/2									11149 MCC4							1/2	P1203	6	3,7
3,7	7	" "								10921 10331										" "	8	3,7
3,7	9	P1103	1/2								MCC4 MCC4								1/2	P1204	10	3,7
3,7	11	" "										10331 10331								" "	12	3,7
3,7	13	P1104	1/2							11149 MCC4									1/2	P1205	14	3,7
3,7	15	" "									10921 10331									" "	16	3,7
3,7	17	P1105	1/2									MCC4 MCC4							1/2	P1206	18	3,7
3,7	19	" "								10331 MCC4										" "	20	3,7
3,7	21	P1106	1/2								MCC4 11149								1/2	P1207	22	3,7
3,7	23	" "										10331 10921								" "	24	3,7
3,7	25	P1107	1/2							MCC4 11149									1/2	P1208	26	3,7
3,7	27	" "									10331 10921									" "	28	3,7
3,7	29	P1108	1/2									MCC4 MCC4							1/2	P1209	30	3,7
3,7	31	" "								10331 MCC4										" "	32	3,7
3,7	33	P1109	1/2								MCC4 MCC4								1/2	P1210	34	3,7
3,7	35	" "										10331 MCC4								" "	36	3,7
3,7	37	P1110	1/2							MCC4 11149									1/2	P1211	38	3,7
3,7	39	" "									10331 10921									" "	40	3,7
3,7	41	P1111	1/2									MCC4 11149							1/2	P1212	42	3,7
3,7	43	" "								MCC4 10921										" "	44	3,7
3,7	45	P1112	1/2								11149 MCC4								1/2	P1213	46	3,7
3,7	47	" "										10921 10331								" "	48	3,7
3,7	49	P1113	1/2							11149 MCC4									1/2	P1214	50	3,7
3,7	51	" "									10921 10331									" "	52	3,7
3,7	53	P1114	1/2									MCC4 MCC4							1/2	P1215	54	3,7
3,7	55	" "								MCC4 10331										" "	56	3,7
3,7	57	P1115	1/2								MCC4 MCC4								1/2	P1216	58	3,7
3,7	59	" "										MCC4 MCC4								" "	60	3,7
3,7	61	P1201	1/2							11149 11149									1/2	P1401	62	3,7
3,7	63	"									10921 10921									"	64	3,7
3,7	65	P1202	1/2									MCC4 MCC4							1/2	P1402	66	3,7
3,7	67	" "								10331 10331										" "	68	3,7
3,7	69	P1203	1/2								MCC4 MCC4								1/2	P1403	70	3,7
3,7	71	" "										10331 10331								" "	72	3,7
3,7	73	P1204	1/2							11149 MCC4									1/2	P1404	74	3,7
3,7	75	" "									10921 10331									" "	76	3,7
3,7	77	P1205	1/2								MCC4 MCC4								1/2	P1405	78	3,7
3,7	79	" "								10331 10331										" "	80	3,7
3,7	81	P1206	1/2								MCC4 MCC4								1/2	P1406	82	3,7
3,7	83	" "										10331 10331								" "	84	3,7
									SUB TOTAL (VA)	79,156	89,356	78,156										
									CONN. LOAD	79	89	78										
									AMPS @ 120	658	743	650										

DEMAND LOAD SUMMARY

TOTAL UNIT COUNT & PANEL =	42
RESIDENTIAL PANEL LOAD - MULTI-FAMILY (VOLTAMPERE TOTAL)	86,856 VA
SHARED NHS (20%)	24,960 VA
ADJUSTED DEMAND LOAD =	241,800 VA 671 AMPS AT 120/208V, 3-PHASE

MURRIETA BUILDING 1 -- FEEDER SCHEDULE

FEEDER NO.	LOAD DESCRIPTION	AMPACITY: 75°C NEC 310-16(B)(16)	AMPACITY: 90°C NEC 310-16(B)(16)	AMPACITY: DERATED AMPACITY PER 90°C NEC TABLE 310.15(B)(2)(a)	CONDUIT SIZE	NEEDED SPECIFICATION: #	SPECIFICATION	#	SPECIFICATION	+	#	GND. SPECIFICATION	EA.	ESTIMATED CONNECTOR LENGTH (LF) (SEE NOTE #1)	CALCULATED VOLTAGE DROP: CALCULATED FOR FEEDER	CALCULATED VOLTAGE DROP: TOTAL FROM SOURCE	AIRS INTERRUPTING CAPACITY (AIC) (SEE NOTES #1, 2)
P21	MSB1					4	4" C.O.	CONDUIT ONLY PROVIDED WITH PULL ROPE AS PER SCI HANDOUT PACKAGE						SEE HANDOUT	SEE HANDOUT	SEE HANDOUT	65,000
P22	ATS#1	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P23	PF#1	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P24	P1A	TBD	TBD	TBD		TBD								35	TBD	TBD	TBD
P25	P1A1A	TBD	TBD	TBD		TBD								300	TBD	TBD	TBD
P26	P1B	TBD	TBD	TBD		TBD								30	TBD	TBD	TBD
P27	P1C	TBD	TBD	TBD		TBD								45	TBD	TBD	TBD
P28	P1D	TBD	TBD	TBD		TBD								30	TBD	TBD	TBD
P29	MPT B	TBD	TBD	TBD		TBD								40	TBD	TBD	TBD
P10A	ELEVATOR # 5 SC	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P10B	ELEVATOR # 5 CONT. PNL	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P11	P1-A1	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P12	P1-SD-1A	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
P13	P1-SD-1B	TBD	TBD	TBD		TBD								TBD	TBD	TBD	TBD
RESIDENTIAL FEEDERS																	
P1101	P1101	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		65	0.44	TBD	TBD
P1102	P1102	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		65	1.05	TBD	TBD
P1103	P1103	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		115	1.37	TBD	TBD
P1104	P1104	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		110	1.70	TBD	TBD
P1105	P1105	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		155	2.23	TBD	TBD
P1106	P1106	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		140	2.70	TBD	TBD
P1107	P1107	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		180	3.08	TBD	TBD
P1108	P1108	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		190	3.73	TBD	TBD
P1109	P1109	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		220	3.57	TBD	TBD
P1110	P1110	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		195	3.38	TBD	TBD
P1111	P1111	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		245	3.77	TBD	TBD
P1112	P1112	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		260	2.41	TBD	TBD
P1113	P1113	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		300	2.65	TBD	TBD
P1114	P1114	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		290	2.57	TBD	TBD
P1115	P1115	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		305	2.41	TBD	TBD
P1201	P1201	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		75	1.17	TBD	TBD
P1202	P1202	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		85	1.16	TBD	TBD
P1203	P1203	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		100	1.68	TBD	TBD
P1204	P1204	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		125	1.96	TBD	TBD
P1205	P1205	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		175	2.46	TBD	TBD
P1206	P1206	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		260	2.54	TBD	TBD
P1207	P1207	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		280	2.97	TBD	TBD
P1208	P1208	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		305	2.97	TBD	TBD
P1209	P1209	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		330	2.49	TBD	TBD
P1210	P1210	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		340	2.25	TBD	TBD
P1211	P1211	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		390	2.26	TBD	TBD
P1212	P1212	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		275	2.61	TBD	TBD
P1213	P1213	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		315	2.37	TBD	TBD
P1214	P1214	125A	175A			2	2" CABLE	3	#2/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		315	2.25	TBD	TBD
P1215	P1215	125A	175A			2	2" CABLE	3	#2/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		357	2.41	TBD	TBD
P1301	P1301	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		80	1.73	TBD	TBD
P1302	P1302	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		125	1.96	TBD	TBD
P1303	P1303	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		165	2.46	TBD	TBD
P1304	P1304	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		225	2.54	TBD	TBD
P1305	P1305	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		260	2.97	TBD	TBD
P1306	P1306	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		305	2.97	TBD	TBD
P1307	P1307	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		336	2.49	TBD	TBD
P1308	P1308	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		340	2.25	TBD	TBD
P1309	P1309	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		390	2.26	TBD	TBD
P1310	P1310	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		357	2.41	TBD	TBD
P1311	P1311	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		275	2.61	TBD	TBD
P1312	P1312	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		315	2.37	TBD	TBD
P1313	P1313	90A	125A			2	2" CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		315	2.25	TBD	TBD
P1314	P1314	125A	175A			2	2" CABLE	3	#2/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		357	2.41	TBD	TBD
P1315	P1315	125A	175A			2	2" CABLE	3	#2/0 AWG THHN CU	+	1	#2 AWG THHN CU GND.		82	1.73	TBD	TBD
P1401	P1401	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		125	1.96	TBD	TBD
P1402	P1402	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		165	2.46	TBD	TBD
P1403	P1403	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		225	2.54	TBD	TBD
P1404	P1404	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		260	2.97	TBD	TBD
P1405	P1405	120A	160A			2	2" CABLE	3	#1/0 AWG THHN AL	+	1	#2 AWG THHN AL GND.		305	2.97	TBD	TBD
P1406	P1406	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		336	2.49	TBD	TBD
P1407	P1407	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		340	2.25	TBD	TBD
P1408	P1408	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		390	2.26	TBD	TBD
P1409	P1409	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		345	2.6	TBD	TBD
P1410	P1410	125A	175A			2	2" CABLE	3	#2/0 AWG THHN AL	+	1	#1 AWG THHN AL GND.		390	2.41	TBD	TBD

NOTES:
1. CONDUCTOR LENGTHS HAS BEEN PROVIDED AS THE BASIS OF DESIGN FOR BOTH VOLTAGE DROP AND AIC CALCULATION. CONDUCTOR LENGTHS SHALL NOT BE USED FOR BIDDING OR PROCUREMENT PURPOSES. SHOWS THE ACTUAL CONDUCTOR LENGTH SHALL BE FROM WHAT HAS BEEN SPECIFIED. THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR REVIEW AND RE-CALCULATION AS MAY BE NECESSARY.
2. ELECTRICAL OVER-RUN EQUIPMENT SHALL BE RATED TO WITHSTAND A MAX. OF SHE CALCULATED SHORT CIRCUIT CURRENT AS REQUIRED. THE VALUE NOTED HEREIN INCLUDED FOR REFERENCE ONLY AND SHALL BE VERIFIED PER THE OVERCURRENT PROTECTIVE DEVICE COORDINATION STUDY.

PANEL SCHEDULE NOTES

PANEL SCHEDULE LOAD TYPE INDEX:
C = CONTINUOUS LOAD (OPERATED FOR 3 HOURS OR MORE. LOAD CALCULATED AT 125% OF TOTAL CONNECTED LOAD.
A = KITCHEN APPLIANCE LOAD (SUBJECT TO 75% DEMAND FACTOR PER NEC 220.53 IF GREATER THAN/EQUAL TO FOUR APPLIANCES.
M = MECHANICAL LOAD. NO DEMAND FACTOR APPLIED.
R = RECEPTACLE LOAD
G = GENERAL LOAD

GENERAL NOTES:
- VOLTAGE DROP CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE TO 2016 CALIFORNIA ENERGY CODE STANDARDS (TITLE 24, ELECTRICAL POWER DISTRIBUTION). CONDUCTOR LENGTHS INDICATED SHALL NOT BE USED FOR BIDDING OR PROCUREMENT PURPOSES. FIELD COORDINATE CONDUCTOR LENGTHS REQUIRED AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
- FOR CIRCUITS WITH MULTIPLE LOADS (I.E. RECEPTACLES, LIGHTING) THE CIRCUIT ESTIMATED LENGTH IS DETERMINED BY THE FURTHEST DEVICE LOCATION.
- WHERE BRANCH CIRCUITS HAVE NOT BEEN LOADED TO THE MAXIMUM ALLOWABLE CIRCUIT CAPACITY, VOLTAGE DROP CALCULATIONS HAVE BEEN PREPARED BASED ON CONNECTED LOAD INDICATED, UNLESS OTHERWISE NOTED.

VOLTAGE DROP CALCULATION:

VOLTAGE DROP (%) = (2 * OHMS PER 1000 LF * CONDUCTOR LENGTH * AMPS) / (1000 * QTY OF WIRES PER PHASE)

SCHEDULE SPECIFIC NOTES:

1. VERIFY LOAD, CIRCUIT BREAKER, AND CONDUCTOR SIZE WITH EQUIPMENT MANUFACTURER SPECIFICATIONS
2. REFER TO SINGLE LINE DIAGRAM FOR CIRCUIT BREAKER AND CONDUCTOR SIZE
3. SHUNT TRIP TYPE BREAKER REQUIRED
4. PROVIDE CIRCUIT BREAKER LOCKING DEVICE

SE CABLE INSTALLATION

1. CONFORM TO CEC ARTICLE 336 FOR ELECTRICAL SYSTEM INSTALLATION REQUIREMENTS. WITH SPECIAL ATTENTION TO:
   1.1 THE INSTALLATION OF SE CABLE SHALL ADHERE TO THE REQUIREMENTS OF NEC 310.15(B)(3) SPACING BETWEEN SE CABLE SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO THE ELECTRICAL INSPECTOR.
2. SE CABLE PENETRATION THROUGH BUILDING STRUCTURE SHALL BE INSTALLED IN ACCORDANCE TO STRUCTURAL ENGINEER OF RECORD REQUIREMENTS AS DETAILED ON APPROVED STRUCTURAL ENGINEERING DRAWINGS.
3. IN THE EVENT THAT SE CABLING AND PIPING WET BUILDING SYSTEMS (I.E. WATER, WASTE, CONDENSATE, ETC) ARE SCHEDULED TO BE INSTALLED WITHIN THE SAME CEILING CAVITY, ELECTRICAL CABLING INSTALLATION SHALL BE PHYSICALLY ABOVE WET PIPING.

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AGENCY

GECE

GRAY ELECTRICAL CONSULTING + ENGINEERING, CORP

MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 1

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER: SE
DRAWN BY: SE/MC CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-030

INITIAL B&S SUBMITTAL

SC0022 2:21:28 PM
BIM 360 Files\Models\Murrieta_BLDG A.rvt

TYPICAL UNIT PANEL 1 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN ELCO ONLY

(SEE SHEET E-030) ARC FAULT & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (V) AREA
NEMA: 1
MOUNTING: RECESS
FEED FROM: "MAPC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4500		K	0.9	0.94	50	6	30/2	RANGE	2	8
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4500	K	0.9	0.94	50	6		-	4	8
3,6,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500 / 1675		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,6	7	KITCHEN DISPOSAL / CHP	20/1 AFCI	12	50	1.16	0.9	K		840 / 1260	M	0.8	1.13	75	10		-	8	8
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	K	300 / 15		M	0.8	0.52	50	12	20/1 AFC	EWA	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500								SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C	511								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C		511							SPACE	16	
3,6,11	17	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.73	0.7	C	511								SPACE	18	
	19	SPACE															SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	9361	9357									
								CONTINUOUS	547	516									
								AMPS @ 120	82	86									

DEMAND LOAD SUMMARY(SEC 220.82)

PANEL LOAD	+	19476	VA
MECHANICAL LOAD SUM	+	2307	VA
1ST 10 KVA @ 100%	+	10000	VA
REM OVER 10 KVA @ 40%	+	2776	VA
MECHANICAL LOAD SUM	+	2307	VA
ADJUSTED DEMAND LOAD	=	15313	VA
		86	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 2 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN ELCO ONLY

(SEE SHEET E-030) ARC FAULT & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (V) AREA
NEMA: 1
MOUNTING: RECESS
FEED FROM: "MAPC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4500		K	0.9	0.94	50	6	30/2	RANGE	2	8
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4500	K	0.9	0.94	50	6		-	4	8
3,6,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500 / 1675		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,6	7	KITCHEN DISPOSAL / CHP	20/1 AFCI	12	50	1.16	0.9	K		840 / 1260	M	0.8	1.13	75	10		-	8	8
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	K	300 / 15		M	0.8	0.52	50	12	20/1 AFC	EWA	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500								SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C	511								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C		511							SPACE	16	
3,6	17	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.73	0.7	C	511								SPACE	18	
	19	SPACE															SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	9529	9526									
								CONTINUOUS	558	529									
								AMPS @ 120	83	86									

DEMAND LOAD SUMMARY(SEC 220.82)

PANEL LOAD	+	20135	VA
MECHANICAL LOAD SUM	+	2445	VA
1ST 10 KVA @ 100%	+	10000	VA
REM OVER 10 KVA @ 40%	+	3078	VA
MECHANICAL LOAD SUM	+	2445	VA
ADJUSTED DEMAND LOAD	=	15523	VA
		75	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 3 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN ELCO ONLY

(SEE SHEET E-030) ARC FAULT & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (V) AREA
NEMA: 1
MOUNTING: RECESS
FEED FROM: "MAPC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4500		K	0.6	0.94	50	6	30/2	RANGE	2	8
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4500	K	0.6	0.94	50	6		-	4	8
3,6,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500 / 1675		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,6	7	KITCHEN DISPOSAL / CHP	20/1 AFCI	12	50	1.16	0.9	K		840 / 1260	M	0.8	1.13	75	10		-	8	8
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	K	300 / 15		M	0.8	0.52	50	12	20/1 AFC	EWA	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	K	1500								SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C		600							SPACE	16	
3,6	17	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	18	
3,6	19	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.85	0.7	C		600							SPACE	20	
3,6,11	21	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	10,436	10,436									
								CONTINUOUS	602	571									
								AMPS @ 120	87	95									

DEMAND LOAD SUMMARY(SEC 220.82)

PANEL LOAD	+	22090	VA
MECHANICAL LOAD SUM	+	3075	VA
1ST 10 KVA @ 100%	+	10000	VA
REM OVER 10 KVA @ 40%	+	3526	VA
MECHANICAL LOAD SUM	+	3075	VA
ADJUSTED DEMAND LOAD	=	16691	VA
		81	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

MAIN SWITCH BOARD "MSB1"

TYPE: SWITCHBOARD
BUS: 1600A
120/208V, 3-PHASE, 4W
400A MAIN CIRCUIT BREAKER (ADJUSTABLE)

(SEE SHEET E-030) ARC FAULT & BRANCH CIRCUITS
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FEED FROM: SCE TRANSFORMER

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	"MAPC1"		-	-	-	-	-	40667 / 41067									"DP1"	2	3
3,7	3	-	1/3	-	-	-	-	-		40667 / 41333							1/3	-	4	3
3,7	5	-		-	-	-	-	-			40667 / 44772							-	6	3
3	7	"TELV1"		-	-	-	-	-	34440									-	8	
3	9	-	1/3	-	-	-	-	-		34440								-	10	
3	11	-		-	-	-	-	-			34440							-	12	
								SUBTOTAL (VA)	80834	148839	162099									
								CONTINUOUS	0	0	0									
								AMPS @ 120	1234	1034	1144									

LARGE TENANT MAIN "DP1"

TYPE: SWITCHBOARD
BUS: 400A
120/208V, 3-PHASE, 4W
400A MAIN CIRCUIT BREAKER

(SEE SHEET E-030) ARC FAULT & BRANCH CIRCUITS
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FEED FROM: "MSB1"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3	1	"MSB1"		-	-	-	-	-	2520 / 12609									"MPB1"	2	3
3	3		1/3	-	-	-	-	-		2520 / 9426		-	-	-	-	-	1/3	-	4	3
3	5	-		-	-	-	-	-			2520 / 7424	-	-	-	-	-		-	6	3
3	7	"MPB1"		-	-	-	-	-	9360 / 7234									"MPB1"	8	3
3	9	-	1/3	-	-	-	-	-		10980 / 5240		-	-	-	-	-	1/3	-	10	3
3	11	-		-	-	-	-	-			11440 / 3234	-	-					-	12	3
3	13	"MPB1"		-	-	-	-	-	4060			-	-	-	-	-		PV SOLAR	14	3
3	15		1/3	-	-	-	-	-		3400							1/3	-	16	3
3	17	-		-	-	-	-	-			5720	-	-	-	-	-		-	18	3
3	19	ELEVATOR		-	-	-	-	-	5524			-	-	-	-	-		PV BATTERY STORAGE	20	3
3	21	-	1/3	-	-	-	-	-		5524		-	-	-	-	-	1/3	-	22	3
3	23	-		-	-	-	-	-			5524	-	-	-	-	-		-	24	3
								SUBTOTAL (VA)	41283	39353	44795									
								CONTINUOUS	0	0	0									
								AMPS @ 120	344	328	373									

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES-BUILDING 1

NO	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: SE
DRAWN BY: SE/MG | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-031

INITIAL B&S SUBMITTAL

SAVED: 2/2/2022 3:21:38 PM
PLOTTED BY: Stephanie Gonzalez

PANEL "MP1A"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-033 A/C PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 MAIN ELECTRICAL ROOM
NEMA 1
MOUNTING: SURFACE
FEED FROM: TOP

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	SAU	20/1	12	25	0.00	0.8	M	25			-	-	-	-	-	-	SPACE	2	
	3	WH1	30/2	10	30	0.75	0.8	M		2184		-	-	-	-	-	-	SPACE	4	
	5	-		10	30	0.75	0.8	M			2184							SPACE	6	
	7	WH 2	30/2	10	30	0.75	0.8	M	2184			-	-	-	-	-	-	SPACE	8	
	9	-		10	30	0.75	0.8	M		2184		-	-	-	-	-	-	SPACE	10	
	11	RH1	20/2	12	270	0.94	0.8	M			2700	-	-	-	-	-	-	SPACE	12	
	13	-		12	270	0.94	0.8	M	2700			-					-	SPACE	14	
	15	LT 2	20/1	12	250	0.40	0.8	M		10		-	-	-	-	-	-	SPACE	16	
	17	WH 3	30/2	3	240	2.71	0.8	M			8100							SPACE	18	
	19	-		3	240	2.71	0.8	M	8100									SPACE	20	
	21	CR 2	20/1	12	60	0.03	0.8	M		25		-	-	-	-	-	-	SPACE	22	
	23	[illegible]	20/1	12	285	0.15	0.8	M			20	-	-	-	-	-	-	SPACE	24	
	25	WH 4	30/2	3	225	2.44	0.8	M	8400									SPACE	26	
	27			3	255	2.86	0.8	M		9000								SPACE	28	
	29	SPACE			-	-	-	-										SPACE	30	
									SUBTOTAL (VA):	12604	9600	21600								
									CONTINUOUS (VA):	0	0	0								
									AMPS @ 120:	105	80	180								

PANEL "P1A"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-033 A/C PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 MAIN ELECTRICAL ROOM
NEMA 1
MOUNTING: SURFACE
FEED FROM: TOP

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	GROUND FLOOR COMMON RECEPTACLES	20/1	12	240	2.40	0.6	R	540 / 540			-	-	-	-	-	-	SPACE	2	
	3	GROUND FLOOR JANITRASH RECEPTACLES	20/1	10	280	2.40	0.6	R		540 / 360		-	-	-	-	-	-	SPACE	4	
	5	WASH	20/1	12	250	2.52	0.6	R			360 / 360	-	-	-	-	-	-	SPACE	6	
	7	GROUND FLOOR WASHER	20/1	12	13	0.67	0.8	M	1500 / 1500			-	-	-	-	-	-	SPACE	8	
	9	GROUND FLOOR DRYER	30/2	10	35	0.57	0.8	M		1500 / 2500		-	-	-	-	-	-	SPACE	10	
	11	-		10	20	0.57	0.8	M			2500 / 2500							SPACE	12	
	13	FACP	20/1	12	250	1.25	0.85	G	500 / 540			-	-	-	-	-	-	SPACE	14	
	15	2ND FLOOR COMMON RECEPTACLES	20/1	10	275	2.34	0.6	R		540 / 540		-	-	-	-	-	-	SPACE	16	
	17	2ND FLOOR JANITRASH RECEPTACLES	20/1	12	295	2.70	0.6	R			360 / 360	-	-	-	-	-	-	SPACE	18	
	19	2ND FLOOR IDF	20/1	12	275	2.67	0.6	R	540 / 540									SPACE	20	
	21	2ND FLOOR WASHER	20/1	12	30	1.24	0.8	M		1500 / 1500		-	-	-	-	-	-	SPACE	22	
	23	2ND FLOOR DRYER	30/2	10	35	1.00	0.8	M			2500 / 2500	-	-	-	-	-	-	SPACE	24	
	25	-		10	30	1.00	0.8	M	2500 / 540									SPACE	26	
	27	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	28	
	29	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	30	
									SUBTOTAL (VA):	9360	10900	11440								
									CONTINUOUS (VA):	0	0	0								
									AMPS @ 120:	78	91	95								

PANEL "MP1B"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-033 A/C PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 TOP (3RD FLOOR)
NEMA 1
MOUNTING: SURFACE
FEED FROM: TOP

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	[illegible]	20/1	12	230	0.96	0.8	M	25			-	-	-	-	-	-	SPACE	2	
	3	[illegible]	20/1	12	60	0.29	0.8	M		30		-	-	-	-	-	-	SPACE	4	
	5	WH4	30/2	10	10	0.25	0.8	M			2184							SPACE	6	
	7			10	10	0.25	0.8	M	2184			-	-	-	-	-	-	SPACE	8	
	9	WH5	30/2	6	20	0.45	0.8	M		3300		-	-	-	-	-	-	SPACE	10	
	11	-		6	20	0.45	0.8	M			3300	-	-	-	-	-	-	SPACE	12	
	13	[illegible]	20/1	12	245	0.17	0.8	M	25									SPACE	14	
	15	[illegible]	20/1	12	35	0.03	0.8	M		20		-	-	-	-	-	-	SPACE	16	
	17	WH7	30/2	8	25	0.57	0.8	M			3375	-	-	-	-	-	-	SPACE	18	
	19			8	25	0.57	0.8	M	3400									SPACE	20	
	21	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	22	
	23	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	24	
	25	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	26	
	27	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	28	
	29	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	30	
									SUBTOTAL (VA):	7240	9400	9775								
									CONTINUOUS (VA):	0	0	0								
									AMPS @ 120:	60	78	81								

PANEL "P1B"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-033 A/C PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 TOP (3RD FLOOR)
NEMA 1
MOUNTING: SURFACE
FEED FROM: TOP

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	3RD FLOOR COMMON RECEPTACLES	20/1	12	240	1.95	0.6	R	540			-	-	-	-	-	-	SPACE	2	
	3	3RD FLOOR JANITRASH RECEPTACLES	20/1	12	75	0.69	0.6	R		360		-	-	-	-	-	-	SPACE	4	
	5	3RD FLOOR IDF	20/1	12	90	0.90	0.6	R			360	-	-	-	-	-	-	SPACE	6	
	7	3RD FLOOR WASHER	20/1	12	35	1.44	0.8	M	1500									SPACE	8	
	9	3RD FLOOR DRYER	30/2	10	40	1.34	0.8	M		2500		-	-	-	-	-	-	SPACE	10	
	11			10	40	1.34	0.8	M			2500							SPACE	12	
	13	4TH FLOOR COMMON RECEPTACLES	20/1	12	225	0.39	0.6	R	540			-	-	-	-	-	-	SPACE	14	
	15	3RD FLOOR JANITRASH RECEPTACLES	20/1	12	85	1.26	0.6	R		540		-	-	-	-	-	-	SPACE	16	
	17	4TH FLOOR IDF	20/1	12	75	0.63	0.6	R			360	-	-	-	-	-	-	SPACE	18	
	19	4TH FLOOR WASHER	20/1	12	30	0.24	0.8	M	1500									SPACE	20	
	21	4TH FLOOR DRYER	30/2	10	50	0.73	0.8	M		2500		-	-	-	-	-	-	SPACE	22	
	23			10	50	0.73	0.8	M			2500	-	-	-	-	-	-	SPACE	24	
	25	VOICE RECEPTACLE	20/1	12	60	0.20	0.6	R	180			-	-	-	-	-	-	SPACE	26	
	27	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	28	
	29	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	30	
									SUBTOTAL (VA):	4680	3400	3700								
									CONTINUOUS (VA):	0	0	0								
									AMPS @ 120:	39	28	31								

PANEL "PEV1"

TYPE: PANELBOARD
BUS: 400A
120/208V, 3-PHASE, 4W
MAIN LUGS ONLY

SEE SHEET E-034 A/C PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: BUILDING 1 MAIN ELECTRICAL ROOM
NEMA 1
MOUNTING: SURFACE
FEED FROM: TOP

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	EV CHARGER	40/2	-	-	-	-	C	3328 / 3328			C	-	-	-	-	40/2	EV CHARGER	2	
	3	-		-	-	-	-	C		3328 / 3328		C	-	-	-	-		-	4	
	5	EV CHARGER	40/2	-	-	-	-	C			3328 / 3328	C	-	-	-	-	40/2	EV CHARGER	6	
	7			-	-	-	-	C	3328 / 3328			C	-	-	-	-		-	8	
	9	EV CHARGER	40/2	-	-	-	-	C		3328 / 3328		C	-	-	-	-	40/2	EV CHARGER	10	
	11			-	-	-	-	C			3328 / 3328	C	-	-	-	-		-	12	
	13	EV CHARGER	40/2	-	-	-	-	C	3328 / 3328			C	-	-	-	-	40/2	EV CHARGER	14	
	15			-	-	-	-	C		3328 / 3328		C	-	-	-	-		-	16	
	17	SPACE	1/2	-	-	-	-	-					-	-	-	-	1/2	SPACE	18	
	19			-	-	-	-	-					-	-	-	-		-	20	
	21	SPACE	1/2	-	-	-	-	-					-	-	-	-	1/2	SPACE	22	
	23			-	-	-	-	-					-	-	-	-		-	24	
	25	SPACE	1/2	-	-	-	-	-					-	-	-	-	1/2	SPACE	26	
	27			-	-	-	-	-					-	-	-	-		-	28	
	29	SPACE	1/2	-	-	-	-	-					-	-	-	-	1/2	SPACE	30	
									SUBTOTAL (VA):	19968	19968	19968								
									CONTINUOUS (VA):	0	0	0								
									AMPS @ 120:	166	166	166								

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 1

NO	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-032

INITIAL B&S SUBMITTAL

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PANEL "L1A"

TYPE: PANELBOARD
AVG: 1004
208/120V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

(SEE SHEET E-001) AIC PANEL & BRANCH CIRCUITS
42 FULL SIZE NO. OF CIRCUITS
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: RECEIVING / TOP END / TOP
NEMA: 1
MOUNTING: SURFACE
FEED FROM: DPT

NOTES	CIRCUIT	DESCRIPTION	BREAKER	W.M.	LF	VOLTS	PP	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PP	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1																		2	
	3																		4	
	5																		6	
	7												-				20/1	"INV1A"	8	3
	9																		10	
	11																		12	
	13																		14	
	15																		16	
	17																		18	
	19																		20	
	21																		22	
	23																		24	
	25																		26	
	27																		28	
	29																		30	
	31																		32	
	33																		34	
	35																		36	
	37																		38	
	39																		40	
	41																		42	
								SUBTOTAL (VA)	0	0	0									
								CONTINUOUS	0	0	0									
								AMPS @ 120	0	0	0									

EMERGENCY LIGHTING INVERTER "INV1A"

TYPE: INVERTER
BUS: -
120V, 1-PHASE

(SEE SHEET E-001) AIC PANEL & BRANCH CIRCUITS
4 FULL SIZE NO. OF CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: TOP
NEMA: 1
MOUNTING: SURFACE
FEED FROM: "L1A"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PP	TYPE	CONNECTED LOAD (VA)	SUBTOTAL (VA)	
	1	SPARE	20/1				0.9	C		0	
	2	SPARE	20/1				0.9	C		0	
	3	SPARE	20/1				0.9	C		0	
	4	SPARE	20/1				0.9	C		0	
	5	SPARE	20/1				0.9	C		0	
	6	SPARE	20/1				0.9	C		0	
									TOTAL VA	0	VA
									AMPS @ 120	0	AMPS
									INVERTER SIZE	250	VA
									TOTAL INVERTER LOADING:	0%	VA

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 1

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-033

INITIAL B&S SUBMITTAL

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"MMC3" - RESIDENTIAL METERING SECTION

TYPE: RESIDENTIAL GROUP METERING
MLO: 1,200A
120/208V, 3-PHASE, 4W
1 200A MAIN CIRCUIT BREAKER

SEE SHEET E-020 FOR PANEL & BRANCH CIRCUITS
FULL SIZE NEUTRAL ON
CIRCUIT BREAKER SPACES
PROVIDE WIRE EQUIPMENT GROUND BUS

LOCATION: MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
NEUTRAL: MSB

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LP	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LP	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	P3101	1/2P						11169 / 9804								1/2P	P3102	2	3,7
3,7	3	" "								10921 / 10331								" "	4	3,7
3,7	5	P3102	1/2P								11169 / 9808						1/2P	P3106	6	3,7
3,7	7	" "							10921 / 9808									" "	8	3,7
3,7	9	P3103	1/2P							9804 / 9804							1/2P	P3107	10	3,7
3,7	11	" "									10331 / 10331							" "	12	3,7
3,7	13	P3104	1/2P						11169 / 9804								1/2P	P3108	14	3,7
3,7	15	" "								10921 / 10331								" "	16	3,7
3,7	17	P3105	1/2P								9804 / 9804						1/2P	P3109	18	3,7
3,7	19	" "							10331 / 10331									" "	20	3,7
3,7	21	P3106	1/2P							9804 / 9804							1/2P	P3110	22	3,7
3,7	23	" "									10331 / 10331							" "	24	3,7
3,7	25	P3109	1/2P						9804 / 9804								1/2P	P3111	26	3,7
3,7	27	" "								10331 / 10331								" "	28	3,7
3,7	29	P3111	1/2P								9808 / 9804						1/2P	P3112	30	3,7
3,7	31	" "							9808 / 10331									" "	32	3,7
3,7	33	P3113	1/2P							11169 / 11169							1/2P	P3113	34	3,7
3,7	35	" "									10921 / 10921							" "	36	3,7
3,7	37	P3201	1/2P						11169 / 9804								1/2P	P3114	38	3,7
3,7	39	" "								10921 / 10331								" "	40	3,7
3,7	41	P3202	1/2P								11169 / 9804						1/2P	P3115	42	3,7
3,7	43	" "							10921 / 10331									" "	44	3,7
3,7	45	P3203	1/2P							9804 / 9804							1/2P	P3117	46	3,7
3,7	47	" "									10331 / 10331							" "	48	3,7
3,7	49	P3204	1/2P						11169 / 11169								1/2P	P3401	50	3,7
3,7	51	" "								10921 / 10921								" "	52	3,7
3,7	53	P3205	1/2P								9804 / 11169						1/2P	P3402	54	3,7
3,7	55	" "							10331 / 10921									" "	56	3,7
3,7	57	P3206	1/2P							9808 / 9804							1/2P	P3403	58	3,7
3,7	59	" "									9808 / 10331							" "	60	3,7
3,7	61	P3207	1/2P						9804 / 11169								1/2P	P3404	62	3,7
3,7	63	" "								10331 / 10921								" "	64	3,7
3,7	65	P3208	1/2P								9808 / 9804						1/2P	P3405	66	3,7
3,7	67	" "							10331 / 10331									" "	68	3,7
3,7	69	P3209	1/2P							9804 / 9808							1/2P	P3406	70	3,7
3,7	71	" "									10331 / 9808							" "	72	3,7
3,7	73	P3210	1/2P						9804 / 9804								1/2P	P3407	74	3,7
3,7	75	" "								10331 / 10331								" "	76	3,7
3,7	77	P3211	1/2P								9804 / 9804						1/2P	P3408	78	3,7
3,7	79	" "							10331 / 10331									" "	80	3,7
3,7	81	P3212	1/2P							9804 / 9804							1/2P	P3409	82	3,7
3,7	83	" "									10331 / 10331							" "	84	3,7
3,7	85	P3213	1/2P						11169 / 9804								1/2P	P3410	86	3,7
3,7	87	" "								10921 / 10331								" "	88	3,7
3,7	89	P3214	1/2P								9804 / 9804						1/2P	P3411	90	3,7
3,7	91	" "							10331 / 10331									" "	92	3,7
3,7	93	P3215	1/2P							9804 / 9804							1/2P	P3412	94	3,7
3,7	95	" "									10331 / 10331							" "	96	3,7
3,7	97	P3217	1/2P						9804 / 11169								1/2P	P3413	98	3,7
3,7	99	" "								10331 / 10921								" "	100	3,7
3,7	101	P3301	1/2P								11169 / 9804						1/2P	P3414	102	3,7
3,7	103	" "							10921 / 10331									" "	104	3,7
3,7	105	P3302	1/2P							11169 / 9804							1/2P	P3415	106	3,7
3,7	107	" "									10921 / 10331							" "	108	3,7
3,7	109	P3303	1/2P						9804 / 9804								1/2P	P3417	110	3,7
3,7	111	" "								10331 / 10331								" "	112	3,7
3,7	113	P3304	1/2P								11169 /									
3,7	115	" "							10921 /											
									SUBTOTAL (VA):	404914	391914	329511								
									CONTINUOUS:	0	0	0								
									AMPS @ 120:	3374	3266	2746								

DEMAND LOAD SUMMARY

TOTAL UNIT COUNT @ PANEL =	57	
RESIDENTIAL PANEL LOAD =	1114338 VA	
MULTI-FAMILY (CEC TABLE 220.84)		
56 @ UNITS (54%)	282210 VA	
ADJUSTED DEMAND LOAD =	282321 VA	
	704 AMPS AT 120/208V, 3-PHASE	

MURRIETA BUILDING 3 -- FEEDER SCHEDULE

FEEDER NO.	LOAD DESIGNATION	AMPACITY: TFK NEC 310-15(B)(16)	AMPACITY: BFK NEC 310-15(B)(16)	AMPACITY: DERATED AMPACITY PER 90% NEC TABLE 310.15(B)(2)(a)	CONDUIT SIZE: #	CONDUIT SIZE: SPECIFICATION	FEEDER SPECIFICATION: #	SPECIFICATION	*	#	GND. SPECIFICATION	EA.	ESTIMATED CONDUCTOR LENGTH (LF) (SEE NOTE #1)	CALCULATED VOLTAGE DROP: CALCULATED PER FEEDER	CALCULATED VOLTAGE DROP: TOTAL FROM SOURCE	AMPS INTERRUPTING CAPACITY (AIC) (SEE NOTE #2)
*26	M383				6	F.C.O.	CONDUIT ONLY. PROVIDE W/ PULL ROPE AS PER SES HANDOUT PACKAGE.						SEE HANDOUT	SEE HANDOUT	SEE HANDOUT	65,000
*27	MMC3	310	310	310			310				310		20	310	310	310
*28	P3101	310	310	310			310				310		15	310	310	310
*29	L34	310	310	310			310				310		30	310	310	310
*30	L36	310	310	310			310				310		125	310	310	310
*31	HVAC	310	310	310			310				310		15	310	310	310
*32	HVAC	310	310	310			310				310		15	310	310	310
*33	HVAC	310	310	310			310				310		15	310	310	310
*34	P3101	310	310	310			310				310		110	310	310	310
*35	P3A	310	310	310			310				310		30	310	310	310
*36	P3B	310	310	310			310				310		30	310	310	310
*37	HVAC	310	310	310			310				310		25	310	310	310
*38	HVAC	310	310	310			310				310		145	310	310	310
*39A	ELEVATOR 3 DISC	310	310	310			310				310		310	310	310	310
*39B	ELEVATOR 3 CONTROL	310	310	310			310				310		310	310	310	310
*40	P3A-1	310	310	310			310				310		310	310	310	310
*41	P3-SO-AP	310	310	310			310				310		310	310	310	310
*42	P3-SO-AP	310	310	310			310				310		310	310	310	310
RESIDENTIAL FEEDERS																
*3101	P3101	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	250	3.39	310	310
*3102	P3102	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	245	3.33	310	310
*3103	P3103	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	215	3.35	310	310
*3104	P3104	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	185	2.90	310	310
*3105	P3105	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	145	2.29	310	310
*3107	P3107	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	50	0.79	310	310
*3108	P3108	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	95	1.50	310	310
*3111	P3111	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	55	0.87	310	310
*3113	P3113	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	125	1.97	310	310
*3301	P3201	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	245	3.82	310	310
*3302	P3202	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	190	2.97	310	310
*3303	P3203	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	120	1.87	310	310
*3304	P3204	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	205	1.95	310	310
*3305	P3205	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	180	1.71	310	310
*3306	P3206	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	160	2.79	310	310
*3307	P3207	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	155	2.25	310	310
*3308	P3208	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	140	2.03	310	310
*3309	P3209	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	20	1.14	310	310
*3310	P3210	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	90	1.34	310	310
*3311	P3211	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	60	1.16	310	310
*3312	P3212	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	141	2.16	310	310
*3313	P3213	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	190	2.04	310	310
*3314	P3214	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	208	2.95	310	310
*3315	P3215	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	125	2.54	310	310
*3317	P3217	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	155	1.94	310	310
*3401	P3301	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	195	2.98	310	310
*3402	P3302	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN CU	+	1	#2 AWG THHN CU, GND.	-	195	2.98	310	310
*3403	P3303	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	160	2.79	310	310
*3404	P3304	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	155	2.25	310	310
*3405	P3305	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	140	2.03	310	310
*3406	P3306	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	20	1.14	310	310
*3407	P3307	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	90	1.34	310	310
*3408	P3308	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	60	1.16	310	310
*3409	P3309	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	141	2.16	310	310
*3410	P3310	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	190	2.04	310	310
*3411	P3311	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	208	2.95	310	310
*3412	P3312	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	125	2.54	310	310
*3413	P3313	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	155	1.94	310	310
*3414	P3314	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	95	1.38	310	310
*3415	P3315	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	95	1.38	310	310
*3416	P3316	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	95	1.38	310	310
*3417	P3317	110A	125A	-	-	SE CABLE	3	#1/0 AWG THHN AL	+	1	#1 AWG THHN AL, GND.	-	155	2.44	310	310

NOTES:
1. CONDUCTOR LENGTH WAS BEEN PROVIDED AS THE BASIS OF DESIGN FOR BOTH VOLTAGE DROP AND A.I.C. CALCULATION. CONDUCTOR LENGTH NOTED SHALL NOT BE USED FOR BIDDING OR PROCUREMENT PURPOSE. SHOULD THE ACTUAL CONDUCTOR LENGTH DIFFER FROM WHAT HAS BEEN SPECIFIED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR REVIEW AND RE-CALCULATION AS MAY BE NECESSARY.
2. ELECTRICAL DISTRIBUTION EQUIPMENT SHALL BE RATED TO WITHSTAND A MINIMUM OF 65K CALCULATED SHORT CIRCUIT CURRENT AS REQUIRED. THE VALUE NOTED HAS BEEN INCLUDED FOR REFERENCE ONLY AND SHALL NOT BE USED FOR THE OVERCURRENT PROTECTIVE DEVICE COORDINATION STUDY.

PANEL SCHEDULE NOTES

PANEL SCHEDULE LOAD TYPE INDEX:
C = CONTINUOUS LOAD (OPERABLE FOR 3 HOURS OR MORE. LOAD CALCULATED AT 125% OF TOTAL CONNECTED LOAD)
K = KITCHEN APPLIANCE LOAD. SUBJECT TO DEMAND FACTOR PER NEC 220.53 IF GREATER THAN EQUAL TO FOUR APPLIANCES.
M = MECHANICAL LOAD. NO DEMAND FACTOR APPLIED
R = RECEPTACLE LOAD
O = OTHER LOAD

GENERAL NOTES:
- VOLTAGE DROP CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE TO 2016 CALIFORNIA ENERGY CODE STANDARDS (TITLE 24, ELECTRICAL POWER DISTRIBUTION). CONDUCTOR LENGTH INDICATED SHALL NOT BE USED FOR BIDDING AND PROCUREMENT PURPOSE. FIELD COORDINATE CONDUCTOR LENGTH REQUIRED AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
- FOR CIRCUITS WITH MULTIPLE LOADS (I.E. RECEPTACLES, LIGHTING) THE CIRCUIT ESTIMATED LENGTH IS DETERMINED BY THE FURTHEST DEVICE LOCATION.
- WHERE BRANCH CIRCUITS HAVE NOT BEEN LOADED TO THE MAXIMUM ALLOWABLE CIRCUIT CAPACITY, VOLTAGE DROP CALCULATION IS HAVE BEEN PREPARED BASED ON CONNECTED LOAD INDICATED, UNLESS OTHERWISE NOTED.

VOLTAGE DROP CALCULATION:

VOLTAGE DROP (%) = (2 x OHMS PER 1000 LF x CONDUCTOR LENGTH x AMPS) / (1000 x QTY OF WIRES PER PHASE)

SCHEDULE SPECIFIC NOTES:

1. VERIFY LOAD, CIRCUIT BREAKER, AND CONDUCTOR SIZE WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
2. REFER TO SINGLE LINE DIAGRAM FOR CIRCUIT BREAKER AND CONDUCTOR SIZE.
3. "SHUNT TRIP" TYPE BREAKER REQUIRED.
4. PROVIDE CIRCUIT BREAKER LOCKING DEVICE.

SE CABLE INSTALLATION

1. CONSULT CEC ARTICLE 310 FOR ELECTRICAL SYSTEM INSTALLATION REQUIREMENTS, WITH SPECIAL ATTENTION TO THE INSTALLATION OF SE CABLE. SHALL ADHERE TO THE REQUIREMENTS OF NEC 310.15(B)(3). SPACING BETWEEN SE CABLE SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO THE ELECTRICAL INSPECTOR.
2. SE CABLE PENETRATION THROUGH BUILDING STRUCTURE SHALL BE INSTALLED IN ACCORDANCE TO STRUCTURAL ENGINEER OF RECORD REQUIREMENTS AS DETAILED ON APPROVED STRUCTURAL ENGINEERING DRAWINGS.
3. IN THE EVENT THAT SE CABLING AND PIPING WET BUILDING SYSTEMS (IE WATER, WASTE, CONDENSATE, ETC) ARE SCHEDULED TO BE INSTALLED WITHIN THE SAME CEILING CAVITY, ELECTRICAL CABLING INSTALLATION SHALL BE PHYSICALLY ABOVE WET PIPING.

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EXPIRES 12.31.2021

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 3

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-040

INITIAL B&S SUBMITTAL

11/8/2022 2:21:18 PM
E:\Revit 2019 Projects\Murrieta_B3_R19.0.rvt

TYPICAL UNIT PANEL 1 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

REF SHEET E-000 ALL PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG-IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (YAR 15)
NEMA: 1
MOUNTING: FLUSH
FED FROM: MMC

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,4	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4200		R	0.9	0.94	30	6	30/2	RANGE	2	4
3,4	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4200	R	0.9	0.94	30	6		-	4	4
3,4,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	R	1200 / 1716		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,4	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	50	1.16	0.9	R		840 / 1248	M	0.8	1.13	75	10		-	8	4
3,4,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	R	300 / 13		M	0.8	0.00	50	12	20/1 AFCI	ICA	10	3,4,10
3,4,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	R		1200							SPACE	12	
3,4	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C	500								SPACE	14	
3,4	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.73	0.7	C		500							SPACE	16	
3,4,11	17	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.73	0.7	C	500								SPACE	18	
	19	SPACE															SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	9581	9500									
								CONTINUOUS	0	1500									
								AMPS @ 120	80	84									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	*	19496	VA
MECHANICAL LOAD SUM	*	2537	VA
1ST 10KVA @ 100%	*	10000	VA
REM OVER 10KVA @ 40%	*	3796	VA
MECHANICAL LOAD SUM	*	2537	VA
ADJUSTED DEMAND LOAD	*	13333	VA
		74	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 2 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

REF SHEET E-000 ALL PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG-IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (YAR 15)
NEMA: 1
MOUNTING: FLUSH
FED FROM: MMC

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,4	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4200		R	0.9	0.94	30	6	30/2	RANGE	2	4
3,4	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4200	R	0.9	0.94	30	6		-	4	4
3,4,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	R	1200 / 1716		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,4	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	50	1.16	0.9	R		840 / 1248	M	0.8	1.13	75	10		-	8	4
3,4,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	R	300 / 13		M	0.8	0.00	50	12	20/1 AFCI	ICA	10	3,4,10
3,4,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	R		1200							SPACE	12	
3,4	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.76	0.7	C	500								SPACE	14	
3,4	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.76	0.7	C		550							SPACE	16	
3,4	17	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.76	0.7	C	550								SPACE	18	
3,4,11	19	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.76	0.7	C		500							SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	9574	9206									
								CONTINUOUS	0	1500									
								AMPS @ 120	80	84									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	*	20135	VA
MECHANICAL LOAD SUM	*	2645	VA
1ST 10KVA @ 100%	*	10000	VA
REM OVER 10KVA @ 40%	*	3826	VA
MECHANICAL LOAD SUM	*	2645	VA
ADJUSTED DEMAND LOAD	*	13471	VA
		75	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 3 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

REF SHEET E-000 ALL PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG-IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (YAR 15)
NEMA: 1
MOUNTING: FLUSH
FED FROM: MMC

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,4	1	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R	1500 / 4200		R	0.6	0.94	30	6	30/2	RANGE	2	4
3,4	3	SMALL APPLIANCE	20/1 AFCI	12	50	2.06	0.6	R		1500 / 4200	R	0.6	0.94	30	6		-	4	4
3,4,8	5	DISHWASHER	20/1 AFCI/GFCI	12	50	1.65	0.9	R	1200 / 1612		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	8
3,4	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	50	1.16	0.9	R		840 / 1631	M	0.8	1.13	75	10		-	8	4
3,4,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	50	0.41	0.9	R	300 / 13		M	0.8	0.00	50	12	20/1 AFCI	ICA	10	3,4,10
3,4,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	50	1.65	0.9	R		1200							SPACE	12	
3,4	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	14	
3,4	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C		600							SPACE	16	
3,4	17	LIGHTING/RECEPTACLES	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	18	
3,4,11	19	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.85	0.7	C		600							SPACE	20	
3,4,11	21	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	50	0.85	0.7	C	600								SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA)	5184	5043									
								CONTINUOUS	600	1200									
								AMPS @ 120	54	59									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	*	22099	VA
MECHANICAL LOAD SUM	*	1873	VA
1ST 10KVA @ 100%	*	10000	VA
REM OVER 10KVA @ 40%	*	3526	VA
MECHANICAL LOAD SUM	*	1873	VA
ADJUSTED DEMAND LOAD	*	14801	VA
		81	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

MAIN SWITCH BOARD "MSB3"

TYPE: SWITCHBOARD
BUS: 2000A
120/208V, 3-PHASE, 4W
2,000A MAIN CIRCUIT BREAKER 100% RATED

REF SHEET E-000 ALL PANEL & BRANCH CIRCUITS

PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FED FROM: SCE TRANSFORMER

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	"MAIN DP"		-	-	-	-	-	94107 / 77818							-		DP3	3	3
3,7	3	"	1/3							94107 / 77801							1/3	"	4	3
3,7	5	"									94107 / 75874							"	6	3
3	7	"HPWS"							20000										8	
3	9	"	1/3							24960									10	
3	11	"		-	-	-	-	-			24960								12	
								SUBTOTAL (VA)	320099	195599	194667									
								CONTINUOUS	0	0	0									
								AMPS @ 120	1778	1086	1082									

LARGE TENANT MAIN "DP3"

TYPE: SWITCHBOARD
BUS: 800A
120/208V, 3-PHASE, 4W
800A MAIN CIRCUIT BREAKER

REF SHEET E-000 ALL PANEL & BRANCH CIRCUITS

PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FED FROM: MSB3

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3	1	"LSM"		-	-	-	-	-	7667 / 9440			-	-	-	-	-		"PSM"	2	3
3	3	"	1/3	-	-	-	-	-		7667 / 9720							1/3	"	4	3
3	5	"									7667 / 10720							"	6	3
3	7	"LSB"							7667 / 10720									"MPSM"	8	3
3	9	"	1/3	-	-	-	-	-		7667 / 10720		-	-	-	-	-	1/3	"	10	3
3	11	"									7667 / 10804	-	-	-	-	-		"	12	3
3	13	"PDU"							9504 / 13921									"MPSM"	14	3
3	15	"	1/3	-	-	-	-	-		9504 / 13804		-	-	-	-	-	1/3	"	16	3
3	17	"		-	-	-	-	-			9504 / 13804	-	-	-	-	-		"	18	3
3	19	"PSM"							17240									(P) BATTERY STORAGE	20	3
3	21	"	1/3							16160							1/3	"	22	3
3	23	"		-	-	-	-	-			19134	-	-	-	-	-		"	24	3
3	25	ELEVATOR							5504									(N) SOLAR	26	3
3	27	"	1/3	-	-	-	-	-		5504		-	-	-	-	-	1/3	"	28	3
3	29	"		-	-	-	-	-			5504	-	-	-	-	-		"	30	3
								SUBTOTAL (VA)	77818	71501	75304									
								CONTINUOUS	0	0	0									
								AMPS @ 120	649	596	628									

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES-
BUILDING 3

NO	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-041

INITIAL B&S SUBMITTAL

5/2/2022 2:21:28 PM
E:\B&S 2021\Murrieta_BLDG 3.dwg

PANEL "PC1"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-001 FOR AIC PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 STORAGE
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	STORAGE RECEPTACLES	20/1	12	10	0.001	0.6	R	180			-	-	-	-	-	-	SPACE	2	
	3	LEASING 1 RECEPTACLES	20/1	12	40	0.069	0.6	R		720		-	-	-	-	-	-	SPACE	4	
	5	LEASING 1 SW RECEPTACLES	20/1	12	20	0.030	0.6	R			360	-	-	-	-	-	-	SPACE	6	
	7	COMPUTER BAR RECEPTACLES	20/1	12	60	0.089	0.6	R	540			-	-	-	-	-	-	SPACE	8	
	9	COMPUTER BAR SW RECEPTACLES	20/1	12	60	0.089	0.6	R		540		-	-	-	-	-	-	SPACE	10	
	11	COMMUNITY ROOM 1 RECEPTACLES	20/1	12	125	0.48	0.6	R			720	-	-	-	-	-	-	SPACE	12	
	13	COMMUNITY ROOM 1 SW RECEPTACLES	20/1	12	130	0.39	0.6	R	540			-	-	-	-	-	-	SPACE	14	
	15	REFRIGERATOR	20/1	6	120	2.19	0.9	R		720		-	-	-	-	-	-	SPACE	16	
	17	SPA	30/2	8	120	3.04	0.8	M			1744	-	-	-	-	-	-	SPACE	18	
	19	-		8	120	3.04	0.8	M	1744			-	-	-	-	-	-	SPACE	20	
	21	SPA 2	30/2	8	70	1.19	0.8	M		1744		-	-	-	-	-	-	SPACE	22	
	23	-		8	70	1.19	0.8	M			1744	-	-	-	-	-	-	SPACE	24	
	25	SPACE										-	-	-	-	-	-	SPACE	26	
	27	SPACE										-	-	-	-	-	-	SPACE	28	
	29	SPACE										-	-	-	-	-	-	SPACE	30	
								SUBTOTAL (VA)	2884	4884	6344									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	24	41	53									

PANEL "PEV3"

TYPE: PANELBOARD
BUS: 400A
120/208V, 3-PHASE, 4W
MAIN LUGS ONLY

SEE SHEET E-001 FOR AIC PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "TM 3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	(F) CHARGER	40/2	-	-	-	-	C	3328			C					40/2	(F) CHARGER	2	
	3	-		-	-	-	-	C	3328			C	-	-	-	-		-	4	
	5	(F) CHARGER	40/2	-	-	-	-	C		3328		C					40/2	(F) CHARGER	6	
	7	-						C		3328		C	-	-	-	-		-	8	
	9	(F) CHARGER	40/2					C			3328	C					40/2	(F) CHARGER	10	
	11	-						C			3328	C						-	12	
	13	(F) CHARGER	40/2	-	-	-	-	C	3328			C				-	40/2	(F) CHARGER	14	
	15	-		-	-	-	-	C	3328			C	-	-	-	-		-	16	
	17	(F) CHARGER	40/2	-	-	-	-	C		3328		C					40/2	(F) CHARGER	18	
	19	-						C		3328		C						-	20	
	21	SPACE	1/0					C				C					1/0	SPACE	22	
	23	-						C				C						-	24	
	25	SPACE	1/0	-	-	-	-	C				C	-	-	-	-	1/0	SPACE	26	
	27	-		-	-	-	-	C				C	-	-	-	-		-	28	
	29	SPACE	1/0					C				C	-	-	-	-	1/0	SPACE	30	
								SUBTOTAL (VA)	26624	19968	19968									
								CONTINUOUS (VA)	6656	6656	6656									
								AMPS @ 120	277	208	208									

PANEL "P3A"

TYPE: PANELBOARD
BUS: 200A
120/208V, 3-PHASE, 4W
200A MAIN CIRCUIT BREAKER

SEE SHEET E-001 FOR AIC PANEL & BRANCH CIRCUITS
34 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	GROUND FLOOR CORRIDOR JAN #	20/1	8	260	2.00	0.6	R	720			P	0.6	1.93	115	12	20/1	BAG CLUB ROOM 3 N RECEPTACLES	2	
	3	MPOE	20/1	12	70	0.69	0.6	R		720		R	0.6	2.23	100	12	20/1	BAG CLUB ROOM 3 N RECEPTACLES	4	
	5	FACP	20/1	12	75	0.40	0.80	G			360	R	0.6	1.39	100	12	20/1	3 PRESCHOOL DRINK FOUNTAIN RECEPTACLES	6	
	7	GROUND FLOOR WASHER 1	20/1	12	30	1.24	0.8	M	1900			R	0.6	1.29	100	12	20/1	OFFICE 1 RECEPTACLES	8	
	9	GROUND FLOOR WASHER 2	20/1	12	30	1.24	0.8	M		1900		R	0.6	1.29	100	12	20/1	OFFICE 1 SW RECEPTACLES	10	
	11	GROUND FLOOR DRYER 1	30/2	10	30	0.86	0.8	M			2500	R	0.6	1.71	115	12	20/1	BAG CLUB RECEPTACLES & GAME ROOM #	12	
	13	-		10	30	0.86	0.8	M			2500	R	0.6	1.78	110	12	20/1	OFFICE 2 RECEPTACLES	14	
	15	GROUND FLOOR DRYER 2	30/2	10	30	0.86	0.8	M	2500			R	0.6	1.09	110	12	20/1	OFFICE 2 SW RECEPTACLES	16	
	17	-		10	30	0.86	0.8	M		2500		R	0.6	1.41	93	12	20/1	BAG CLUB ROOM 1 N RECEPTACLES	18	
	19	2ND FLOOR 1 CORRIDOR #	20/1	10	240	2.25	0.6	R	540			R	0.6	1.08	93	12	20/1	BAG CLUB ROOM 1 N RECEPTACLES	20	
	21	2ND FLOOR 1 CORRIDOR #	20/1	12	125	1.34	0.6	R		540		R	0.6	1.56	100	12	20/1	WARMING KITCHEN RECEPTACLES	22	
	23	2ND FLOOR IDF	20/1	12	80	0.79	0.6	R			360	R	0.6	2.33	100	12	20/1	GARBAGE DISPOSAL (TOP)	24	
	25	2ND FLOOR WASHER 1	20/1	12	45	.84	0.8	M	1900		1176	R	0.6	0.47	85	12	20/1	WARMING KITCHEN RECEPTACLES	26	
	27	2ND FLOOR WASHER 2	20/1	12	45	.84	0.8	M		1900		R	0.6	1.04	128	12	20/1	1 RESTROOM RECEPTACLES	28	
	29	2ND FLOOR DRYER 1	30/2	10	45	1.29	0.8	M	2500			R	0.6	2.00	145	12	20/1	COMMUNITY CORRIDOR RECEPTACLES	30	
	31	-		10	45	1.29	0.8	M		2500		R	0.6	2.26	115	12	20/1	SUPPORT SERVICES RECEPTACLES	32	
	33	2ND FLOOR DRYER 2	30/2	10	45	1.29	0.8	M	2500			R	0.6	1.14	115	12	20/1	SUPPORT SERVICES SW RECEPTACLES	34	
	35	-		10	45	1.29	0.8	M		2500		R	0.6	2.67	135	12	20/1	HOPE THROUGH HOUSING RECEPTACLES	36	
	37	FANCOIL	30/2	6	95	.74	0.9	R	4.00			R	0.6	3.34	135	12	20/1	HOPE THROUGH HOUSING SW RECEPTACLES	38	
	39	-		6	95	.79	0.9	R		4.00		R	0.6	2.67	145	12	20/1	LEASING 2 RECEPTACLES	40	
	41	SPACE	-	-	-	-	-	-			360	R	0.6	1.44	145	12	20/1	LEASING 2 SW RECEPTACLES	42	
	43	SPACE	-															SPACE	44	
	45	SPACE	-															SPACE	46	
	47	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	48	
	49	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	50	
	51	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	52	
	53	SPACE	-	-	-	-	-	-				-	-	-	-	-	-	SPACE	54	
								SUBTOTAL (VA)	10240	16140	13160									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	86	135	110									

PANEL "P3B"

TYPE: PANELBOARD
BUS: 150A
120/208V, 3-PHASE, 4W
150A MAIN CIRCUIT BREAKER

SEE SHEET E-001 FOR AIC PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 LEVEL 3 SIDE
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	3RD FLOOR 3 CORRIDOR JAN RECEPTACLES	20/1	12	250	2.83	0.6	R	540			-	-	-	-	-	-	SPACE	2	
	3	3RD FLOOR 3 CORRIDOR RECEPTACLES	20/1	12	125	1.04	0.6	R		360		-	-	-	-	-	-	SPACE	4	
	5	3RD FLOOR IDF	20/1	12	10	0.13	0.6	R			360	-	-	-	-	-	-	SPACE	6	
	7	3RD FLOOR WASHER 1	20/1	12	40	2.46	0.8	M	1900			-	-	-	-	-	-	SPACE	8	
	9	3RD FLOOR WASHER 2	20/1	12	35	2.09	0.8	M		1900		-	-	-	-	-	-	SPACE	10	
	11	3RD FLOOR DRYER 1	30/2	10	60	1.72	0.8	M			2500	-	-	-	-	-	-	SPACE	12	
	13	-		10	60	1.72	0.8	M	2500			-	-	-	-	-	-	SPACE	14	
	15	3RD FLOOR DRYER 2	30/2	10	70	2.00	0.8	M		2500		-	-	-	-	-	-	SPACE	16	
	17	-		10	70	2.00	0.8	M			2500	-	-	-	-	-	-	SPACE	18	
	19	4TH FLOOR 3 CORRIDOR JAN RECEPTACLES	20/1	8	225	1.98	0.6	R	720			-	-	-	-	-	-	SPACE	20	
	21	4TH FLOOR 3 CORRIDOR JAN RECEPTACLES	20/1	12	125	1.04	0.6	R		360		-	-	-	-	-	-	SPACE	22	
	23	4TH FLOOR IDF	20/1	12	25	0.21	0.6	R			360	-	-	-	-	-	-	SPACE	24	
	25	4TH FLOOR WASHER 1	20/1	12	75	1.94	0.8	M	1900			-	-	-	-	-	-	SPACE	26	
	27	4TH FLOOR WASHER 2	20/1	12	65	2.00	0.8	M		1900		-	-	-	-	-	-	SPACE	28	
	29	4TH FLOOR DRYER 1	30/2	10	75	2.15	0.8	M			2500	-	-	-	-	-	-	SPACE	30	
	31	-		10	75	2.15	0.8	M	2500			-	-	-	-	-	-	SPACE	32	
	33	4TH FLOOR DRYER 2	30/2	10	85	2.43	0.8	M		2500		-	-	-	-	-	-	SPACE	34	
	35	-		10	85	2.43	0.8	M			2500	-	-	-	-	-	-	SPACE	36	
	37	ROOF RECEPTACLE	20/1	12	60	0.83	0.6	R	180			-	-	-	-	-	-	SPACE	38	
	39	SPACE	-	-	-	-						-	-	-	-	-	-	SPACE	40	
	41	SPACE																SPACE	42	
								SUBTOTAL (VA)	4460	6720	5040									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	38	56	42									

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 3

NO.	REVISION	BY	DATE
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△			
△			
△			
△			
△			

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-042

INITIAL B&S SUBMITTAL

5/20/2022 2:31:28 PM
ERM 360 Murrieta Murrieta_BLDG 3.rvt

PANEL "L3A"

TYPE: PANELBOARD
BUS: 100A
208/120V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH FOR PANEL GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1																		2	
	3																		4	
	5																		6	
	7																25/1	INV3A*	8	3
	9																		10	
	11																		12	
	13																		14	
	15																		16	
	17																		18	
	19																		20	
	21																		22	
	23																		24	
	25																		26	
	27																		28	
	29																		30	
	31																		32	
	33																		34	
	35																		36	
	37																		38	
	39																		40	
	41																		42	

SUBTOTAL (VA)	0	0	0
CONTINUOUS	0	0	0
AMPS @ 120	0	0	0

PANEL "MP3A"

TYPE: PANELBOARD
BUS: 400A
120/208V, 3-PHASE, 4W
400A MAIN CIRCUIT BREAKER

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	SA-9	20/1	12	230	0.13	0.8	M	25 / 4000			M	0.8	2.57	95	6	40/1	WH-17	2	
	3	D-20	20/1	12	45	0.02	0.8	M		11 / 4000										
	5	WH-13	100/1	12	45	1.13	0.8	M			2184 / 4000	M	0.8	2.57	95	6	40/1	WH-17	4	
	7	*		12	45	1.13	0.8	M	2184 / 4000			M	0.8	6.09	120	12	20/1	D-18 EP-19	6	
	9	WH-14	30/2	10	40	1.00	0.8	M		2184 / 4000		M	0.8	6.10	145	12	20/1	SA-18	8	
	11	*		10	40	1.00	0.8	M			2184 / 4000	M	0.8	6.10	145	12	20/1	SA-19	10	
	13	WH-15	50/2	6	35	0.79	0.8	M	4000 / 3000			M	0.8	6.45	125	12	20/2	EF-21	12	
	15	*		6	35	0.79	0.8	M		3000 / 4000		M	0.8	6.45	125	12		*	14	
	17	HP-3	40/2	6	150	2.63	0.8	M	3744 / 5			M	0.8	6.16	240	12	20/1	SA-21	16	
	19	*		6	150	2.63	0.8	M		3744 / 5		M	0.8	6.02	135	12	20/1	EF-20	18	
	21	HP-4	40/2	6	120	2.04	0.8	M	3744 / 13			M	0.8	6.02	60	12	20/1	ES-20	20	
	23	*		6	120	2.04	0.8	M		3744 / 3000		M	0.8	1.13	50	6	30/2	WH-20	22	
	25	HP-5	45/2	6	120	1.96	0.8	M	3744 / 3000			M	0.8	1.12	50	6			24	
	27	*		6	120	1.96	0.8	M		3744 / 75		M	0.8	6.12	175	12	20/1	SA-22	26	
	29	WH-30	40/1	6	120	2.64	0.8	M			4000							SPACE	28	
	31	WH-31	40/1	6	95	2.57	0.8	M	4000									SPACE	30	
	33	EF-18 SA-17	20/1	12	115	0.05	0.8	M		9								SPACE	32	
	35	WH-18	40/1	6	50	1.38	0.8	M			4000							SPACE	34	
	37	SA-10	20/1	12	85	0.06	0.8	M	75									SPACE	36	
	39	SPACE	-	-	-	-	-											SPACE	40	
	41	SPACE																SPACE	42	

SUBTOTAL (VA)	7720	10215	2495
CONTINUOUS (VA)	0	0	0
AMPS @ 120	64	85	21

PANEL "L3B"

TYPE: PANELBOARD
BUS: 100A
208/120V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH FOR PANEL GROUND BUS

LOCATION: BUILDING 3 TOP FLOOR
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1																		2	
	3																		4	
	5																		6	
	7																25/1	INV3B*	8	3
	9																		10	
	11																		12	
	13																		14	
	15																		16	
	17																		18	
	19																		20	
	21																		22	
	23																		24	
	25																		26	
	27																		28	
	29																		30	
	31																		32	
	33																		34	
	35																		36	
	37																		38	
	39																		40	
	41																		42	

SUBTOTAL (VA)	0	0	0
CONTINUOUS	0	0	0
AMPS @ 120	0	0	0

PANEL "MP3B"

TYPE: PANELBOARD
BUS: 225A
120/208V, 3-PHASE, 4W
225A MAIN CIRCUIT BREAKER

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 3 TOP FLOOR
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	SA-13	20/1	12	230	0.17	0.8	M	75									SPACE	2	
	3	EF-24	20/1	12	145	0.02	0.8	M		3								SPACE	4	
	5	EF-29	20/1	12	40	0.00	0.8	M			11							SPACE	6	
	7	WH-23	30/2	6	65	1.47	0.8	M	4000									SPACE	8	
	9	*		6	65	1.47	0.8	M		5000								SPACE	10	
	11	SA-14	20/1	12	85	0.07	0.8	M			13							SPACE	12	
	13	SA-15	20/1	12	275	0.16	0.8	M	75									SPACE	14	
	15	EF-26	20/1	12	30	0.02	0.8	M		3								SPACE	16	
	17	EF-27	20/1	12	45	0.02	0.8	M			15							SPACE	18	
	19	WH-24	50/2	6	50	1.13	0.8	M	5000									SPACE	20	
	21	*		6	50	1.13	0.8	M		5000								SPACE	22	
	23	SA-12	20/1	12	90	0.06	0.8	M			25							SPACE	24	
	25	SPARE	20/1															SPACE	26	
	27	HP-6	45/2	6	70	1.52	0.8	M	3744									SPACE	28	
	29	*		6	70	1.52	0.8	M		3744								SPACE	30	
	31	SPACE	-	-	-	-	-											SPACE	32	
	33	SPACE		-	-	-												SPACE	34	
	35	SPACE			-	-												SPACE	36	
	37	SPACE																SPACE	38	
	39	SPACE																SPACE	40	
	41	SPACE	-	-	-	-	-											INV3C	42	

SUBTOTAL (VA)	10290	11640	1350
CONTINUOUS (VA)	0	0	0
AMPS @ 120	86	97	11

EMERGENCY LIGHTING INVERTER "INV3C"

TYPE: INVERTER
BUS: -
120V, 1-PHASE

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
6 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: ISP
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3B"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	CONNECTED LOAD (VA)	SUBTOTAL (VA)	
	1	SPARE	20/1				0.9	C		0	
	2	SPARE	20/1				0.9	C		0	
	3	SPARE	20/1				0.9	C		0	
	4	SPARE	20/1				0.9	C		0	
	5	SPARE	20/1				0.9	C		0	
	6	SPARE	20/1				0.9	C		0	

TOTAL (VA)		0 VA
AMPS @	120	0 AMPS
INVERTER SIZE		2100 VA
TOTAL INVERTER LOADING %		0% VA

EMERGENCY LIGHTING INVERTER "INV3B"

TYPE: INVERTER
BUS: -
120V, 1-PHASE

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
6 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: ISP
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP3"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	CONNECTED LOAD (VA)	SUBTOTAL (VA)	
	1	SPARE	20/1				0.9	C		0	
	2	SPARE	20/1				0.9	C		0	
	3	SPARE	20/1				0.9	C		0	
	4	SPARE	20/1				0.9	C		0	
	5	SPARE	20/1				0.9	C		0	
	6	SPARE	20/1				0.9	C		0	

TOTAL (VA)		0 VA
AMPS @	120	0 AMPS
INVERTER SIZE		2100 VA
TOTAL INVERTER LOADING %		0% VA

EMERGENCY LIGHTING INVERTER "INV3A"

TYPE: INVERTER
BUS: -
120V, 1-PHASE

SEE SHEET E-020 A/C PANEL & BRANCH CIRCUITS
6 FULL SIZE BOLT ON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: ELEC
NEMA: 1
MOUNTING: SURFACE
FED FROM: "L3A"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	CONNECTED LOAD (VA)	SUBTOTAL (VA)	
	1	SPARE	20/1				0.9	C		0	
	2	SPARE	20/1				0.9	C		0	
	3	SPARE	20/1				0.9	C		0	
	4	SPARE	20/1				0.9	C		0	
	5	SPARE	20/1				0.9	C		0	
	6	SPARE	20/1				0.9	C		0	

TOTAL (VA)		0 VA
AMPS @	120	0 AMPS
INVERTER SIZE		2100 VA
TOTAL INVERTER LOADING %		0% VA

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 3

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-043

INITIAL B&S SUBMITTAL

5/27/2022 2:31:28 PM
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"MMC4" - RESIDENTIAL METERING SECTION

TYPE: RESIDENTIAL GROUP METERING
BUS: 400A
120/208V, 3-PHASE, 4W
400A MAIN CIRCUIT BREAKER

(SEE SHEET S-500 A/C PANEL & BRANCH CIRCUITS
Full Size Bus Bar
Circuit Breaker Spaces
Provide with Equipment Ground Bus

LOCATION: MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FEED FROM: MBM

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LT	VOLTS	PH	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PH	VOLTS	LT	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	P4101	1/2	-	-	-	-	-	9908	11169		-	-	-	-	-	1/2	P4103	2	3,7
3,7	3	"									9908 / 10970							"	4	3,7
3,7	5	P4107	1/2	-	-	-	-	-			9908 / 9908						1/2	P4104	6	3,7
3,7	7	"							9908 / 9908									"	8	3,7
3,7	9	P4108	1/2	-	-	-	-	-		11169 / 11169							1/2	P4106	10	3,7
3,7	11	"									10970 / 10970							"	12	3,7
3,7	13	P4104	1/2	-	-	-	-	-	9908 / 9908								1/2	P4108	14	3,7
3,7	15	"								9908 / 9908								"	16	3,7
3,7	17	P4106	1/2	-	-	-	-	-			11169 / 11169						1/2	P4110	18	3,7
3,7	19	"							10970 / 10970									"	20	3,7
3,7	21	P4105	1/2	-	-	-	-	-		9908 / 9908							1/2	P4112	22	3,7
3,7	23										9908 / 9908								24	3,7
3,7	25	P4110	1/2	-	-	-	-	-	11169 / 9908								1/2	P4101	26	3,7
3,7	27	"								10970 / 9908								"	28	3,7
3,7	29	P4112	1/2	-	-	-	-	-			9908 / 11169						1/2	P4103	30	3,7
3,7	31	"							9908 / 10970									"	32	3,7
3,7	33	P4101	1/2	-	-	-	-	-		9908 / 9908							1/2	P4101	34	3,7
3,7	35	"									9908 / 9908							"	36	3,7
3,7	37	P4102	1/2	-	-	-	-	-	9908 / 11169								1/2	P4103	38	3,7
3,7	39	"								9908 / 10970								"	40	3,7
									REPRESENT. (VA)	144471	142875	122842								
									CONNECTED (VA)	0	0	0								
									AMPS @ 120	1204	1190	1024								

DEMAND LOAD SUMMARY
TOTAL UNIT COUNT IN PANEL = 20
RESIDENTIAL PANEL LOAD = 415429 VA
MULTI-FAMILY (SEE TABLE 220.84)
18-20 UNITS (MFR) 150943 VA
REQUIRED DEMAND LOAD = 150943 VA
435 AMPS AT 120/208V, 3-PHASE

MURIETTA BUILDING 4 -- FEEDER SCHEDULE

FEEDER NO.	LOAD DESIGNATION	AMPACITY: FPC NEC 310-15(B)(16)	AMPACITY: NPC NEC 310-15(B)(16)	AMPACITY: DERATED AMPACITY PER 90°C NEC TABLE 310.15(B)(16)	CONDUIT SIZE: #	CONDUIT SIZE: SPECIFICATION	FEEDER SPECIFICATION: #	SPECIFICATION	#	#	GND. SPECIFICATION	EA.	ESIMATED CONDUCTOR LENGTH (LF) (SEE NOTE #1)	CALCULATED VOLTAGE DROP: CALCULATED PER FEEDER	CALCULATED VOLTAGE DROP: TOTAL FROM SOURCE	AMPS INTERRUPTING CAPACITY (AIC) (SEE NOTE #1,2)
F14	MBM				4	4" C.O.	CONDUIT ONLY, PROVIDE WITH FULL ROPE AS PER SCE HANDOUT PACKAGE.									
F15	MMC4	180	180	180		180	180			180			30	SEE HANDOUT	SEE HANDOUT	SEE HANDOUT
F16	LAA	180	180	180		180	180			180			30	180	180	180
F17	MMA3	180	180	180		180	180			180			30	180	180	180
F18	PAA	180	180	180		180	180			180			30	180	180	180
F19	PAB	180	180	180		180	180			180			30	180	180	180
F20	MMA4	180	180	180		180	180			180			30	180	180	180
F21	MMB	180	180	180		180	180			180			30	180	180	180
F22A	1122 ASCH 3 DOC	180	180	180		180	180			180			30	180	180	180
F22B	1122 ASCH 3 OWN. PM	180	180	180		180	180			180			30	180	180	180
F23	MMB	180	180	180		180	180			180			30	180	180	180
F24	1122 ASCH 3	180	180	180		180	180			180			30	180	180	180
F25	MMC	180	180	180		180	180			180			30	180	180	180
F26	MMA4	180	180	180		180	180			180			30	180	180	180
F4100	P4100	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	70	1.08	1.63	180
F4102	P4102	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	91	1.39	1.92	180
F4103	P4103	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	115	1.80	1.92	180
F4104	P4104	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	80	1.22	1.83	180
F4105	P4105	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	110	1.72	1.92	180
F4106	P4106	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	139	2.17	1.92	180
F4110	P4110	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	140	2.17	1.83	180
F4112	P4112	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	205	3.25	1.83	180
F4201	P4201	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	85	1.32	1.83	180
F4202	P4202	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	70	1.08	1.63	180
F4203	P4203	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	100	1.24	1.63	180
F4204	P4204	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	100	1.43	1.63	180
F4206	P4206	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	125	1.84	1.63	180
F4208	P4208	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	170	2.43	1.63	180
F4210	P4210	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	195	2.61	1.63	180
F4212	P4212	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	243	2.72	1.63	180
F4301	P4301	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	100	1.43	1.63	180
F4303	P4303	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	145	2.07	1.63	180
F4401	P4401	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	115	1.64	1.63	180
F4403	P4403	125A	100A	-	-	3# CABLE	3	1	#1/0 AWG 8min AL.	+	1	#2 AWG 8min AL. GND.	160	2.50	1.63	180

NOTES:
1. CONDUCTOR LENGTH WAS PREVIOUSLY PROVIDED AS THE BASIS OF DESIGN FOR BOTH VOLTAGE DROP AND A.I.C. CALCULATION. CONDUCTOR LENGTH NOTED SHALL NOT BE USED FOR BIDDING OR PROCUREMENT PURPOSES. SHOULD THE ACTUAL CONDUCTOR LENGTH DIFFER FROM WHAT HAS BEEN SPECIFIED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR REVIEW AND RE-CALCULATION AS MAY BE NECESSARY.
2. ELECTRICAL DISTRIBUTION EQUIPMENT SHALL BE RATED SO THAT IT CAN STAND A MIN. OF THE CALCULATED SHORT CIRCUIT CURRENT AS REQUIRED. THE VALUE NOTED HAS BEEN INCLUDED FOR REFERENCE ONLY AND SHALL BE VERIFIED PER THE DOCUMENT PROJECT MANUAL BY OTHERS COORDINATION STUDY.

