

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM: 21.2
(ID # 23114)**

MEETING DATE:

Tuesday, October 31, 2023

FROM : TLMA-PLANNING:

SUBJECT: TRANSPORTATION AND LAND MANAGEMENT AGENCY/PLANNING: Public Hearing on PLOT PLAN NO. 23819 REVISION NO. 1, CHANGE OF ZONE NO. 2300005, & ADOPTION OF ORDINANCE NO. 348.5003 - CEQA Exempt per Section 15301, Section 15303, & Section 15061(b)(3) – Applicant: Walt Allen Architects, c/o Chris Campbell - Representative/Engineer: Ventura Engineer, c/o Wilfredo Ventura – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture: Agriculture (AG:AG) – Location: north of Rancho California Road, east of La Serena, and west of Calle Contento Road – 10.18 acres – Current Zone: Citrus Vineyard (C/V) – Proposed Zone: Wine Country-Winery Existing (WC-WE) – REQUEST: Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. APN 943-110-020. District 3. [Applicant Fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

Continued on Page 2

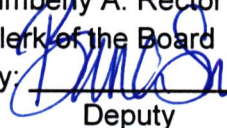
ACTION:Policy


John Hildebrand, Planning Director 10/4/2023

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Perez, seconded by Supervisor Gutierrez and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended and Ordinance 348. 5003 is adopted with waiver of the reading.

Ayes: Jeffries, Spiegel, Washington, Perez and Gutierrez
Nays: None
Absent: None
Date: October 31, 2023
xc: Planning, COBCF/AB/DL

Kimberly A. Rector
Clerk of the Board
By: 
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

RECOMMENDED MOTION: That the Board of Supervisors:

1. **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061(b)(3) (Common Sense), based on the findings and conclusions in this staff report;
2. **APPROVE CHANGE OF ZONE NO. 2300005**, to amend the zoning classification of the Project site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE) based upon the findings and conclusions incorporated in the staff report, pending final adoption of the Zoning Ordinance by the Board of Supervisors;
3. **ADOPT ORDINANCE NO. 348.5003** amending the zoning in the Rancho California Area as shown on Map No. 2.2491 Change of Zone No. 2300005 attached hereto and incorporated herein by reference; and
4. **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1**, subject to the attached Advisory Notification Document, Conditions of Approval, and based upon the findings and conclusions provided in this staff report, pending final adoption of the Zoning Ordinance by the Board of Supervisors.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment:	No
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND:

On September 7, 2022, the applicant, Walt Allen Architects, submitted Plot Plan No. 23819 Revision No. 1 (PP23819R01) to the County of Riverside for consideration. The applicant is requesting to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, and an approximately 3,600 square foot area for receiving, production, and barrel storage. There are also 74 standard parking spaces that service the operations of the winery. To facilitate this classification, the Project includes Change of Zone No. 2300005 (CZ2300005) to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within.

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

The Project scope also proposes minor modifications to convert the existing barrel room into a commercial kitchen. The barrel storage has been relocated to 27949 Diaz Road, Temecula, CA (APN 921-041-010), to a Vintner's Vault facility. As this parcel is under the jurisdiction of the City of Temecula, this storage has been approved under permit B21-0712.

The Project was approved by a 4-0 vote at Planning Commission on September 20, 2023, with Commissioner Sanchez absent from the proceedings.

Impact on Citizens and Businesses


The proposed Project is categorically exempt under CEQA pursuant to State CEQA Guidelines sections 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061 (b)(3) (Common Sense Exemption), which means that it belongs to a class of projects that have been determined to not have a significant effect on the environment. As detailed in the Planning Commission Staff Report, which is attached hereto and incorporated by reference, no exceptions pursuant to State CEQA Guidelines section 15300.2 apply. Accordingly, there is no anticipation that there will be negative impacts on residents or businesses.

Additional Fiscal Information

All fees are paid by the applicant; there is no General Fund obligation.

ATTACHMENTS:

- A. PLANNING COMMISSION REPORT OF ACTIONS
- B. PLANNING COMMISSION STAFF REPORT
- C. PROJECT EXHIBITS
- D. CONDITIONS OF APPROVAL
- E. ORDINANCE NO. 348.5003


Jason Farin, Principal Management Analyst 10/24/2023


Aaron Gettis, Deputy County Counsel 10/8/2023

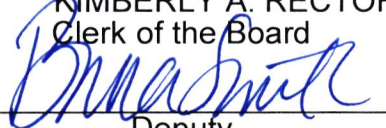
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STATE OF CALIFORNIA)
)
COUNTY OF RIVERSIDE) ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on October 31, 2023, the foregoing ordinance consisting of 2 Sections was adopted by the following vote:

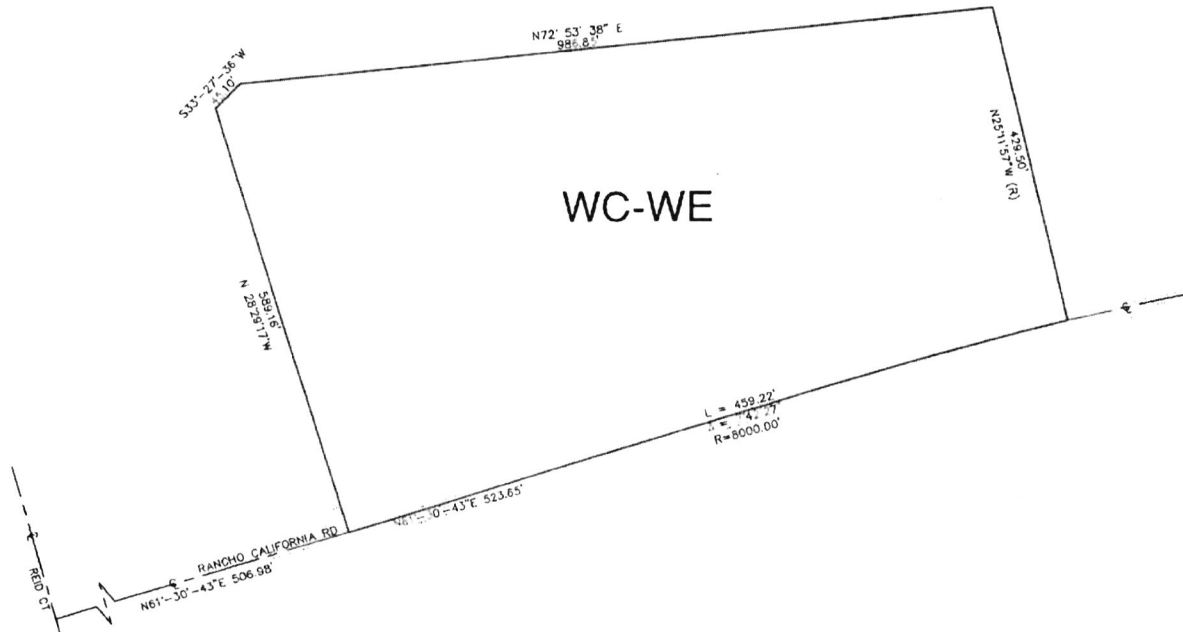
AYES: Jeffries, Spiegel, Washington, Perez, and Gutierrez
NAYS: None
ABSENT: None

DATE: October 31, 2023

KIMBERLY A. RECTOR
Clerk of the Board
BY: 
Deputy

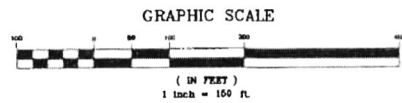
SEAL

RANCHO CALIFORNIA AREA
SEC. 27, 34, T.7 S., R.2W. S.B.M.



WC-WE WINE COUNTRY-WINERY EXISTING

MAP NO. 2.2491
CHANGE OF OFFICIAL ZONING PLAN
AMENDING
MAP NO. 2, ORDINANCE NO. 348
CHANGE OF ZONE CASE NO. 2300005
ADOPTED BY ORDINANCE NO. 348.5003
(DATE: _____)
RIVERSIDE COUNTY BOARD OF SUPERVISORS





Lead Agency: CLERK OF THE BOARD OF SUPERVISORS
ATTN: KATHLEEN MITCHELL, PROJECT PLANNER
Address: 4080 LEMON STREET 1ST FLOOR
P.O. BOX 1147
RIVERSIDE, CA 92502-1147

FILED / POSTED

County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder

E-202301067
10/04/2023 05:00 PM Fee: \$ 0.00
Page 1 of 2

Removed: 11/6/2023 By: J. Rodriguez Deputy



Project Title

PPT23819, CZ2300005, ORD348.5003

Filing Type

- Environmental Impact Report
- Mitigated/Negative Declaration
- Notice of Exemption
- Other: NOTICE OF PUBLIC HEARING

Notes

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, October 31, 2023 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve **Plot Plan No. 23819- Revision No. 1, Change of Zone No. 2300005 and Adoption of Ordinance No. 348.5003**: Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. – APN 943-110-020. This proposed project is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road in the Third Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, APPROVE CHANGE OF ZONE NO. 2300005 and ADOPT ORDINANCE NO. 348.5003.**

On September 20, 2023, the Planning Commission approved staff recommendation to the Board of Supervisors by a vote of 4-0. The Planning Department meeting documents for the proposed project may be viewed online under the Planning Commission hearing date on the Public Hearing page of the Planning Department website: <https://planning.rctlma.org/Public-Hearings>.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT KATHLEEN MITCHELL, PROJECT PLANNER, AT (951)955-6836 OR EMAIL KMITCHELL@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1069, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

RECEIVED RIVERSIDE COUNTY
CLERK/BOARD OF SUPERVISORS

2023 NOV -8 AM 10: 35

CLERK OF THE BOARD

4080 LEMON STREET, 1ST FLOOR.

POST OFFICE BOX 1147

RIVERSIDE, CA 92502-1147



RIVERSIDE COUNTY PLANNING DEPARTMENT

29 day
Oct 20 2023

Charissa Leach, P.E.
TLMA Director

RECEIVED
OCT 3 2023
2:39 PM

DATE: October 3, 2023

TO: Clerk of the Board of Supervisors

FROM: Planning Department – Riverside – Kathleen Mitchell, Project Planner 5-6836 (BOS date 10-31-2023)

SUBJECT: Plot Plan No. 23819 Revision No. 1 & Change of Zone No. 2300005
(Charge your time to these case numbers)

TRANSPORTATION & LAND MANAGEMENT AGENCY/PLANNING: Public Hearing on **PLOT PLAN NO. 23819 REVISION NO. 1, CHANGE OF ZONE NO. 2300005, & ADOPTION OF ORDINANCE NO. 348.5003** CEQA Exempt per Section 15301, Section 15303, & Section 15061(b)(3) – Applicant: Walt Allen Architects, c/o Chris Campbell - Representative/Engineer: Ventura Engineer, c/o Wilfredo Ventura – **Third Supervisorial District** – Rancho California Zoning Area – **Southwest Area Plan** – Agriculture: Agriculture (AG:AG) – Location: north of Rancho California Road, east of La Serena, and west of Calle Contento Road – 10.18 acres – Current Zone: Citrus Vineyard (C/V) – Proposed Zone: Wine Country-Winery Existing (WC-WE) – **REQUEST:** Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. – APN 943-110-020 – Project Planner: Kathleen Mitchell at 951-955-6836 or email at kmitchell@rivco.org [Applicant Fees 100%]

The attached item(s) require the following action(s) by the Board of Supervisors:

- Place on Administrative Action
- Set for Hearing (Legislative Action Required; CZ, GPA, SP, SPA)
- Labels provided If Set For Hearing
 - 10 Day 20 Day 30 day
- Publish in Newspaper:
 - (3rd Dist) Press Enterprise**
- CEQA Exempt
 - 10 Day 20 Day 30 day
- Notify Property Owners (app/agencies/property owner labels provided)

Designate Newspaper used by Planning Department for Notice of Hearing:
(3rd Dist) Press Enterprise

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

PROPERTY OWNERS CERTIFICATION FORM

I, Kathleen Mitchell, certify that on September 12, 2023, the attached property owners list was prepared by County of Riverside / GIS.

Distance Buffered: 1,400'

Pursuant to application requirements furnished by the Riverside County Planning Department; Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Kathleen Mitchell

TITLE/REGISTRATION: Urban Regional Planner, III

ADDRESS: 4080 Lemon Street, Riverside CA, 92501

TELEPHONE (8 a.m. – 5 p.m.): (951) 955-6836



OFFICE OF THE
CLERK OF THE BOARD OF SUPERVISORS
1st FLOOR, COUNTY ADMINISTRATIVE CENTER
P.O. BOX 1147, 4080 LEMON STREET
RIVERSIDE, CA 92502-1147
PHONE: (951) 955-1060 FAX: (951) 955-1071

KIMBERLY A. RECTOR
Clerk of the Board of Supervisors

APRIL BOYDD
Assistant Clerk of the Board

October 4, 2023

THE PRESS ENTERPRISE
ATTN: LEGALS
P.O. BOX 792
RIVERSIDE, CA 92501

PH : (951) 368-9229
E-MAIL: legals@pe.com

RE: NOTICE OF PUBLIC HEARING: PLOT PLAN NO. 23819-REVISION NO. 1, CHANGE OF ZONE NO. 2300005 AND ADOPTION OF ORDINANCE NO. 348.5003

To Whom It May Concern:

Attached is a copy for publication in your newspaper for **One (1) time on Friday, October 20, 2023.**

We require your affidavit of publication immediately upon completion of the last publication.

Your invoice must be submitted to this office, WITH TWO CLIPPINGS OF THE PUBLICATION.

NOTE: PLEASE COMPOSE THIS PUBLICATION INTO A SINGLE COLUMN FORMAT.

Thank you in advance for your assistance and expertise.

Sincerely,

Cindy Fernandez

Clerk of the Board Assistant to:
KIMBERLY A. RECTOR, CLERK OF THE BOARD

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

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The Riverside County Planning Department recommends that the Board of Supervisors **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, APPROVE CHANGE OF ZONE NO. 2300005 and ADOPT ORDINANCE NO. 348.5003.**

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Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

CERTIFICATE OF POSTING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cindy Fernandez, Clerk of the Board Assistant to Kimberly A. Rector, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on October 4, 2023, I forwarded to Riverside County Clerk & Recorder's Office a copy of the following document:

NOTICE OF PUBLIC HEARING

PPT23819-REVISION NO. 1, CZ2300005, ORD. NO. 348.5003

to be posted in the office of the County Clerk at 2724 Gateway Drive, Riverside, California 92507. Upon completion of posting, the County Clerk will provide the required certification of posting.

Board Agenda Date: October 31, 2023 @ 10:00 a.m.

SIGNATURE: Cindy Fernandez DATE: October 4, 2023
Cindy Fernandez

CERTIFICATE OF MAILING

(Original copy, duly executed, must be attached to
the original document at the time of filing)

I, Cindy Fernandez, Clerk of the Board Assistant to Kimberly A. Rector, Clerk of the Board of Supervisors, for the County of Riverside, do hereby certify that I am not a party to the within action or proceeding; that on October 4, 2023, I mailed a copy of the following document:

NOTICE OF PUBLIC HEARING

PPT23819-REVISION NO. 1, CZ2300005, ORD. NO. 348.5003

to the parties listed in the attached labels, by depositing said copy with postage thereon fully prepaid, in the United States Post Office, 3890 Orange St., Riverside, California, 92501.

Board Agenda Date: October 31, 2023 @ 10:00 a.m.

SIGNATURE: Cindy Fernandez DATE: October 4, 2023
Cindy Fernandez

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

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Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

943100005
ANDREW HOLZMANN
33242 LA SERENA WAY
TEMECULA CA 92591

943100009
PHILLIPS B. BAILY
36150 PAUBA RD
TEMECULA CA 92592

943100011
ALEX BRINKMEYER
33400 LA SERENA WAY
TEMECULA CA 92591

943110012
FRENI MARILYN M EXEMPT TRUST UNDER THE
1 LA SENDA PL
LAGUNA BEACH CA 92651

943110015
MAHMOUD M. YAKUT
645 FRONT ST # 2102
SAN DIEGO CA 92101

943110017
GUILLERMO A. CARPINELLI
33350 RANCHO CALIFORNIA RD
TEMECULA CA 92591

943110018
89 PERCENT
165 6TH AVE NO 2201
SAN DIEGO CA 92101

943110020
CELEBRATION CELLARS
33410 RANCHO CALIFORNIA RD
TEMECULA CA 92591

943100007
INVESTEUROPA
41391 KALMIA ST STE 200
MURRIETA CA 92562

943110011
NGUNS TRUST DTD 11/10/2015
41005 REID CT
TEMECULA CA 92591

943120022
S T & KOO INTERNATIONAL CORP
323 WEST COURT STE 301
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TEMECULA CA 92589

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KPC MT PALOMAR REALTY
9 KPC PARKWAY STE 301
CORONA CA 92879

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PRADEEP W. GUNARATNE
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HUNTINGTON BEACH CA 92649

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CHURON INN WINERY
7351 MCGUIRE AVE
FONTANA CA 92336

951090004
DIBERNARDO FAMILY TRUST DTD 5/12/2010
41141 REID CT
TEMECULA CA 92592

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TED MCWHORTER
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TEMECULA CA 92592

951090019
FEN HUEI HSIN
23 OLD PALI PL
HONOLULU HI 96817

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THOMAS P. ROE
NO 200
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MICHELLE R. MARTIN
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TEMECULA CA 92592

951100002
CREATIVE SPACE INNOVATION
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LOS ANGELES CA 90010

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CREATIVE SPACE INNOVATION
3731 WILSHIRE BLVD STE 612
LOS ANGELES CA 90010

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VUE BEL TRUST U/T/A DTD 10/17/11
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TEMECULA CA 92591

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KRUNAL AMIN
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SUBHASH C. VARSHNEY
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CORONA CA 92883

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JONATHAN COLEMAN
1919 HILLCREST DR
HERMOSA BEACH CA 90254

951090001
NATALIE SOO
1432 SANTA FE DR
TUSTIN CA 92780

951090003
VALLEY VINEYARDS
7351 MCGUIRE AVE
FONTANA CA 92336

951100003
CREATIVE SPACE INNOVATION
4322 WILSHIRE BLV NO 300
LOS ANGELES CA 90010



Lead Agency: CLERK OF THE BOARD OF SUPERVISORS
ATTN: KATHLEEN MITCHELL, PROJECT PLANNER
Address: 4080 LEMON STREET 1ST FLOOR
P.O. BOX 1147
RIVERSIDE, CA 92502-1147

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County of Riverside
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Assessor-County Clerk-Recorder

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Page 1 of 2

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Project Title

PPT23819, CZ2300005, ORD348.5003

Filing Type

- Environmental Impact Report
- Mitigated/Negative Declaration
- Notice of Exemption
- Other: NOTICE OF PUBLIC HEARING

Notes

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, October 31, 2023 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve **Plot Plan No. 23819- Revision No. 1, Change of Zone No. 2300005 and Adoption of Ordinance No. 348.5003**: Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. – APN 943-110-020. This proposed project is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road in the Third Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, APPROVE CHANGE OF ZONE NO. 2300005 and ADOPT ORDINANCE NO. 348.5003.**

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Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

C

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

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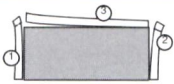
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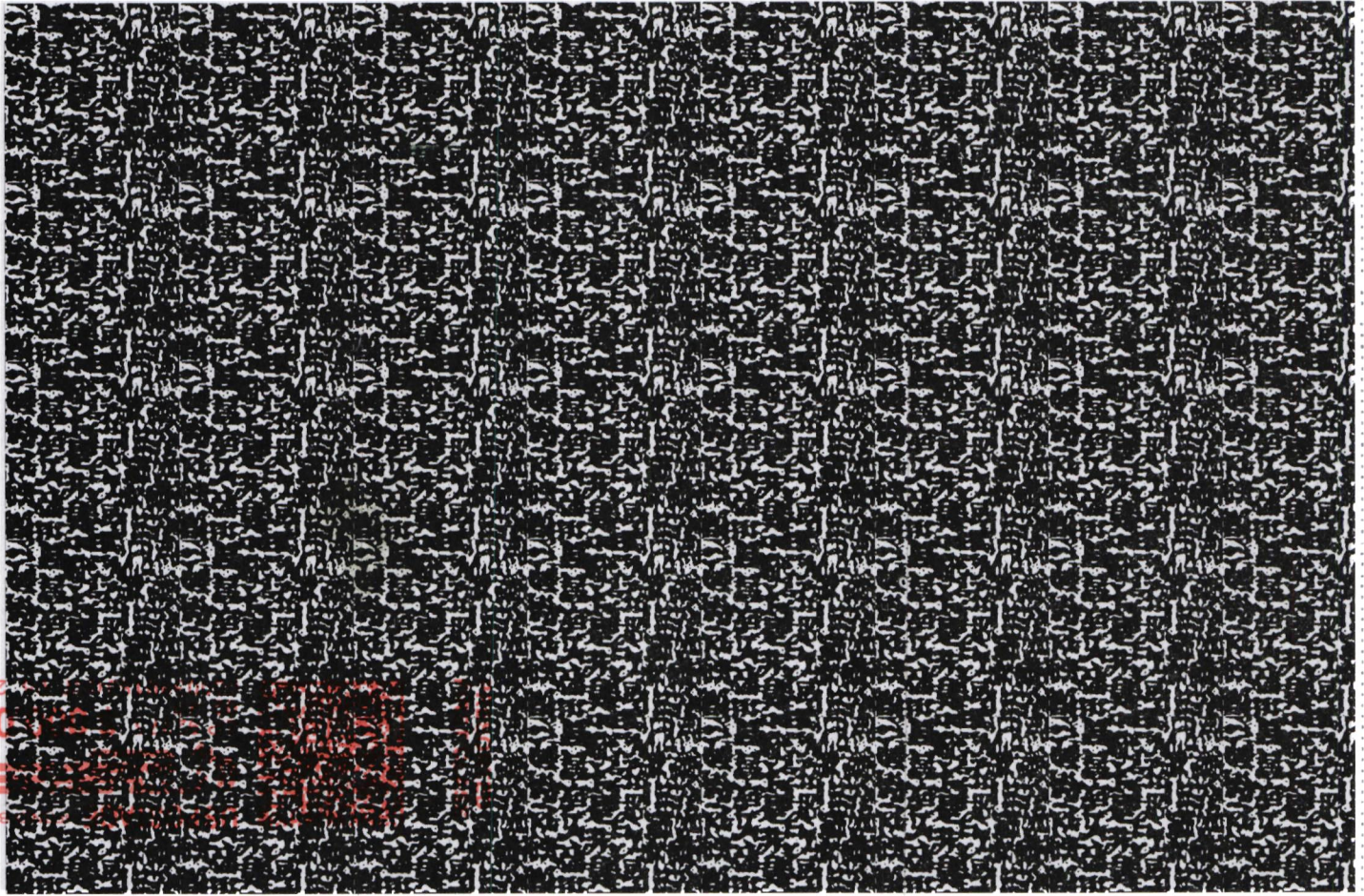
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By: Cindy Fernandez, Clerk of the Board Assistant