PANEL SCHEDULE NOTES

PANEL SCHEDULE LOAD TYPE INDEX:
"C" = CONTINUOUS LOAD: OPERABLE FOR 3 HOURS OR MORE. LOAD CALCULATED AT 125% OF TOTAL CONNECTED LOAD
K = KITCHEN APPLIANCE LOAD, SUBJECT TO 75% DEMAND FACTOR PER NEC 220.53 IF GREATER THAN/EQUAL TO FOUR APPLIANCES
M = MECHANICAL LOAD, NO DEMAND FACTOR APPLIED
R = RECEPTACLE LOAD
G = GENERAL LOAD

GENERAL NOTES:
- VOLTAGE DROP CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE TO 2014 CALIFORNIA ENERGY CODE STANDARDS, TITLE 24, ELECTRICAL POWER DISTRIBUTION. CONDUCTOR LENGTH INDICATED SHALL NOT BE USED FOR BIDDING AND PROCUREMENT PURPOSES. FIELD COORDINATE CONDUCTOR LENGTH REQUIRED AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES.
- FOR CIRCUITS WITH MULTIPLE LOADS (I.E. RECEPTACLES, LIGHTING) THE CIRCUIT ESTIMATED LENGTH IS DETERMINED BY THE FURTHER DEVICE LOCATION.
- WHERE BRANCH CIRCUITS HAVE NOT BEEN LOADED TO THE MAXIMUM ALLOWABLE CIRCUIT CAPACITY, VOLTAGE DROP CALCULATIONS HAVE BEEN PREPARED BASED ON CONNECTED LOAD INDICATED, UNLESS OTHERWISE NOTED.

VOLTAGE DROP CALCULATION:

VOLTAGE DROP (%) = (2 × OHMS PER 1000 LF × CONDUCTOR LENGTH × AMPS) / (1000 × CITY OF WIRES PER PHASE)

SCHEDULE SPECIFIC NOTES:
1. VERIFY LOAD, CIRCUIT BREAKER, AND CONDUCTOR SIZE WITH EQUIPMENT MANUFACTURER SPECIFICATIONS.
2. REFER TO SINGLE LINE DIAGRAM FOR CIRCUIT BREAKER AND CONDUCTOR SIZE.
3. SHUNT TRIP TYPE BREAKER REQUIRED.
4. PROVIDE CIRCUIT BREAKER LOCKING DEVICE.

SE CABLE INSTALLATION

1. CONDUIT (CEC ARTICLE 310) FOR ELECTRICAL SYSTEM INSTALLATION REQUIREMENTS, WITH SPECIAL ATTENTION TO:
   1.1 THE INSTALLATION OF SE CABLE SHALL ADHERE TO THE REQUIREMENTS OF NEC 310.15(B)(3)(a) "ADJACENT NON-AMBIENT SE CABLES SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO THE ELECTRICAL INSPECTOR."
2. SE CABLE PENETRATION THROUGH BUILDING STRUCTURE SHALL BE INSTALLED IN ACCORDANCE TO STRUCTURAL ENGINEER OF RECORD REQUIREMENTS AS DEFINED ON APPROVED STRUCTURAL ENGINEERING DRAWINGS.
3. IN THE EVENT THAT SE CABLING AND PIPING WITHIN BUILDING SYSTEMS (I.E. WATER, WASTE, CONDENSATE, ETC.) ARE SCHEDULED TO BE INSTALLED WITHIN THE SAME CEILING CAVITY, ELECTRICAL CABLING INSTALLATION SHALL BE PHYSICALLY ABOVE WET PIPING.

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES - BUILDING 4 AND 5

NO.	REVISION	DATE
1		
2		
3		
4		
5		

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-050

INITIAL B&S SUBMITTAL

10/20/2022 2:31:28 PM
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TYPICAL UNIT PANEL 1 BDR

TYPE: LOAD CENTER
BUS: 75A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

SEE SHEET E-002 A/C PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (VARIES)
NEMA: 1
MOUNTING: FLUSH
FEED FROM: "MMC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R	1500 4700		K	0.9	0.94	50	6	30/2	RANGE	2	6
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R		1500 4700	K	0.9	0.94	50	6		-	4	6
3,6,8	5	DISHWASHER	20/1 HIGH GRIND	12	30	1.65	0.9	K	1500 1500		M	0.8	1.73	75	10	20/2	REFRIGERATOR/FREEZER	6	6
3,6	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	30	1.16	0.9	K		840 1260	M	0.8	1.73	75	10		-	8	6
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	30	0.41	0.9	K	300 15		M	0.8	0.02	50	12	20/1 AFCI	SOLAR	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	30	1.65	0.9	K		1500							SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.73	0.7	C	550								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.73	0.7	C		550							SPACE	16	
3,6,11	17	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	30	0.73	0.7	C	550								SPACE	18	
	19	SPACE															SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA):	9540	9530									
								CONTINUOUS:	0	0									
								AMPS @ 120:	80	80									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	=	19060	VA
MECHANICAL LOAD SUM	=	2027	VA
10 10KVA @ 100%	=	10000	VA
REM OVER 10KVA @ 40%	=	3776	VA
MECHANICAL LOAD SUM	=	2027	VA
ADJUSTED DEMAND LOAD	=	15313	VA
		74	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 2 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

SEE SHEET E-002 A/C PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (VARIES)
NEMA: 1
MOUNTING: FLUSH
FEED FROM: "MMC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R	1500 4700		K	0.9	0.94	50	6	30/2	RANGE	2	6
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R		1500 4700	K	0.9	0.94	50	6		-	4	6
3,6,8	5	DISHWASHER	20/1 AFCI/GFCI	12	30	1.65	0.9	K	1200 1716		M	0.8	1.11	75	10	30/2	REFRIGERATOR	6	6
3,6	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	30	1.16	0.9	K		840 1716	M	0.8	1.11	75	10		-	8	6
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	30	0.41	0.9	K	300 15		M	0.8	0.02	50	12	20/1 AFCI	SOLAR	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	30	1.65	0.9	K		1200							SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.76	0.7	C	550								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.76	0.7	C		550							SPACE	16	
3,6	17	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.76	0.7	C	550								SPACE	18	
3,6,11	19	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	30	0.76	0.7	C		550							SPACE	20	
	21	SPACE															SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA):	9524	10496									
								CONTINUOUS:	270	270									
								AMPS @ 120:	81	89									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	=	20020	VA
MECHANICAL LOAD SUM	=	2440	VA
10 10KVA @ 100%	=	10000	VA
REM OVER 10KVA @ 40%	=	3076	VA
MECHANICAL LOAD SUM	=	2440	VA
ADJUSTED DEMAND LOAD	=	15521	VA
		75	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

TYPICAL UNIT PANEL 3 BDR

TYPE: LOAD CENTER
BUS: 125A
120/208V, 1-PHASE, 3W
MAIN LUGS ONLY

SEE SHEET E-002 A/C PANEL & BRANCH CIRCUITS
24 FULL SIZE PLUG IN
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: (VARIES)
NEMA: 1
MOUNTING: FLUSH
FEED FROM: "MMC"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,6	1	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R	1500 4700		R	0.6	0.94	50	6	30/2	RANGE	2	6
3,6	3	SMALL APPLIANCE	20/1 AFCI	12	30	2.06	0.6	R		1500 4700	R	0.6	0.94	50	6		-	4	6
3,6,8	5	DISHWASHER	20/1 AFCI/GFCI	12	30	1.65	0.9	K	1200 1620		M	0.8	1.13	75	10	20/2	REFRIGERATOR	6	6
3,6	7	KITCHEN DISPOSAL 1/2HP	20/1 AFCI	12	30	1.16	0.9	K		840 1620	M	0.8	1.13	75	10		-	8	6
3,6,8	9	RANGE HOOD	20/1 AFCI/GFCI	12	30	0.41	0.9	K	300 15		M	0.8	0.02	50	12	20/1 AFCI	SOLAR	10	3,6,10
3,6,8	11	REFRIGERATOR	20/1 AFCI/GFCI	12	30	1.65	0.9	K		1200							SPACE	12	
3,6	13	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.85	0.7	C	600								SPACE	14	
3,6	15	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.85	0.7	C		600							SPACE	16	
3,6	17	LIGHTING/RECEPTACLES	20/1 AFCI	12	30	0.85	0.7	C	600								SPACE	18	
3,6	19	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	30	0.85	0.7	C		600							SPACE	20	
3,6,11	21	LIGHTING/RECEPTACLES (BATHROOM)	20/1 AFCI	12	30	0.85	0.7	C	600								SPACE	22	
	23	SPACE															SPACE	24	
								SUBTOTAL (VA):	10095	10415									
								CONTINUOUS:	840	840									
								AMPS @ 120:	85	87									

DEMAND LOAD SUMMARY (SEC 220.82)

PANEL LOAD	=	20510	VA
MECHANICAL LOAD SUM	=	3075	VA
10 10KVA @ 100%	=	10000	VA
REM OVER 10KVA @ 40%	=	3506	VA
MECHANICAL LOAD SUM	=	3075	VA
ADJUSTED DEMAND LOAD	=	16581	VA
		81	AMPS AT 120/208V, 1-PHASE

LOAD TYPE LEGEND

C	CONTINUOUS
K	KITCHEN
M	MECHANICAL
R	RECEPTACLE
G	GENERAL

MAIN SWITCH BOARD "MSB4"

TYPE: SWITCHBOARD
BUS: 1,200A
120/208V, 3-PHASE, 4W
1,200A MAIN CIRCUIT BREAKER, 100% RATED

SEE SHEET E-002 A/C PANEL & BRANCH CIRCUITS
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FEED FROM: SCE TRANSFORMER

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3,7	1	"MMC#1"		-	-	-	-	-	21948			-	-	-	-	-		"DP#1"	2	3
3,7	3		1/3	-	-	-	-	-		21948		-	-	-	-	-	1/3	-	4	3
3,7	5	-		-	-	-	-	-			21948	-	-	-	-	-		-	6	3
								SUBTOTAL (VA):	21948	21948	21948									
								CONTINUOUS:	0	0	0									
								AMPS @ 120:	634	634	634									

LARGE TENANT MAIN "DP4"

TYPE: SWITCHBOARD
BUS: 600A
120/208V, 3-PHASE, 4W
600A MAIN CIRCUIT BREAKER

SEE SHEET E-002 A/C PANEL & BRANCH CIRCUITS
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: FREE STANDING
FEED FROM: "MSB4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
3	1	"LAN"		-	-	-	-	-	2920 2229			-	-	-	-	-		"MPAN"	2	3
3	3	-	1/3	-	-	-	-	-		2920 4548		-	-	-	-	-	1/3	-	4	3
3	5	-		-	-	-	-	-			2000 7409	-	-	-	-	-		-	6	3
3	7	"MAN"		-	-	-	-	-	4560 8036			-	-	-	-	-		"MPAS"	8	3
3	9	-	1/3	-	-	-	-	-		4920 10000		-	-	-	-	-	1/3	-	10	3
3	11	-		-	-	-	-	-			5720 8036	-	-	-	-	-		-	12	3
3	13	"MAS"		-	-	-	-	-	1080			-	-	-	-	-		(F) SOLAR	14	3
3	15	-	1/3	-	-	-	-	-		360		-	-	-	-	-	1/3	-	16	3
3	17	-		-	-	-	-	-			720	-	-	-	-	-		-	18	3
3	19	ELEVATOR		-	-	-	-	-	1324			-	-	-	-	-		(F) BATTERY STORAGE	20	3
3	21	-	1/3	-	-	-	-	-		1324		-	-	-	-	-	1/3	-	22	3
3	23	-									1324	-	-	-	-	-		-	24	3
								SUBTOTAL (VA):	23949	30580	29909									
								CONTINUOUS:	0	0	0									
								AMPS @ 120:	200	255	249									

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

ELECTRICAL SCHEDULES-
BUILDING 4 AND 5

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-051

INITIAL B&S SUBMITTAL

EXPORT 2-21-24 PM
C:\Users\michael.gray\Documents_BLDG 4.rvt

PANEL "MP4B"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLTON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	SA-7	20/1	12	55	0.04	0.8	M	25			-	-	-	-	-	-	SPACE	2	
	3	EF-12	20/1	12	45	0.07	0.8	M		5				-	-	-		SPACE	4	
	5	EF-13	20/1	12	140	0.06	0.8	M			15							SPACE	6	
	7	WH-11	30/2	4	140	1.99	0.8	M	3000			-	-	-	-	-	-	SPACE	8	
	9	-		4	140	1.99	0.8	M		3000								SPACE	10	
	11	HP-2	40/2	6	130	1.79	0.8	M			3240							SPACE	12	
	13	-		6	130	1.79	0.8	M	3240			-	-	-	-	-	-	SPACE	14	
	15	CA-8	20/1	12	70	0.03	0.8	M		25		-	-	-	-	-	-	SPACE	16	
	17	EF-14	20/1	12	45	0.07	0.8	M			5	-	-	-	-	-	-	SPACE	18	
	19	EF-15	20/1	12	135	0.06	0.8	M	15			-	-	-	-	-	-	SPACE	20	
	21	WH-12	30/2	4	155	2.20	0.8	M		4000								SPACE	22	
	23	-		4	155	2.20	0.8	M			4000							SPACE	24	
	25	SPACE										-	-	-	-	-	-	SPACE	26	
	27	SPACE																SPACE	28	
	29	SPACE																SPACE	30	
								SUBTOTAL (VA)	4040	4000	4000									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	34	34	34									

PANEL "P4A"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLTON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	GROUND FLOOR CORRIDOR RECEPTACLES	20/1	12	60	1.56	0.8	R	960			-	-	-	-	-	-	SPACE	2	
	3	GROUND FLOOR WASH/ DAN RECEPTACLES	20/1	12	40	0.43	0.8	R		960		-	-	-	-	-	-	SPACE	4	
	5	GROUND FLOOR MPOX	20/1	12	30	0.30	0.8	R			960							SPACE	6	
	7	FACP	20/1	12	30	0.16	0.80	G	250			-	-	-	-	-	-	SPACE	8	
	9	GROUND FLOOR WASHER	20/1	10	125	2.71	0.8	M		1302		-	-	-	-	-	-	SPACE	10	
	11	GROUND FLOOR DRYER	30/2	10	125	9.00	0.8	M			7500	-	-	-	-	-	-	SPACE	12	
	13	-		10	125	9.00	0.8	M	7500			-	-	-	-	-	-	SPACE	14	
	15	2ND FLOOR CORRIDOR/ WASH RECEPTACLES	20/1	12	175	2.60	0.8	R		960		-	-	-	-	-	-	SPACE	16	
	17	2ND FLOOR IDF	20/1	12	45	0.49	0.8	R			960	-	-	-	-	-	-	SPACE	18	
	19	2ND FLOOR WASHER	20/1	8	120	1.95	0.8	M	1200			-	-	-	-	-	-	SPACE	20	
	21	2ND FLOOR DRYER	30/2	8	125	2.13	0.8	M		2500		-	-	-	-	-	-	SPACE	22	
	23	-		8	125	2.13	0.8	M			2500	-	-	-	-	-	-	SPACE	24	
	25	SPACE										-	-	-	-	-	-	SPACE	26	
	27	SPACE										-	-	-	-	-	-	SPACE	28	
	29	SPACE		-								-	-	-	-	-	-	SPACE	30	
								SUBTOTAL (VA)	4960	4862	5920									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	41	41	49									

PANEL "L4A"

TYPE: PANELBOARD
BUS: 100A
208/120V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
42 FULL SIZE BOLTON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1																		2	
	3																		4	
	5																		6	
	7											-	-	-	-	-	20/1	TNV/M4	8	3
	9																		10	
	11																		12	
	13																		14	
	15																		16	
	17																		18	
	19																		20	
	21																		22	
	23																		24	
	25																		26	
	27																		28	
	29																		30	
	31																		32	
	33																		34	
	35																		36	
	37																		38	
	39																		40	
	41																		42	
								SUBTOTAL (VA)	0	0	0									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	0	0	0									

PANEL "P4B"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
70A MAIN CIRCUIT BREAKER

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLTON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	MOTOR CORRIDOR/ANTEROOM	20/1	10	60	1.95	0.8	R	720			-	-	-	-	-	-	SPACE	2	
	3	3RD FLOOR IDF	20/1	12	40	0.43	0.8	R		960		-	-	-	-	-	-	SPACE	4	
	5	4TH FLOOR CORRIDOR/ WASHER/DRYER	20/1	12	175	2.17	0.8	R			720							SPACE	6	
	7	4TH FLOOR IDF	20/1	12	60	0.29	0.8	R	960									SPACE	8	
	9	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	10	
	11	SPACE																SPACE	12	
	13	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	14	
	15	SPACE	-			-	-	-										SPACE	16	
	17	SPACE						-							-			SPACE	18	
	19	SPACE																SPACE	20	
	21	SPACE	-			-	-	-				-	-	-	-	-	-	SPACE	22	
	23	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	24	
	25	SPACE																SPACE	26	
	27	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	28	
	29	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	30	
								SUBTOTAL (VA)	1680	960	720									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	14	8	6									

PANEL "MP4A"

TYPE: PANELBOARD
BUS: 100A
120/208V, 3-PHASE, 4W
100A MAIN CIRCUIT BREAKER

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
30 FULL SIZE BOLTON
CIRCUIT BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: BUILDING 4 MAIN ELECTRICAL ROOM
NEMA: 1
MOUNTING: SURFACE
FED FROM: "DP4"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	PHASE A	PHASE B	PHASE C	TYPE	PF	VOLTS	LF	WIRE	BREAKER	DESCRIPTION	CIRCUIT	NOTES
	1	SA-6	20/1	12	40	0.03	0.8	M	25			-	-	-	-	-	-	SPACE	2	
	3	EF-9	20/2	12	30	0.13	0.8	M		240								SPACE	4	
	5	-		12	30	0.13	0.8	M			240							SPACE	6	
	7	EF-10	20/1	12	30	0.01	0.8	M	15									SPACE	8	
	9	WH-8	30/2	6	30	0.68	0.8	M		1000		-	-	-	-	-	-	SPACE	10	
	11	-		6	30	0.68	0.8	M			1000	-	-	-	-	-	-	SPACE	12	
	13	WH-9	30/2	10	110	2.75	0.8	M	2750			-	-	-	-	-	-	SPACE	14	
	15	-		10	110	2.75	0.8	M		2750		-	-	-	-	-	-	SPACE	16	
	17	SA-5	20/1	12	50	0.04	0.8	M			25	-	-	-	-	-	-	SPACE	18	
	19	EF-11	20/1	12	50	0.01	0.8	M	5									SPACE	20	
	21	WH-10	30/2	8	125	3.79	0.8	M		2750								SPACE	22	
	23			8	125	3.79	0.8	M			2750	-	-	-	-	-	-	SPACE	24	
	25	SPACE	-	-		-	-	-				-	-	-	-	-	-	SPACE	26	
	27	SPACE	-															SPACE	28	
	29	SPACE		-								-	-	-	-	-	-	SPACE	30	
								SUBTOTAL (VA)	2020	5540	4040									
								CONTINUOUS (VA)	0	0	0									
								AMPS @ 120	17	46	34									

EMERGENCY LIGHTING INVERTER "INV4A"

TYPE: INVERTER
BUS: -
120V, 1-PHASE

SEE SHEET E-000 FOR ALL PANEL & BRANCH CIRCUITS
6 FULL SIZE BOLTON
C-POLE BREAKER SPACES
PROVIDE WITH EQUIPMENT GROUND BUS

LOCATION: EMPTY
NEMA: 1
MOUNTING: SURFACE
FED FROM: "L4A"

NOTES	CIRCUIT	DESCRIPTION	BREAKER	WIRE	LF	VOLTS	PF	TYPE	CONNECTED LOAD (VA)	SUBTOTAL (VA)	
	1	SPARE	20/1				0.9	C		0	
	2	SPARE	20/1				0.9	C		0	
	3	SPARE	20/1				0.9	C		0	
	4	SPARE	20/1				0.9	C		0	
	5	SPARE	20/1				0.9	C		0	
	6	SPARE	20/1				0.9	C		0	
									TOTAL (VA)	0	VA
									AMPS @ 120	0	AMPS
									INVERTER SIZE	2000	VA
									TOTAL INVERTER LOADING	0	VA

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ELECTRICAL SCHEDULES - BUILDING 4 AND 5

NO.	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E-052

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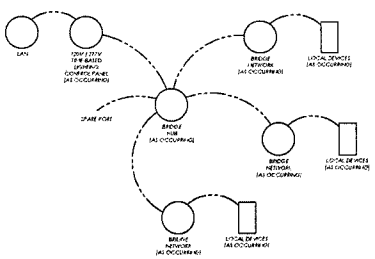

GENERAL NOTES:

1. THIS DETAIL HAS BEEN PREPARED ON A SCHEMATIC LEVEL AND DOES NOT FULLY IDENTIFY ALL INSTALLATION CRITERIA AS REQUIRED BY THE MANUFACTURER. PRIOR TO PROCEEDING WITH INSTALLATION THE CONTRACTOR SHALL SUBMIT A COMPLETE LIST OF MANUFACTURER SPECIFICATIONS FOR ALL DEVICES (LUMINAIRES, BRIDGES, NETWORK SWITCHES, ETC.) TO THE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR SHALL NOT INSTALL ANY DEVICES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT. CONTRACTOR SHALL PROVIDE, NOTIFY, OR INSTALL ANY DEVICES NOT INDICATED ON THE DRAWINGS, WHICH ARE REQUIRED BY THE MANUFACTURER TO BE INSTALLED.
   A. SCALED FLOOR PLANS INDICATING DEVICE LOCATIONS AND SYSTEM INTERCONNECTION (SEE NOTE #2).
   B. CONFIGURATION OF CONTROL DEVICES (FIELD LOCATION, DIAMETERS, AND DESIGNATION PER PLANS TO MAXIMIZE AND CONFIRM DEVICE COVERAGE. TECH WILL REVIEW DOCUMENTATION TO ENSURE COMPLIANCE WITH LOCAL AND STATE CODES.
   C. WIRING DETAILS.
   D. SINGLE LINE DIAGRAMS, INCLUDING BRIDGE PORT CONNECTION POINTS, LAN SYSTEM CONNECTION, WIRELESS NETWORK, ETC.
   E. INSTALLATION INSTRUCTIONS.
   F. BILL OF MATERIALS.
2. THE LIGHTING CONTROL SYSTEM BASIS OF DESIGN HAS BEEN DEVELOPED PURSUANT TO AN ACUITY BRANDS NLIGHT SYSTEM.
   A. RELAY CONTROLLED LIGHTS SHALL BE CONNECTED VIA A LIGHTING CONTROL PANEL WITH NLM APPROVED AUTOMATIC RELAYS FOR LIGHTING CONTROL VIA ASTRO ASTRONOMICAL TIME CLOCK.
   B. LIGHTING CONTROL DEVICES SHALL BE INTERCONNECTED VIA CABLE WIRING SYSTEM AS PER MANUFACTURER REQUIREMENTS. BRIDGE CONNECTION SHALL BE TOPOLOGY WITH OVERALL CABLE LENGTH NOT EXCEED 1,000 FEET FROM BRIDGE TO LAST DEVICE.
   C. LUMINAIRES SHALL BE ALIGHT ENABLED.
   D. BRIDGE DEVICES ARE LABELED IN THE FIELD, CORRESPONDING TO FACTORY SCHEMATIC DIAGRAMS.
   E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROL TERMINATIONS, SPLICING WITHIN THE CONTROL SYSTEM (NOT PERMITTED).
   F. POWER AND CONTROL WIRING ARE NOT PERMITTED TO SHARE THE SAME CONDUIT OR RACEWAY.
   G. MAINTAIN A MINIMUM OF 12" SEPARATION BETWEEN LINE VOLTAGE AND LOW VOLTAGE SYSTEM WIRING. KEEP LOW VOLTAGE SYSTEM WIRING AWAY FROM EMF DEVICES (E.G. TRANSFORMERS).
   H. EMERGENCY AND NORMAL POWER DEVICES SHALL SWITCH TOGETHER.
   I. EMERGENCY DEVICES SHALL ENABLE LUMINAIRES TO POWER AT 100% UPON LOSS OF NORMAL POWER.
3. THE LIGHTING CONTROL SYSTEM SHALL PROVIDE APPROPRIATE SEPARATION BETWEEN NORMAL AND EMERGENCY POWERED LOADS. NORMAL AND EMERGENCY POWERED LOADS SHALL BE REPRESENTED INDEPENDENT AS DEFINED IN CEC ARTICLE 700.
4. THE INSTALLED SYSTEM SHALL BE CAPABLE OF RECEIVING A (FUTURE) DEMAND RESPONSE SIGNAL FROM THE UTILITY COMPANY AS REQUIRED PER CALIFORNIA TITLE 24.
5. REFER TO 2019 CBECC-RES PERFORMANCE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

1 LIGHTING CONTROL CONCEPTUAL SCHEMATIC
NOT TO SCALE

LUMINAIRE SCHEDULE GENERAL NOTES

- EXISTING LUMINAIRES SCHEDULED TO REMAIN SHALL BE CLEANED AND RE-LAMPED PRIOR TO OWNER ACCEPTANCE.
- LUMINAIRES OPERATING IN THE EVENT OF AN EMERGENCY ARE DESIGNATED WITH AN "EM". LUMINAIRES ARE SPECIFIED WITH AN INTEGRAL INTEGRAL BATTERY/EMERGENCY POWER PACK AND TEST SWITCH (AS APPLICABLE). EMERGENCY / POWER PACKS SERVING A FOOT FLUORESCENT LAMPS SHALL OPERATE AT A MINIMUM OUTPUT OF 1100 LUMENS FOR 90 MINUTES PER CBC REQUIREMENTS.
- LUMINAIRES SHALL BE RATED BY UL FOR BRANCH CIRCUIT THROUGH-WIRING. IF LUMINAIRES ARE NOT RATED FOR THRU WIRING, THE CONTRACTOR SHALL MAKE APPROPRIATE ACCOMMODATIONS WHEN WIRING.
- FURNISH OWNER WITH (1) SPARE CASE OF EACH TYPE OF LAMP SPECIFIED ON SCHEDULE.
- VERIFY CEILING TYPES/FINISHES FOR ALL RECESSED FIXTURES PRIOR TO RE-PURCHASING SUBMITTALS.
- FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS, AND CONTAIN BALLAST SHALL BE PROVIDED WITH A FACTORY INSTALLED, INTERNAL, DISCONNECTING MEANS (SWITCH OR CONNECTOR), WHICH MEETS THE REQUIREMENTS OF 2016 CEC ARTICLE 410.130(G).

LIGHTING CONTROL SCHEDULE GENERAL NOTES

- ILLUMINATION LEVELS DURING HOURS OF DARKNESS SHALL BE ADJUSTED TO 20% OR MORE BELOW DAYTIME ILLUMINATION LEVELS.
- SENSOR AND DAYLIGHTING SETTINGS SHALL BE CALIBRATED AND FINALIZED PURSUANT TO FINAL INSTALLATION OF ALL LUMINAIRES, COMPLETION OF FINAL FINISHES AND FURNITURE INSTALLATION IS COMPLETE.
- TO ENSURE EVEN LIGHTING LEVELS AND ENERGY SAVINGS, LUMINAIRES WITHIN DAYLIGHT ZONES THAT INCLUDE MORE THAN ONE ROW OF FIXTURES SHALL BE PROGRAMMED SUCH THAT FIXTURES CLOSER TO WINDOWS RECEIVE LOWER LIGHT OUTPUT AND THAT FIXTURES FARTHER FROM WINDOWS.
- PHOTOCELL/DIPS SHALL NOT BE INSTALLED IN DIRECT SUNLIGHT OR DIRECT ILLUMINATION PATH OF LUMINAIRES.
- LUMINAIRES WITH NO PRIMARY OR SECONDARY DAYLIGHT ZONES SHALL REDUCE LUMINAIRE OUTPUT BY A MINIMUM OF 65% WHEN DETECTED DAYLIGHTING MEETS OR EXCEEDS 150% OF DESIGN ILLUMINATION LEVELS.

NEW LUMINAIRE SCHEDULE - INTERIOR

TYPE	MANUFACTURER	SPECIFICATION	LAMP	AC VOLTAGE	SYSTEM WATTAGE	MOUNTING	NOTES
D1A	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	EPANL 2X2 3000LM 80CRI 30K MVOLT ZT MVOLT	LED (3000K)	120V	19W	RECESSED (GRID)	2' X 2' LED TROFFER, 80 CRI, 3000 LUMENS
D1B	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	EPANL 2X2 3400LM 80CRI 30K MVOLT ZT MVOLT	LED (3000K)	120V	30W	RECESSED (GRID)	2' X 2' LED TROFFER, 80 CRI, 3400 LUMENS
D2A	JUNO LIGHTING OR ENGINEERING APPROVED EQUAL	JSF 7IN 10LM 30K 90CRI MVOLT ZT WH	LED (3000K)	120V	12W	SURFACE (CEILING)	7" LED SURFACE MOUNTED DOWNLIGHT, 90CRI, 1000 LUMENS, WET LOCATION LISTED
D2B	JUNO LIGHTING OR ENGINEERING APPROVED EQUAL	JSF 5IN 07LM 30K 90CRI MVOLT ZT WH	LED (3000K)	120V	10W	SURFACE (CEILING)	5" LED SURFACE MOUNTED DOWNLIGHT, 90CRI, 700 LUMENS, WET LOCATION LISTED
D2C	JUNO LIGHTING OR ENGINEERING APPROVED EQUAL	JSF 11IN 13LM 30K 90CRI MVOLT ZT WH	LED (3000K)	120V	15W	SURFACE (CEILING)	11" LED SURFACE MOUNTED DOWNLIGHT, 90CRI, 1300 LUMENS, WET LOCATION LISTED
D3A	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	CLX L24 15000LM SEF FDL MVOLT CCT10 30K 80CRI WH 2-ACTIVE120	LED (3000K)	120V	118W	SURFACE (WALL)	4' X 2' LED LINEAR, 80CRI, 15000 LUMENS
D3B	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	CLX L48 30000LM SEF FDL MVOLT CCT10 30K 80CRI WH 2-ACTIVE120	LED (3000K)	120V	200W	SURFACE (CEILING)	4' X 4' LED LINEAR, 80CRI, 30000 LUMENS
D4	DALS LIGHTING OR ENGINEERING APPROVED EQUAL	LED(A)1000-CCO-24	LED (2700K)	120V	22W	SURFACE (WALL)	24" VANITY LIGHT, 90CRI, 1275 LUMENS
D5	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	GRID LUF MSL 4 80CRI 30K IDX80 MVOLT 20W0 MINI ZT L20 SCT	LED (3000K)	120V	25W	SUSPENDED (PENDANT)	8-1/4" X 4' LED LINEAR, 80CRI, 3500 LUMENS, INDIRECT/DIRECT
X1	LITHONIA OR ENGINEER APPROVED EQUAL	EDG-G-EL-SD	LED	120V	4W	SURFACE	EXIT LIGHT WITH INTEGRAL BATTERY BACKUP (90 MINUTE MIN.) AND SELF DIAGNOSTICS. PROVIDE WITH CHEVRON AND SINGLE OR DUAL FACE INDICATING AS PER PLANS, FINISH PER ARCHITECT / OWNER
X2	LITHONIA OR ENGINEERED APPROVED EQUAL	D-2-AL-1-G	-	-	-	SURFACE	SINGLE FACE LED LUMINAIRE EXIT SIGN. PROVIDE WITH CHEVRON INDICATION AS PER PLANS, FINISH PER ARCHITECT / OWNER

NEW LUMINAIRE SCHEDULE - RESIDENTIAL

R1	JUNO LIGHTING OR ENGINEERING APPROVED EQUAL	JSF SR 07LM 30K 90CRI 120RPC WH	LED (3000K)	120V	10W	SURFACE (CEILING)	5" LED SURFACE MOUNTED DOWNLIGHT, 90CRI, 700 LUMENS, WET LOCATION LISTED, JA8 COMPLIANT
R2	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	FMVCRL 24IN MVOLT 30K 90CRI BLT	LED (3000K)	120V	26W	SURFACE (WALL)	24" VANITY LIGHT, 90CRI, 1304 LUMENS, JA8 COMPLIANT
R3	EVERGREEN LIGHTING OR ENGINEER APPROVED EQUAL	201 10RLS	LED (3000K)	120V	9W	SURFACE (WALL)	10" X 7" X 4" DECORATIVE WALL SCONCE, DARK SKY, 900 LUMENS

NEW LUMINAIRE SCHEDULE - EXTERIOR

S1A	HUBBELL LIGHTING OR ENGINEER APPROVED EQUAL	URB-CAP-26-24L-55-3-7-UNIV-5R-PMM-BRW-MOB	LED (3000K)	120V	55W	POLE (+15 OAH)	FULL CUTOFF, POLE MOUNTED LUMINAIRE WITH TYPE 3 OPTICS. PROVIDE WITH ARM AND STEEL POLE MOUNT, FINISH PER OWNER AND INTEGRAL OCCUPANCY BASED DIMMING CAPABILITY
S1B	HUBBELL LIGHTING OR ENGINEER APPROVED EQUAL	URB-CAP-26-24L-55-3-7-UNIV-5R-PMM-BRW-MOB	LED (3000K)	120V	55W	POLE (+15 OAH)	FULL CUTOFF, POLE MOUNTED LUMINAIRE WITH TYPE 5R OPTICS. PROVIDE WITH ARM AND STEEL POLE MOUNT, FINISH PER OWNER AND INTEGRAL OCCUPANCY BASED DIMMING CAPABILITY
S1C	HUBBELL LIGHTING OR ENGINEER APPROVED EQUAL	URB-CAP-26-24L-55-3-7-UNIV-5-PMM-BRW-MOB	LED (3000K)	120V	55W	POLE (+15 OAH)	FULL CUTOFF, POLE MOUNTED LUMINAIRE WITH TYPE 3 OPTICS. PROVIDE WITH ARM AND STEEL POLE MOUNT, FINISH PER OWNER AND INTEGRAL OCCUPANCY BASED DIMMING CAPABILITY
S1D	HUBBELL LIGHTING OR ENGINEER APPROVED EQUAL	URB-CAP-26-24L-55-3-7-UNIV-4-PMM-BRW-MOB	LED (3000K)	120V	55W	POLE (+15 OAH)	FULL CUTOFF, POLE MOUNTED LUMINAIRE WITH TYPE 4 OPTICS. PROVIDE WITH ARM AND STEEL POLE MOUNT, FINISH PER OWNER AND INTEGRAL OCCUPANCY BASED DIMMING CAPABILITY
S1E	HUBBELL LIGHTING OR ENGINEER APPROVED EQUAL	URB-CAP-26-24L-55-3-7-UNIV-5W-PMM-BRW-MOB	LED (3000K)	120V	55W	POLE (+15 OAH)	FULL CUTOFF, POLE MOUNTED LUMINAIRE WITH TYPE 5W OPTICS. PROVIDE WITH ARM AND STEEL POLE MOUNT, FINISH PER OWNER AND INTEGRAL OCCUPANCY BASED DIMMING CAPABILITY
S2A	LITHONIA LIGHTING OR ENGINEERING APPROVED EQUAL	WPX1 LED P1 30K 80 MVOLT DDBXD	LED (3000K)	120V	11W	SURFACE (WALL)	8" X 11" X 11" WALL PACK, 1590 LUMENS, ADA COMPLIANT, WET LOCATION LISTED
S3	EVERGREEN LIGHTING OR ENGINEER APPROVED EQUAL	2023 20 LS	LED (3000K)	120V	20W	SURFACE (WALL)	15" X 8" X 9-1/2" OUTDOOR WALL SCONCE, WET LOCATION LISTED, 2000 LUMENS

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LIGHTING SCHEDULES – BUILDING 4 AND 5

NO.	REVISION	DATE

PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E-060

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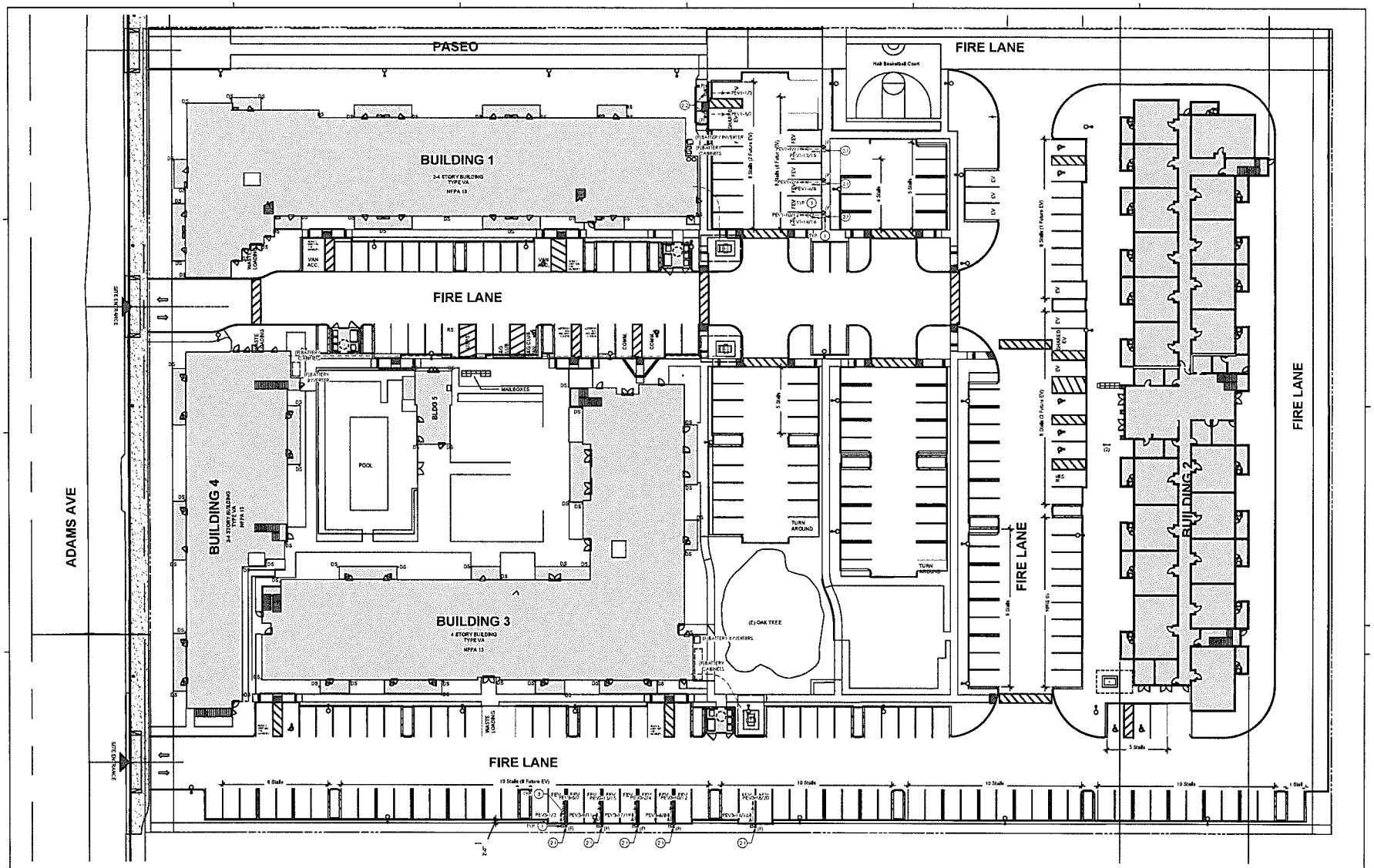


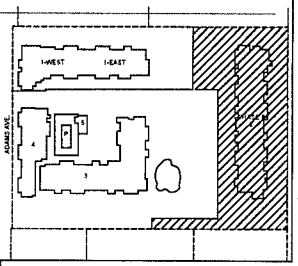
SITE POWER PLAN

SCALE: 1" = 20'-0"

REFERENCE NOTES

EXISTING ELECTRICAL UTILITIES AND STRUCTURES

- THE LOCATION OF EXISTING ABOVE GRADE AND UNDERGROUND ELECTRICAL FACILITIES WHICH THE JOBSITE ARE APPROXIMATE AND HAVE BEEN BASED ON LIMITED FIELD OBSERVATIONS, VERBAL DESCRIPTIONS PROVIDED BY THE FACILITY OWNER AND/OR VARIOUS AGENCIES INVOLVED, AS WELL AS ABSTRACT ELECTRICAL RECORDS. NO SUBSURFACE EXPLORATION FOR EXISTING UNDERGROUND ELECTRICAL FACILITIES HAS BEEN CONDUCTED FOR THIS WORK. THE FACILITY OWNER AND ENGINEER DO NOT GUARANTEE THE ACCURACY OF COMPILED USE OF THIS INFORMATION. AS FOR IT UNDERSTOOD THAT THERE MAY BE ABOVE GROUND OR UNDERGROUND ELECTRICAL FACILITIES THAT ARE NOT SHOWN ON THE PLANS AND MAY BE ENCOUNTERED DURING THE COURSE OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION AND DEPTH OF EXISTING UNDERGROUND ELECTRICAL FACILITIES WHICH MAY AFFECT OR BE EFFECTED BY THE CONTRACTOR'S WORK. POTHOLE ALL ELECTRICAL CONDUITS AS REQUIRED PER CIVIL ENGINEERING SPECIFICATIONS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL POTHOLE THE EXISTING ELECTRICAL CONDUITS TO DETERMINE THE EXISTING HORIZONTAL AND VERTICAL LOCATIONS. POTHOLE RESULTS SHALL BE DELIVERED TO THE ENGINEER OF RECORD FOR EVALUATION. PROVIDE THREE (3) WORKING DAYS TO EVALUATE THE INFORMATION AT NO COST TO THE OWNER.
- EXISTING UNDERGROUND ELECTRICAL, INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, DISTRIBUTION, TELEPHONE, AND CABLE TELEVISION SHALL BE MAINTAINED, REDIRECTED, REROUTED, REMOVED, AND/OR RESTORED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE WITH THE LEAST POSSIBLE INTERFERENCE WITH THESE SERVICES.



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SITE POWER PLAN

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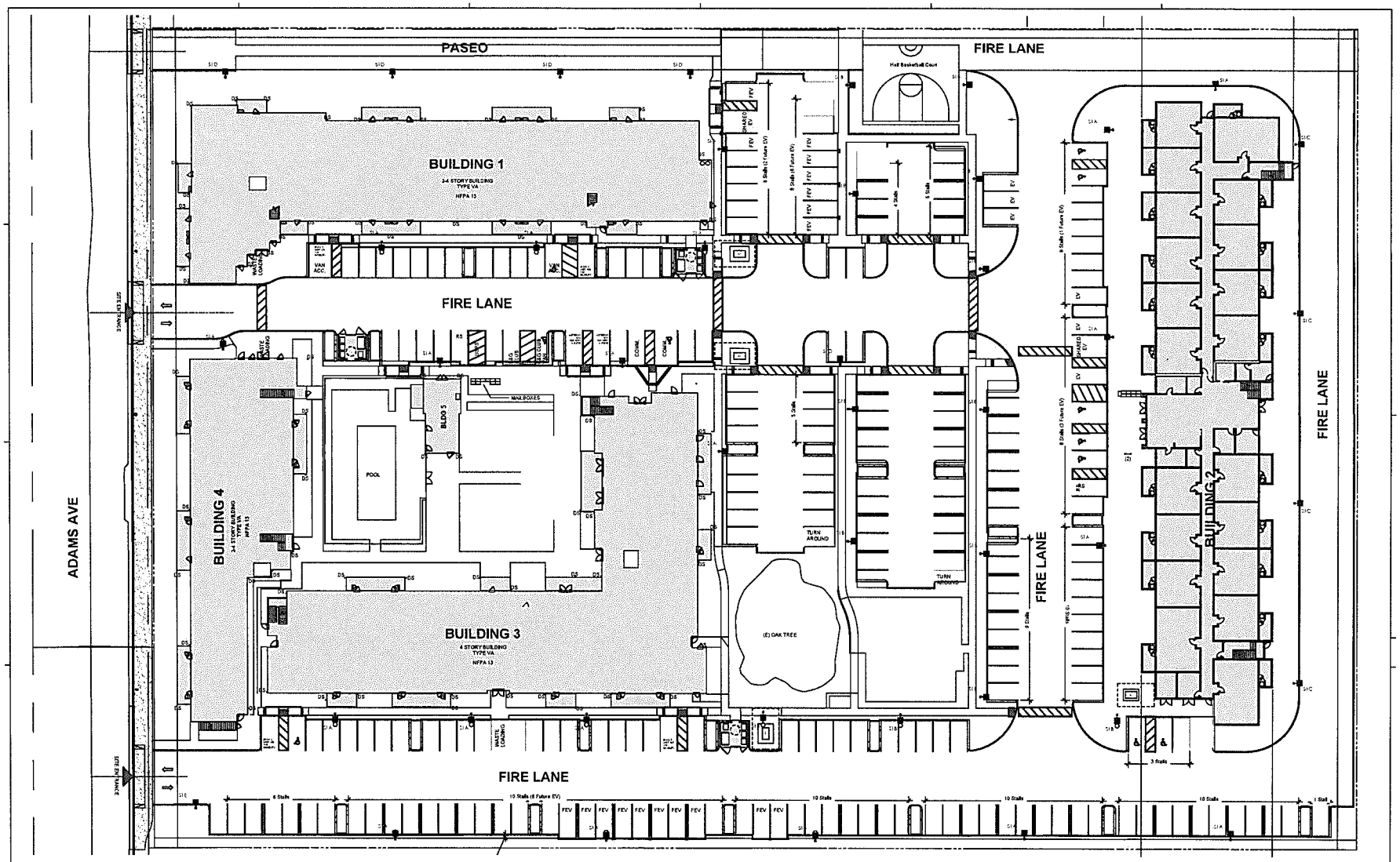
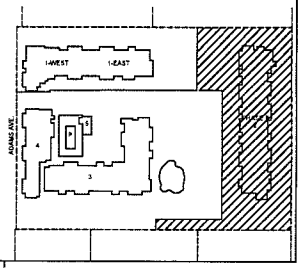


SITE LIGHTING PLAN

SCALE: 1" = 20'-0"

REFERENCE NOTES



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SITE LIGHTING PLAN

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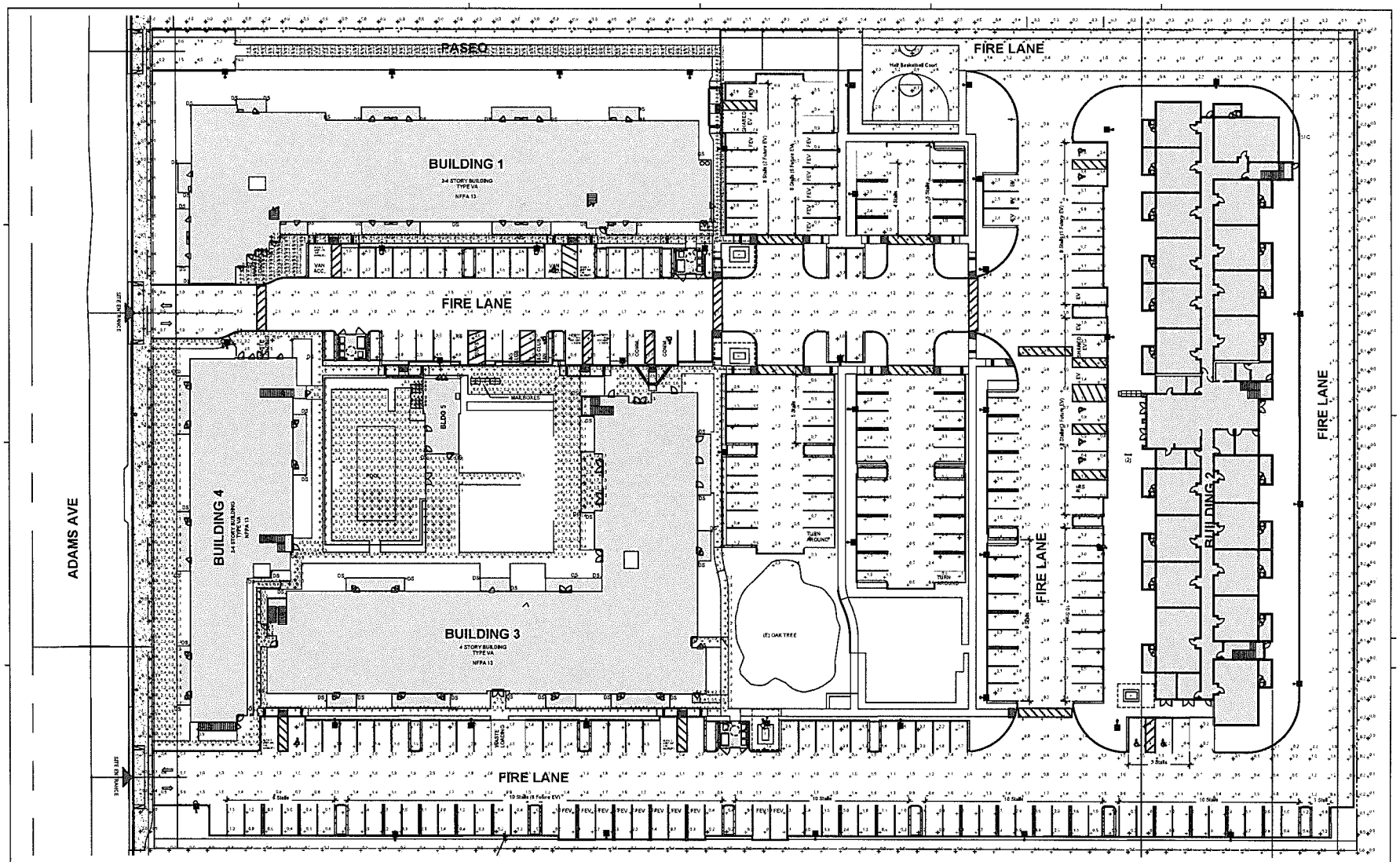
SAVED: 2/17/21 PM
USER: jhernandez@murrieta_BLDG.dwg



SITE PHOTOMETRICS PLAN

SCALE: 1" = 20'-0"

REFERENCE NOTES

PHOTOMETRIC PLAN DISCLAIMER

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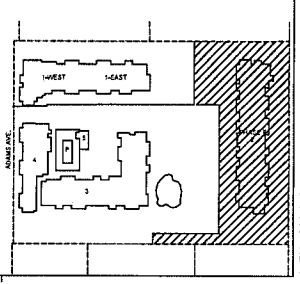

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MURRIETA
24960 Adams Ave, Murrieta CA 92562

SITE PHOTOMETRICS PLAN

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DRAWN BY SE/MC	CHECKED BY HG
DATE	11/08/2022
PROJECT NUMBER	-
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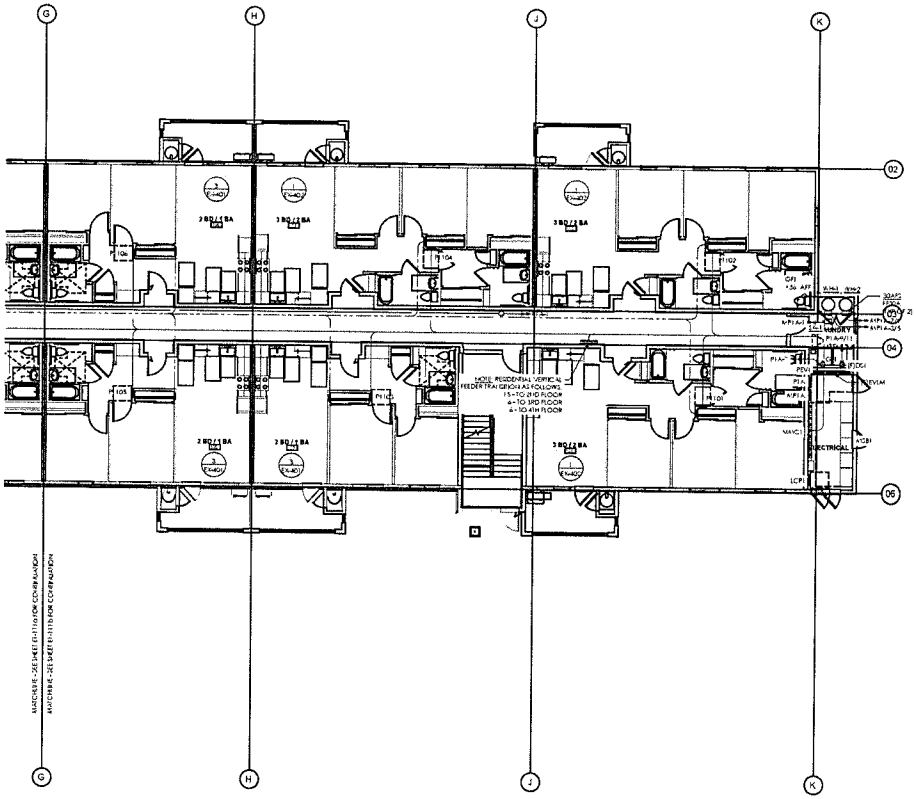


BLDG 1 - GROUND FLOOR POWER PLAN - EAST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-901. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. MAY BE INTERPOLATED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS NOTED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX OR SHEET 8.0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BASE LEVEL CONTROL AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

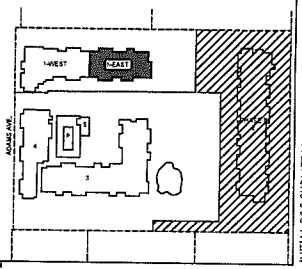
B. PENETRATIONS (I.E. X-RAY BARRIER AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. ADJUST SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGN FACE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36 HORIZONTAL FROM FACE OF GEAR
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30 WIDTH IF EQUIPMENT IS LESS THAN 30 WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3 DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
   2.5 HIDDEN (LIKE IDENTIFIED WORKING CLEARANCE REQUIREMENTS AT ENTERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF ENTERING EQUIPMENT AND 6'-6" HIGH
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 1.26 SPECIFICATION IN REGARD TO LOCATION OF ENTERED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2
5. TELEPHONE AND CATV CUSTOMER MAIN PORT OF ENTRY (MPOE): PROVIDE 3/4" THICK, 4'X8', LENGTH PER PLAN, PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT AND NEXT 8' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL
6. COMMUNICATION BACK BOARD GROUND BUS WITH #4 CU (GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATION
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION
8. BUILDING FIRE ALARM CONTROL PANEL "FACP" PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND A QUIET SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPINGS AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 7-DAY APPROVED ASTRONOMICAL TIME SWITCH OFF AT DUSK AND OFF AT DAWN TYPICAL
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +36" A.F.F.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HAYDN TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR POWER PLAN - EAST

NO.	REVISION	DATE
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PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
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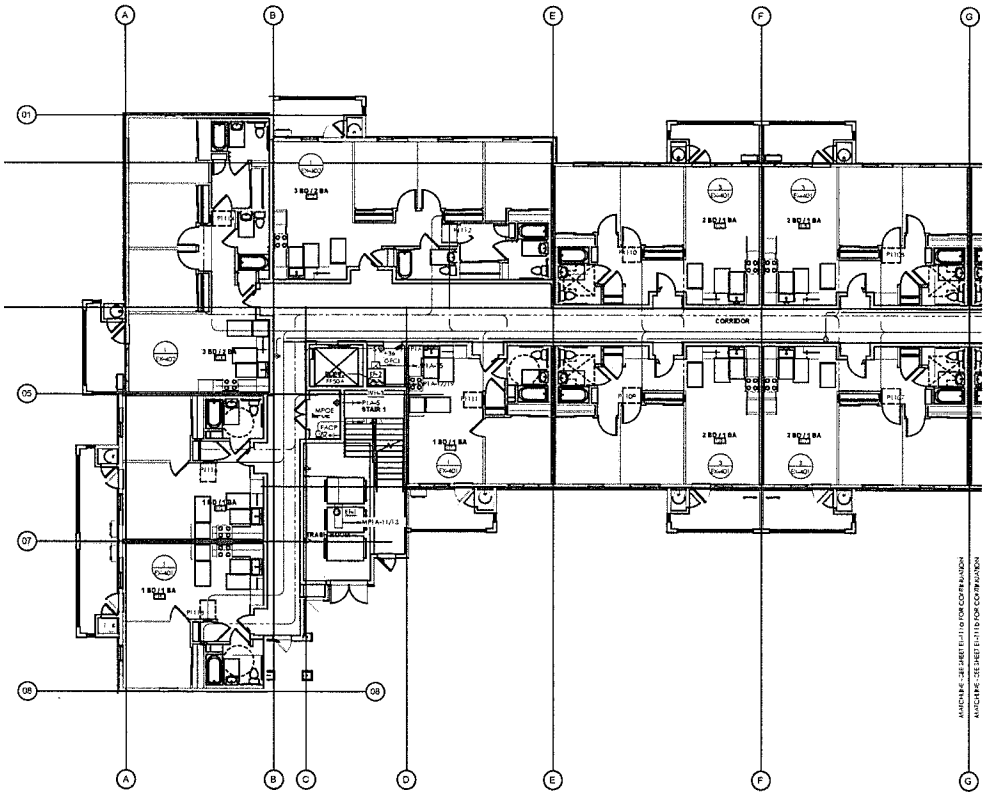


BLDG 1 - GROUND FLOOR POWER PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-601. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED BUILDING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC., HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROLS SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.2.
   A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.
   A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING EXTERIOR SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

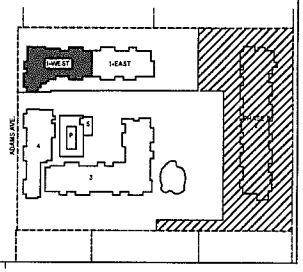
B. PENETRATING (I.E. FIRE BARRIER AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR ADJACENT WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDEN IF EQUIPMENT IS LESS THAN 30" WIDE, EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
   2.5 HIDDEN (UNIDENTIFIED) WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED "36" IN FRONT OF METERING EQUIPMENT AND 48" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 408.7.2.
5. TELEPHONE AND CATV CUSTOMER MARK PER UTILITY COMPANY. PROVIDE 3/4" THICK X 4 FT. LENGTH PER PLANS, PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACK BOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND A QUIET SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. PATHWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CLASS 1 LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER. WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH.
15. ELECTRIC RANGE.
16. NOT USED.
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER.
20. LAUNDRY WASHER.
21. NOT USED.
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDI-TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR POWER PLAN - WEST

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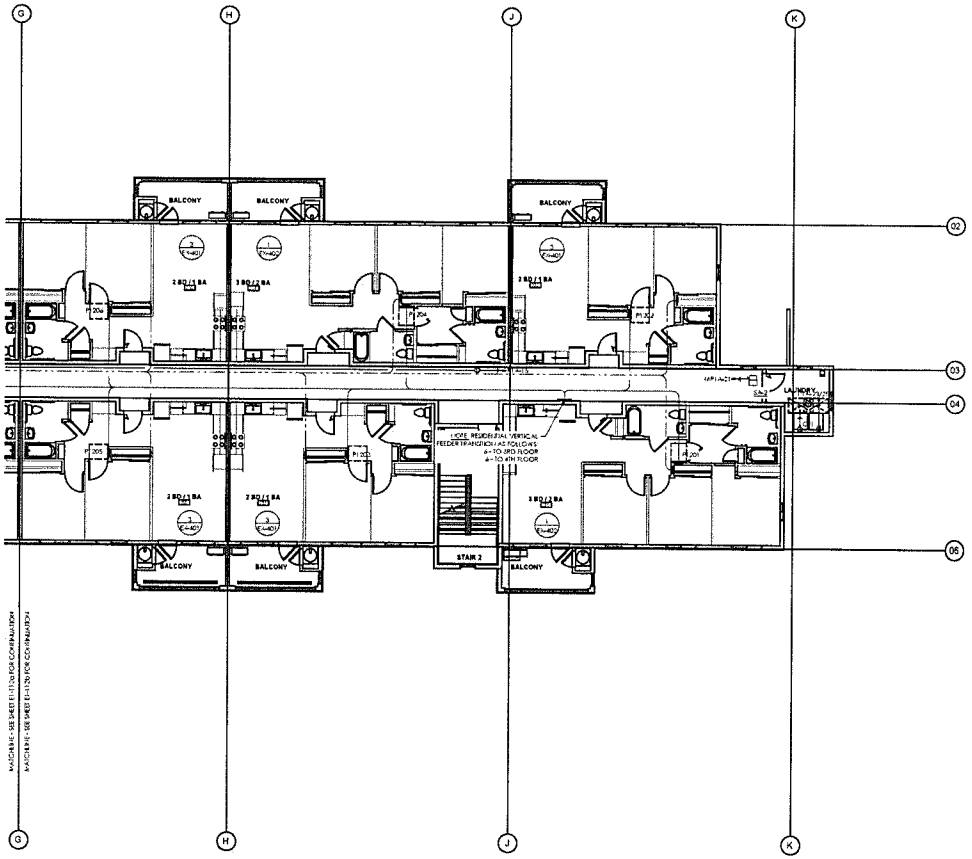
PROJECT MANAGER	SE
DRAWN BY SE/MC	CHECKED BY HG
DATE	11/08/2022
PROJECT NUMBER	-
SHEET	E1-101b

SCALE 1/8" = 1'-0"



BLDG 1 - SECOND FLOOR POWER PLAN - EAST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED BASE KEYING DRAWINGS, DEVICE LOCATION & QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA ASSIGNED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

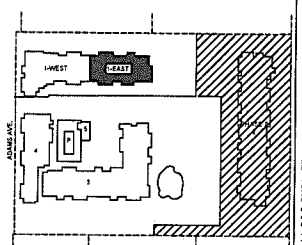
B. PENETRATIONS (I.E. NEW/BRANCH AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION SYSTEMS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 36" OR MORE THAN 48" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, LIGHTAGE SHALL BE ON THE DOOR OR ARCHITECTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   - 2.1 LARGE EQUIPMENT (CEC 110.26 (E)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
   - 2.2 DEDICATED SPACE (CEC 110.26(E)(1)(iii)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM 18" ABOVE FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   - 2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
   - 2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(ii)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE / CLEAR SPACE.
   - 2.5 MEDIUM LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT MEDIUM EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED "36" IN FRONT OF MEDIUM EQUIPMENT AND 18" 6" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(2)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS. ENGRAVED NOTE LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS (CAC 608.7.2).
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY. MINOR PROVIDE 3/4" TRADE SIZE, LENGTH PER PLAN. PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD (GROUND BUS WITH #4 CU GROUND CONDUCTOR). REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL COMMUNICATION RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL (FACP). PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120V 20A BRANCH CIRCUIT CONNECTION AND A QUALIFIED SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL (FACP). FIRE ALARM SIGNAL WIRING BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND OFF AT DAWN TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH.
15. ELECTRIC RANGE.
16. NOT USED.
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER.
20. LAUNDRY WASHER.
21. NOT USED.
22. LAUNDRY DEVICES SHALL INCLUDE "SEAT".
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   - 25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   - 25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   - 25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   - 25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRACKER CONTROL SYSTEM DEDICATED RECEPTACLE.



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BLDG 1 - SECOND FLOOR POWER PLAN - EAST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
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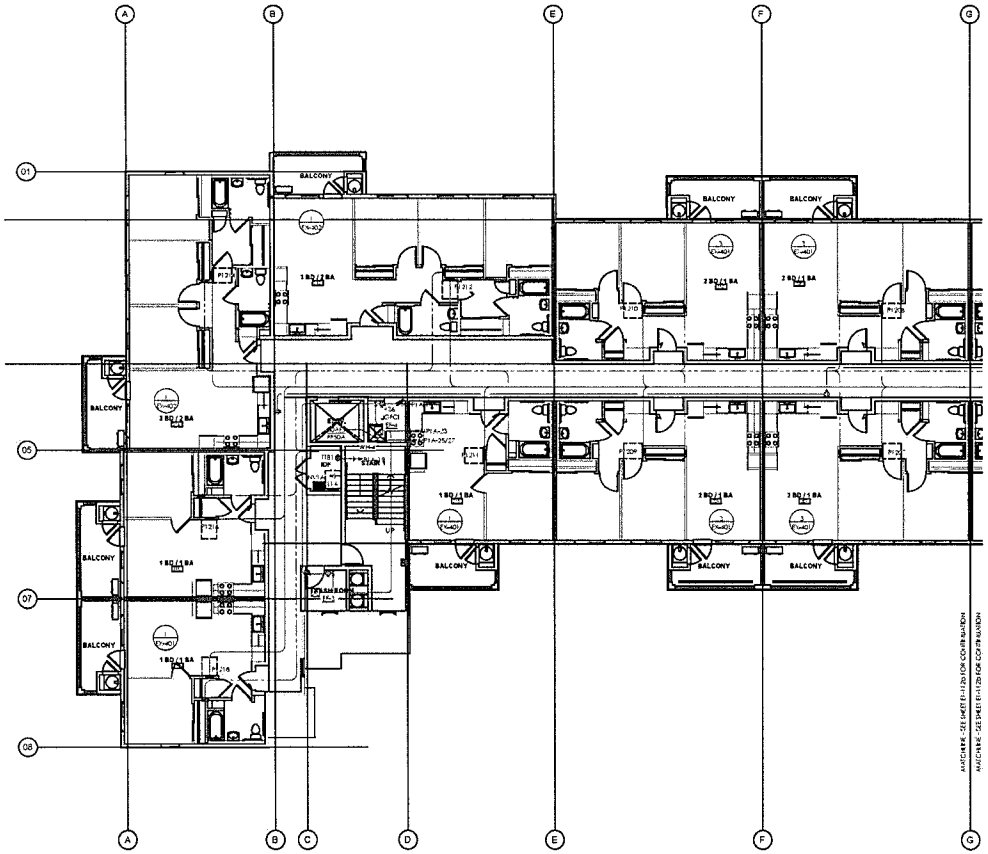


BLDG 1 - SECOND FLOOR POWER PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-602. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER (USING ENGINEERING DRAWING), DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

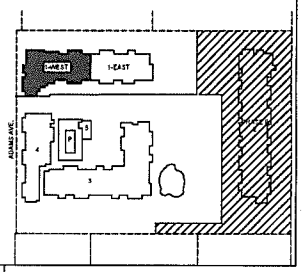
B. PENETRATIONS (I.E. WALL/BRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSER EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (E)(2)(b)) - DOUBLE CLEARANCE 3' FROM OF ELECTRICAL SWITCHGEAR, 4' HORIZONTAL FROM FACE OF GEAR.
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(ii)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE. EXTEND 6.5 FROM THE FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/CLEAR SPACE.
   2.5 HIGHER FUSE REQUIRES INCREASING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF METERING EQUIPMENT AND 6' 6" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CECC110.26(C)(2)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION IN ADDITION TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "BRIDGE" PROVIDE 3/4" THICK, 4'X8' LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUNDED WITH #4 CU. (GROUND CONDUCTOR). REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120V BRANCH CIRCUIT CONNECTION AND MOUNT SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL HAVE CONTROL VIA TIME APPROVED ASTRONOMICAL TIME SWITCH. "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER. WIRE CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH.
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRACKER CONTROL SYSTEM DEDICATED RECEPTACLE.



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NO. E-13 2026
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BLDG 1 - SECOND FLOOR POWER PLAN - WEST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
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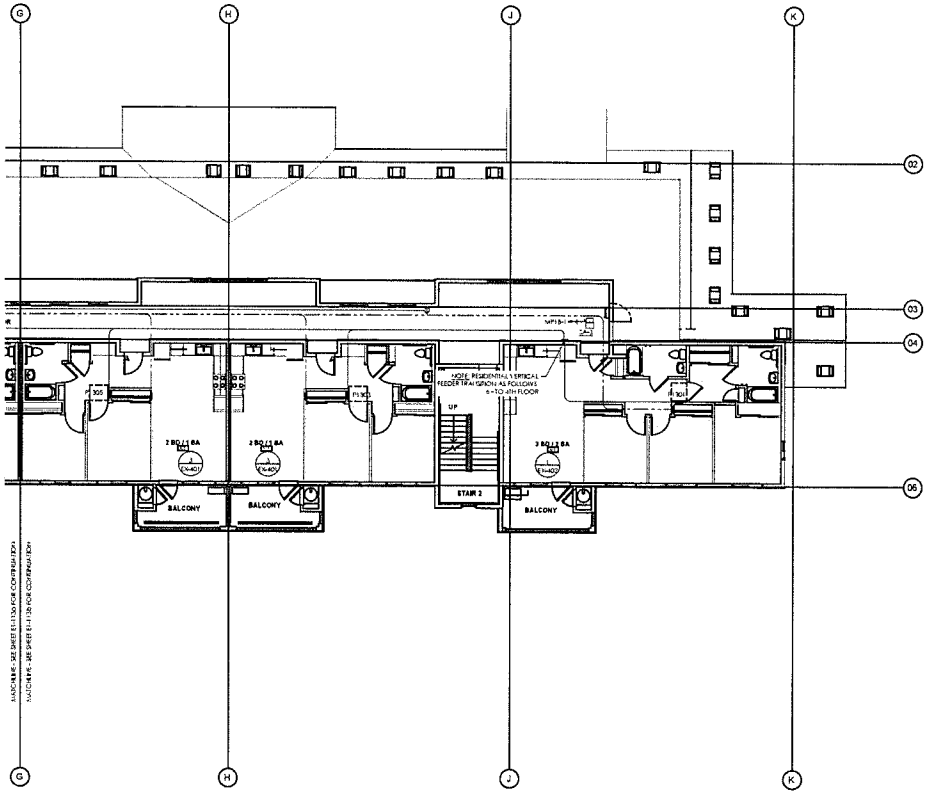


BLDG 1 - THIRD FLOOR POWER PLAN - EAST

SCALE 1/8 = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-601. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION + AS A SWITCH INPUT FOR BH/EVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION + AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED FIRE STOPPING & REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.