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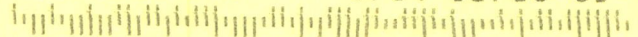
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NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

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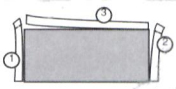
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Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant



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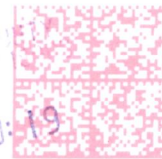


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NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

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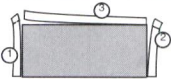
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Dated: October 4, 2023

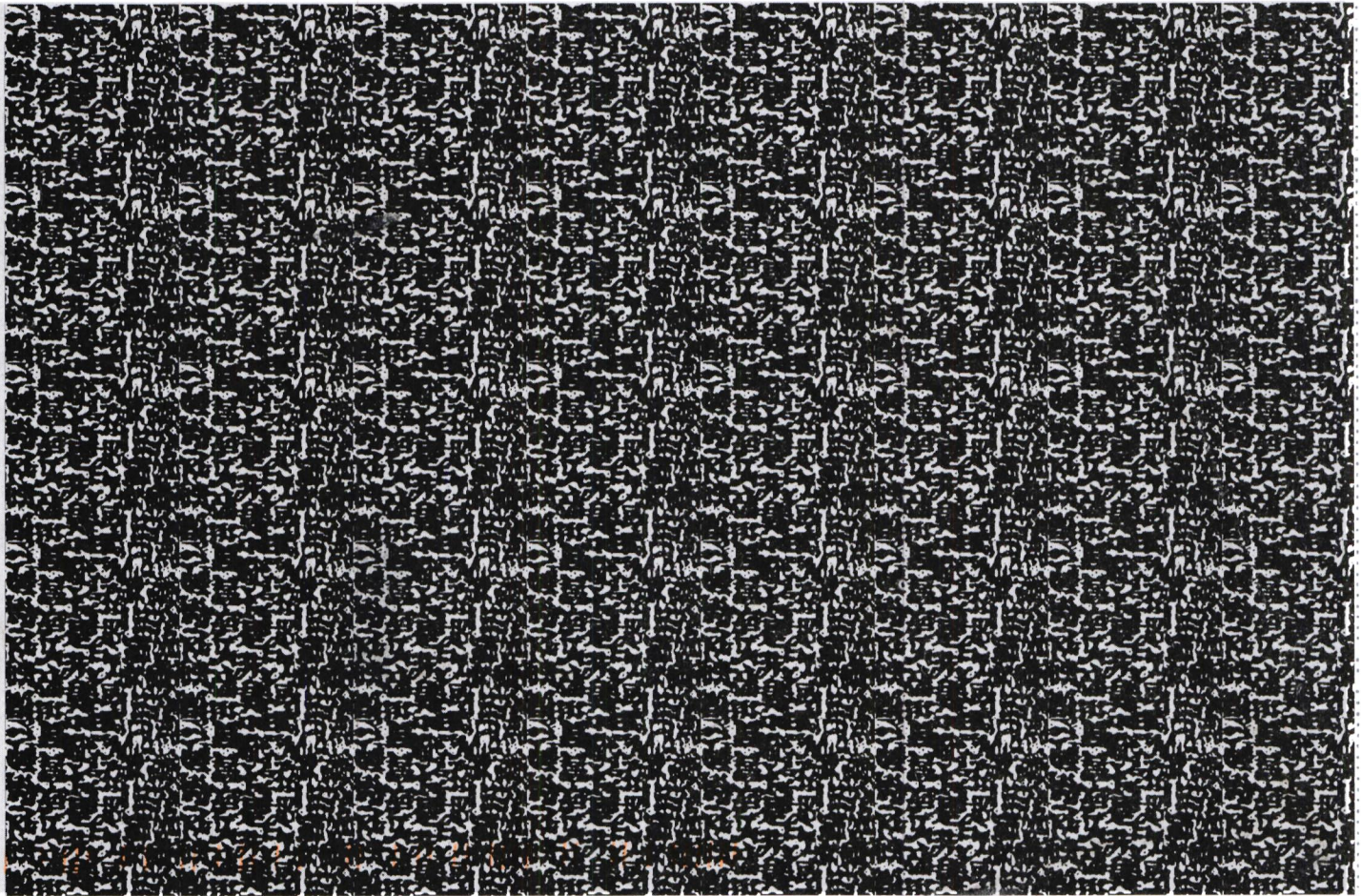
Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant



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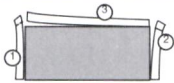
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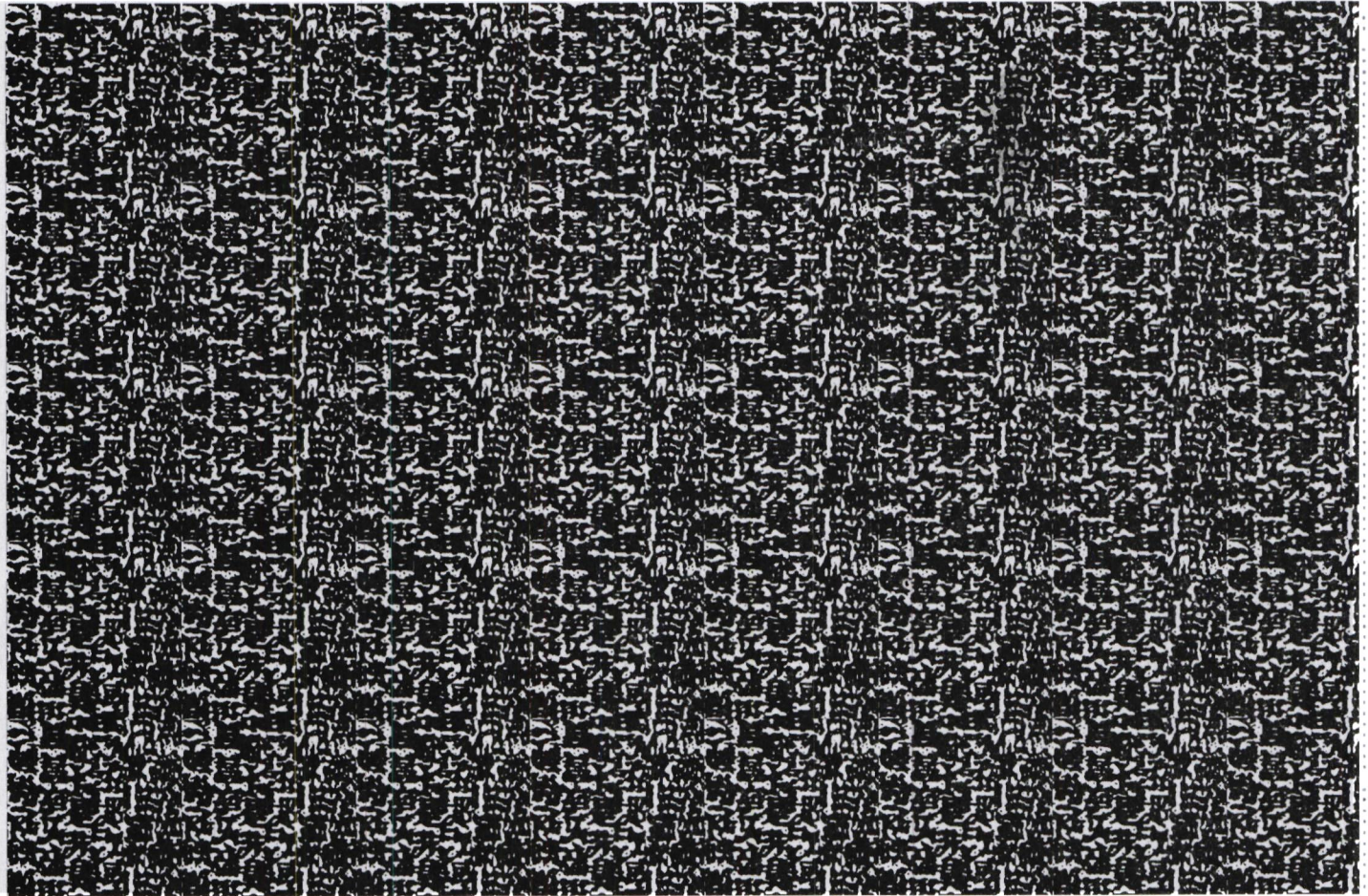
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NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, October 31, 2023 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve **Plot Plan No. 23819- Revision No. 1, Change of Zone No. 2300005 and Adoption of Ordinance No. 348.5003**: Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. – APN 943-110-020. This proposed project is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road in the Third Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, APPROVE CHANGE OF ZONE NO. 2300005 and ADOPT ORDINANCE NO. 348.5003.**

On September 20, 2023, the Planning Commission approved staff recommendation to the Board of Supervisors by a vote of 4-0. The Planning Department meeting documents for the proposed project may be viewed online under the Planning Commission hearing date on the Public Hearing page of the Planning Department website: <https://planning.rctlma.org/Public-Hearings>.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT KATHLEEN MITCHELL, PROJECT PLANNER, AT (951)955-6836 OR EMAIL KMITCHELL@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1069, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

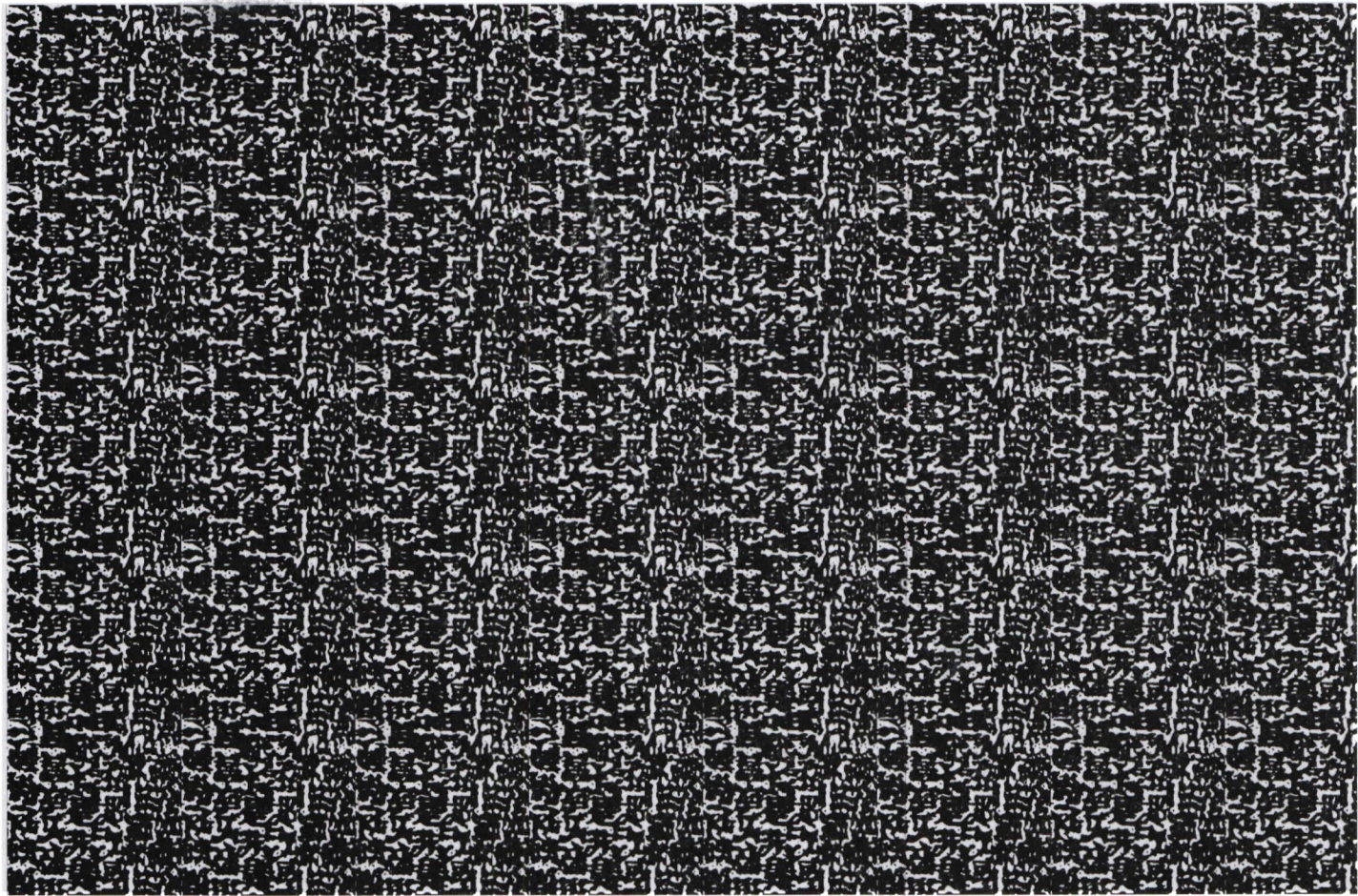
Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

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County Administrative Center
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<i>Account Number:</i>	5209148
<i>Ad Order Number:</i>	0011632115
<i>Customer's Reference/PO Number:</i>	
<i>Publication:</i>	The Press-Enterprise
<i>Publication Dates:</i>	11/07/2023
<i>Total Amount:</i>	\$947.91
<i>Payment Amount:</i>	\$0.00
<i>Amount Due:</i>	\$947.91
<i>Notice ID:</i>	K93rOCVAoYDZxxCsot7j
<i>Invoice Text:</i>	

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Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011632115

FILE NO. 0011632115

PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

11/07/2023

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: November 7, 2023.
At: Riverside, California



Signature

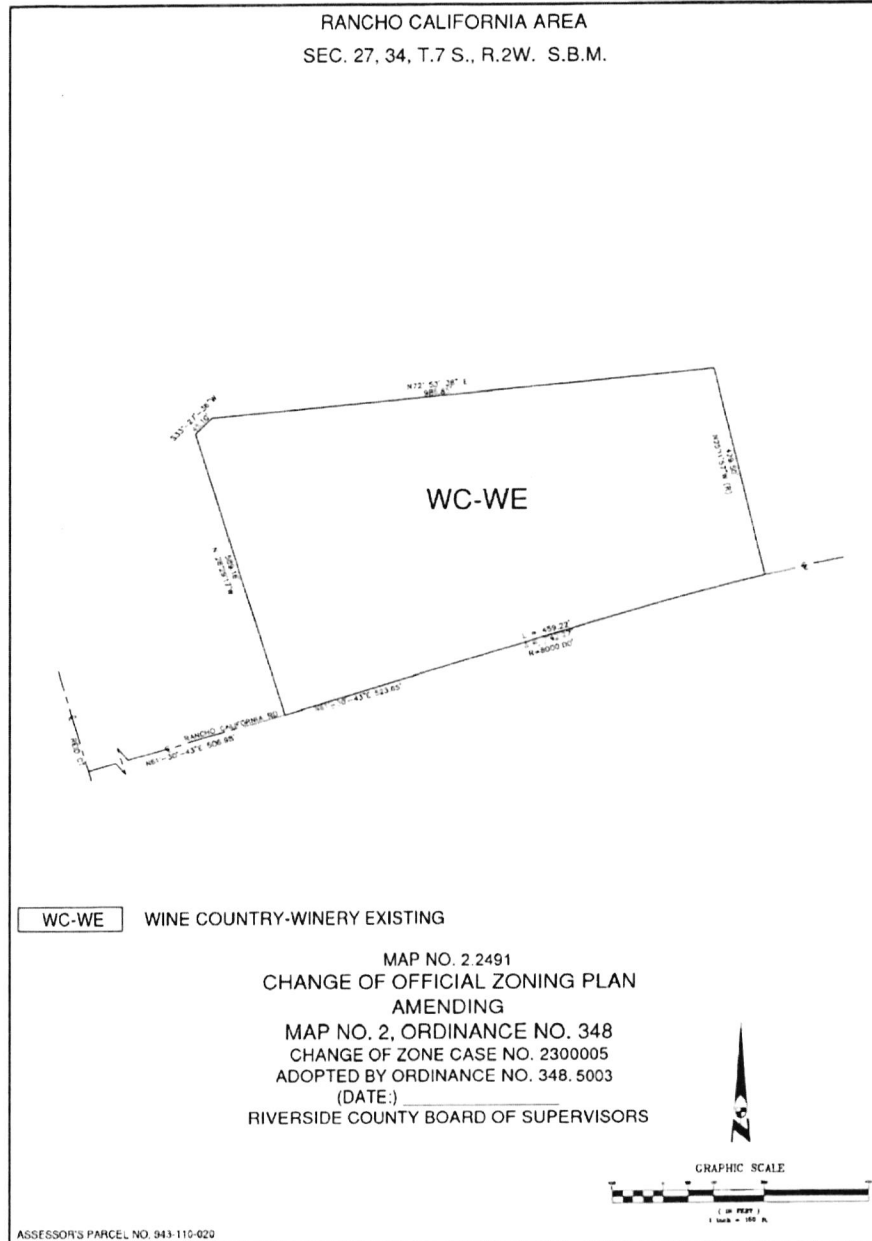
BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

ORDINANCE NO. 348.5003
AN ORDINANCE OF THE COUNTY OF RIVERSIDE
AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and official Zoning Plan Map No. 2, as amended, are further amended by placing in effect in the Rancho California Area, the zone or zones as shown on the map entitled "Change of Official Zoning Plan Amending Ordinance No. 348, Map No. 2.2491 Change of Zone Case No. 2300005" which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.



K. Jeffries, Chair of the Board

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on **October 31, 2023**, the foregoing Ordinance was adopted by said Board by the following vote:

AYES: Jeffries, Spiegel, Washington, Perez and Gutierrez
NAYS: None
ABSENT: None

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant
The Press-Enterprise
Published: 11/7/23



RIVERSIDE COUNTY PLANNING DEPARTMENT

REPORT OF ACTIONS

RIVERSIDE COUNTY PLANNING COMMISSION – September 20, 2023
COUNTY ADMINISTRATIVE CENTER

1st Floor, Board Chambers, 4080 Lemon Street, Riverside, CA 92501

1st District
Shade Awad

2nd District
Marissa Gruytch

3rd District
Gary Thornhill
Chair

4th District
Bill Sanchez
Vice-Chair

5th District
Romelio Ruiz

CALL TO ORDER: 9:00 a.m.

ROLL CALL: Members Present: Gruytch, Thornhill, Awad, and Ruiz
Members Absent: Sanchez

1.0 CONSENT CALENDAR:

1.1 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 37675** – Applicant: Perthus, c/o Arne SAP Living Trust, - Fourth Supervisorial District - Bermuda Dunes District - Western Coachella Valley Area Plan - Community Development: Light Industrial (CD:LI) -0.70 Acres - Zoning: Industrial Park (1-P) – Location: South of Interstate 10 and Country Club Drive, north of Bermuda Dunes Airport, east of Adams Street, and west of Jefferson Street – APN: 607-400-002 – Approved Project Description: Schedule “E: subdivision that will create a single parcel of 0.70 acres with five (5) commercial condominium units for Vehicle, Recreation Vehicle (R-V), and boat storage. The commercial condominium units vary between 1,125 to 1,660 square feet in area – **REQUEST:** First Extension of Time Request for Tentative Parcel Map No. 37675, extending the expiration date to August 19, 2026 – Project Planner: Joseluis Aparicio at (951) 955-6035 or email at jlaparicio@rivco.org.

APPROVED First Extension of Time Request for Tentative Parcel Map No. 37675, extending the expiration date to August 19, 2026.

1.2 **ADOPTION OF THE 2024 PLANNING COMMISSION CALENDAR**

ADOPTED The 2024 Planning Commission Calendar.

2.0 **GENERAL PLAN AMENDMENT INITIATION PROCEEDINGS:**
NONE

3.0 **PUBLIC HEARINGS – CONTINUED ITEMS:**
NONE

4.0 **PUBLIC HEARINGS – NEW ITEMS:**

4.1 **PLOT PLAN NO. 23819 REVISION NO. 1 and CZ23000005 – Exempt from the California Environmental Quality Act (CEQA)**, pursuant to State CEQA Guidelines Section 15301, Section 15303, & Section 15061(b)(3) – Applicant: Walt Allen Architects, c/o Chris Campbell - Representative/Engineer: Ventura Engineer, c/o Wilfredo Ventura – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture: Agriculture (AG:AG) – Location: North of Rancho California Road, east of La Serena, and west of Calle Contento Road – 10.18 acres – Current Zone: Citrus Vineyard (C/V) – Proposed Zone: Wine Country-Winery Existing (WC-WE) – **REQUEST:** Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 sq ft tasting room, 4,849 sq ft deck area,

Planning Commission Action:

Public Hearing: Closed

By a vote of 4-0, the Planning Commission recommends the Board of Supervisors take the following actions:

FIND The project EXEMPT from the California Environmental Quality Act (CEQA); and,

APPROVE Change of Zone No. 2300005; and,

APPROVE Plot Plan 23819 Revision No. 1.