2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 48 HORIZONTAL FROM FACE OF GEAR
2.2 DEDICATED SPACE (CEC 110.26(E)(1)(d)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OF 30" WIDE BY EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
2.3 DEDICATED WORK SPACE (CEC 110.26(E)(1)(b)) - 3 DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - FIRE ALARM PROHIBITED IN DEDICATED EQUIPMENT SPACE/CLEAR SPACE
2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" BEFORE OF METERING EQUIPMENT AND 36" HIGH

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(2)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION

4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IS REFERRED TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS, CFC 605.7.2

5. TELEPHONE AND CATV OUTLET OVER MAIN POINT OF ENTRY TYPICAL PROVIDE 3/4" THICK X 4'-H X LENGTH PER PLAN, PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL

6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.

7. INITIAL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION

8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND POWER SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)

9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OTHERS

10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL

11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK. AS PER MANUFACTURER REQUIREMENTS. TYPICAL

12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL WITH T-24 APPROVED ASTRONOMICAL TIME SWITCH ON / AT DUSK AND OFF AT DAWN. TYPICAL

13. REFRIGERATOR

14. GARBAGE DISPOSAL. PROVIDE HAND SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACKSPLASH

15. ELECTRIC RANGE

16. NOT USED

17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS

18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED

19. LAUNDRY DRYER

20. LAUNDRY WASHER

21. NOT USED

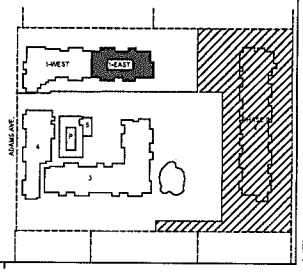
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF

23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH

24. BELL SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR

25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS
25.2 CAT6 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS

26. HANDY TRACKEY CONTROL SYSTEM DEDICATED RECEPTACLE



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24960 Adams Ave, Murrieta CA 92562

BLDG 1 - THIRD FLOOR POWER PLAN - EAST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E1-103a

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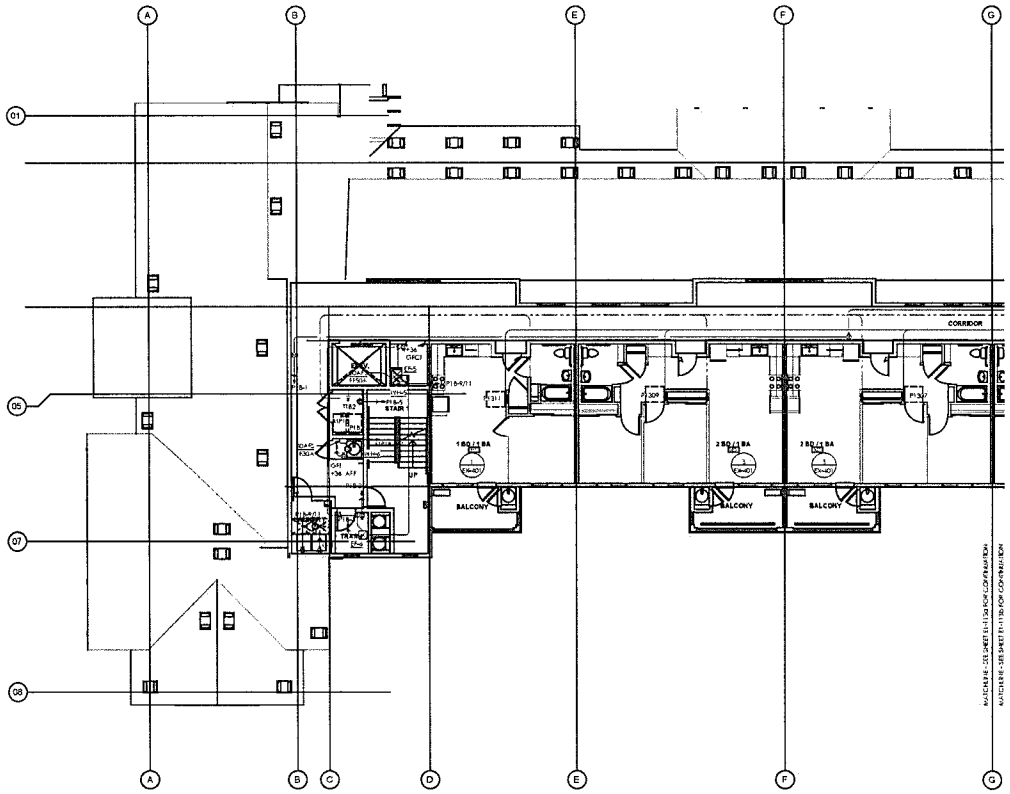


BLDG 1 - THIRD FLOOR POWER PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1.001 THROUGH E1.801. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER'S AND ENGINEERING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.2.

A.1 OCCUPANCY SENSORS WITHIN BUILDING IT AIR WELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION. AS A SWITCH INPUT FOR IN-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

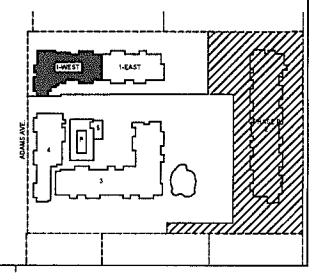
B. PENETRATIONS (I.E. IN EXTERIOR WALLS / OR THROUGH AT FIRE-RATED CONSTRUCTION) SHALL BE PROTECTED BY APPROVED PENETRATION & REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL DELIN-LIGHTING OVER DOORS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   - 2.1 SERVICE EQUIPMENT (CEC 110.26 (C)(2)(B) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR
   - 2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   - 2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   - 2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE / CLEAR SPACE
   - 2.5 MODIFY LIGHT FIXTURES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 30" IN FRONT OF METERING EQUIPMENT AND 6' 6" HIGH
3. ELECTRICAL ROOM SHALL OPERATE IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LIGHTED PANIC HARDWARE (CEC 110.26(C)(3)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOMS SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 1 26 SPECIFICATION IN REGARD TO LOCATION OF EXISTING EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 605.7.2
5. TELEPHONE AND CATV / CUSTOMER MAINTENANCE ENTRY WAYS PROVIDE 3/4" THICK ANALLOWANCE PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND 1 CONVENIENCE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING. BY OTHERS
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CITSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL AN TION APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER. WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   - 25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   - 25.2 CAT6 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   - 25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   - 25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRACKER CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 1 - THIRD FLOOR POWER PLAN - WEST

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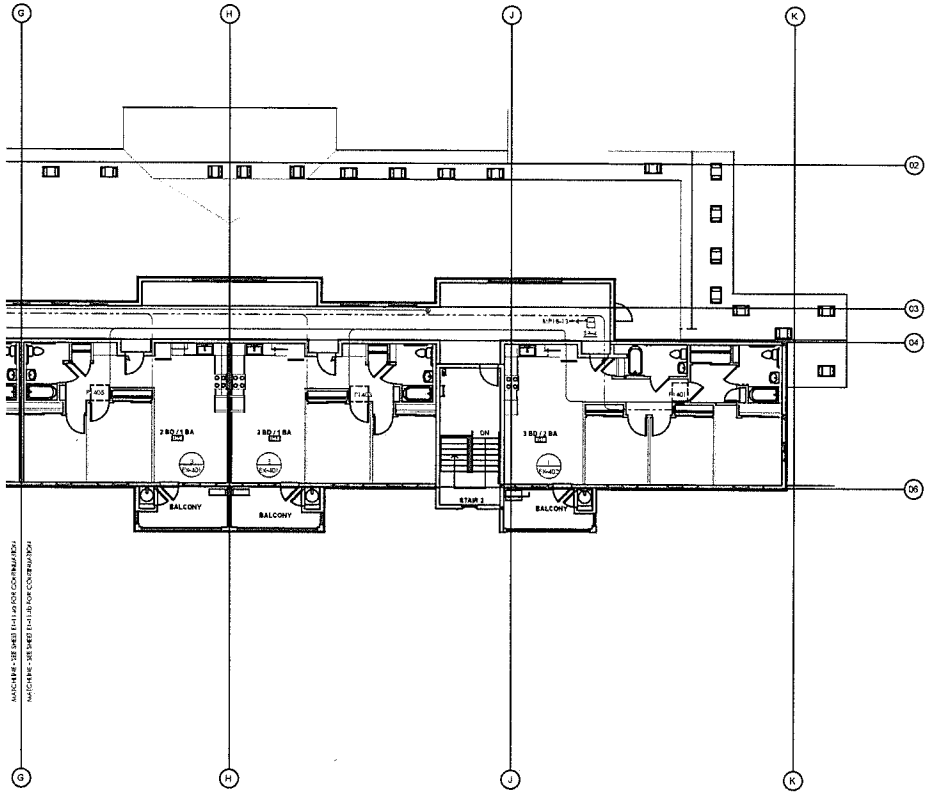


BLDG 1 - FOURTH FLOOR POWER PLAN - EAST

SCALE 1/8 = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1.01 THROUGH E1.401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER GUIDE ENGINEERING DRAWINGS, DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR 9H-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

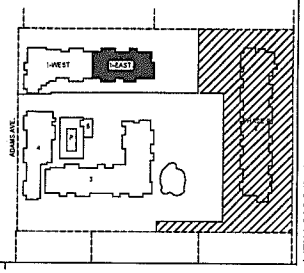
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED FIRE STOPPING. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8", OR MORE THAN 8 ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSED EDGE WITHIN 6" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. DEVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26(C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDE IF EQUIPMENT IS LESS THAN 30" WIDE. EXTEND IN TO FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(3)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACES/ CLEAR SPACE.
   2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF METERING EQUIPMENT AND 6'6" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(2)) REFER TO ARCHITECTURAL PLAN FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION IN REGARD TO LOCATION OF EQUIPPED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 605.7.3.
5. TELEPHONE AND CATV CUSTOMER MAIN PORT OF ENTRY TBD. PROVIDE 3/4" THICK 4'x8' LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2" ABOVE FLOOR LEVEL.
6. COMMUNICATION BACK BOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND NIGHT SHADE SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL (AS-3-2) APPROVED ASTRONOMICAL TIME SWITCH ON AT DUSK AND OFF AT DAWN. TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH.
15. ELECTRIC RANGE.
16. NOT USED.
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED AVEMA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER.
20. LAUNDRY WASHER.
21. NOT USED.
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF.
23. TAMPER AND FLOW SWITCH AS PER RCEP. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CATS DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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BLDG 1 - FOURTH FLOOR POWER PLAN - EAST

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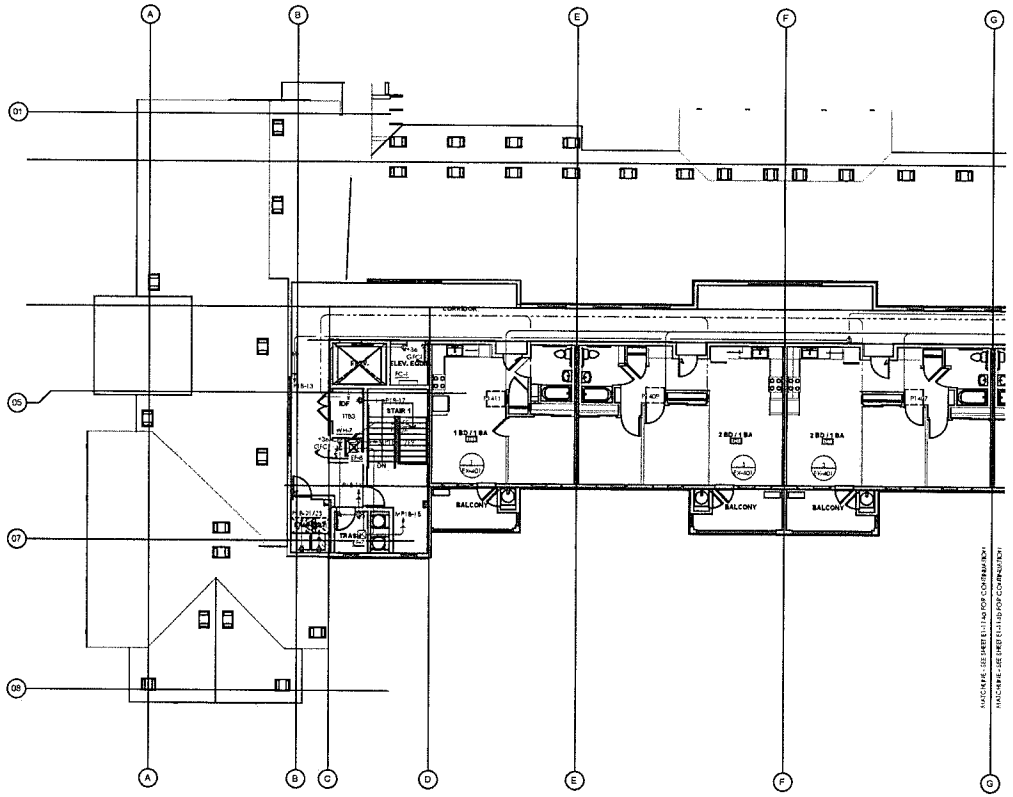


BLDG 1 - FOURTH FLOOR POWER PLAN - WEST

SCALE 1/8 = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCED NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-602. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIGHT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

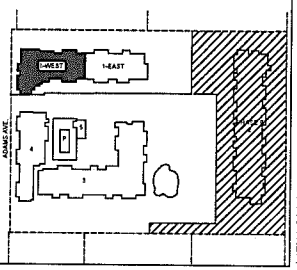
B. PENETRATIONS OF A FIRE BARRIER AND / OR THROUGH AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EXIT LUMINAIRES EXIT SIGNS MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   - 2.1 LARGE EQUIPMENT (CEC 110.26 (E)(1)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
   - 2.2 DEDICATED SPACE (CEC 110.26(E)(1)(c)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   - 2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
   - 2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(d)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/CLEAR SPACE.
   - 2.5 HIGHLY VISIBLE IDENTIFIED WORKING CLEARANCE REQUIREMENTS AT ELECTRICAL EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF ENTERING EQUIPMENT AND 6'6" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOMS SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION AND REQUIRED TO LOCATIONS OF DEDICATED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2.
5. TELEPHONE AND CATV CUSTOMER MAIN PORT OF ENTRY. PROVIDE 3/4" THICK X 4 FT. LENGTH PER PLAN PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3 WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND ACQUIRE SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS, TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND OFF AT DAWN, TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH.
15. ELECTRIC RANGE.
16. NOT USED.
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION #2 NOTED.
19. LAUNDRY DRYER.
20. LAUNDRY WASHER.
21. NOT USED.
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   - 25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   - 25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   - 25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   - 25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRAC KEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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MURRIETA - BUILDING 1
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BLDG 1 - FOURTH FLOOR POWER PLAN - WEST

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DATE: 11/08/2022
PROJECT NUMBER: -
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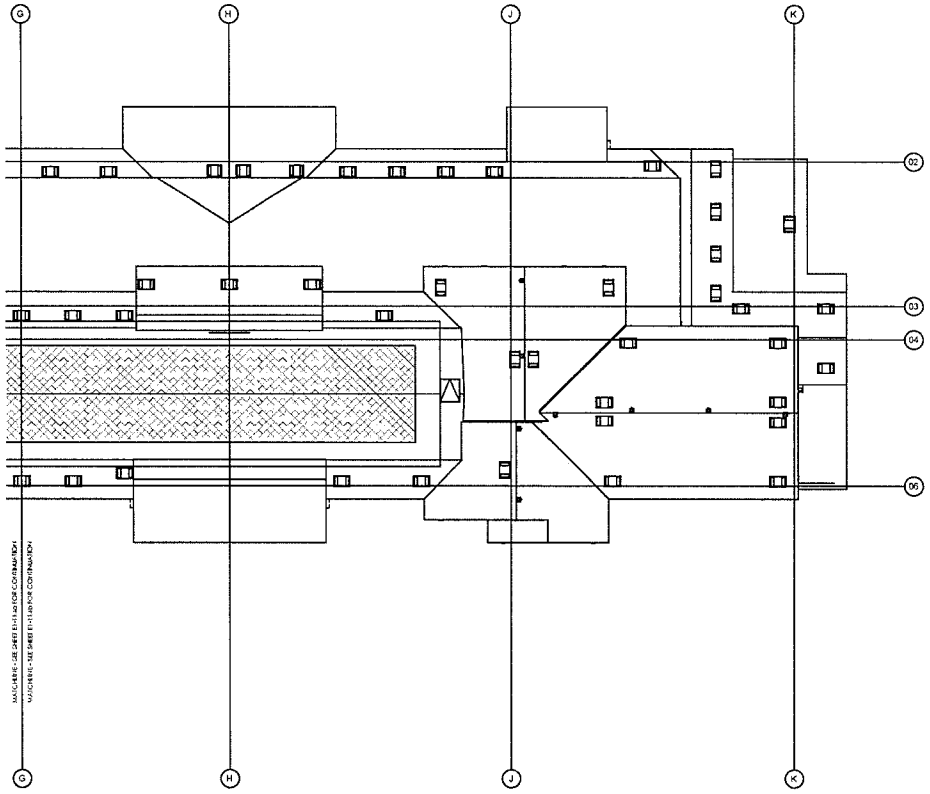


BLDG 1 - ROOF ELECTRICAL PLAN - EAST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-601. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED EXTER KEEPING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX (SHEET E0.7)
A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24
A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

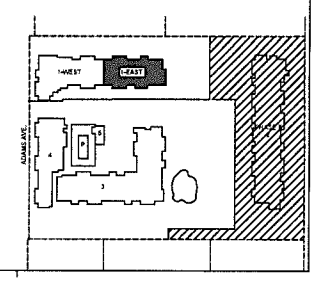
B. PENETRATIONS IN FIRE WALL AND / OR THROUGH AT FIRE RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED FIRE STOPPING. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EGRESS LUMINAIRES AT EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS SIGNAGE SHALL BE ON THE DOOR OR ADJACENT TO WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (E)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 48 HORIZONTAL FROM FACE OF GEAR
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(ii)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH EQUIPMENT BLLEC THAN 30" WIDE (LESS OR 10 FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING WHICHEVER IS LOWER
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(3)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE
   2.5 HIDDEN LINE DEPICTED WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED +36" IN FRONT OF METERING EQUIPMENT AND +6' 6" HIGH
3. ELECTRICAL ROOMS SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC(110.26(C)(3)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOMS SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS (CFC 605.7.2)
5. TELEPHONE AND CATV CUSTOMER MAIN POWER ENTRY "WPOE" PROVIDE 3/4" THICK 4'X8' LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL
6. COMMUNICATION EQUIPMENT BACKBOARD GROUND BUS WITH #4 CU GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120V BRANCH CIRCUIT CONNECTION AND MOUNT SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 5/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM (GROUPED AS PER LIGHTING SCHEDULE). COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL T-PACKAGE
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA TLC3 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CATS DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY TRACKEY CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 1 - ROOF ELECTRICAL PLAN - EAST

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DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER
SHEET E1-111a

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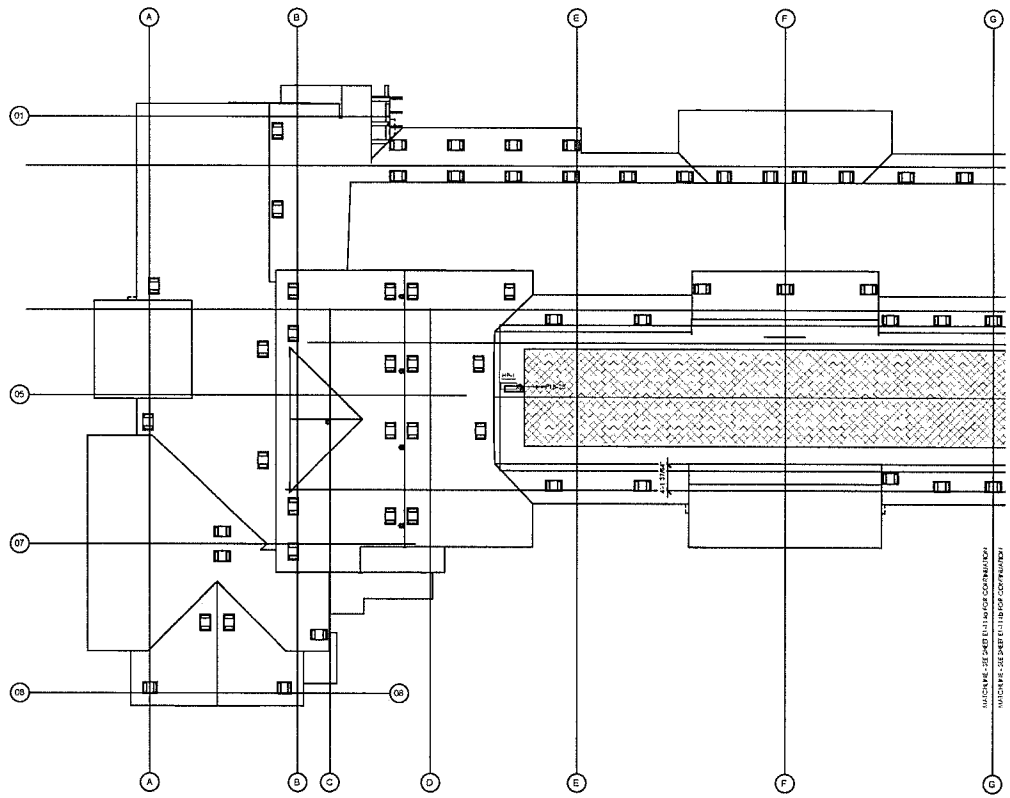


BLDG 1 - ROOF ELECTRICAL PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-601. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED EXHIBIT REFERENCE DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET 307.
A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24
A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

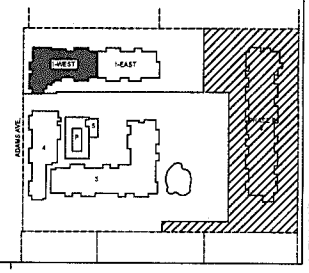
B. PENETRATIONS IN EXTERIOR WALL AND / OR THROUGH AT FIRE RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26(C)(1)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 4' HORIZONTAL FROM FACE OF GEAR
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDE IF EQUIPMENT IS LESS THAN 30" WIDE, EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(iv)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE
   2.5 HIGH VOLTAGE EQUIPMENT WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT: WORKING CLEARANCE SHALL BE MAINTAINED 5'-0" IN FRONT OF METERING EQUIPMENT AND 6'-6" HIGH
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.2.2
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY. PROVIDE 3/4" THICK X 4'H. LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. DEVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO RISER DIAGRAM & SPECIFICATIONS
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120V BRANCH CIRCUIT CONNECTION AND ADJUST SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING BY OTHERS
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPINGS AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA N.O. APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND OFF AT DAWN TYPICAL
13. REFRIGERATOR
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +56" AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY TRACKEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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BLDG 1 - ROOF
ELECTRICAL PLAN - WEST

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DATE 11/08/2022
PROJECT NUMBER -
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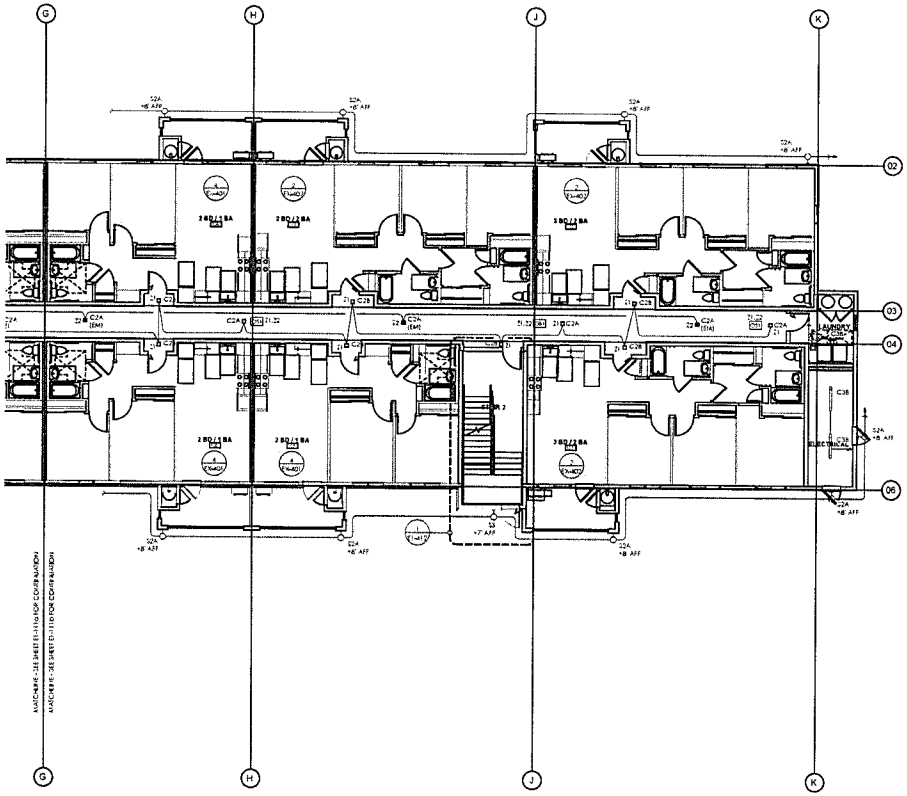


BLDG 1 - GROUND FLOOR LIGHTING PLAN - EAST

SCALE 1/8 = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE FUNCTIONALITY AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING GRAINWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING GRAINWELL ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

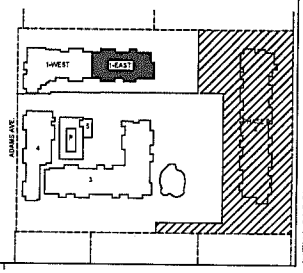
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS AND/OR SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 48" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSED EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CASSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TAKE CONTROL FROM A NEW APPROVED ASTRONOMICAL TIME SWITCH TO "AT DUSK" AND "OFF AT DAWN". TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UN-SWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF (MOUNT 8'6" AFF) AND PROVIDE WITH A FEDRAL PHOTOCELL CONTROL. NEVER SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 1
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR LIGHTING PLAN - EAST

NO.	REVISION	DATE
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PROJECT MANAGER SE
DRAWN BY SE/MD CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E1-121a

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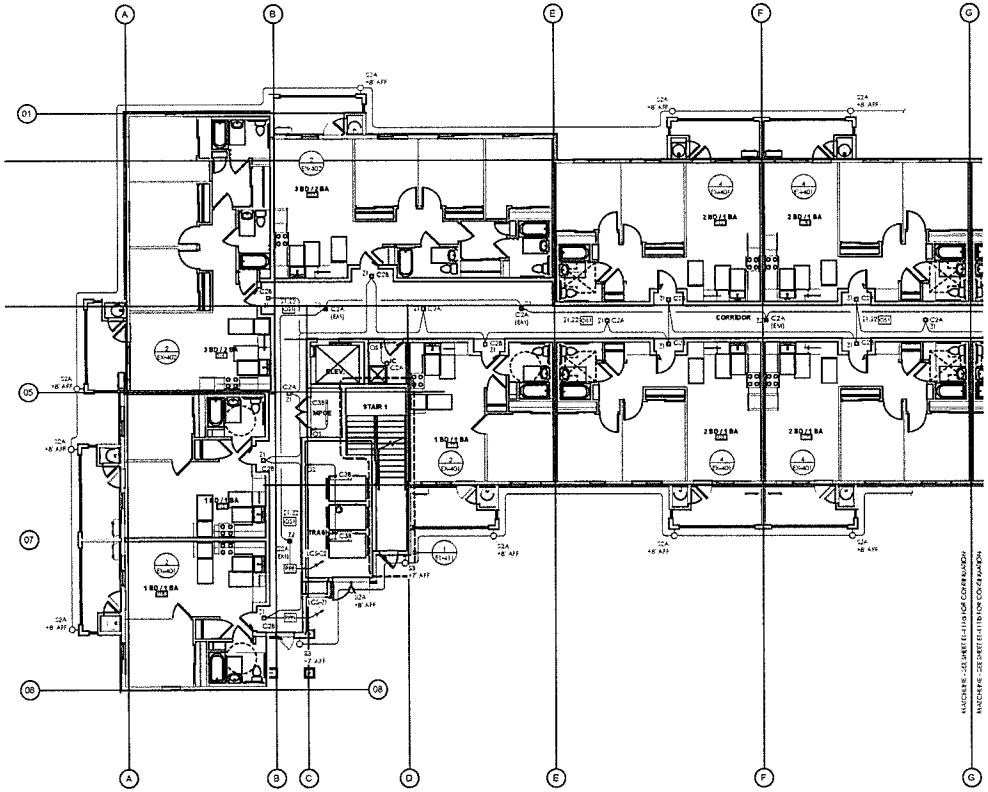


BLDG 1 - GROUND FLOOR LIGHTING PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER EGLIED ENGINEERING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

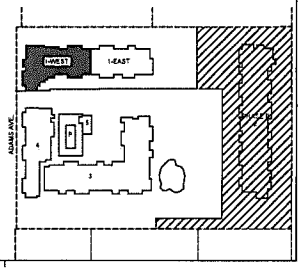
B. PENETRATIONS OF MEMBRANE AND / OR THROUGHS AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION IS REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. A COUPLE SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM CONTROLLING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTALS. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO MANUFACTURER PACKS AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 7-DAY APPROVED ASTRONOMICAL TIME SWITCH ONLY AT DUSK AND OFF AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT 8'-6" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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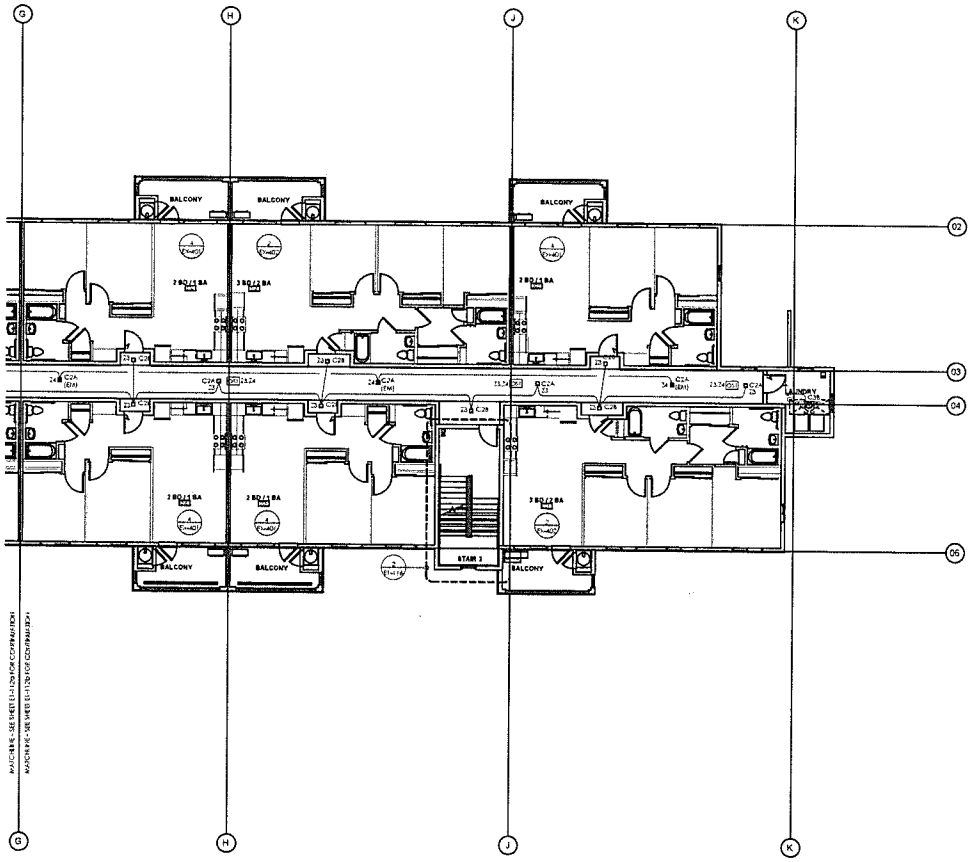
MURRIETA - BUILDING 1
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - GROUND FLOOR LIGHTING PLAN - WEST

NO.	REVISION	DATE

PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E1-121b



BLDG 1 - SECOND FLOOR LIGHTING PLAN - EAST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITIES, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MANIFOLD ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER 5-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 5-24

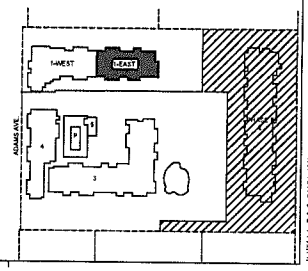
B. PENETRATIONS (IE. WEAR BRANE AND / OR THROUGH) AT FIRE RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL EGRESS LIGHTING ALONG EXIT SIGNS 1-HOUR SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 40" OR MORE THAN 8' ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO FOOTPRINT PLACE AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 5-24 APPROVED ASTRONOMICAL TIME SWITCH TO ON AT DUSK AND OFF AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT A/C APP AND PROVIDE WITH 1 REGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 1
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - SECOND FLOOR LIGHTING PLAN - EAST

NO	REVISION	DATE
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PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E1-122a

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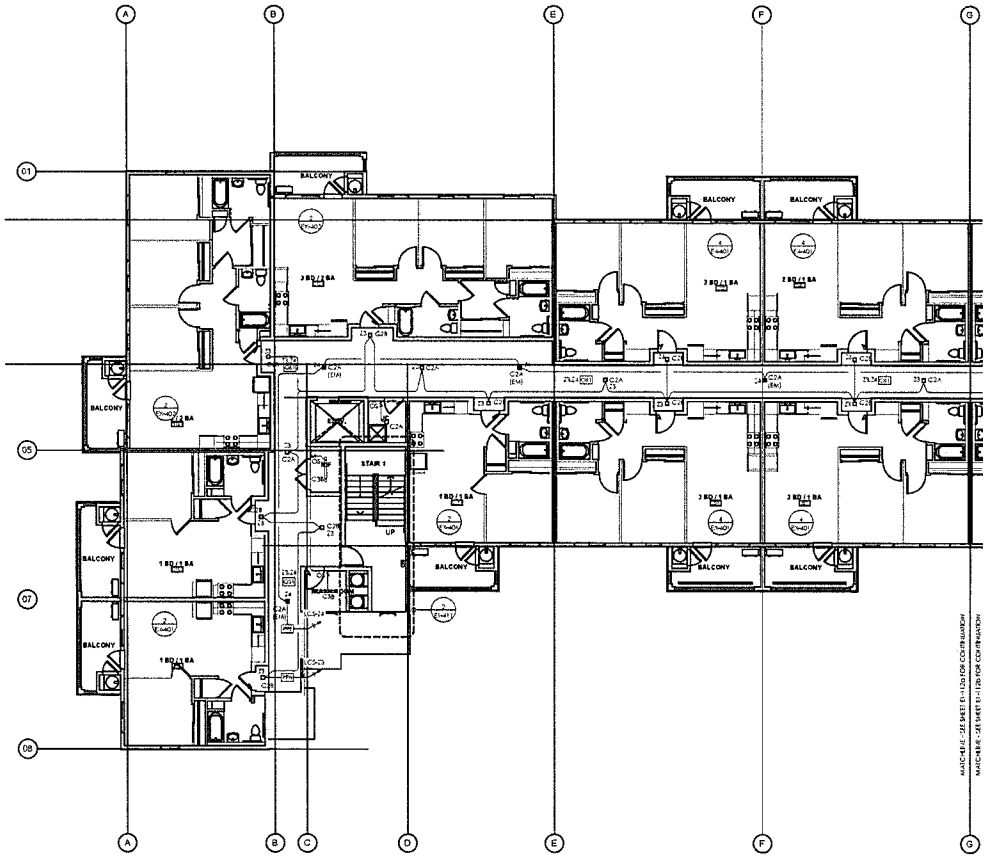


BLDG 1 - SECOND FLOOR LIGHTING PLAN - WEST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS, DEVICE LOCATION, QUALITIES, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER 9-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 9-24

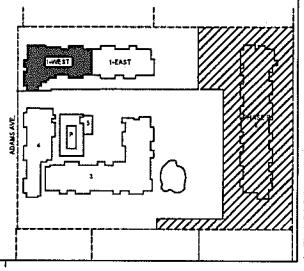
B. PENETRATIONS (IE. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS AND/OR SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCUPYING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 1-24 APPROVED ASTRONOMICAL TIME SWITCH ONLY AT DUSK AND OFF AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 60" AFF AND PROVIDE WITH FEDERAL PHOTOCELL CONTROL. REVED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 1

24960 Adams Ave, Murrieta CA 92562

BLDG 1 - SECOND FLOOR LIGHTING PLAN - WEST

NO	REVISION	DATE
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PROJECT MANAGER SE

DRAWN BY SE/MC CHECKED BY HG

DATE 11/08/2022

PROJECT NUMBER -

SHEET

E1-122b

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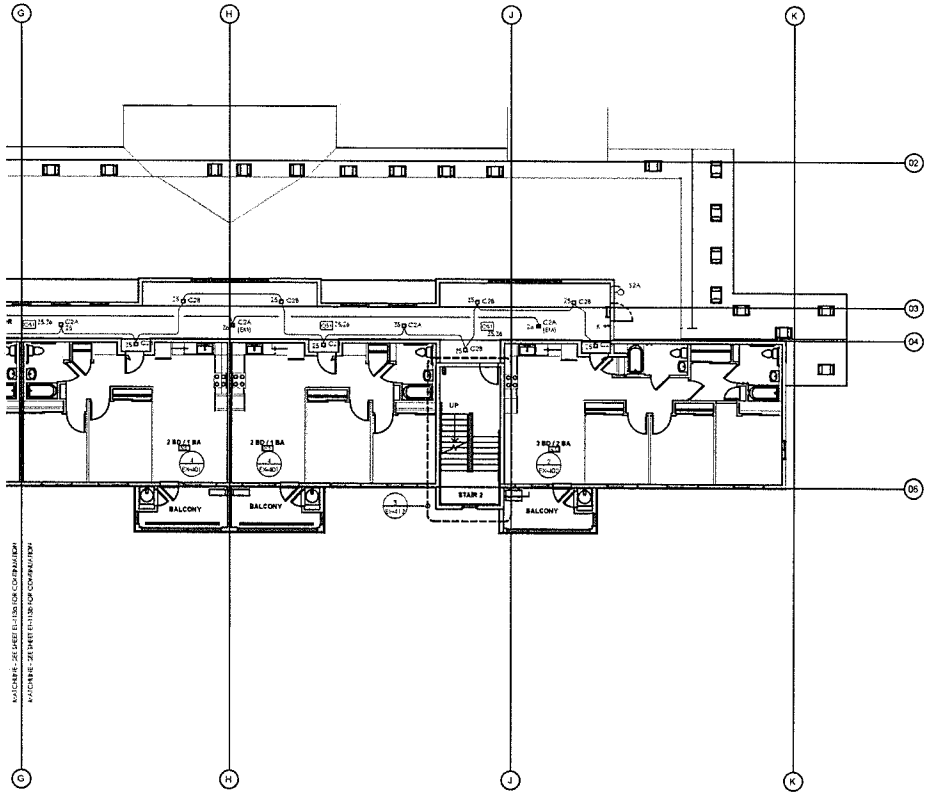


BLDG 1 - THIRD FLOOR LIGHTING PLAN - EAST

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MANDATORY CHECKLIST.

A.1 OCCUPANCY SENSORS WITHIN BUILDING SHAPE CELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BALLASTS CONTROLS AS REQUIRED PER T24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T24.

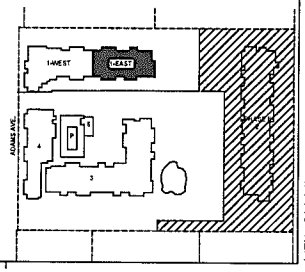
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL DEAD LUMINOUS EXIT SIGNS, AND IF SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPINGS AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL, TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS, TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL VIA T24 APPROVED ASTRONOMICAL TIME SWITCH TO ON AT DUSK AND OFF AT DAWN, TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDOR.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF TAGGED AS AFF AND PROVIDE WITH INTERNAL PHOTOCELL CONTROL. NEVER SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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MURRIETA - BUILDING 1
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - THIRD FLOOR LIGHTING PLAN - EAST

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E1-123a

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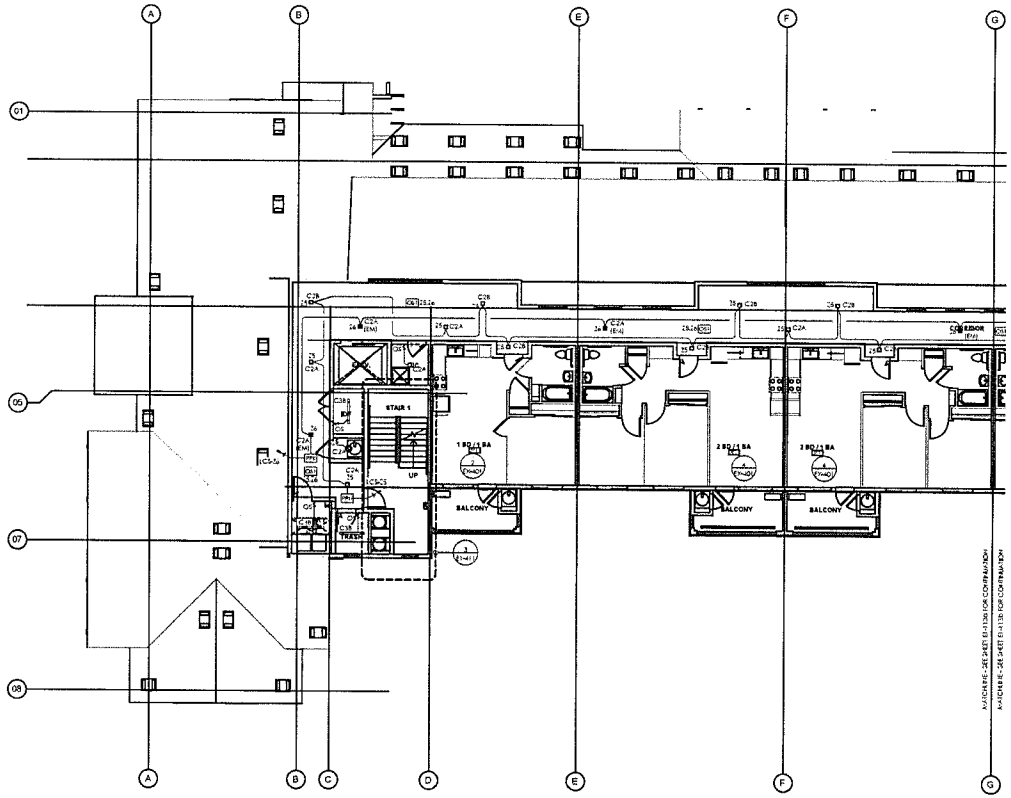


BLDG 1 - THIRD FLOOR LIGHTING PLAN - WEST

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER GUIDELINES AND REFERENCE DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BALEVEL CONTROLS AS REQUIRED PER 1-124

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 1-124

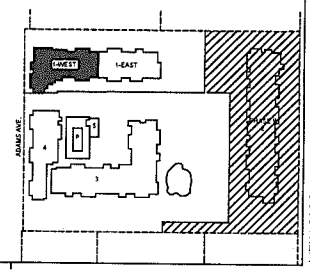
B. PENETRATIONS (E.G. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EXIT LUMINOUS EXIT SIGNS, ALCOVE SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACKS, AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 1-124 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF TRUSS 8'-6" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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MURRIETA - BUILDING 1
24960 Adams Ave, Murrieta CA 92562

BLDG 1 - THIRD FLOOR LIGHTING PLAN - WEST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E1-123b

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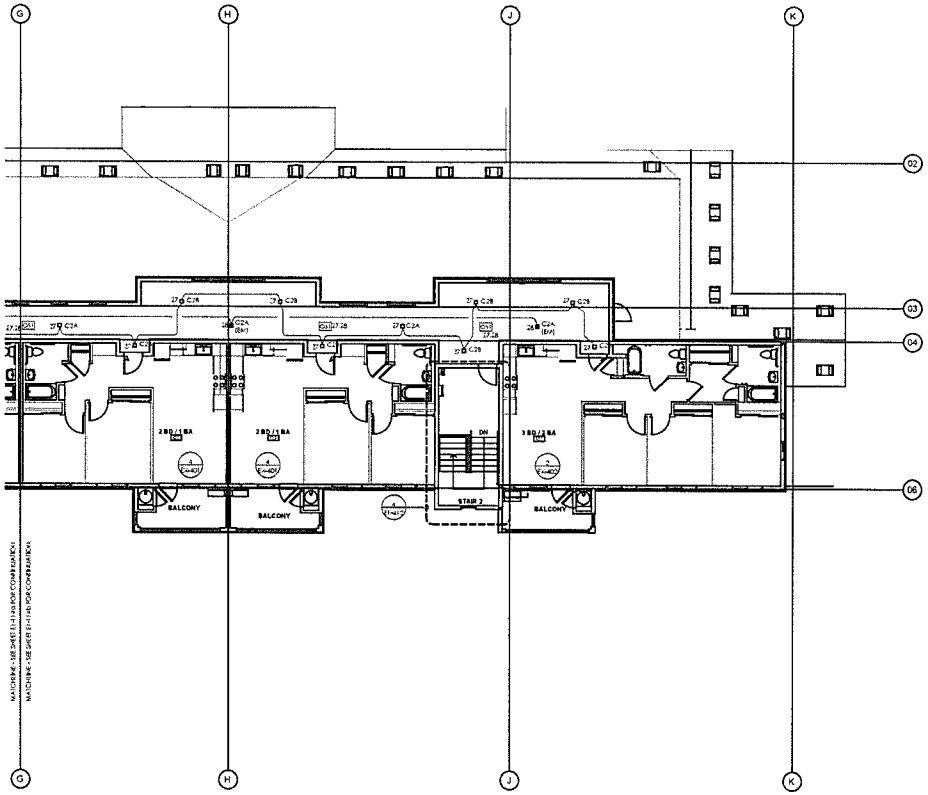


BLDG 1 - FOURTH FLOOR LIGHTING PLAN - EAST

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION IDENTIFIED, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA ASSIGNED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER 5.24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 5.24

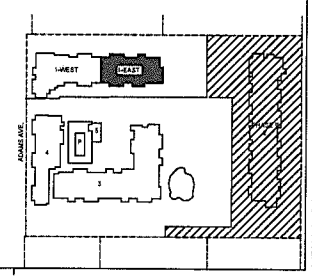
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS IN LIEU OF SUCH THAT THE BOTTOM OF THE SIGNS IS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 1" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL VIA TLP24 APPROVED ASTRONOMICAL TIME SWITCH TO1 AT DUSK AND OFF AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 66" AFF AND PROVIDE WITH BI-SECTORAL PHOTOCELL CONTROL. MOUNT SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 1
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BLDG 1 - FOURTH FLOOR LIGHTING PLAN - EAST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E1-124a

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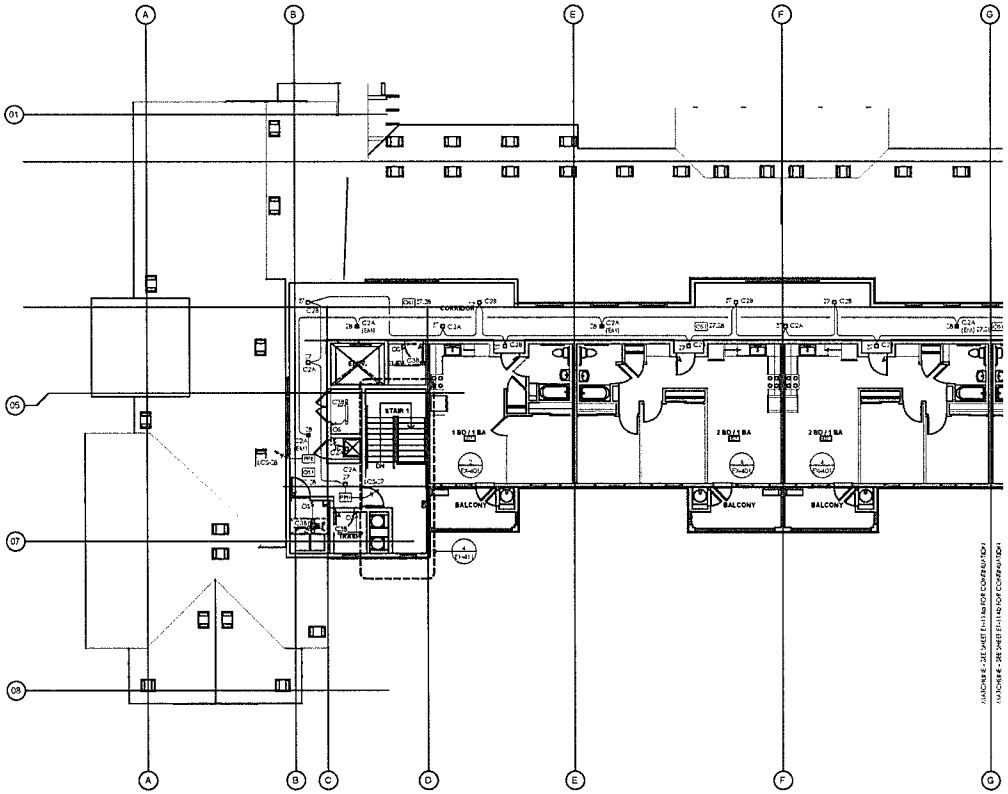


BLDG 1 - FOURTH FLOOR LIGHTING PLAN - WEST

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MANUAL ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACES AS REQUIRED PER T-24

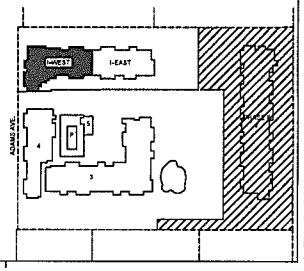
B. PENETRATIONS (I.E. MEMBRANE AND/OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SIGN-LUMINOUS EXIT SIGNS ARCHITECTURALLY SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8' OR MORE THAN 10' ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL TO T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 8'-6" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. NEED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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BLDG 1 - FOURTH FLOOR LIGHTING PLAN - WEST

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E1-124b

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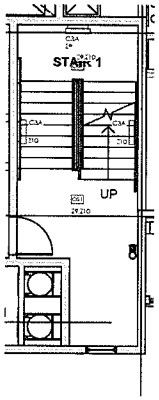
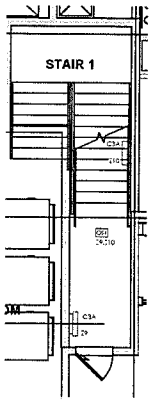
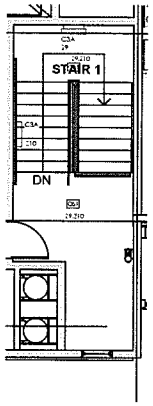


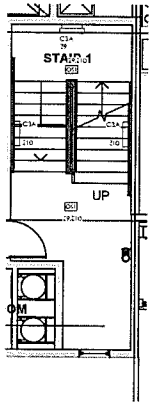
3 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1 - THIRD FLOOR
SCALE: 1/4" = 1'-0"



1 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1 - GROUND FLOOR
SCALE: 1/4" = 1'-0"



4 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1 - FOURTH FLOOR
SCALE: 1/4" = 1'-0"



2 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1 - SECOND FLOOR
SCALE: 1/4" = 1'-0"

6 REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER LICENSED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR 9-LEVEL CONTROLS AS REQUIRED PER 1-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 1-24.

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS AT FLOOR SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 48" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM CIRCUITING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACKS, AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA N-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 6'6" AFF AND PROVIDE WITH A FEDERAL PHOTOCELL CONTROL. NEVER SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.

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BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 1

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PROJECT MANAGER: SE
DRAWN BY: SE/MC CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
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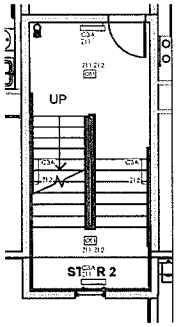
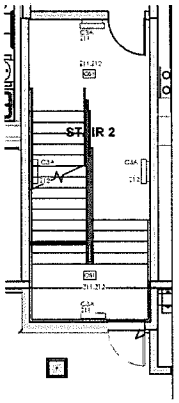


3 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2 - THIRD FLOOR
SCALE: 1/4" = 1'-0"



1 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2 - GROUND FLOOR
SCALE: 1/4" = 1'-0"

6 REFERENCE NOTES

GENERAL NOTES:

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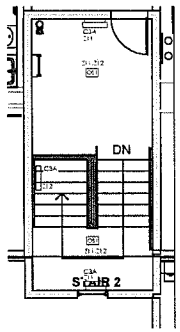
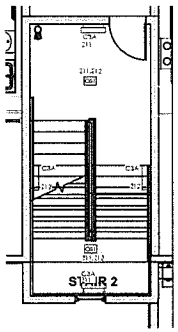
   A.1 OCCUPANCY SENSORS WITHIN BUILDING COMMONS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR MULTI-LEVEL CONTROLS AS REQUIRED PER T-24
   A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.
C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED.
D. PROVIDE LOW LEVEL MULTI-LUMINOUS EXIT SIGNS AND/OR SUCH THAT THE BOTTOM OF THE SIGNS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACKS AS PER MANUFACTURER REQUIREMENTS TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL HAVE CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT 6'-8" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERIODS ELSE CONTROL ONLY



4 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2 - FOURTH FLOOR
SCALE: 1/4" = 1'-0"



2 BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2 - SECOND FLOOR
SCALE: 1/4" = 1'-0"

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BLDG 1 - ENLARGED LIGHTING PLAN - STAIR 2

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
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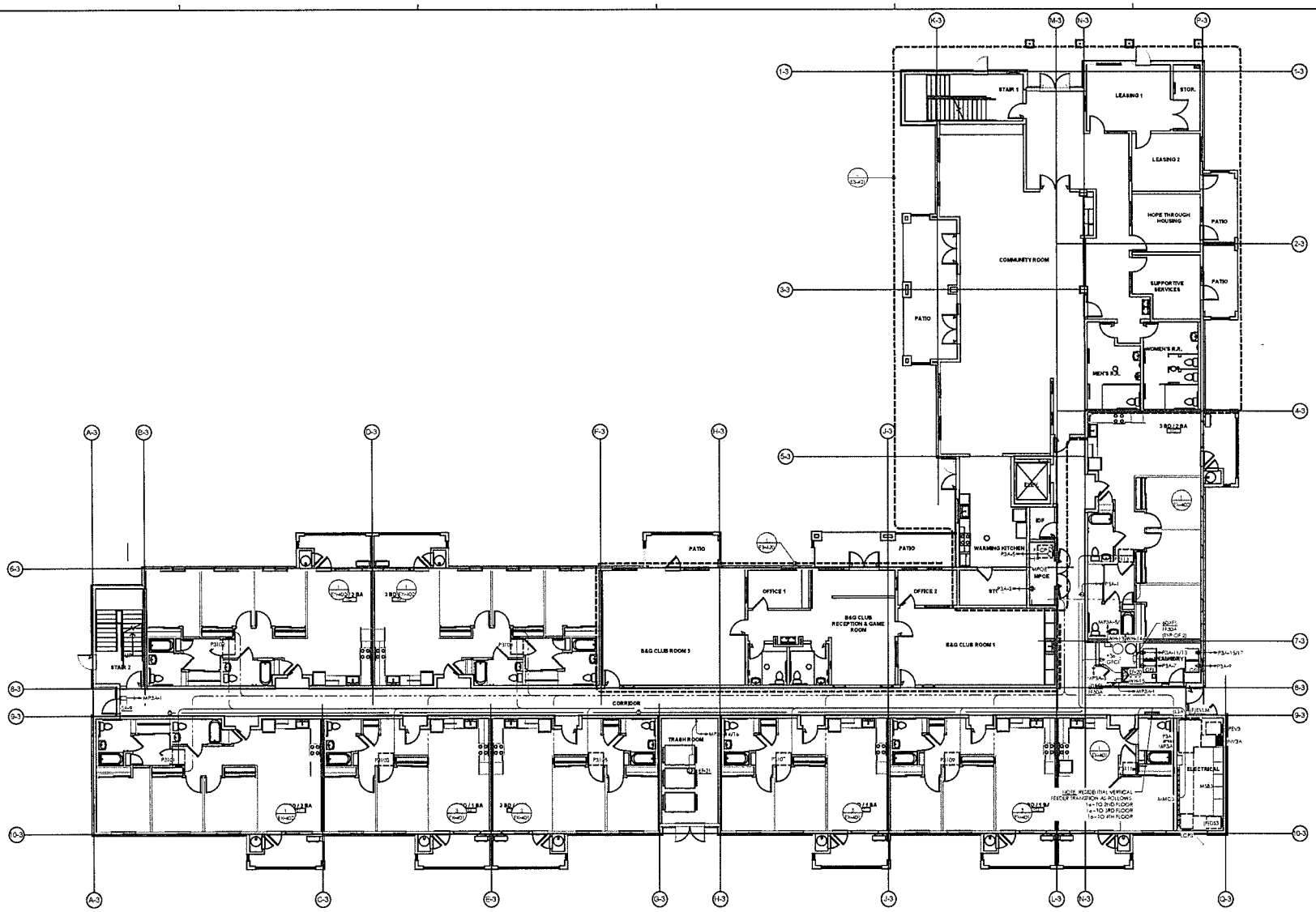


BLDG 3 - GROUND FLOOR POWER PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-402. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET

GENERAL NOTES

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATIONS, DIMMERS, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX (SHEET E0.7).
A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.
A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

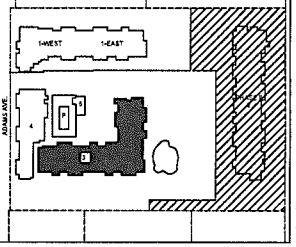
B. PENETRATIONS (EX. MEMBRANE) AND / OR THROUGHS AT FIBERATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRANCH DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIBERATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EXIT LUMINAIRE EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 4' HORIZONTAL FROM FACE OF GEAR.
2.2. DEDICATED SPACE (CEC 110.26(B)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE, EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
2.3. DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
2.4. SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/CLEAR SPACE.
2.5. HIDDEN LIKE IDENTIFIES INCREASING CLEARANCE REQUIRED EXTS AT INTERFACING EQUIPMENT. WORKING OVERHEAD CLEARANCE SHALL BE MAINTAINED A 36" IN FRONT OF METERING EQUIPMENT AND 6' HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 2A SPECIFICATIONS IN REGARD TO LOCATION OF EMERGENCY EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE". PROVIDE 3/4" THICK A.C. PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SEE NECO 001 EXIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND INSTALL SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 5/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNAL WIRING BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
11. RETROFIT EXISTING LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACKSPLASH.
15. ELECTRIC RANGE.
16. NOT USED.
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER.
20. LAUNDRY WASHER.
21. NOT USED.
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
25.1 SMOKE DETECTOR (FOR LEVEL ONLY) AS PER FIRE ALARM PLANS.
25.2 CATS DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.
26. HANDY TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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BLDG 3 GROUND FLOOR POWER PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
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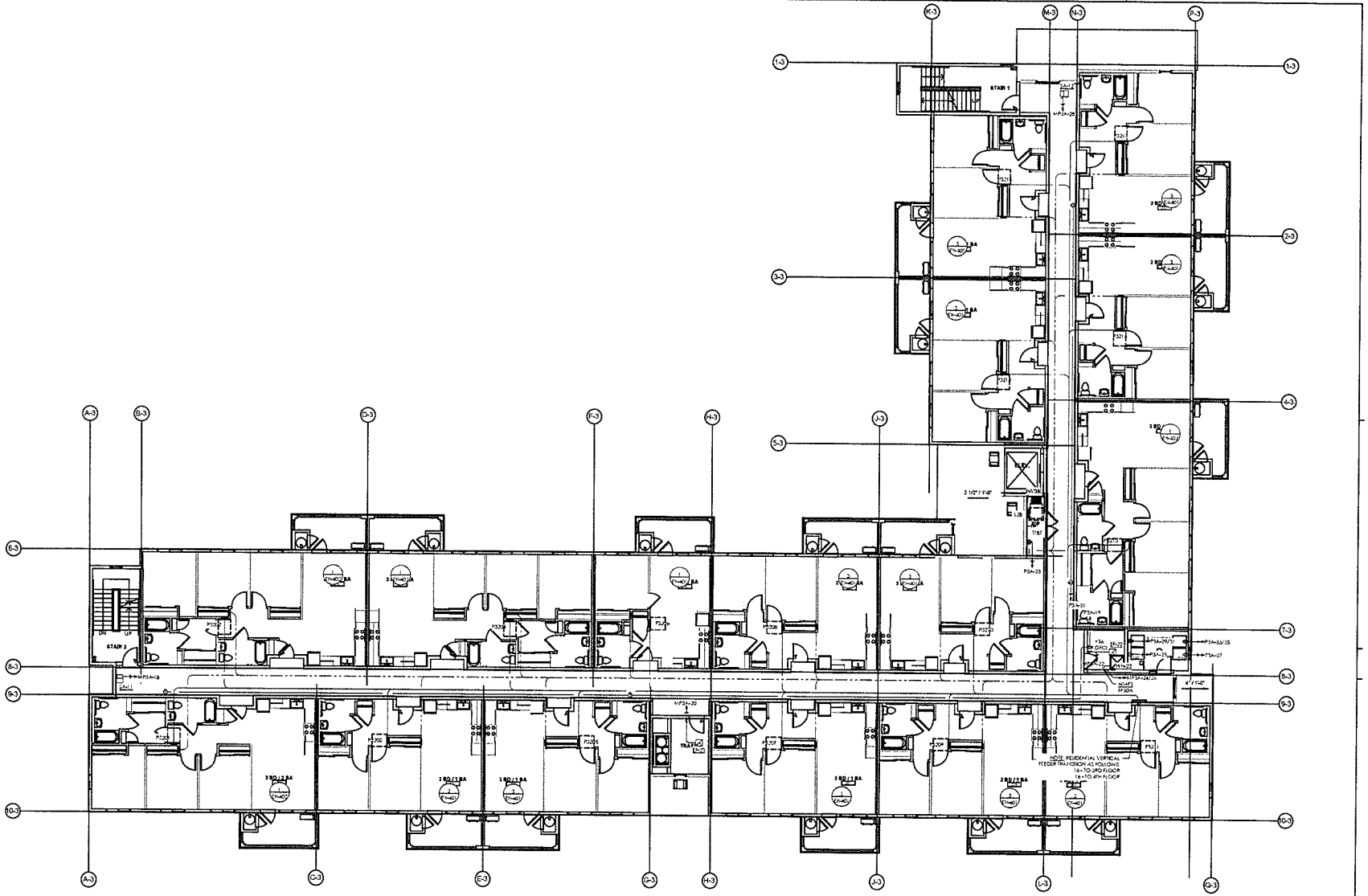


BLDG 3 - SECOND FLOOR POWER PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET

GENERAL NOTES

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED IESIGESERVING DRAWINGS, DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.1.
A-1. OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR 24-HRS CONTROLS AS REQUIRED PER T-24.
A-2. OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION FOR NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

B. PENETRATIONS (I.E. MEMBRANE AND/OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

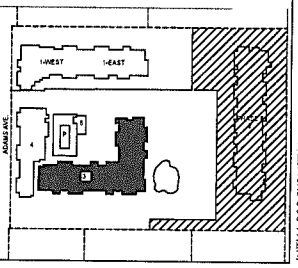
C. WIRE PROTECTED LUMINAIRES ARE NOT ALLOWED IN A FIRE-RATED CEILING. PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SIGNS (GRAPHIC EXIT SIGNS) MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
2.1. LARGE EQUIPMENT (CEC 110.26(C)(2)(b) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
2.2. DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH EQUIPMENT & LESS THAN 30" WIDE EXTENDING FROM THE FLOOR TO A HEIGHT OF 6 ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER DEDICATED NON-SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
2.4. SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
2.5. HIDDEN WIRE IDENTIFIES WORKING CLEARANCE REQUIRED BY AHJ. MATERIALS EQUIPMENT IN CONFLICT OR CLEARANCE SHALL BE MAINTAINED +36" IN FRONT OF METERING EQUIPMENT AND +6' HIGH.

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN RELATED TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 604.7.2
5. TELEPHONE AND CATV (CUSTOMER MAIN POINT OF ENTRY "MPOE"). PROVIDE 3/4" THICK X 4'H LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED IN FIRE RETARDANT FINISH. MAINTAIN 5' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2" ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND 120VAC 1HR DATA DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNAL WIRING BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
11. REFER TO RECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT6E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL 24/7 AS APPROVED AUTHOROMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACKSPLASH.
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE COMBINATION AS NOTED.
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT +36 AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH.
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR.
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
25.1. SMOKE DETECTOR (TOP LEVEL) OR ELSE AS PER FIRE ALARM PLANS
25.2. CAT6 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
25.3. 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
25.4. HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDI-TRACKER CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 3 SECOND FLOOR POWER PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
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SHEET: E3-102

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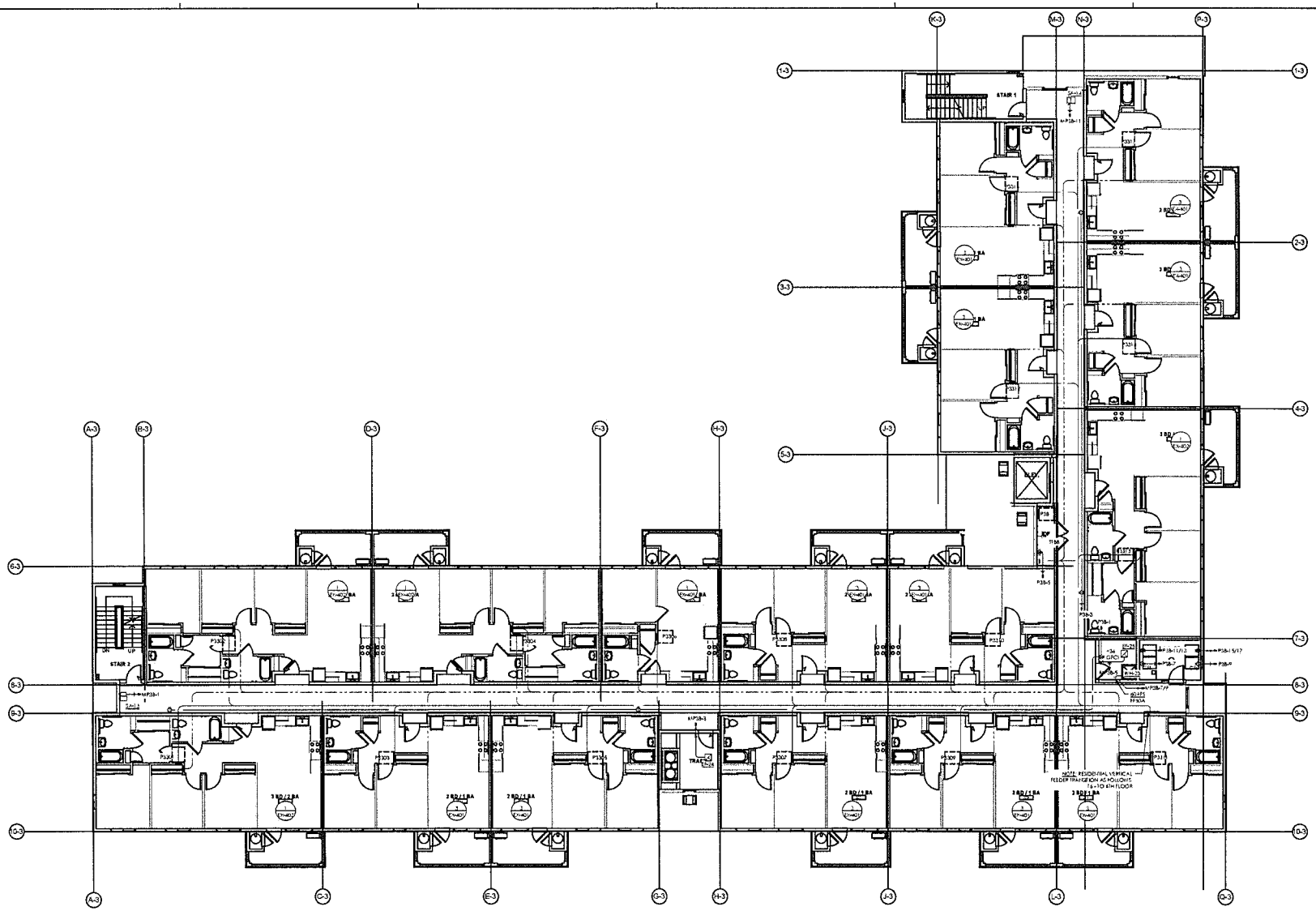


BLDG 3 - THIRD FLOOR POWER PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
PERIMETER NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL PERIMETER NOTES MAY NOT OCCUR ON THIS SHEET

GENERAL NOTES:

A. LIGHTING CONTROLS STRIP SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED FIELD REFINED DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.
A.1. OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.
A.2. OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

B. PENETRATIONS OF E. MEMBRANE AND/OR THROUGH AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION(S). REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

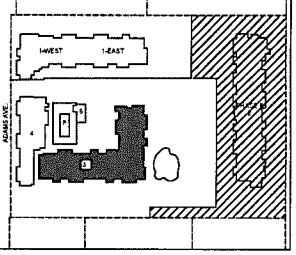
C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS ON DOUBT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8", OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
2.1. LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 7½' HORIZONTAL FROM FACE OF GEAR.
2.2. DEDICATED SPACE (CEC 110.26(E)(1)(iii)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDE IF EQUIPMENT IS LESS THAN 30" WIDE, EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
2.3. DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
2.4. SPRINKLER PROTECTION (CEC 110.26(E)(1)(iii)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE
2.5. MODERN USE EQUIPMENT WORKING CLEARANCE REQUIREMENTS AT MECHANICAL EQUIPMENT WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF METERING EQUIPMENT AND 6 6" HIGH.

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CECTO 240(3)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN REGARD TO LOCATION OF EMPLOYED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2.
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY (MPOE). PROVIDE 3/4" THICK X 4'H. LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE COUPLER SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUND BUS WITH 6 AWG CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25 FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL (FACP). PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND 1-HOUR STROBE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. PACKEAR 1 TO FIRE ALARM CONTROL PANEL (FACP). FIRE ALARM SIGNAL WIRING. BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
11. BIPOLAR INTELLIGENT LOW VOLTAGE OCCUPANCY SENSORS WITH CASE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 1-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT + 36 AFF.
23. TAMPER AND FLOW SWITCH AT FIRE RISER. (LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL. SEE NOTE #28. (LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
25.1. SMOKE DETECTOR (TOP LEVEL OF ELV) AS PER FIRE ALARM PLANS
25.2. CAT6 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
25.3. 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
25.4. HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY-TRAC KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 THIRD FLOOR POWER PLAN

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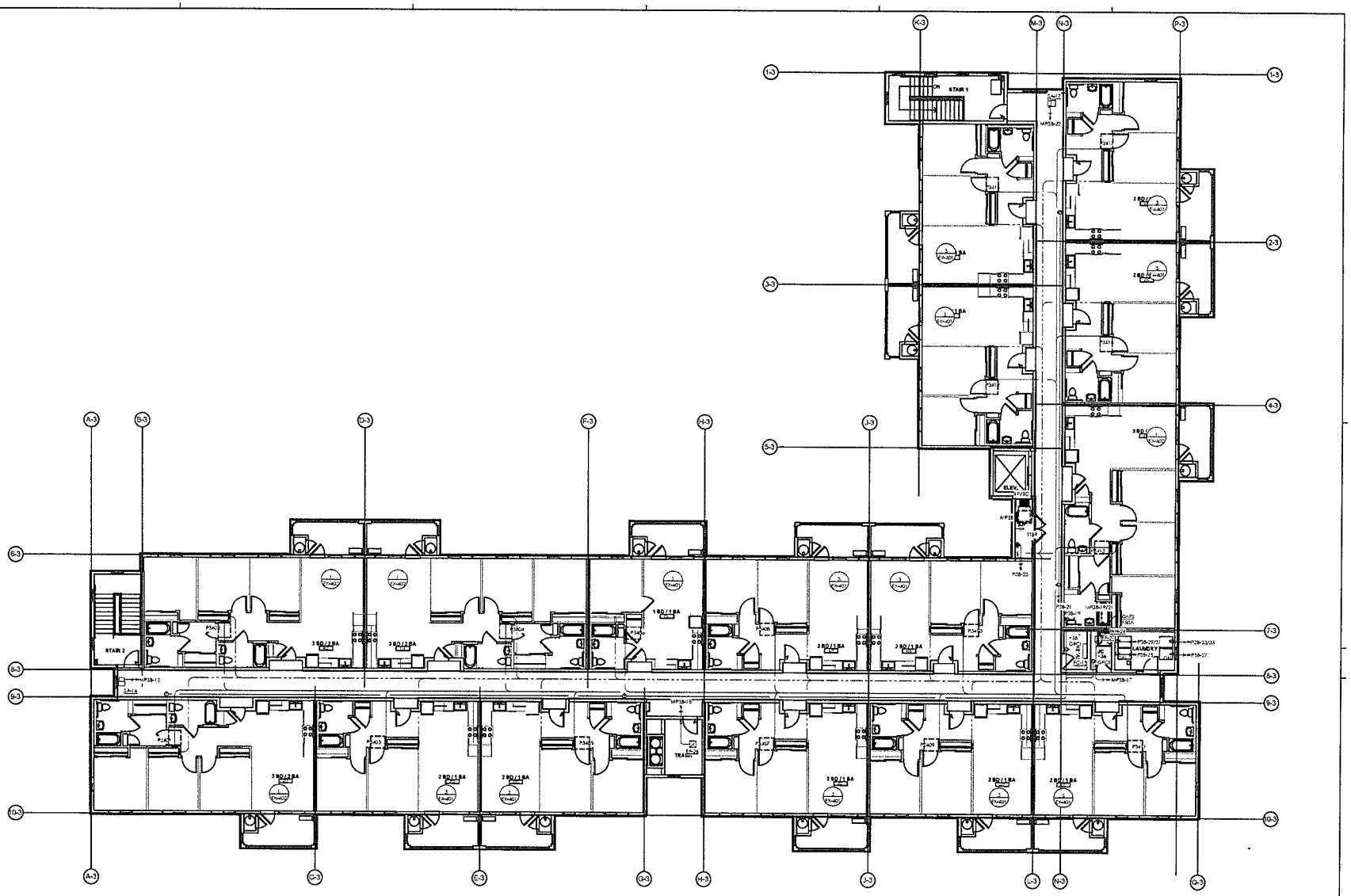
PROJECT MANAGER: SE
DRAWN BY: SE/MC CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-103

INITIAL B&S SUBMITTAL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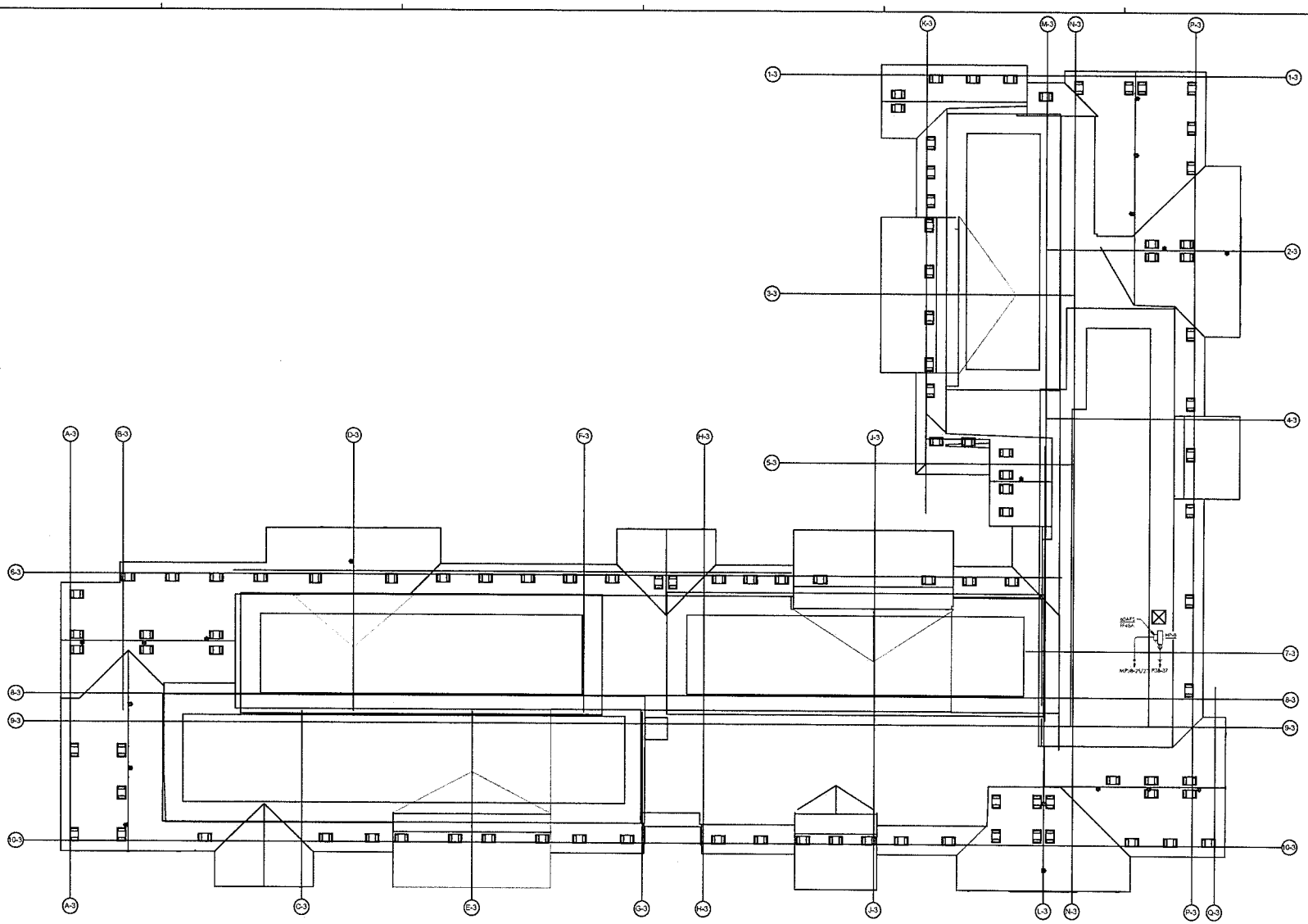


BLDG 3 - ROOF ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E1-101 THROUGH E1-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED REVISED DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA, AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE NARRATIVE (SHEET E0.7).
A.1. OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BILEVEL CONTROLS AS REQUIRED PER 9-24.

A.2. OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC DAYLIGHT HARVESTING WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 9-24.

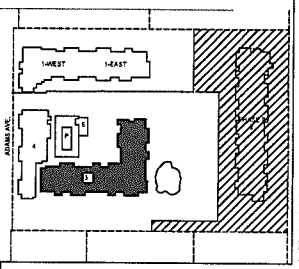
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT RIMRATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A RIMRATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SIGN LUMINAIRES AT 30" AFF, MOUNT SUCH THAT THE BOTTOM OF THE SIGNAGE NOT LESS THAN 6" OR MORE THAN 48" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 8" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
2.1. LARGE EQUIPMENT (CEC 110.26 (C)(2)(b) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 36" HORIZONTAL FROM FACE OF GEAR.
2.2. DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 1 30" WIDE ESTABLISHED FROM FINISHED FLOOR TO A HEIGHT OF 36 ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
2.3. DEDICATED WORK SPACE (CEC 110.26(E)(1)(b)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT.
2.4. SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE (CLEAR SPACE).
2.5. HIDDEN (BIRD DEFIRES) WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE 3' WIDE AND 6.5' IN FRONT OF METERING EQUIPMENT AND 6' 6" HIGH.
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION.
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN PREPARED TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE". PROVIDE 3/4" THICK x 4 ft. LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 5' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP 4 AN MINIMUM OF 2" ABOVE FLOOR LEVEL.
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION.
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND MOUNT SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP". FIRE ALARM SIGNALS WIRING BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
11. BETWEEN FIRST LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE UG FIBER CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA 1-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
13. REFRIGERATOR
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH COUNTER SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
18. FLUSH MOUNTED MEDIA BOX WITH DEVICES CONFIGURATION AS NOTED.
19. LAUNDRY DRYER
20. LAUNDRY WASHER.
21. NOT USED
22. LAUNDRY DEVICES SHALL MOUNT 4'-36" AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL: SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
25.1. SMOKE DETECTOR (TOP LEVEL) OR (LV) AS PER FIRE ALARM PLANS.
25.2. CATS DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
25.3. 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
25.4. HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY TRACKEY CONTROL SYSTEM DEDICATED RECEPTACLE.



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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 ROOF ELECTRICAL PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MG | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-111

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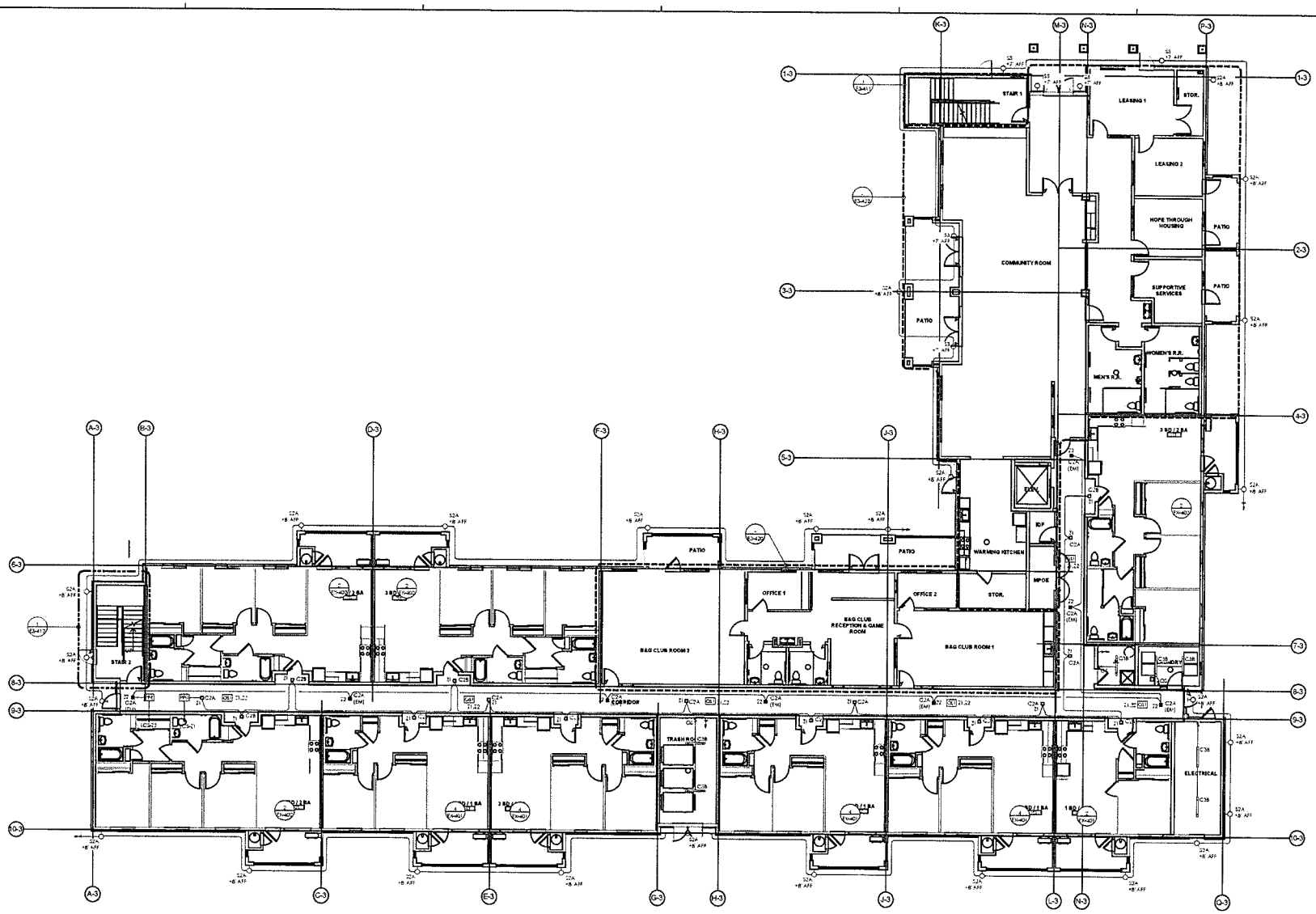


BLDG 3 - GROUND FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED SPECIFICATIONS, DRAWINGS, DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.1.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

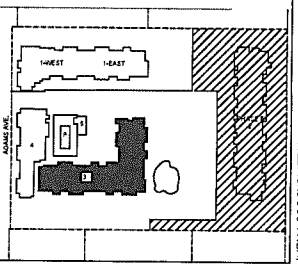
B. PENETRATIONS, MEMBRANE AND/OR THROUGHS AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPINGS AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND OFF AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNTED SSA AND PROVIDE WITH INDOOR PHOTOCELL CONTROL. LEVER SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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BLDG 3 - GROUND FLOOR LIGHTING PLAN

NO.	REVISION	DATE

PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E3-121

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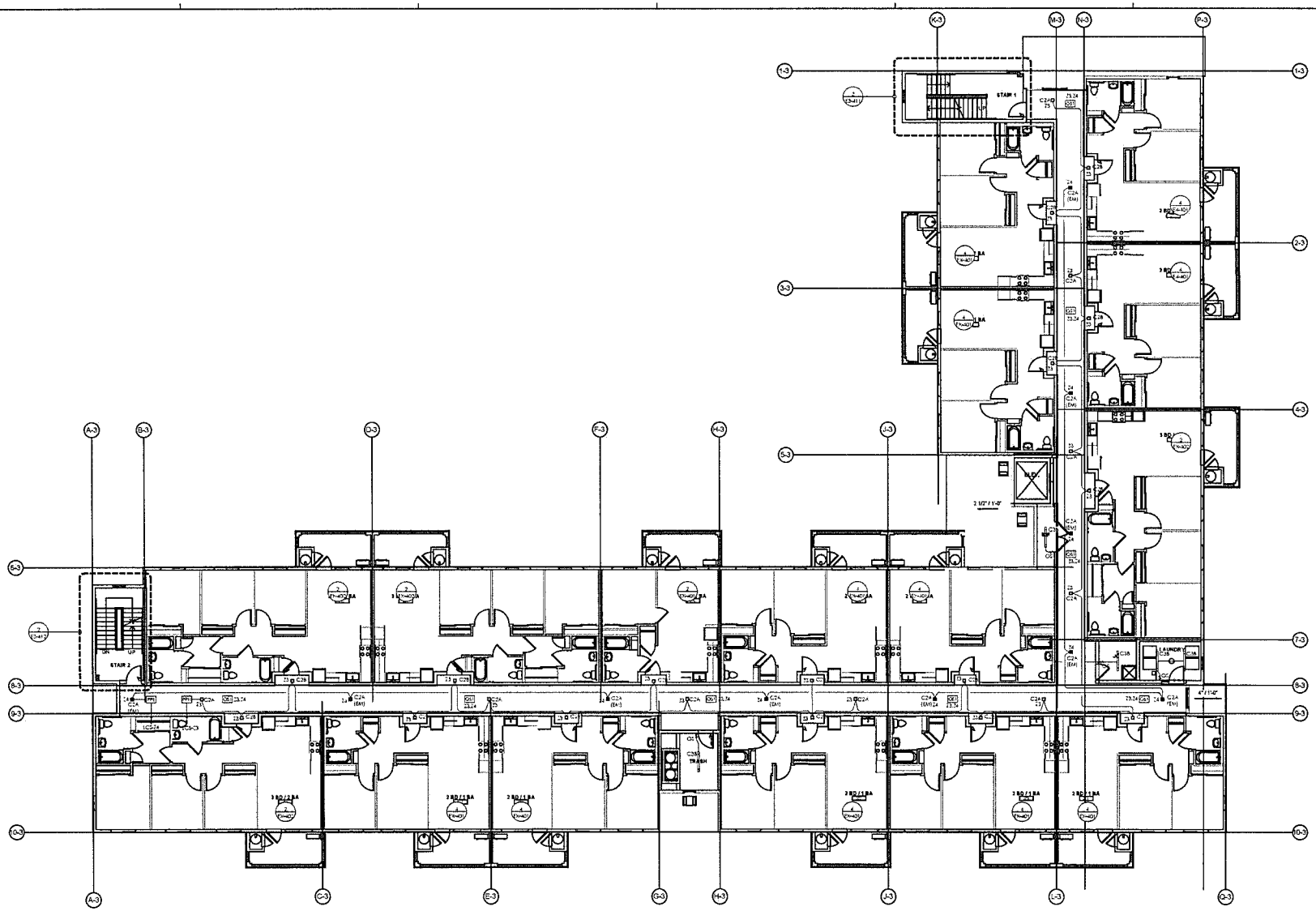


BLDG 3 - SECOND FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER'S INSTRUCTIONS. DRAWINGS DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.1.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

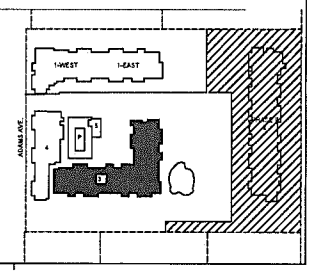
B. PENETRATIONS FIRE MEMBRANE AND/OR THROUGHS AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EGRESS LUMINOUS EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGNS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR, FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL TITLE 24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNTED EQUIPMENT AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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24960 Adams Ave, Murrieta CA 92562

BLDG 3 - SECOND FLOOR LIGHTING PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-122

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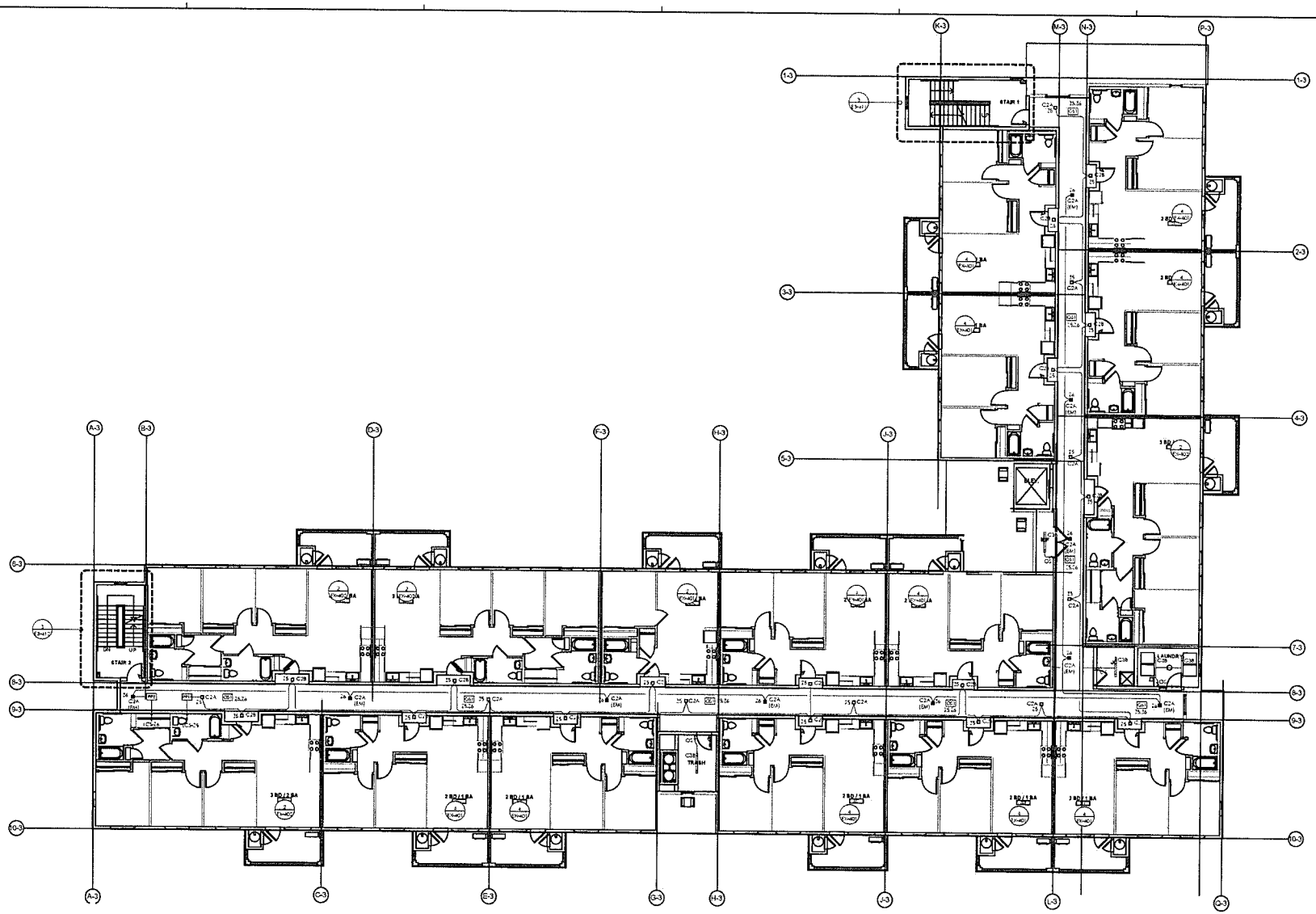


BLDG 3 - THIRD FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ETCHED OTHERWISE DRAWINGS, DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR PREFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.1

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCHED INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

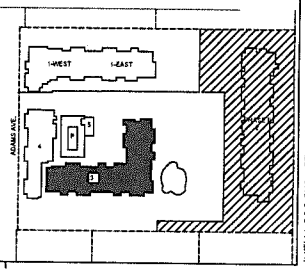
B. PENETRATIONS FIRE, MEMBRANE AND / OR THROUGH AS FIRE RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 42" OR MORE THAN 48" ABOVE FINISHED FLOOR, FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNTED AHU AND PROVIDE WITH MECHANICAL PHOTOCELL CONTROL. LIMITED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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24960 Adams Ave, Murrieta CA 92562

BLDG 3 - THIRD FLOOR LIGHTING PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
SHEET: E3-123

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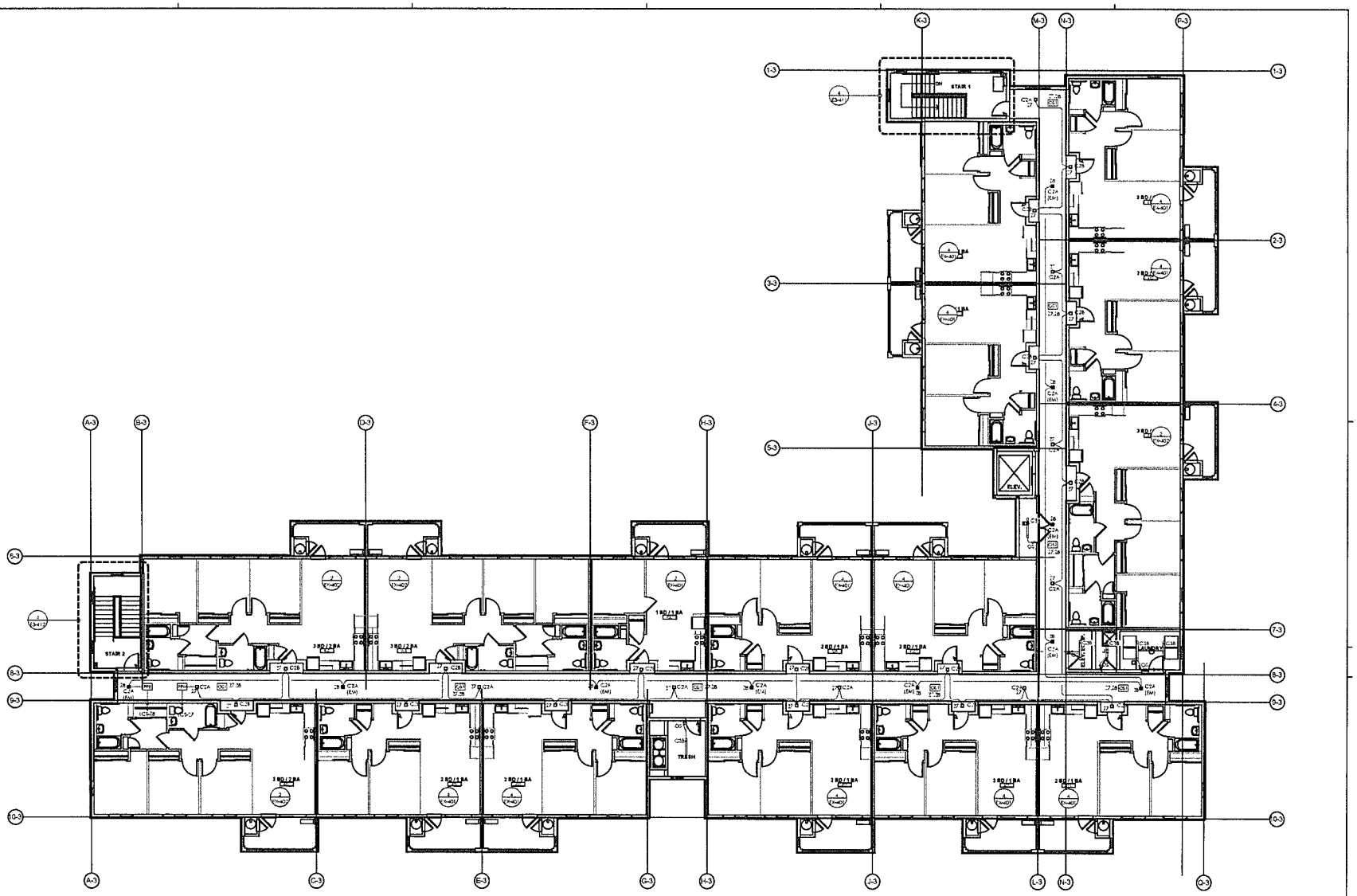


BLDG 3 - FOURTH FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER'S INSTRUCTIONS, DRAWINGS, DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIGHT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

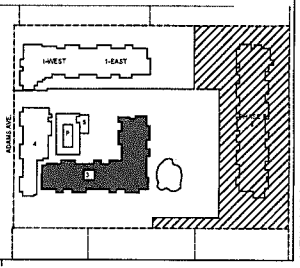
B. PENETRATIONS (I.E. MEMBRANE AND/OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EGRESS LUMINAIRE AND SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGNS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH EACH VENDOR APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CASE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL (24-7-365) APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 8'-0" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. LEVED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.



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BLDG 3 - FOURTH FLOOR LIGHTING PLAN

NO	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-124

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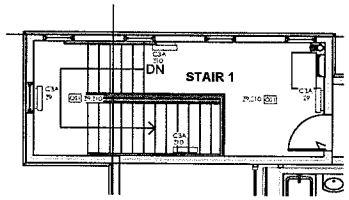
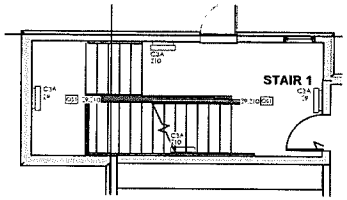
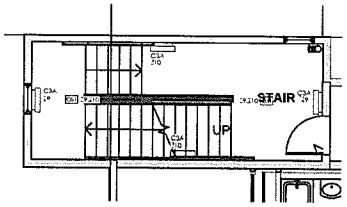


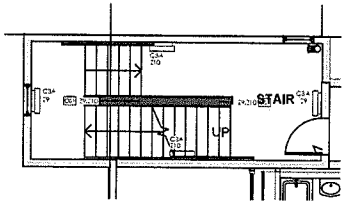
4 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1 - FOURTH FLOOR
SCALE: 1/4"=1'-0"



1 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1 - GROUND FLOOR
SCALE: 1/4"=1'-0"



2 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1 - SECOND FLOOR
SCALE: 1/4"=1'-0"



3 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1 - THIRD FLOOR
SCALE: 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA ADDRESSED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNAGE AND LIGHTS SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNTED EQUIPMENT AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERIODS BY CONTROL ONLY

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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 1

NO	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-411

INITIAL B&S SUBMITTAL

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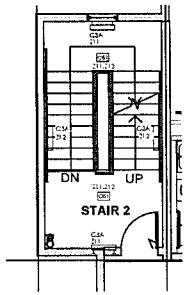
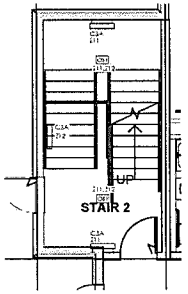
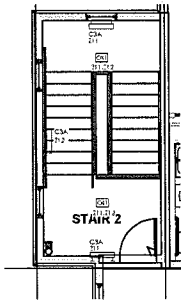


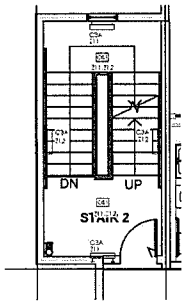
3 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2 - THIRD FLOOR
SCALE 1/4"=1'-0"



1 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2 - GROUND FLOOR
SCALE 1/4"=1'-0"



4 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2 - FOURTH FLOOR
SCALE 1/4"=1'-0"



2 BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2 - SECOND FLOOR
SCALE 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS OF A MEMBRANE AND / OR THROUGH AN FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATION. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EGRESS LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME TYPICAL WHERE OCCUPYING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH EVSE-REP APPROVED MANUFACTURER SUBMITTAL. TYPICAL
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL AN T-24 APPROVED ASTRONOMICAL TIME SWITCH ON AT DUSK AND OFF AT DAWN TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT & 10' AFF AND PROVIDE WITH FEDERAL PHOTOCELL CONTROL KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY

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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ENLARGED LIGHTING PLAN - STAIR 2

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-412

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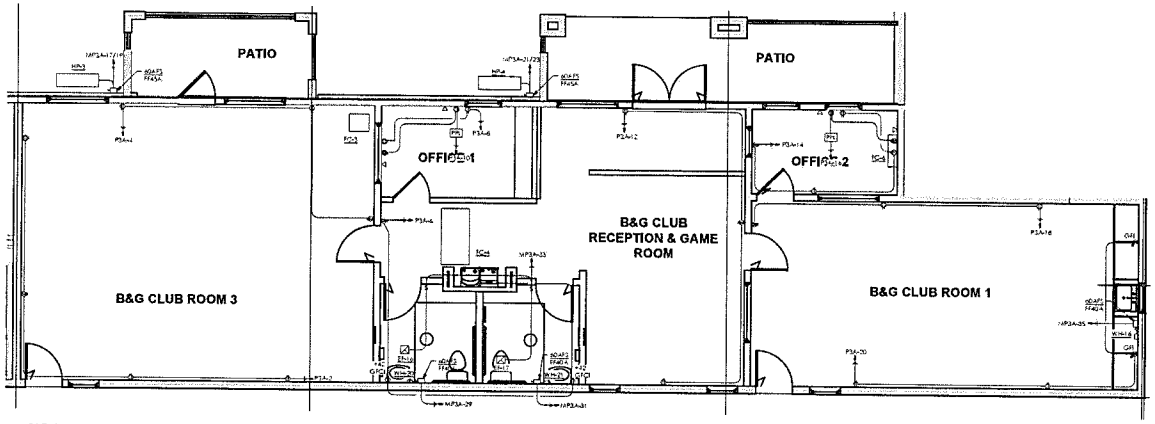
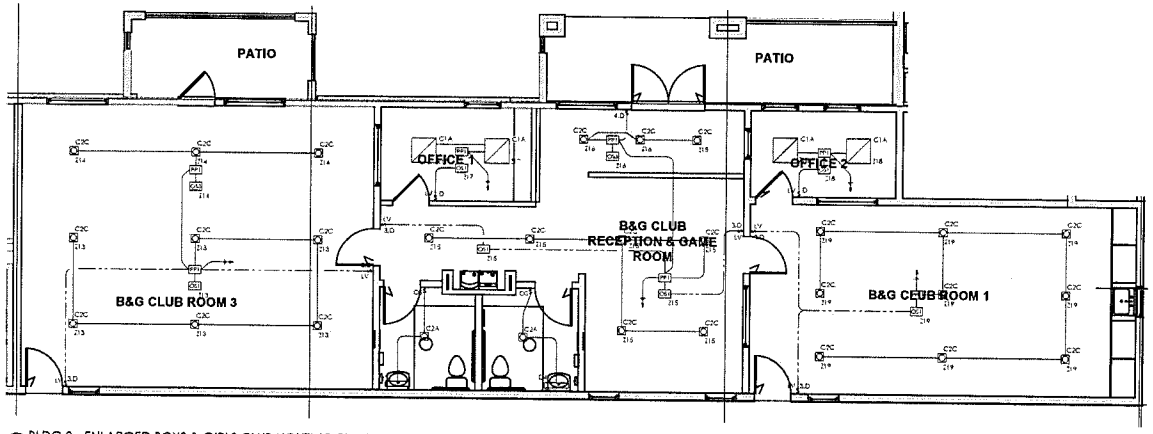


1 BLDG 3 - ENLARGED BOYS & GIRLS CLUB POWER PLAN
SCALE 1/4"=1'-0"



2 BLDG 3 - ENLARGED BOYS & GIRLS CLUB LIGHTING PLAN
SCALE 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

B. PENETRATIONS (EX. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED INCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL EGRESS LUMINOUS EXIT SIGNS, MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 42" OR MORE THAN 48" ABOVE FINISHED FLOOR, FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME, TYPICAL WHERE OCCUPIED.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK, AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE INTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH TO "AT DUSK" AND "OFF" AT DAWN. TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF TRUSSES AND ATTIC AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. REMOTE SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.

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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ENLARGED BOYS & GIRLS CLUB ELECTRICAL PLANS

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E3-420

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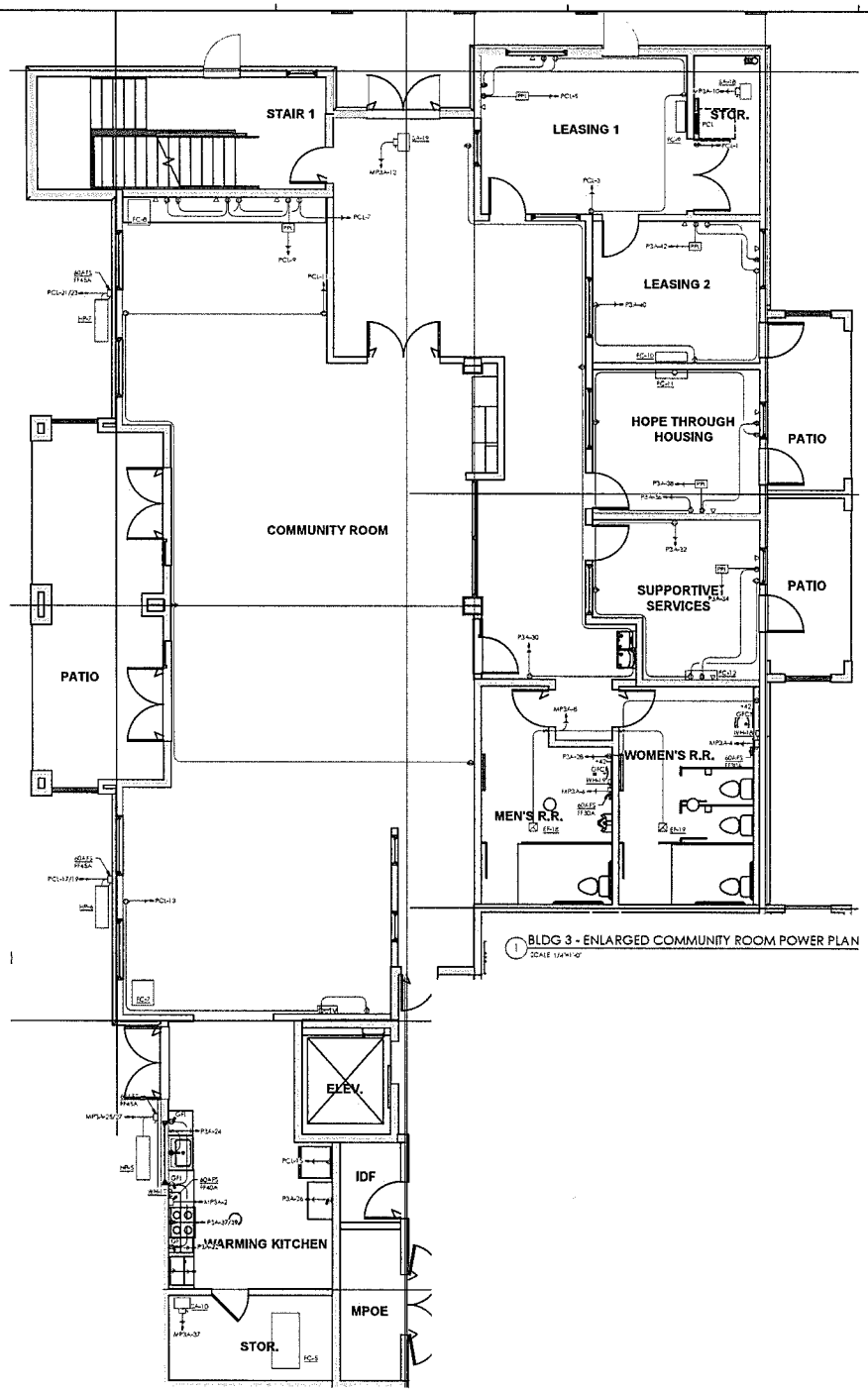

1 BLDG 3 - ENLARGED COMMUNITY ROOM POWER PLAN
SCALE 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION (SUN, FIFE, ETC.) HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BASELINE CONTROL AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGHS) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL EXIT LUMINAIRES EVERY 30 FEET, AT OUTLETS SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 80" OR MORE THAN 8' ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH TO: AT DUSK AND OFF AT DAWN TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF (HOURLY AND OFF AND PROVIDE WITH INTERNAL PHOTOCELL CONTROL. SEND SWITCH REQUIRED FOR MAINTENANCE PERIOD HIS CONTROL ONLY

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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ENLARGED COMMUNITY ROOM POWER PLAN

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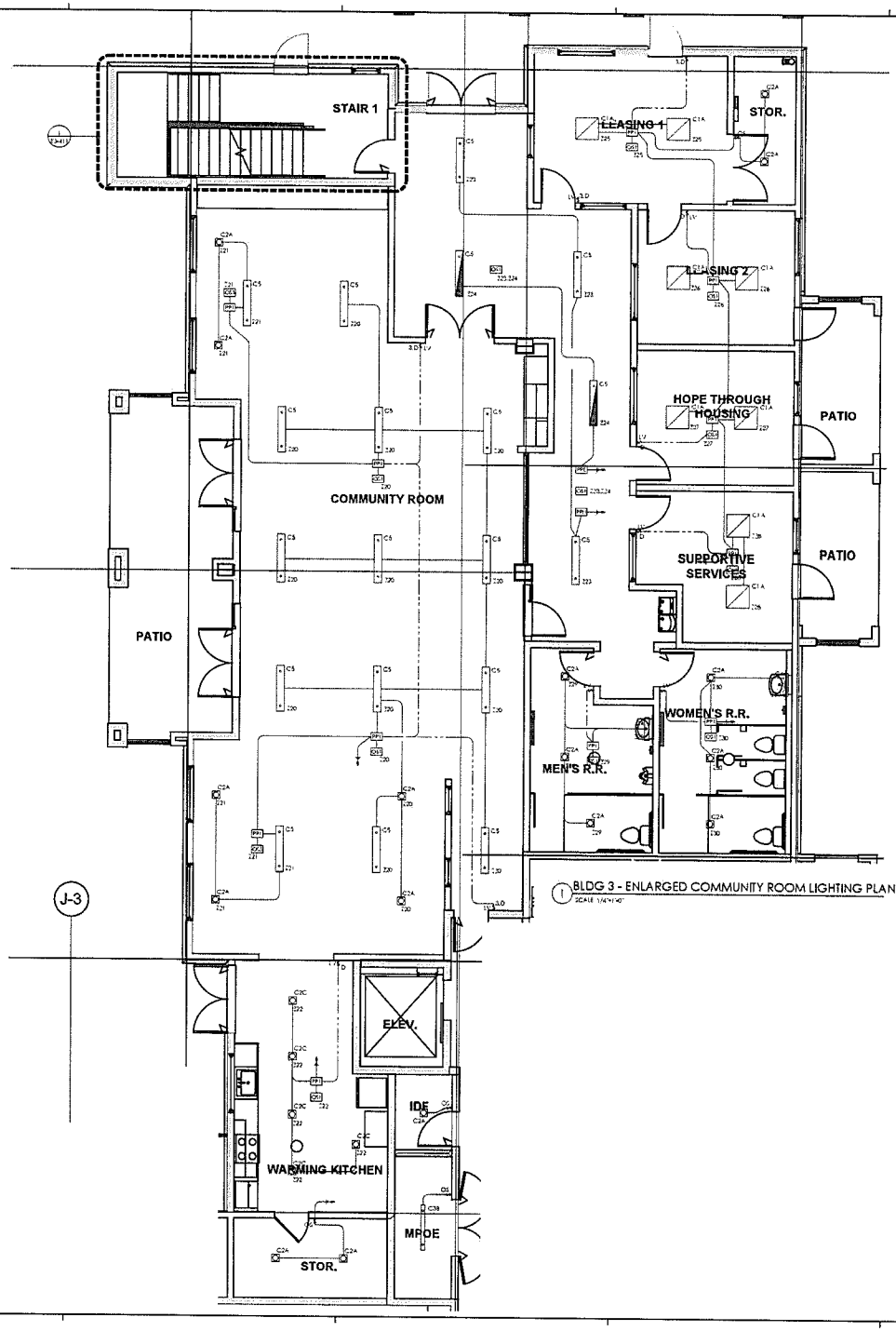
PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E3-421



1 BLDG 3 - ENLARGED COMMUNITY ROOM LIGHTING PLAN
SCALE 1/4"=1'-0"

4 REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER EQUIPED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS (I.E. WEEP PANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLAN FOR ADDITIONAL REQUIREMENTS

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 36" OR MORE THAN 48" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULE. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH ON AT DUSK AND OFF AT DAWN TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT & WIRE AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY

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REGISTERED PROFESSIONAL ENGINEER
STEVEN E. GRAY
No. E-18741
Exp. 12-31-2021
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MURRIETA - BUILDING 3
24960 Adams Ave, Murrieta CA 92562

BLDG 3 - ENLARGED COMMUNITY ROOM LIGHTING PLAN

NO.	REVISION	DATE
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PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E3-422

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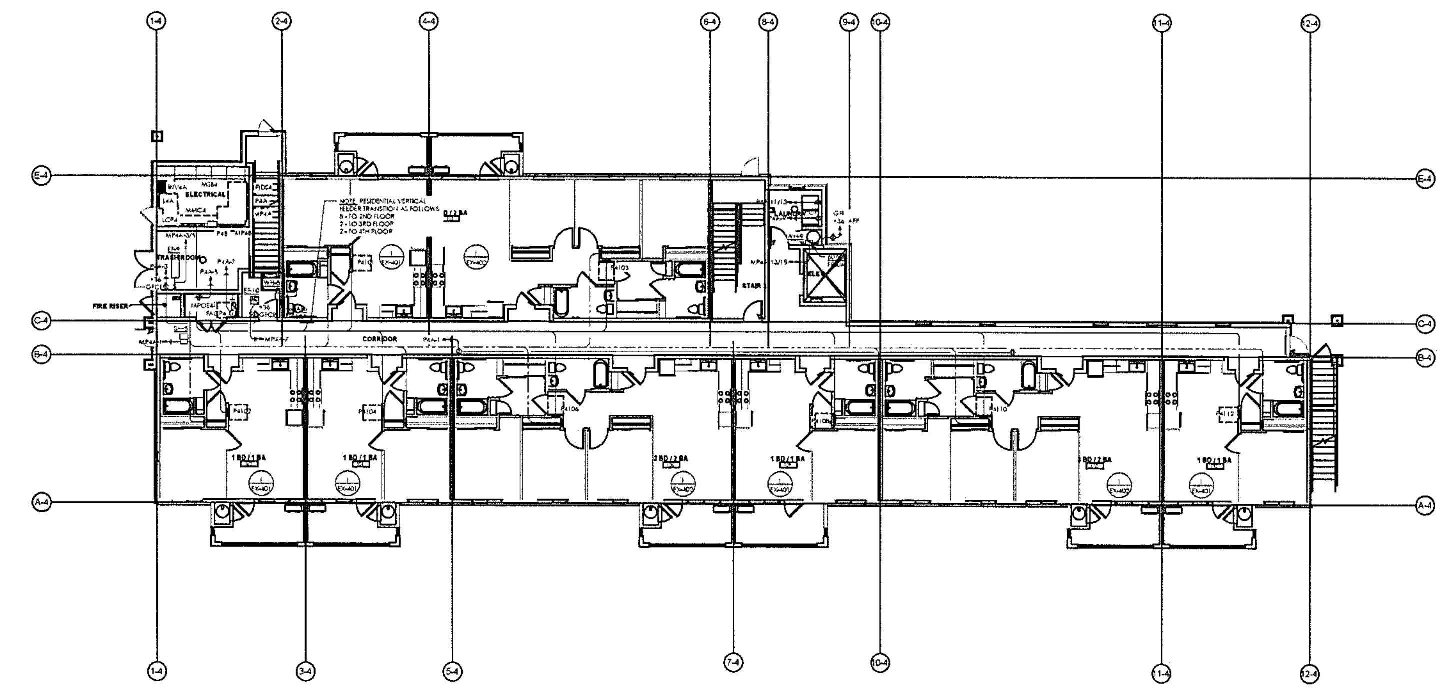


BLDG 4 - GROUND FLOOR POWER PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.2
   - A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24
   - A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

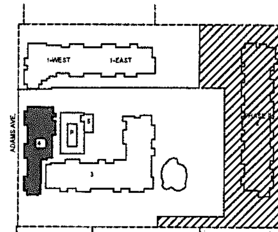
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE)
   - 2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, +6' HORIZONTAL FROM FACE OF GEAR
   - 2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE. EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF +6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   - 2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   - 2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
   - 2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED +36" IN FRONT OF METERING EQUIPMENT AND +6'-6" HIGH
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC)110.26(C)(3). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2.
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE". PROVIDE 3/4" THICK X 4'H, LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2" ABOVE FLOOR LEVEL
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND MOUNT SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL.
13. REFRIGERATOR
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACKSPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED.
22. LAUNDRY DEVICES SHALL MOUNT +36"AFF
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL.
   - 25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   - 25.2 CAT6 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   - 25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   - 25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY TRAC KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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MURRIETA - BUILDING 4
24960 Adams Ave, Murrieta CA 92562

BLDG 4 - GROUND FLOOR POWER PLAN

NO.	REVISION	DATE
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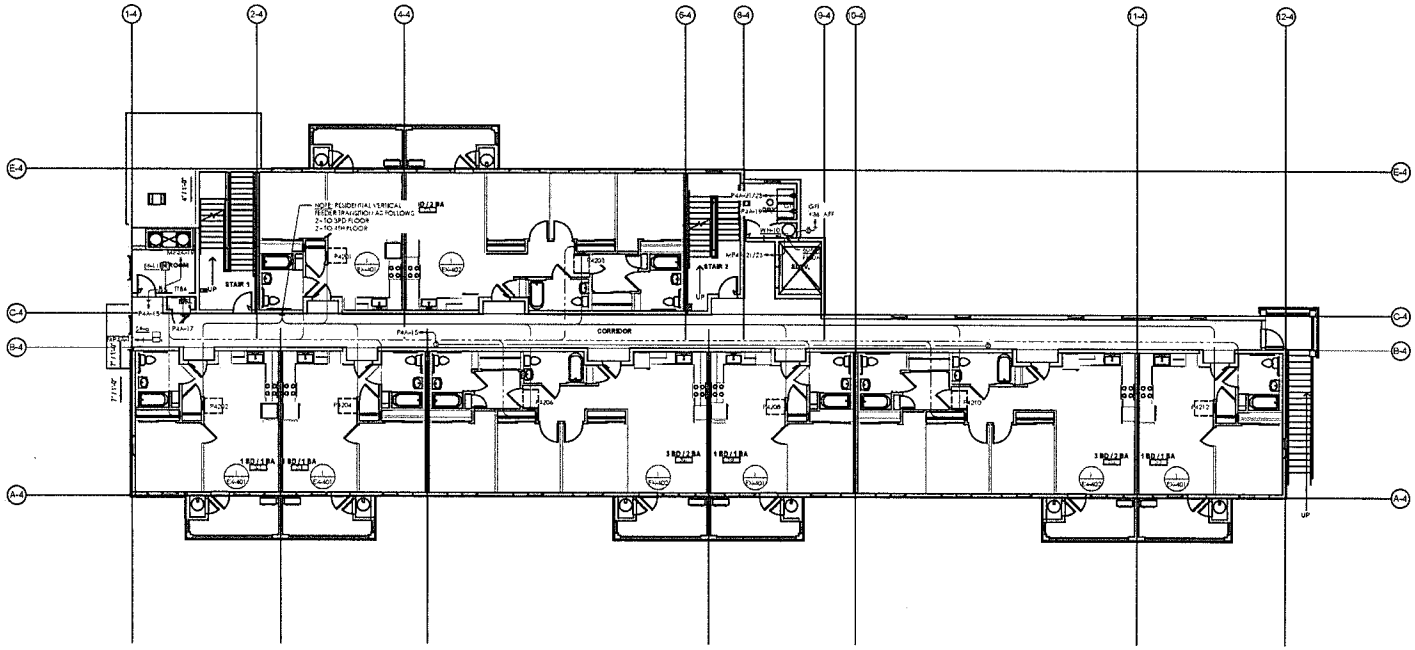
PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
SHEET: E4-101



BLDG 4 - SECOND FLOOR POWER PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED DIAGRAMMING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX OR SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER 1-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 1-24

B. PENETRATIONS (I.E. HEN-BRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.

2. THE FOLLOWING DEDICATED EQUIPMENT SPACE CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   - 2.1 LARGE EQUIPMENT (CEC 110.26 (C)(1)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, NO HORIZONTAL FROM FACE OF GEAR
   - 2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   - DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   - 2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE / CLEAR SPACE
   - 2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT ELECTRICAL EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED +36" IN FRONT OF METERING EQUIPMENT AND +6'-6" HIGH

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION

4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS WITH REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2

5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY: "MPOE" PROVIDE 3/4" THICK X 4'H. LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL

6. COMMUNICATION BACKBOARD: GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.

7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION

8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND 4-QUART SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)

9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OWNERS

10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL

11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS, TYPICAL

12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 7-24 APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND OFF AT DAWN TYPICAL

13. REFRIGERATOR

14. GARBAGE DISPOSAL: PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER. WIRE CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH

15. ELECTRIC RANGE

16. NOT USED

17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS

18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED

19. LAUNDRY DRYER

20. LAUNDRY WASHER

21. NOT USED

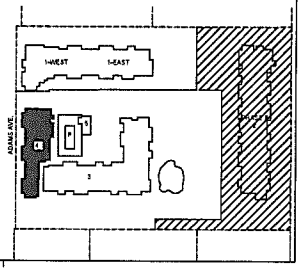
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF

23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE RED THROUGH FLOW SWITCH

24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR

25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   - 25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS
   - 25.2 CATS DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   - 25.3 120V DEDICATED POWER FOR PO AMP SUPPLY (ALL LEVELS)
   - 25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS

26. HANDY TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 4 - SECOND FLOOR POWER PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-102

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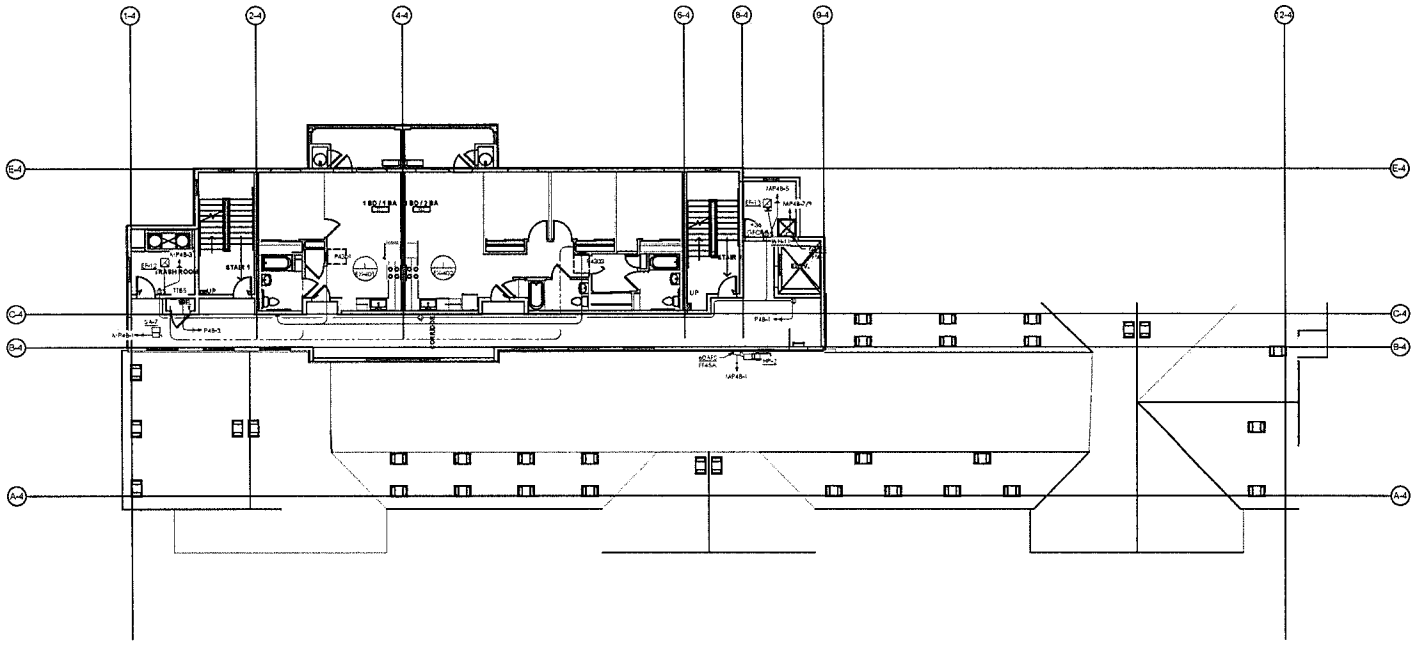


BLDG 4 - THIRD FLOOR POWER PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E4.00 THROUGH E4.01. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROLS SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROLS SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX CUT SHEET E0.7
   A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTIONALITY AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24
   A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

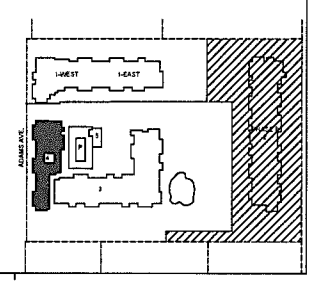
B. PENETRATIONS (I.E. WALL, BRANCH AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE, AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSER EDGE WITHIN 6" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.
2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (C)(1)(b) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 44" HORIZONTAL FROM FACE OF GEAR
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
   2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
   2.5 HIDDEN EQUIPMENT WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED "OR" IN FRONT OF METERING EQUIPMENT AND 4' x 6' HIGH
3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LETTED PANIC HARDWARE (CEC110.26(C)(3)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION
4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION 6 IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.3
5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE" PROVIDE 3/4" THICK X 4ft. LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WHEN RECEIVED IN FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL
6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS.
7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION
8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND A GUIDE SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)
9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING. BY OTHERS.
10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL
11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND OFF AT DAWN. TYPICAL
13. REFRIGERATOR.
14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPACLE MOUNTED BELOW COUNTER. WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH
15. ELECTRIC RANGE
16. NOT USED
17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS
18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED.
19. LAUNDRY DRYER
20. LAUNDRY WASHER
21. NOT USED
22. LAUNDRY DEVICES SHALL FOLLOW "SS" KEY
23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH
24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR
25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   25.1 SMOKE DETECTOR (TOP LEVEL) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS
26. HANDY TRACK KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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MURRIETA - BUILDING 4
24960 Adams Ave, Murrieta CA 92562

BLDG 4 - THIRD FLOOR POWER PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-103

5/12/2022 2:37:26 PM
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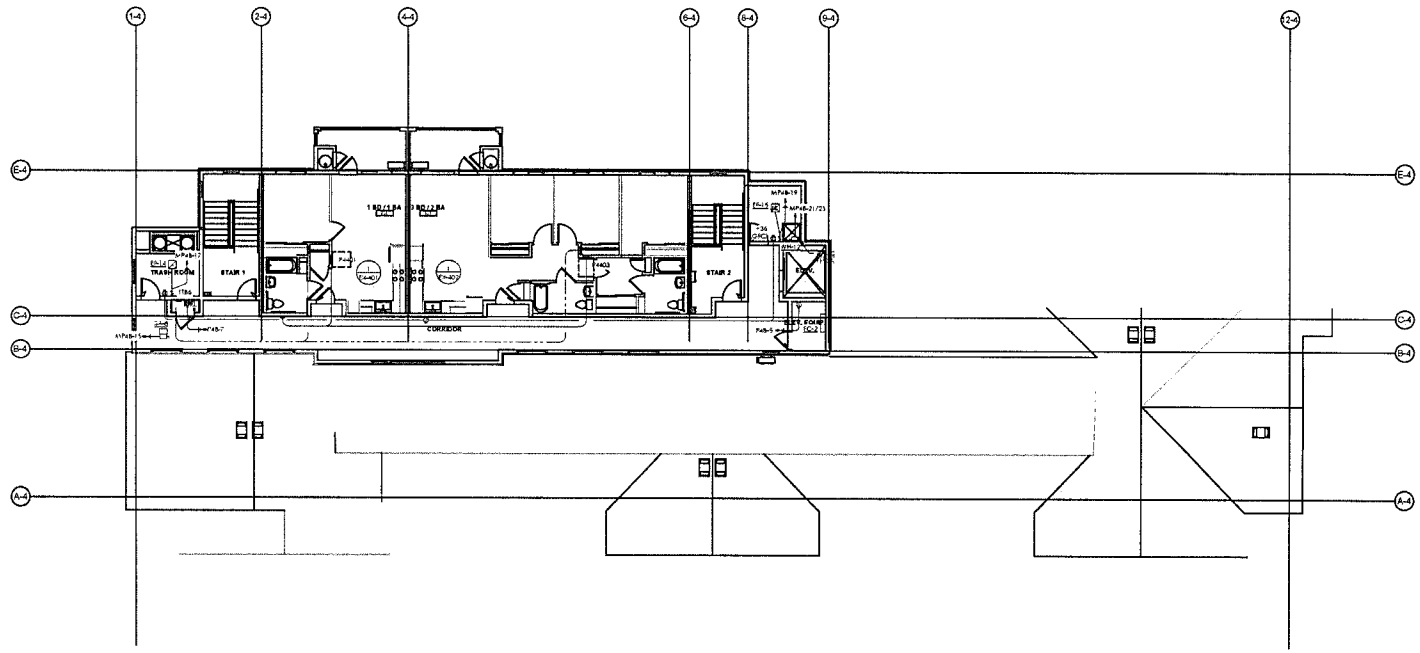


BLDG 4 - FOURTH FLOOR POWER PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED WORKING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS DEFINED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX CHECKLIST 100.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER 5.24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER 1.C.

B. PENETRATIONS (I.E. THROUGH AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 18" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. DEVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.

2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE).
2.1 LARGE EQUIPMENT (CEC 110.26 (C)(2)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, 48" HORIZONTAL FROM FACE OF GEAR
2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH OF EQUIPMENT & (LESS THAN) 36" WIDE EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF 6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER
2.3 DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(c)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEARANCE
2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED 36" IN FRONT OF METERING EQUIPMENT AND 48" HIGH

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC 110.26(C)(3)) REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION

4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATION IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS, CFC ch 7.2

5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE" PROVIDE 3/4" THICK X 4'H, LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MIN HEIGHT 8' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE EQUIPMENT SHALL BE STUBBED UP A MINIMUM OF 2' ABOVE FLOOR LEVEL

6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS

7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION

8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND AN OUTSIDE SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL)

9. PROVIDE 3/4" CONDUIT RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING. BY OTHERS.

10. LOW VOLTAGE LIGHTING CONTROL SYSTEM (GROUPING) AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL

11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL

12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE LUMINAIRES SHALL TIME CONTROL VIA TLED APPROVED ASTRONOMICAL TIME SWITCH. OFF AT DUSK AND "OFF" AT DAWN TYPICAL

13. REFRIGERATOR

14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPTACLE MOUNTED BELOW COUNTER, WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH

15. ELECTRIC RANGE

16. NOT USED

17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS

18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED

19. LAUNDRY DRYER

20. LAUNDRY WASHER

21. NOT USED

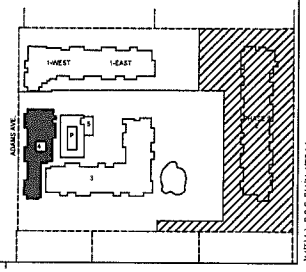
22. LAUNDRY DEVICES SHALL MOUNT +36" AFF

23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH

24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR

25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
25.1 SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS)
25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS)
25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.

26. HANDY TRACKER CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 4 - FOURTH FLOOR POWER PLAN

NO.	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-104

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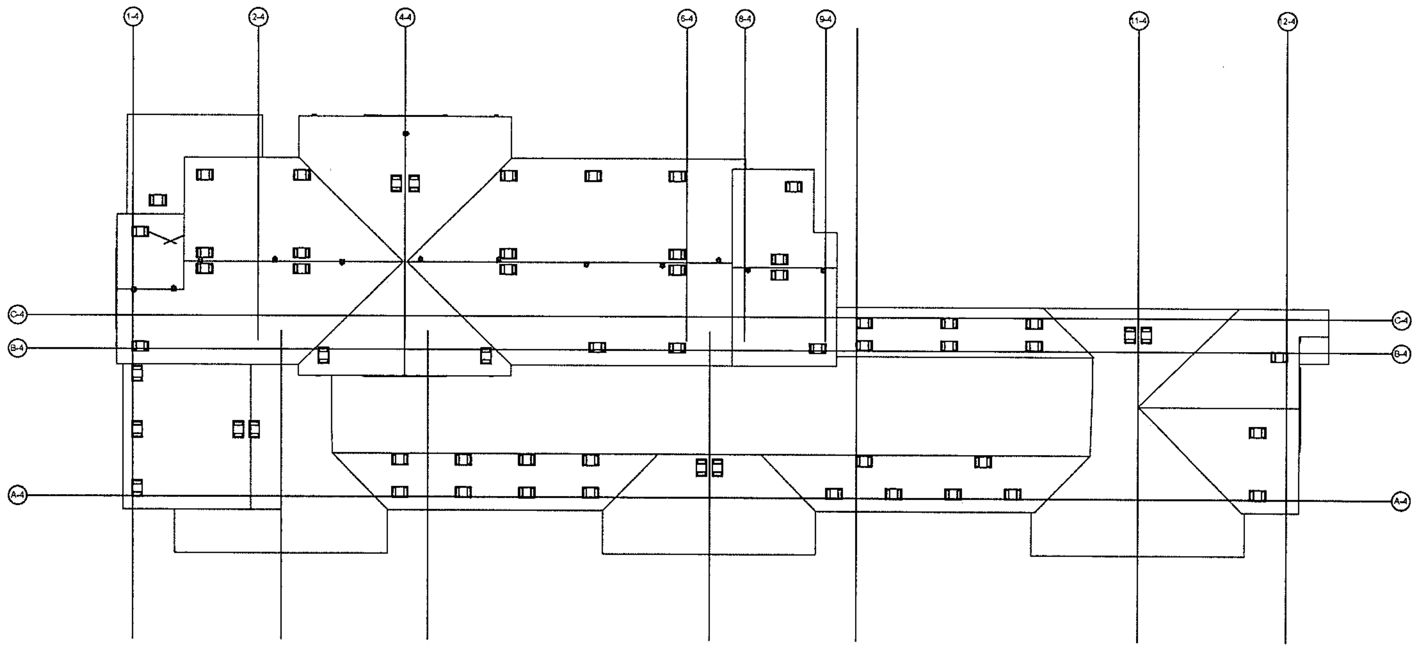


BLDG 4 - ROOF ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:
REFERENCE NOTES ARE TYPICAL FOR SHEETS E-101 THROUGH E-401. ALL REFERENCE NOTES MAY NOT OCCUR ON THIS SHEET.

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.2
   A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24
   A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. SERVICE CONDUIT DUCT BANK AS PER UTILITY COMPANY REQUIREMENTS.

2. THE FOLLOWING DEDICATED EQUIPMENT SPACE/CLEARANCE SHALL BE MAINTAINED AT ELECTRICAL GEAR AS FOLLOWS (WHERE APPLICABLE):
   2.1 LARGE EQUIPMENT (CEC 110.26 (C)(3)(b)) - DOUBLE CLEARANCE IN FRONT OF ELECTRICAL SWITCHGEAR, +6' HORIZONTAL FROM FACE OF GEAR.
   2.2 DEDICATED SPACE (CEC 110.26(E)(1)(a)) - SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL EQUIPMENT OR 30" WIDTH IF EQUIPMENT IS LESS THAN 30" WIDE. EXTENDING FROM FINISHED FLOOR TO A HEIGHT OF +6' ABOVE EQUIPMENT OR STRUCTURAL CEILING, WHICHEVER IS LOWER.
   2.3. DEDICATED WORK SPACE (CEC 110.26(A)(1)) - 3' DIRECTLY IN FRONT OF THE ELECTRICAL EQUIPMENT
   2.4 SPRINKLER PROTECTION (CEC 110.26(E)(1)(C)) - INSTALLATION PROHIBITED IN DEDICATED EQUIPMENT SPACE/ CLEAR SPACE.
   2.5 HIDDEN LINE IDENTIFIES WORKING CLEARANCE REQUIREMENTS AT METERING EQUIPMENT. WORKING CLEARANCE SHALL BE MAINTAINED +36" IN FRONT OF METERING EQUIPMENT AND +6'-6" HIGH.

3. ELECTRICAL ROOM SHALL OPEN IN THE DIRECTION OF EGRESS AND SHALL BE EQUIPPED WITH LISTED PANIC HARDWARE (CEC)110.26(C)(3). REFER TO ARCHITECTURAL PLANS FOR SPECIFICATION

4. ELECTRICAL ROOM SHALL BE PROPERLY LABELED PURSUANT TO DIVISION 26 SPECIFICATIONS IN REGARD TO LOCATION OF ENERGIZED EQUIPMENT. IN ADDITION, LABELING SHALL MEET 2019 FIRE CODE LABELING REQUIREMENTS CFC 608.7.2.

5. TELEPHONE AND CATV CUSTOMER MAIN POINT OF ENTRY "MPOE". PROVIDE 3/4" THICK X 4' H, LENGTH PER PLANS PLYWOOD BACK BOARD PAINTED WITH FIRE RETARDANT PAINT. MAINTAIN 3' WORKING CLEARANCE IN FRONT OF BACK BOARD. SERVICE CONDUIT SHALL BE STUBBED UP A MINIMUM OF 2" ABOVE FLOOR LEVEL

6. COMMUNICATION BACKBOARD GROUND BUS WITH #4 CU. GROUND CONDUCTOR. REFER TO DIVISION 26 SPECIFICATIONS

7. INSTALL CONVENIENCE RECEPTACLE WITHIN 25-FEET OF MECHANICAL EQUIPMENT AT FOR SERVICING. FIELD COORDINATE FINAL LOCATION

8. BUILDING FIRE ALARM CONTROL PANEL "FACP". PROVIDE FIRE ALARM CONTROL PANEL. PROVIDE DEDICATED 120A BRANCH CIRCUIT CONNECTION AND MOUNT SMOKE DETECTOR ABOVE THE PANEL (DEFERRED APPROVAL).

9. PROVIDE 3/4" C.O. RACEWAY TO FIRE ALARM CONTROL PANEL "FACP" FIRE ALARM SIGNAL WIRING, BY OTHERS

10. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.

11. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL

12. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH 'ON' AT DUSK AND 'OFF' AT DAWN. TYPICAL.

13. REFRIGERATOR.

14. GARBAGE DISPOSAL. PROVIDE HALF SWITCHED RECEPACLE MOUNTED BELOW COUNTER. WITH CONTROL SWITCH MOUNTED ABOVE COUNTER BACK SPLASH

15. ELECTRIC RANGE

16. NOT USED

17. ELECTRICAL CONNECTION TO CHILLED DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS

18. FLUSH MOUNTED MEDIA BOX WITH DEVICE CONFIGURATION AS NOTED

19. LAUNDRY DRYER

20. LAUNDRY WASHER

21. NOT USED

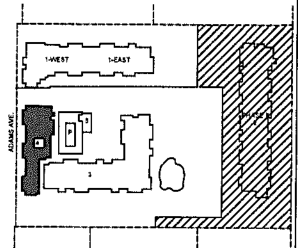
22. LAUNDRY DEVICES SHALL MOUNT +36"AFF

23. TAMPER AND FLOW SWITCH AT FIRE RISER. LOCATE AS PER FIRE SPRINKLER CONTRACTOR. WIRE BELL THROUGH FLOW SWITCH

24. BELL. SEE NOTE #23. LOCATE AS PER FIRE SPRINKLER CONTRACTOR

25. PROVIDE POWER AND DATA SYSTEM CONNECTION TO TRASH CHUTE SYSTEM AS PER APPROVED SUBMITTAL
   25.1. SMOKE DETECTOR (TOP LEVEL ONLY) AS PER FIRE ALARM PLANS.
   25.2 CAT5 DATA CONNECTION TO TRASH CHUTE DOOR CONTROLLER (ALL LEVELS).
   25.3 120V DEDICATED POWER FOR POWER SUPPLY (ALL LEVELS).
   25.4 HEAT DETECTOR (BOTTOM LEVEL) AS PER FIRE ALARM PLANS.