PLANNING COMMISSION – REPORT OF ACTIONS – September 20, 2023

600 sq ft office space, 1,500 sq ft barrel room, 1,500 sq ft receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 sq ft barrel room into a commercial kitchen – APN 943-110-020 – Project Planner: Kathleen Mitchell at (951) 955-6836 or email at kmitchell@rivco.org

- 4.2 **CHANGE OF ZONE NO. 2000001** – Intent to Adopt a Negative Declaration – Applicant: Kok Development, Inc – Engineer/Representative: Arean Park – Location: Countywide – **REQUEST:** Change of Zone No. 2000001 is an amendment to Ordinance No. 348, Ordinance of the County of Riverside Providing for Land Use Planning and Zoning Regulations and Related Functions, Article XIX Advertising Regulations, Sections 19.2 and 19.4 regarding On-Site Advertising Structures and Signs. Change of Zone No. 2000001 will establish locations, development and operation standards, and a permitting process to allow for on-site digital signage. The intent of the digital signage is to provide information about onsite, associated businesses only and is not for general advertising. These changes apply to unincorporated areas of Riverside County. Project Planner: Rosana Franco at (951) 955-9549 or email at rofranco@rivco.org.

Planning Commission Action:
Public Hearing: Closed

By a vote of 4-0, the Planning Commission took the following actions:

CONTINUED item off calendar per staff request.

5.0 **WORKSHOPS:**
NONE

6.0 **PUBLIC COMMENTS:**
Public Comments received.

7.0 **DIRECTOR’S REPORT:**

8.0 **COMMISSIONER’S COMMENTS:**
ADJOURNMENT: 9:10



RIVERSIDE COUNTY PLANNING DEPARTMENT

MINUTE ORDER

RIVERSIDE COUNTY PLANNING COMMISSION – September 20, 2023

COUNTY ADMINISTRATIVE CENTER

1ST Floor, Board Chambers, 4080 Lemon Street, Riverside, CA 92501

I. AGENDA ITEM 4.1

PLOT PLAN NO. 23819 REVISION NO. 1 and CZ23000005 – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15301, Section 15303, & Section 15061(b)(3) – Applicant: Walt Allen Architects, c/o Chris Campbell - Representative/Engineer: Ventura Engineer, c/o Wilfredo Ventura – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture: Agriculture (AG:AG) – Location: North of Rancho California Road, east of La Serena, and west of Calle Contento Road – 10.18 acres – Current Zone: Citrus Vineyard (C/V) – Proposed Zone: Wine Country-Winery Existing (WC-WE).

II. PROJECT DESCRIPTION:

Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 sq ft tasting room, 4,849 sq ft deck area, 600 sq ft office space, 1,500 sq ft barrel room, 1,500 sq ft receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 sq ft barrel room into a commercial kitchen.

III. MEETING SUMMARY:

The following staff presented the subject proposal:
Kathleen Mitchell

No one spoke in favor, opposition, or neutral position.

IV. CONTROVERSIAL ISSUES:

None.

V. PLANNING COMMISSION ACTION:

Public Comments: Closed

Motion by Commissioner Thornhill, 2nd by Commissioner Ruiz

By a vote of 4-0 (Commissioner Sanchez absent), the Planning Commission recommends the Board of Supervisors take the following actions:

FIND The project EXEMPT from the California Environmental Quality Act (CEQA); and,

APPROVE Change of Zone No. 2300005; and,

APPROVE Plot Plan 23819 Revision No. 1.



**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.

4.1

(ID # 23055)

MEETING DATE:

Wednesday, September 20, 2023

SUBJECT: PLOT PLAN NO. 23819 REVISION NO. 1 and CZ2300005 – Exempt from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15301, Section 15303, & Section 15061(b)(3) – Applicant: Walt Allen Architects, c/o Chris Campbell - Representative/Engineer: Ventura Engineer, c/o Wilfredo Ventura – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Agriculture: Agriculture (AG:AG) – Location: North of Rancho California Road, east of La Serena, and west of Calle Contento Road – 10.18 acres – Current Zone: Citrus Vineyard (C/V) – Proposed Zone: Wine Country-Winery Existing (WC-WE) – REQUEST: Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 sq ft tasting room, 4,849 sq ft deck area, 600 sq ft office space, 1,500 sq ft barrel room, 1,500 sq ft receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 sq ft barrel room into a commercial kitchen – APN 943-110-020 – Project Planner: Kathleen Mitchell at (951) 955-6836 or email at kmitchell@rivco.org

PROPOSED PROJECT

Case Number(s):	PP23819R01 & CZ2300005
Environmental Type:	Exemption
Area Plan No.	Southwest
Zoning Area/District:	Rancho California Area
Supervisorial District:	Third District
Project Planner:	Kathleen Mitchell
Project APN(s):	943-110-020
Continued From:	

John Hildebrand
John Hildebrand, Planning Director 9/12/2023

PROJECT DESCRIPTION AND LOCATION

Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen.

Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within.

The above is hereinafter referred to in this staff report as the “Project.”

The Project is located within the Southwest Area Plan and is a part of the Temecula Valley Wine Country Policy Area – Winery District. The Project site is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road.

PROJECT RECOMMENDATION

STAFF RECOMMENDATIONS:

THAT THE PLANNING COMMISSION TAKE THE FOLLOWING ACTIONS:

FIND that the project is **EXEMPT** from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061(b)(3) (Common Sense), based on the findings and conclusions in this staff report; and,

APPROVE CHANGE OF ZONE NO. 2300005, to amend the zoning classification of the Project site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE) based upon the findings and conclusions incorporated in the staff report, pending final adoption of the Zoning Ordinance by the Board of Supervisors; and,

APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, subject to the attached Advisory Notification Document, Conditions of Approval, and based upon the findings and conclusions provided in this staff report, pending final adoption of the Zoning Ordinance by the Board of Supervisors.

PROJECT DATA

Land Use and Zoning:

Specific Plan: N/A

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

Specific Plan Land Use:	N/A
Existing General Plan Foundation Component:	Agriculture (AG)
Proposed General Plan Foundation Component:	N/A
Existing General Plan Land Use Designation:	Agriculture (AG)
Proposed General Plan Land Use Designation:	N/A
Policy / Overlay Area:	Temecula Valley Wine Country Policy Area – Winery District
Surrounding General Plan Land Uses	
North:	Agriculture (AG)
East:	Agriculture (AG)
South:	Agriculture (AG)
West:	Agriculture (AG)
Existing Zoning Classification:	Citrus Vineyard (C/V)
Proposed Zoning Classification:	Wine Country – Winery Existing (WC-WE)
Surrounding Zoning Classifications	
North:	Wine Country – Winery (WC-W)
East:	Wine Country – Winery (WC-W)
South:	Wine Country – Winery (WC-W) & Citrus Vineyard, 20 acre minimum (C/V-20)
West:	Citrus Vineyard (C/V)
Existing Use:	Winery
Surrounding Uses	
North:	Vacant
East:	Vacant
South:	Vacant & Winery
West:	Residential

Project Details:

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	10.18 acres	10 acres
Existing Building Area (SQFT):	12,440 sq.ft.	N/A

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Building Height (FT):	25'-3"	40 feet

Parking:

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
Restaurant, Serving Areas, & Tasting Area	2,605 sq.ft.	1 space/45 sq.ft.	58	74
Receiving & Barrel Room	2,056 sq.ft.	1 space/1,000 sq.ft.	2	
Offices	1,050 sq.ft.	1 space/200 sq.ft.	6	
Employees	8 employees	1 space /2 employees	4	
TOTAL:			70	74

Located Within:

City's Sphere of Influence:	No
Community Service Area ("CSA"):	Yes – 149 Wine Country
Special Flood Hazard Zone:	No
Agricultural Preserve:	No
Liquefaction Area:	No
Subsidence Area:	Yes – Susceptible
Fault Zone:	No
Fire Zone:	Yes – High, SRA
Mount Palomar Observatory Lighting Zone:	Yes – Zone B
WRCMSHCP Criteria Cell:	No
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	Yes – In or partially within
Airport Influence Area ("AIA"):	No

PROJECT BACKGROUND AND ANALYSIS

Background

Plot Plan No. 23819 was originally approved by the Planning Director at Director's Hearing on February 8, 2010, for the entitlement of an existing 6,595-foot winery, as well as for the additional construction of restrooms and a 5,530 square foot terrace patio with a trellis.

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

On September 7, 2022, the applicant, Walt Allen Architects, submitted Revision No. 1 to Plot Plan No. 23819 (PP23819R01) to the County of Riverside for consideration. The applicant is requesting to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. To facilitate this classification, the Project includes Change of Zone No. 2300005 (CZ2300005) to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within.

The Project scope also proposes minor modifications to convert the existing 1,500 square foot barrel room into a commercial kitchen. The barrel storage has been relocated to 27949 Diaz Road, Temecula, CA (APN 921-041-010), to a Vintner’s Vault facility. As this parcel is under the jurisdiction of the City of Temecula, this storage has been approved under permit B21-0712.

General Plan Consistency

The Project’s existing General Plan Land Use Designation is Agriculture. This designation has been established to help conserve productive agricultural lands within the county, which includes row crops, nurseries, citrus groves and vineyards, dairies, ranches, poultry and hog farms, and other agricultural related uses. In addition, the Project site is located within the Temecula Valley Wine Country – Winery District Policy Area of the Southwest Area Plan. The primary purpose of the Winery District is to promote the establishment of additional commercial activities that support tourism while ensuring long-term viability of the wine industry. The utilization of the Project site for purposes of developing a winery with corresponding amenities is compliant with the standards set for the General Plan and the Policy Area, which is further detailed in the Land Use Findings below.

Ordinance No. 348 Consistency

The current zone classification for the property is Citrus Vineyard (C-V). The Project is proposing CZ2300005 to the County of Riverside for consideration to change the subject site’s current zone classification to Wine Country-Winery Existing (WC-WE). The change of zone proposal would accommodate the various specifications desired for the winery, as well as bring the subject site into consistency with the Temecula Valley Wine Country Policy Area – Winery District. With approval of the change of zone, the proposed Project would be subject to the development standards outlined in Article XIVd Section 14.95 (Development Standards) of Ordinance No. 348. Staff has reviewed the project and has determined that the Project is

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

compliant with the applicable development standards of the WC-WE zone classification, which is further detailed in the Development Standards Findings below

ENVIRONMENTAL REVIEW / ENVIRONMENTAL FINDINGS

This proposed Project is exempt from California Environmental Quality Act (CEQA) pursuant to Article 5 - Preliminary Review of Projects and Conduct of Initial Study, Section 15061, which states: Once a lead agency has determined that an activity is a project subject to CEQA, a lead agency shall determine whether the project is exempt from CEQA. The Project is a minor modification to an existing, operational winery, and does not propose additional grading or construction in the Project scope.

The Project is exempt pursuant to Article 19, Section 15301 (Existing Facilities), which states: Class I consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The existing site has historically been utilized as a winery. The proposed alterations are interior modifications to an existing structure and would not significantly expand the capability of the site beyond what already exists. The Project, as proposed, does not seek to expand the existing structure, nor does it propose any significant construction or grading to the Project site. As such, the Project falls within the standards for Class I since the scope proposes only minor alterations to an existing winery that does not significantly expand the operations of the existing use. Thus, the Project is in compliance with the guidelines of Article 19, Section 15301 Class 1, Existing Facilities.

Furthermore, this Project is exempt pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). This section exempts construction and location of new, small facilities or structures; and the conversion of existing small structures for one use or another where only minor modifications are made to the exterior of the structure. The Project proposes minor interior modifications to the existing barrel storage room, as previously described, and does not propose the construction of any new structures. Therefore, the Project falls within the standards of this exemption as the Project scope seeks to convert an existing small structure for a new, permissible use per the zone. Thus, the Project is in compliance with the guidelines of Article 19, Section 15303, New Construction or Conversion of Small Structures.

In addition, the Project will not result in any specific or general exceptions to the use of the categorical exemptions as detailed under State CEQA Guidelines Section 15300.2. The Project would not lead to cumulative impacts that overtime would be significant since the winery operations have already been evaluated to be permissible for the scope of the area it is located within. The Project does not propose any new grading or construction as no significant

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
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expansions or alterations to the structure or the site are proposed. Therefore, the Project would not create a greater level of potential impacts beyond what already exists, and all future projects that are similar to or are located within the same area will be evaluated pursuant to CEQA. The Project's proposal to install a kitchen to establish food service does not qualify as an unusual circumstance since this is a permitted use pursuant to the applicable sections of the General Plan and Ordinance No. 348. As such, the Project has been conditioned to comply with all applicable General Plan policies, County Ordinances, and State law for the proposed use, and has also been conditioned to maintain any applicable permits from the Riverside County Departments throughout the duration of its operations. The Project site is not located near significant historical or cultural resources, and it is not located adjacent to a roadway classified as a State Scenic, eligible State Scenic, or County Eligible Scenic Highway. Therefore, no foreseeable specific or general exceptions to the use of the categorical exemptions would result with approval of this Project.

The Project is also exempt under State CEQA Guidelines Section 15061 (b)(3), which states: The activity is covered by the commonsense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The proposed Project will continue to operate as a commercial winery similar to the activity that has historically been present on-site. Given that the site has already been developed for this use, and the Project only proposes minor interior modifications, no significant construction impacts would occur. As the land is already developed, there are no potential impacts related to aesthetics, biological and cultural resources, hydrology, or other similar potential impacts. Therefore, the Project meets the requirements for CEQA exemption per Section 15061(b)(3) as there is no potential that the Project would have a significant physical impact on the environment.

Based on these findings, the Project, as proposed, complies with the guidelines of the California Environmental Quality Act Article 19, Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061(b)(3) (Common Sense Exemption). Therefore, the Project is exempt.

FINDINGS AND CONCLUSIONS

In order for the County to approve the proposed project, the following findings are required to be made:

Land Use Findings:

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1. The Project site has a General Plan Foundational Component of Agriculture (AG) and a Land Use Designation of Agriculture (AG). The Agriculture designation was established to help conserve productive agricultural lands within the county; including but not limited to row crops, nurseries, citrus groves and vineyards, dairies, ranches, poultry and hog farms, and other agricultural related uses. The Project would maintain the required vineyard planting per the requirements of the land use and zone, so it will remain in conformance with the Agriculture land use designation. The Project is also located in the Temecula Valley Wine Country Policy Area – Winery District of the Southwest Area Plan. This Policy Area promotes the establishment of additional commercial activities that support tourism and long-term viability of the wine industry. The proposed addition of a kitchen and food-service operation to the existing winery would support this intent. For these reasons, and those previously discussed, the proposed Project would be in compliance.

2. Subject to the approval of Change of Zone No. 2300005, the Project site would have a zoning classification of WC-WE, which is highly consistent with the Riverside County General Plan Land Use Designation of AG. The proposed Project, as designed and conditioned, complies with the applicable standards identified in Section 14.95 (WC-WE Development Standards) of Ordinance No. 348, as further discussed in the Development Standards section below.

3. The Project site is bordered by properties that are being utilized for purposes that are compatible with the proposed Project's use. The subject property is currently located within the Winery District of the Temecula Valley Wine Country Policy Area, and, as such, it is surrounded by other existing wineries along Rancho California Road. It is compatible with the surrounding wineries and residential properties through its comparable landscaping, topography, roadway setbacks, and location on the property. The winery is existing, and no new structures are being constructed as part of the scope of this Project. The Project consists of the conversion of the existing 1,500 square foot barrel room into a commercial kitchen.

Entitlement Findings

Change of Zone Findings

Change of Zone No. 2300005 is a proposal to change the Project site's Zoning Classification from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE) and is subject to the following findings:

1. The current C/V zoning is in conflict with the Temecula Valley Wine Country Policy Area – Winery District of the Southwest Area Plan, which the site is subject to. The proposed

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Change of Zone to the WC-WE zone would correct prior inaccuracies, more accurately reflect the site's intended use, and improve compliance with both the General Plan and Policy Area. In addition, the WC-WE zone is highly consistent with an Agriculture (AG) land use designation. Therefore, approval would not conflict with the Riverside County Vision or the Planning Principles set forth in General Plan or the Policy Area.

Plot Plan Findings

The following findings shall be made prior to making a recommendation to grant a Plot Plan, pursuant to the provisions of the Riverside County Zoning Ordinance 348 (Land Use)

1. *The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County.* The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The General Plan Land Use Designation of Agriculture (AG) was established to help conserve productive agricultural lands within the County. These include crops, citrus groves, vineyards, and other related agricultural related uses. All entitled wineries within the Temecula Valley Wine Country Policy Area and the Zoning Classification of Wine Country-Winery Existing (WC-WE) are required to plant and maintain a vineyard. Thus, the productive agriculture land on the subject site would be maintained and utilized for agricultural purposes. In addition, the primary intent of the Wine Country Policy Area of the Southwest Area Plan is to promote the establishment of additional commercial activities that support tourism while ensuring long-term viability of the wine industry. The inclusion of a kitchen and restaurant service area is a permitted incidental commercial use in this Policy Area (SWAP 1.6 & SWAP 1.11) and would allow the Project to promote tourist related activities for the wine industry (SWAP 1.9). As the winery is already existing, the Policy Area also indicates that wineries adopted prior to March 11, 2014, should be permitted to expand per the WC-WE (SWAP 1.10). For these reasons, and those additionally discussed in the findings below, the proposed Project is consistent with the objectives, policies, general land uses, and programs of the General Plan.

2. *The overall development of the land shall be designed for the protection of the public health, safety, and general welfare.* The applicant is requesting to make modifications to an existing winery, and the modifications requested through this entitlement are to existing structures. So, no additional grading or construction is proposed. The addition of a kitchen would not foreseeably increase impacts to the neighboring properties that don't otherwise already exist. Potential traffic, noise, and parking impacts were evaluated and found to be negligible due to the siting and size of the service areas. In addition, the Project has been reviewed by the Development Advisory Committee, which is made up of various departments within the

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County. These include, but are not limited to, Transportation, Fire, Environmental Health, Biology, Cultural, and Grading. These departments provide comments and corrections until they have found that their standards have been met, at which point conditions of approval were added to the Project. These conditions are to be addressed prior to permit issuance and final, ensuring that the Project does not adversely impact public health, safety, and general welfare. For these reasons, the proposed Project would be in compliance.

4. *The proposed use conforms to the logical development of the land and to be compatible with the present and future logical development of the surrounding property.* The subject property is currently located within the Winery District of the Temecula Valley Wine Country Policy Area, and, as such, it is surrounded by other existing wineries along Rancho California Road. It is compatible with the surrounding wineries and residential properties through its comparable landscaping, topography, roadway setbacks, and location on the property. The winery is existing, and no new structures are being constructed as part of the scope of this Project. The Project consists of the conversion of the existing 1,500 square foot barrel room into a commercial kitchen. This is a permitted use for a winery within the WC-WE zone classification. For these reasons, the proposed Project would be in compliance.
3. *That plan for the proposed use shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof.* The Project would continue to take its access from Rancho California Road, and there are no proposed alterations to the existing street improvements along this roadway. In addition, the Project was reviewed and approved by Transportation, Fire, and Grading in relation to street improvements, access, traffic, drainage, and on-site circulation. The Project has been conditioned to ensure compliance with these Departments' standards and, thus, the proposed Project would be in compliance.
4. The proposed uses are consistent with Ordinance No. 348, in particular with the permitted uses and development standards of the Wine Country – Winery Existing (WC-WE) zone as detailed in the following Development Standards Findings section. The Project consists of the addition of a commercial kitchen, which is a permitted use for a Class III Winery within the WC-WE zone classification. For these reasons, the proposed Project would be in compliance.
5. *All plot plans which permit the construction of more than one structure on a single legally divided parcel shall, in addition to all other requirements, be subject to a condition which prohibits the sale of any existing or subsequently constructed structures on the parcel until*

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the parcel is divided and a final map recorded in accordance with Ordinance No. 460 in such a manner that each building is located on a separate legally divided parcel. The current property acreage and vineyard planting area are required to satisfy the requirements for a Class III Winery. The property could not be subdivided as subdividing it would nullify compliance with the Class III Winery Ordinance standards.

Development Standards Findings

The following standards shall apply to all uses and development in the WC-WE Zones, per Ordinance No. 348

General Standards

1. **Lot Size.** *The minimum lot size for subdivisions shall be ten (10) gross acres. On flag lots, the minimum lot size shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.* The Project scope does not propose a subdivision. Therefore, this standard is not applicable. However, the subject site is 10.18 gross acres, which meets the minimum lot size for a winery of this classification.
2. **Lot Width.** *Lots shall have a minimum average width of two hundred feet (200').* The lot width is approximately 986 feet, which exceeds the minimum standard. Therefore, the Project is in compliance.
3. **Lot Depth.** *The minimum average lot depth shall be two hundred feet (100').* The approximate depth of the subject site is approximately 534 feet, which exceeds the minimum lot depth requirement. Therefore, the Project is in compliance.
4. **Setbacks.**
 - a. *The minimum road right of way setback for buildings and structures shall be fifty feet (50'), except when the site is located next to Rancho California Road where the minimum road right of way setback shall be one hundred feet (100').* The southern end of the subject site is along Rancho California Road, so the 100-foot minimum will apply. Per the proposed site plan, there would be an approximately 414-foot setback from the closest building to the right of way of this road. Thus, the Project would be in compliance with this standard.
 - b. *The minimum side setback for buildings and structures shall be thirty feet (30') from the property line.* Per the site plan, there would be an approximately 51-foot setback from the closest building to the west side of the subject site, and an

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approximately 883-foot setback from the nearest building to the property line on the east side of the subject site. Both side yard setbacks, as proposed, would exceed the thirty-foot minimum side setback. Thus, the Project would be in compliance with this standard.

- c. *The minimum rear setback for buildings and structures shall be thirty feet (30') from the property line.* Per the proposed site plan, there would be an approximately 38-foot setback from the closest building to the rear property line, which exceeds the 30-foot minimum. Thus, the Project would be in compliance with this standard.
 - d. *The minimum road right of way setback for permanent buildings and structures used in conjunction with drying, processing, and packing operations shall be fifty feet (50'), except when the site is located next to Rancho California Road where the minimum setback requirement shall be one hundred feet (100').* The southern end of the subject site is along Rancho California Road, so the 100-foot minimum will apply. Per the proposed site plan, the closest building being utilized for drying, processing, and packing operations would be over 400 feet from the right of way of this road. Thus, the Project would be in compliance with this standard.
 - e. *The minimum road right of way setback for all winery buildings and structures shall be fifty feet (50'), except when the site is located next to Rancho California Road, where the minimum setback requirement shall be one hundred feet (100').* The southern end of the subject site is along Rancho California Road, so the 100-foot minimum will apply. Per the proposed site plan, there would be an approximately 414-foot setback from the closest building to the right of way of this road. Thus, the Project would be in compliance with this standard
5. **Habitable Stories.** *The number of habitable stories above a building's lowest above ground finished floor shall not exceed two (2).* The existing wine tasting building is the only two-story structure on-site, and no new structures are proposed within this Project's scope. Therefore, this standard has been met.
6. **Height.**
- a. *The maximum height for a building shall not exceed forty feet (40'). Architectural elements such as spires, minarets, chimneys, or similar structures may exceed the prescribed height limits where such structures do not provide additional floor space.* The winery building stands at approximately 25 feet, which is below the 40-foot maximum. So, the proposed Project would be in compliance.