26. HANDY TRAC KEY CONTROL SYSTEM DEDICATED RECEPTACLE



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BLDG 4 - ROOF ELECTRICAL PLAN

NO.	REVISION	DATE
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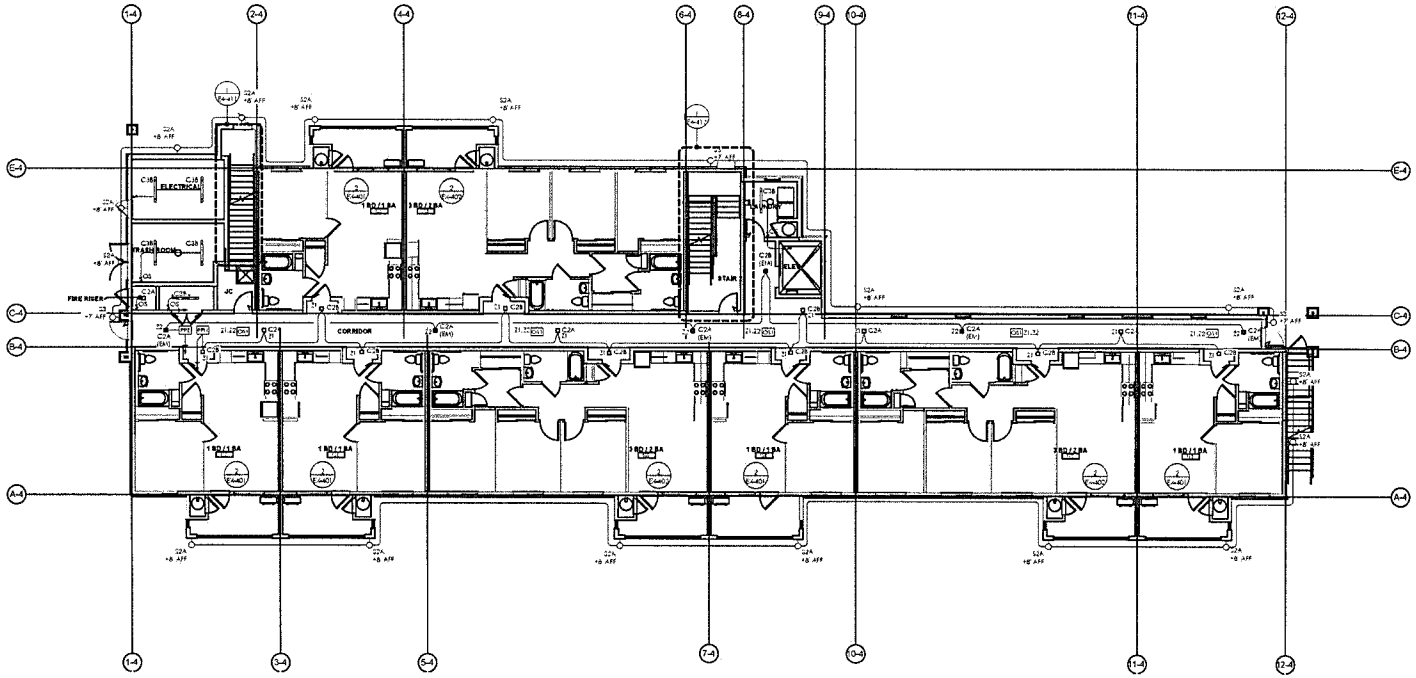
PROJECT MANAGER: SE
DRAWN BY: SE/MC
CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-111


CORRIDOR
STAIR
ELEC
ELECTRICAL
FIRE RISER
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2 RD/LEBA
3 RD/LEBA
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1 RD/LEBA
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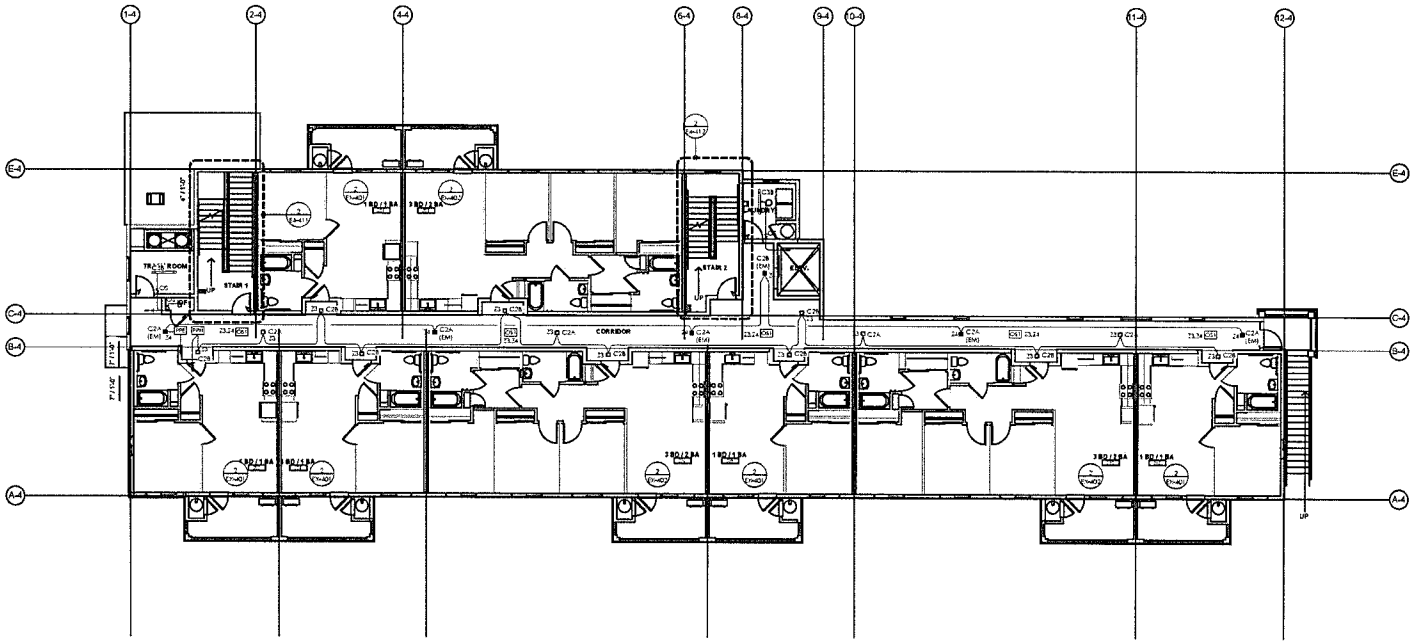


BLDG 4 - SECOND FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MANUAL ON SHEET G0.7

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR MULTI-LEVEL CONTROLS AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

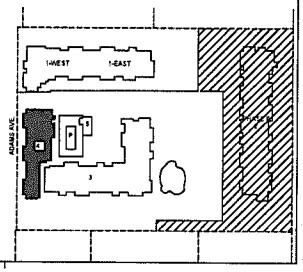
B. PENETRATIONS IN THE MEMBRANE AND/OR THROUGHS AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS IN BLAG ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL EXIT LUMINOUS EXIT SIGNS MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6", OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR SUBDRIP LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH TO ON AT DUSK AND OFF AT DAWN TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT 66" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL AND SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 4
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BLDG 4 - SECOND FLOOR LIGHTING PLAN

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PROJECT MANAGER SE
DRAWN BY SE/MC | CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E4-122

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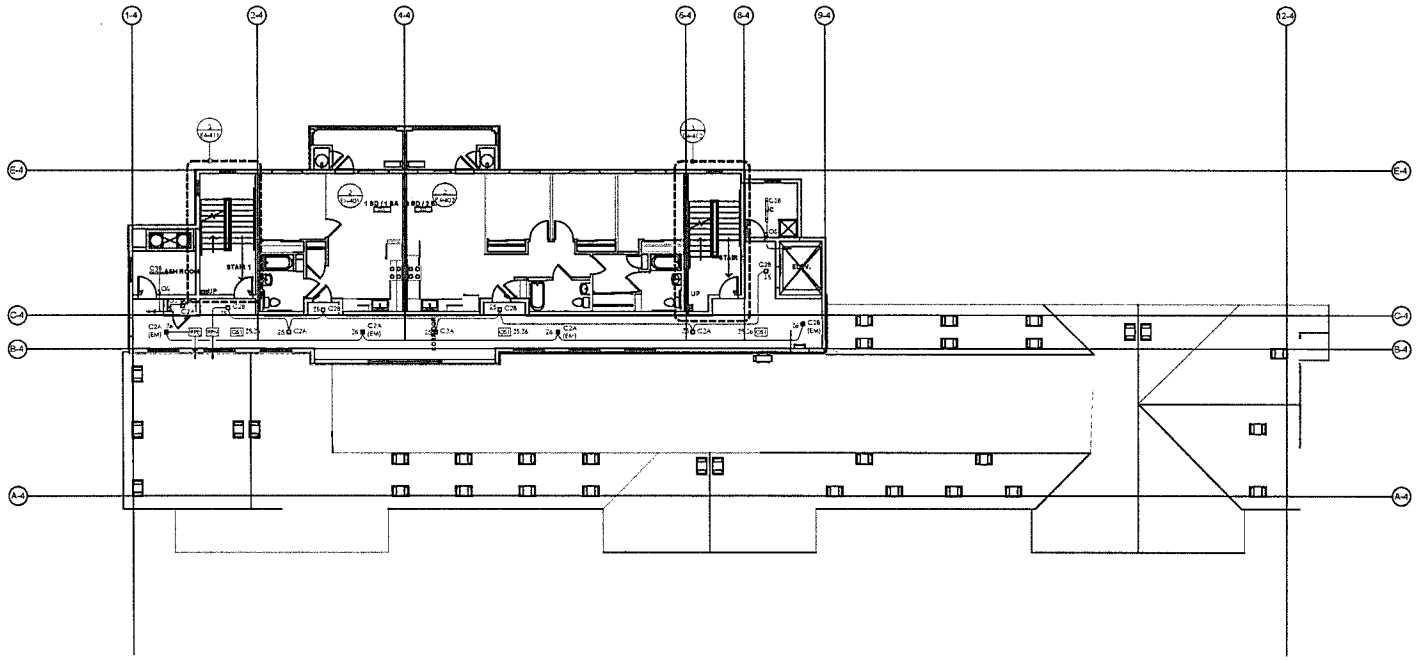


BLDG 4 - THIRD FLOOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER ISSUED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR MANUAL ON CONTROL AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

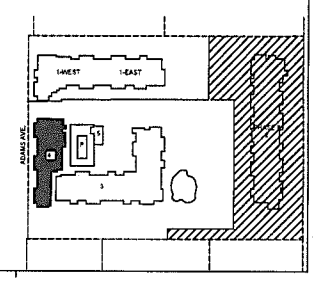
B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE-RATED ENCLOSURE AS INDICATED

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS, ABOUT SUCH THAT THE BOTTOM OF THE LENS IS NOT LESS THAN 42" OR MORE THAN 84" ABOVE FINISHED FLOOR. FOR ALL EXIT AND EXIT ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TIME CONTROL VIA T-24 APPROVED ASTRONOMICAL TIME SWITCH TO "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 6'-6" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. HARD SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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BLDG 4 THIRD FLOOR LIGHTING PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-123

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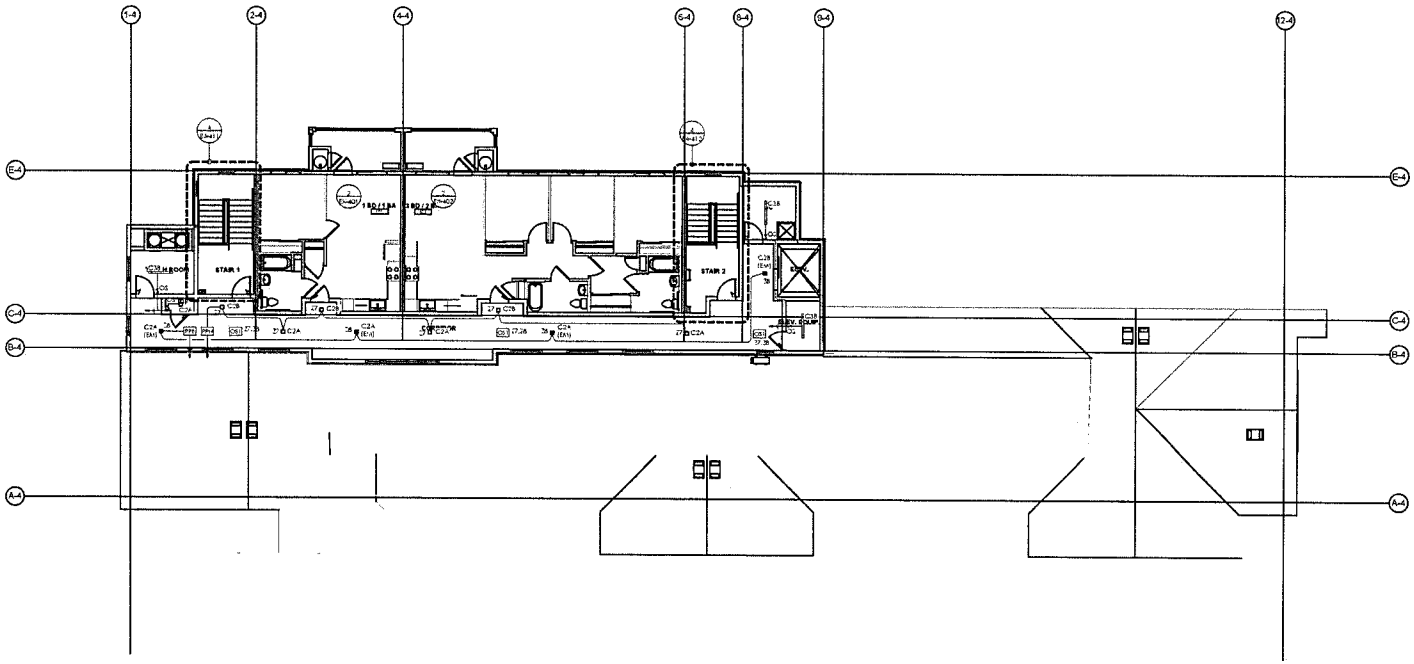


BLDG 4 - FOURTH FLOOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER GUIDELINES/ENGINEERING DRAWINGS. DEVICE LOCATIONS, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET E0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROL AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND/OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

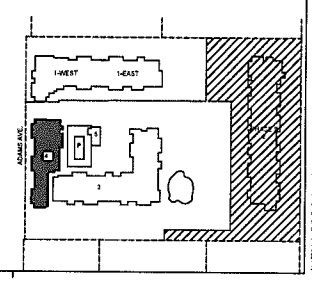
B. PENETRATIONS THE MEMBRANE AND/OR INSULATION AT FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS INSIDE SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR FOR ALL EXIT AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 6" FROM THE DOOR FRAME. TYPICAL WHERE OCCURRING

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL. TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS. TYPICAL
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL FROM APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN. TYPICAL
4. INSTALL POWER PACK IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE. TYPICAL
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNTED EQUIPMENT AND PROVIDE WITH A REGIONAL PHOTOCELL CONTROL. REMOTE SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY



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MURRIETA - BUILDING 4

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BLDG 4 - FOURTH FLOOR LIGHTING PLAN

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-124

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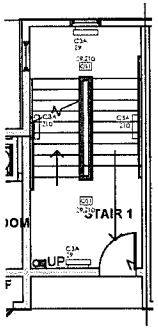
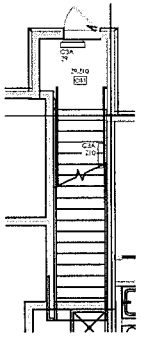
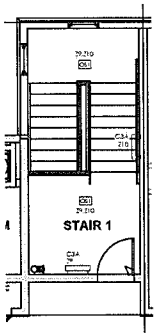


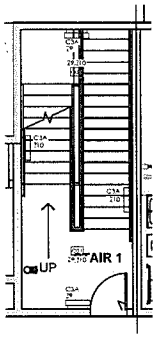
3 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1 - THIRD FLOOR
SCALE: 1/4" = 1'-0



1 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1 - GROUND FLOOR
SCALE: 1/4" = 1'-0



4 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1 - FOURTH FLOOR
SCALE: 1/4" = 1'-0



2 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1 - SECOND FLOOR
SCALE: 1/4" = 1'-0

6 REFERENCE NOTES

GENERAL NOTES:

A. LIGHTING CONTROL SYSTEM SHALL BE INSTALLED PURSUANT TO MANUFACTURER'S LISTED ENGINEERING DRAWINGS. DEVICE LOCATION, QUANTITY, ETC. HAS BEEN PROVIDED FOR REFERENCE ONLY. THE LIGHTING CONTROL SYSTEM SHALL MEET THE INSTALLATION AND PERFORMANCE CRITERIA AS IDENTIFIED WITHIN THE PROJECT TITLE 24 COMPLIANCE MATRIX ON SHEET T0.7.

A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24.

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24.

B. PENETRATIONS (I.E. MEMBRANE AND / OR THROUGH) OF FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS. REFER TO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIREMENTS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL SELF-LUMINOUS EXIT SIGNS. MOUNT SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 6" OR MORE THAN 8" ABOVE FINISHED FLOOR. FOR ALL EXIT AND ENTRY ACCESS DOORS, SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITH THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME, TYPICAL WHERE OCCURRING.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL, TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CAT5E LIGHTING CONTROL WIRING TO POWER PACK AS PER MANUFACTURER REQUIREMENTS, TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL TAKE CONTROL VIA 1-CH APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND "OFF" AT DAWN, TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDORS.
5. EXTEND UNSWITCHED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE, TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF MOUNT 8'-6" AFF AND PROVIDE WITH INTEGRAL PHOTOCELL CONTROL. SEND SWITCH REQUIRED FOR MAINTENANCE PERSONNEL CONTROL ONLY.

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BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 1

NO.	REVISION	DATE
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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: E4-411

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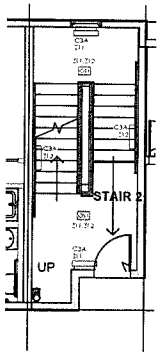

3 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2
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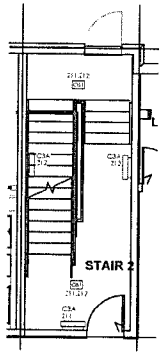
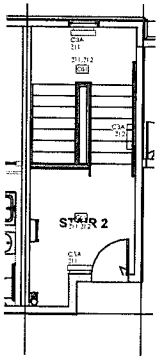
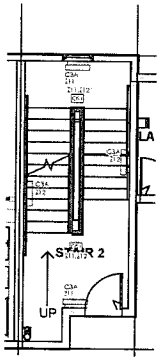


1 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2
SCALE 1/4" = 1'-0"



4 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2
SCALE 1/4" = 1'-0"



2 BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2
SCALE 1/4" = 1'-0"

4 REFERENCE NOTES

GENERAL NOTES:

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A.1 OCCUPANCY SENSORS WITHIN BUILDING STAIRWELLS AND CORRIDORS SHALL BE LOW-VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR BI-LEVEL CONTROLS AS REQUIRED PER T-24

A.2 OCCUPANCY SENSORS AND / OR PHOTOCELLS WITHIN BUILDING DAYLIT ZONES SHALL BE LOW-VOLTAGE AND WIRE DIRECTLY TO THE LIGHTING CONTROL PANEL FOR FUNCTION AS A SWITCH INPUT FOR AUTOMATIC ADJUSTMENT WITH CONSIDERATION OF NATURAL LIGHT PRESENT WITHIN THE SPACE AS REQUIRED PER T-24

B. PENETRATIONS THE MEMBRANE AND / OR THROUGH AN FIRE-RATED CONSTRUCTION SHALL BE PROTECTED BY APPROVED PENETRATIONS PERFECTO ELECTRICAL PENETRATION DETAILS AS WELL AS ARCHITECTURAL PLANS FOR ADDITIONAL REQUIRED EXITS.

C. WHERE RECESSED LUMINAIRES ARE INSTALLED IN A FIRE-RATED CEILING, PROVIDE LUMINAIRE WITH A FIRE RATED ENCLOSURE AS INDICATED.

D. PROVIDE LOW LEVEL 360°-LUMINOUS EXIT SIGNS MOUNTED SUCH THAT THE BOTTOM OF THE SIGN IS NOT LESS THAN 8" OR MORE THAN 48" ABOVE FINISHED FLOOR FOR ALL E.B. AND EXIT ACCESS DOORS. SIGNAGE SHALL BE ON THE DOOR OR MOUNTED WITHIN THE CLOSEST EDGE WITHIN 4" FROM THE DOOR FRAME, TYPICAL WHERE OCCUPANCY.

SHEET SPECIFIC NOTES:

1. LOW VOLTAGE LIGHTING CONTROL SYSTEM GROUPING AS PER LIGHTING SCHEDULES. COORDINATE WITH ENGINEER APPROVED MANUFACTURER SUBMITTAL, TYPICAL.
2. INTERCONNECT LOW VOLTAGE OCCUPANCY SENSORS WITH CATSE LIGHTING CONTROL WIRING TO POWER PACKS, AS PER MANUFACTURER REQUIREMENTS, TYPICAL.
3. WIRE EXTERIOR BUILDING LIGHTING AS PER PANEL SCHEDULE. LUMINAIRES SHALL HAVE COMPACT MIX-NCA APPROVED ASTRONOMICAL TIME SWITCH "ON" AT DUSK AND OFF AT DAWN, TYPICAL.
4. INSTALL POWER PACKS IN A ACCESSIBLE LOCATION WITHIN THE CORRIDOR.
5. EXTEND UNGROUNDED BRANCH CIRCUIT CONNECTION TO EXIT SIGNAGE, TYPICAL.
6. LIGHTING FOR MAINTENANCE ACCESS TO ROOF. MOUNT 8'0" AFF AND PROVIDE WITH A FEDRAL PHOTOCELL CONTROL, KEYED SWITCH REQUIRED FOR MAINTENANCE PERSONNEL ONLY, TYPICAL.

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MURRIETA - BUILDING 4
24960 Adams Ave, Murrieta CA 92562

BLDG 4 - ENLARGED LIGHTING PLAN - STAIR 2

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DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET E4-412

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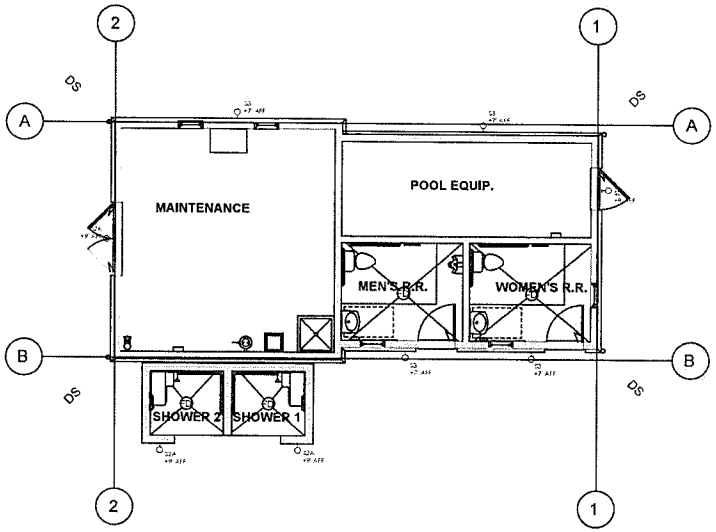
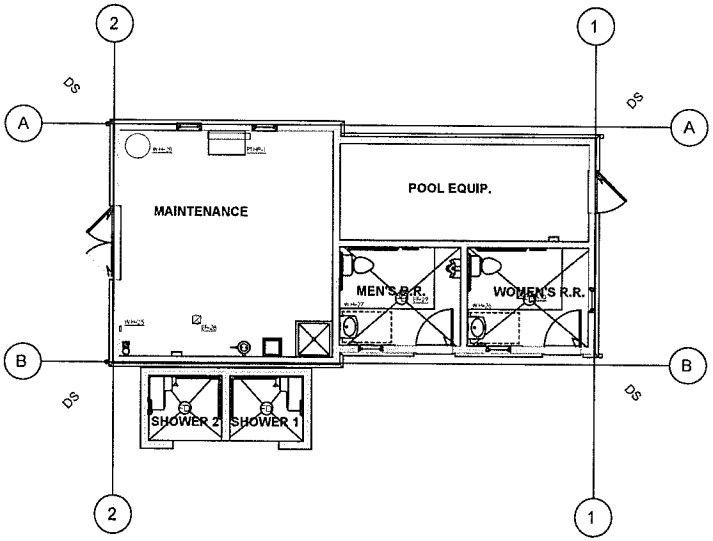


LIGHTING PLAN - BUILDING 5

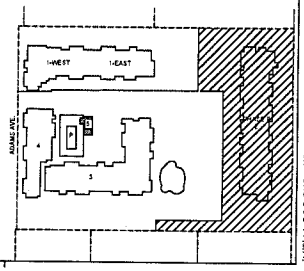
SCALE 1/4" = 1'-0"



POWER PLAN - BUILDING 5

SCALE 1/4" = 1'-0"

REFERENCE NOTES



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MURRIETA - BUILDING 5

24960 Adams Ave, Murrieta CA 92562

BLDG 5 ELECTRICAL PLANS

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PROJECT MANAGER: SE

DRAWN BY: SE/MC | CHECKED BY: HG

DATE: 11/08/2022

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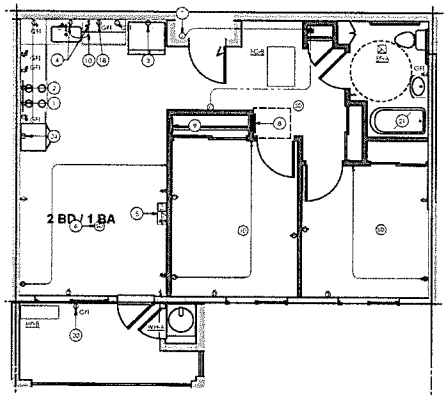
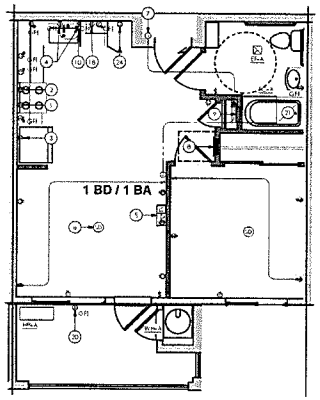
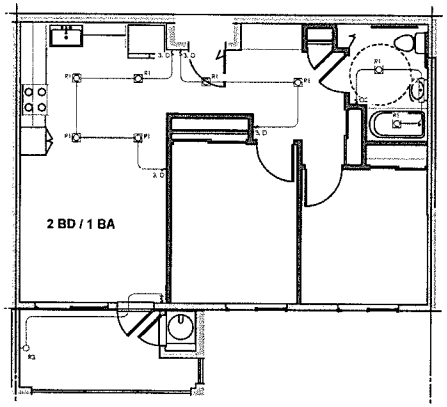
SHEET: E5-101



3 TYPICAL UNIT TYPE B - POWER PLAN
SCALE: 1/4"=1'-0"



1 TYPICAL UNIT TYPE A - POWER PLAN
SCALE: 1/4"=1'-0"



4 TYPICAL UNIT TYPE B - LIGHTING PLAN
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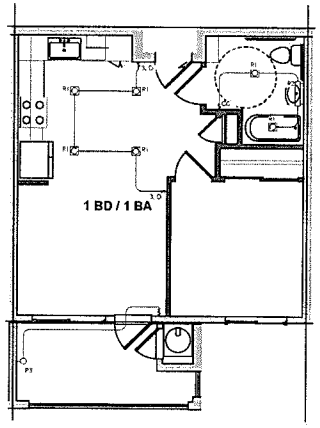

2 TYPICAL UNIT TYPE A - LIGHTING PLAN
SCALE: 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

a. REFERENCE NOTES ARE TYPICAL FOR SHEETS E-100 THROUGH E-300. ALL NOTES MAY NOT OCCUR ON EACH SHEET.
b. REFER TO THE UNIT MATRIX TABLE ON SHEET G-001, FOR LIST OF ACCESSIBLE UNIT NUMBERS AND TYPES.
c. ADA-ACCESSIBLE UNIT DEVICES SHALL BE INSTALLED IN ACCORDANCE TO CALIFORNIA BUILDING CODE SECTIONS 11A AND 11B AS INDICATED PER ARCHITECTURAL SHEETS.
d. IN ADDITION TO ACCESSIBLE UNIT KITCHENS, CONTROL SWITCHES SHALL BE INSTALLED AS FOLLOWS:
d.a. INSTALL SWITCHES FOR CONTROL OF GARBAGE DISPOSAL, SINK LIGHT, RANGE HOOD EXHAUST FAN AND LIGHT WITHIN ACCESSIBLE REACH RANGE ABOVE COUNTER SPLASH OR AT FACE OF LOWER CABINET. REFER TO ARCHITECTURAL ELEVATIONS AND COORDINATE PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL SHEETS AND SHEET E001 FOR ADDITIONAL INFORMATION.
d.b. INTERCEPT AND EXTEND BRANCH CIRCUIT CONNECTION FOR RANGE HOOD EXHAUST FAN AND LIGHT CONTROL TO ACCESSIBLE SWITCH LOCATION PER ABOVE. PROVIDE SEPARATE SWITCH CONTROL TO LIGHT AND FAN INDIVIDUALLY. REFER TO RANGE HOOD MANUFACTURER INFORMATION FOR REQUIREMENTS AND ADDITIONAL WIRING INFORMATION.
d.c. WHERE SWITCHES OR RECEPTACLES ARE INSTALLED AT THE FACE OF CASEWORK / CABINETRY, COORDINATE DEVICE FINISH AND COVERPLATE COLOR WITH ARCHITECT PRIOR TO PROCUREMENT.
e. IN ADDITION TO ACCESSIBLE UNIT KITCHENS, RECEPTACLES SHALL BE INSTALLED AS FOLLOWS:
e.a. WHERE RECEPTACLES ARE LOCATED WITHIN THE BACKSPLASH ABOVE THE COUNTER TOPS, EXTENSION BOXES SHALL BE PROVIDED TO ELEVATE RECEPTACLES MAX-MAIN ACCESSIBLE PER CHAPTER.
f. MEMBRANE AND THIRD-MENTEFIRATION GAPS FIRE RATED WALLS AND/OR SMOKE BARRIER WALLS SHALL BE PROTECTED BY A UL APPROVED PENETRATION FIRESTOP. SEE TYPICAL DETAILS ON SHEET S-001 (STAR 1).
g. WIRE RESIDENTIAL UNITS ACCORDING TO PANEL SCHEDULES. REFER TO SHEET E-001.
h. REFER TO THE UNIT MATRIX ON TABLE ON SHEET G-001 TOP LIST OF COMMUNICATION FEATURE UNIT LAYOUT AND TYPES.
i. REFER TO ARCHITECTURAL RFI PROPOSAL REGARDING FOR A CONDITIONAL CRITERIA PRIOR TO ROUGHING OF DEVICES. SEE ARCHITECTURAL AND ELECTRICAL GENERAL NOTES AND DETAILS CONCERNING THE MOUNTING HEIGHTS OF ELECTRICAL OUTLETS WITHIN ADA UNITS.
j. COORDINATE EXACT LOCATIONS OF LUMINAIRES WITH MECHANICAL DUCTWORK AND FIRE SPRINKLER SYSTEM INSTALLATION IN FIELD PRIOR TO ROUGHING.
k. PROVIDE (1) 120/1C CO TO THERMOSTAT (LOCATION) AND INDOOR FAN COIL UNIT FOR THERMOSTAT CONTROL BY OTHERS. REFER TO MECHANICAL SHEETS FOR THERMOSTAT LOCATIONS.

PLAN SPECIFIC NOTES:

1. RECEPTACLE FOR ELECTRIC RANGE/OVEN. COORDINATE RECEPTACLE LOCATION WITH MANUFACTURER PER INSTALLATION REQUIREMENTS PRIOR TO ROUGHING.
2. RECEPTACLE FOR RANGE HOOD. FIELD COORDINATE MOUNTING WITHIN UPPER CABINETRY/CASEWORK. AT UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES (ABOVE).
3. RECEPTACLE FOR REFRIGERATOR. +36" A.F.F.
4. GARBAGE DISPOSAL RECEPTACLE AND CONTROL SWITCH. PROVIDE GFI HALF GRAFCHED RECEPTACLE WITHIN CABINETRY UNDER SINK. WITH CONTROL SWITCH LOCATED ABOVE COUNTER BACK SPLASH. AT UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES (ABOVE).
5. FLUSH MOUNT MULTIMEDIA BOX FOR FLAT SCREEN TELEVISION. LOCATE HIGH OR LOW ALL PER ARCHITECTURAL ELEVATIONS.
6. LINE VOLTAGE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE (1) ALARM SHALL ACTIVATE ALL ALARMS WITHIN THE UNIT. ALL REQUIRED CARBON MONOXIDE ALARMS SHALL BE EQUIPPED WITH VISUAL ALARM INDICATION IN ACCORDANCE WITH NFPA 720. REFER TO RESIDENTIAL GENERAL NOTES, SHEET E001 FOR ADDITIONAL REQUIREMENTS. DETECTORS SHALL BE LOCATED PER ARCHITECTURAL PLANS AND AS REQUIRED PER NFPA 72.
7. DOORBELL JUNCTION BOX FOR BUTTON SHALL BE WIRED TO TRANSFORMER AND CHIME PER MANUFACTURER REQUIREMENTS. MOUNT CHIME AND TRANSFORMER HIGH ON WALL IN LOCATION INDICATED.
8. UNIT ELECTRICAL LOAD CENTER/PANEL WITH HINGED LOCKING COVER INSTALL SUCH THAT TOP OF PANEL IS AT 6'-6" A.F.F. MINIMUM WORKING CLEARANCE OF 36" DEEP BY 30" WIDE SHALL BE MAINTAINED. THE DEDICATED EQUIPMENT AREA FROM THE TOP OF THE PANEL TO THE STRUCTURAL CEILING SHALL BE MAINTAINED FREE OF FOREIGN SYSTEMS. SEE SINGLE LINE DIAGRAM, SHEETS E-001 THROUGH E-003.
9. RESIDENTIAL UNIT RECESSED COMMUNICATION CABINET WITH HINGED LOCKING COVER. REFER TO DIVISION 26 SPECIFICATIONS. REFER TO DETAILS E-002 AND DIVISION 26 SPECIFICATIONS.
10. GANG LUMINAIRE CONTROL SWITCH ABOVE SINK WITH GARBAGE DISPOSAL CONTROL SWITCH. LOCATE ABOVE COUNTER BACK SPLASH. UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES ABOVE.
11. RECEPTACLE FOR LAUNDRY WASHER IN MANAGER UNIT 118 ONLY. MOUNT DEVICE AT +36" A.F.F. FIELD VERIFY WIRING AND AMPERAGE REQUIRED WITH OWNER PROVIDED EQUIPMENT PRIOR TO ROUGHING.
12. COMMUNICATION FEATURE UNITS (SEE SHEET G-001) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A COMBINATION SMOKE AND CARBON MONOXIDE ALARM (SEE NOTE 6). WITH REQUIRED VISUAL AUDIBLE SIGNAL. ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ANY ONE (1) ALARM WITH ACTIVATE ALL VISUAL/AUDIBLE UNDER WITHIN UNIT. TYPICAL NOTIFICATION DEVICES AND DETECTORS SHALL BE LOCATED PER ARCHITECTURAL PLANS AND AS REQUIRED PER NFPA 72.
13. COMMUNICATION FEATURE UNITS (SEE SHEET G-001) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A VISUAL NOTIFICATION DEVICE INTERCONNECTED WITH THE UNIT DOORBELL. AUDIBLE ALARMS SHALL BE INSTALLED PER NFPA 72 AND CBC 907.5.2.3.
14. COMMUNICATION FEATURE UNITS (SEE SHEET G-001) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A VISUAL NOTIFICATION DEVICE INTERCONNECTED WITH THE UNITS TELEPHONE DEVICE. AUDIBLE ALARMS SHALL BE INSTALLED PER NFPA 72 AND CBC 907.5.2.3. INSTALL HIGH ON WALL ABOVE TELEPHONE DEVICE.
15. BALCONY/PATIO LUMINAIRE SHALL BE CONTROLLED VIA LOCAL MECHANICAL TIME SWITCH (SEE BELOW) OR 24/7 PROGRAMMABLE TIMER WITH ASTRONOMICAL TIME CLOCK AND 24HOUR OVERRIDE OR ENGINEERING APPROVED EQUAL.
16. RECEPTACLE FOR LAUNDRY DRYER IN MANAGER UNIT 118 ONLY. MOUNT DEVICE AT +36" A.F.F. RECEPTACLE SHALL BE RATED FOR 208V. FIELD VERIFY WIRING AND AMPERAGE REQUIRED WITH OWNER PROVIDED EQUIPMENT PRIOR TO ROUGHING.
17. EXHAUST FAN CONTROL SHALL BE PER MECHANICAL REQUIREMENTS. REFER TO NOTE 3 ON THE EXHAUST FAN SCHEDULE NOTES, SHEET M-001.
18. RECEPTACLE FOR DISHWASHER. FIELD COORDINATE LOCATION WITHIN CASEWORK UNDER COUNTERTOP. REFER TO ARCHITECTURAL UNIT ELEVATIONS.
19. LOCATE EXHAUST FAN PER MECHANICAL DRAWINGS.
20. PROVIDE WEATHER RESISTANT, GFCI TYPE RECEPTACLE WITH WATERPROOF WHEN-IN-USE COVER AT TYPICAL UNIT BALCONIES. WHERE UNITS ARE LOCATED AT THE FIRST FLOOR, RECEPTACLES ON PATIOS SHALL BE SWITCHED FROM WITHIN THE UNIT FOR SECURITY PURPOSES.
21. NO ELECTRICAL WIRING SHALL BE LOCATED BEHIND TUB/SHOWER FIXTURES.
22. INDOOR UNIT/OUTDOOR UNIT CONNECTION COORD. SEE MANUFACTURER WIRING DIAGRAMS FOR TERMINAL BLOCK LOCATIONS AND REQUIREMENTS.
23. REFER TO THE OVERALL POWER PLANS (SHEETS E-110 THROUGH E-130) FOR UNIT WATER HEATER BRANCH CIRCUITS.
24. RECEPTACLE FOR MICROWAVE IN PANTRY SHALL BE CIRCUITED WITH A SMALL APPLIANCE CIRCUIT.
25. CEILING FAN RATED JUNCTION BOX IN ATTIC (SEE UNIT 118 ONLY).

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MURRIETA
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TYPICAL UNIT ELECTRICAL PLANS

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PROJECT NUMBER: -
SHEET: EX-401

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RESIDENTIAL GENERAL NOTES - TYPICAL FOR E-200 - E-201

SMOKE DETECTORS

1. SMOKE DETECTORS AND NOTIFICATION DEVICES SHALL BE LISTED AND LABELED IN ACCORDANCE TO UL217. SMOKE DETECTORS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 72 AND MANUFACTURER INSTRUCTIONS
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
   - 2.1 SLEEPING ROOMS
   - 2.2 OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
   - 2.3 IN EACH ADDITIONAL STORY OF THE DWELLING
3. SMOKE ALARMS SHALL BE PROVIDED WITH A 120V, CONSTANT, ENERGIZED BRANCH CIRCUIT CONNECTION AS WELL AS A BATTERY POWERED SOURCE / BACKUP
4. ADHERE TO CALIFORNIA RESIDENTIAL CODE SECTION R314 FOR ADDITIONAL SPECIFIC INSTALLATION CRITERIA
5. WHERE MULTIPLE SMOKE ALARMS ARE INSTALLED WITHIN AN INDIVIDUAL SLEEPING OR DWELLING UNIT, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER A PLUG EQUIPPED HOLE LEVEL WITH ALL INTERVENING DOORS CLOSED. (CA FIRE CODE 907.2.10.5)
6. SMOKE ALARMS SHALL BE PLACED A MINIMUM OF 20 FT FROM PERMANENTLY INSTALLED COOKING EQUIPMENT IF THE EVEN IF THE CLEARANCE CAN NOT BE MAINTAINED, UNLESS EITHER
   - 6.1 IONIZATION SMOKE ALARM WITH AN ALARM SILENCING SWITCH INSTALLED 10 FT OR GREATER FROM PERMANENTLY INSTALLED COOKING EQUIPMENT
   - 6.2 OR PHOTOELECTRIC SMOKE ALARM INSTALLED 6 FT OR GREATER FROM PERMANENTLY INSTALLED COOKING EQUIPMENT
7. SMOKE ALARMS, WHERE POSSIBLE, SHALL NOT BE PLACED WITHIN 3 FT FROM A BEDROOM THAT COMPRISES A BATHTUB OR SHOWER
8. WHERE STAIRS LEAD TO OTHER OCCUPIED LEVELS, SMOKE DETECTORS SHALL BE LOCATED SUCH THAT SMOKE EXPIRED WITHIN THE STAIRWAY CANNOT BE PREVENTED FROM REACHING THE SMOKE DETECTOR BY AN INTERVENING DOOR OR OBSTRUCTION
9. SMOKE DETECTORS INSTALLED AT COVERED CEILINGS SHALL BE INSTALLED AT THE HIGHEST PORTION OF THE CEILING OR ON THE SLOPED PORTION OF THE CEILING WITHIN 12 INCHES VERTICALLY DOWN FROM THE HIGHEST POINT
10. FOR SLOPED CEILINGS WITH BEAMS RUNNING UP THE SLOPE, THE SMOKE DETECTOR SHALL BE PLACED ON THE CEILING BETWEEN THE BEAMS
11. FOR SLOPED CEILINGS WITH BEAMS RUNNING PARALLEL TO THE RIDGE OR FOR THE SLOPED CEILING WITH BEAM POCKETS FORMED BY INTERSECTING BEAMS, THE SMOKE DETECTOR SHALL BE LOCATED AT THE BOTTOM OF THE BEAM

CARBON MONOXIDE ALARMS

12. CARBON MONOXIDE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE TO UL 2034. CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE TO NFPA 720 AND MANUFACTURERS INSTRUCTIONS.
13. CARBON MONOXIDE ALARMS ARE PERMITTED TO BE INTEGRAL WITH SMOKE ALARM DEVICES
14. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS
   - 14.1 IN DWELLING UNITS AND SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED
   - 14.2 IN DWELLING UNITS AND SLEEPING UNITS THAT HAVE ATTACHED GARAGES
15. ADHERE TO CALIFORNIA RESIDENTIAL CODE SECTION R315 FOR ADDITIONAL SPECIFIC INSTALLATION CRITERIA
16. WHERE CARBON MONOXIDE ALARMS ARE INSTALLED WITHIN THE DWELLING UNIT, THEY SHALL BE PROVIDED WITH A 120V, CONSTANT, ENERGIZED, BRANCH CIRCUIT CONNECTION AS WELL AS A BATTERY POWERED SOURCE / BACKUP
17. WHERE MULTIPLE CARBON MONOXIDE ALARMS ARE INSTALLED WITHIN THE DWELLING UNIT, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS

ARC FAULT CIRCUIT INTERRUPTER

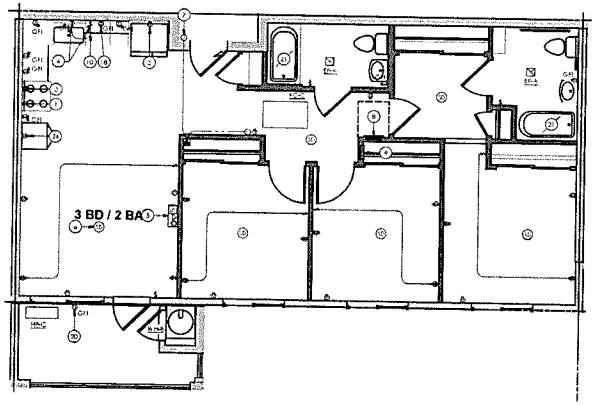
18. ARC FAULT CIRCUIT BREAKER INTERRUPTER PROTECTION SHALL BE PROVIDED AS PER CEC 210.12 IN THE FOLLOWING AREAS:
   - 18.1 DWELLING UNIT KITCHENS
   - 18.2 DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, AND DENS
   - 18.3 DWELLING UNIT BEDROOMS, AND SLEEPING ROOMS
   - 18.4 DWELLING UNIT SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND LAUNDRY AREAS
19. ARC FAULT CIRCUIT BREAKER PROTECTION SHALL BE PROVIDED FOR THE ENTIRE BRANCH CIRCUIT SERVING AREAS AS NOTED IN #18 (ABOVE)

DWELLING UNIT REQUIRED OUTLETS

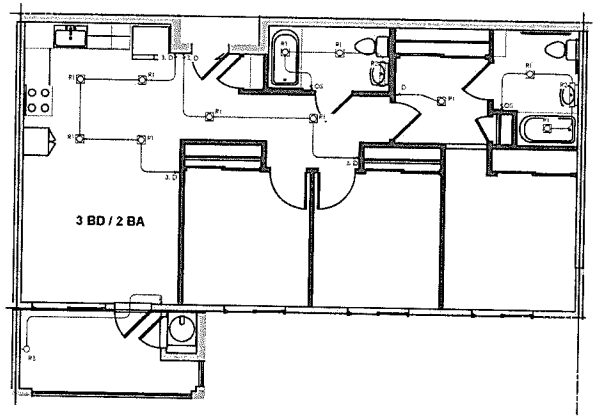
20. DWELLING UNIT OUTLETS SHALL BE INSTALLED SUCH THAT
   - 20.1 NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE (BETWEEN OPENINGS) IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET CEC 210-52(A)(1)
   - 20.2 ANY WALL 2 OR MORE IN WIDTH SHALL HAVE A RECEPTACLE. CEC 210-52(A)-(1)
   - 20.3 NO THRU RECEPTACLES - RECEPTACLE OUTLETS SHALL BE PROVIDED AT EACH WALL COUNTER SPACE OVER 12" WIDE. COUNTER SPACE RECEPTACLES SHALL BE PROVIDED AT 4 O.C. A MINIMUM, AND WITHIN 24" OF ANY POINT ALONG THE WALL IS AND COUNTERS SHALL HAVE A MINIMUM OF ONE RECEPTACLE OUTLET. CEC 210-52(C)(1)
   - 20.4 A MINIMUM OF ONE RECEPTACLE OUTLET SHALL BE PROVIDED IN ADDITION TO ANY REQUIRED FOR LAUNDRY OR OTHER EQUIPMENT LOCATED IN A GARAGE. CEC 210.52(F & G)
   - 20.5 REFER TO CEC 210.52 FOR ADDITIONAL SPACING CRITERIA FOR BASEMENTS, HALLWAYS, AND FOYERS.
21. NO DEDICATED OUTLETS SHALL BE PROVIDED FOR SMALL APPLIANCES. OUTLETS SHALL BE DEDICATED
22. ONE (OR MORE) OUTLETS SHALL BE INSTALLED IN A BATHROOM
23. ONE (OR MORE) GFCI PROTECTED OUTLET(S) SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION OUTDOORS, AT THE FRONT AND BACK OF A DWELLING. WEATHERPROOF HOUSINGS AND WATERPROOF WHEREHOUSE COVERS SHALL BE REQUIRED IN DAMP LOCATIONS. CEC 210-52(E)(1). CEC 210-8(B)(3). CEC 410-57(b)
24. ONE (OR MORE) OUTLET(S) SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION OUTDOORS AT AN ATTACHED BALCONY, DECK, OR PORCH
25. ONE (OR MORE) OUTLET(S) SHALL BE INSTALLED IN THE LAUNDRY AREA
26. ONE (OR MORE) OUTLET(S) SHALL BE INSTALLED FOR EVERY CAR SPACE AT THE GARAGE
27. TAMPER PROOF RECEPTACLES SHALL BE INSTALLED IN THE DWELLING UNITS, GUEST ROOMS, SUITES, AND CHILD CARE AREAS AS OUTLINED IN CEC 406.12.
28. BRANCH CIRCUITS SUPPLYING GARAGE RECEPTACLE(S) SHALL NOT SUPPLY OUTSIDE OF THE GARAGE. CEC 210.52(G)(1)

DWELLING UNIT LIGHTING REQUIREMENTS

29. LIGHTS TO BE INSTALLED REQUIRED AT LEAST ONE IN ALL SWITCHED OR PROTECTED LIGHTING OUTLETS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS, PER CEC 210-70 (A) & (B) AND (C)
   - 29.1 LAUNDRY ROOMS
   - 29.2 ATTACHED GARAGES
   - 29.3 EXTERIOR SIDE OF OUTDOOR ENTRANCES AND EXITS
   - 29.4 STORAGE OR EQUIPMENT SPACES - FOR ATTICS, UNDERFLOOR SPACES, UTILITY ROOMS, AND BASEMENTS
30. SWITCHING DEVICES AND CONTROLS (INDOOR LIGHTING)
   - 30.1 ALL PERMANENTLY INSTALLED LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE AND SHALL BE CONTROLLED BY A DIMMER OR TWO-WAY SWITCH. 2016 CALIFORNIA ENERGY CODE 150(k)2A
   - 30.2 ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM(S). 2016 CALIFORNIA ENERGY CODE 150(k)2B
   - 30.3 UNDERCABINET LIGHTING SHALL BE SWITCHED SEPERATELY FROM OTHER LIGHTING SYSTEMS. 2016 CALIFORNIA ENERGY CODE 150(k)2C
31. ALL PERMANENTLY INSTALLED LUMINAIRES AND INTERCHANGEABLE LAMPS (INCLUDING SCREW BASED) SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150-0-A
32. ALL PERMANENTLY INSTALLED EXTERIOR LUMINAIRES SHALL BE CONTROLLED BY A MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROLS. ON/OFF SWITCH SHALL NOT OVERRIDE AUTOMATIC CONTROLS TO "ON" FOR MORE THAN SIX (6) HOURS. 2016 CALIFORNIA ENERGY CODE 150(k)1(B)3A
   - 32.1 PHOTOCONTROL AND MOTION SENSOR
   - 32.2 PHOTOCONTROL AND AUTOMATIC TIMESWITCH
   - 32.3 ASTRONOMICAL TIME CLOCK THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS
   - 32.4 EMCS PROVIDED ASTRONOMICAL TIME CLOCK FUNCTIONALITY PROGRAMMED TO AUTOMATICALLY TURN LIGHTS OFF DURING DAYLIGHT HOURS. EMCS SHALL NOT HAVE A BYPASS OR OVERRIDE EXCEEDING SIX (6) HOURS



1 TYPICAL UNIT TYPE C - POWER PLAN
SCALE: 1/4"=1'-0"



2 TYPICAL UNIT TYPE C - LIGHTING PLAN
SCALE: 1/4"=1'-0"

REFERENCE NOTES

GENERAL NOTES:

a. REFERENCE NOTES ARE TYPICAL FOR SHEETS E-300 THROUGH E-306. ALL NOTES MAY NOT OCCUR ON EACH SHEET.
b. REFER TO THE UNIT MASTER TABLE ON SHEET G-003 FOR LIST OF ACCESSIBLE UNIT NUMBERS AND TYPES.
c. ADVANCE ACCESSIBLE UNIT DEVICES SHALL BE INSTALLED IN ACCORDANCE TO CALIFORNIA BUILDING CODE SECTIONS 11A AND 11B AS INDICATED PER ARCHITECTURAL SHEETS.
d. IN ACCESSIBLE / ACCESSIBLE UNIT KITCHENS, CONTROL SWITCHES SHALL BE INSTALLED AS FOLLOWS:
   - d.a. INSTALL SWITCHES FOR CONTROL OF GARBAGE DISPOSAL, SINK LIGHT, RANGE HOOD (EXHAUST FAN AND LIGHT WITH ACCESSIBLE REACH RANGE ABOVE COUNTER SPLASHSCAPE AT FACE OF LOWER CABINET. REFER TO ARCHITECTURAL ELEVATIONS AND COORDINATE PROPER TO ROUGHING. REFER TO ARCHITECTURAL SHEETS AND SHEET E001 FOR ADDITIONAL INFORMATION.
   - d.b. INTERCEPT AND EXTEND BRANCH CIRCUIT CONNECTION FOR RANGE HOOD EXHAUST FAN AND ON/OFF CONTROL TO ACCESSIBLE SWITCH LOCATION PER ABOVE. PROVIDE OFF-RANGE SWITCH CONTROL TO LIGHT AND FAN FUNCTIONALITY. REFER TO RANGE HOOD MANUFACTURER INFORMATION FOR REQUIREMENTS AND ADDITIONAL WIRING INFORMATION.
   - d.c. WHERE SWITCHES OR RECEPTACLES ARE INSTALLED AT THE FACE OF CASEWORK / CABINETRY, COORDINATE DEVICE FINISH AND COVERPLATE COLOR WITH ARCHITECT PRIOR TO PROCUREMENT.
e. IN MOBILE / ACCESSIBLE UNIT KITCHENS, RECEPTACLES SHALL BE INSTALLED AS FOLLOWS:
   - e.a. WHERE RECEPTACLES ARE LOCATED WITHIN THE BACKSPLASH ABOVE THE COUNTER TOPS, EXTENSION MOVE SHALL BE PROVIDED TO ENSURE RECEPTACLES MAINTAIN ACCESSIBLE REACH RANGE
f. KITCHEN RANGE HOOD VENTING TO BE AT IMPERVIOUS WALLS AND/OR SMOKE BARRIER WALLS SHALL BE PROTECTED BY AN APPROVED PENETRATION PROTECTOR. SEE TYPICAL DETAILS ON SHEET E-900 FOR DETAILS.
g. WIRE RESIDENTIAL UNITS ACCORDING TO PANEL SCHEDULES. REFER TO SHEET E-601.
h. REFER TO THE UNIT MASTER QUI TABLE ON SHEET G-003 FOR LIST OF COMMUNICATION FEATURE UNIT NUMBERS AND TYPES.
i. REFER TO ARCHITECTURAL MIRROR ELEVATIONS FOR ADDITIONAL CRITERIA PRIOR TO ROUGHING OF DEVICES. SEE ARCHITECTURAL AND ELECTRICAL GENERAL NOTES AND DETAILS ON SHEET E-900 FOR MOUNTING HEIGHTS OF ELECTRICAL OUTLETS WITHIN ADA UNITS.
j. COORDINATE EXACT LOCATIONS OF LUMINAIRES WITH MECHANICAL, SPRINKLER AND PIPE SPRINKLER SYSTEM INSTALLATION PRIOR TO ROUGHING.
k. PROVIDE (1) 1/2" CONDUIT TO THERMOSTAT LOCATION AND INDOOR FAN COIL UNIT FOR THERMOSTAT CONTROL. BY OTHERS. REFER TO MECHANICAL SHEETS FOR THERMOSTAT LOCATIONS.

PLAN SPECIFIC NOTES:

1. RECEPTACLE FOR ELECTRIC RANGE HOOD. COORDINATE RECEPTACLE LOCATION WITH MANUFACTURER INSTALLATION REQUIREMENTS PRIOR TO ROUGHING.
2. RECEPTACLE FOR RANGE HOOD. FIELD COORDINATE MOUNTING WITHIN UPPER CABINETRY/CASEWORK. AT UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES (ABOVE).
3. RECEPTACLE FOR REFRIGERATOR, +36" A.F.F.
4. GARBAGE DISPOSAL RECEPTACLE AND CONTROL SWITCH. PROVIDE OFF MASTER SWITCHED RECEPTACLE WITHIN CASEWORK UNDER SINK WITH CONTROL SWITCH LOCATED ABOVE COUNTER BACK SPLASH. AT UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES (ABOVE)
5. FLUSH MOUNT MULTIMEDIA BOX FOR FLAT SCREEN TELEVISION. LOCATE HIGH ON WALL. PER ARCHITECTURAL ELEVATIONS.
6. LIVE VOLTAGE COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR. ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE (1) ALARM SHALL ACTIVATE ALL ALARMS WITHIN THE UNIT. ALL REQUIRED CARBON MONOXIDE ALARMS SHALL BE EQUIPPED WITH VISUAL ALARM NOTIFICATION IN ACCORDANCE WITH NFPA 720. REFER TO REGENERATION NOTES ON SHEET E001 FOR ADDITIONAL REQUIREMENTS. DETECTORS SHALL BE LOCATED PER ARCHITECTURAL PLANS AND AS REQUIRED PER NFPA 72.
7. DOORBELL JUNCTION BOX FOR BUTTON SHALL BE WIRED TO TRANSFORMER AND CHIME PER MANUFACTURER REQUIREMENTS. MOUNT CHIME AND TRANSFORMER HIGH ON WALL IN LOCATION INDICATED.
8. UNIT ELECTRICAL LOAD CENTER/PANEL WITH HINGED, LOCKING COVER INSTALL SUCH TOP OF PANEL IS AT A 7' MINIMUM MOUNTING CLEARANCE OF 3'-0" DEEP BY 30" WIDE SHALL BE MAINTAINED. THE DEDICATED EQUIPMENT AREA FROM THE TOP OF THE PANEL TO THE STRUCTURAL CEILING SHALL BE MAINTAINED FREE OF FOREIGN PIPES AS SEE SINGLE LINE DIAGRAM. SHEETS E-001 THROUGH E-601
9. RECESSED UNIT RECESSED COMMUNICATIONS CABINET WITH HINGED LOCKING COVER. REFER TO CONTRACTOR SPECIFICATIONS. REFER TO DETAIL 2/E800 AND DETAIL 1/E801 FOR SPECIFICATIONS.
10. GANG LUMINAIRE CONTROL SWITCH ABOVE SINK WITH GARBAGE DISPOSAL CONTROL SWITCH LOCATED ABOVE COUNTER BACK SPLASH. UNITS WITH MOBILITY FEATURES REFER TO GENERAL NOTES ABOVE
11. RECEPTACLE FOR LAUNDRY WASHER IN WALL MANAGER UNIT 118 ONLY. MOUNT DEVICE AT +36" AFF. FIELD VERIFY WIRING AND HARDWARE REQUIRED WITH OWNER PROVIDED EQUIPMENT
12. COMMUNICATION FEATURE UNITS (SEE SHEET G-003) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A COMBINATION SMOKE AND CARBON MONOXIDE ALARM (SEE NOTE #6). NON-HARDWIRED VISUAL AUDIBLE STROBE ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ANY ONE (1) ALARM WILL ACTIVATE ALL VISUAL/AUDIBLE STROBES WITHIN UNIT. TYPICAL NOTIFICATION DEVICE AND DETECTORS SHALL BE LOCATED PER ARCHITECTURAL PLANS AND AS REQUIRED PER NFPA 72.
13. COMMUNICATION FEATURE UNITS (SEE SHEET G-003) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A VISUAL NOTIFICATION DEVICE INTERCONNECTED WITH THE UNIT DOORBELL. MOBILE ALARMS SHALL BE INSTALLED PER NFPA 72 AND CBC 907.5.2.3.
14. COMMUNICATION FEATURE UNITS (SEE SHEET G-003) FOR DESIGNATED UNITS SHALL BE PROVIDED WITH A VISUAL NOTIFICATION DEVICE INTERCONNECTED WITH THE UNIT TELETHONE DEVICE. VISUAL ALARMS SHALL BE INSTALLED PER NFPA 72 AND CBC 907.5.2.3. INSTALL HIGH ON WALL ABOVE TELEPHONE DEVICE.
15. BALCONY/PATIO LUMINAIRE SHALL BE CONTROLLED VIA LOCAL ASTRONOMICAL TIME CLOCK (LISTED UL 917) PROGRAMMABLE TIMER WITH ASTRONOMICAL TIME CLOCK, AND 24HOUR OVERRIDE. OR ENGINEERING APPROVED EQUAL.
16. RECEPTACLE FOR WALL OVEN IN MANAGER UNIT 118 ONLY. MOUNT DEVICE AT +36" AFF. RECEPTACLE SHALL BE RATED FOR ANY FIELD VERIFY WIRING AND HARDWARE REQUIRED WITH OWNER PROVIDED EQUIPMENT PRIOR TO ROUGHING
17. EXHAUST FAN CONTROL SHALL BE PER MECHANICAL REQUIREMENTS. REFER TO NOTES ON THE EXHAUST FAN SCHEDULE NOTES. SHEET M-001
18. RECEPTACLE FOR DISHWASHER FIELD COORDINATE LOCATION WITH CASEWORK UNDER COUNTERTOP. REFER TO ARCHITECTURAL UNIT ELEVATIONS
19. LOCATE EXHAUST FAN PER MECHANICAL DRAWINGS
20. PROVIDE WEATHER RESISTANT, GFCI TYPE RECEPTACLE WITH WATERPROOF WHEREHOUSE COVER AT TYPICAL UNIT BALCONIES. WHERE UNITS ARE LOCATED AT THE FIRST FLOOR, RECEPTACLES ON PATIOS SHALL BE SWITCHED FROM WITHIN THE UNIT FOR SECURITY PURPOSES.
21. NO ELECTRICAL WIRING SHALL BE LOCATED BEHIND TUB/SHOWER FIXTURES
22. INDOOR UNIT/OUTDOOR UNIT CONNECTING COPPER. SEE MANUFACTURER WIRING DIAGRAMS FOR TERMINAL BLOCK LOCATIONS AND REQUIREMENTS
23. REFER TO THE OVERALL POWER PLAN (SHEETS E-101 THROUGH E-106) FOR UNIT WATER HEATER BRANCH CIRCUITS
24. RECEPTACLE FOR MICROWAVE WAPPLIANCE SHALL BE CIRCUITED WITH A SMALL APPLIANCE CIRCUIT
25. CEILING FAN RATED JUNCTION BOX IN MANAGER'S UNIT 118 ONLY

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MURRIETA
24960 Adams Ave, Murrieta CA 92562
TYPICAL UNIT ELECTRICAL PLANS

NO.	REVISION	DATE

PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER:
SHEET: EX-402

INITIAL B&S SUBMITTAL

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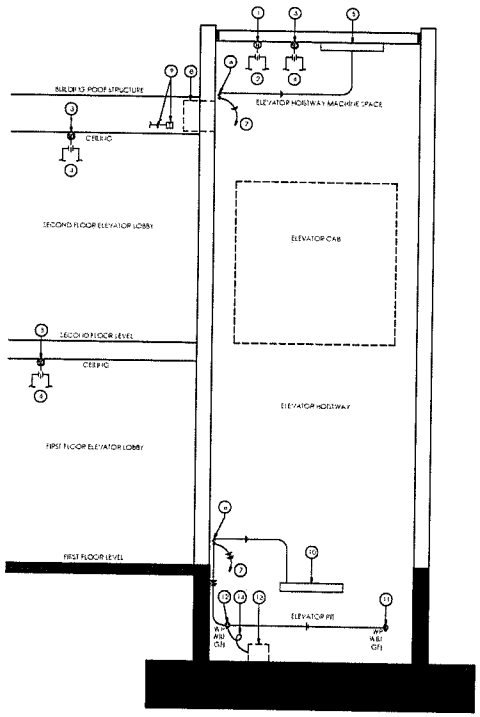

1 - ELEVATOR HOISTWAY ELEVATION

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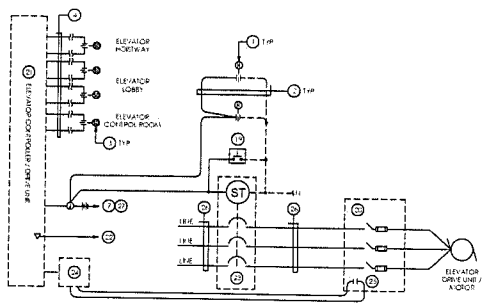
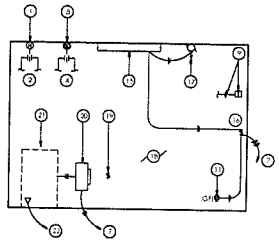


3 - ELEVATOR SUPERVISORY SYSTEM WIRING DIAGRAM

NOT TO SCALE



2 - ELEVATOR CONTROL / MACHINE ROOM ELEVATION

NOT TO SCALE

DETAIL REFERENCE NOTES

1. PROVIDE HEAT DETECTOR WITH AUXILIARY CONTACT WITHIN 18" OF FIRE SPRINKLER HEAD. HEAT DETECTOR SHALL HAVE A FIXED TEMPERATURE PER CODE / MANUFACTURER REQUIREMENTS.
2. EXTEND CONTROL WIRING BETWEEN HEAT DETECTOR AND ELEVATOR SHUNT TRIP CIRCUIT BREAKER FOR AUTOMATIC SHUT DOWN. SEE ELEVATOR SUPERVISORY WIRING DIAGRAM (DETAIL 3, THIS SHEET) AND PROJECT SINGLE LINE DIAGRAM. HEAT DETECTOR SHALL BE MOUNTED NO MORE THAN 3'-6" ABOVE THE SPRINKLER HEAD AND SHALL BE CLEARLY LABELED. AT ELEVATOR PIT, THE SWITCH SHALL MOUNT BETWEEN 16"-36" AFF (LADDER SIDE).
3. PROVIDE SMOKE DETECTOR WITH AUXILIARY CONTACT.
4. EXTEND CONTROL WIRING BETWEEN SMOKE DETECTOR AND ELEVATOR CONTROLLER / DRIVE UNIT FOR ELEVATOR RECALL.
5. INSTALL PERMANENT LUMINAIRE AT TOP OF HOISTWAY. SEE GENERAL NOTES (THIS SHEET).
6. FIELD LOCATE LUMINAIRE CONTROL SWITCH PER ELEVATOR MANUFACTURER REQUIREMENTS. SEE GENERAL NOTES (THIS SHEET).
7. LINE VOLTAGE POWER. SEE ELEVATOR SYSTEM ELECTRICAL AND COMMUNICATION CONNECTION SUMMARY (THIS SHEET).
8. FIRE RATED ACCESS HATCH REQUIRED FOR ACCESS TO ELECTRICAL DEVICES AT ELEVATOR HOISTWAY MACHINE SPACE. LOCATE HATCH PER ARCHITECTURAL / ELEVATOR MANUFACTURER REQUIREMENTS. HATCH SHALL BE FURNISHED WITH A CODE BLUE HATCH DOOR.
9. WHERE PROJECT REQUIRES VALVE CONTROL OF THE FIRE SPRINKLER HEADS SERVING THE ELEVATOR CONTROL / MACHINE ROOM AND HOISTWAY, PROVIDE A FIRE ALARM SYSTEM TAMPER SWITCH WITH SUPERVISED CONNECTION TO THE BUILDING FIRE ALARM CONTROL PANEL.
10. INSTALL PERMANENT LUMINAIRE IN ELEVATOR PIT. SEE GENERAL NOTES (THIS SHEET). LUMINAIRE SHALL BE PROVIDED WITH WIRE GUARD IF MOUNTED BELOW 18" AFF.
11. PROVIDE CONVENIENCE POWER. SEE ELEVATOR SYSTEM ELECTRICAL AND COMMUNICATION CONNECTION SUMMARY (THIS SHEET).
12. RECEPTACLE FOR CONNECTION TO ELEVATOR PIT SUMP PUMP (AS REQUIRED).
13. ELEVATOR PIT SUMP PUMP AND FLOAT SWITCH (BY OTHERS). FURNISHED WHEN REQUIRED BY THE AHJ.
14. SUMP PUMP CONNECTIONS VIA CORD AND ACCEPTANCE PROVIDED HARDWARE. OIL PELLET AND CORD IS RETAILED, NOT EXCEEDING 6 FOOT IN LENGTH. PROTECT CORD CONNECTIONS FROM PHYSICAL DAMAGE.
15. INSTALL PERMANENT LUMINAIRE IN ELEVATOR CONTROL / MACHINE ROOM. SEE GENERAL NOTES (THIS SHEET). LUMINAIRE SHALL BE PROVIDED WITH WIRE GUARD IF MOUNTED BELOW 18" AFF.
16. FIELD LOCATE CONTROL / MACHINE ROOM LUMINAIRE SWITCH PER GENERAL NOTES. SWITCH SHALL BE MOUNTED WITHIN 18" OF LOCK SIDE OF THE ROOM DOOR.
17. CONTROL / MACHINE ROOM EXHAUST FAN. PROVIDE LINE VOLTAGE CONNECTION TO EXHAUST FAN AND CONDUIT ONLY TO THERMOSTAT IF REQUIRED BY MECHANICAL.
18. MAINTAIN CEC REQUIRED WORKING CLEARANCE IN ELEVATOR CONTROL / MACHINE ROOM.
19. ELEVATOR CIRCUIT BREAKER SHUNT TRIP TEST NON-MAINTAINED PUSH BUTTON. LABEL USE. SEE ELEVATOR SUPERVISORY SYSTEM WIRING DIAGRAM (DETAIL 3, THIS SHEET).
20. HEAVY DUTY, LOCKABLE, FUSED DISCONNECT SWITCH. RATINGS AS INDICATED ON THE SINGLE LINE DIAGRAM.
21. ELEVATOR CONTROLLER / DRIVE UNIT (BY OTHERS).
22. 1" (24) CONDUIT WITH DEDICATED OUTSIDE TELEPHONE LINE TO ELEVATOR CONTROLLER / DRIVE UNIT AS REQUIRED BY THE AHJ.
23. DISTRIBUTION CIRCUIT BREAKER WITH SHUNT TRIP. SEE SINGLE LINE DIAGRAM.
24. BATTERY LOW SENSING DEVICE (OPTIONAL - AS REQUIRED).
25. FUSE KSH DISCONNECT SWITCH WITH AUXILIARY RELAY WHEN INTERFACE WITH BATTERY LOW SENSING DEVICE IS REQUIRED.
26. REFER TO SINGLE LINE DIAGRAM FOR FEEDER SPECIFICATION.
27. DEDICATED BRANCH CIRCUITS TO ELEVATOR CONTROLLER AND ELEVATOR CAR.

CODE COMPLIANCE

THE ELEVATOR SYSTEM SHALL CONFORM TO AND BE INSTALLED IN COMPLIANCE WITH APPLICABLE CODES, STANDARDS, AND ORDINANCES ENFORCED BY THE LOCAL AUTHORITY HAVING JURISDICTION AT TIME OF PERMITTING. UNLESS OTHERWISE NOTED, CODES, STANDARDS, AND ORDINANCES SHALL BE THE LATEST EDITION WITH CALIFORNIA AND LOCAL JURISDICTION AMENDMENTS AS APPLICABLE. WORK IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS SHALL NOT BE INTERPRETED TO CONFLICT WITH ANY STATE LAW, CODE OF REGULATION, LOCAL ORDINANCE, ASSEMBLY BILL, ETC.

- CALIFORNIA CODE OF REGULATIONS TITLE 8, CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
- 2010 CALIFORNIA ELECTRICAL CODE, ARTICLE 620, ELEVATORS, DUMBWAITERS, ASCENDING WALKS, WHEELCHAIR LIFTS, AND STAIRWAY CHAIR LIFTS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS FOR ELEVATORS AND ESCALATORS.

GENERAL NOTES

A. ELEVATOR SYSTEM CONNECTION REQUIREMENTS NOT PROJECT SPECIFIC. THIS DETAIL IS BASED ON TYPICAL INSTALLATION AND CODE REQUIREMENTS. VERIFY ALL SYSTEM REQUIREMENTS WITH MANUFACTURER APPROVED SUBMITTAL DOCUMENTATION PRIOR TO INSTALLATION. NOTIFY THE PROJECT ARCHITECT AND / OR ENGINEER OF RECORD OF DISCREPANCIES BETWEEN THIS DETAIL AND MANUFACTURER REQUIREMENTS.

B. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS OF ELEVATOR SHAFT, ETC.

C. FIRE ALARM SYSTEM CONNECTION NOT SHOWN. REFER TO FIRE ALARM RISER DIAGRAM / DEFERRED APPROVAL SPECIFICATIONS.

D. THERE SHALL BE NO FOREIGN WIRING AND/OR PIPING NOT ASSOCIATED WITH THE ELEVATOR SYSTEM PERMITTED WITHIN THE ELEVATOR HOISTWAY AND MACHINE SPACE. ALL ELECTRICAL AND COMMUNICATIONS SYSTEM WIRING SHALL BE INSTALLED IN CONDUIT.

OVERCURRENT PROTECTION, WIRING METHODS, AND PENETRATIONS

A. ELECTRICAL AND COMMUNICATIONS CONNECTIONS WITHIN HOISTWAYS, MACHINE ROOMS, CONTROL ROOMS SHALL BE INSTALLED IN RIGID METALLIC CONDUIT. FLEXIBLE METALLIC CONDUIT SHALL BE ALLOWED PER CEC ARTICLE 620 AND REQUIREMENTS OF 6 FEET LENGTHS BETWEEN FIXED LINE SWITCHES, INTERLOCKS, OPERATING BUTTONS, OR LIFE.

B. FEEDER AND BRANCH CIRCUITS SHALL BE COPPER AND INSTALLED WITH A SEPARATE COPPER EQUIPMENT GROUNDING CONDUCTOR.

C. FUSED DISCONNECT SWITCHES AND OVERCURRENT BREAKERS SERVING THE MAIN ELEVATOR MOTOR FEEDER SHALL BE CAPABLE OF BEING LOCKED IN THE OPEN POSITION.

D. FUSED DISCONNECTS SHALL BE CURRENT LIMITING, CLASS J OR EQUIVALENT, WITH TIME DELAY TO COVER THE FULL LOAD ACCELERATING CURRENT OF THE ELEVATOR.

E. REFER TO THE SINGLE LINE DIAGRAM. FOR FEEDER CONDUCTOR SPECIFICATIONS PER MANUFACTURER REQUIREMENTS. FEEDER CONDUCTORS HAVE BEEN SIZED TO LIMIT VOLTAGE DROP TO 3% MAXIMUM WHEN DELIVERING THE ELEVATOR FULL LOAD ACCELERATION CURRENT.

F. CONDUIT PENETRATIONS THROUGH THE FIRE RATED ASSEMBLY OF EITHER THE CONTROL ROOM AND OR ELEVATOR HOISTWAY SHALL MAINTAIN THE INTEGRITY OF THE FIRE RATED ASSEMBLY AND COMPLY WITH AHJ REQUIREMENTS. REFER TO ARCHITECTURAL PLANS FOR TYPICAL PENETRATION DETAIL.

MACHINE / CONTROL ROOM

A. ELECTRICAL EQUIPMENT SHALL BE PROPERLY IDENTIFIED. WHERE THERE IS MORE THAN ONE ELEVATOR, LABELING SHALL BE DISTINGUISHED BY A SEPARATE NUMBER DESIGNATION PER ELEVATOR.

B. ONLY ELECTRICAL AND COMMUNICATIONS SYSTEMS ASSOCIATED WITH THE OPERATION OF THE ELEVATOR SHALL BE ALLOWED IN THE MACHINE / CONTROL ROOM.

C. INSTALL A PERMANENT LUMINAIRE AT THE MACHINE / CONTROL ROOM AS SHOWN ON THE LIGHTING PLAN. ILLUMINATION AT FLOOR LEVEL SHALL BE AN AVERAGE OF 10 FOOT CANDLES. THE LUMINAIRE CONTROL SWITCH SHALL BE LOCATED WITHIN 18" OF THE LOCKAMB SIDE OF THE ACCESS DOOR TO THE SPACE.

HOISTWAYS / MACHINE SPACE

A. ACCESS HATCHES REQUIRED FOR HOISTWAY SMOKE AND HEAT DETECTOR ACCESS SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.

B. INSTALL A PERMANENT LUMINAIRE AT THE TOP OF THE HOISTWAY (MACHINE SPACE) AS SHOWN ON THE LIGHTING PLAN. FIELD COORDINATE EXACT LUMINAIRE LOCATION AND FIELD WITH ELEVATOR MANUFACTURER. ILLUMINATION AT THE TOP OF THE ELEVATOR CAR WHEN AT THE TOP LANDING SHALL BE NOT LESS THAN AN AVERAGE OF 19 FOOT CANDLES. PROVIDE THE LUMINAIRE WITH A WIRE GUARD TO PREVENT ACCIDENTAL CONTACT AND BREAKAGE OF THE LAMP. THE LUMINAIRE CONTROL SWITCH SHALL BE FIELD LOCATED PER THE ELEVATOR MANUFACTURER.

C. INSTALL A PERMANENT LUMINAIRE AT THE TOP LANDING ENTRANCE TO THE CONTROL SPACE. ILLUMINATION AT FLOOR LEVEL SHALL BE AN AVERAGE OF 19 FOOT CANDLES. THE LUMINAIRE CONTROL SWITCH SHALL BE LOCATED IN CLOSE PROXIMITY TO THE ELEVATOR ENTRANCE.

D. IF SPRINKLERS ARE INSTALLED IN THE HOISTWAY / MACHINE SPACE, PROVIDE A MEANS TO AUTOMATICALLY DISCONNECT THE MAIN LINE POWER SUPPLY OF THE AFFECTED ELEVATOR AND ANY OTHER POWER SUPPLY USED TO ABOVE THE ELEVATOR UPON OR PRIOR TO THE APPLICATION OF WATER UNLESS PROHIBITED BY LOCAL CODE OR AHJ.

E. AUTOMATIC RECOVERY ELEVATOR RECALL - AS REQUIRED BY EITHER THE AHJ OR OWNER, PROVIDE A MEANS TO AUTOMATICALLY DISCONNECT POWER TO THE ELEVATOR AND EQUIP WITH AN AUXILIARY CONTACT THAT IS POSITIVELY OPERATED WHEN POWER IS REMOVED FROM THE ELEVATOR SYSTEM. PROVIDE ASSOCIATED WIRING BETWEEN THE ELEVATOR MAIN DISCONNECT AND ELEVATOR CONTROLLER.

ELEVATOR PIT

A. PROVISIONS FOR AN ELEVATOR PIT SUMP PUMP SHALL BE REQUIRED PER PER THE AHJ.

B. ELEVATOR PIT STOP SWITCH - COORDINATE THE LOCATION OF AN ENCLOSED TYPE, POSITIVE ACTING STOP SWITCH WITH THE ELEVATOR MANUFACTURER PER CCR TITLE 8. THE STOP SWITCH SHALL BE LOCATED PER THE FOLLOWING:
- SWITCH SHALL BE ACCESSIBLE FROM THE PIT ACCESS DOOR.
- SWITCH SHALL BE LOCATED WITHIN 18" ABOVE OR BELOW THE FLOOR LEVEL AT ACCESS LANDING, NO MORE THAN 78" ABOVE THE PIT FLOOR (CONSULT CODE FOR PIT DEPTH DETERMINING 8 FEET).
- SWITCH SHALL BE PROPERLY IDENTIFIED AND RED OR ORANGE IN COLOR.

C. INSTALL A PERMANENT LUMINAIRE IN THE ELEVATOR PIT AS SHOWN ON THE LIGHTING PLAN. ILLUMINATION AT THE PIT FLOOR SHALL BE NOT LESS THAN AN AVERAGE OF 5 FOOT CANDLES AT FINISHED FLOOR LEVEL. PROVIDE THE LUMINAIRE WITH A WIRE GUARD TO PREVENT ACCIDENTAL CONTACT AND BREAKAGE OF THE LAMP. THE LUMINAIRE CONTROL SWITCH SHALL BE LOCATED SUCH THAT IS ACCESSIBLE FROM THE PIT LADDER.

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MURRIETA

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ELECTRICAL DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER: SE

DRAWN BY: SE/MC | CHECKED BY: HG

DATE: 11/08/2022

PROJECT NUMBER: -

SHEET: EX-901

INITIAL B&S SUBMITTAL

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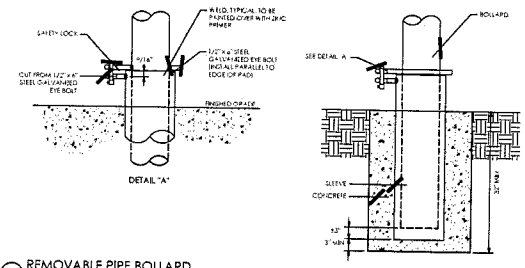
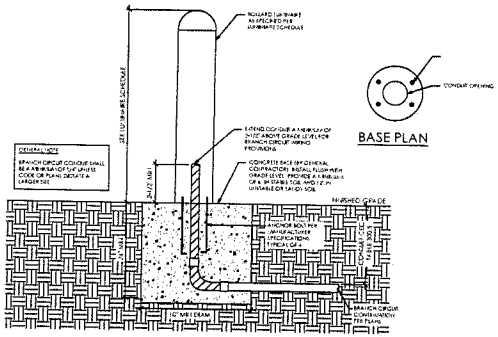


9 REMOVABLE PIPE BOLLARD
NOT TO SCALE



5 TYPICAL BOLLARD BASE DETAIL – LIGHTING
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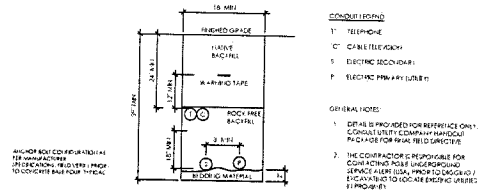
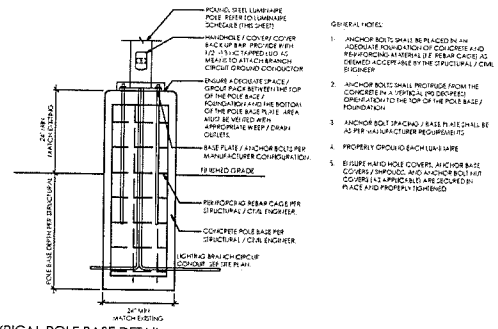
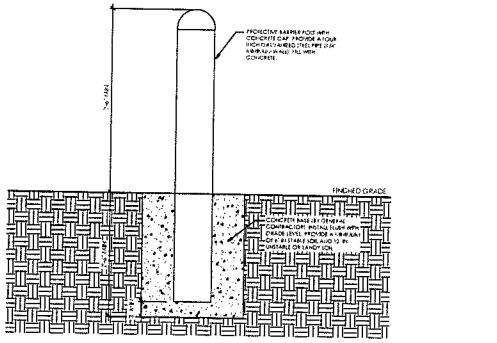


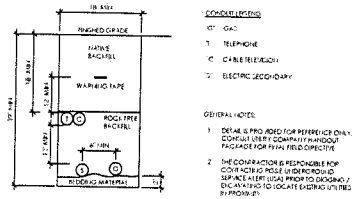
1 PRIMARY SERVICE TRENCH DETAIL
NOT TO SCALE



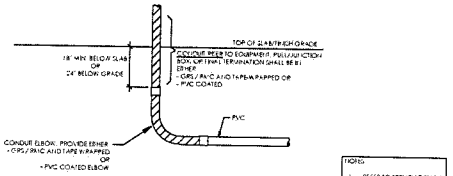
10 TYPICAL POLE BASE DETAIL
NOT TO SCALE



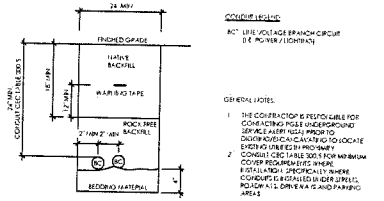
6 TYPICAL PROTECTIVE BARRIER POST
NOT TO SCALE



2 SECONDARY SERVICE TRENCH DETAIL
NOT TO SCALE



UNDERGROUND CONDUIT TRANSITION TO ABOVE GRADE OR ABOVE SLAB
7 NOT TO SCALE



3 TYPICAL BRANCH CIRCUIT TRENCH DETAIL
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Tel: 949.394.7996 Fax: 909.483.6524
nationalcore.org

CONSULTANT

NOT FOR CONSTRUCTION
REGISTERED PROFESSIONAL ENGINEER
NUMBER
STATE OF CALIFORNIA
EXPIRES 12-31-2022

AGENCY
GECE
GRAY ELECTRICAL CONSULTING + ENGINEERING CORP
2520 PROFESSIONAL PARK DRIVE, SUITE A-1 P.O. BOX 4168 SANTA MARIA, CA 93456 | P: 805.347.0100 E: INFO@GECEGROUP.COM W: WWW.GECEGROUP.COM
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MURRIETA
24960 Adams Ave, Murrieta CA 92562
ELECTRICAL DETAILS

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PROJECT MANAGER SE
DRAWN BY SE/MC | CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET EX-902

INITIAL B&S SUBMITTAL

5/20/2022 2:37:28 PM
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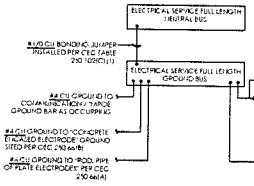
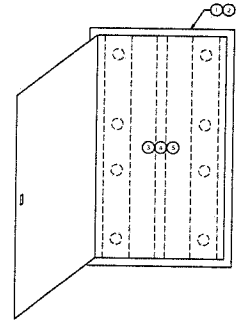


GENERAL NOTES

- GROUNDING SHALL BE IN ACCORDANCE TO THE CEC, ARTICLE 250.
- GROUNDING ELECTRODES PRESENT AND STRUCTURE / BUILDING SHALL BE BONDED TOGETHER TO FORM A COMPLETE GROUNDING ELECTRODE SYSTEM. WHERE GROUNDING ELECTRODES IDENTIFIED IN THIS DETAIL AND CEC 250.52 ARE NOT PRESENT, PROVIDE ONE OR MORE CONNECTIONS TO THE ELECTRODE IDENTIFIED / PRESENT.
- CONFIRM CEC ARTICLE 250 FOR GROUND RINGS, OTHER LISTED ELECTRODES NOT SHOWN ON THIS DETAIL.
- GROUNDING AND BONDING CONDUCTORS USED PER CEC TABLE 250.66 AND 250.102(C)(1) SHALL BE COORDINATED WITH THE UTILITY INSTALLED SECONDARY SERVICE CONDUCTOR SPECIFICATION / PRIOR TO INSTALLATION.

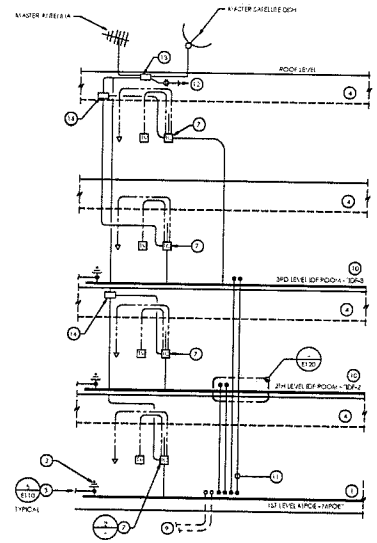
8 GROUND / BOND DETAIL AT NEW SERVICE
NOT TO SCALE



DETAIL 2 REFERENCE NOTES

1. TYPICAL RESIDENTIAL UNIT COMMUNICATION PANEL. SEE COMMUNICATION SYSTEM RISER DIAGRAM (DETAIL 1 THIS SHEET) TYPICAL FOR EACH UNIT. COMMUNICATIONS PANEL SHALL INCLUDE THE FOLLOWING:
   - 1.1 (4) VIDEO SPLITTER MODULE
   - 1.2 COMPACT TELEPHONE MODULE
   - 1.3 CAT 6 DATA MODULE
   - 1.4 14 WIDE x 42 TALL ENCLOSURE WITH STEEL CONSTRUCTION, WHITE POWDER COATED, HINGED COVER
   - 1.5 MIN 2-2 C.O. / MOD FOUR PROVISIONS FOR CAT7 / TEL CONDUIT TERMINATION
   - 1.6 18 TO ON 4 TO 6 SPACE
2. PROVIDE FLUSH MOUNT ENCLOSURE, WITH MIN 2" C.O. THROUGHOUT.
3. SPACE ALLOCATED FOR TELEPHONE MODULE (BY OTHERS)
4. SPACE ALLOCATED FOR COAXIAL SPLITTER MODULE (BY OTHERS)
5. SPACE ALLOCATED FOR DATA MODULE (BY OTHERS)

4 TYPICAL RESIDENTIAL COMMUNICATIONS PANEL
1-HOT TO SCALE



MASTER ANTENNA TELEVISION PERFORMANCE SPECIFICATIONS

PROVIDE A DIGITAL MASTER ANTENNA TELEVISION ("MATV") IN ACCORDANCE WITH LADBH REQUIREMENTS FOR THE PROJECT. THE SYSTEM SHALL BE CAPABLE OF RECEIVING AND DISTRIBUTING CABLE TV AND TELEVISION INFORMATION.

THE SYSTEM SHALL BE FROM AN APPROVED MANUFACTURER, SUPPLIED AND INSTALLED BY A SPECIALIST CONTRACTOR, WHO SHALL BE THE PARTY ACCEPTOR OF THE EQUIPMENT SUPPLIED. THE CONTRACTOR SHALL SUBMIT A COMPLETE PROPOSAL WITH SCHEMATIC DRAWINGS WITH SIGNAL LEVEL CALCULATIONS, LIST OF MATERIALS AND ORIGINAL DETAILED CATALOGUES OF THE EQUIPMENT FOR CONSULTANT/CLIENT APPROVAL BEFORE STARTING THE WORK.

THE CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR THE REVIEW / APPROVAL BY THE CONSULTANT WHICH INCLUDE THE FOLLOWING:

1. SCHEMATIC DIAGRAM OF THE TV DISTRIBUTION LIST WORK SHOWING SIGNAL LEVEL AT VARIOUS LEVELS WITH ALL SUPPORTING CALCULATIONS AND INDICATING ALL THE SYSTEM COMPONENTS INCLUDING SPLITTERS, UHF AMPLIFIERS, SOCKETS, CABLES ETC.
2. TV OUTLET LAYOUT PLAN INDICATING THE ROUTING OF CABLES FROM HEADEND STATION TO FLOOR DISTRIBUTION BOXES AND THEN TO FINAL SOCKETS. WIRING SHALL BE PROVIDED TO AT LEAST ONE (1) OUTLET IN THE LIVING ROOM AND ALL BEDROOMS.
3. INSTALLATION DETAILS OF MATV CABLES, RISERS, ETC.

DETAIL 11 - REFERENCE NOTES

1. COMMUNICATIONS UTILITY MAIN POINT OF ENTRY - "MPOE"
2. COMMUNICATIONS GROUND BUS AS NOTED PER ELECTRICAL PLANS
3. COPPER GROUND CONNECTION BETWEEN THE COMMUNICATION BACKBOARD AND BUILDING MAIN ELECTRICAL SERVICE GROUNDING SYSTEM
4. ACCESSIBLE CEILING SPACE AS DEFINED BY THE ARCHITECT
5. TYPICAL COMMUNICATION DEVICES (i.e. TELEPHONE, DATA, OR TELEVISION) INSTALLED THROUGHOUT RESIDENTIAL UNIT. OR ALL QUANTITY AND CONFIGURATION AS OCCURRING. EACH DEVICE LOCATION SHALL BE PROVIDED WITH A 4 SQUARE JUNCTION BOX WITH 1/2" RING AS A MINIMUM. IT SHALL BE PERMITTED TO OPEN WIRE COMMUNICATIONS CABLE AS INDICATED TO THE COMMUNICATIONS PANEL. (SEE NOTE #7)
6. PROVIDE TELEVISION LOCATIONS WITH A FLUSH MOUNT MULTIMEDIA BOX AS DEFINED IN DIVISION 26 SPECIFICATIONS. TYPICAL
7. TYPICAL RESIDENTIAL COMMUNICATIONS PANEL. ONE (1) LOCATED IN EACH RESIDENTIAL UNIT. FLUSH MOUNT ENCLOSURE WITH HINGED COVER. PROVIDE WITH 20A RECEPTACLE AND BRANCH CIRCUIT CONNECTION AS MAY BE REQUIRED. COORDINATE INSTALLATION WITH COMMUNICATION SYSTEM INSTALLER.
8. OPEN CABLE CONNECTION BY OTHERS. COORDINATE INSTALLATION WITH COMMUNICATION SYSTEM INSTALLER. TYPICAL PER UNIT COMMUNICATIONS PANEL.
9. BUCKLING TELEPHONE AND CATV UTILITY SERVICES AS IDENTIFIED PER SITE PLAN.
10. CUSTOMER TELEPHONE TERMINAL BOARD ("TTB-#") AS OCCURRING.
11. 1-1/2" TYPICAL OF FOUR (4).
12. PROVIDE DEDICATED LINE VOLTAGE POWER.
13. MASTER ANTENNA SYSTEM SIGNAL BOOSTER AS REQUIRED PER PERFORMANCE SPECIFICATIONS. QUANTITY AS REQUIRED.
14. MASTER ANTENNA SYSTEM SPLITTER AS REQUIRED PER PERFORMANCE SPECIFICATIONS. QUANTITY AS REQUIRED.

GENERAL NOTES

- CONDUIT ROUTING IS SHOWN SCHEMATICALLY FOR REFERENCE ONLY. COORDINATE IN FIELD.
- COORDINATE CONDUIT ROUTING THROUGH BUILDING WITH ARCHITECTURAL, STRUCTURAL, AND MECHANICAL REQUIREMENTS.
- WIRING AND CONDUIT SHALL BE CONCEALED IN STRUCTURE UNLESS OTHERWISE NOTED, PROTECTED IN PLACE AS REQUIRED BY THE CEC. WHERE APPROVED, EXPOSED CONDUIT SUPPORT AND BRACING SHALL BE FIELD COORDINATED WITH THE PROJECT ARCHITECT AND STRUCTURAL ENGINEER.
- VERTICAL CONDUIT RUNS EXCEEDING 25 LINEAR FEET SHALL BE PROVIDED WITH CABLE SUPPORTS (IE MEARS UNI KELLUNG GRIPS) AS PER DIVISION 26 SPECIFICATIONS.
- COORDINATE CONDUIT PENETRATIONS WITH STRUCTURAL AND FIRESTOP DETAILS. WHERE CONDUIT PENETRATION IS REQUIRED THROUGH A FIRE RATED ASSEMBLY, CONSULT TO, VETTED AND APPROVED FIRE PENETRATION DETAILS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

11 TYPICAL RESIDENTIAL BUILDING COMMUNICATIONS WIRING SCHEMATIC
1-NOT TO SCALE

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2009 PROFESSIONAL PLANT SUITE 4 P.O. BOX 8048 SANTA MARIA, CA 93456 T: 805.361.0100 F: 805.361.0101 WWW.GRAYELECTRICALCORP.COM

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MURRIETA
24960 Adams Ave, Murrieta CA 92562
ELECTRICAL DETAILS

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PROJECT MANAGER: SE
DRAWN BY: SE/MC | CHECKED BY: HG
DATE: 11/08/2022
PROJECT NUMBER: -
SHEET: EX-903

INITIAL B&S SUBMITTAL

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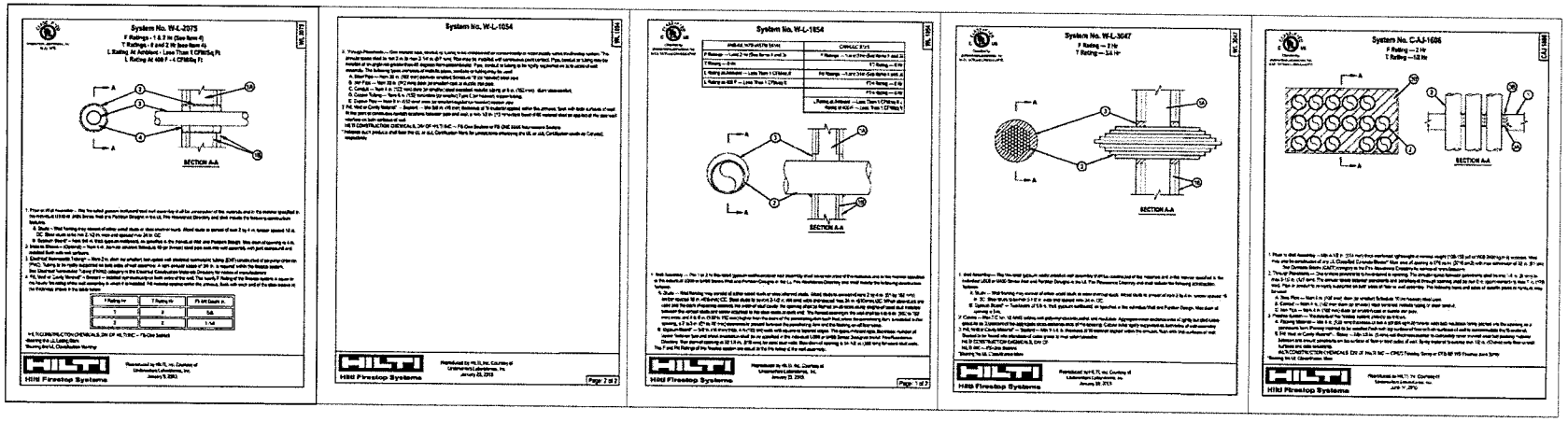
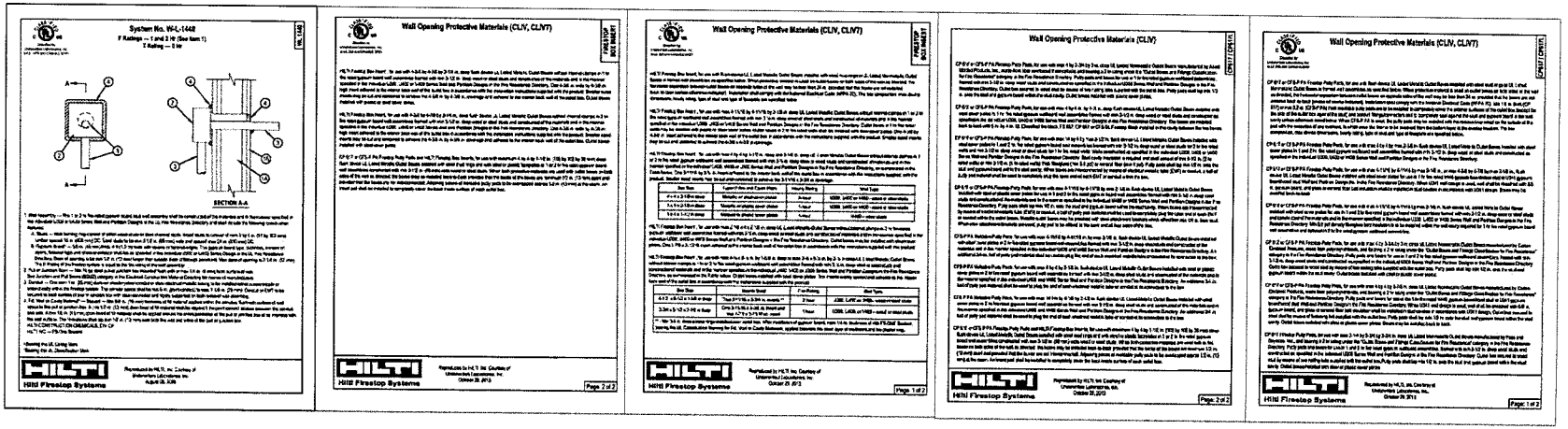


1 TYPICAL THRU PENETRATIONS AT FIRE RESISTANCE WALLS
NOT TO SCALE



2 TYPICAL MEMBRANE PENETRATIONS AT FIRE RESISTANCE WALLS
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SANTA MARIA, CA 93456 | WWW.GECEGRP.COM
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PROJECT MANAGER SE
DRAWN BY SE/MC CHECKED BY HG
DATE 11/08/2022
PROJECT NUMBER -
SHEET EX-904

INITIAL B&S SUBMITTAL

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DOWNTOWN MURRIETA DEVELOPMENT - PHASE 1

24960 ADAMS AVENUE, MURRIETA CA 92562

LANDSCAPE PLAN CHECK SUBMITTAL

PROJECT DIRECTORY

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RANCHO CUCAMONGA, CA 91730
contact:
email:

APPLICANT
NATIONAL COMMUNITY RENAISSANCE
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CIVIL ENGINEER
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RANCHO CUCAMONGA, CA 91730
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SAN LUIS OBISPO, CA 93401
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P:(805) 903-1241

MECHANICAL PLUMBING ENGINEER
METRICS MECHANICAL
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SANTA BARBARA, CA 93101
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email: TREYNOLDS@METRICSMECH.COM
P:(805) 543-3150

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SANTA MARIA, CA 93455
contact: HEATHER GRAY
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LANDSCAPE ARCHITECT
RRM DESIGN GROUP
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SAN JUAN CAPISTRANO, CA 92675
contact: SCOTT NEIMAN
email: SNEIMAN@RRMDESIGN.COM
P:(949) 361-7950

EXTERIOR BUILDING MAINTENANCE
ACCESS SYSTEMS & SOLUTIONS, INC.
address: 183 A BEACON STREET
SOUTH SAN FRANCISCO, CA 94080
contact:
email: JOAN@SIT-CO.COM
P:(650) 588-4428

PROJECT DESCRIPTION

PROJECT SCOPE:

1. CONSTRUCTION OF THREE AFFORDABLE FAMILY RESIDENTIAL BUILDINGS AND ONE MAINTENANCE / POOL BUILDING.
2. ALL SITE WORK WITHIN THE PROPERTY LINE.
3. ALL THE WORK SHOWN IN THE DRAWINGS AND SPECIFICATIONS.

DESCRIPTION:

THE DOWNTOWN MURRIETA DEVELOPMENT IS A PUBLICALLY FUNDED HOUSING DEVELOPMENT INTENDED TO BE USED AS PUBLIC HOUSING. THE 20AUNIT DEVELOPMENT IS BROKEN UP INTO TWO PHASES. LOCATED AT 24960 ADAMS AVENUE IN MURRIETA CALIFORNIA, THE 8.22 ACRE SITE IS BROKEN INTO THREE PARCELS. PHASE 1 OF THE DEVELOPMENT IS 4.48 ACRES, OCCUPYING PARCELS 1 AND 2 AND CONSISTS OF 118 TOTAL UNITS OF FAMILY HOUSING DISTRIBUTED IN TWO RESIDENTIAL BUILDINGS AND 1 MIXED-USE BUILDING. PHASE 1 ALSO INCLUDES ONE MAINTENANCE / POOL BUILDING, THREE EXTERIOR WASTE ENCLOSURES, AND A POOL. SITE AMENITIES INCLUDE PLAYGROUNDS, A HALF BASKETBALL COURT, COMMUNITY GARDEN, AND A PUBLIC PASEO AT THE NORTH EDGE OF THE SITE.

PHASE 1 INCLUDES TWO (2) PROPOSED MULTI-FAMILY RESIDENTIAL BUILDINGS FOR LARGE FAMILY UNITS (BUILDING 1 AND BUILDING 4) AND ONE (1) MIXED-USE BUILDING WITH COMMUNITY GATHERING SPACE AFTER-SCHOOL PROGRAM SPACE, OFFICES, AND LARGE FAMILY RESIDENTIAL UNITS (BUILDING 3). ALL BUILDINGS ARE TYPE V-A CONSTRUCTION AND ARE SPRINKLERED WITH NFPA 13 SYSTEMS. THE RESIDENTIAL AND MIXED-USE BUILDINGS ARE FOUR-STORY, ELEVATOR SERVED BUILDINGS, AND CONTAIN A MIX OF ONE-BEDROOM, TWO-BEDROOM, AND THREE-BEDROOM STACKED UNITS, EACH WITH PRIVATE OUTDOOR SPACE.

PER 2018 CBC AND CTCAC FUNDING REQUIREMENTS, 15% OF ALL UNITS ARE ACCESSIBLE PER 2018 CBC CHAPTER 11B AND ADA GUIDELINES. ACCESSIBLE UNITS ARE DISTRIBUTED THROUGHOUT THE SITE. ALL UNITS THAT ARE NOT FULLY ACCESSIBLE ARE VISITABLE AND ADAPTABLE PER 2018 CBC CHAPTER 11B (SECTIONS 11B-809.7 THROUGH 11B-809.12). ALL SITE AND COMMUNITY SPACES ARE ACCESSIBLE PER 2018 CBC CHAPTER 11B AND ADA GUIDELINES.

SITE INFORMATION

STREET ADDRESS	24960 ADAMS AVENUE MURRIETA, CA 92562	
APN:	906-080-018	
LOT SIZE:	195,313 SF = 4.48 ACRES	
BUILDING AREA:	47,465 SF	24.3% OF SITE
HARDSCAPE AREA:	110,840 SF	56.7% OF SITE
PLANTING AREA:	37,005 SF	19.0% OF SITE
PLANTING IN R.O.W.:	0 SF	0.0% OF SITE

SHEET INDEX

L0-0 COVER SHEET
L0-1 OVERALL LANDSCAPE SITE PLAN
L0-2 TREE DISPOSITION PLAN

L1-0 CONSTRUCTION NOTES AND SCHEDULE
L1-1 CONSTRUCTION PLAN
L1-2 CONSTRUCTION PLAN
L1-3 CONSTRUCTION PLAN
L1-4 CONSTRUCTION PLAN
L1-5 CONSTRUCTION DETAILS
L1-6 CONSTRUCTION DETAILS

L2-0 PLANTING NOTES AND SCHEDULE
L2-1 TREE PLAN
L2-2 PARKING SHADE DIAGRAM
L2-3 PLANTING PLAN
L2-4 PLANTING PLAN
L2-5 PLANTING PLAN
L2-6 PLANTING PLAN
L2-7 PLANTING DETAILS

L3-0 IRRIGATION NOTES AND SCHEDULE
L3-1 MAINLINE ROUTING PLAN
L3-2 IRRIGATION PLAN
L3-3 IRRIGATION PLAN
L3-4 IRRIGATION PLAN
L3-5 IRRIGATION PLAN
L3-6 IRRIGATION DETAILS
L3-7 IRRIGATION DETAILS

GENERAL NOTES

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMITTEE TO CONTACT "UNDERGROUND SERVICE ALERT U.S.A." TOLL FREE AT (800) 642-2444 FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATION OF POWER, TELEPHONE, OIL AND NATURAL GAS UNDERGROUND FACILITIES. CONTRACTOR OR PERMITTEE SHALL ALSO CONTACT THE APPROPRIATE AGENCY FOR THE LOCATION OF CABLE T.V., WATER, SEWER, DRAINAGE OR UNDERGROUND FACILITIES.

REFERENCE DOCUMENTS:
CITY OF MURRIETA STANDARD SPECIFICATION AND DETAILS
CITY OF MURRIETA PLANTING CONSTRUCTION PLAN SUBMITTAL REQUIREMENTS FOR COMMERCIAL PROJECT LANDSCAPING 2012

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:
2016 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS
2016 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS
2016 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS
2016 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS
2016 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS
2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
2016 CALIFORNIA GREEN BUILDING STANDARDS

2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)
TITLE 24, PART 1 CALIFORNIA CODE OF REGULATIONS (CCR)
2016 CALIFORNIA BUILDING CODE (CBC)
TITLE 24, PART 2 CCR BASED ON 2012 IBC AND 2016 CA AMENDMENTS
2016 CALIFORNIA REFERENCE STANDARD CODE
TITLE 24, PART 12 CCR

AGENCY APPROVALS

CITY OF MURRIETA

PLAN REVIEW

These plans have been reviewed and are found to be in substantial compliance with the applicable codes adopted by ordinance. Approval is recommended for landscape construction pending approval by all applicable City departments and agencies. No changes, modifications, nor alterations shall be permitted without prior authorization from the Planning Department.

The permittee shall ensure that all plans, specifications and instructions conform to the codes which comply to all requirements applicable codes, ordinances, and those approved plans. By commencing construction thereunder, the contractor agrees to release and indemnify the City of Murrieta and its consultants from and against any and all claims, errors, omissions, and deviations in the proposed work.

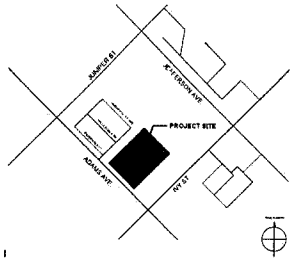
The issuance or granting of a permit based on approval of these plans shall not alter nor approve any violation of the applicable codes or ordinances. No permit presumed to give authority to violate or cancel the provisions of such codes or ordinances shall be valid.

BY:_____ DATE:_____

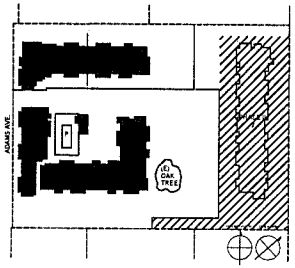
***ALL REVISIONS OF APPROVED PLANS ARE REQUIRED TO BE RESUBMITTED TO THE CITY OF MURRIETA.**

DIG ALERT
DIAL TOLL FREE
811
AT LEAST 2 DAYS BEFORE YOU DIG

VICINITY MAP



KEY MAP



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LICENSED LANDSCAPE ARCHITECT
NO. 6170
STATE OF CALIFORNIA
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PLAN CHECK SUBMITTAL 1

MURRIETA AFFORDABLE HOUSING
24960 Adams Avenue, Murrieta CA 92562
COVER SHEET

NO.	REVISION	DATE
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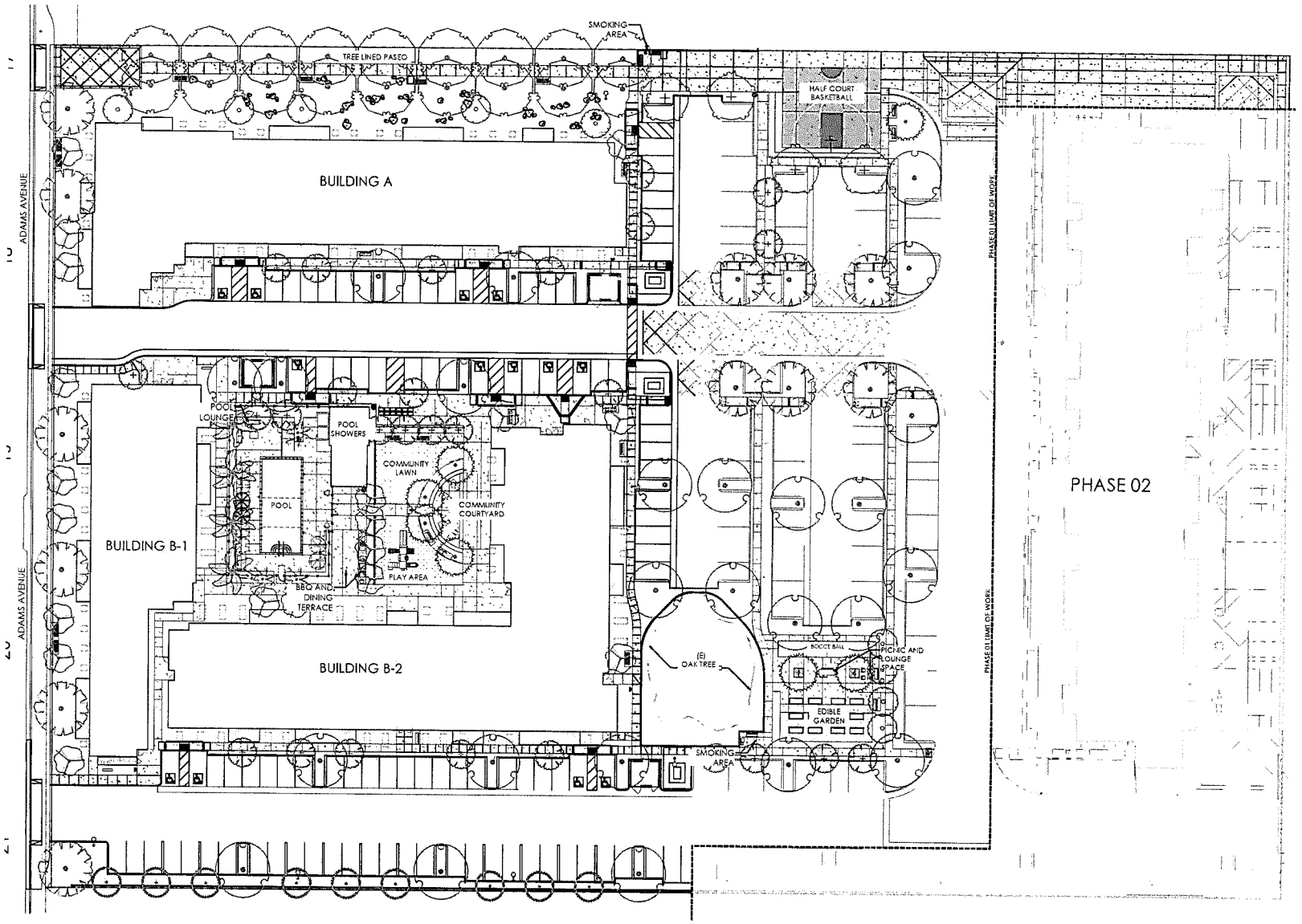
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L0-0



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SCOTT NETHERY
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OVERALL LANDSCAPE SITE PLAN

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PROJECT NUMBER: 1853-02-RS20
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PLAN CHECK SUBMITTAL 1

PROTECTED TREE PRESERVATION MEASURES

IN ACCORDANCE WITH MURRIETA ORDINANCE NO. 553-19 § 9 2019 SECTION 16.42.090 PRESERVATION OF PROTECTED TREES, THE FOLLOWING TREES PRESERVATION MEASURES WILL BE IMPLEMENTED TO MINIMIZE OR AVOID IMPACTS OF CONSTRUCTION AND PROJECT DEVELOPMENT TO THE PRESERVATION TREE:

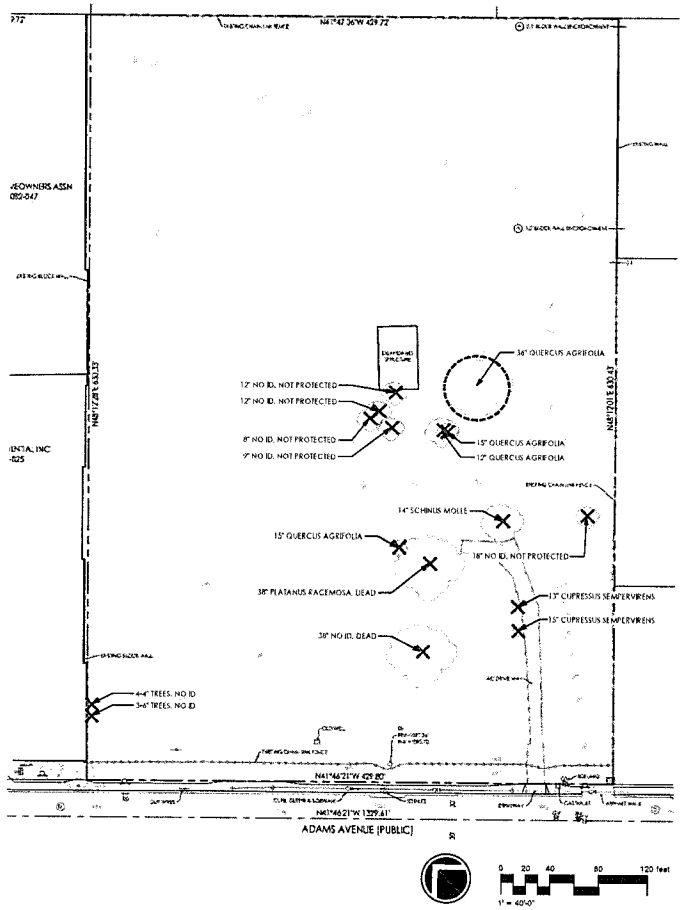
- PROVISION OF SUFFICIENT GROWING AREAS AS REQUIRED BY INDIVIDUAL SPECIES;
- NO DISRUPTION OR REMOVAL OF STRUCTURAL OR FEEDER ROOTS;
- FENCING OF TREES AT OR BEYOND THEIR DRIP LINES DURING GRADING AND CONSTRUCTION ACTIVITIES;
- NO FILLING, CUTTING, DEVELOPMENT, OR COMPACTION OF SOILS WITHIN THE DRIP LINE;
- PRESERVATION OF OAK LEAF LITTER BELOW THE DRIP LINE; AND
- OTHER MEASURES REQUIRED BY THE PARTICULAR SPECIES OF TREE(S) TO BE PRESERVED AS RECOMMENDED BY THE CONSULTING ARBORIST, HORTICULTURIST, OR LANDSCAPE ARCHITECT.

FOR ADDITIONAL INFORMATION, SEE "MEMO TO JESSICA E. FRAZIER" FROM ULTRASYSTEMS ARBORIST DATED APRIL 4, 2022.

TREE MITIGATION

PER CONFERENCE CALL WITH CARL STIEHL AT CITY OF MURRIETA ON APRIL 19, 2021, TO MITIGATE THE LOSS OF TREES, A 1:1 RATIO OF NON-INVASIVE, REGIONALLY APPROPRIATE TREES WILL BE PROVIDED.

12 QUERCUS AGRIFOLIA, 7 CHILOPSIS LINEARIS, AND 9 CERCIS OCCIDENTALIS ARE BEING PROVIDED TO OFFSET THE 20 TREES BEING REMOVED. SEE TREE PLAN FOR CONTAINER SIZE, LOCATION, AND ADDITIONAL INFORMATION.



TREE DISPOSITION LEGEND

SYMBOL

- ✕ TREE TO BE REMOVED
- ○ TREE TO BE PROTECTED IN PLACE

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TREE DISPOSITION PLAN

NO.	REVISION	DATE
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PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L0-2

PLAN CHECK SUBMITTAL 1

CONSTRUCTION NOTES

1. APPROVED PLANS - NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY OWNER. THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS OR WITHOUT NOTIFICATION TO THE OWNER MAY BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK. THE CONTRACTOR SHALL HAVE COPIES OF THE APPROVED PLANS FOR THIS PROJECT ON THE SITE AT ALL TIMES AND SHALL BE FAMILIAR WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
2. UNDERGROUND UTILITIES - PRIOR TO BEGINNING ANY EXCAVATION OR BORING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL AGENCIES INVOLVED AND SHALL LOCATE ALL FACILITIES PRIOR TO THE EXCAVATION. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (USA), TOLL FREE AT 811 AT LEAST 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
3. EXISTING UNDERGROUND UTILITIES - THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND FACILITIES, WHERE SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS, AND MAY NOT ACCURATELY REFLECT THE ACTUAL LOCATION OR ELEVATION. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR PROTECTING THE SAME DURING THE COURSE OF THE PROJECT. ANY DEVIATIONS FROM THE LOCATIONS SHOWN ON THE PLAN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE CITY GENERAL SERVICES AGENCY.
4. SAFETY - THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR SAFETY OF THE JOB SITE AND THE CONSTRUCTION WORK. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CITY INSPECTOR MAY NOTIFY THE CONTRACTOR OF ANY UNSAFE CONDITIONS WHICH MAY BE OBSERVED, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY TAKING ALL SUCH MEASURES AS WILL CORRECT THE UNSAFE CONDITION.
5. PROTECTION OF PROPERTY - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY IN THE VICINITY OF HIS WORK, AND SHALL EXERCISE DUE CAUTION TO ITS ORIGINAL CONDITION. ALL IMPROVEMENTS OR PROPERTY WHICH IS DAMAGED OR REMOVED (UNLESS DESIGNATED FOR REMOVAL ON THE PLANS) AS A RESULT OF HIS OPERATIONS.
6. SITE CONDITIONS - THE CONTRACTOR SHALL CONTINUALLY REVIEW JOB SITE CONDITIONS. CONDITIONS REQUIRING CONSTRUCTION DIFFERENT FROM THAT SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER OF RECORD. ALL SUCH CHANGES TO THE CONSTRUCTION SHALL BE APPROVED BY THE OWNER PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
7. CONTRACTOR'S RECORD OF CHANGES - THE CONTRACTOR SHALL MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL CHANGES FROM THE CONSTRUCTION AS SHOWN ON THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING THE ENGINEER OF RECORD WITH A BASIS FOR THE PREPARATION OF RECORD DRAWINGS.
8. HOURS OF WORK - PROJECT CONSTRUCTION WITHIN 500 FEET OF ANY EXISTING BUSINESSES SHALL BE COORDINATED DIRECTLY WITH THE OWNER. A WORK SCHEDULE SHALL BE PROVIDED AND APPROVED BY THE OWNER INDICATING HOURS OF CONSTRUCTION PRIOR TO WORK COMMENCING.
9. EXISTING SURVEY MONUMENTS - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR SHALL BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYOR'S ACT AT THE CONTRACTOR'S OWN EXPENSE.
10. OFF-SITE GRADING OR OTHER CONSTRUCTION WORK NOT PERMITTED WITHOUT PRIOR PERMISSION OF THE OFF-SITE PROPERTY OWNER AND THE MURRIETA CITY BUILDING DEPARTMENT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR CLEANING CITY/STATE STREETS, CURBS, GUTTERS AND SIDEWALKS OF DIRT TRACKED FROM THE SUBJECT SITE. THE FLUSHING OF DIRT AND DEBRIS TO STORM DRAIN OR SANITARY SEWER FACILITIES SHALL NOT BE PERMITTED. THE CLEANING SHALL BE DONE AFTER EACH DAY'S WORK OR AS DIRECTED BY THE PROJECT INSPECTOR.
12. ALL LARGE CONSTRUCTION EQUIPMENT IS TO BE EQUIPPED WITH "CRITICAL" GRADE NOISE MUFFLERS, NOISE LEVEL REDUCTIONS ASSOCIATED WITH THE USE OF "CRITICAL" RATHER THAN "STOCK" GRADE MUFFLERS CAN BE AS HIGH AS 5dBA. ENGINES WILL BE TUNED TO INSURE LOWEST POSSIBLE NOISE LEVELS. BACK UP BEEPERS ARE TO BE TUNED TO INSURE LOWEST POSSIBLE NOISE LEVELS AS ALLOWED BY OSHA.
13. IN THE EVENT THAT GRADING OR OTHER OPERATIONS DO UNCOVER BURIED ARTIFACTS, ALL CONSTRUCTION ACTIVITIES SHALL BE HALTED TO PREVENT FURTHER DISRUPTION OF THE NEWLY DISCOVERED ARCHAEOLOGICAL SITE. A QUALIFIED ARCHAEOLOGIST SHOULD THEN EVALUATE THE DISCOVERY AND RECOMMEND THE APPROPRIATE DISPOSITION OF THE RESOURCES. THE CITY GENERAL SERVICES AGENCY SHALL BE NOTIFIED. ALL STATE AND FEDERAL LAWS SHALL BE COMPLIED WITH.
14. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING AT LEAST 7 DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY MURRIETA CITY BUILDING INSPECTORS, THE OWNER AND THE ENGINEER OF RECORD 24 HOURS PRIOR TO THE MEETING. THIS MEETING SHALL INCLUDE THE SPECIAL INSPECTION REPORTING REQUIREMENTS, DISCUSSION OF THE EROSION CONTROL, DEMARCATED ACCESS COMPLIANCE & REPORTS REQUIRED. CALL CITY OF MURRIETA FOR INSPECTIONS.
15. CONCRETE CUTTING REQUIRES COMPLETE RECOVERY OF THE SLURRY VIA VACUUM SYSTEM OR OTHER LIKE SYSTEM.
16. WHEN POURING OR PATCHING CONCRETE, WASHOUT IS REQUIRED TO BE USED ONSITE.
17. PLAY STRUCTURE AND PLAY SURFACING TO BE UNDER SEPARATE PERMIT TO BE ISSUED BY PLAYGROUND MANUFACTURER.
18. LANDSCAPE BOULDERS TO BE RE-PURPOSED FROM CONSTRUCTION EXCAVATION. BOULDERS TO BE STOCKPILED ON SITE IN THREE CATEGORIES FOR LANDSCAPE ARCHITECT REVIEW.
    A. 1'-6" DIA IN ANY DIRECTION
    B. 2'-5-6" DIA
    C. 1'-0"-3' DIA

SUBMITTALS AND MOCKUPS

CONTRACTOR TO PROVIDE SUBMITTALS OF THE FOLLOWING MATERIALS FOR LANDSCAPE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO ORDERING:

1. BARK MULCH - ONE ZIPLOC BAG
2. ROOT BARRIER - 12" SQ PANEL
3. PHOTOGRAPHS OF PLANTS, PER PLANTING NOTES
4. CRUSHED ROCK - ONE ZIPLOC BAGS

CONTRACTOR TO PROVIDE 4' X 4' MOCKUPS OF THE FOLLOWING MATERIALS FOR LANDSCAPE ARCHITECT AND OWNER TO REVIEW:

1. 3' X 4' MOCKUP OF RIVER ROCK MULCH
2. INTEGRAL COLOR CONCRETE
3. ARTIFICIAL TURF

REFERENCE_NOTES_SCHEDULE

SYMBOL	12 SITE FURNISHINGS DESCRIPTION	DETAIL
12-01	BENCH	
12-02	PATIO TABLE & CHAIRS	
12-03	CHAISE LOUNGE	
12-04	LOUNGE FURNITURE	
12-05	PICNIC TABLE CHAIR	
12-06	PICNIC TABLE BENCH	
12-07	PICNIC TABLE	
12-08	BIKE RACK	
12-10	TRASH RECEPTACLE	
12-11	HOT COAL BIN	
12-12	CHARCOAL BBQ	E/L1-5
12-13	UMBRELLA	
12-14	PLAY STRUCTURE UNDER SEPARATE PERMIT	
12-15	COURTYARD CHAIR	
12-16	COURTYARD TABLE	
12-17	MAILBOX, PER ARCH.	
12-18	ASH RECEPTACLE	
12-19	PET WASTE STATION	H/L1-5
12-20	SITE MAP SIGNAGE	
12-21	PLANTER POT	

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	DETAIL
32-07	POOL FENCE	E/L1-5
32-07	8' HIGH CHAIN LINK FENCE	D/L1-6
32-03	POOL UNDER SEPERATE PERMIT	
32-09	RAISED PLANTER BED	A/L1-6
32-10	RAISED PLANTER BED- GRAVEL EDGE	
32-11	ARTIFICIAL TURF	B/L1-5
32-12	HALF COURT BASKETBALL	C/L1-6
32-13	COURTYARD FENCE	K/L1-5
32-18	CONCRETE PAVING	A/L1-5
32-19	SEAT WALL	L/L1-5
32-20	DECOMPOSED GRANITE	C/L1-5
32-21	BOCCE BALL COURT	B/L1-6
32-22	VEHICULAR CONCRETE PAVING	
32-23	TREE GRATE	I/L1-5
32-24	LANDSCAPE BOULDER	D/L1-5
32-25	POOL GATE - SINGLE SWING	F/L1-5
32-26	POOL GATE - DOUBLE SWING	G/L1-5

SYMBOL	SITE INFRASTRUCTURE DESCRIPTION	DETAIL
B-101	FIRE LADDER PADS, PER ARCH.	
B-104	DOWNSPOUTS LOCATION, PER ARCHITECTURE	
B-105	TRASH ENCLOSURE, PER ARCH.	
B-106	KEYSTONE WALL, PER CIVIL	

MATERIALS LIST

CONTRACTOR TO SUBMIT SAMPLES OF ALL FOLLOWING ITEMS TO OWNER AND LANDSCAPE ARCHITECTOR APPROVAL PRIOR TO ORDERING. LANDSCAPE ARCHITECT SHALL REVIEW AND APPROVE ANY ALTERNATE MATERIALS. CONTRACTOR SHALL PROVIDE SAMPLES OF THOSE ALTERNATIVES FOR APPROVAL ALONG WITH SOURCE INFO PRIOR TO CONSTRUCTION.

MOCK UP SAMPLES FOR ALL PAVING MATERIALS SHALL BE 3'X3' MIN. SQUARE AREA OF THE PAVING TYPE, DEMONSTRATING ALL COLORS. INCLUDE ONE MOCK UP OF SITE WALLS SHOWING SIDES, TOPS, AND CORNERS.

PEDESTRIAN CONCRETE PAVING:
COLOR: NATURAL GREY
FINISH: BROOM FINISH

VEHICULAR CONCRETE PAVING:
COLOR: NATURAL GREY
FINISH: BROOM FINISH

DECOMPOSED GRANITE:
COLOR: SPANISH BLUFF
MANUFACTURER: SOUTHWEST BOULDERS AND STONE

ARTIFICIAL TURF:
PRODUCT: NEATMEG LUSH
MANUFACTURER: EASY TURF COMMERCIAL ELITE LINE
CONTACT: MIKE ETCHISON AT RECREATE BRANDS OF SOUTHERN CALIFORNIA - (858) 432-3670

ORGANIC MULCH:
MATERIAL: LOWEST FLOOR
MANUFACTURER: AGUINAGA GREEN

SEAT WALL:
POURED IN PLACE CONCRETE WALL WITH WHITE PLASTER FINISH AND PRECAST CONCRETE CAPSTONE

COURTYARD FENCE:
COLOR: BLACK
PRODUCT: MONTAGE
MODEL: MAJESTIC
HEIGHT: 5.6' FEET
MANUFACTURER: AMERISTAR FENCE

POOL ENCLOSURE FENCE & GATE:
COLOR: BLACK
PRODUCT: MONTAGE
MODEL: MAJESTIC
HEIGHT: 6 FEET
MANUFACTURER: AMERISTAR FENCE

RAISED PLANTER BOX
MATERIAL: 2"x CEDAR
SIZE: 3'W x 7'L
FASTENERS: STAINLESS STEEL

RAISED PLANTER BOX GRAVEL EDGE:
PRODUCT: COPPER CANYON CRUSHED STONE
SIZE: 3/8"
MANUFACTURER: SOUTHWEST BOULDERS AND STONE

HALF COURT BASKETBALL:
DAVIS COLOR 01: COBBLESTONE
FINISH: BROOM FINISH
DAVIS COLOR 02: SUNSET ROSE
FINISH: BROOM FINISH

TREE GRATE
PRODUCT: DYNASADERO
SIZE: 8' x 8'
SPECIFICS: HEEL PROOF
MANUFACTURER: JAGNAGE

SITE FURNISHINGS LIST

LOUNGE SOFA:
SIZE: 79"L x 31"D x 27"H
PRODUCT: BALI OUTDOOR SOFA
MANUFACTURER: MADBURY ROAD

LOUNGE CHAIR:
SIZE: 33"W x 31"D x 27"H
PRODUCT: BALI OUTDOOR CLUB CHAIR
MANUFACTURER: MADBURY ROAD

LOUNGE FURNITURE COFFEE TABLE:
PRODUCT: BALI COFFEE TABLE
MANUFACTURER: MADBURY ROAD

BENCH:
MODEL: MADISON 6' RECYCLED PLASTIC CONTOUR BENCH
MODEL #: RCPM6
RECYCLED PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

PATIO TABLE:
MODEL: ELEVATION 52" ROUND THERMORY TABLE
MODEL #: ELV52T
RECYCLED PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

PATIO CHAIR:
MODEL: ELEVATION THERMORY CHAIR WITH ARMRESTS
MODEL #: ELV6N1
RECYCLED PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

UMBRELLA:
MODEL: LUCAYA 9' DIA. UMBRELLA, PUSH/PIN, PREM COLOR - 96" HIGH
MODEL #: 9LPLINS
FRAME COLOR: CHAMPAGNE BRONZE
FABRIC COLOR: SILICA GRAVEL
MANUFACTURER: ANOVA

CHAISE LOUNGE:
MODEL: GROSFILEX BAHIA STACKING ADJUSTABLE CHAISE LOUNGE, WHITE - PACK OF 2
MODEL #: LS031004

CHARCOAL BBQ:
MODEL: N-24 SERIES CHARCOAL GRILL
FEATURE: 53 SHELF 7" X 20"
BASE POST: B2 EMBEDDED GRILL MOUNT
MANUFACTURER: PILOT ROCK

HOT COAL BIN:
MODEL: N-24 SERIES CHARCOAL GRILL
COLOR: BLACK
FINISH: POWDER COATED
MANUFACTURER: PILOT ROCK

PICNIC TABLE:
MODEL: CAMILLE TABLE
LENGTH: 8'-0"
MODEL #: CAMT-8S
SLAT RECYCLED PLASTIC COLOR: MAPLE
FRAME COLOR: GREY
MOUNTED: SURFACE
MANUFACTURER: VICTOR STANLEY

PICNIC TABLE CHAIRS:
MODEL: TUSCANY RECYCLED PLASTIC CHAIR
PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

PICNIC TABLE BENCH:
MODEL: CAMILLE BACKLESS
LEGNTH: 6'-0"
SLAT RECYCLED PLASTIC COLOR: MAPLE
FRAME COLOR: GREY
MOUNTED: SURFACE
MANUFACTURER: VICTOR STANLEY

COURTYARD CHAIR:
MODEL: TUSCANY RECYCLED PLASTIC CHAIR
MODEL #: T225SR
PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

COURTYARD TABLE:
MODEL: TUSCANY 42" RECYCLED PLASTIC TABLE
MODEL #: T2267R
PLASTIC SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

TRASH RECEPTACLE:
MODEL: MADISON 35 GALLON RECYCLED PLASTIC RECEPTACLE, BONNET TOP
MODEL #: TR35B1
FRAME COLOR: TEXTURED SILVER
PLASTIC SLAT COLOR: CEDAR
LID COLOR: TEXTURED SILVER
MANUFACTURER: ANOVA

ASH RECEPTACLE:
MODEL: ESSENCE ASH URN, ASH COVER TOP
MODEL #: URNAGAC
FRAME COLOR: ANODIZED ALUMINUM
STONE PANEL COLOR: RIVER ROCK
MANUFACTURER: ANOVA

PLANTER POT:
COLOR: LATTE
MODEL NAME: WESHIRE ROUND
MODEL NUMBER: GRWR-3436P
MANUFACTURER: GCP
DIMENSIONS: 34" X 36"
IRRIGATION INSERT: CWP-2200 BY TOURNESOL WITH NO OVERFLOW DRAINAGE

SINGLE SIDED BIKE RACKS:
COLOR: BLACK
HARDWARE: CONCRETE
PRODUCT: 5-BIKE SINGLE-SIDED RACK
MANUFACTURER: PEAK RACKS

PET WASTE STATION:
MODEL: SUPERIOR PET WASTE ELIMINATOR STATION
ITEM SKU: E3
COLOR: GREEN
SIGN: NO LINE
MANUFACTURER: PET WASTE ELIMINATOR

NOTES:
1. BEFORE SURFACE MOUNTING FURNITURE, CONFIRM LOCATION WITH CLIENT REPRESENTATIVE IN THE FIELD.

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CONSTRUCTION NOTES AND SCHEDULE

NO.	REVISION	DATE
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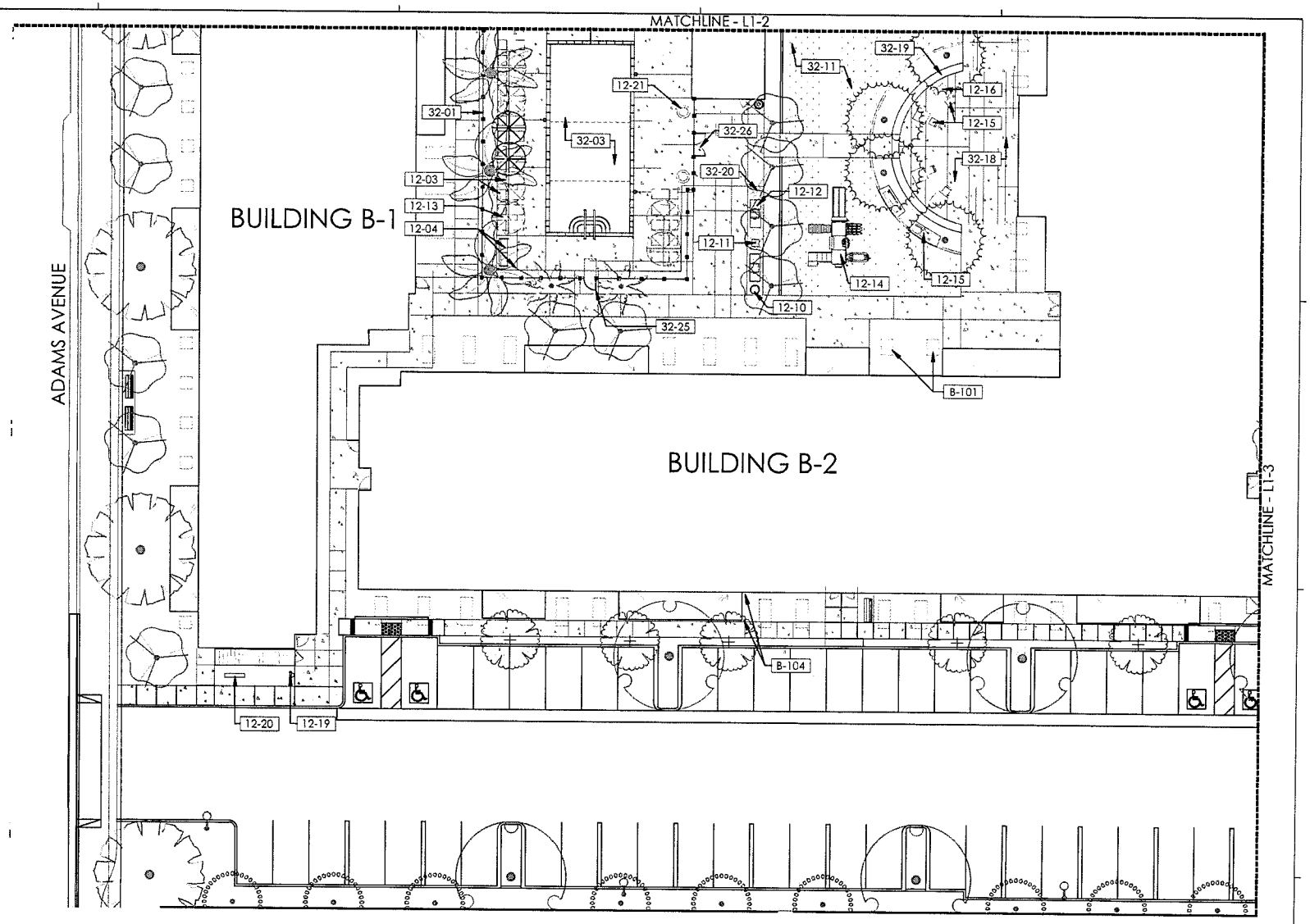
4		
5		
6		

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L1-0

PLAN CHECK SUBMITTAL 1



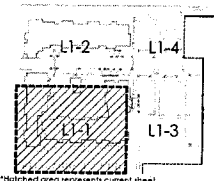
REFERENCE NOTES SCHEDULE L1-1

SYMBOL	12-SITE FURNISHINGS DESCRIPTION
12-03	CHAISE LOUNGE
12-04	LOUNGE FURNITURE
12-10	TRASH RECEPTACLE
12-11	HOT COAL BIN
12-12	CHARCOAL BBQ
12-13	UMBRELLA
12-14	PLAY STRUCTURE UNDER SEPARATE PERMIT
12-15	COURTYARD CHAIR
12-16	COURTYARD TABLE
12-19	PET WASTE STATION
12-20	SITE MAP SIGNAGE
12-21	PLANTER POT

SYMBOL	32-EXTERIOR IMPROVEMENTS DESCRIPTION
32-01	POOL FENCE
32-03	POOL UNDER SEPERATE PERMIT
32-11	ARTIFICIAL TURF
32-18	CONCRETE PAVING
32-19	SEAT WALL
32-20	DECOMPOSED GRANITE
32-25	POOL GATE - SINGLE SWING
32-26	POOL GATE - DOUBLE SWING

SYMBOL	SITE INFRASTRUCTURE DESCRIPTION
B-101	FIRE LADDER PADS, PER ARCH.
B-104	DOWNSPOUTS LOCATION, PER ARCHITECTURE

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

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LICENSED LANDSCAPE ARCHITECT
SCOTT NEWMAN
NO. 5047
EXP. 12-31-2022
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CONSTRUCTION PLAN

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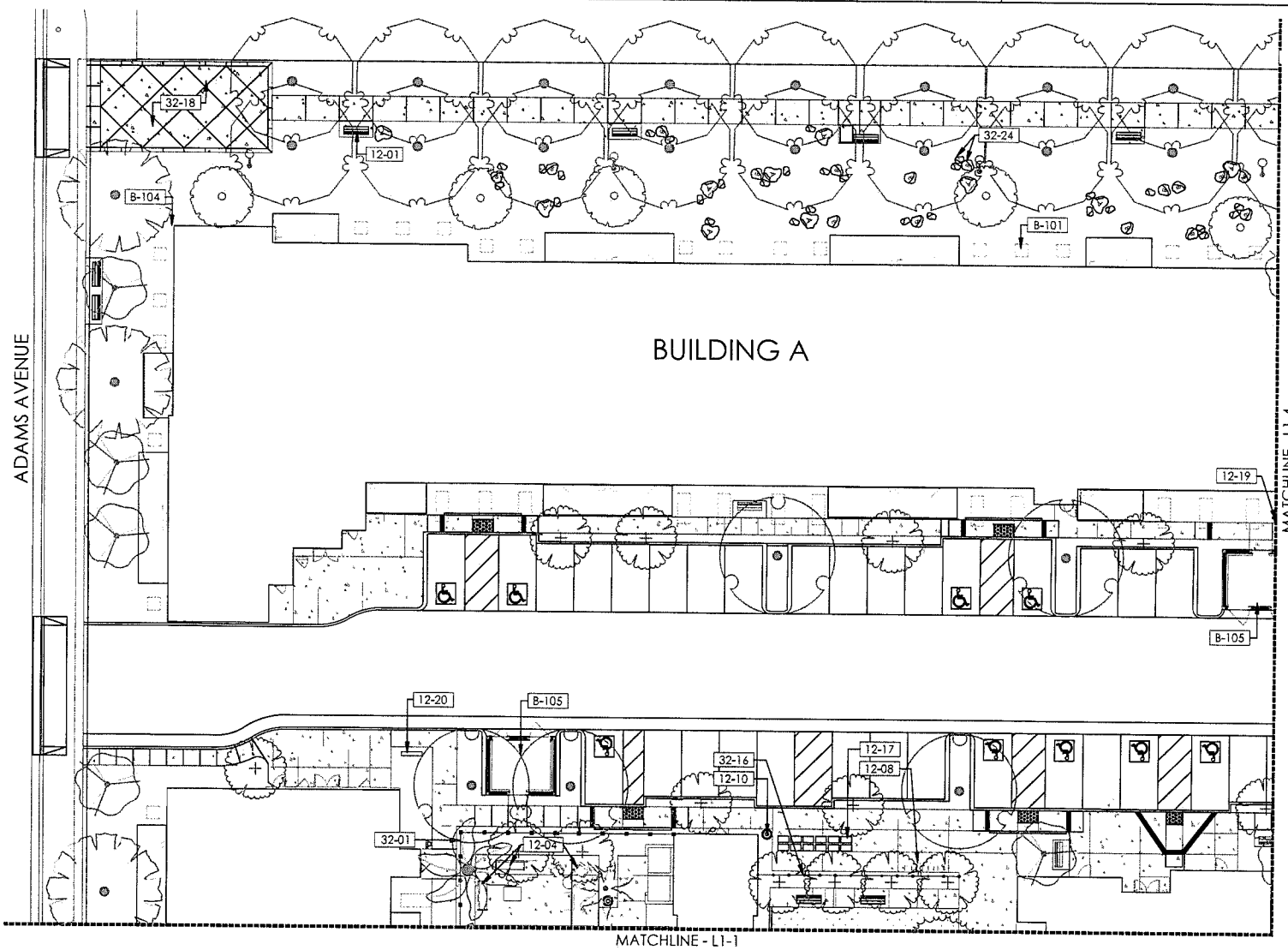
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L1-1

PLAN CHECK SUBMITTAL 1



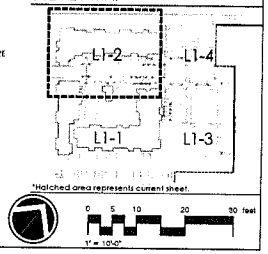
REFERENCE NOTES SCHEDULE L1-2

SYMBOL	12 SITE FURNISHINGS DESCRIPTION
12-01	BENCH
12-04	LOUNGE FURNITURE
12-06	BIKE RACK
12-10	TRASH RECEPTACLE
12-17	MAILBOX, PER ARCH.
12-18	ASH RECEPTACLE
12-19	PET WASTE STATION
12-20	SITE MAP SIGNAGE

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION
32-01	POOL FENCE
32-16	COURTYARD FENCE
32-18	CONCRETE PAVING
32-24	LANDSCAPE BOULDER

SYMBOL	SITE INFRASTRUCTURE DESCRIPTION
B-101	FIRE LADDER PADS, PER ARCH.
B-104	DOWNSPOUTS LOCATION, PER ARCHITECTURE
B-105	TRASH ENCLOSURE, PER ARCH.

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

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CONSTRUCTION PLAN

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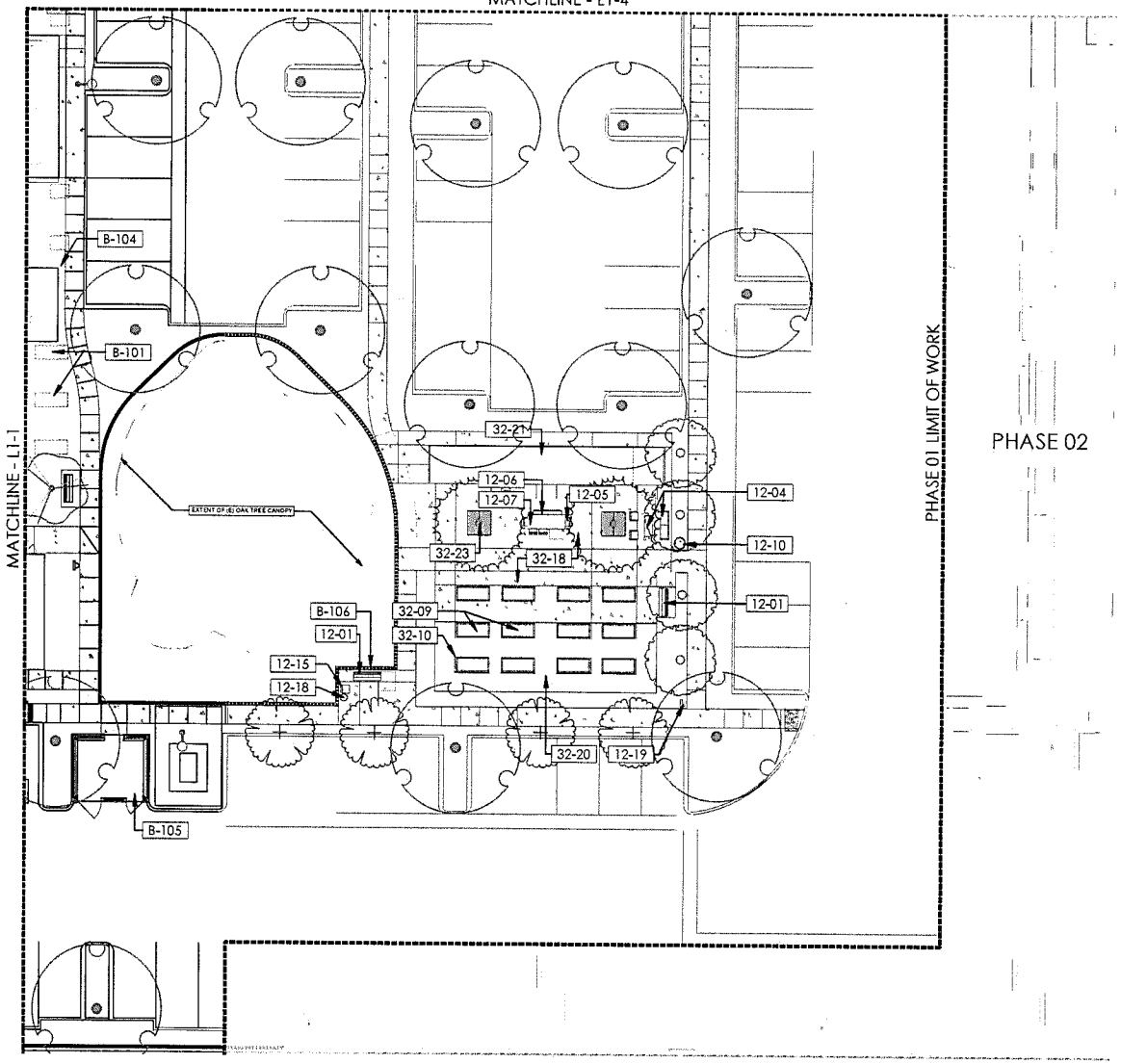
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.26.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L1-2

PLAN CHECK SUBMITTAL 1



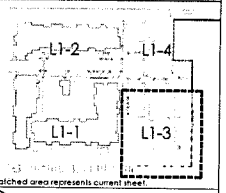
REFERENCE NOTES SCHEDULE L1-3

SYMBOL	12 SITE FURNISHINGS DESCRIPTION
12-01	BENCH
12-04	LOUNGE FURNITURE
12-05	PICNIC TABLE CHAIR
12-06	PICNIC TABLE BENCH
12-07	PICNIC TABLE
12-10	TRASH RECEPTACLE
12-15	COURTYARD CHAIR
12-18	ASH RECEPTACLE
12-19	PET WASTE STATION

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION
32-09	RAISED PLANTER BED
32-10	RAISED PLANTER BED- GRAVEL EDGE
32-18	CONCRETE PAVING
32-20	DECOMPOSED GRANITE
32-21	BOCCE BALL COURT
32-23	TREE GRATE

SYMBOL	SITE INFRASTRUCTURE DESCRIPTION
B-101	FIRE LADDER PADS, PER ARCH.
B-104	DOWNSPOUTS LOCATION, PER ARCHITECTURE
B-105	TRASH ENCLOSURE, PER ARCH.
B-106	KEYSTONE WALL, PER CIVIL

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

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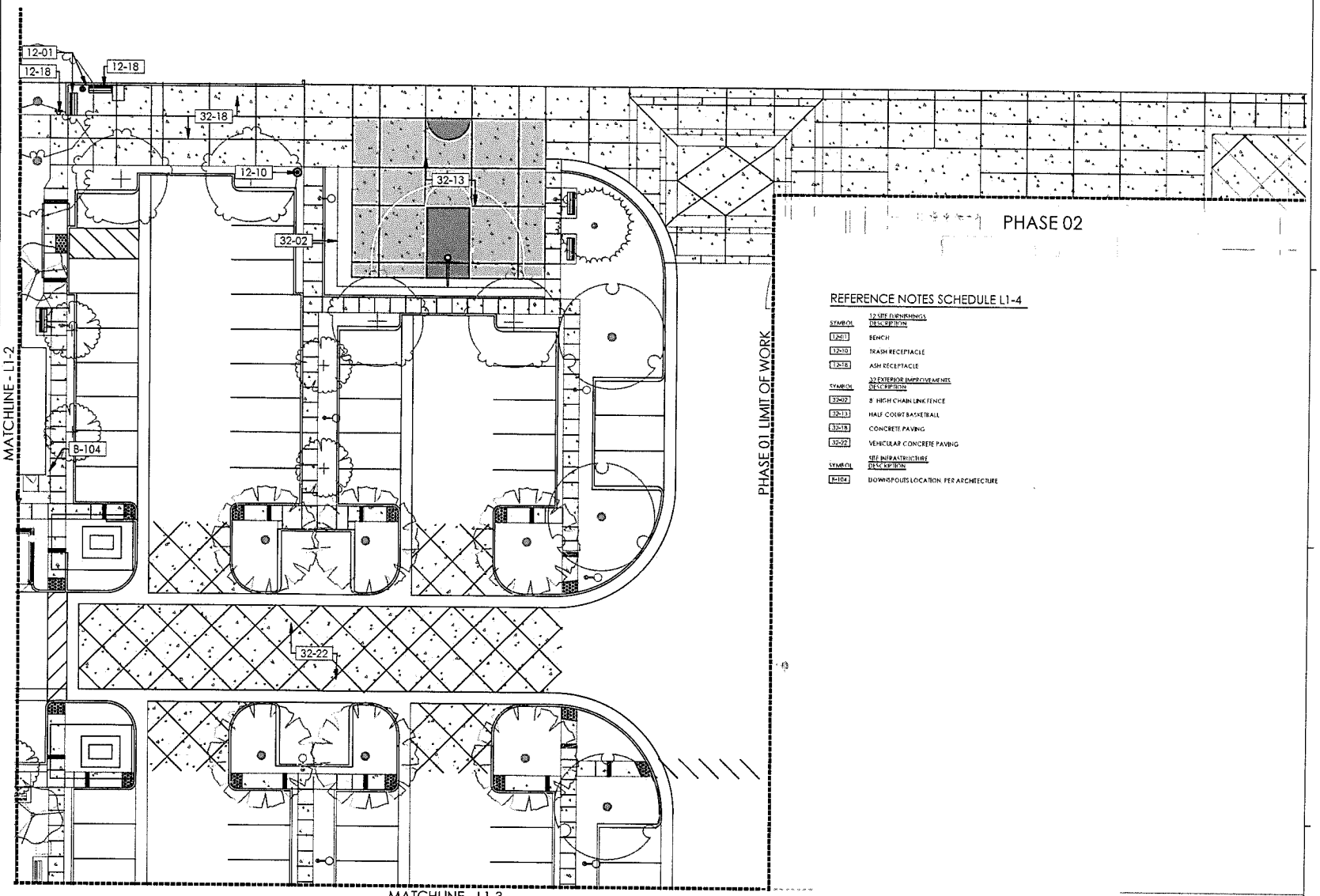
SHEET: L1-3

PLAN CHECK SUBMITTAL 1



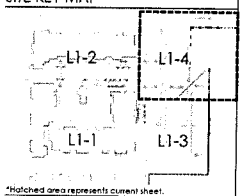
REFERENCE NOTES SCHEDULE L1-4

SYMBOL	12 SITE FURNISHINGS DESCRIPTION
12-01	BENCH
12-10	TRASH RECEPTACLE
12-18	ASH RECEPTACLE

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION
32-02	8' HIGH CHAIN LINK FENCE
32-13	HALF COURT BASKETBALL
32-18	CONCRETE PAVING
32-22	VEHICULAR CONCRETE PAVING

SYMBOL	SITE INFRASTRUCTURE DESCRIPTION
B-104	BOWNSPOUTS LOCATION PER ARCHITECTURE

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

PLAN CHECK SUBMITTAL 1

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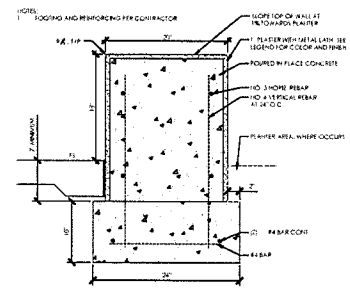
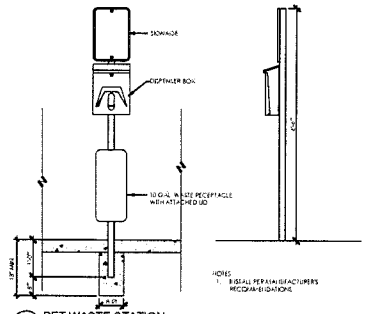
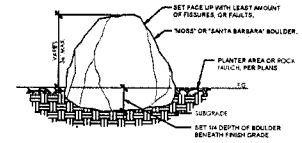
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L1-4



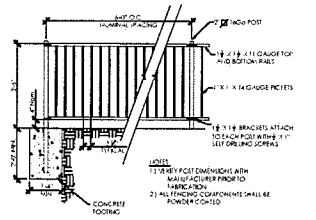
L SEAT WALL
1 1/2" = 1'-0"



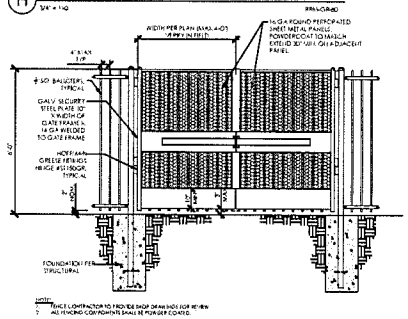
H PET WASTE STATION
3/4" = 1'-0"



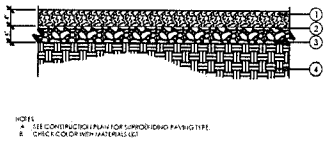
D LANDSCAPE BOULDER INSTALLATION, TYP.
3/4" = 1'-0"



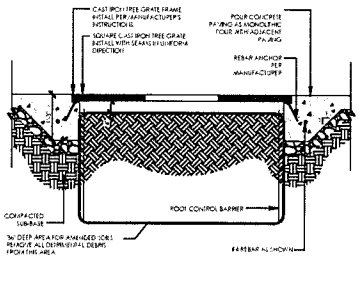
K COURTYARD FENCE
1/2" = 1'-0"



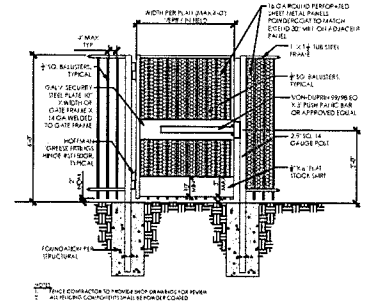
G POOL GATE - DOUBLE SWING
1/2" = 1'-0"



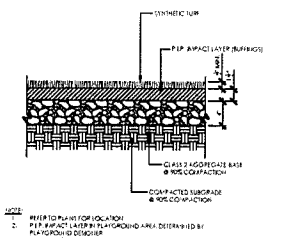
C DECOMPOSED GRANITE PAVING
1" = 1'-0"



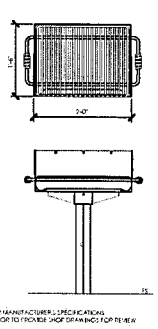
J TREE GRATE
3/4" = 1'-0"



F POOL GATE - SINGLE SWING
1/2" = 1'-0"

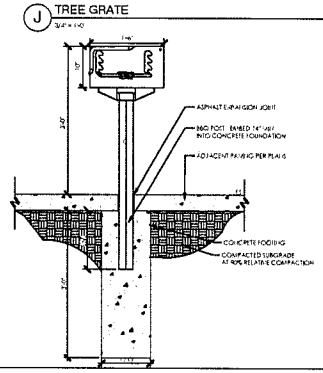


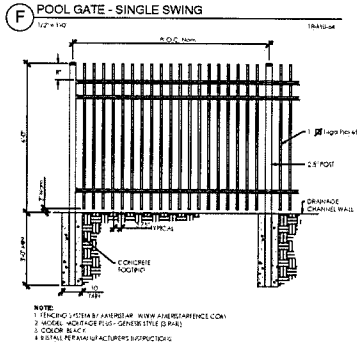
B ARTIFICIAL TURF
1 1/2" = 1'-0"



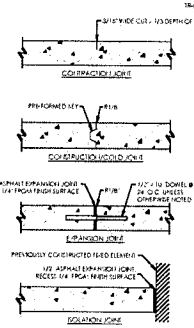
NOTES
1 INSTALL PER MANUFACTURER'S SPECIFICATIONS
2 CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW

I CHARCOAL GRILL
1" = 1'-0"





E POOL FENCE
1/2" = 1'-0"



NOTES:
1 REFER TO PLANS FOR JOINT LOCATIONS/LAYOUT
2 PROVIDE ISOLATION JOINT AGAINST ALL PREVIOUSLY CONSTRUCTED FEED ELEMENTS
3 SEAL ALL ISOLATION AND EXPANSION JOINTS PER MANUFACTURER'S INSTRUCTIONS.