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- b. *The maximum height for a structure shall not exceed fifty feet (50') unless a greater height is approved pursuant to Section 18.34 of this ordinance. In no event, however, shall a structure exceed seventy-five feet (75') in height, unless a variance is approved pursuant to Section 18.27 of this ordinance.* The winery building stands at approximately 25 feet, which is below the 50-foot maximum. Thus, the proposed Project would be in compliance.
7. **Noise.** *Site layouts and building designs shall minimize noise impacts on surrounding properties and comply with Ordinance No. 847.* The applicant is requesting to make modifications to an existing winery, and the modifications requested through this entitlement are to existing structures. So, no additional grading or construction is proposed. The addition of a kitchen would not foreseeably increase impacts to the neighboring properties that don't otherwise already exist. Potential noise impacts were evaluated and found to be negligible due to the siting and size of the service areas. For these reasons, the proposed Project would be in compliance.
8. *Drainage channels shall be constructed to avoid undermining or eroding the roadbed.* No drainage channels are proposed for this Project as this is an existing winery and such channels have already been constructed. In addition, existing on-site drainage patterns would not be impacted as no new grading or construction is proposed. For this reason, the proposed Project would be in compliance.
9. *Curbs, gutters, and streetlights shall be constructed in accordance with Temecula Valley Wine Country Design Guidelines.* No roadway improvements, such as curbs, gutters, and streetlights, are proposed for this Project as this is an existing winery and such improvements are already constructed. The existing improvements would be required to continue to be maintained. For this reason, the proposed Project would be in compliance.
10. *Site layout and design shall be consistent with existing and planned recreational trails and bike paths set forth in the Riverside County General Plan and the Temecula Valley Wine Country Design Guidelines.* As this is an existing winery, a 12-foot trail easement is already dedicated at the frontage of the subject site along Rancho California Road. For this reason, the proposed Project would be in compliance.
11. *All utilities shall be installed underground except electrical lines rated at 33kV or greater which may be installed above ground.* The Project has been conditioned to meet these standards (90-Planning. 12) Thus, the proposed Project would be in compliance.

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12. *All exterior lighting shall comply with applicable requirements of Ordinance Nos. 655 and 915. All exterior lighting, including spotlights, floodlights, electric reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas, shall be focused, directed, and arranged to prevent glare and direct illumination of streets or adjoining properties. All lighting for the proposed Project is shielded and directed down towards the ground so as not to illuminate into either Rancho California Road or the neighboring properties. In addition, the Project has been conditioned to meet this standard (AND Planning 11. & 14; 80-Planning. 6).*
13. *On-site advertising signs shall be consistent with Temecula Valley Wine Country Design Guidelines and comply with all applicable County signage requirements. The existing monument wall that stands at the entrance to the site, as well as the mounted signage on the existing structure, have already been evaluated against design guidelines and permitted for installation. Thus, the proposed Project is in compliance.*
14. *All residential developments shall record a Right-to-Farm covenant, pursuant to Ordinance No. 625 to protect the vineyard uses from residential encroachment and conflicting land uses. There are no new residential dwellings proposed for the Project and, as such, this specification does not apply to the Project.*

Winery Standards

In addition to the General Standards, the following standards shall apply to all wineries in the WC-W zone:

1. *A total of seventy-five percent (75%) of the net project area shall be planted in vineyards prior to issuance of certificate of occupancy or final inspection, whichever occurs first. Fifty percent (50%) of the vineyard requirement shall be planted prior to issuance of building permit for the winery. To achieve the seventy-five percent (75%) requirement, fifteen percent (15%) of the net project area may include the planting of olive trees and the remaining sixty percent (60%) of the net project area shall be planted in vineyards. The seventy-five percent (75%) planting requirement shall not include water features, natural or manmade lakes or the planting of grapevines in parking lots but may include planting in the road right of way as may be approved by the Director of Transportation or his designee. The subject site is already being utilized for wine production, and the proposed Project would not alter the current on-site planting. As such, the Project would meet this standard with 7.82 acres, or 76.8 percent (%), of the net acres planted in vineyards. A condition will be satisfied by a field inspection prior to a building permit's issuance and/or final to verify, and a condition has also been added requiring maintenance of this planting for the life of the permit (Advisory Notification. 7; AND Planning. 21 & 26; 80-Planning. 11; 90-Planning. 13). There are no*

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water features, natural or manmade lakes, or planting of grapevines in the parking lot(s) for the Project. No vineyard planting is within the road right of way. The Project, therefore, would be compliant with this standard.

2. *Vineyards used to meet the above planting requirement shall have a minimum average density of 450 vines per acre. Olive trees used to meet the above planting requirement shall have a minimum average density of 100 olive trees per acre. The vineyards or olive trees planted will be maintained for the life of the permit.* The subject site is already being utilized for wine production, and the proposed Project would not alter the current on-site planting. As such, the Project would meet these average density requirements per the existing site condition, and a condition will be satisfied by a field inspection prior to a building permit's issuance and/or final to verify (Advisory Notification. 7). The Project, therefore, would be compliant with this standard.
3. *No amplified sound shall be permitted outdoors unless an exception to Ordinance No. 847 has been applied for and approved.* The Project, as proposed, would not have use of outdoor amplified noise at any time on-site. In addition, the Project has been conditioned to ensure that no amplified noise is used during the operation of the winery (AND-Planning. 6 & 32). For these reasons, the proposed Project would be in compliance.
4. *Prior to obtaining a Certificate of Occupancy, a winery operator shall obtain all applicable permits or licenses required by the California Department of Beverage Control. A condition of approval for ABC licensing is required to be satisfied to meet this requirement (90-Planning. 15).* The Project, therefore, would be compliant with this standard.
5. *A minimum of seventy-five percent (75%) of the grapes utilized in wine production and retail wine sales shall be grown in Riverside County, except during the following: (a) When the Board of Supervisors declares an Agricultural Emergency for the Temecula Valley Wine Country Area. The declaration shall be for a specific period of time and any winery within the Temecula Valley Wine Country Area Policy Area may take advantage of the exemption. The first two years from the plot plan's or conditional use permit's effective date; (b) The first two years from the plot plan's or conditional use permit's effective date.* The 1,051 square foot receiving room and 1,500 square foot production room are to remain to facilitate the continued production of wine on-site for retail sales. The barrel storage has, however, been relocated since the new proposed kitchen is to be placed in this area. The storage has been relocated to 27949 Diaz Road, Temecula, CA (APN 921-041-010) to a Vintner's Vault facility. As this parcel is under the jurisdiction of the City of Temecula, this storage has been approved under permit B21-0712. Wine will be transported to and from the site to this storage facility, as needed, for winery operations. The Project has also been conditioned to meet this standard (Advisory Notification. 7); therefore, it is compliant.

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6. *For winery entitlements and revised entitlements approved after the effective date of Ordinance No. 348.4818, at least fifty percent (50%) of the wine sold by a winery shall be produced on the winery site. This development standard does not apply to wineries approved and operating under an existing valid entitlement before the effective date of Ordinance No. 348.4818. Any change or expansion by these wineries requiring a revised entitlement shall be consistent with this development standard.* As this is an existing winery, the applicant has indicated that a minimum of 50% of the wine sold on-site has been produced utilizing the vineyards' grapes. The Project has also been conditioned to continue to meet this standard (Advisory Notification. 7); therefore, it is compliant.
7. *Class II, III and IV Wineries shall be at least fifteen hundred (1,500) square feet in size and shall produce at least three thousand five hundred (3,500) gallons of wine annually as determined by the County Agricultural Commissioner.* The Project is a Class III winery, and the existing structures on-site comprise of 12,440 square feet of production and operations space. The applicant has indicated that a minimum of 3,500 gallons of the wine is produced annually. The Project has also been conditioned to continue to meet this standard (Advisory Notification. 7); therefore, it is compliant.
8. *Prior to the issuance of a building permit and prior to a certificate of occupancy for any incidental commercial use, the winery shall be constructed and operational.* The subject site is already improved with an operational winery, and no additional buildings are proposed to be constructed. The Project has also been conditioned to meet this standard (Advisory Notification. 7); therefore, it is compliance.
9. *Buildings and structures shall be designed in a rural, equestrian, or wine country theme consistent with the Temecula Valley Wine Country Design Guidelines.* The subject site is already improved with an operational winery that was reviewed against the Wine Country Design Guidelines and was found to be in compliance. No additional buildings are proposed to be constructed. The Project, therefore, would be compliant with this standard.
10. *Automobile parking spaces shall comply with Section 18.12 of Ordinance No. 348 and shall be consistent with the rural standards of Temecula Valley Wine Country Policy Area of the Riverside County General Plan and the Temecula Valley Wine Country Design Guidelines.* With parking standards for the existing and proposed uses on-site, the Project would be required to have 70 parking spaces to service operations. The Project would have 74 standard parking spaces, including 4 ADA parking spaces, to service the winery during operations. The Project, therefore, would be compliant with this standard.

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11. *Loading, trash, and service areas shall be screened by structures or landscaping and shall be located and designed in such a manner as to minimize noise and odor impacts to adjacent properties.* The site is already improved with an existing trash enclosure that is screened from view. The Project, therefore, would be compliant with this standard.
12. *Outside storage areas and the material therein shall be screened with structures or landscaping.* The Project does not propose outside storage areas for materials, so this standard is not applicable.
13. *All roof mounted mechanical equipment shall be screened from the ground elevation view to minimum sight distance of thirteen hundred twenty feet (1,320').* The Project does not propose roof mounted equipment on any of the structures, so this standard is not applicable

Other Findings

1. The Project site is not located within a Criteria Cell of the Multi-Species Habitat Conservation Plan nor the Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
2. As this is a CEQA Exempt Project, Assembly Bill 52 (AB52) notices and review were not required.
3. The Project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
4. The Project site is located within, or partially within, the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan (SKRHCP). However, the subject site is already improved with an existing winery, and there is no proposed grading or construction. Therefore, no additional fees are required for SKR.
5. The Project site is not located within any City's Sphere of Influence. Therefore, there is no requirement to request any comments on the Project from a City during development review.
6. The Project site is not located within an Airport Influence Area (AIA) boundary and is, therefore, not subject to the Airport Land Use Commission (ALUC) review.

Fire Findings

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The Project site is located within a Cal Fire State Responsibility Area (SRA) and is also located within a high hazard severity zone.

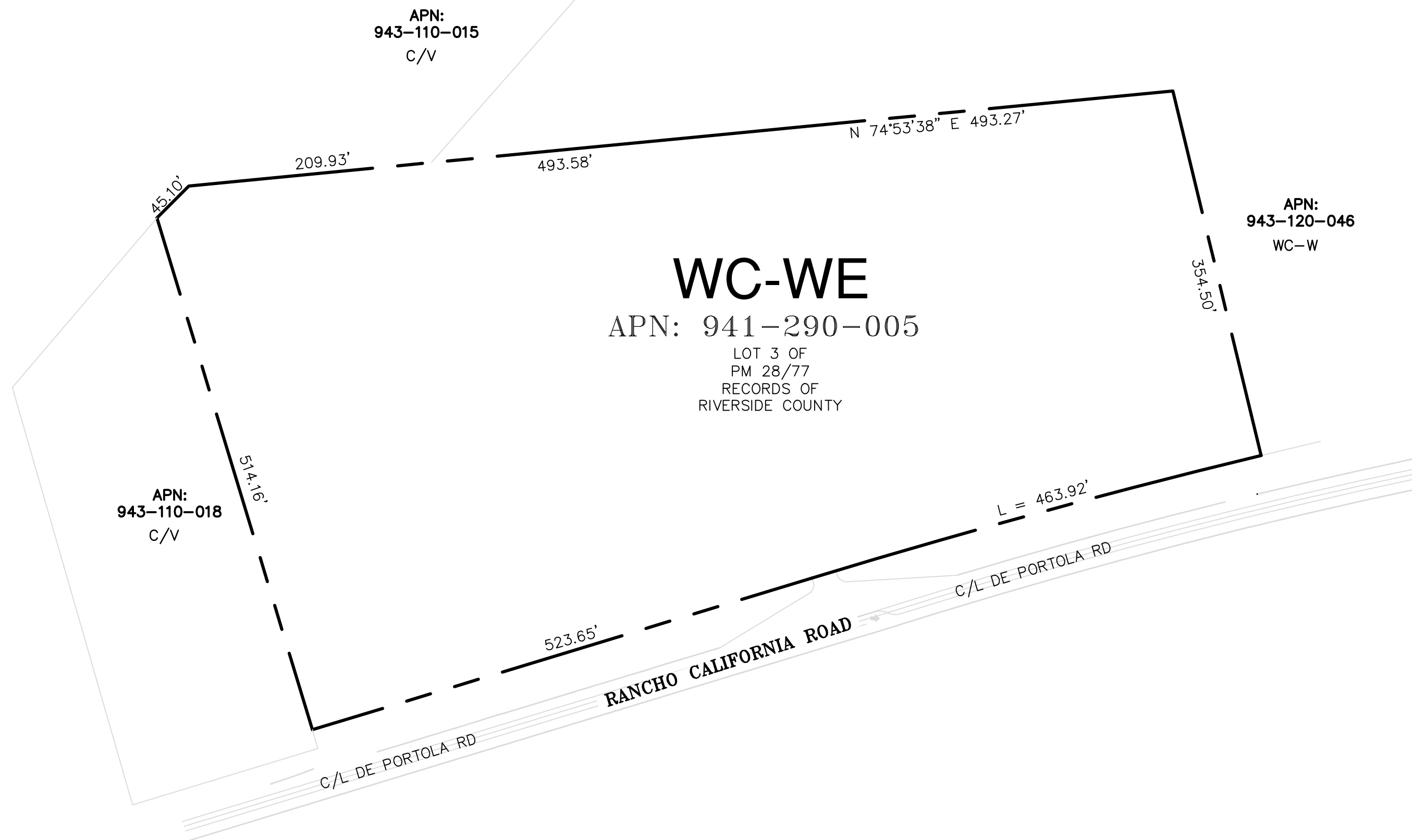
1. This use has been designed so it is in compliance sections 4290 and 4291 of the Public Resources Code by providing a defensible space within each lot of 100 feet from each side, front and rear of a pad site, requiring that the site have fuel modification standards acceptable to the Riverside County Fire Department, requiring a minimum 10-foot clearance of all chimneys or stovetop exhaust pipes, no buildings shall covered or have dead brush overhang the roof line and requiring that the roof structure shall be maintained free of leaves, needles, or other vegetation. The Project is not a subdivision, but it has been conditioned by the Riverside County Fire Department regarding hazards and public safety.
2. Fire protection and suppression services will be available for the Project through Riverside County Fire Department. The Project is closest to the Riverside County Fire Department Station 95 located approximately 3 miles northwest of the Project site at 32131 South Loop Ranch, Temecula, CA 92591. Thus, the Project site is adequately served by fire protection services under existing conditions.
3. The project meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code and Riverside County Ordinance No. 787 by conditions of approval imposed by the Riverside County Fire Departments review of the proposed project.

Conclusion

For the reasons discussed above, the proposed Project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed Project would not be detrimental to the health, safety, or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH

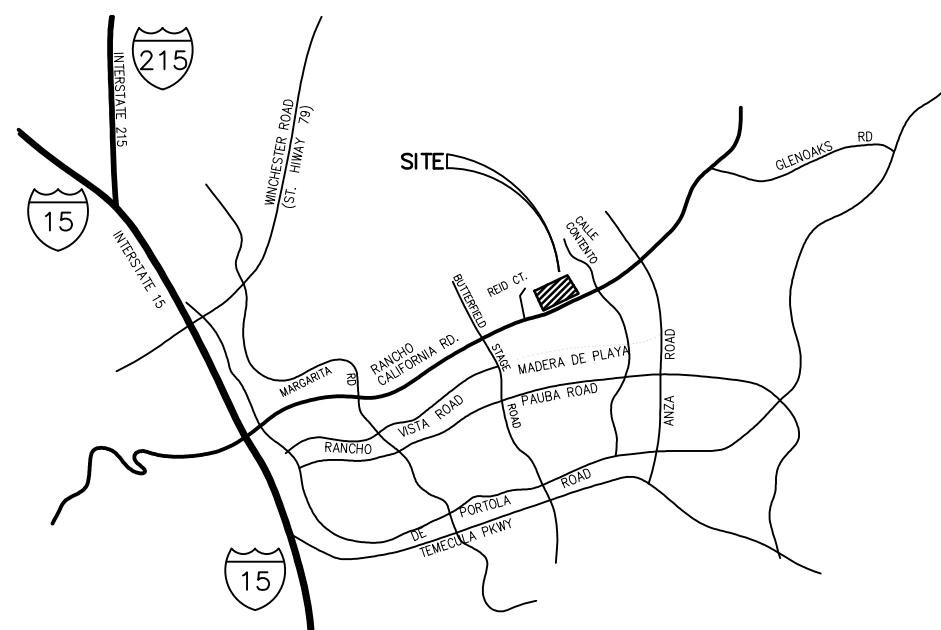
This Project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 1,400 feet of the Project site. As of the writing of this report, Planning Staff has not received written communication or phone calls indicating support or opposition to the proposed Project.



MAP NO.
CHANGE OF OFFICIAL ZONING PLAN
 AMENDING

MAP NO. 2, ORDINANCE NO. 348
 CHANGE OF ZONE CASE NO.
 ADOPTED BY ORDINANCE NO.

DATED:
 RIVERSIDE COUNTY BOARD OF SUPERVISORS



VICINITY MAP
 NTS

OWNER/APPLICANT

MIRAMONTE WINERY
 33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591
 (951)506-5500
 CANE VANDERHOOF

PREPARED BY

WALT ALLEN, RQTEX
 28465 OLD TOWN FRONT ST. STE. 201
 TEMECULA, CA 92590
 (951)693-0301

DATE PREPARED

JUNE 2019

ASSESSOR'S PARCEL NUMBER

943-110-020

LEGAL DESCRIPTION

LOT 3 OF RS

SITE AREA

10.18 ACRES GROSS

SITE ADDRESS

33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

ZONING/LAND USE

EXISTING ZONING: C/V,
 EXISTING LAND USE: CITRUS/VINEYARD,
 PROPOSED ZONING: WC-WE
 PROPOSED LAND USE: WINE COUNTRY-WINERY EXISTING

UTILITIES

WATER: RANCHO CALIFORNIA WATER DISTRICT
 SEWER: EASTERN MUNICIPAL WATER DISTRICT
 GAS: PROPANE
 ELECTRIC: SOUTHERN CALIFORNIA EDISON
 SCHOOL DISTRICT: TEMECULA VALLEY UNIFIED



GRAPHIC SCALE



(IN FEET)
 1 inch = 150 ft.

WC-WE

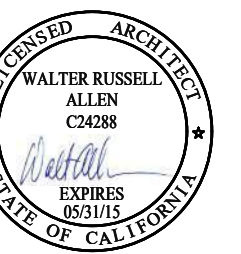
WINE COUNTRY-WINERY EXISTING

Miramonte Kitchen

33410 Rancho California Road TEMECULA, CA 92591

REFER TO
Plot Plan No. 23819

Old Town Temecula
rtex
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 985-0301



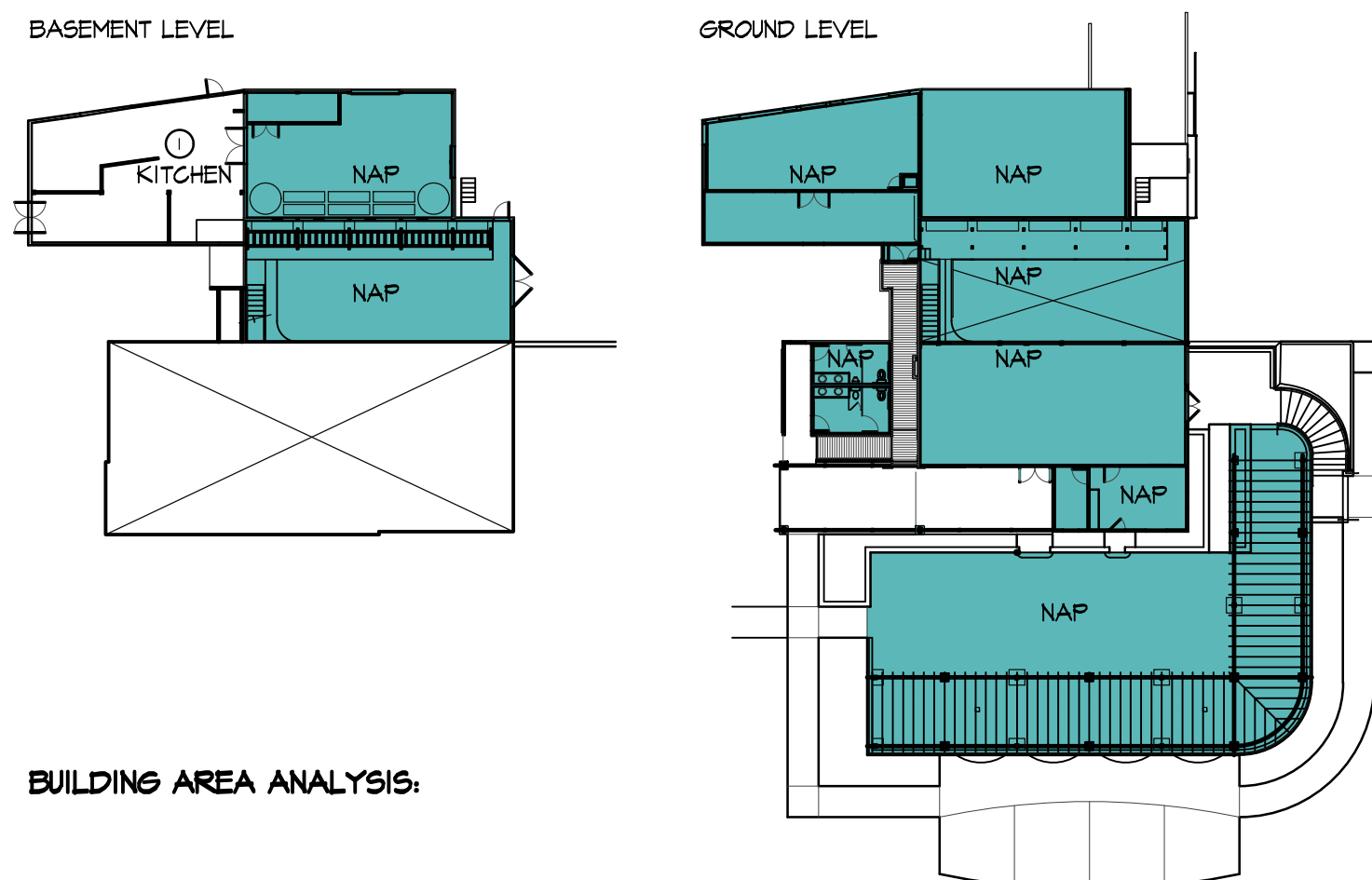
Designed: [bcj]
Drawn By: [bcj]
Checked: [wfg]
Date: 11/2/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number: Permit Number

CODE CALCULATIONS



BUILDING NAME	AREA (S.F.)
(E) COVERED PORCH	344 S.F.
(E) RECEIVING ROOM	1051 S.F.
(E) BARREL ROOM/MEZZANINE	1500 S.F.
(E) TASTING ROOM	1,233 S.F.
(E) KITCHEN PREP	462 S.F.
(E) OFFICE	604 S.F.
(E) OFFICE	332 S.F.
(N) KITCHEN	1,071 S.F.
(E) COVERED PORCH WALKWAY	106 S.F.
(E) RESTROOMS	283 S.F.
(E) TRELLIS DECK	1,790 S.F.
(E) OPEN DECK	3,054 S.F.
TOTAL EXISTING AREA	12,440 S.F.