A CONCRETE JOINTS
1 1/2" = 1'-0"

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CONSTRUCTION DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
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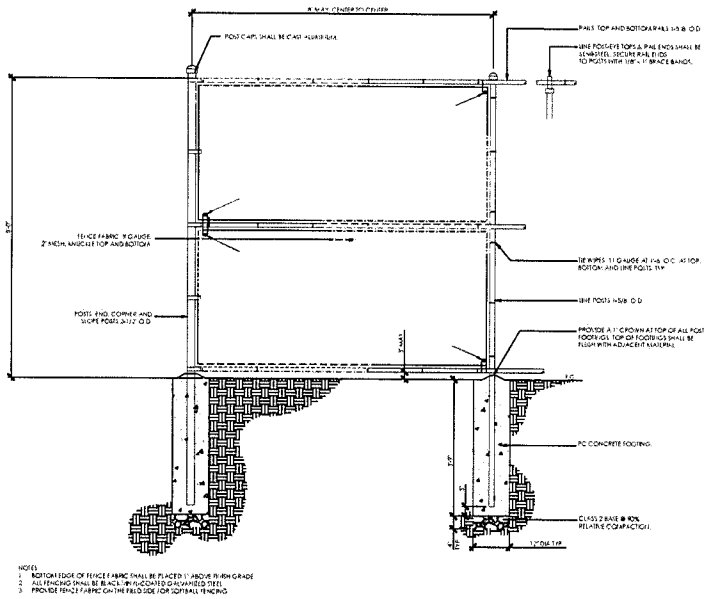
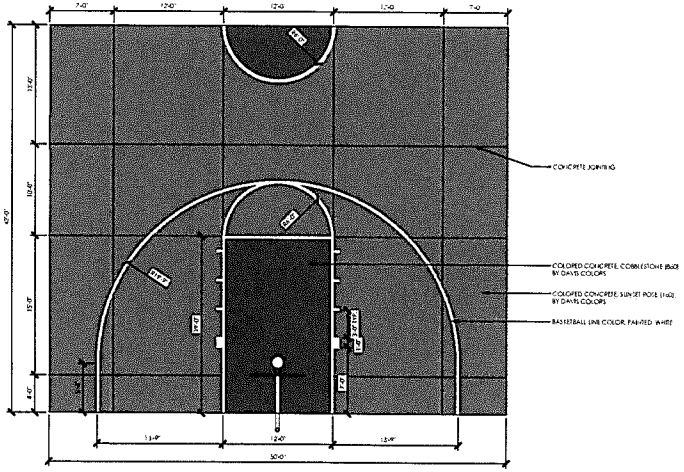
PROJECT NUMBER: 1853-02-RS20
SHEET: L1-5

PLAN CHECK SUBMITTAL 1

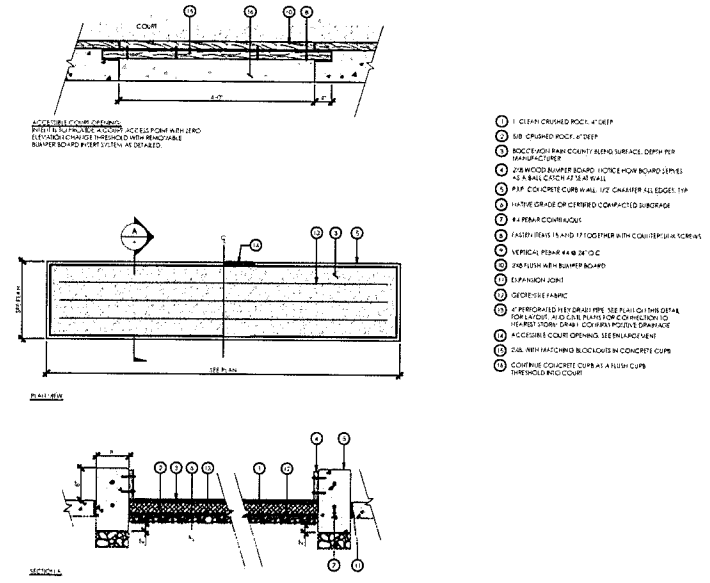


NOTES:
1. BOTTOM EDGE OF FENCE FABRIC SHALL BE PLACED 1" ABOVE FINISH GRADE
2. ALL FENCING SHALL BE BLACK VINYL COATED GALVANIZED STEEL
3. PROVIDE FENCE FABRIC ON THE FIELD SIDE FOR SOFTBALL FENCING

D 8' CHAIN LINK FENCE
3/4" = 1'-0"

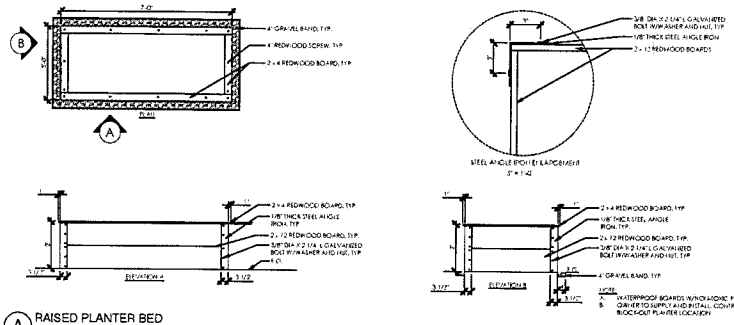


C HALF COURT BASKETBALL LAYOUT
1/16" = 1'-0"



1. 1" CLEAN CRUSHED ROCK, 4" DEEP
2. 3/8" CRUSHED ROCK, 4" DEEP
3. BOCCE MIX BY PAN COUNTY BLEND, SURFACE, DEPTH PER MANUFACTURER
4. 2X8 WOOD BUMPER BOARD. NOTICE HOW BOARD SERVES AS A BALL CATCH AT SEAT WALL
5. P.I.P. CONCRETE CURB WALL. 1/2" CHAMFER ALL EDGES, TYP
6. NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
7. #4 REBAR CONTINUOUS
8. FASTEN ITEMS 15 AND 17 TOGETHER WITH COMMERCIAL SCREWS
9. VERTICAL REBAR #4 @ 24" O.C.
10. 2X8 FLUSH WITH BUMPER BOARD
11. EXPANSION JOINT
12. GEOTEXTILE FABRIC
13. 4" PERFORATED HDPE DRAIN PIPE. SEE PLAN ON THIS DETAIL FOR LAYOUT, AND CIVIL PLANS FOR CONNECTION TO NEAREST STORM DRAIN. COORDINATE DRAINAGE
14. ACCESSIBLE COURT OPENING. SEE ENLARGEMENT
15. 2X8, WITH MATCHING BLOCKOUTS IN CONCRETE CURB
16. CONTINUE CONCRETE CURB AS A FLUSH CURB THRESHOLD INTO COURT

B BOCCE BALL COURT
1" = 1'-0"



A RAISED PLANTER BED
1/2" = 1'-0"

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SHEET: L1-6

PLAN CHECK SUBMITTAL 1

PLANTING NOTES

1. CONTRACTOR SHALL SUBMIT LABELLED PHOTOS OF ALL PLANT MATERIAL, TREES AND GROUNDCOVERS. PHOTOS SHALL BE OF THE SPECIFIED CONTAINER SIZE. PHOTOS SHALL BE SUBMITTED AS A COMPLETE SUBMITTAL PACKAGE FOR REVIEW AND APPROVAL. INCLUDE PHOTOS OF ANY SUBSTITUTES. CLEARLY LABELED.
2. ALL PLANTED AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A HEALTHY, GROWING CONDITION. SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING, AND TRIMMING, AND SHALL BE KEPT FREE OF WEEDS AND DEBRIS BY THE OWNER OR PERSON IN POSSESSION OF SUCH AREAS. ANY DAMAGED, DEAD OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS FROM THE DATE OF DAMAGE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.
4. PLANT SCHEDULE ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK. NOTIFY PROJECT LANDSCAPE ARCHITECT OF ANY MAJOR DISCREPANCIES.
5. UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, ALL STRUCTURAL AND HARDSCAPE IMPROVEMENTS SHALL BE CONSTRUCTED AND FINISHED AHEAD OF PLANTING.
6. ADJUST PLANT MATERIAL AS NECESSARY AROUND UTILITY LOCATIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY MAJOR CONFLICTS OR NECESSARY ADJUSTMENTS.
7. SOILS SHALL BE PREPARED AND AMENDED PER THE SPECIFICATIONS. SOIL AMENDMENTS AND PREPARATION SHALL CONFORM TO STATE AB1881 AND LOCAL WATER EFFICIENT LANDSCAPE ORDINANCES.
8. ALL WORK ON THE IRRIGATION SYSTEM INCLUDING OPERATIONAL TESTS, AND BACKFILLING OF TRENCHES SHALL BE COMPLETED AHEAD OF PLANTING.
9. LOCATIONS OF ALL PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO PLANTING. THE REPRESENTATIVE RESERVES THE RIGHT TO MAKE ANY ADJUSTMENTS, SUBSTITUTIONS, ADDITIONS, AND DELETIONS TO THE PLANT LAYOUT AS WORK PROGRESSES.
10. ALL GROUNDCOVER SHALL BE TRIANGULARLY SPACED, UNLESS OTHERWISE NOTED.
11. TREES SHALL BE INSTALLED NO CLOSER THAN FIVE (5) FEET FROM UTILITIES.
12. LINEAR ROOT BARRIERS SHALL BE INSTALLED FOR ALL TREES LOCATED WITHIN 5 FEET OF PAVING AND WITHIN 10 FEET OF CITY SIDEWALKS.
13. ALL PLANTING AREAS TO RECEIVE 3" THICK LAYER OF BARK MULCH. UNLESS ROCK MULCH IS PRESENT. SEE MATERIALS LIST FOR PRODUCT INFORMATION.
14. REFER TO PLANTING DETAILS FOR ADDITIONAL INFORMATION.
15. NO FUEL MODIFICATION REQUIRED.
16. PRIOR TO THE REQUEST OF A FINAL LANDSCAPE INSPECTION, LANDSCAPE ARCHITECT WILL COMPLETE THE CITY OF MURRIETA LANDSCAPE INSPECTION CHECKLIST CONFIRMING THAT THE ITEMS ON THE LIST ARE ADDRESSED AND COMPLETED.
17. PLANT MATERIAL SELECTED TO BE "RIGHT SIZED" FOR THEIR LOCATION TO MINIMIZE CUTTING BACK AND TRIMMING. PLANTS LOCATED SO THAT AT MATURITY THEY CAN KEEP THEIR NATURAL SHAPE.
18. CONTRACTOR TO CONTACT CITY'S ASSIGNED PLANNER OR LANDSCAPE ARCHITECT TO DETERMINE IF A PRE-JOB MEETING WITH THE JOB SITE SUPERINTENDENT AND THE LANDSCAPE CONTRACTOR WILL BE REQUIRED. NO LANDSCAPE INSTALLATION SHALL OCCUR PRIOR TO THE MEETING OR THE CITY'S DETERMINATION THAT IT WILL NOT BE REQUIRED.

SOIL TESTING

PROVIDE TWO (2) SAMPLES FOR SOIL TESTING AS INDICATED IN PLANS. PROVIDE "SOIL MANAGEMENT REPORT" BY WALLACE LABORATORIES AND AMEND AND PREPARE SOIL ACCORDING TO RECOMMENDATIONS. SOIL TESTING TO BE PROVIDED BY CONTRACTOR.

INDICATES SOIL TESTING LOCATION ON PLAN

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	HEIGHT X WIDTH	QTY
	ARBUTUS X 'MARINA'	MARINA STRAWBERRY	15 GAL	L	20' H X 15' W	19
	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM	15 GAL	L	50' H X 15' W	3
	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	L	15' H X 15' W	9
	CHILOPSIS LINEARIS	DESERT WILLOW	24"BOX	L	20' H X 20' W	7
	LAURUS X 'SARATOGA'	SARATOGA HYBRID LAUREL	15 GAL	L	20' H X 20' W	9
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	15 GAL	L	30' H X 15' W	27
	OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	24"BOX	L	25' H X 25' W	4
	PHOENIX DACTYLIFERA	DATE PALM	24"BOX	L	50' H X 25' W	4
	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE	24"BOX	L	45' H X 30' W	18
	QUERCUS AGRIFOLIA	COAST LIVE OAK	36"BOX	L	40' H X 27.5' W	12
	ULMUS PARVIFOLIA 'DRAKE'	DRAKE LACEBARK ELM	24"BOX	L	40' H X 27.5' W	25

SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	QTY
A	ACHILLEA X 'MOONSHINE'	MOONSHINE YARROW	1 GAL	LOW	94
	AGAVE ATTENUATA 'BOUTIN BLUE'	BOUTIN BLUE FOXTAIL AGAVE	5 GAL	LOW	69
	AGAVE DESMETIANA	SMOOTH AGAVE	5 GAL	LOW	86
CP	CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	1 GAL	LOW	291
CC	CEANOTHUS X 'CONCHA'	CONCHA WILD LILAC	5 GAL	LOW	7
	CISTUS LADANIFER 'BLANCHE'	CRIMSON-SPOT ROCKROSE	5 GAL	LOW	32
	DIANELLA CAERULEA 'CASSA BLUE'	CASSA BLUE DIANELLA	1 GAL	LOW	59
EB	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL	LOW	42
	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL	LOW	192
	FURCRAEA FOETIDA 'MEDIOPICTA'	MAURITIUS HEMP	5 GAL	LOW	21
GM	GALVEZIA SPECIOSA 'ROCA ROSA'	ROCA ROSA ISLAND SNAPDRAGON	5 GAL	LOW	81
	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	1 GAL	LOW	111
LJ	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS JAPANESE PRIVET	5 GAL	LOW	29
LL	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	1 GAL	LOW	443
MS	MISCANTHUS TRANSMORRISONENSIS	EVERGREEN EULALIA	5 GAL	LOW	19
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	LOW	420
OE	OLEA EUROPAEA 'LITTLE OLLIE' TM	LITTLE OLLIE OLIVE	5 GAL	LOW	46
P	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'	MARGARITA BOP PENSTEMON	1 GAL	LOW	34
	PHLOMIS FRUTICOSA	JERUSALEM SAGE	5 GAL	LOW	34
RC	RHAMNUS CALIFORNICA 'EVE CASE'	EVE CASE COFFEEBERRY	5 GAL	LOW	35
RO	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	1 GAL	LOW	101
SA	SALVIA APIANA	WHITE SAGE	5 GAL	LOW	17
SC	SALVIA CLEVELANDII 'ALLEN CHICKERING'	ALLEN CHICKERING CLEVELAND SAGE	5 GAL	LOW	70
	SANTOLINA CHAMAECYPARISSUS	LAVENDER COTTON	1 GAL	LOW	33
	STACHYS BYZANTINA	LAMB'S EAR	1 GAL	LOW	76
WF	WESTRINGIA FRUTICOSA	COAST ROSEMARY	5 GAL	LOW	123
	YUCCA ALOIFOLIA	ALOE YUCCA	24"BOX	VERY LOW	3

GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	WUCOLS	SPACING	QTY
	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	FLAT	LOW	18" o.c.	2,045
	CISTUS X SKANBERGII	CORAL ROCKROSE	1 GAL	LOW	42" o.c.	137
	DYMONDIA MARGARETAE	SILVER CARPET DYMONDIA	FLAT	LOW	18" o.c.	1,277
	SALVIA X 'BEE'S BLISS'	BEE'S BLISS SAGE	1 GAL	LOW	18" o.c.	1,252
	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL	LOW	24" o.c.	202

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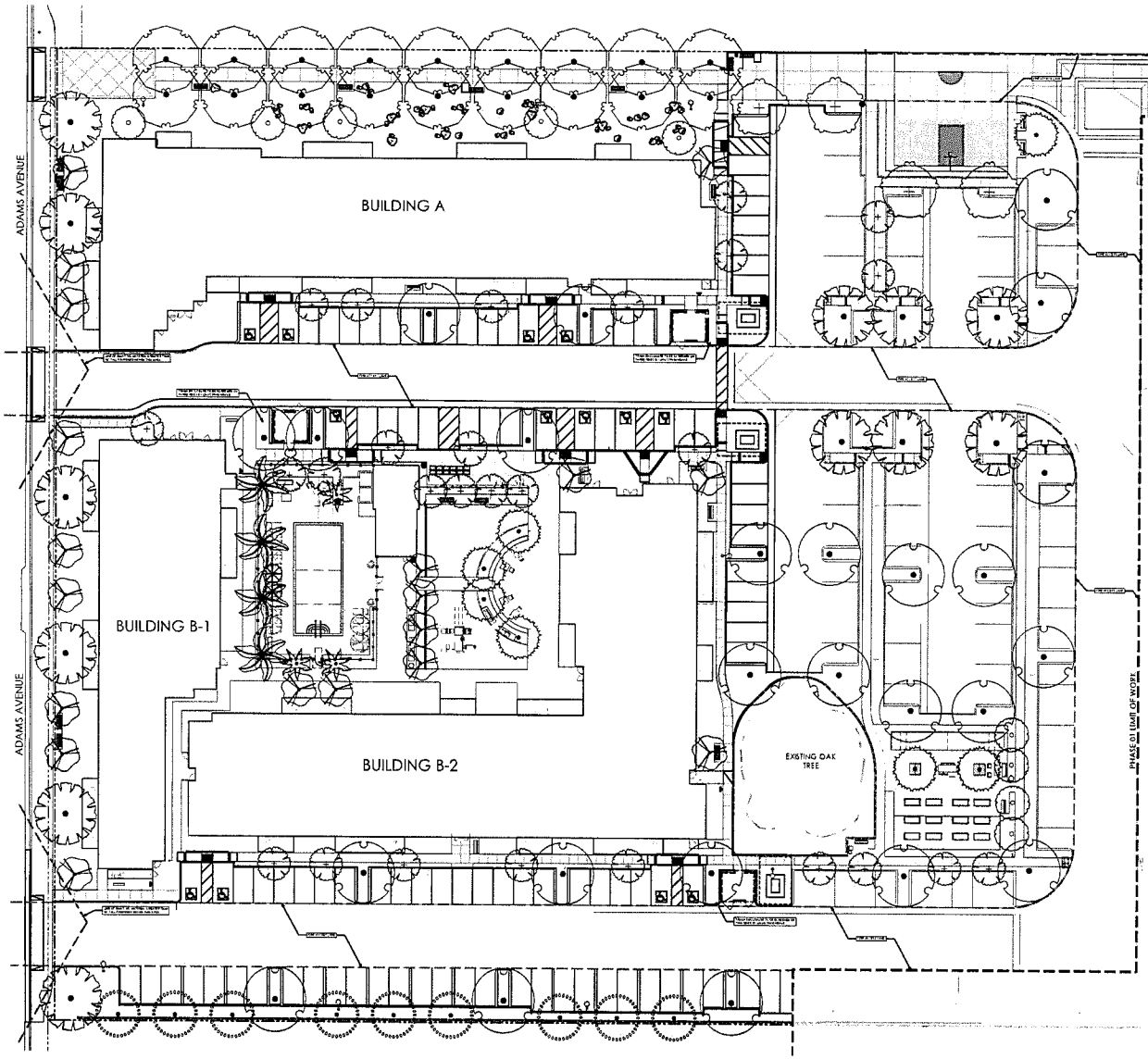
PLANTING NOTES AND SCHEDULE

NO.	REVISION	DATE

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-0

PLAN CHECK SUBMITTAL 1



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME
	ARBUTUS X 'MARINA'	MARINA STRAWBERRY
	ARCHONTOPHOENIX CUNNINGHAMIANA	KING PALM
	CERCIS OCCIDENTALIS	WESTERN REDBUD
	CHILOPSIS LINEARIS	DESERT WILLOW
	LAURUS X 'SARATOGA'	SARATOGA HYBRID LAUREL
	LOPHOSTEMON CONFERTUS	BRISBANE BOX
	OLEA EUROPAEA 'WILSONII'	WILSON OLIVE
	PHOENIX DACTYLIFERA	DATE PALM
	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLA
	QUERCUS AGRIFOLIA	COAST LIVE OAK
	ULMUS PARVIFOLIA 'DRAKE'	DRAKE LACEBARK ELM

0 10 20 40 60 feet
1" = 20'-0"

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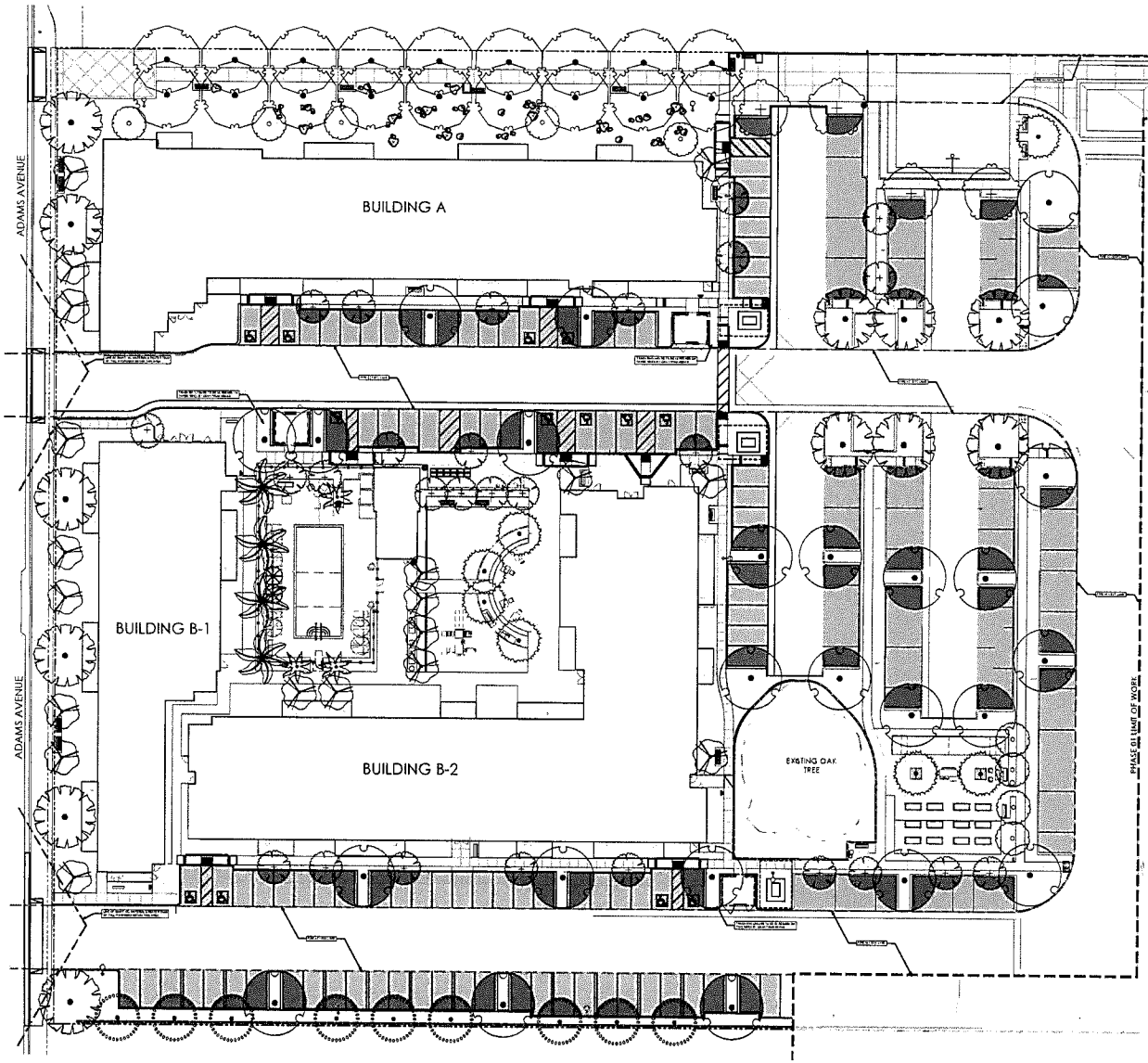
TREE PLAN

NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-1

PLAN CHECK SUBMITTAL 1



SHADE DIAGRAM LEGEND

	PARKING AREA NOT SHADED	19,675 SF	70%
	SHADED PARKING AREA	8,397 SF	30%
	TOTAL PARKING AREA	28,072 SF	100%

0 10 20 40 60 feet
1" = 20'-0"

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LICENSED LANDSCAPE ARCHITECT
SCOTT NEUMAN
NO. 4139
EXP. 12/31/23
STATE OF CALIFORNIA

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PARKING SHADE DIAGRAM

NO.	REVISION	DATE
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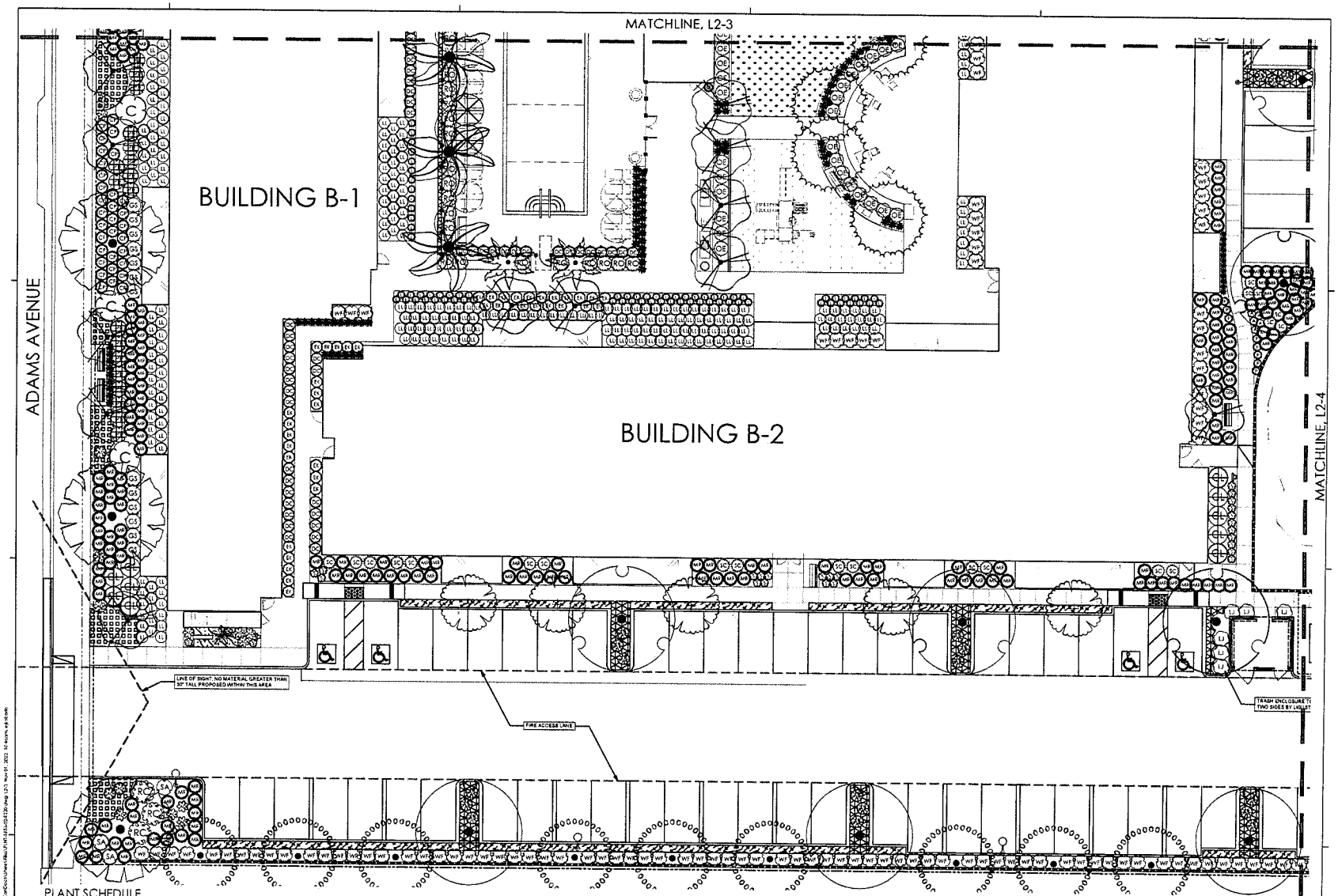
PROJECT MANAGER: SN
DRAWN BY: AM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-2

PLAN CHECK SUBMITTAL 1



PLANT SCHEDULE

TREES	ROTANICAL NAME
	ARBUTUS X 'MARINA'
	ARCHONTOPHOENIX CUNNINGHAMIANA
	CERCIS OCCIDENTALIS
	CHILOPSIS LINEARIS
	LAURUS X 'SARATOGA'
	LOPHOSTEMON CONFERTUS
	OLEA EUROPAEA 'WILSONII'
	PHOENIX DACTYLIFERA
	PLATANUS X ACERIFOLIA 'BLOODGOOD'

TREES	ROTANICAL NAME
	QUERCUS AGRIFOLIA
	ULMUS PARVIFOLIA 'DRAKE'

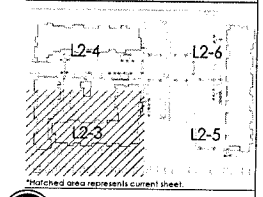
SHRUBS	ROTANICAL NAME
	ACHILLEA X 'MOONSHINE'
	AGAVE ATTENUATA 'BOLITIN BLUE'
	AGAVE DESMETIANA
	CAREX PRAEGRACILIS
	CEANOTHUS X 'CONCHA'
	CISTUS LADANIFER 'BLANCHE'
	DIANELLA CAERULEA 'CASSA BLUE'

SHRUBS	ROTANICAL NAME
	ERIGERON KARVINSKIANUS
	FESTUCA CALIFORNICA
	FURCRAEA FOETIDA 'MEDIOPICTA'
	GALVEZIA SPECIOSA 'BOCA ROSA'
	JUNCUS PATENS 'ELK BLUE'
	LIGUSTRUM JAPONICUM 'TEXANUM'
	LOMANDRA LONGIFOLIA 'BREEZE' TM
	MECANTHUS TRANSMORRISONENSIS
	MUHLENBERGIA RIGENS
	OLEA EUROPAEA 'LITTLE OLLIE' TM

SHRUBS	ROTANICAL NAME
	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
	PHLOMIS FRUTICOSA
	RHAMNUS CALIFORNICA 'EVE CASE'
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
	SALVIA APIANA
	SALVIA CLEVELANDII 'ALLEN CHICKERING'
	SANTOLINA CHAMAECYPARISSUS
	STACHYS BYZANTINA
	WESTRINGIA FRUTICOSA
	YUCCA ALOIFOLIA

GROUND COVERS	ROTANICAL NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CISTUS X SKANBERGII
	DYMONDIA MARGARETAE
	SALVIA X 'BEE'S BLISS'
	SENECIO SERPENS

SITE KEY MAP



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LICENSED LANDSCAPE ARCHITECT
SCOTT NEUMAN
NO. 6106
STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

24960 Adams Avenue, Murrieta CA 92562

PLANTING PLAN

NO.	REVISION	DATE
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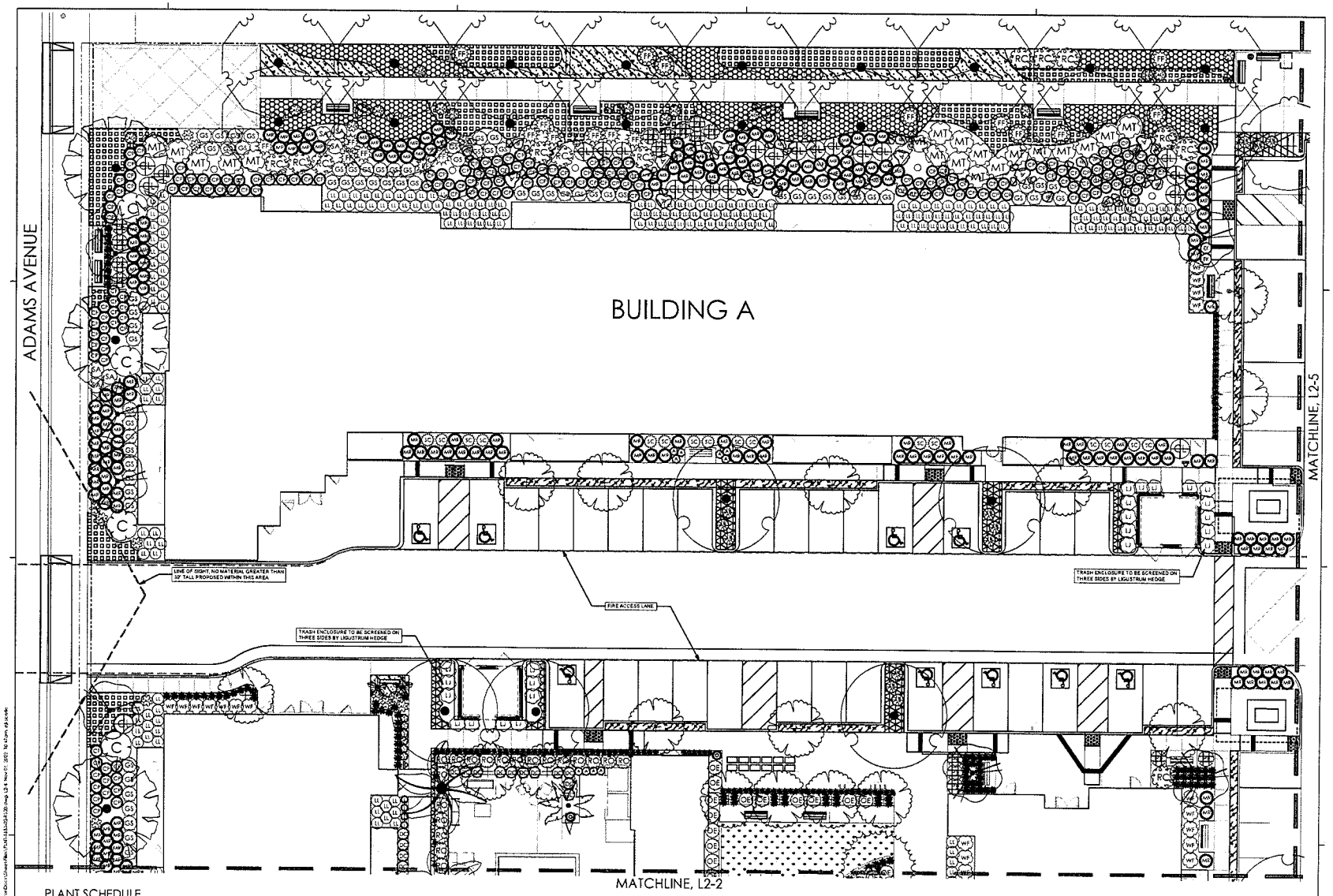
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-3

PLAN CHECK SUBMITTAL 1



PLANT SCHEDULE

TREES	BOTANICAL NAME
	ARBUTUS X 'MARINA'
	ARCHONTOPHOENIX CUNNINGHAMIANA
	CERCIS OCCIDENTALIS
	CHILOPSIS LINEARIS
	LAURUS X 'SARATOGA'
	LOPHOSTEMON CONFERTUS
	OLEA EUROPAEA 'WILSONII'
	PHOENIX DACTYLIFERA
	PLATANUS X ACERIFOLIA 'BLOODGOOD'

TREES	BOTANICAL NAME
	QUERCUS AGRIFOLIA
	ULMUS PARVIFOLIA 'DRAKE'

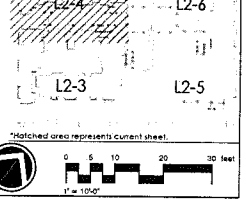
SHRUBS	BOTANICAL NAME
	ACHILLEA X 'MOONSHINE'
	AGAVE ATTENUATA 'BOUTIN BLUE'
	AGAVE DESMETIANA
	CAREX PRAEGRACILIS
	CEANOTHUS X 'CONCHA'
	CISTUS LADANIFER 'BLANCHE'
	DIANELLA CAERULEA 'CASSA BLUE'

SHRUBS	BOTANICAL NAME
	ERIGERON FARVINSHANIS
	FESTUCA CALIFORNICA
	FURCRAEA FOETIDA 'MEDIOPICTA'
	GALVEZIA SPECIOSA 'BOCA ROSA'
	JUNCUS PATENS 'ELK BLUE'
	LIGUSTRUM JAPONICUM 'TEXANUM'
	LOMANDRA LONGIFOLIA 'BREEZE' TM
	MISCANTHUS TRANSMORRISONENSIS
	MUHLENBERGIA RIGENS
	OLEA EUROPAEA 'LITTLE OLLIE' TM

SHRUBS	BOTANICAL NAME
	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
	PHLOMIS FRUTICOSA
	RHAMNUS CALIFORNICA 'EVE CASE'
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
	SALVIA APIANA
	SALVIA CLEVELANDII 'ALLEN CHICKERING'
	SANTOLINA CHAMAECYPARISSUS
	STACHYS BYZANTINA
	WESTRINGIA FRUTICOSA
	YUCCA ALOIFOLIA

GROUND COVERS	BOTANICAL NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CISTUS X SKANBERGII
	DYMONDIA MARGARETAE
	SALVIA X 'BEE'S BLISS'
	SENECIO SERPENS

SITE KEY MAP



*Hatched area represents current sheet.

PLAN CHECK SUBMITTAL 1

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PLANTING PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SN
DRAWN BY: MM
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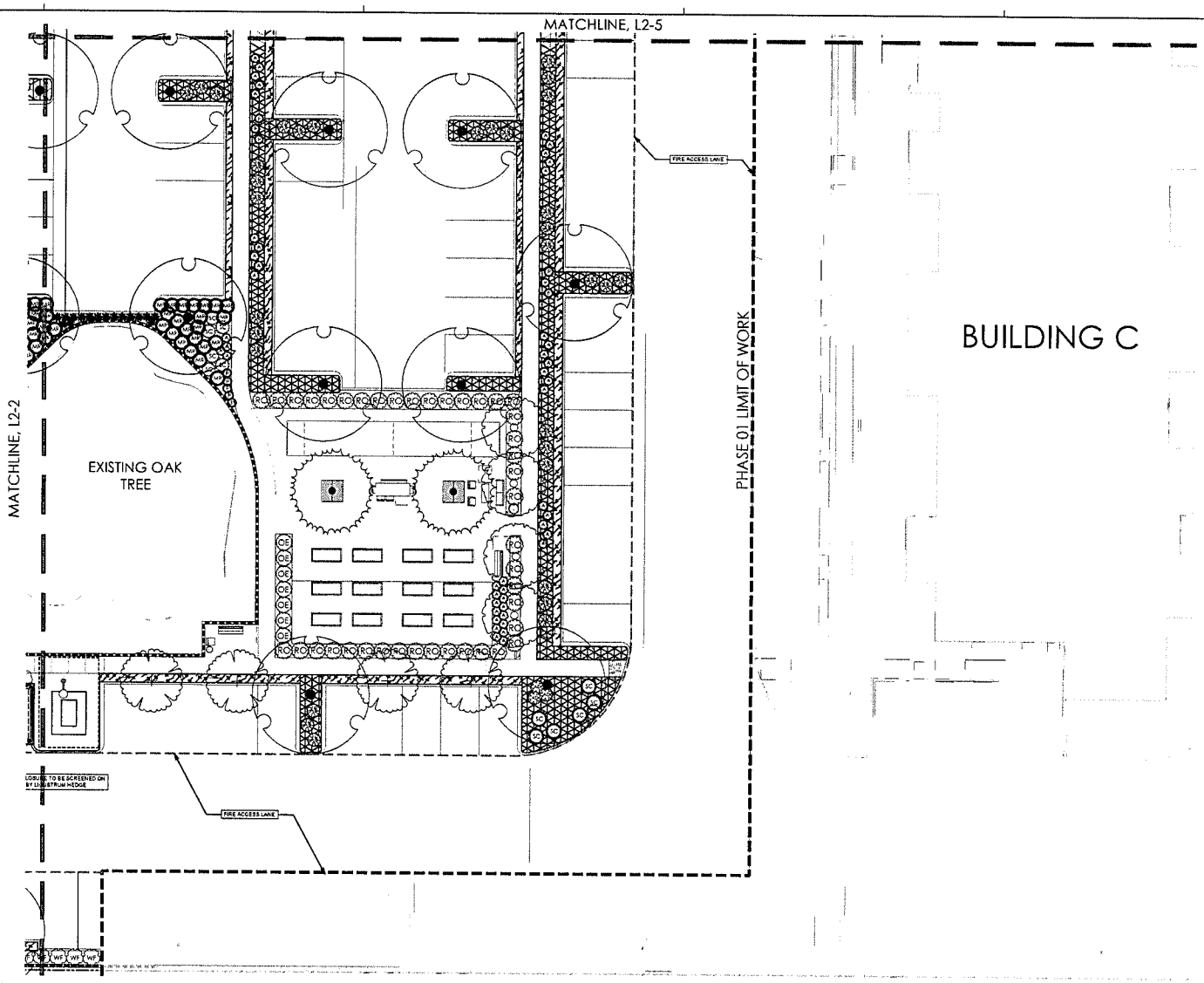
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-4



PLANT SCHEDULE

TREES	BOTANICAL NAME
	ARBUTUS X 'MARINA'
	ARCHONTOPHOENIX CUNNINGHAMIANA
	CERCIS OCCIDENTALIS
	CHILOPSIS LINEARIS
	LAURUS X 'SARATOGA'
	LOPHOSTEMON CONFERTUS
	OLEA EUROPAEA 'WILSONII'
	PHOENIX DACTYLIFERA
	PLATANUS X ACERIFOLIA 'BLOODGOOD'

TREES	BOTANICAL NAME
	QUERCUS AGRIFOLIA
	ULMUS PARVIFOLIA 'DRAKE'

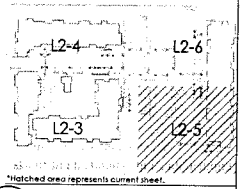
SHRUBS	BOTANICAL NAME
A	ACHILLEA X' MOONSHINE'
	AGAVE ATTENUATA 'BOUTIN BLUE'
	AGAVE DESMETIANA
CE	CAREX PRAEGRACILIS
CC	CEANOTHUS X' CONCHA'
	CISTUS LADANIFER 'BLANCHE'
DC	DIANELLA CAERULEA 'CASSA BLUE'

SHRUBS	BOTANICAL NAME
ER	ERIGERON KARVINSKIANUS
	FESTUCA CALIFORNICA
	FURCRAEA FOETIDA 'MEDIOPICTA'
GV	GALVEZIA SPECIOSA 'ROCA ROSA'
	JUNCUS PATENS 'ELK BLUE'
LJ	LIGUSTRUM JAPONICUM 'TEXANUM'
LG	LOMANDRA LONGIFOLIA 'BREEZE' TM
MG	MISCANTHUS TRANSMORRISONENSIS
MR	MUHLENBERGIA RIGENS
OE	OLEA EUROPAEA 'LITTLE OLLIE' TM

SHRUBS	BOTANICAL NAME
P	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
	PHLOMIS FRUTICOSA
	RHAMNUS CALIFORNICA 'EVE CASE'
RC	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
SA	SALVIA APIANA
SC	SALVIA CLEVELANDII 'ALLEN CHICKERING'
S	SANTOLINA CHAMAECYPARISSUS
	STACHYS BYZANTINA
WF	WESTRINGIA FRUTICOSA
	YUCCA ALOIFOLIA

GROUND COVERS	BOTANICAL NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CISTUS X SKANBERGII
	DYMONDIA MARGARETAE
	SALVIA X 'BEES BLISS'
	SENECIO SERPENS

SITE KEY MAP



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PLANTING PLAN

NO.	REVISION	DATE
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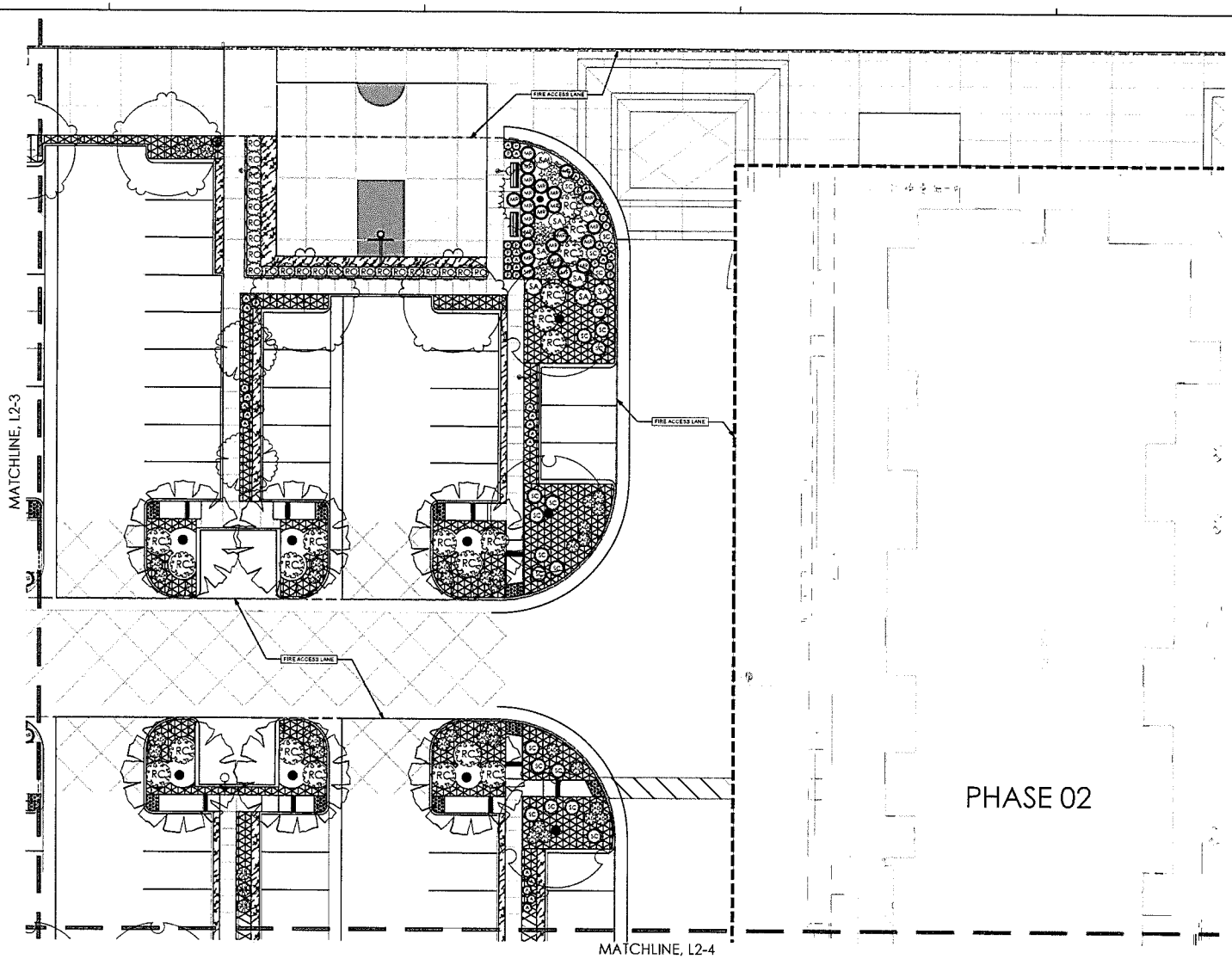
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-5

PLAN CHECK SUBMITTAL 1



PLANT SCHEDULE

TREES	BOTANICAL NAME
	ARBUTUS X 'MARINA'
	ARCHONTOPHOENIX CUNNINGHAMIANA
	CERCIS OCCIDENTALIS
	CHILOPSIS LINEARIS
	LAURUS X 'SARATOGA'
	LOPHOSTEMON CONFERTUS
	OLEA EUROPAEA 'WILSONII'
	PHOENIX DACTYLIFERA
	PLATANUS X ACERIFOLIA 'BLOODGOOD'

TREES	BOTANICAL NAME
	QUERCUS AGRIFOLIA
	ULMUS PARVIFOLIA 'DRAKE'

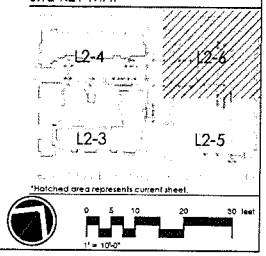
SHRUBS	BOTANICAL NAME
	ACHILLEA X 'MOONSHINE'
	AGAVE ATTENUATA 'BOUTIN BLUE'
	AGAVE DESMETIANA
	CAREX PRAEGRACILIS
	CEANOTHUS X 'CONCHA'
	CISTUS LADANIFER 'BLANCHE'
	DIANELLA CAERULEA 'CASSA BLUE'

SHRUBS	BOTANICAL NAME
	ERIGERON KARVINSKIANUS
	FESTUCA CALIFORNICA
	FURCRAEA FOETIDA 'MEDIOPICTA'
	GALVEZIA SPECIOSA 'ROCA ROSA'
	JUNCUS PATENS 'ELK BLUE'
	LIGUSTRUM JAPONICUM TEXANUM
	LOMANDRA LONGIFOLIA 'BREEZE' TM
	MISCANTHUS TRANSMORRISONENSIS
	MUHLENBERGIA RIGENS
	OLEA EUROPAEA 'LITTLE OLLIE' TM

SHRUBS	BOTANICAL NAME
	PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
	PHLOMIS FRUTICOSA
	RHAMNUS CALIFORNICA 'EVE CASE'
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
	SALVIA APIANA
	SALVIA CLEVELANDII 'ALLEN CHICKERING'
	SANTOLINA CHAMAECYPARISSUS
	STACHYS BYZANTINA
	WESTRINGIA FRUTICOSA
	YUCCA ALOIFOLIA

GROUND COVERS	BOTANICAL NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	CISTUS X SKANBERGII
	DYMONDIA MARGARETAE
	SALVIA X 'BEE'S BLISS'
	SENECIO SERPENS

SITE KEY MAP



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MURRIETA AFFORDABLE HOUSING

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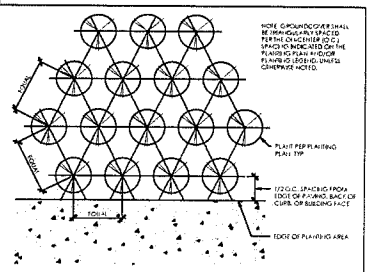
PLANTING PLAN

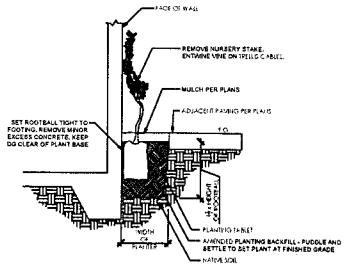
NO.	REVISION	DATE

PROJECT MANAGER: SN
DRAWN BY: MM | CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-6

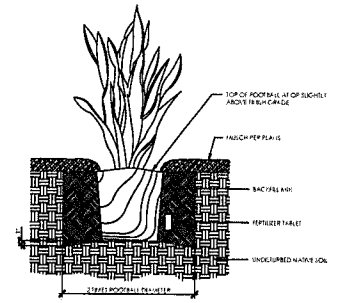
PLAN CHECK SUBMITTAL 1



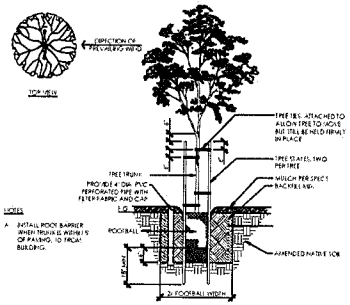
D GROUNDCOVER SPACING
1 1/2" = 1'-0"



C VINE PLANTING
1" = 1'-0"



B SHRUB PLANTING
1 1/2" = 1'-0"



A TREE PLANTING WITH WOOD STAKING
1/2" = 1'-0"

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3765 S. Higuera, San Luis Obispo, CA 93401

LICENSED LANDSCAPE ARCHITECT SCOTT NEUMAN NO. 4024 STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

24960 Adams Avenue, Murrieta CA 92562

PLANTING DETAILS

NO.	REVISION	DATE
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PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L2-7

PLAN CHECK SUBMITTAL 1

IRRIGATION NOTES

1. CONTRACTOR SHALL SLEEVE ALL LATERALS AND MAINLINES RUNNING UNDER PAVING
2. IRRIGATION PLAN IS DIAGRAMMATIC. FINAL LOCATION OF PIPING WILL BE DETERMINED AT THE TIME OF INSTALLATION. MAINLINE AND LATERALS SHALL BE PLACED IN THE SAME TRENCH WHEN POSSIBLE. ALL G.C. VALVES ARE TO BE LOCATED 12" FROM SIDEWALKS, CURBS, ASPHALT & CONCRETE SURFACES.
3. ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE DRAWING, TO COMPLETE THE WORK, SHALL BE PROVIDED BY THE IRRIGATION CONTRACTOR
4. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND/OR SPECIFICATIONS.
5. CONTRACTOR SHALL COORDINATE POWER TO CONTROLLERS AND DEDICATE ONE (1) 20 AMP BREAKER FOR EACH CONTROLLER. THE AUTHORIZED REPRESENTATIVE SHALL REVIEW CONTROLLER LOCATIONS PRIOR TO INSTALLATION. 120 VOLT SERVICE AND HOOK-UP TO THE CONTROLLER SHALL BE COMPLETED BY A LICENSED ELECTRICAL CONTRACTOR. THIS COST IS TO BE A PART OF THE LANDSCAPE CONTRACTOR'S BID.
6. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SITE CONDITIONS PRIOR TO BEGINNING WORK. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
7. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THE NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO EXPENSE TO THE OWNER.
8. CONTRACTOR SHALL ADJUST HEADS AS NEEDED TO MINIMIZE OVERSPRAY ONTO HARDSCAPE AREAS.
9. SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE. LABEL ALL WIRES W/ WATERPROOF MARKERS AT ALL SPLICES AND VALVE MANIFOLDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL MATERIAL APPEARING ON PLAN.
11. PROVIDE PVC SHUTOFF VALVE FOR EACH VALVE.
12. ALL EXISTING UTILITIES, WATER LINES AND FIRE HYDRANTS SHALL REMAIN CONNECTED AND IN FULL CONTINUOUS OPERATION DURING AND FOLLOWING ALL CONTRACT WORK.
13. CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS TO THE IRRIGATION SYSTEM FOLLOWING A PRECIPITATION TEST PER THE OWNER. ADJUSTMENTS SHALL INCLUDE BUT WILL NOT BE LIMITED TO: HEAD RELOCATION, CHANGING NOZZLES, AND ADJUSTING ARC PATTERNS TO ATTAIN 65% EFFICIENT UNIFORMITY AS REQUIRED BY THE OWNER.
14. CONTRACTOR SHALL SLEEVE ALL PIPE CROSSINGS UNDER HARDSCAPE. ALL SLEEVES UNDER PAVING SHALL RECEIVE IDENTIFYING MARK ON TOP OF HARDSCAPE AT EDGE OF PLANTER TO INDICATE LOCATION OF SLEEVE. EXTEND ALL SLEEVES 18" BEYOND EDGE OF HARDSCAPE, TYP.
15. ALL NEW IRRIGATION BOXES, AND ADDITIONAL BOXES SHALL BE LOCATED IN PLANTING AREAS 18" MIN. AWAY FROM ADJACENT PAVING AND 5' MIN. AWAY FROM IMMEDIATE BUILDING ENTRIES. BOXES SHALL BE COLOR BROWN IN PLANTER AREAS AND COLOR GREEN IN TURF AREAS.
16. EXTRA VALVE WIRES SHALL BE PROVIDED FOR EACH VALVE STATION NOT USED ON PROPOSED CONTROLLER, UNLESS OTHERWISE NOTED ON PLANS. VALVE WIRES SHALL BE EXTENDED AND LOCATED IN TWO (2) VALVE BOXES EACH LOCATED AT POLAR OPPOSITE ENDS OF THE PROJECT SITE.
17. FOR ALL DRIP AREAS: CONTRACTOR TO INSTALL AIR RELIEF VALVES. OPERATION INDICATORS AND FLUSH VALVES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
18. CONTRACTOR SHALL NOT INSTALL ANY PLANTING UNTIL THE FOLLOWING ARE COMPLETED: 1. THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. 2. HYDROSTATIC PRESSURE TESTS SHALL BE PERFORMED ON MAIN AND LATERAL LINES. 3. ALL ZONES SHALL PASS A COVERAGE TEST. 4. CONTROLLERS SHALL BE FULLY OPERATIONAL.

City of Murrieta Landscape Water Use Calculations
Project Type (Select) Commercial
Murrieta Affordable Housing
0.45 ETo allowance

Appropriate to use drop down menus or cells that indicate a selection to describe each hydrozone.
Where "INPUT" is shown, applicant to enter project specific information.
Please note that embedded formulas will reflect a "false" or an error until selections are completed.

1 Maximum Annual Water Allowance (MAWA)

INPUT the total square footage of landscape = 57,005 S.F.
INPUT the Net ETo for the area = 36.08

MAWA = 75,918 Gal/Yr

2 Estimated Annual Water Use (EAWU)

	Plant Factor		Plant Type	Water Use
Hydrozone # 1	0.2			
INPUT Square Feet Area of Hydrozone =	47,005			
Hydrozone Irrigation Efficiency =	0.85			
EAWU =	22,600	Gal/Yr		
Hydrozone # 2		FALSE		
INPUT square footage of hydrozone =	0			
Hydrozone Irrigation Efficiency =	1			
EAWU =	0	Gal/Yr		
Hydrozone # 3		FALSE		
INPUT square footage of hydrozone =	0			
Hydrozone Irrigation Efficiency =	1			
EAWU =	0	Gal/Yr		
Hydrozone # 4		FALSE		
INPUT square footage of hydrozone =	0			
Hydrozone Irrigation Efficiency =	1			
EAWU =	0	Gal/Yr		
Hydrozone # 5		FALSE		
INPUT square footage of hydrozone =	0			
Hydrozone Irrigation Efficiency =	1			
EAWU =	0	Gal/Yr		
Hydrozone # 6		FALSE		
INPUT square footage of hydrozone =	0			
Hydrozone Irrigation Efficiency =	1			
EAWU =	0	Gal/Yr		

Sub Total EAWU = 30,684 Gal/Yr
Input Irrigation System Operation Factor = 0.85
Total EAWU = 36,099
MAWA - EAWU = 39,218 Gal/Yr
(This number must be positive)

PERCENTAGE OF WATER SAVED RELATIVE TO MAX. ALLOWED = 39%

* Trees are not required to be listed on a separate hydrozone if underlaid or planted with plants of an equal or higher plant factor, or if that area is already included in calculations.

COMPLIANCE WITH MWELO

1. PROJECT INFORMATION = SEE COVER PAGE OF THIS DRAWING SET AND LANDSCAPE APPLICATION FOR ALL INFORMATION INCLUDING DATE, PROJECT APPLICANT AND OWNER, AND ADDRESS.
2. TOTAL LANDSCAPE AREA: 57,005 SF
   MULCHED TREE AREA/ OR SHRUB AREA = 57,005 SF
   IRRIGATED TURF = 0 SF
   MAWA = 75,915 CUBIC FT/YR
   EWU = 46,699 CUBIC FT/YR (PROJECT COMPLIES WITH MWELO)
3. PROJECT TYPE = NEW CONSTRUCTION
4. WATER SUPPLY = POTABLE
5. CHECKLIST OF ALL DOCUMENTS IN LANDSCAPE DOCUMENT PACKAGE
   - ☒ WATER EFFICIENT LANDSCAPE WORKSHEET - SEE THIS SHEET
   - ☒ LANDSCAPE DESIGN PLAN - SEE SHEETS L2-1
   - ☒ IRRIGATION DESIGN PLAN - SEE SHEETS L3-1
   - ☒ GRADING DESIGN PLAN - SEE CIVIL SHEETS

I HAVE COMPLIED WITH THE CRITERIA OF THE LANDSCAPE WATER EFFICIENCY ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

SCOTT NEIMAN - CA RLA #6104

PRIOR TO FINAL INSPECTION AND CITY'S APPROVAL OF THE CERTIFICATE OF COMPLETION, THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:

1. SOILS MANAGEMENT REPORT
2. LANDSCAPE INSTALLATION CERTIFICATE OF COMPLETION
3. CERTIFICATE OF INSTALLATION
4. IRRIGATION SCHEDULING
5. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
6. IRRIGATION AUDIT REPORT, IRRIGATION SURVEY & IRRIGATION WATER USE ANALYSIS

I-CORE DUAL 2 WIRE INSTALLATION NOTES

1. EARTH GROUND SHOULD BE CONNECTED AT EVERY 12TH DECODER, OR 1,000 FT/330 M OF WIRE RUN, WHICHEVER IS SHORTER. THE FINAL DECODER IN ANY WIRE RUN SHOULD BE GROUNDED.
2. DUAL-5 SURGE PROTECTION DECODERS SHALL BE INSTALLED AT EVERY 12TH DECODER OR EVERY 1000'.
3. ID 11 14AWG WIRE RUNS NOT TO EXCEED 3,000' and ID 212AWG WIRE RUNS NOT TO EXCEED 7,500' FOR I-CORE DUAL SYSTEMS.
4. IT IS PREFERRED THAT MASTER VALVE and FLOW SENSOR BE HARDWIRED DIRECTLY TO CONTROLLER.
5. MAXIMUM RECOMMENDED DISTANCE BETWEEN SOLENOID and DECODER IS 1100'.
6. ALL CONNECTIONS AND SPLICES IN THE RED/BLUE TWO-WIRE PATH (BOWRE) MUST BE MADE WITH DBRY-6 OR EQUAL WATERPROOF CONNECTORS.
7. WHENEVER A SPLICE OR CONNECTION IS MADE, IT IS IMPORTANT TO LEAVE ADEQUATE SLACK IN THE WIRES. LEAVE 5 FT/1.5 M SLACK TO PREVENT CONTRACTION OF THE WIRE FROM DAMAGING THE CONNECTIONS, AND TO ALLOW THE SPLICES TO BE REMOVED FROM THE VALVE BOX FOR SERVICE OR INSPECTION.
8. INSTALL THE GROUNDING WIRE AND EARTH GROUND HARDWARE AT RIGHT ANGLES FROM THE TWO-WIRE PATHS, WHEN POSSIBLE.
9. PRIOR TO INSTALLATION IN THE FIELD, ALL DECODERS SHOULD BE PROGRAMMED ACCORDING TO THE INTENDED VALVE THEY WILL BE INSTALLED WITH. PROGRAMMING SHOULD TAKE PLACE AT THE CONTROLLER OR WITH THE UTILIZATION OF AN ICI-HP HANDHELD PROGRAMMING DEVICE.