OCCUPANT LOAD CALCULATIONS: FOR EXITING REQUIREMENTS

OCCUPANCY DESIGNATION	ROOM USE DESIGNATION	GROSS AREA (Usable)	OCCUPANT LOAD FACTOR	MAX. TOTAL OCCUPANT LOAD
KITCHEN				
F-2	(E) BARREL RM #2	1,071 S.F.	1/500	3
A-2	(N) KITCHEN	1,071 S.F.	1/15	72
TOTAL				1,071 S.F.
BASEMENT LEVEL				
F-2	(E) BARREL RM #1	1,194 S.F.	1/500	3
S-2	(E) RECEIVING	946 S.F.	1/500	2
A-2	(N) KITCHEN	1,071 S.F.	1/15	72
TOTAL				1,071 S.F.
GROUND LEVEL				
B	(E) OFFICES	604 S.F.	1/100	11
B	(E) OFFICES	462 S.F.	1/100	4
A-2	(E) TASTING	1,233 S.F.	1/15	43
A-2	(E) KITCHEN PREP	332 S.F.	1/100	2
TOTAL				5,902 S.F.
TOTAL: 1B1 OCCUPANTS				60 OCCUPANTS
TWO EXITS REQUIRED				THREE EXITS PROVIDED

BUILDING USE	(N) OCCUPANCY TYPE	CONSTRUCTION TYPE	ALLOWABLE AREA	ACTUAL AREA
KITCHEN	A-2	V B	24,000 S.F.	1071 S.F. ✓
	A-2	V B	24,000 S.F.*	1071 S.F. ✓

* ALLOWABLE AREA PER FLOOR

BUILDING AREA ANALYSIS:

- NOTE:**
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY
 - PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY

- ACCESSORY AREAS (STAIRWAY ENCLOSURE, CIRCULATION SPACES, RESTROOMS) EXCLUDED PER 2019 CPC TABLE A - OCCUPANT LOAD FACTOR CPC TABLE 4.2.21, NOTES 3. THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER
 - A. THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR
 - B. IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE
- REQUIRED TOILET FACILITIES FOR EMPLOYEES AND CUSTOMERS ARE WITHIN 500 FEET.

GENERAL NOTES

ABBREVIATIONS

- PRIOR TO FINAL INSPECTION A "CERTIFICATE OF CONSTRUCTION COMPLIANCE" SHALL BE MADE READY FOR THE INSPECTOR. THE CERTIFICATE SHALL STATE THAT "BASED UPON PERSONAL KNOWLEDGE THE WORK APPEARS IN EVERY MATERIAL RESPECT TO BE IN COMPLIANCE WITH THE PLANS". THE CERTIFICATE MUST BE SIGNED BY ONE OR MORE OF THE FOLLOWING: (A) OWNER, (B) GENERAL CONTRACTOR, (C) ARCHITECT (D) DESIGN ENGINEER (E) APPROVED INDEPENDENT INSPECTOR OR INSPECTION AGENCY.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS, AND SPECIFICATIONS TO OBTAIN FIRST-HAND KNOWLEDGE OF JOB CONDITIONS. ANY DISCREPANCIES OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED TO THE OWNER AND ARCHITECT PRIOR TO BEGINNING WORK. NO ALLOWANCE SHALL BE GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE OR ANY CONDITIONS THAT CAN BE DETERMINED BY EXAMINING THE SITE, DRAWINGS, AND SPECIFICATIONS.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN TO THE CONTRACTOR OR SUB-CONTRACTORS FOR CHANGES RESULTING FROM FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SPECIFIED SHALL GOVERN. DIMENSIONS ARE NOMINAL AND ARE TO THE FACE OF OBJECTS UNLESS OTHERWISE INDICATED.
- EACH SUB-CONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO SUBMISSION OF HIS BID OR PERFORMANCE OF THE WORK, NOTIFY THE CONTRACTOR AND ARCHITECT OF ANY WORK CALLED OUT IN THE DMS OR SPECS WHICH CAN NOT BE FULLY GUARANTEED OR CONSTRUCTED AS DESIGNED OR DETAILED.
- DETAILS SHALL BE USED WHERE THE CONDITION OCCURS FOR WHICH THEY ARE INTENDED. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY ALTERNATE NON-STANDARD, OR UNTESTED METHODS PROPOSED BY THE CONTRACTOR.
- ARCHITECT SHALL BE IMMEDIATELY NOTIFIED BY CONTRACTOR OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND APPLICABLE CODES OF GOVERNING BODY HAVING JURISDICTION. IT IS UNDERSTOOD THAT THE "FIELD INSPECTOR" FOR SUCH AGENCY HAS FINAL AUTHORITY TO APPROVE OR DISAPPROVE PROJECT CONSTRUCTION AND TO ASSESS THE CORRECTNESS OF ALL CODE RELATED ITEMS.
- CONTRACTOR AND APPROPRIATE SUB-CONTRACTORS ARE RESPONSIBLE FOR CONNECTION OF ALL UTILITIES REQUIRED BY THE WORK, BOTH TEMPORARY AND PERMANENT.
- TRADE NAMES AND MANUFACTURERS REFERRED TO IN DRAWINGS AND SPECIFICATIONS INDICATE CHARACTER AND QUALITY STANDARDS OF MATERIALS AND EQUIPMENT TO BE FURNISHED. IF CONTRACTOR WISHES TO SUBSTITUTE MATERIAL OR EQUIPMENT OF EQUAL QUALITY BY ANOTHER MANUFACTURER HE MAY SUBMIT ALTERNATES FOR APPROVAL BY ARCHITECT. APPROVAL OF THESE SUBSTITUTIONS MUST BE OBTAINED BEFORE CONTRACTOR SUBMITS HIS BID.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND ALL SUB-CONTRACTORS TO ORDER MATERIAL, EQUIPMENT AND LABOR SUFFICIENTLY IN ADVANCE SO AS TO INSURE TIMELY CONSTRUCTION SEQUENCE.
- CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE MATERIALS DELIVERED TO SITE. MATERIALS SHALL BE SECURELY STORED, PROTECTED AND KEPT DRY BEFORE INSTALLATION. CONTRACTOR SHALL PROVIDE APPROVED TEMPORARY CONSTRUCTION FENCING AND OTHER SECURITY MEASURES TO PROTECT THE PROJECT DURING CONSTRUCTION.
- CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS ARE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DEFECTIVE EQUIPMENT OR WORK BEFORE FINAL ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL KEEP PREMISES CLEAN AND WELL ORDERED DURING CONSTRUCTION AND SHALL PROVIDE THOROUGH CLEANING PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY OWNER.
- THE WORK SHALL CONFORM TO REQUIREMENTS OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE "TITLE 24" - ENERGY CONSERVATION REQUIREMENTS AND SHALL BE IN COMPLIANCE WITH "TITLE 24" BARRIER FREE DESIGN AND AMERICANS WITH DISABILITIES ACT (1990 ADA).
- WALKS, RAMPS AND FLOOR SURFACES SHALL BE SLIP RESISTANT.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY THE PHYSICALLY HANDICAPPED.
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY THE PHYSICALLY HANDICAPPED SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- FLAME SPREAD CLASSIFICATION FOR INTERIOR WALLS AND CEILINGS SHALL BE IN ACCORDANCE WITH CBC SECTION 803, TABLES 803.5 - 803.5.5.
- PROVIDE DRAFT STOPS FOR AREAS BETWEEN CEILINGS AND FLOORS ABOVE SO THAT NO CONCEALED SPACE EXCEEDS 1000 S.F. AND NO HORIZONTAL DIMENSION BETWEEN DRAFT STOPS EXCEEDS 60 FEET.
- ALL GLASS OVER 9 SQUARE FEET IN AREA, WITHIN 18" OF THE FLOOR, OR WITHIN 36 INCHES OF GRADE SHALL BE FULLY TEMPERED. GLAZING WITHIN A 24" ARG OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS 15 LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE TEMPERED. ALSO ALL GLAZING WITHIN OPERABLE DOORS SHALL BE TEMPERED.
- FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT (2%) AWAY FROM ANY PORTION OF THE FOUNDATION FOR A DISTANCE OF AT LEAST 3 FEET.
- ALL INCOMING SITE ELECTRICAL, CABLE TV, AND TELEPHONE WIRES SHALL BE INSTALLED BELOW GROUND.
- EXTERIOR LIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY ORDINANCES.
- CLEAN-OUTS INSTALLED UNDER CONCRETE OR ASPHALT PAVING SHALL BE ACCESSIBLE BY YARD BOXES, FLUSH WITH PAVING WITH A BRASS CAP OR OTHER APPROVED MATERIAL WHEN SUBJECT TO VEHICULAR TRAFFIC.
- PROJECT SHALL BE EQUIPPED WITH A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM INCLUDING CONTROLS AND MONITORING SYSTEMS. SYSTEM SHALL BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES. SMOKE DETECTORS SHALL BE INCLUDED. SPRINKLER CONTRACTOR SHALL SUBMIT COMPLETE SYSTEM DESIGN DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIALS.
- SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE PREVENTION BUREAU UNDER A SEPARATE PERMIT.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE DISTINCTLY DIFFERENT AND AUTOMATICALLY TRANSMITTED TO AN APPROVED CENTRAL STATION, REMOTE SUPERVISING STATION OR PROPRIETARY SUPERVISING STATION AS DEFINED IN NFPA 72 OR, WHEN APPROVED BY THE FIRE CODE OFFICIAL, SHALL SOUND AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. PER C.B.C. 903.4.1
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- PER SECTION 1011.3, TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
 - "EXIT" SIGN WHEREVER BASIC CBC PROVISIONS REQUIRE EXIT SIGNS FROM A ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - "EXIT" EACH GRADE-LEVEL EXIT DOOR.
 - "EXIT STAIR DOWN" EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP.
 THE TACTILE EXIT SIGN SHALL HAVE THE FOLLOWING WORDS AS APPROPRIATE:
 - EXIT
 - EXIT STAIR DOWN
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- ALL EXIT DOORS SHALL BE OPERABLE FROM INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DEFINITIONS:
 - FURNISH TO PURCHASE AND DELIVER MATERIAL, PRODUCTS, EQUIPMENT, ETC. INDICATED ON THE CONTRACT DOCUMENTS TO SITE EASY FOR INSTALLATION.
 - INSTALL: TO ERECT, ASSEMBLE, PUT INTO PLACE, ETC. THOSE MATERIALS, PRODUCTS, EQUIPMENT, ETC. AS REQUIRED BY THE CONTRACT DOCUMENTS PROVIDE: TO FURNISH AND INSTALL.
- A MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE RECYCLED AND/OR SALVAGED. CBC 5.408.1. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE. CBC 5.408.1.4

4..._AND	FIND_FOUNDATION	FR..._PAIR
L..._ANGLE	FE..._FIRE EXTINGUISHER	PT..._POINT
#..._AT	FE..._FIRE EXTINGUISHER CABINET	P.T.D..._PAPER TOWEL DISPENSER
#..._FOUND OR NUMBER	F.H.C..._FIRE HOSE CAB.	P.T.D./C.O.M.B. PAPER DISPENSER & RECEPTACLE
ACOUS..._ACOUSTICAL	FIN..._FINISH	PTN..._PARTITION
A.D..._AREA DRAIN	FL..._FLOOR	P.T.R..._PAPER TOWEL RECEPTACLE
ADJ..._ADJUSTABLE	AGGR..._AGGREGATE	R..._RISER
AL..._ALUMINUM	ALL..._ALUMINUM	Q..._QUARRY TILE
APPROX..._APPROXIMATE	ARCH..._ARCHITECTURAL	RAD..._RADIUS
ASB..._ASBESTOS	ASPH..._ASPHALT	R.D..._ROOF DRAIN
BP..._BOARDS	BP..._BOARDS	R.F.P..._REFRIGERATOR REG..._REGISTER
BTM..._BOTTOM	BTM..._BOTTOM	REIN..._REINFORCED
BLDG..._BUILDING	B.L.D.G..._BUILDING	REGD..._REQUIRED
BLK..._BLOCK	BLK..._BLOCK	RESIL..._RESILIENT
BM..._BEAM	BOT..._BOTTOM	RM..._ROOM
BOT..._BOTTOM	CAB..._CABINET	R.O..._ROUGH OPENING
CB..._CATCH BASIN	CB..._CATCH BASIN	R.R..._RAIN WATER LEADER
CEM..._CEMENT	CEM..._CEMENT	S..._SOUTH
CR..._CERAMIC	CR..._CERAMIC	S.C..._SOLID CORE
C.I..._CAST IRON	C.I..._CAST IRON	S.C..._SOLID CORE
CG..._CORNER GUARD	CG..._CORNER GUARD	S.C.H.D..._SCHEDULE
CLS..._CEILING	CLS..._CEILING	S.D..._SOAP DISPENSER
CLS..._CEILING	CLS..._CEILING	SECT..._SECTION
CLS..._CEILING	CLS..._CEILING	S.F..._SQUARE FEET
CLS..._CEILING	CLS..._CEILING	SH..._SHELF
CLS..._CEILING	CLS..._CEILING	SHR..._SHOWER
CLS..._CEILING	CLS..._CEILING	SH..._SHEET
CLS..._CEILING	CLS..._CEILING	SIM..._SIMILAR
CLS..._CEILING	CLS..._CEILING	S.N.D..._SANITARY NAPKIN DISP.
CLS..._CEILING	CLS..._CEILING	S.N.R..._SANITARY NAPKIN RECP.
CLS..._CEILING	CLS..._CEILING	SPEC..._SPECIFICATION
CLS..._CEILING	CLS..._CEILING	SQ..._SQUARE
CLS..._CEILING	CLS..._CEILING	S.S..._STAINLESS STEEL
CLS..._CEILING	CLS..._CEILING	S.S.K..._SERVICE SINK
CLS..._CEILING	CLS..._CEILING	STN..._STATION
CLS..._CEILING	CLS..._CEILING	STD..._STANDARD
CLS..._CEILING	CLS..._CEILING	STL..._STEEL
CLS..._CEILING	CLS..._CEILING	STR..._STORAGE
CLS..._CEILING	CLS..._CEILING	STRUC..._STRUCTURAL
CLS..._CEILING	CLS..._CEILING	SUSP..._SUSPENDED
CLS..._CEILING	CLS..._CEILING	SYM..._SYMMETRICAL
CLS..._CEILING	CLS..._CEILING	TR..._TREAD
CLS..._CEILING	CLS..._CEILING	T.B..._TOEEL BAR
CLS..._CEILING	CLS..._CEILING	T.C..._TOP OF CURB
CLS..._CEILING	CLS..._CEILING	TEL..._TELEPHONE
CLS..._CEILING	CLS..._CEILING	TER..._TERRAZZO
CLS..._CEILING	CLS..._CEILING	T.G..._TONGUE AND GROOVE
CLS..._CEILING	CLS..._CEILING	THK..._THICK
CLS..._CEILING	CLS..._CEILING	T.P..._TOP OF PAVEMENT
CLS..._CEILING	CLS..._CEILING	T.P.D..._TOILET PAPER DISPENSER
CLS..._CEILING	CLS..._CEILING	T.V..._TELEVISION
CLS..._CEILING	CLS..._CEILING	T.J..._TOP OF WALL
CLS..._CEILING	CLS..._CEILING	TYP..._TYPICAL
CLS..._CEILING	CLS..._CEILING	UN..._UNFINISHED
CLS..._CEILING	CLS..._CEILING	UN..._UNLESS NOTED
CLS..._CEILING	CLS..._CEILING	UR..._URINAL
CLS..._CEILING	CLS..._CEILING	VERT..._VERTICAL
CLS..._CEILING	CLS..._CEILING	VEST..._VESTIBULE
CLS..._CEILING	CLS..._CEILING	W..._WEST
CLS..._CEILING	CLS..._CEILING	W..._WEST
CLS..._CEILING	CLS..._CEILING	W.C..._WATER CLOSET
CLS..._CEILING	CLS..._CEILING	W.D..._WOOD
CLS..._CEILING	CLS..._CEILING	W/O..._WITHOUT
CLS..._CEILING	CLS..._CEILING	W.P..._WATERPROOF
CLS..._CEILING	CLS..._CEILING	W.C.T..._WAINSCOT
CLS..._CEILING	CLS..._CEILING	WT..._WEIGHT

PROJECT INFORMATION:

OWNER: CELEBRATION CELLARS, LLC
33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591
CONTACT: GENE VANDERHOOF
tel: (951) 906-5500

ARCHITECT: WALTER R. ALLEN, AIA
28465 OLD TOWN FRONT STREET, SUITE 201
TEMECULA, CA 92591
tel: (951) 945-0201
CONTACT: CHRISTOPHER CAMPBELL

CIVIL ENGINEER: VENTURA ENGINEERING, LLC
27915 JEFFERSON AVENUE, SUITE J-2291
TEMECULA, CA 92590
tel: (951) 252-7652
fax: (951) 346-5126
CONTACT: WILFREDO VENTURA

PROJECT DESCRIPTION:

LEGAL DESCRIPTION: LOTS 1, 2, & 3 OF TRACT 24915, BOOK 364 OF MAPS, PAGES 44-54, RECORDS OF RIVERSIDE COUNTY, STATE OF CA.

SCOPE OF WORK: PROJECT SHALL CONSIST OF TENANT IMPROVEMENTS FOR THE EXPANSION OF EXISTING KITCHEN OPERATIONS TO A THE EXISTING BARREL STORAGE ROOM. WORK SHALL INCLUDE EXISTING DOOR AND WALL DEMOLITION, NEW PLUMBING FOR KITCHEN EQUIPMENT AND FLOOR SINKS, NEW ELECTRICAL POWER, AND ADDITIONAL LIGHTING.

APN: 94910020

PROJECT ADDRESS: 33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

ZONING: CITRUS VINEYARD - 10

EXISTING USE: EXISTING VINEYARD & STORAGE BUILDING. NO CHANGE TO EXISTING USE IS PROPOSED.

OCCUPANCY: S-1, A-2

CODES: - CALIFORNIA BUILDING CODE 2019 ED.
- CALIFORNIA RESIDENTIAL CODE 2019 ED.
- CALIFORNIA GREEN CODE 2019 ED.
- CALIFORNIA MECHANICAL CODE 2019 ED.
- CALIFORNIA ELECTRICAL CODE 2019 ED.
- CALIFORNIA PLUMBING CODE 2019 ED.
- CALIFORNIA FIRE CODE 2019 ED.

TYPE OF CONSTRUCTION: V-B

SPRINKLERS: FULLY-SPRINKLERED, FIRE ALARM

AREA: 1071 S.F.