CRITICAL ANALYSIS

Generated: 2022-10-20 12:03

P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available 120 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 71 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Pressure Available: 69 PSI

DESIGN ANALYSIS
Maximum Station Flow: 51.3 GPM
Flow Available at POC: 120 GPM
Residual Flow Available: 66.7 GPM

Pressure Req. at Critical Station: 48.01 PSI
Loss for Fittings: 0.56 PSI
Loss for Main Line: 5.61 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 10.42 PSI
Loss for Master Valve: 1.07 PSI
Loss for Water Meter: 1.85 PSI
Critical Station Pressure at POC: 67.52 PSI
Pressure Available: 69 PSI
Residual Pressure Available: 1.48 PSI

CRITICAL ANALYSIS

Generated: 2022-10-20 12:03

P.O.C. NUMBER: 02
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available 120 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 71 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Pressure Available: 69 PSI

DESIGN ANALYSIS
Maximum Station Flow: 63.68 GPM
Flow Available at POC: 120 GPM
Residual Flow Available: 56.32 GPM

Pressure Req. at Critical Station: 50.78 PSI
Loss for Fittings: 0.61 PSI
Loss for Main Line: 6.09 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 8.28 PSI
Loss for Master Valve: 0.61 PSI
Loss for Water Meter: 0.82 PSI
Critical Station Pressure at POC: 67.19 PSI
Pressure Available: 69 PSI
Residual Pressure Available: 1.81 PSI

CRITICAL ANALYSIS

Generated: 2022-10-20 12:03

P.O.C. NUMBER: 03
Water Source Information:

FLOW AVAILABLE
Water Meter Size: 2"
Flow Available 120 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 71 PSI
Elevation Change: 5.00 ft
Service Line Size: 3"
Length of Service Line: 20 ft
Pressure Available: 69 PSI

DESIGN ANALYSIS
Maximum Station Flow: 17.41 GPM
Flow Available at POC: 120 GPM
Residual Flow Available: 102.59 GPM

Pressure Req. at Critical Station: 46.71 PSI
Loss for Fittings: 1.29 PSI
Loss for Main Line: 12.93 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 7.1 PSI
Loss for Master Valve: 0.5 PSI
Loss for Water Meter: 0.4 PSI
Critical Station Pressure at POC: 68.93 PSI
Pressure Available: 69 PSI
Residual Pressure Available: 0.07 PSI

IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	RADIUS
	RAIN BIRD RWS-B-C-PSOCK 1401	360	30	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 3 GPM-15 GPM
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
	HUNTER PLD-BV MANUAL FLUSH/SHUT OFF VALVE, BARBED INSERT. SHALL BE PLACED ON THE LOW POINT OF EACH DRIP ZONE TO FLUSH PIPELINES AND PREVENT BLOCKAGE. USE WITH HDL OR OTHER 3/4" DRIPLINE.
	HUNTER PLD-AVR PLD-AVR AIR RELEASE AND VACUUM RELIEF VALVE, PLACED ON THE HIGH POINT OF EACH DRIP ZONE TO ALLOW AIR TO ESCAPE THE PIPELINE AND PREVENT WATER HAMMER OR BLOCKAGE. 1/2" MPT CONNECTION WITH 80 PSI MAXIMUM RATING.
	HUNTER ECO-HD ECO-HD 1/2" FPT CONNECTION WITH 12 PSI-70 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER S.I. SWING JOINT.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPM EMITTERS AT 18" O.C., CHECK VALVE, DARK BROWN TUBING, WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-HOLOC FITTINGS.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES, LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.
	RAIN BIRD 44-RC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE. SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE = 1/4" - 2"
	RAIN BIRD EFB-CP 2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN, GLOBE CONFIGURATION, REGULATED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	FEBCO 850 1" DOUBLE CHECK BACKFLOW PREVENTION, 1/2" TO 2"
	RAIN BIRD ESP-LXD-LXMMSS 50 STATION, 2-WIRE DECODER BASED CONTROLLER IN EXTERNAL STAINLESS STEEL ENCLOSURE. (1) ESP-LXD 50STATION INDOOR/OUTDOOR INSTALL IN RAIN BIRD LXMMSS STAINLESS STEEL CABINET ON STAINLESS STEEL PEDESTAL. SYSTEM REQUIREMENTS: RAIN BIRD FD-100-TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P2072D & RAIN BIRD WC2D DRY SPLICES ONLY. GROUND SYSTEM W/ (X) LSP-TURF LINE SURGE PROTECTORS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
	IRRITROL CL WIRELESS WEATHER SENSING SYSTEM. 100-RECEIVE AND TRANSMITTER KIT. OUTDOOR SENSOR, AND RECEIVER ATTACHES TO IRRITROL CONTROLLER. COMPATIBLE WITH RAIN DIAL-R, TOTAL CONTROL-R, KWIDIAL, ADN MC-E CONTROLLERS. MONITORS WEATHER DATA.
	TORO TFS 1/2", 3/4", 1", 1-1/2", 2", 3", AND 4" PLASTIC TEE SIZES. EFFECTIVE FLOW MONITORING, EVEN IN FLOWS LESS THAN 5 GPM. COMPATIBLE WITH TORO AND COMPETITIVE CONTROLLERS. IMPELLER-BASED. PVC DESIGN.
M	WATER METER 2"

IRRIGATION LATERAL LINE: PVC SCHEDULE 40

IRRIGATION MAINLINE: PVC SCHEDULE 40

PIPE SLEEVE: PVC SCHEDULE 40

Valve Callout
Valve Number
Valve Flow
Valve Size

rrm design group

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3765 S. Higuera, San Luis Obispo, CA 93401

LICENSED LANDSCAPE ARCHITECT
SCOTT NEIMAN
NO. 6104
CALIFORNIA
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STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

24960 Adams Avenue, Murrieta CA 92562

IRRIGATION NOTES AND SCHEDULE

NO.	REVISION	DATE
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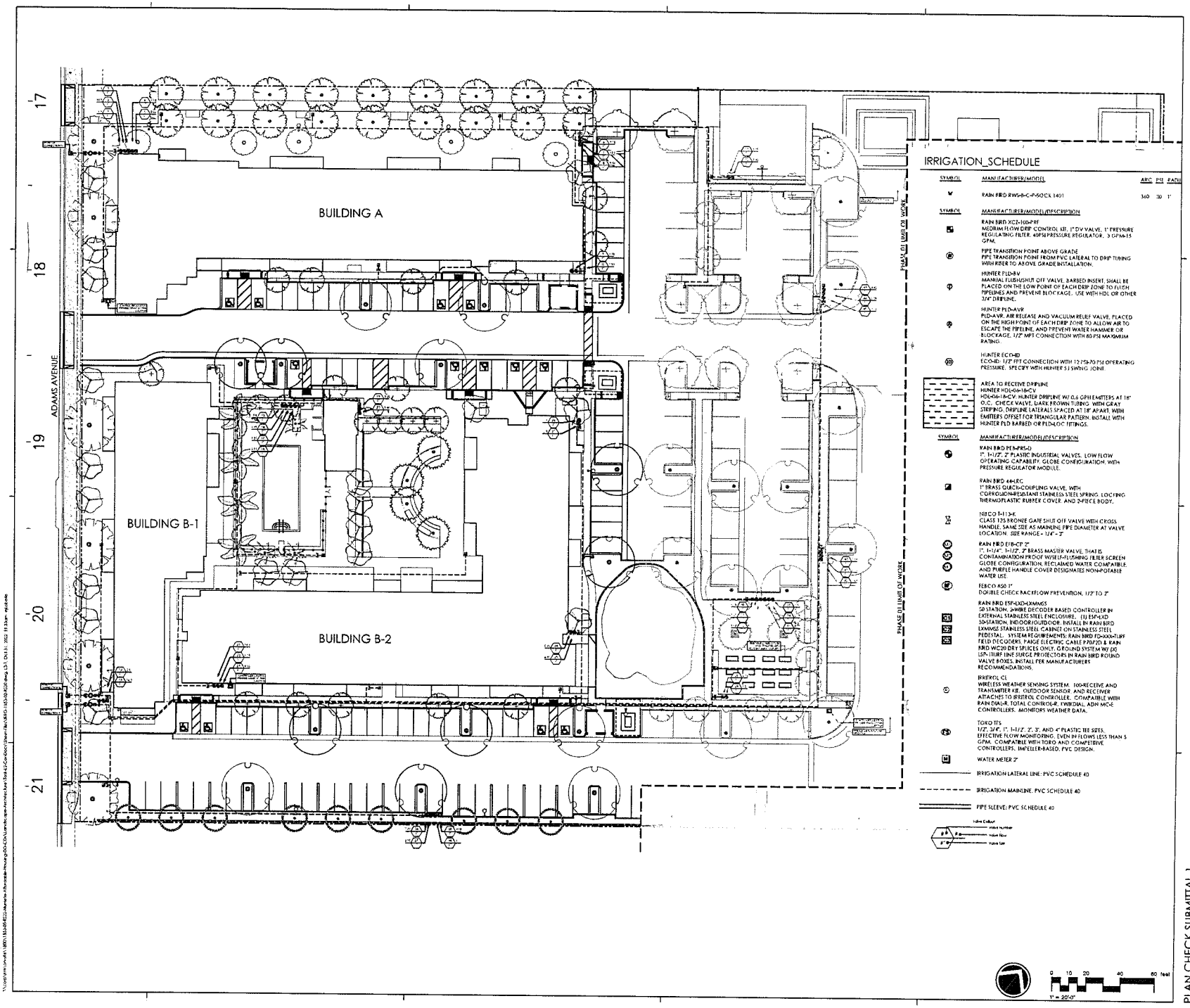
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-0

PLAN CHECK SUBMITTAL 1



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LICENSED LANDSCAPE ARCHITECT
SCOTT NEWKIRK
No. 4029
STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

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MAINLINE ROUTING PLAN

NO.	REVISION	DATE
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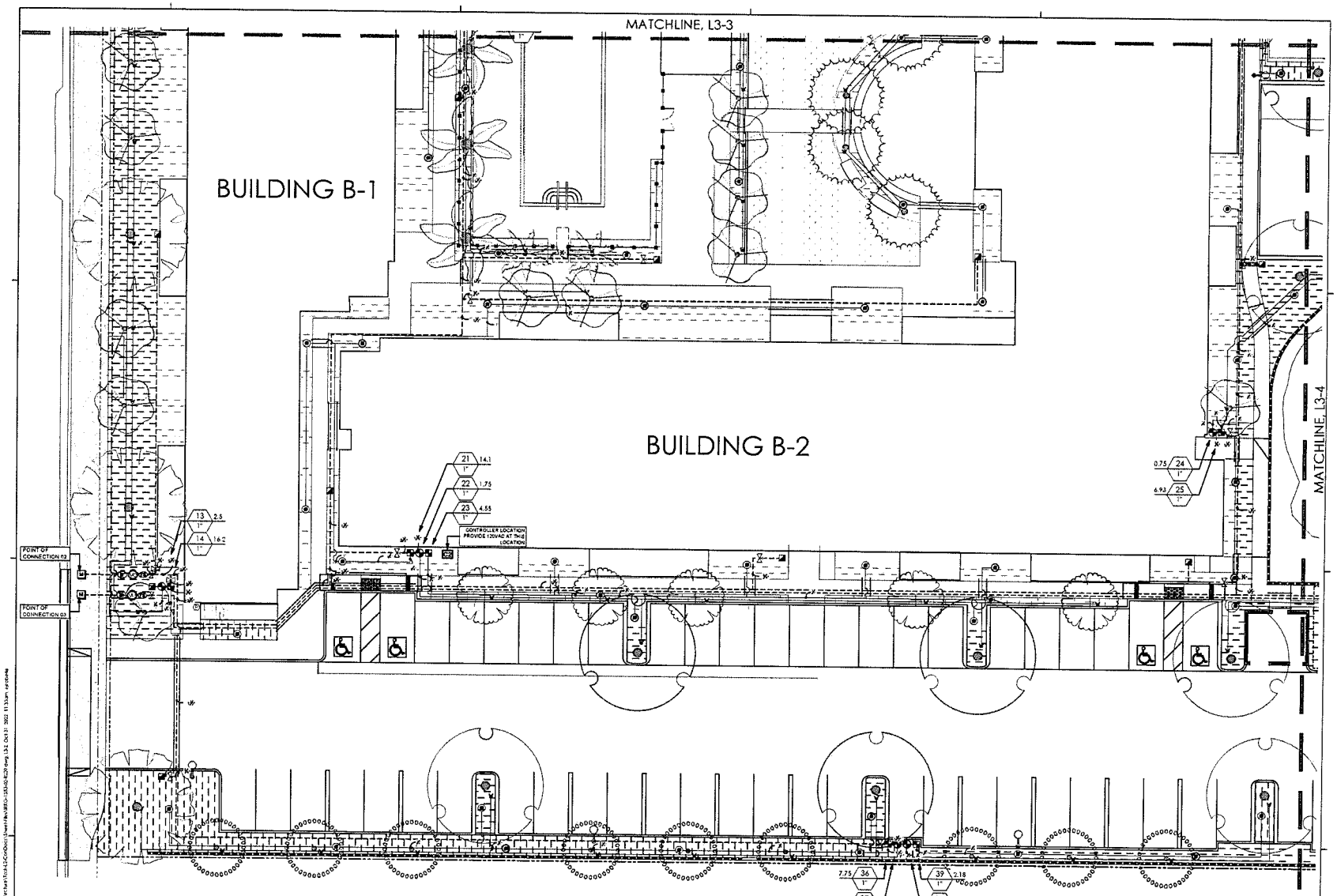
PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-1

PLAN CHECK SUBMITTAL 1



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	RADIUS
	RAIN BIRD KWS-8-CM-50CK 1401	240	30	1"

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 5 GPM-15 GPM.
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION
	HUNTER PLD-BV MANUAL FLUSH/SHUT OFF VALVE, BARBED INSERT, SHALL BE PLACED ON THE LOW POINT OF EACH DRIP ZONE TO FLUSH PIPELINES AND PREVENT BLOCKAGE. USE WITH HDL OR OTHER 3/4" DRIPLINE.
	HUNTER PLD-AVR PLD-AVR, AIR RELEASE AND VACUUM RELIEF VALVE, PLACED ON THE HIGH POINT OF EACH DRIP ZONE TO ALLOW AIR TO ESCAPE THE PIPELINE, AND PREVENT WATER HAMMER OR BLOCKAGE. 1/2" MPT CONNECTION WITH 80 PSI MAXIMUM RATING

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ECO-HD ECO-HD: 1/2" FPT CONNECTION WITH 12 PSI-70 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER S1 SWING JOINT.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPH EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-HOC FITTINGS.

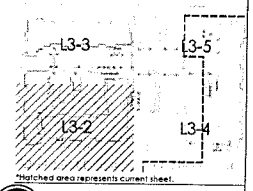
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING. LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD EFB-CP 2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	FEBCO 850 1" DOUBLE CHECK BACKFLOW PREVENTION. 1/2" TO 2"
	RAIN BIRD ESP-LXD-LXMMSS 50 STATION, 2-WIRE DECODER BASED CONTROLLER IN EXTERNAL STAINLESS STEEL ENCLOSURE. (1) ESP-LXD 50-STATION INDOOR/OUTDOOR. INSTALL IN RAIN BIRD LXMMSS STAINLESS STEEL CABINET ON STAINLESS STEEL PEDESTAL. SYSTEM REQUIREMENTS: RAIN BIRD FD-XXX-TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P30/20 & RAIN BIRD WC20 DRY SPLICES ONLY. GROUND SYSTEM W/ (X) ESP-1TBRV LINE SURGE PROTECTORS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
	IRRITROL CL WIRELESS WEATHER SENSING SYSTEM. 100-RECEIVE AND TRANSMITTER KIT. OUTDOOR SENSOR, AND RECEIVER ATTACHES TO IRRITROL CONTROLLER. COMPATIBLE WITH RAIN DIAL-R, TOTAL CONTROL-R, EVIKDIAL, ADN MC-E CONTROLLERS. MONITORS WEATHER DATA.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	TORO TFS 1/2", 3/4", 1", 1-1/2", 2", 3", AND 4" PLASTIC TEE SIZES. EFFECTIVE FLOW MONITORING, EVEN IN FLOWS LESS THAN 5 GPM. COMPATIBLE WITH TORO AND COMPETITIVE CONTROLLERS. IMPELLER-BASED, PVC DESIGN.
	WATER METER 2"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVES: PVC SCHEDULE 40

Valve Callout
Valve Number
Valve Size

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

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3765 S. Higuera, San Luis Obispo, CA 93401

LICENSED LANDSCAPE ARCHITECT
SCOTT NEIMAN
No. 4937
Exp. 12-31-22
STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

24960 Adams Avenue, Murrieta CA 92562

IRRIGATION PLAN

NO.	REVISION	DATE
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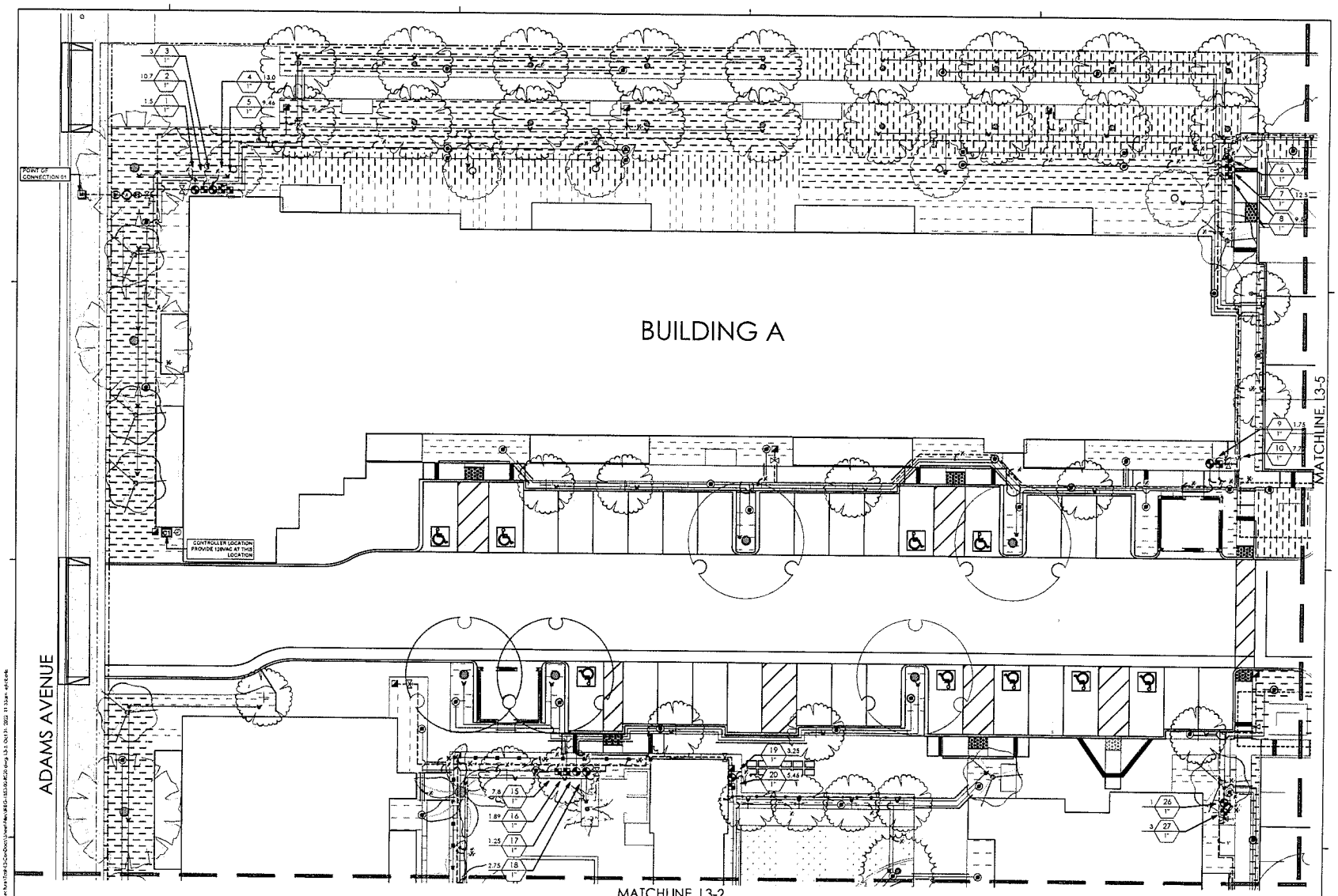
PROJECT MANAGER: SN
DRAWN BY: MM | CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-2

PLAN CHECK SUBMITTAL 1



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	RADIUS
	RAIN BIRD RWS-B-CP-SOCK 1401	360	30	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 3 GPM-15 GPM.
	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH FBER TO ABOVE GRADE INSTALLATION.
	HUNTER PLD-BV MANUAL FLUSH/SHUT OFF VALVE, BARBED INSERT, SHALL BE PLACED ON THE LOW POINT OF EACH DRIP ZONE TO FLUSH PIPELINES AND PREVENT BLOCKAGE. USE WITH HDL OR OTHER 3/4" DRIPLINE.
	HUNTER PLD-AVK PLD-AVK, AIR RELEASE AND VACUUM RELIEF VALVE, PLACED ON THE HIGH POINT OF EACH DRIP ZONE TO ALLOW AIR TO ESCAPE THE PIPELINE, AND PREVENT WATER HAMMER OR BLOCKAGE. 1/2" MPT CONNECTION WITH 80 PSI MAXIMUM RATING.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ECO-RD ECO-RD, 1/2" FPT CONNECTION WITH 12 PSI-70 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER S15 SWING JOINT.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPM EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING, WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.

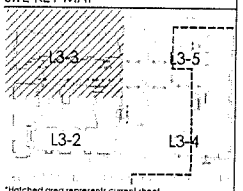
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD FES-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.
	RAIN BIRD 44-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE. SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD EFB-CP 2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE. THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. RECLAIMED WATER COMPATIBLE AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	FEBCO 860 1" DOUBLE CHECK BACKFLOW PREVENTION. 1/2" TO 2"
	RAIN BIRD ESP-LXD-LXMMSS 50 STATION, 2-WIRE DECODER BASED CONTROLLER IN EXTERNAL STAINLESS STEEL ENCLOSURE. (1) ESP-LXD 50-STATION, INDOOR/OUTDOOR INSTALL IN RAIN BIRD LXMMSS STAINLESS STEEL CABINET ON STAINLESS STEEL PEDESTAL. SYSTEM REQUIREMENTS: RAIN BIRD FS-100-TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P70720 & RAIN BIRD WC20 DRY SPLICES ONLY. GROUND SYSTEM W/ (X) ESP-TURF LINE SURGE PROTECTORS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
	IRRITROL CL WIRELESS WEATHER SENSING SYSTEM. 100-RE CEIVE AND TRANSMITTER KIT. OUTDOOR SENSOR, AND RECEIVER ATTACHES TO IRRITROL CONTROLLER. COMPATIBLE WITH RAIN DIAL-R TOTAL CONTROL-R, KWIKDIAL, ADM MC-E CONTROLLERS. MONITORS WEATHER DATA.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	TORO TFS 1/2", 3/4", 1", 1-1/2", 2", 3", AND 4" PLASTIC TEE SIZES. EFFECTIVE FLOW MONITORING, EVEN IN FLOWS LESS THAN 5 GPM. COMPATIBLE WITH TORO AND COMPETITIVE CONTROLLERS. IMPELLER-BASED, PVC DESIGN.
	WATER METER 2"
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40

Valve Callout
Valve Number
Valve Size

SITE KEY MAP



*Hatched area represents current sheet.

0 5 10 20 30 feet
1" = 10'-0"

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MURRIETA AFFORDABLE HOUSING

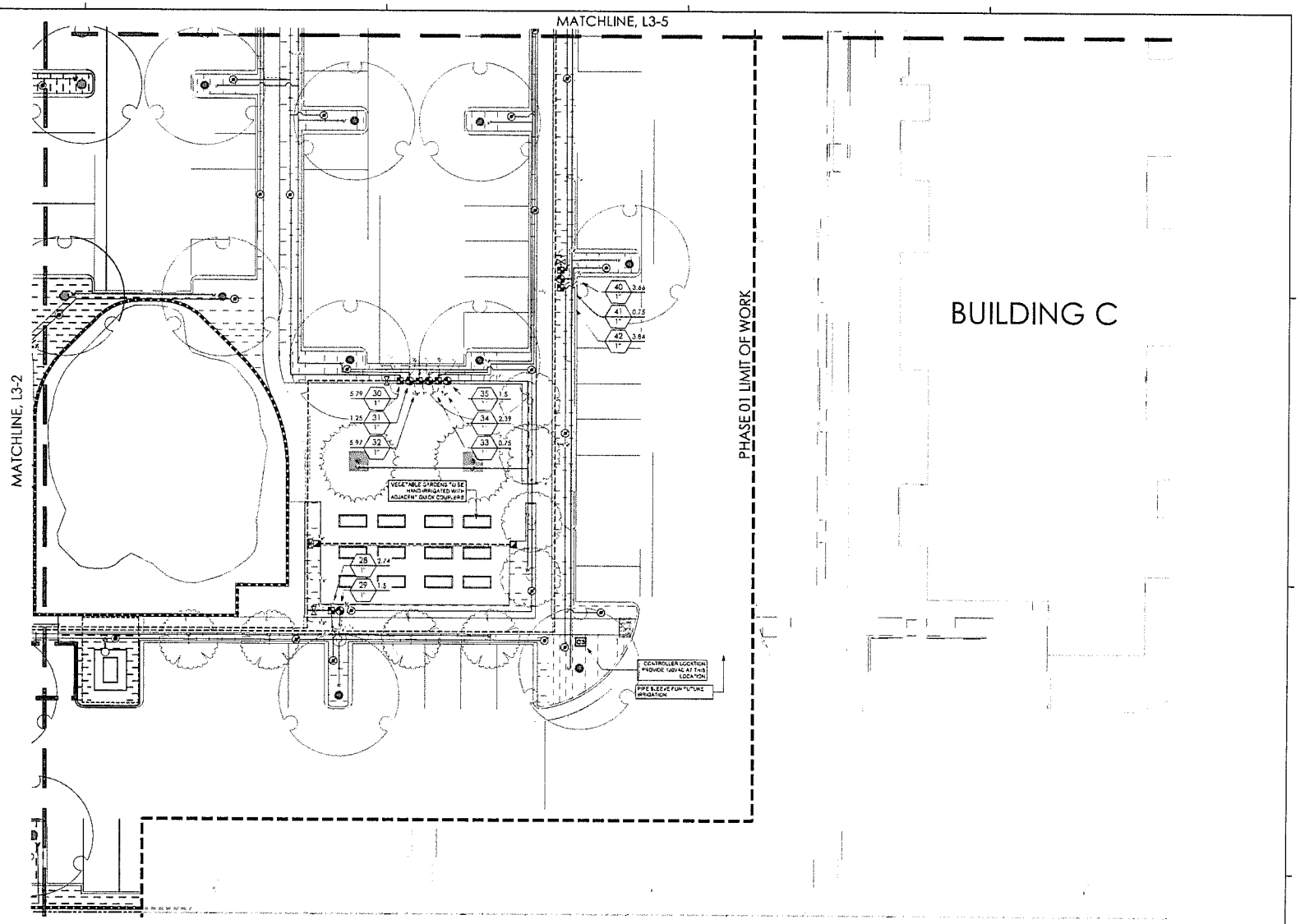
24960 Adams Avenue, Murrieta CA 92562

IRRIGATION PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-3

PLAN CHECK SUBMITTAL 1



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	RADIUS
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	PIPE TRANSITION POINT ABOVE GRADE PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION.
	HUNTER PLD-BV MANUAL FLUSH/SHUT OFF VALVE BARBED INSERT, SHALL BE PLACED ON THE LOW POINT OF EACH DRIP ZONE TO FLUSH PIPELINES AND PREVENT BLOCKAGE. USE WITH HDL OR OTHER 3/4" DRIPLINE.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ECO-4D ECO-4D: 1/2" FPT CONNECTION WITH 12 PSI-70 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER S1 SWING JOINT.
	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPH EMITTERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.

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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD EFB-CP 2" 1", 1-1/4", 1-1/2", 2" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE.
	FEBCO 850 1" DOUBLE CHECK BACKFLOW PREVENTION, 1/2" TO 2"
	RAIN BIRD ESP-LXD-LXMMSS 50 STATION, 3-WIRE DECODER BASED CONTROLLER IN EXTERNAL STAINLESS STEEL ENCLOSURE. (1) ESP-LXD 50-STATION INDOOR/OUTDOOR. INSTALL IN RAIN BIRD LXMMSS STAINLESS STEEL CABINET ON STAINLESS STEEL PEDESTAL. SYSTEM REQUIREMENTS: RAIN BIRD FD-1000-TURF FIELD DECODERS, PAIGE ELECTRIC CABLE P7072D & RAIN BIRD WCDI DRY SPLICES ONLY. GROUND SYSTEM W/ (2) LSP-TURF LINE SURGE PROTECTORS IN RAIN BIRD ROUND VALVE BOXES. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
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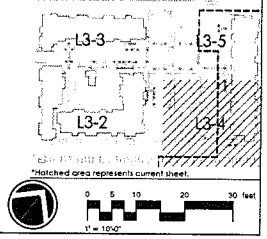
Valve Callout
Valve Number
Valve Flow
Valve Size

SITE KEY MAP



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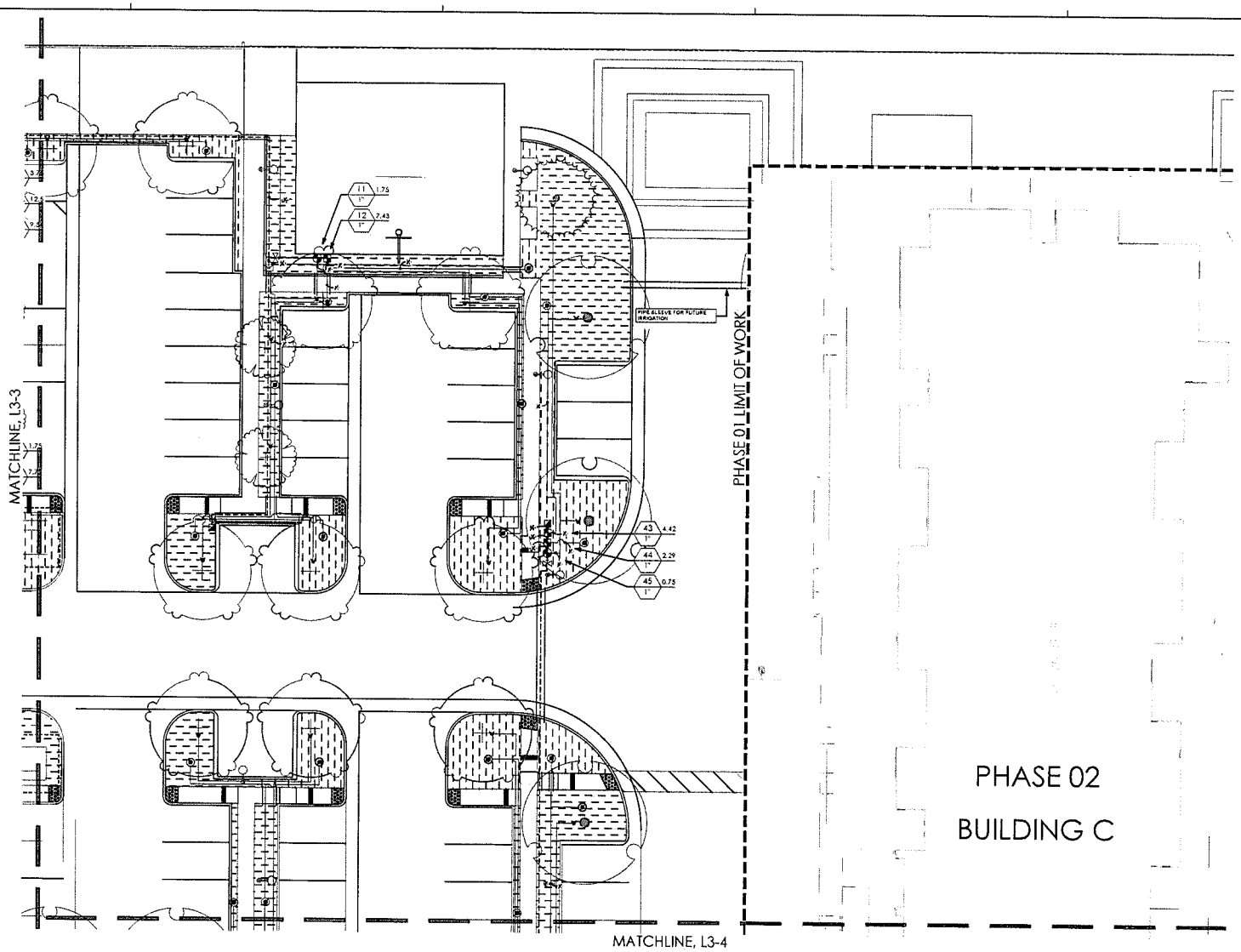
IRRIGATION PLAN

NO.	REVISION	DATE

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-4

PLAN CHECK SUBMITTAL 1



IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	ARC	PSI	RADIUS
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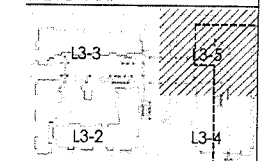
Valve Callout
Valve Number
Valve Size
Valve Area

SITE KEY MAP



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0 5 10 20 30 feet
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LICENSED LANDSCAPE ARCHITECT
SCOTT NEUMAN
NO. 3909
REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA

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24960 Adams Avenue, Murrieta CA 92562

IRRIGATION PLAN

NO.	REVISION	DATE
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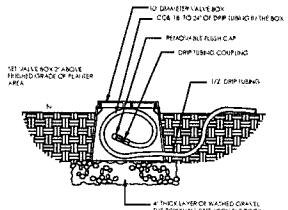
△		

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-5

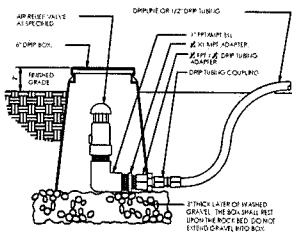
PLAN CHECK SUBMITTAL 1



1. LOCATE FLUSH CAP ASSEMBLY AT THE END OF EACH DRIP LINE
2. ENSURE THAT THE COILED DRIP TUBING IS OF SUFFICIENT LENGTH TO COMPLETELY EXTEND OUT OF THE VALVE BOX WHEN FLUSHING

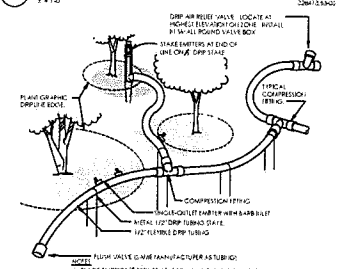
P DRIP FLUSH CAP ASSEMBLY

1 1/2" = 1'-0" 328413.49-02



O DRIP AIR RELIEF VALVE IN BOX

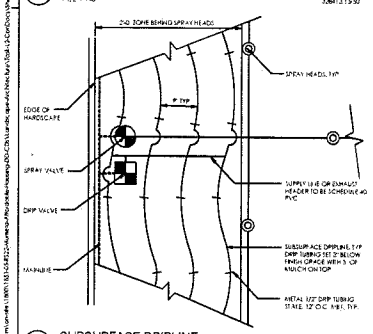
3" = 1'-0" 328413.53-02



NOTES:
A. PLACE EMITTERS 3" BETWEEN THE TRUNK AND OUTER DRIPLINE
B. EVENLY SPACE EMITTERS AROUND PLANT
C. STAKE THE DRIP TUBING AT EACH TEE, ELL, COUPLER, AT EACH EMITTER OR TRANSFER, AND AT 4'-0" MAX O.C.
D. 1/4" DIAMETER TUBING IS NOT PERMITTED
E. SEE SCHEDULE FOR NUMBER OF EMITTERS PER PLANT

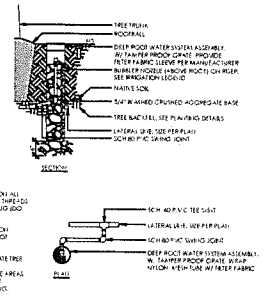
N TYPICAL DRIP TUBING LAYOUT

1 1/2" = 1'-0" 328413.15-50



M SUBSURFACE DRIPLINE

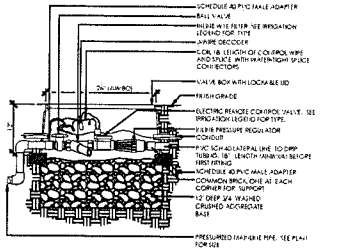
1 1/2" = 1'-0" 1484



NOTES:
A. USE PIPE TEFLON TAPE ON ALL PIPE THREADS. TIGHTEN THREADS UNTIL BUBBLER WELL SHUD (DO NOT OVERTIGHTEN)
B. LOCATE TREE BUBBLER ON ROOT BALL SIDE OF ROOT CONTROL BARRIERS
C. WHERE POSSIBLE, LOCATE TREE BUBBLER AWAY FROM ADJACENT HARDSCAPE AREAS TO DISCOURAGE ROOT GROWTH UNDER PAVING.

L DEEP ROOT TREE BUBBLER

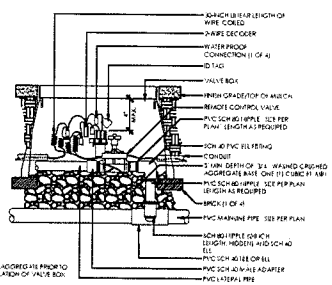
3/4" = 1'-0" 328418-01



NOTES:
1. CONTRACTOR SHALL PROVIDE DECODER MODULES AT EACH AT EACH VALVE BANK FOR COMMUNICATING TO CONTROLLER.

K DRIP ZONE CONTROL VALVE (2-WIRE)

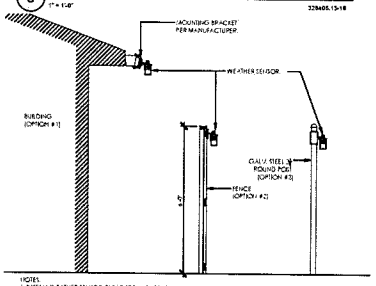
1/2" = 1'-0" 328413.76-04



NOTE:
PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX.

J REMOTE CONTROL VALVE (2-WIRE)

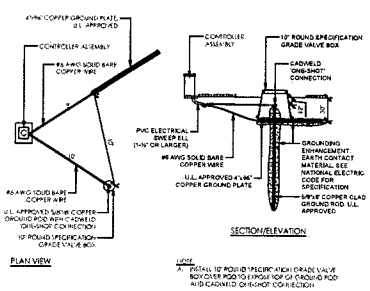
1" = 1'-0" 328405.15-18



NOTES:
1. INSTALL WEATHER SENSOR CLEAR FROM OVERHEAD PROJECTIONS AT A MINIMUM ELEVATION OF 6' FROM THE GROUND. FOLLOW MANUFACTURER'S ACCESSORY CLIPS AND MOUNTING COMPANIES.
2. WEATHER SENSOR SHALL BE INSTALLED ON BUILT STRUCTURES PER OPTION #1 WHERE POSSIBLE. WHERE NO BUILT STRUCTURES ARE AVAILABLE, INSTALL WITH FENCE SHALL BE PER OPTION #2. OPTION #3 SHALL BE UTILIZED ONLY WHEN THE OTHER TWO OPTIONS ARE NOT AVAILABLE.
3. INSTALL WEATHER SENSOR WITHIN RANGE OF RECEIVER MODULES.

I WIRELESS RAIN SENSOR

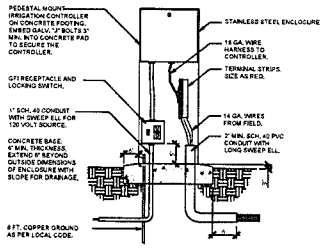
1/2" = 1'-0" 328409.83-01



NOTE:
A. INSTALL 10" ROUND SPECIFICATION GRADE VALVE BOX OVER ROD TO EXPOSE TOP OF GROUND ROD AND CADWELD ON-SHOT CONNECTION

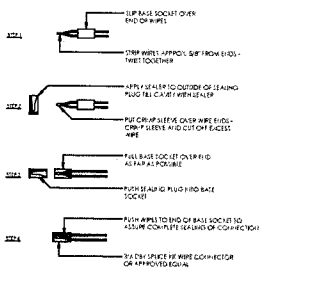
H CONTROLLER GROUNDING

3" = 1'-0" 328419-01



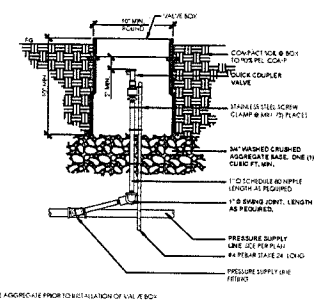
G STAINLESS STEEL PEDESTAL MOUNTED CONTROLLER

1" = 1'-0" 328410.50-02



F WIRING CONNECTIONS

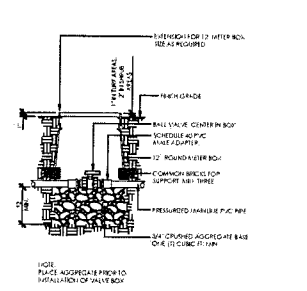
1 1/2" = 1'-0" 328409.79-02



NOTE:
PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX

E QUICK COUPLER

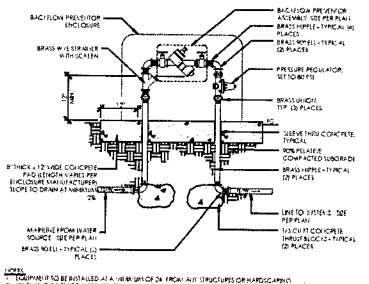
1 1/2" = 1'-0" 328408.43-10



NOTE:
PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX

D BALL VALVE

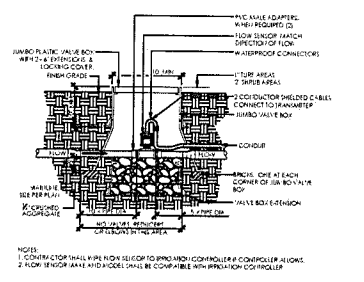
1" = 1'-0" 328406.23-10



NOTES:
1. BACKFLOW PREVENTOR SHALL BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.
2. WHEN LINE IS NEXT TO A STRUCTURE (IE. WALL, BUILDING, ETC.) AVOIDING TEST COCKS. ON OPEN OR NON-STRUCTURE SIDE.
3. ALIGNING BACKFLOW PREVENTOR ASSEMBLY 12" FROM GROUND OR AT THE ANTICIPATED HEIGHT ALLOWED
4. PROVIDE 3/4" WHITE STEEL LOCKING ENCLOSURE

C BACKFLOW PREVENTOR WITH ENCLOSURE

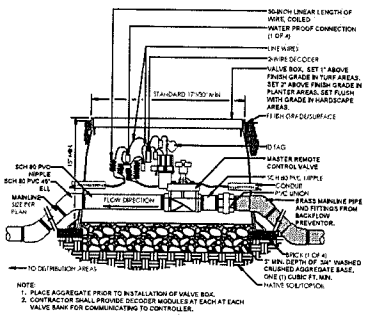
1 1/2" = 1'-0" 8187



NOTES:
1. CONTRACTOR SHALL WIRE FLOW SENSOR TO IRRIGATION CONTROLLER. CONTROLLER ALLOWS.
2. FLOW SENSOR (MAKE AND MODEL) SHALL BE COMPATIBLE WITH IRRIGATION CONTROLLER

B FLOW SENSOR

3/4" = 1'-0" 328409.63-04



NOTE:
1. PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX.
2. CONTRACTOR SHALL PROVIDE DECODER MODULES AT EACH AT EACH VALVE BANK FOR COMMUNICATING TO CONTROLLER.

A MASTER VALVE (2-WIRE)

3/4" = 1'-0" 328406.23-08

rrm design group

rrmdesign.com | (805) 543-1794
3765 S. Higuera, San Luis Obispo, CA 93401

LICENSED LANDSCAPE ARCHITECT SCOTT NEUMAN NO. 4873 STATE OF CALIFORNIA

NOT FOR CONSTRUCTION

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MURRIETA AFFORDABLE HOUSING

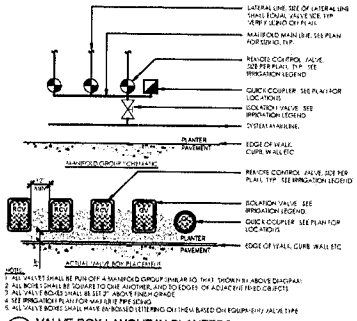
24960 Adams Avenue, Murrieta CA 92562

IRRIGATION DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-6

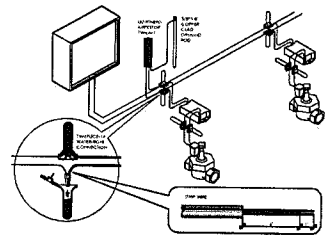
PLAN CHECK SUBMITTAL 1



F VALVE BOX LAYOUT IN PLANTERS

1/4" = 1'-0"

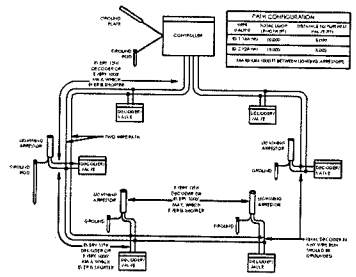
328499-01



D 2-WIRE CONNECTION DETAIL

1" = 1'-0"

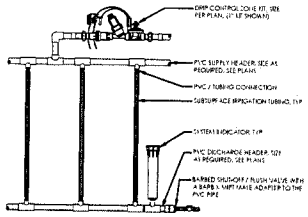
328499-01



C 2-WIRE PATH CONFIGURATION

1" = 1'-0"

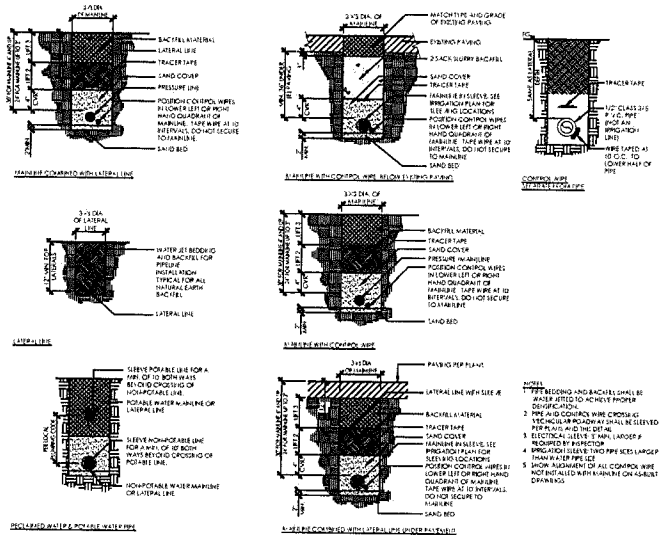
328499-02



B SUBGRADE IRRIGATION LAYOUT WITH INDICATOR

1 1/2" = 1'-0"

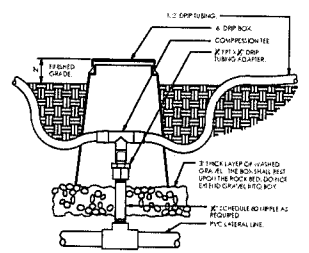
328-19



E TRENCHING

1" = 1'-0"

328401-01



A RIGID PVC TO DRIPLINE TRANSITION

3" = 1'-0"

326413-A002

rrm design group

rrmdesign.com | (805) 543-1794
3765 S. Higuera, San Luis Obispo, CA 93401

LICENSED LANDSCAPE ARCHITECT SCOTT NETHERTON NO. 6179 STATE OF CALIFORNIA

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MURRIETA AFFORDABLE HOUSING

24960 Adams Avenue, Murrieta CA 92562

IRRIGATION DETAILS

NO.	REVISION	DATE
△		
△		
△		
△		
△		
△		

PROJECT MANAGER: SN
DRAWN BY: MM
CHECKED BY: SN
DATE: 10.28.2022
PROJECT NUMBER: 1853-02-RS20
SHEET: L3-7

PLAN CHECK SUBMITTAL 1

Exhibit C

Description of Housing

Exhibit C

Description of Housing

Project Site (Refer to Exhibit B for Additional Information)
Oak View Ranch Phase I is a proposed affordable multi-family apartment complex located at 24960 Adams Avenue in the City of Murrieta in the County of Riverside, California and can also be identified as Assessor's Parcel Number 906-080-018. The project site is located north of the intersection of Adams Ave. and Ivy Street near the Civic Center in the historic downtown neighborhood of the City of Murrieta. The relatively flat project site was previously an agricultural operation and contains an old barn in the central portion of the site, an old well in the western portion of the site, and a short concrete driveway along the southwestern portion of the site. The balance of the site is covered with grasses, shrubs, and trees. The barn and well will be removed by the City of Murrieta.

Total Number of Units in Project Covered by this Agreement
8 units (PBV units: two 1-bedroom, four 2-bedroom, two 3-bedroom)

Total Number of Units in Project
119 units (118 rentable + 1 manager unit)
Total units: twenty-four 1-bedroom, sixty 2-bedroom, thirty-five 3-bedroom

Locations of Contract Units on Site

Bedroom/Bathroom	AMI	Quantity	Unit #s and Accessible Features
1BR/1BA	30%	2	**1118**, 3206**
2BR/1BA	30%	4	**1109*, 1205, 3202, 3312**
3BR/2BA	30%	2	**3202, 4110***
	Total	8	

Project Based Section 8 Voucher: *Accessible with mobility feature **Accessible with communication feature
Project Based Voucher: *Accessible with mobility feature **Accessible with communication feature

Number of Contract Units by Area (Size) and Number of Bedrooms and Bathrooms

Contract Units		
Unit Type	**Units**	**Size**
1BR/1BA	2	522 SF
2BR/1BA	4	751 SF
3BR/2BA	2	1,028 SF

Services, Maintenance, or Equipment to be Supplied by the Owner without Charges in Addition to the Rent to Owner

Building

- Maintenance of building exterior, interior, and site areas
- Common area recreational space, interior and exterior
- On-site surface parking

Laundry

- Common laundry machines – machines purchased and maintained by Owner; Residents pay per use

Kitchen Appliances

- Stove/Oven
- Garbage Disposal
- Refrigerator

Utilities Available to the Contract Units, including a Specification of Utility Services to be Paid by the Owner (without charges in addition to rent) and Utility Services to be Paid by the Tenant

Utility	Paid by
Electric Heating	Tenant*
Electric Cooling	Tenant*
Electric Cooking	Tenant*
Electric Water Heating	Tenant*
Water, Sewer, Trash	Owner
Phone/Internet/Cable	Tenant

**Utility allowance provided*

Initial Rent to Owner for Contract Units (net of HACR utility allowance):

- Contract rent for
  - 1br $1,518 - $76 (Utility Allowance) = $1,442 Contract Rent
  - 2br $1,912 - $102 (Utility Allowance) = $1,810 Contract Rent
  - 3br $2,608 - $130 (Utility Allowance) = $2,478 Contract Rent

WHEN DOCUMENT IS FULLY EXECUTED RETURN
CLERK'S COPY
to Riverside County Clerk of the Board, Stop 1010
Post Office Box 1147, Riverside, Ca 92502-1147
Thank you.

Exhibit D

Form of PBV Housing Assistance Payments Contract
New Construction

MAR 2 8 2023 10.1

OMB Approval No. 2577–0169
(exp. 07/31/2022)

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

SECTION 8 PROJECT-BASED VOUCHER PROGRAM HOUSING ASSISTANCE PAYMENTS CONTRACT

NEW CONSTRUCTION OR REHABILITATION

PART 1 OF HAP CONTRACT

Public reporting burden for this collection of information is estimated to average 2 hours. This includes the time for collecting, reviewing and reporting the data. The information is being collected as required by 24 CFR 983.202, which requires the PHA to enter into a HAP contract with the owner to provide housing assistance payments for eligible families. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number. Assurances of confidentiality are not provided under this collection.

Privacy Act Statement. HUD is committed to protecting the privacy of individuals' information stored electronically or in paper form, in accordance with federal privacy laws, guidance, and best practices. HUD expects its third-party business partners, including Public Housing Authorities, who collect, use maintain, or disseminate HUD information to protect the privacy of that information in Accordance with applicable law.

1. CONTRACT INFORMATION

a. Parties

This housing assistance payments (HAP) contract is entered into between:

Housing Authority of the County of Riverside (PHA) and

NCRC MURRIETA FAMILY HOUSING LP (owner).

b. Contents of contract

The HAP contract consists of Part 1, Part 2, and the contract exhibits listed in paragraph c.

c. Contract exhibits

The HAP contract includes the following exhibits:

EXHIBIT A: TOTAL NUMBER OF UNITS IN PROJECT COVERED BY

THIS HAP CONTRACT; INITIAL RENT TO OWNER; AND DESCRIPTION OF THE CONTRACT UNITS. (See 24 CFR 983.203 for required items.) If this is a multi-stage project, this exhibit must include a description of the units in each completed phase.

EXHIBIT B: SERVICES, MAINTENANCE AND EQUIPMENT TO BE PROVIDED BY THE OWNER WITHOUT CHARGES IN ADDITION TO RENT TO OWNER

EXHIBIT C: UTILITIES AVAILABLE IN THE CONTRACT UNITS, INCLUDING A LISTING OF UTILITIY SERVICES TO BE PAID BY THE OWNER (WITHOUT CHARGES IN ADDITION TO RENT TO OWNER) AND UTILITIES TO BE PAID BY THE TENANTS

EXHIBIT D: FEATURES PROVIDED TO COMPLY WITH PROGRAM ACCESSIBILITY FEATURES OF SECTION 504 OF THE REHABILITATION ACT OF 1973

ADDITIONAL EXHIBITS

d. Single-Stage and Multi-Stage Contracts (place a check mark in front of the applicable project description).

✓ **Single-Stage Project**

This is a single-stage project. For all contract units, the effective date of the HAP contract is: 06/01/2025 .

___ **Multi-Stage Project**

This is a multi-stage project. The units in each completed stage are designated in Exhibit A.

The PHA enters the effective date for each stage after completion and PHA acceptance of all units in that stage. The PHA enters the effective date for each stage in the "Execution of HAP contract for contract units completed and accepted in stages" (starting on page 10).

The annual anniversary date of the HAP contract for all contract units in this multi-stage project is the anniversary of the effective date of the HAP

contract for the contract units included in the first stage. The expiration date of the HAP contract for all of the contract units completed in stages must be concurrent with the end of the HAP contract term for the units included in the first stage (see 24 CFR 983.206(c)).

e. Term of the HAP contract

1. Beginning of term

The PHA may not enter into a HAP contract for any contract unit until the PHA (or an independent entity, as applicable) has determined that the unit meets PBV inspection requirements. The term of the HAP contract for any unit begins on the effective date of the HAP contract.

2. Length of initial term

a. Subject to paragraph 2.b, the initial term of the HAP contract for any contract units is: 20 years.

b. The initial term of the HAP contract for any unit may not be less than one year, nor more than twenty years.

3. Extension of term

The PHA and owner may agree to enter into an extension of the HAP contract at the time of initial HAP contract execution, or any time prior to expiration of the contract. Any extension, including the term of such extension, must be in accordance with HUD requirements. A PHA must determine that any extension is appropriate to achieve long-term affordability of the housing or expand housing opportunities.

4. Requirement for sufficient appropriated funding

a. The length of the initial term and any extension term shall be subject to availability, as determined by HUD, or by the PHA in accordance with HUD requirements, of sufficient appropriated funding (budget authority), as provided in appropriations acts and in the PHA's annual contributions contract (ACC) with HUD, to make full payment of housing assistance payments due to the owner for any contract year in accordance with the HAP contract.

b. The availability of sufficient funding must be determined by HUD or by the PHA in accordance with HUD requirements. If it is determined that there may not be sufficient funding to continue housing assistance payments for all contract units and for the full term of the HAP contract, the PHA has the right to terminate the HAP contract by notice to the owner for all or any of the contract units. Such action by the PHA shall be implemented in accordance with HUD requirements.

f. Occupancy and payment

1. Payment for occupied unit

During the term of the HAP contract, the PHA shall make housing assistance payments to the owner for the months during which a contract unit is leased to and occupied by an eligible family. If an assisted family moves out of a contract unit, the owner may keep the housing assistance payment for the calendar month when the family moves out ("move-out month"). However, the owner may not keep the payment if the PHA determines that the vacancy is the owner's fault.

2. Vacancy payment

THE PHA HAS DISCRETION WHETHER TO INCLUDE THE VACANCY PAYMENT PROVISION (PARAGRAPH e.2), OR TO STRIKE THIS PROVISION FROM THE HAP CONTRACT FORM.

a. If an assisted family moves out of a contract unit, the PHA may provide vacancy payments to the owner for a PHA-determined vacancy period extending from the beginning of the first calendar month after the move-out month for a period not exceeding two full months following the move-out month.

b. The vacancy payment to the owner for each month of the maximum two-month period will be determined by the PHA, and cannot exceed the monthly rent to owner under the assisted lease, minus any portion of the rental payment received by the owner (including amounts available from the tenant's security deposit). Any vacancy payment may cover only the period the unit remains vacant.

c. The PHA may make vacancy payments to the owner only if:

1. The owner gives the PHA prompt, written notice certifying that the family has vacated the unit and the date when the family moved out (to the best of the owner's knowledge and belief);

2. The owner certifies that the vacancy is not the fault of the owner and that the unit was vacant during the period for which payment is claimed;

3. The owner certifies that it has taken every reasonable action to minimize the likelihood and length of vacancy; and

4. The owner provides any additional information required and requested by the PHA to verify that the owner is entitled to the vacancy payment.

d. The PHA must take every reasonable action to minimize the likelihood and length of vacancy.

e. The owner may refer families to the PHA and recommend selection of such families from the PHA waiting list for occupancy of vacant units.

f. The owner must submit a request for vacancy payments in the form and manner required by the PHA and must provide any information or substantiation required by the PHA to determine the amount of any vacancy payments.

3. PHA is not responsible for family damage or debt to owner

Except as provided in this paragraph e (Occupancy and Payment), the PHA will not make any other payment to the owner under the HAP contract. The PHA will not make any payment to the owner for any damages to the unit, or for any other amounts owed by a family under the family's lease.

g. Income-mixing requirement

1. Except as provided in paragraphs f.2 through f.5 below, the PHA will not

make housing assistance payments under the HAP contract for more than the greater of 25 units or 25 percent of the total number of dwelling units (assisted or unassisted) in any project. The term "project" means a single building, multiple contiguous buildings, or multiple buildings on contiguous parcels of land assisted under this HAP contract.

2. The limitation in paragraph f.1 does not apply to single-family buildings.

3. In referring eligible families to the owner for admission to the number of contract units in any project exceeding the 25 unit or 25 percent limitation under paragraph f.1, the PHA shall give preference to elderly families or to families eligible for supportive services, for the number of contract units designated for occupancy by such families. The owner shall rent the designated number of contract units to such families referred by the PHA from the PHA waiting list.

4. Up to the greater of 25 units or 40 percent of units (instead of the greater of 25 units or 25 percent of units) in a project may be project-based if the project is located in a census tract with a poverty rate of 20 percent or less.

5. Units that were previously subject to certain federal rent restrictions or receiving another type of long-term housing subsidy provided by HUD do not count toward the income-mixing requirement if, in the five years prior to issuance of the Request for Proposal or notice of owner selection (for projects selected based on a prior competition or without competition), the unit received one of the forms of HUD assistance or was under a federal rent restriction as described in f.6 and f.7, below.

6. The following specifies the number of contract units (if any) that received one of the following forms of HUD assistance (enter the number of contract units in front of the applicable form of assistance):

   ___ Public Housing or Operating Funds;

   8___ Project-Based Rental Assistance (including Mod Rehab and Mod Rehab Single-Room Occupancy);

   ___ Housing for the Elderly (Section 202 or the Housing Act of 1959);

   ___ Housing for Persons with Disabilities (Section 811 of the Cranston-Gonzalez Affordable Housing Act);

___ Rent Supplement Program;

___ Rental Assistance Program;

___ Flexible Subsidy Program.

The following total number of contract units received a form of HUD assistance listed above: 8. If all of the units in the project received such assistance, you may skip sections g.7 and g.8, below.

7. The following specifies the number of contract units (if any) that were under any of the following federal rent restrictions (enter the number of contract units in front of the applicable type of federal rent restriction):

___ Section 236;

___ Section 221(d)(3) or (d)(4) BMIR (below-market interest rate);

___ Housing for the Elderly (Section 202 or the Housing Act of 1959);

___ Housing for Persons with Disabilities (Section 811 of the Cranston-Gonzalez Affordable Housing Act);

___ Flexible Subsidy Program.

The following total number of contract units were subject to a federal rent restriction listed above: 0. If all of the units in the project were subject to a federal rent restriction, you may skip section g.8, below.

8. The following specifies the number of contract units (if any) designated for occupancy by elderly families or by families eligible for supportive services:

a Place a check mark here ___ if any contract units are designated for occupancy by elderly families; The following number of contract units shall be rented to elderly families:

_____.

b. Place a check mark here ___ if any contract units are designated for occupancy by families eligible for supportive services. The

following number of contract units shall be rented to families eligible for supportive services:

_____.

9. The PHA and owner must comply with all HUD requirements regarding income mixing.

OMB Approval No. 2577–0169
(exp. 07/31/2022)

FORM APPROVED COUNTY COUNSEL
BY: AMRIT P. DHILLON DATE 3/14/2023

EXECUTION OF HAP CONTRACT FOR SINGLE-STAGE PROJECT

PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)** HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE
By:
Signature of authorized representative
Heidi Marshall, Executive Director
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

MAR 2 8 2023 10.1

EXECUTION OF HAP CONTRACT FOR CONTRACT UNITS COMPLETED AND ACCEPTED IN STAGES

(For multi-stage projects, at acceptance of each stage, the PHA and the owner sign the HAP contract execution for the completed stage.)

STAGE NO. 1: The Contract is hereby executed for the contract units in this stage. **STAGE EFFECTIVE DATE:** The effective date of the Contract for this stage is:
Date
PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

STAGE NO. 2: The Contract is hereby executed for the contract units in this stage. **STAGE EFFECTIVE DATE:** The effective date of the Contract for this stage is:
Date
PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

STAGE NO. 3: The Contract is hereby executed for the contract units in this stage. **STAGE EFFECTIVE DATE:** The effective date of the Contract for this stage is:
Date
PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

STAGE NO. __: The Contract is hereby executed for the contract units in this stage. **STAGE EFFECTIVE DATE:** The effective date of the Contract for this stage is:
Date
PUBLIC HOUSING AGENCY (PHA) **Name of PHA (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date
OWNER **Name of Owner (Print)**
By:
Signature of authorized representative
Name and official title (Print)
Date

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing

MOVING TO WORK (MTW) RIDER TO THE HOUSING ASSISTANCE PAYMENT (HAP) CONTRACT FOR THE SECTION 8 TENANT-BASED ASSISTANCE HOUSING CHOICE VOUCHER PROGRAM (HCV) AND/OR THE SECTION 8 PROJECT-BASED VOUCHER (PBV) PROGRAM

Pursuant to the Public Housing Agency's (PHA) participation in the MTW demonstration, the PHA may establish Section 8 HCV or PBV policies or requirements that differ from statutory requirements for both programs contained in the U.S. Housing Act of 1937, the relevant regulatory requirements, and applicable Public and Indian Housing Notices. Where any particular provisions of this HAP Contract differ from or conflict with the MTW activities included in the PHA's approved MTW Supplement to its PHA Plan, the provisions of the MTW Operations Notice and the approved MTW Supplement to the PHA Plan shall supersede any conflicting or differing HAP Contract language. Further, the MTW Activity authorized by the MTW Operations Notice shall govern the PHA's administration of the program notwithstanding a conflicting or differing provision of the HAP Contact. This rider shall be in effect for the term of the HAP Contract or the term of the PHA's participation in the MTW demonstration, whichever ends sooner.

Exhibit A

PBV Units – Description and Quantity in Project

EXHIBIT A

Project Site (Refer to Exhibit B for Additional Information)

Oak View Ranch Family Apartments (formerly known as Murrieta Apartments Phase I) is a proposed affordable multi-family apartment complex located at 24960 Adams Avenue in the City of Murrieta in the County of Riverside, California and can also be identified as Assessor's Parcel Number 906-080-018. The project site is located north of the intersection of Adams Ave. and Ivy Street near the Civic Center in the historic downtown neighborhood of the City of Murrieta. The relatively flat project site was previously an agricultural operation and contains an old barn in the central portion of the site, an old well in the western portion of the site, and a short concrete driveway along the southwestern portion of the site. The balance of the site is covered with grasses, shrubs, and trees. The barn and well will be removed by the City of Murrieta.

Total Number of Units in Project Covered by this Agreement

8 units (PBV units: two 1-bedroom, four 2-bedroom, two 3-bedroom)

Total Number of Units in Project

119 units (118 rentable + 1 manager unit)

Total units: twenty-four 1-bedroom, sixty 2-bedroom, thirty-five 3-bedroom

Locations of Contract Units on Site

Bedroom/Bathroom	AMI	Quantity	Unit #s and Accessible Features
1BR/1BA	30%	2	**1118**, 3206**
2BR/1BA	30%	4	**1109*, 1205, 3202, 3312**
3BR/2BA	30%	2	**3202, 4110***
	Total	8	

Project Based Section 8 Voucher: *Accessible with mobility feature **Accessible with communication feature

Project Based Voucher: *Accessible with mobility feature **Accessible with communication feature

Number of Contract Units by Area (Size) and Number of Bedrooms and Bathrooms

Contract Units		
Unit Type	**Units**	**Size**
1BR/1BA	2	522 SF
2BR/1BA	4	751 SF
3BR/2BA	2	1,028 SF

Services, Maintenance, or Equipment to be Supplied by the Owner without Charges in Addition to the Rent to Owner

Building

- Maintenance of building exterior, interior, and site areas
- Common area recreational space, interior and exterior
- On-site surface parking

Laundry

- Common laundry machines – machines purchased and maintained by Owner; Residents pay per use

Kitchen Appliances

- Stove/Oven
- Garbage Disposal
- Refrigerator

Utilities Available to the Contract Units, including a Specification of Utility Services to be Paid by the Owner (without charges in addition to rent) and Utility Services to be Paid by the Tenant

Utility	Paid by
Electric Heating	Tenant*
Electric Cooling	Tenant*
Electric Cooking	Tenant*
Electric Water Heating	Tenant*
Water, Sewer, Trash	Owner
Phone/Internet/Cable	Tenant

**Utility allowance provided*

Initial Rent to Owner for Contract Units (net of HACR utility allowance):

- Contract rent for
  - 1br $1,518 - $76 (Utility Allowance) = $1,442 Contract Rent
  - 2br $1,912 - $102 (Utility Allowance) = $1,810 Contract Rent
  - 3br $2,608 - $130 (Utility Allowance) = $2,478 Contract Rent

Exhibit B

Services Agreement

EXHIBIT B

Services, Maintenance, and Equipment to be Provided by the Owner Without Charges in Addition to Rent to Owner:

Building

- Maintenance of building exterior, interior, and site areas
- Common area recreational space, interior and exterior
- On-site surface parking

Laundry

- Common laundry machines – machines purchased and maintained by Owner; Residents pay per use

Kitchen Appliances

- Stove/Oven
- Garbage Disposal
- Refrigerator

Exhibit C

Utilities

EXHIBIT C

Utilities

- Sewer
- Water
- Trash
- Electric (heating/cooling, cooking)
- Electric (hot water)
- Telephone/Cable
- Internet

Utilities paid by Owner:
Sewer, Water, Trash

Utilities paid by Residents:
Electric, Telephone/cable, internet

Exhibit D

Section 504

EXHIBIT D

Features Provided to Comply with Program Accessibility Features of Section 504 of the Rehabilitation Act of 1973

At Section 504 Accessible Units

Building 1: 106, 109, 201, 216, 311, 403

Building 3: 103, 107, 201, 217, 304, 311, 406, 411, 414

Building 4: 103, 206, 210

- Ground floor units
- Accessible path to unit entrance
- Accessible path within the unit to all rooms
- Kitchens - countertops at 34" height
- Kitchens - upper cabinets at 46" max to lower shelf
- Kitchens – 30" long accessible work counter space
- Kitchens - Adaptable cabinets (removable base and doors)
- Kitchens - sink depth 6" or less
- Bathrooms - appropriate toilet clearances, grab bars; vanity height and faucet clearances; grab bars as required
- Bathrooms – appropriate tub/shower clearances

At Units for Visually or Hearing Impaired

Building 1: 118, 203, 210, 301

Building 3: 102, 105, 210, 303, 404, 415

Building 4: 110, 403

- Ground Floor Units
- Visual/flashing doorbell
- Additional audible/visual fire alarms

Attachment 21

WHEN DOCUMENT IS FULLY EXECUTED RETURN
CLERK'S COPY
to Riverside County Clerk of the Board, Stop 1010
Post Office Box 1147, Riverside, Ca 92502-1147
Thank you.

U.S. Department of Housing and Urban Development (HUD)
Project-based Section 8 Contract Administration

CONSENT TO ASSIGNMENT OF HAP CONTRACT AS SECURITY FOR FINANCING

OMB Control #2502-0587

"Public reporting burden for this collection of information is estimated to average 1 hour. This includes the time for collecting, reviewing, and reporting the data. The information is being collected for obtaining a signature on legally binding documents and will be used to enforce contractual obligations. Response to this request for information is required in order to receive the benefits to be derived. This agency may not collect this information, and you are not required to complete this form unless it has a currently valid OMB control number. No confidentiality is assured."

Privacy Act Notice: The United States Department of Housing and Urban Development, Federal Housing Administration, is authorized to solicit the information requested in the form by virtue of Title 12, United States Code, Section 1701 et seq., and regulations promulgated thereunder at Title 12, Code of Federal Regulations. While no assurance of confidentiality is pledged to respondents, HUD generally discloses this data only in response to a Freedom of Information Act request.

I. IDENTIFICATION OF ACC AND HAP CONTRACT

Annual Contributions Contract Number: _____

Section 8 HAP Contract Number: _____

Section 8 Project Number: PBV3-21-002

Project Name: Murrieta Apartments Phase I

Project Location:
24960 Adams Avenue, Murrieta, CA 92562 and can also be identified as Assessor's Parcel Number: 906-080-018 as more specifically described in the legal description attached hereto as Exhibit "A" and incorporated herein by this reference.

MAR 2 8 2023 10.1

II. NAMES

Contract administrator

HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE, a public entity, corporate and politic

Contract administrator address

5555 Arlington Ave

Riverside, CA 92504

Attention: Housing Project Manager

Owner

NCRC MURRIETA FAMILY HOUSING LP

Owner address

c/o National Community Renaissance of Calfornia

9240 Haven Avenue, Rancho Cucamonga, CA 91730

Attention: Property Management

Lender

Bank of America, N.A.

Lender address

c/o Bank of America, N.A., a national banking association

333 S Hope Street, 20th Floor, Los Angeles, CA 90071

Attention: Loan Administration Manager

MAR 2 8 2023 10.1

III. DEFINITIONS

ACC. Annual Contributions Contract.

ASSIGNMENT AS SECURITY. The creation of a security interest in the owner's interest pursuant to the HAP Contract, and a transfer of such security interest to a successor secured party.

CONTRACT ADMINISTRATOR. HUD or a PHA acting as contract administrator under an ACC with HUD.

FULL ASSIGNMENT. An assignment of the HAP contract other than an assignment as security. "Full Assignment" includes a sale, conveyance or other transfer of the HAP Contract, voluntary or involuntary, to a successor in interest.

HAP CONTRACT. The Housing Assistance Payments Contract for units in the project. The HAP Contract was entered between the owner and the contract administrator pursuant to Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f).

PHA. Public Housing Agency.

PROJECT. The project identified in section I of the consent to assignment.

SECURED PARTY. A party that holds a security interest in the owner's interest pursuant to the HAP contract, including the lender, and successors to the lender's security interest.

SUCCESSOR. The term "successor" includes an assignee.

IV. BACKGROUND

Pursuant to the terms of the HAP Contract, the HAP Contract (including any interest in the HAP Contract or any payments under the HAP Contract) may not be assigned without the prior written consent of HUD.

The owner has advised the contract administrator that the owner wants to grant the lender a security interest in the HAP Contract, as security for a loan by the lender to the owner with respect to the project.

V. CONSENT TO ASSIGNMENT AS SECURITY

By execution of this consent to assignment as security, the HUD consents to the assignment as security of the HAP Contract by the owner to the lender as security for a loan by the lender to the owner with respect to the project.

HUD consents to transfer of the lender's security interest to successor secured parties.

VI. EFFECT OF CONSENT TO ASSIGNMENT

The contract administrator is not a party to the loan or the loan documents, nor to any assignment of the HAP Contract by the owner to the lender as security for the loan, nor to any transfer of the HAP contract or the loan by the lender. Issuance of the consent to assignment does not signify that HUD or the contract administrator has reviewed, approved or agreed to the terms of any financing or refinancing; to any term of the loan documents; or to the terms of any assignment of the HAP contract by the owner to the lender as security for the loan, or by the lender to any transferee of the loan.

The consent to assignment of the HAP Contract as security for the loan does not change the terms of the HAP Contract in any way, and does not change the rights or obligations of HUD, the contract administrator or the owner under the HAP Contract.

The creation or transfer of any security interest in the HAP Contract is limited to amounts payable under the HAP Contract in accordance with the terms of the HAP Contract..

VII. EXERCISE OF SECURITY INTEREST - ASSIGNEE ASSUMPTION OF HAP CONTRACT OBLIGATIONS

Notwithstanding HUD's grant of consent to assignment by the owner of a security interest in the HAP Contract to the lender as security for the loan, and to further transfer of such security interest to successor secured parties, HUD's execution of this consent does not constitute consent to a full assignment of the HAP contract to any entity, including the lender or any successor secured party.

A secured party may not exercise any rights or remedies against the contract administrator or HUD under the HAP Contract, and shall not have any right to receive housing assistance payments that may be payable to the owner under the HAP Contract, until and unless:

- HUD has approved the secured party as successor to the owner pursuant to the HAP contract, and
- The secured party seeking to exercise such rights or remedies, or to receive such payments, has executed and delivered, in a form acceptable to HUD in accordance with HUD requirements, an agreement by the assignee to comply with all the terms of the HAP Contract, and to assume all obligations of the owner under the HAP Contract.

VIII. PAYMENT TO SECURED PARTY

When a secured party notifies the contract administrator, in writing, that housing assistance payments payable pursuant to the HAP Contract should be directed to the secured party (in accordance with paragraph VII above), the contract administrator may make such payments to the secured party instead of the owner. In making such payments, the contract administrator is not required to consider or make any inquiry as to the existence of a default under the loan documents, but may rely on notice by the secured party; and any payments by the contract administrator to the secured party shall be credited against amounts payable by the contract administrator to the owner pursuant to the HAP Contract.

IX. WHEN ASSIGNMENT IS PROHIBITED

The consent to assignment as security shall be void ab initio if HUD determines that any assignee, or any principal or interested party of the assignee, is debarred, suspended or subject to a limited denial of participation under 24 CFR part 24, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or nonprocurement programs.

HUD

Name of Authorized Representative (Print)

By: _____

Signature of authorized representative

Name and official title (Print)

Date _____

CONTRACT ADMINISTRATOR

Name of Authorized Representative (Print)

HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE, a public entity, corporate and politic

By: _____

Signature of authorized representative

HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE

Name and official title (Print)

Heidi Marshall

Executive Director

Date _____

FORM APPROVED COUNTY COUNSEL

BY: _____ 3/14/2023

Amit P. Dhillon DATE

OWNER AGREEMENT TO ASSIGNMENT AS SECURITY

The owner has read the terms of HUD's consent to assignment by the owner of a security interest in the HAP Contract to the lender as security for the loan, and to further transfer of such security interest to successor secured parties. In consideration for HUD's grant of such consent to assignment, the owner agrees to all the terms of the consent to assignment, and agrees that any assignment by the owner is subject to all such terms.

OWNER

Name of Owner (Print)

By _____

Signature of authorized representative

_____

Name and title (Print)

Date _____

SIGNATURE, NOTARY AND NOTICE BLOCKS

BORROWER/ OWNER

NCRC MURRIETA FAMILY HOUSING, L.P.,
a California limited partnership

By: NCRC Murrieta Family MGP, LLC,
a California limited liability company,
its general partner

By: National Community Renaissance of California,
a California nonprofit public benefit corporation,
its manager

By: _____
Name: Michael Finn
Title: Chief Financial Officer

BORROWER/ OWNER NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

MANAGING GENERAL PARTNER

NCRC MURRIETA FAMILY MGP, LLC,
a California limited liability company

By: National Community Renaissance of California,
a California nonprofit public benefit corporation,
its manager

By: _____
Name: Michael Finn
Title: Chief Financial Officer

MANAGING GENERAL PARTNER NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)

On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

DEVELOPER/GUARANTOR

NATIONAL COMMUNITY RENAISSANCE OF CALIFORNIA,
a California nonprofit public benefit corporation

By: _____
Name: Michael Finn
Title: Chief Financial Officer

DEVELOPER/GUARANTOR NOTARY BLOCK

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
)
COUNTY OF _____)
On _____, before me, _____, Notary Public, personally appeared Michael Finn, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify UNDER PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____
Name: _____
Notary Public

NOTICE ADDRESSES

Borrower/Owner

NCRC MURRIETA FAMILY HOUSING L.P.
c/o National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: CFO
Email: mfinn@nationalcore.org

With copies to:

National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: General Counsel
Email: rdiaz@nationalcore.org

Klein Hornig LLP
1325 G Street NW, Suite 770
Washington, DC 20005
Attention: Jed D'Abravanel
Email: jdabravanel@kleinhornig.com

Developer/Guarantor

NATIONAL COMMUNITY RENAISSANCE OF CALIFORNIA
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: CFO
Email: mfinn@nationalcore.org

With copies to:

National Community Renaissance of California
9421 Haven Avenue
Rancho Cucamonga, CA 91730
Attention: General Counsel
Email: rdiaz@nationalcore.org

Klein Hornig LLP
1325 G Street NW, Suite 770
Washington, DC 20005
Attention: Jed D'Abravanel
Email: jdabravanel@kleinhornig.com

EXHIBIT A
LEGAL DESCRIPTION OF PROPERTY

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE SOUTHEASTERLY RECTANGULAR 1/2 OF LOT 69 OF THE MURRIETA PORTION OF THE TEMECULA RANCHO, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 359 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA;

EXCEPTING THEREFROM, THE NORTHEASTERLY 1/2 THEREOF;

ALSO EXCEPTING THEREFROM, THAT PORTION CONVEYED TO EUNICE CAIN, A WIDOW, BY DEED RECORDED NOVEMBER 8, 1971 AS INSTRUMENT NO. 127659 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO, EXCEPTING THEREFROM, THAT PORTION CONVEYED TO PAC SO. COR, INC., A CALIFORNIA CORPORATION, DBA PACIFIC SOUTHWEST REALTY AND TRUST, BY DEED RECORDED SEPTEMBER 24, 1979 AS INSTRUMENT NO. 200877 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

ALSO EXCEPTING THEREFROM, THAT PORTION CONVEYED TO PAC SO, COR, INC., A CALIFORNIA CORPORATION, BY DEED RECORDED DECEMBER 11, 1980 AS INSTRUMENT NO. 231897 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

APN: 906-080-018