STORIES: TWO

BLDG. HEIGHT: APPROX. 34'-10"

SCHOOL DISTRICT: TEMECULA VALLEY UNIFIED SCHOOL DISTRICT

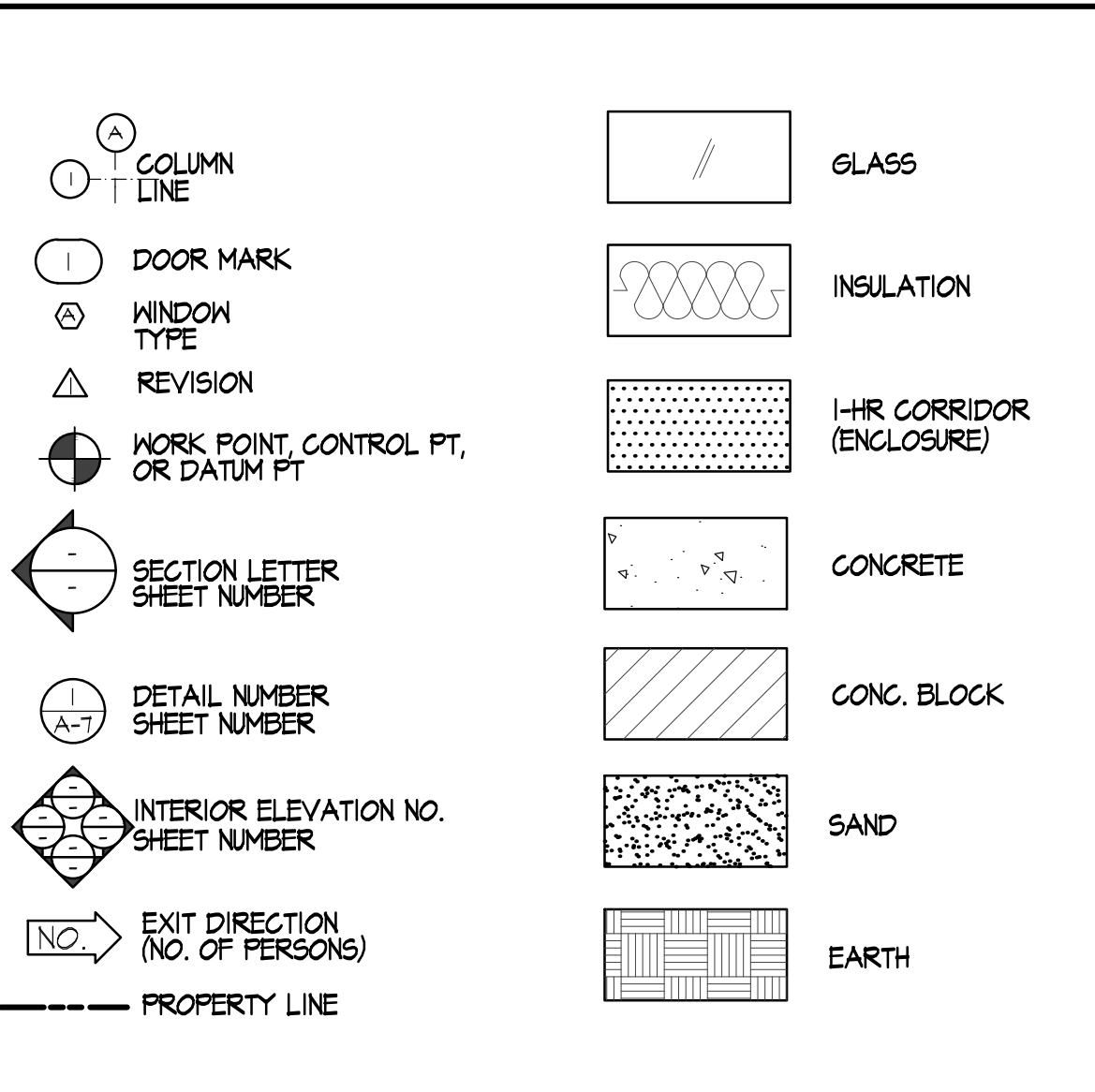
RELATED CASES: ENR04007 PERMIT APPLICATION 12/24/81
NO. 015648 EXISTING PLAN CHECK 01/10/84
NO. 183805 STRUCTURAL BUILDING PERMIT 06/14/90
NO. 608020 SPECIAL INSPECTION

TENANT IMPROVEMENT PROJECTS ARE SUBJECT TO THE FOLLOWING APPLICABLE REQUIREMENTS OF THE 2016 CALIFORNIA GREEN BUILDING CODE (CGBC):

- 5.305 INDOOR WATER USE
- 5.504 POLLUTANT CONTROL
- 5.506 INDOOR AIR QUALITY

DOCUMENTATION VERIFYING COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING CODE (CGBC) AS REQUIRED PER SECTIONS 5.504.4.5.2 AND 5.504.4.6.1 SHALL BE SUBMITTED PRIOR TO REQUESTING A FINAL INSPECTION.

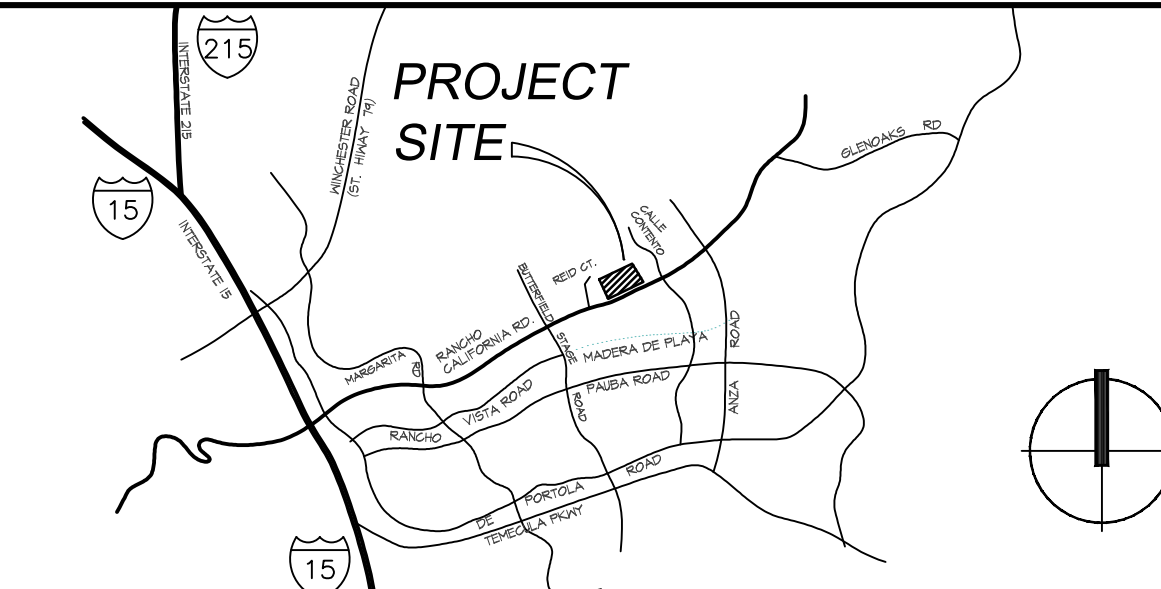
SYMBOLS



UTILITY PURVEYORS:

WATER:	RANCHO CALIFORNIA WATER DISTRICT	(951) 246-6100
SEWER:	EASTERN MUNICIPAL WATER DISTRICT	(951) 928-3777
GAS:	N/A - PROPANE	-
ELECTRIC:	SOUTHERN CALIFORNIA EDISON	(800) 411-3143
TELEPHONE:	VERIZON	(800) 483-3000
TRASH:	WASTE MANAGEMENT OF INLAND VALLEY	(800) 423-4166

VICINITY MAP



By	Date	Job Number	Drawing Number
		2207	t101

GENERAL FIRE PREVENTION NOTES

- (REVISED 01-01-17)
- ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH TITLE 24, 2016 EDITION.
 - PART 1, CALIFORNIA ADMINISTRATION CODE (CAC)
 - PART 2, CALIFORNIA BUILDING CODE (CBC)
 - PART 3, CALIFORNIA ELECTRICAL CODE (CEC)
 - PART 4, CALIFORNIA MECHANICAL CODE (CMC)
 - PART 5, CALIFORNIA PLUMBING CODE (CPC)
 - PART 9, CALIFORNIA FIRE CODE (CFC)
 - FIRE DEPARTMENT INSPECTIONS ARE REQUIRED. SCHEDULE ALL INSPECTIONS 4 DAYS IN ADVANCE.
 - THIS PLAN REVIEW OR APPROVAL ENCOMPASSES THE TENANT IMPROVEMENT PLANS ONLY. FIRE SPRINKLER SYSTEM(S), ALARM SYSTEM(S), HOOD SYSTEM(S), UNDERGROUND FIRE LINES OR ANY OTHER FIRE PROTECTION SYSTEM OR REQUIRED FIRE DEPARTMENT PERMIT(S), REQUIRES A SEPARATE PLAN SUBMITTAL AND ARE NOT ENCOMPASSED IN THIS PLAN REVIEW OR APPROVAL. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK. CFC, CHAPTER 9 SECTION 901.2
 - PROVIDE 6 INCH HIGH WITH MINIMUM STROKE WIDTH OF 0.75 INCH ADDRESS NUMERALS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC CHAPTER 5 SECTION 505.1
 - IF ADDITIONS OF WALLS AND/OR OTHER TENANT IMPROVEMENTS OBSTRUCT OR EFFECT COVERAGE OR PERFORMANCE OF THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM AND/OR IF ANY MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM IS NECESSARY, FIRE SPRINKLER, FIRE ALARM TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED TO THE CITY OF TEMECULA - FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION OR ALTERATIONS. NFPA 13 4.12 2016 EDITION
 - EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. CFC CHAPTER 10, SECTION 1004.3
 - SIGNAGE ABOVE MAIN EXIT DOORS WITH ONE-INCH LETTERS IS TO READ, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". CFC CHAPTER 10, SECTION 1008.1.4.3
 - PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED PER CFC CHAPTER 9, SECTION 906.
 - NEW TENANT SPACES AND NEW OCCUPANCY BUILDINGS SHALL REQUIRE ALARM NOTIFICATION DEVICES. FOR MULTI-TENANT BUILDINGS AN ALARM NOTIFICATION DEVICE SHALL BE PLACED IN EACH SUITE. FOR EXISTING BUILDINGS WITH NEW TENANTS AN ALARM NOTIFICATION DEVICE SHALL BE REQUIRED IN EACH TENANT SPACE. FOR EXISTING BUILDINGS THAT ARE NOT EQUIPPED WITH A FIRE ALARM SYSTEM OR SPRINKLER MONITORING SYSTEM, NEW TENANTS OR OWNERS SHALL BE REQUIRED TO INSTALL THE APPROPRIATE TYPE OF ALARM SYSTEM.
 - STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE OR COMPRESSED GASES, OR ANY OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH CALIFORNIA FIRE CODE REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE CITY OF TEMECULA - FIRE DEPARTMENT PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS. CFC CHAPTERS 50-61 APPENDIX CHAPTER 1
 - ALL BUILDING(S) SHALL BE APPROVED FOR HIGH-PILED STORAGE. HIGH-PILED STORAGE SHALL BE APPROVED BY THE CITY OF TEMECULA - FIRE DEPARTMENT PRIOR TO MATERIALS BEING STORED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH-PILED STORAGE. CFC CHAPTER 32
 - DUCT DETECTORS IN INDIVIDUAL TENANT SPACES OF MULTI-TENANT BUILDINGS SHALL BE POWERED FROM THE MAIN BUILDING FIRE ALARM POWER SUPPLY.
 - WHERE IN DUCT SMOKE DETECTORS ARE INSTALLED MORE THAN 10 FEET ABOVE THE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTOR'S ALARM OR SUPERVISORY INDICATOR IS NOT VISIBLE TO RESPONDING PERSONNEL, THE DETECTORS SHALL BE PROVIDED WITH REMOTE ALARM OR SUPERVISORY INDICATION IN A LOCATION ACCEPTABLE TO THE A.H.J. NFPA 72, 2016 EDITION, SECTION 23.8.5.4.6
 - BUILDING ACCESS AND/OR GATE ACCESS IS REQUIRED. PROVIDE A KNOX BOX AT THE FOLLOWING LOCATION:
 - FIRE SPRINKLER RISER ROOM

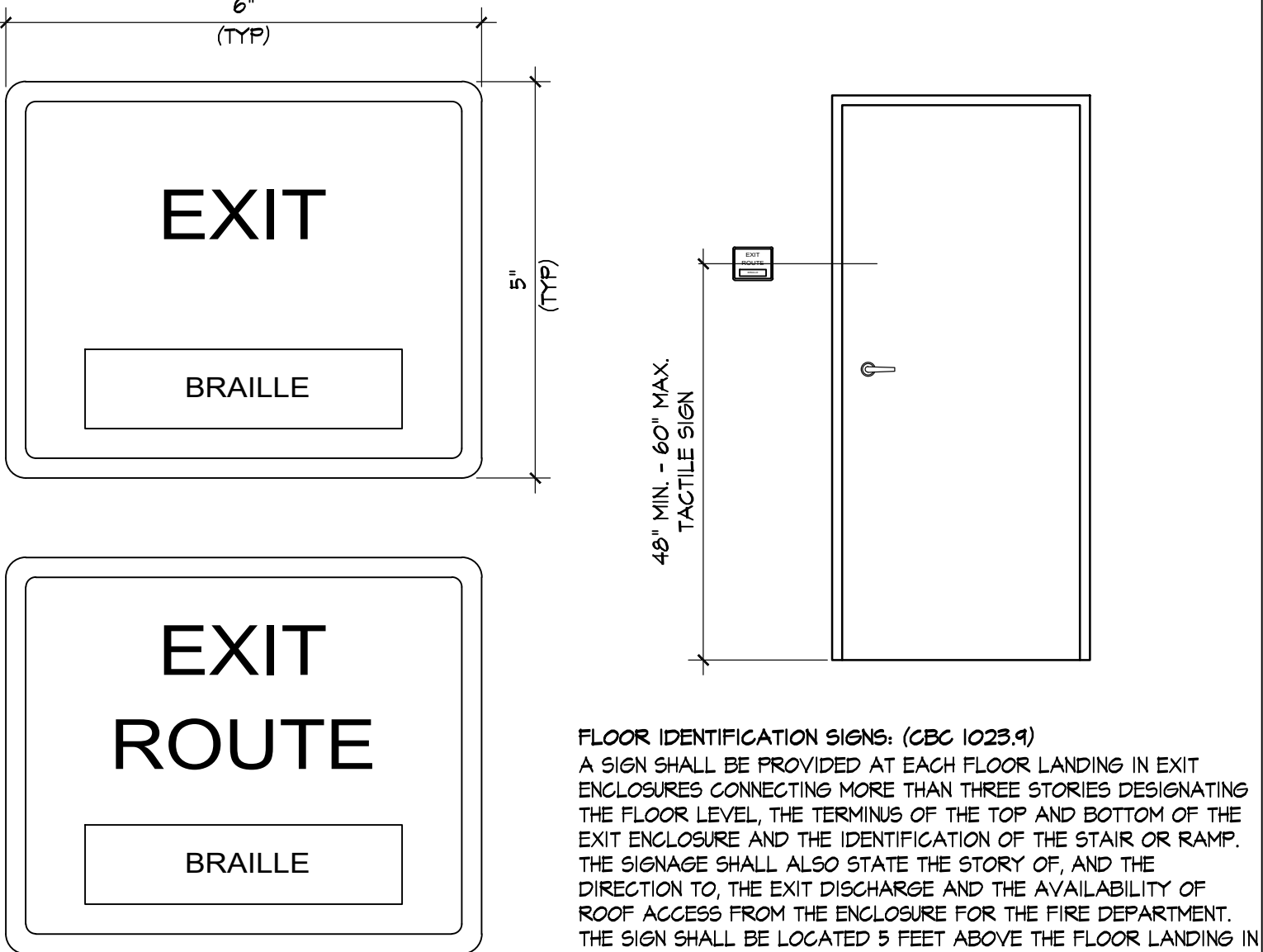
NOTE:
FIRE ALARM AND SPRINKLERS

PRIOR TO ISSUANCE OF A "CERTIFICATE OF OCCUPANCY" ALL REQUIRED ENERGY ACCEPTANCE TEST FORMS SHALL BE SUBMITTED TO THE ENFORCEMENT AGENCY. THE FOLLOWING ACCEPTANCE TEST(S) ARE REQUIRED FOR THIS PROJECT:

- NONE, ALL SYSTEMS EXIST, LIMITED ALTERATION

ACCESSIBILITY STANDARDS

- TACTILE EXIT SIGNAGE (CBC 1013)**
- TACTILE SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
- EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT."
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - A. "EXIT STAIR DOWN"
 - B. "EXIT RAMP DOWN"
 - C. "EXIT STAIR UP"
 - D. "EXIT RAMP UP"
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF AN EXIT PASSAGEWAY, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE."
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."



TACTILE SIGNS

TACTILE FLOOR IDENTIFICATION SIGNS (COMPLYING WITH SECTION 11B-308.8) SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE, IN ALL ENCLOSED STAIRWAYS IN BUILDINGS TWO OR MORE STORIES IN HEIGHT TO IDENTIFY THE FLOOR LEVEL. AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE-POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. CBC 1022.8

GENERAL STAIR REQUIREMENTS (CBC 11B-504)

INTERIOR:
STAIR TREADS SHALL BE MARKED WITH A SLIP-RESISTANT MATERIAL AT THE UPPER APPROACH AND THE LOWER TREAD OF EACH STAIRWAY BY A STRIP OF CLEARLY COLOR. IT SHALL BE BETWEEN 2" AND 4" WIDE AND SHALL BE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP.

EXTERIOR:
THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED WITH A STRIP PROVIDING CLEAR VISUAL CONTRAST AS FOLLOWS: IT SHALL BE GREATER THAN OR EQUAL TO 2" IN WIDTH, PLACED PARALLEL TO AND LESS THAN OR EQUAL TO 1" FROM THE NOSE OF THE STEP, AND THE STRIP SHALL BE AS SLIP RESISTANT AS THE TREADS OF THE STAIRS. TREADS SHALL BE SMOOTH, ROUNDED, OR CHAMFERED AT THE FORWARD EDGE OF THE NOSING. THE NOSING SHALL HAVE NO ABRUPT EDGE PROJECTING PAST THE FACE OF THE RISER(S) ABOVE. OPEN RISERS ARE NOT ALLOWED.

IN OTHER THAN DWELLING UNITS

TOILET ROOM FLOORS SHALL HAVE A SMOOTH HARD, NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE, OR OTHER APPROVED MATERIAL WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 4 INCHES. WALLS WITHIN WATER CLOSET COMPARTMENTS AND HALLS WITHIN 24 INCHES OF THE FRONT AND SIDES OF URINALS SHALL BE SIMILARLY FINISHED TO A HEIGHT OF 48 INCHES AND, EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE (SEE INTERIOR ELEVATIONS). CBC 1210.1 & 1210.2

TACTILE SIGNAGE (11B-703)

RAISED CHARACTERS AND PICTORIAL SYMBOL SIGNS. WHEN RAISED CHARACTERS ARE REQUIRED OR WHEN PICTORIAL SYMBOLS (PICTOGRAMS) ARE USED ON SUCH SIGNS, THEY SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- CHARACTER TYPE. CHARACTERS ON SIGNS SHALL BE RAISED 1/32 INCH (0.794 MM) MINIMUM AND SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY CONTRACTED (GRADE 2) BRAILLE COMPLYING WITH SECTION 11B7.5.6.
- CHARACTER SIZE. RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8 INCH (15.9 MM) AND A MAXIMUM OF 2 INCHES (51 MM) HIGH.
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS). PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6 INCHES (152 MM) IN HEIGHT.
- CHARACTER PLACEMENT. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM OF 3/8 INCH (9.5 MM) AND A MAXIMUM OF 1/2 INCH (12.7 MM) DIRECTLY BELOW THE TACTILE CHARACTERS. FLUSH LEFT OR CENTERED. WHEN TACTILE TEXT IS MULTILINED, ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT.

CONTRACTED (GRADE 2) BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54 MM) ON CENTER IN EACH CELL WITH 2/10-INCH (5.08 MM) SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635 MM) ABOVE THE BACKGROUND. BRAILLE DOTS SHALL BE DOMED OR ROUNDED.

MOUNTING LOCATION AND HEIGHT, WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.

WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.

MOUNTING HEIGHT SHALL BE A MINIMUM OR 58 INCHES (1475 MM) AND MAXIMUM 60 INCHES (1524 MM) ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.

SIGNAGE SHALL BE MOUNTED WITHIN 1 INCH OF VERTICAL CENTERLINE OF DOOR.

SIGNAGE WITH ROUNDED OR EASED EDGES AT A MINIMUM 1/16-INCH RADIUS OR CHAMFERED EDGES WITH MINIMUM 1/8-INCH RADIUS. VERTICES WITH A MINIMUM 1/8-INCH RADIUS AND MAXIMUM 1/4-INCH RADIUS.

SEE ALSO SECTION 11B-703.1.2.6 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES.

PLACEMENT OF SIGNAGE AT SANITARY FACILITIES: (11B-703.1.2.6)

IDENTIFICATION SYMBOLS, DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL IN COMPLIANCE WITH THIS SECTION. GEOMETRIC SYMBOLS SHALL BE CENTERED HORIZONTALLY ON THE DOOR AT A HEIGHT OF 58-60 INCHES (1524 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE CENTER OF THE SYMBOL. EDGES OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED. CORNERS OF SIGNS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH (3.2 MM). SEE SECTION 11B-703.1.2.6, ITEM 1 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES.

703.1.2.6.1 MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, 1/4 INCH (6.4 MM) THICK WITH EDGES 12 INCHES (305 MM) LONG AND A VERTEX POINTING UPWARD. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

703.1.2.6.2 WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

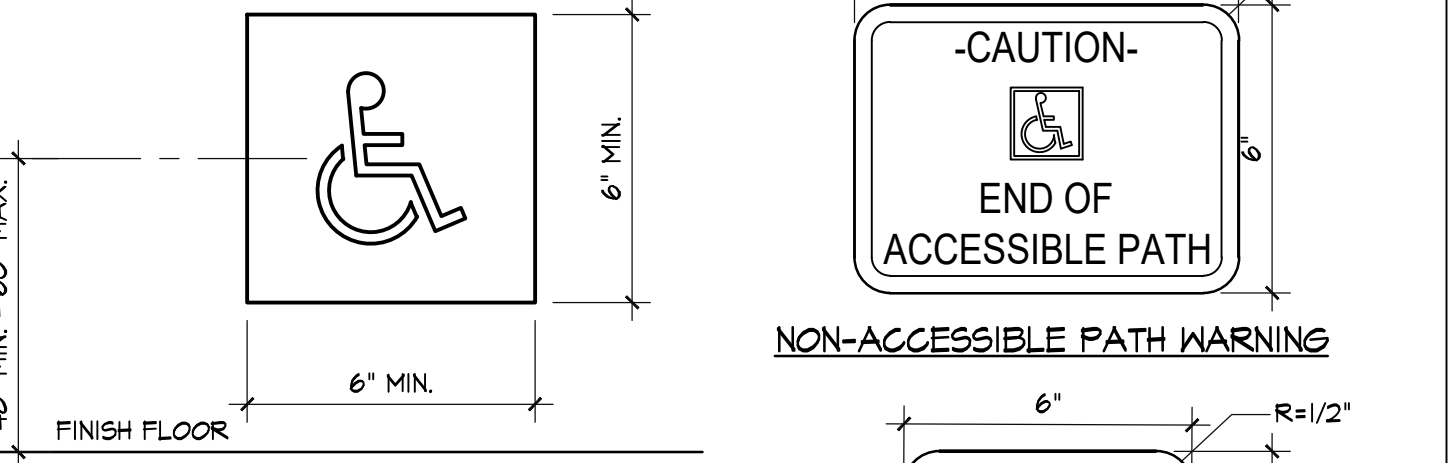
703.1.2.6.3 UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER WITH A 1/4 INCH (6.4 MM) THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH (305 MM) DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

PLACEMENT OF SIGNAGE FOR ROOMS & SPACES: (11B-703)

MOUNTING LOCATION AND HEIGHT, WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.

WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.

MOUNTING HEIGHT SHALL BE 48 INCHES MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60 INCHES (1524 MM) MAX. ABOVE THE FINISH FLOOR TO THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.



NOTE: REFERENCE NOTES & DIAGRAM ABOVE FOR SIGN MOUNTING HEIGHTS, CLEARANCES, AND CHARACTER REQUIREMENTS.

ACCESSIBLE SIGNAGE (CBC 11B-703.1.2)

THE FOLLOWING ELEMENTS AND SPACES OF ACCESSIBLE FACILITIES SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THIS SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NUMBER 15090 IN FEDERAL STANDARD 545B. PLACE THE SIGN IN SUCH LOCATIONS AS:

- ACCESSIBLE PARKING SPACES, EXCEPT WHERE THE TOTAL PARKING SPACES PROVIDED ARE 5 OR LESS.
- ACCESSIBLE AREAS OF REFUGE.
- ACCESSIBLE PASSENGER LOADING ZONES.

GENERAL CONSIDERATIONS

THE FOLLOWING STANDARDS FOR BARRIER FREE DESIGN SHALL BE INCORPORATED INTO THE PROJECT SITE AND BUILDING AS DESCRIBED BY THE 2016 CALIFORNIA BUILDING CODE (TITLE 24 & CALIFORNIA CODE OF REGULATIONS), AMERICANS WITH DISABILITIES ACT (ADA) WITH CABO/VANSI, SECTIONS AND DIAGRAMS ARE PROVIDED FOR QUICK REFERENCE INTERPRETATION OF THESE CODES AND REGULATIONS AND INTENDED ONLY AS AN AID FOR CONSTRUCTION.

PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES. CBC, 421.11(A)

PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT. CBC, 421.103.4

PLUMBING NOTES

MAXIMUM FLUSH VOLUMES AND FLOW RATINGS: FAUCETS - 2.2 GPM (SINKS & LAVS), 1.6 GPM (WATER CLOSETS). SHALL BE MARKED WITH THESE FLOW RATINGS AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

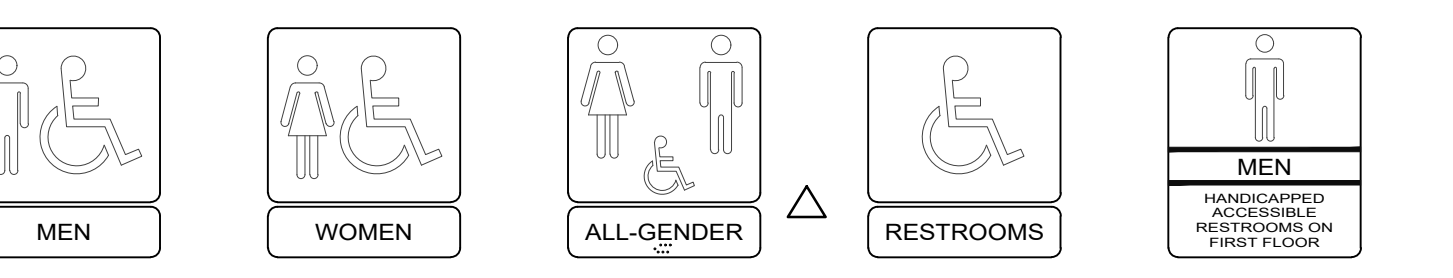
FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB-FT. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. TOILET SEATS SHALL NOT SPRING TO RETURN TO A LIFTED POSITION. STRUCTURAL ADEQUACY OF GRAB BARS, MOUNTING HARDWARE, AND FASTENERS MUST ACCOMMODATE 250 LB-FT POINT LOAD WHEN APPLIED TO ANY POINT ON THE GRAB BAR, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE. CBC, 11B-606.4 - 11B-3091 11B-604.8

ELECTRICAL NOTES CBC: 11B-308.11/2

ELECTRICAL SWITCHES: CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.

ELECTRICAL RECEPTACLE OUTLETS: ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.

- EXCEPTIONS:**
- RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT.
 - REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS.
 - BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, WINDOW WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.
 - THIS SECTION SHALL NOT APPLY TO EXISTING BLDGS. WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP.



WALL - SIGNAGE (TYP)

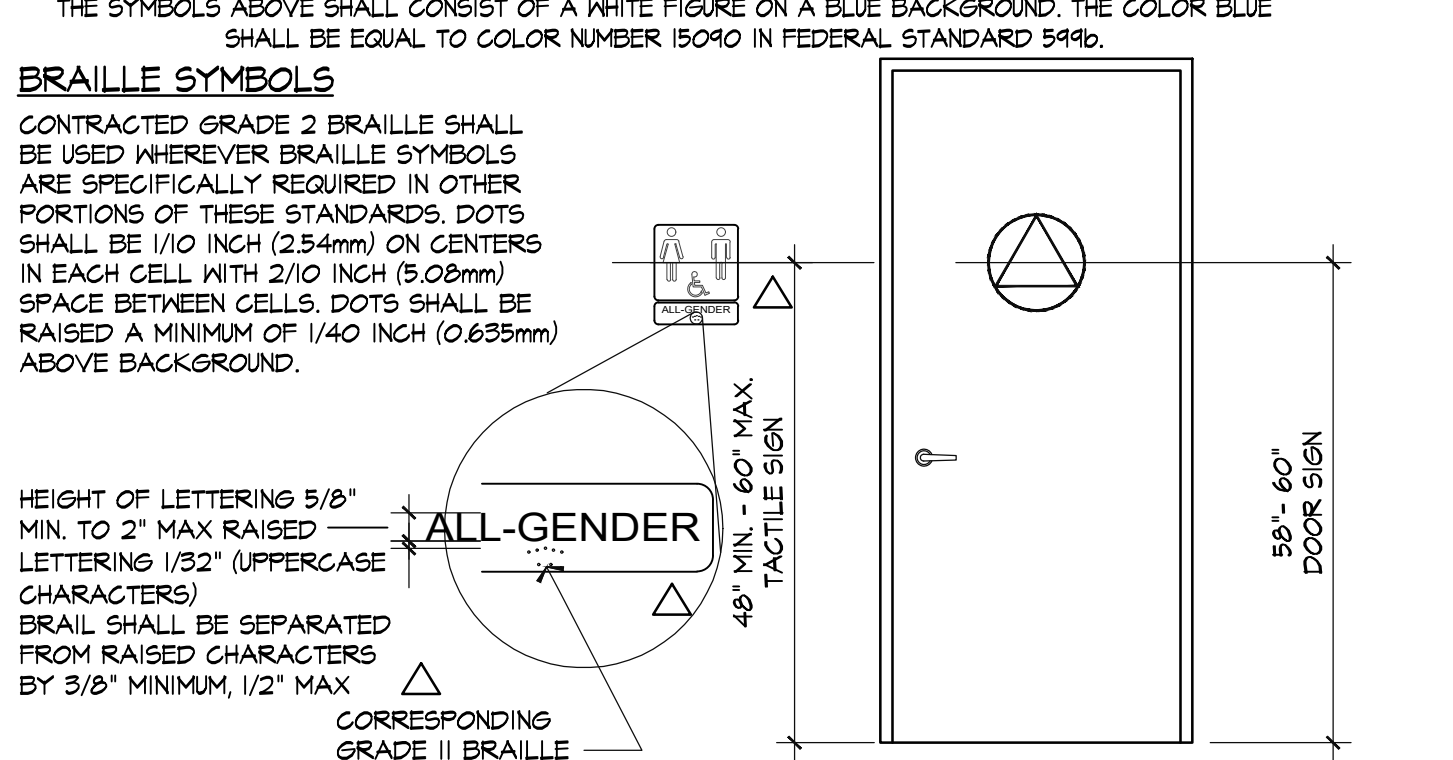
DOOR MOUNTED SIGNAGE (TYP)

NOTE: PICTOGRAMS AND / OR LETTERING ARE NOT REQUIRED ON DOOR - MOUNTED SIGNAGE

THE SYMBOLS ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL BE EQUAL TO COLOR NUMBER 15090 IN FEDERAL STANDARD 545B.

BRAILLE SYMBOLS

CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54mm) ON CENTERS IN EACH CELL WITH 2/10 INCH (5.08mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635mm) ABOVE BACKGROUND.



DOOR HARDWARE

11B-404.2.1 HAND-ACTIVATED DOOR LATCHING, LOCKING HAND-ACTIVATED DOOR HARDWARE AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE CONSISTENT AS ABOVE IN THE DIRECTION OF EGRESS.

1010.1.3 DOOR OPENING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22 N). FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND (67 N) FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND (133 N) FORCE. THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15-POUND (67 N) FORCE.

1010.1.3.1 LOCATION OF APPLIED FORCES. FORCES SHALL BE APPLIED TO THE LATCH SIDE OF THE DOOR.

11B-404.2.1 DOOR OPENING FORCE. THE MAXIMUM FORCE REQUIRED TO PUSH OR PULL OPEN A DOOR SHALL COMPLY WITH THIS SECTION. PUSH OR PULL FORCE FOR A HINGED DOOR SHALL BE MEASURED PERPENDICULAR TO THE DOOR FACE AT THE DOOR OPENING HARDWARE OR 30 INCHES (762 MM) FROM THE HINGED SIDE, WHICHEVER IS FARTHER FROM THE HINGE. PUSH OR PULL FORCE FOR A SLIDING OR FOLDING DOOR SHALL BE MEASURED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS COMPLYING WITH SECTION 11B-404.3 MAY BE USED TO MEET THE MAXIMUM FORCE LIMITS.

- REQUIRED FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBF (66.7 N).
- OTHER THAN REQUIRED FIRE DOORS, INTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 LBF (22.2 N).
- OTHER THAN REQUIRED FIRE DOORS, EXTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 LBF (22.2 N).

1010.1.3.3 LOCKS AND LATCHES. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXISTS:

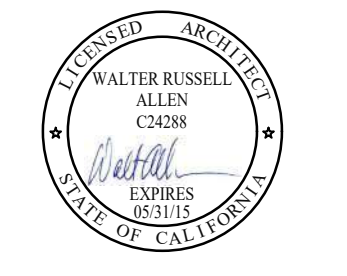
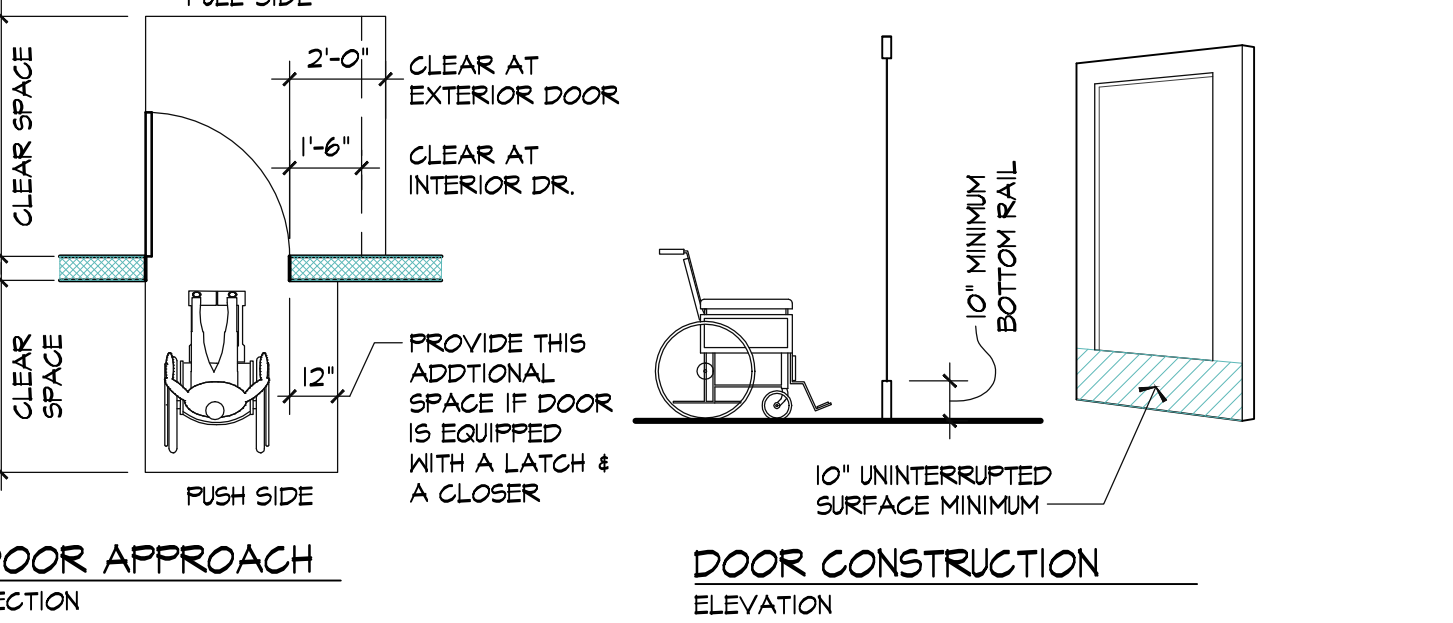
REFER TO DOOR SCHEDULE FOR EXCEPTIONS APPLIED

- PLACES OF DETENTION OR RESTRAINT.
- IN BUILDINGS IN OCCUPANCY GROUP A HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS B, F, M AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
 - THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
 - A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS ONE INCH HIGH ON A CONTRASTING BACKGROUND.
 - THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.

3. WHERE EGRESS DOORS ARE USED IN PAIRS, APPROVED AUTOMATIC FLUSH BOLTS SHALL BE PERMITTED TO BE USED, PROVIDED THAT THE DOOR LEAF HAVING THE AUTOMATIC FLUSH FLUSH BOLTS HAS NO DOORKNOB OR SURFACE-MOUNTED HARDWARE.

4. DOORS FROM INDIVIDUAL DWELLING OR SLEEPING UNITS OF GROUP R OCCUPANCIES HAVING AN OCCUPANT LOAD OF 10 OR LESS ARE PERMITTED TO BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN, PROVIDED SUCH DEVICES ARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR TOOL.

5. FIRE DOORS AFTER THE MINIMUM ELEVATED TEMPERATURE HAS DISABLED THE UNLATCHING MECHANISM IN ACCORDANCE WITH LISTED FIRE DOOR TEST PROCEDURES.

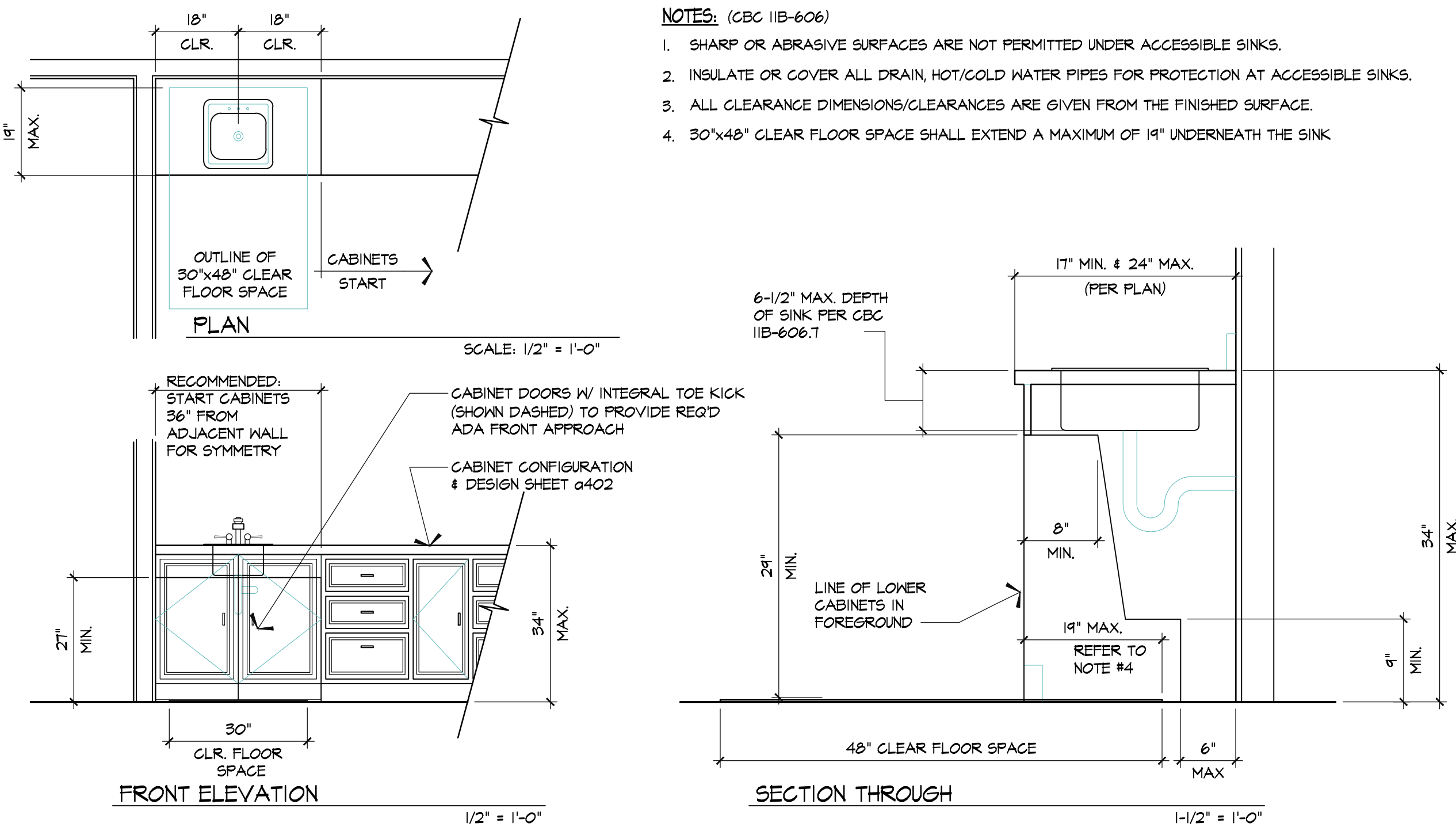


Designed	ba
Drawn By	ba
Checked	mfq
Date	11/21/22

MIRAMONTE KITCHEN

Permit Number: Permit Number:

Sym.	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
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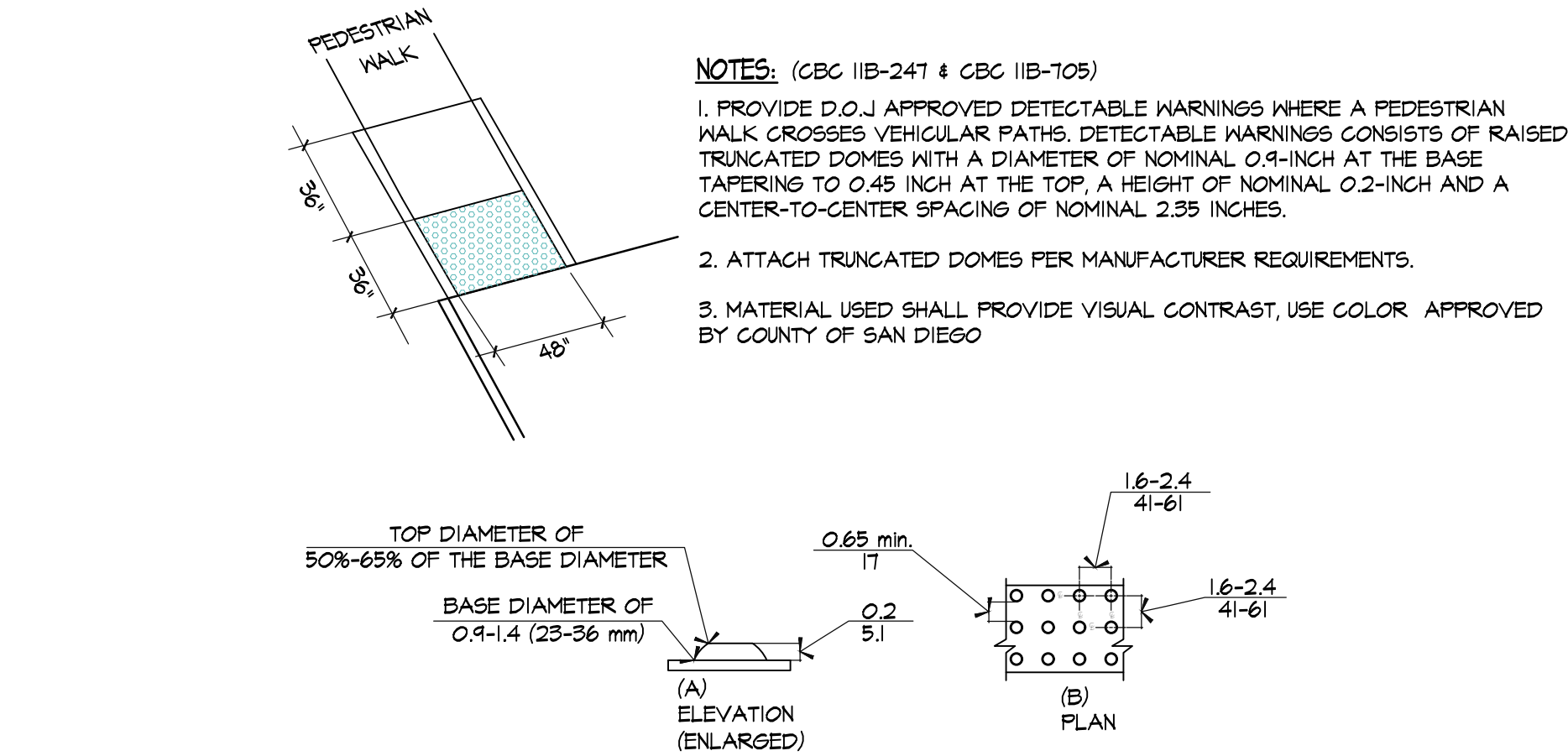


NOTES: (CBC IIB-606)

- SHARP OR ABRASIVE SURFACES ARE NOT PERMITTED UNDER ACCESSIBLE SINKS.
- INSULATE OR COVER ALL DRAIN, HOT/COLD WATER PIPES FOR PROTECTION AT ACCESSIBLE SINKS.
- ALL CLEARANCE DIMENSIONS/CLEARANCES ARE GIVEN FROM THE FINISHED SURFACE.
- 30"x48" CLEAR FLOOR SPACE SHALL EXTEND A MAXIMUM OF 19" UNDERNEATH THE SINK

3 KNEE CLEARANCES @ NONCOMMERCIAL KITCHEN AND COUNTER BAR SINKS (WHERE APPLICABLE)

VARIES

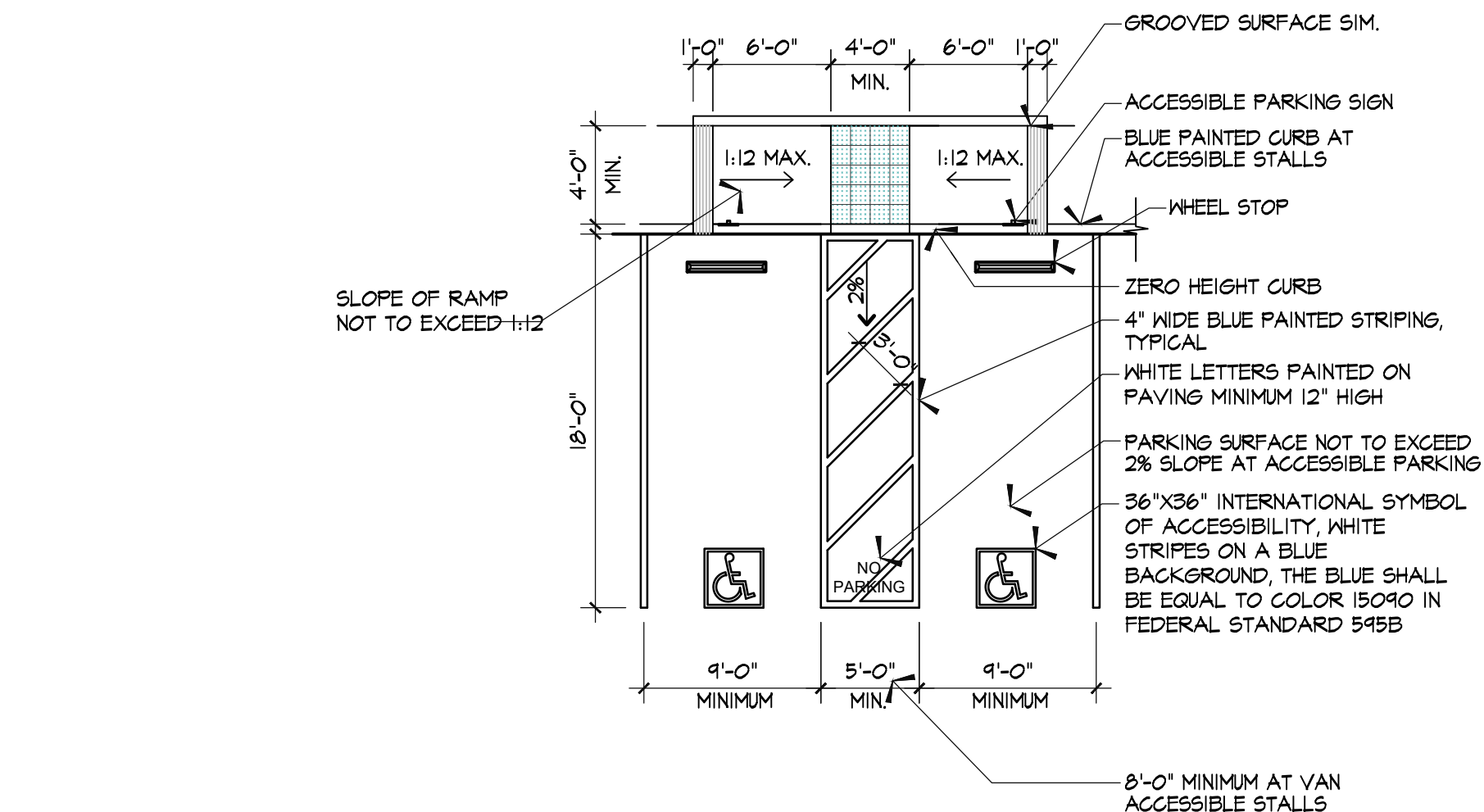


NOTES: (CBC IIB-241 & CBC IIB-705)

- PROVIDE D.O.J APPROVED DETECTABLE WARNINGS WHERE A PEDESTRIAN WALK CROSSES VEHICULAR PATHS. DETECTABLE WARNINGS CONSISTS OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.4-INCH AT THE BASE TAPERING TO 0.45 INCH AT THE TOP, A HEIGHT OF NOMINAL 0.2-INCH AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES.
- ATTACH TRUNCATED DOMES PER MANUFACTURER REQUIREMENTS.
- MATERIAL USED SHALL PROVIDE VISUAL CONTRAST, USE COLOR APPROVED BY COUNTY OF SAN DIEGO

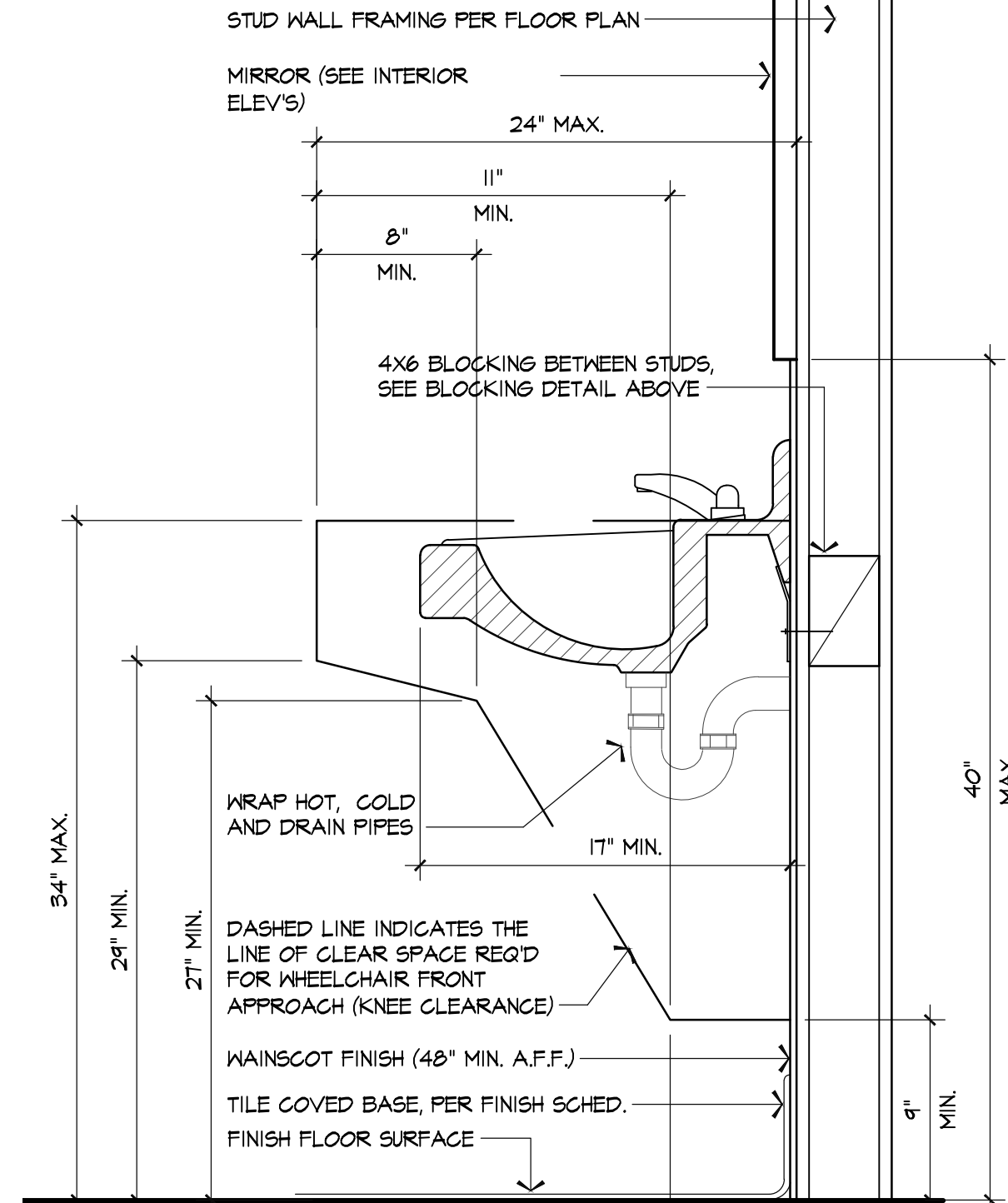
4 SIZE AND SPACING OF TRUNCATED DOMES

N.T.S.



5 TYPICAL ACCESSIBLE PARKING AND RAMP

1/8" = 1'-0"

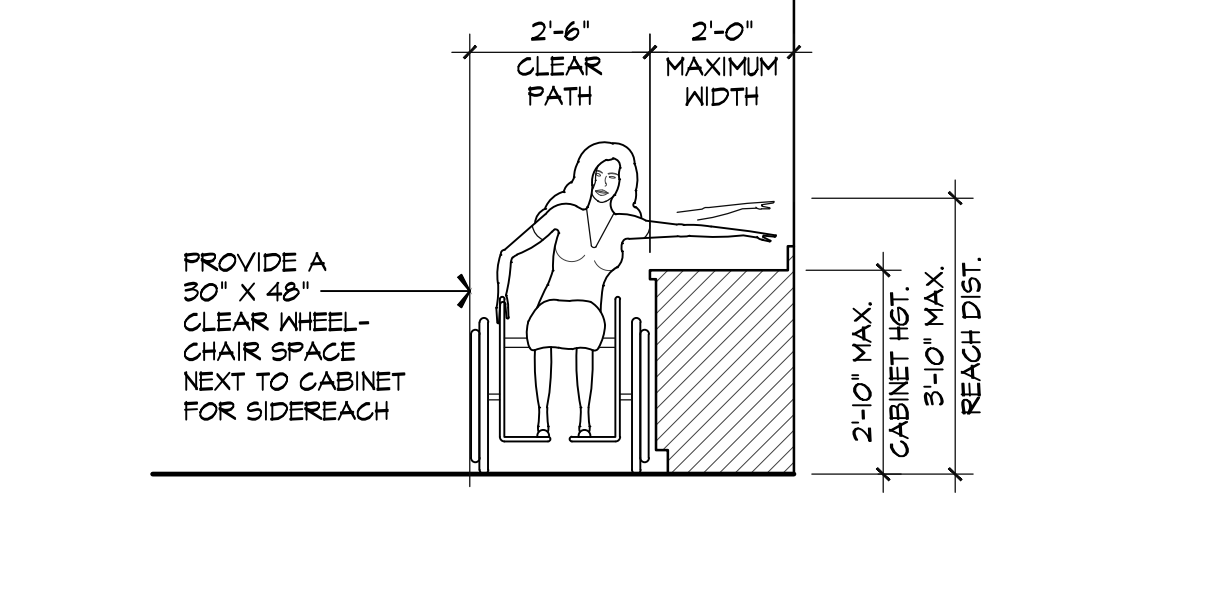


1 WALL-HUNG LAVATORY SINK (WHERE APPLICABLE)

1-1/2" = 1'-0"

NOTES:

- REFER TO THIS SHEET FOR MOUNTING HEIGHTS, CLEARANCES, GENERAL REQUIREMENTS AND DIMENSIONS AT RESTROOM FIXTURES
- REFER TO DETAIL 3 ON THIS SHEET FOR KNEE CLEARANCES REQUIRED FOR SINKS AT COUNTERTOPS



2 SIDE REACH OVER OBSTRUCTION

TYPICAL @ CABINETS

3/8" = 1'-0"

SECTION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

5.410 BUILDING MAINTENANCE AND OPERATION
5.410.4 TESTING AND ADJUSTING. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.101) SHALL BE REQUIRED.
5.410.4.2 SYSTEMS. CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:
 1. HVAC SYSTEMS AND CONTROLS
 2. INDOOR AND OUTDOOR LIGHTING AND CONTROLS
 3. WATER HEATING SYSTEMS
 4. RENEWABLE ENERGY SYSTEMS
 5. LANDSCAPE IRRIGATION SYSTEMS
 6. WATER REUSE SYSTEMS
5.410.4.3 PROCEDURES. CONTRACTOR SHALL PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.
5.410.4.3.1 HVAC BALANCING. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
5.410.4.4 REPORTING. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, CONTRACTOR SHALL PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
5.410.4.5 OPERATION AND MAINTENANCE (OM) MANUAL. CONTRACTOR SHALL PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM. OM INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 9142, AND OTHER RELATED REGULATIONS.
5.410.4.5.1 INSPECTIONS AND REPORTS. INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

SECTION 5.5 ENVIRONMENTAL QUALITY

5.504 POLLUTANT CONTROL
5.504.1.5 TEMPORARY VENTILATION. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION ADDITIONS OR AREAS OF ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1994, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.
5.504.1.5 COVERING OF DUCT OPENINGS OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
5.504.3 FINISH MATERIAL POLLUTANT CONTROL
5.504.4.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:
 1. ADHESIVES, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCQM RULE 168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE, AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
 2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE OUNCE AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94807.
5.504.4.3 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3 IN DIVISION 5.5, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3, SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21.4.36 AND 4.31 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 OF THE 2010 CAL GREEN CODE SHALL APPLY.
5.504.4.1 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MFR LIMITS FOR ROG IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(G)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 44.
5.504.4.3.2 VERIFICATION.
SEE DOCUMENTATION: CALGREEN STD. BGC-551, BGC-552, BGC-553, BGC-554
 ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
 2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
 3. NFPA/ANSI 140 AT THE GOLD LEVEL OR HIGHER
 4. SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE
5.504.4.1 CARPET CUSHION. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.
5.114.4.4.2 CARPET ADHESIVE. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE.
5.504.4.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN AEROSOL CONTROL MEASURE FOR COMPOSITE WOOD (1) CCR 93120 ET SEQ), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 5.504.4.5 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE.
5.504.4.5.3 DOCUMENTATION.
SEE DOCUMENTATION: CALGREEN STD. BGC-551, BGC-552, BGC-553, BGC-554
5.504.4.6 RESILIENT FLOORING SYSTEMS. FOR 50 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING COMPLYING WITH THE VOC-EMISSION LIMITS DEFINED IN THE 2009 COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) CRITERIA AND LISTED ON ITS HIGH PERFORMANCE DATABASE, PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM, CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM, OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
5.504.4.6.1 VERIFICATION OF COMPLIANCE.
5.114.4.5 HAZARDOUS PARTICULATES AND CHEMICAL POLLUTANTS.
 MINIMIZE AND CONTROL POLLUTANT ENTRY INTO BUILDINGS AND CROSS-CONTAMINATION OF REGULARLY OCCUPIED AREAS.
5.504.5.5 FILTERS. IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.
 EXCEPTION: AN ASHRAE 10-PERCENT TO 15-PERCENT EFFICIENCY FILTER SHALL BE PERMITTED FOR AN HVAC UNIT MEETING THE 2013 CALIFORNIA ENERGY CODE HAVING 60,000 BTUH OR LESS CAPACITY PER FAN COIL, IF THE ENERGY USE OF THE AIR DELIVERY SYSTEM IS 0.4 WCFM OR LESS AT DESIGN AIR FLOW, EXISTING MECHANICAL EQUIPMENT.
5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITION.
5.501 ENVIRONMENTAL COMFORT
5.501.4 ACOUSTICAL CONTROL
 EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E 413 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OITC) DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.114.11.1 OR 5.114.11.2. EXCEPTION: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.
5.501.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD. WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ADDITION OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OITC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OITC OF 30 IN THE FOLLOWING BUILDING LOCATIONS:
 1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT
 EXCEPTIONS:
 1. LDN OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (AICUZ) PLAN.
 2. LDN OR CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT.
 3. WITHIN THE 65 CNEL OR LDN NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY NOISE SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN
5.501.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING ADDITION OR ALTERATION EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATINGS OF AT LEAST 45 (OR OITC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OITC 30).
5.501.4.2 PERFORMANCE METHOD. FOR BUILDINGS LOCATED AS DEFINED IN SECTION A5.114.11.1 OR A5.114.11.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ADDITION OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (LEQ-HR) OF 50DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.
5.114.1.2.1 SITE FEATURES: EXTERIOR FEATURES SUCH AS SOUND BARRIERS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.
5.501.4.2.2 DOCUMENTATION OF COMPLIANCE. AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.
5.501.4.3 INTERIOR SOUND TRANSMISSION. WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.
 NOTE: EXAMPLES OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: [HTTP://WWW.TDCLBASE.ORG/PDF/CASESTUDIES/STC_ICG_RATINGS.PDF](http://www.tdclbase.org/PDF/CASESTUDIES/STC_ICG_RATINGS.PDF).
5.508 OUTDOOR AIR QUALITY
5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS. INSTALLATIONS OF HVAC, REFRIGERATION, AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
5.508.1.1 CHLOROFLUOROCARBONS (CFCs). INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCs.
5.508.1.2 HALONS. INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.



Designed	bcj
Drawn By	bcj
Checked	wfg
Date	11/2/22

MIRAMONTE KITCHEN
 33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591
 Permit Number: Permit-Num269

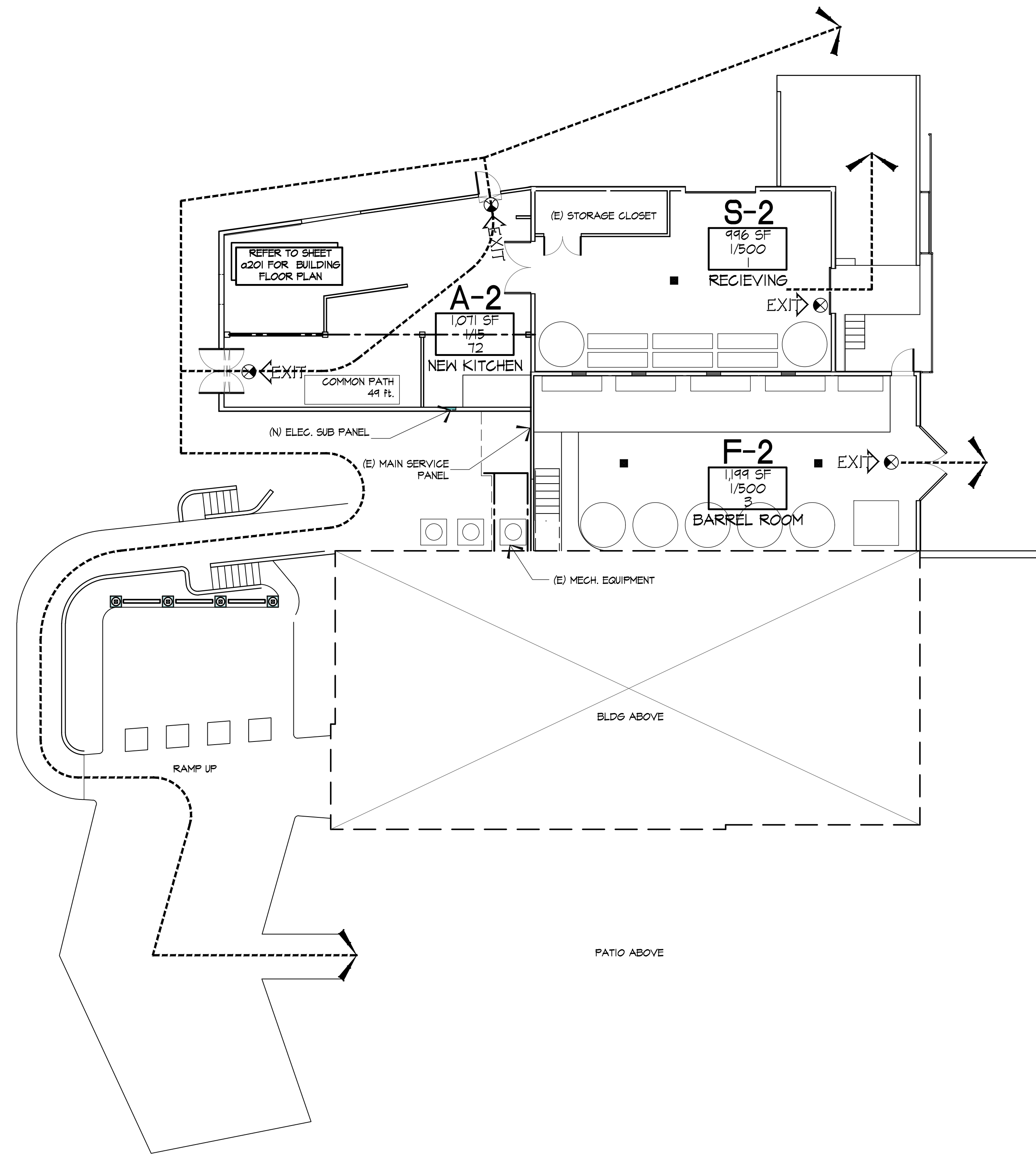
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Date																				
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Drawing Number	t103																			

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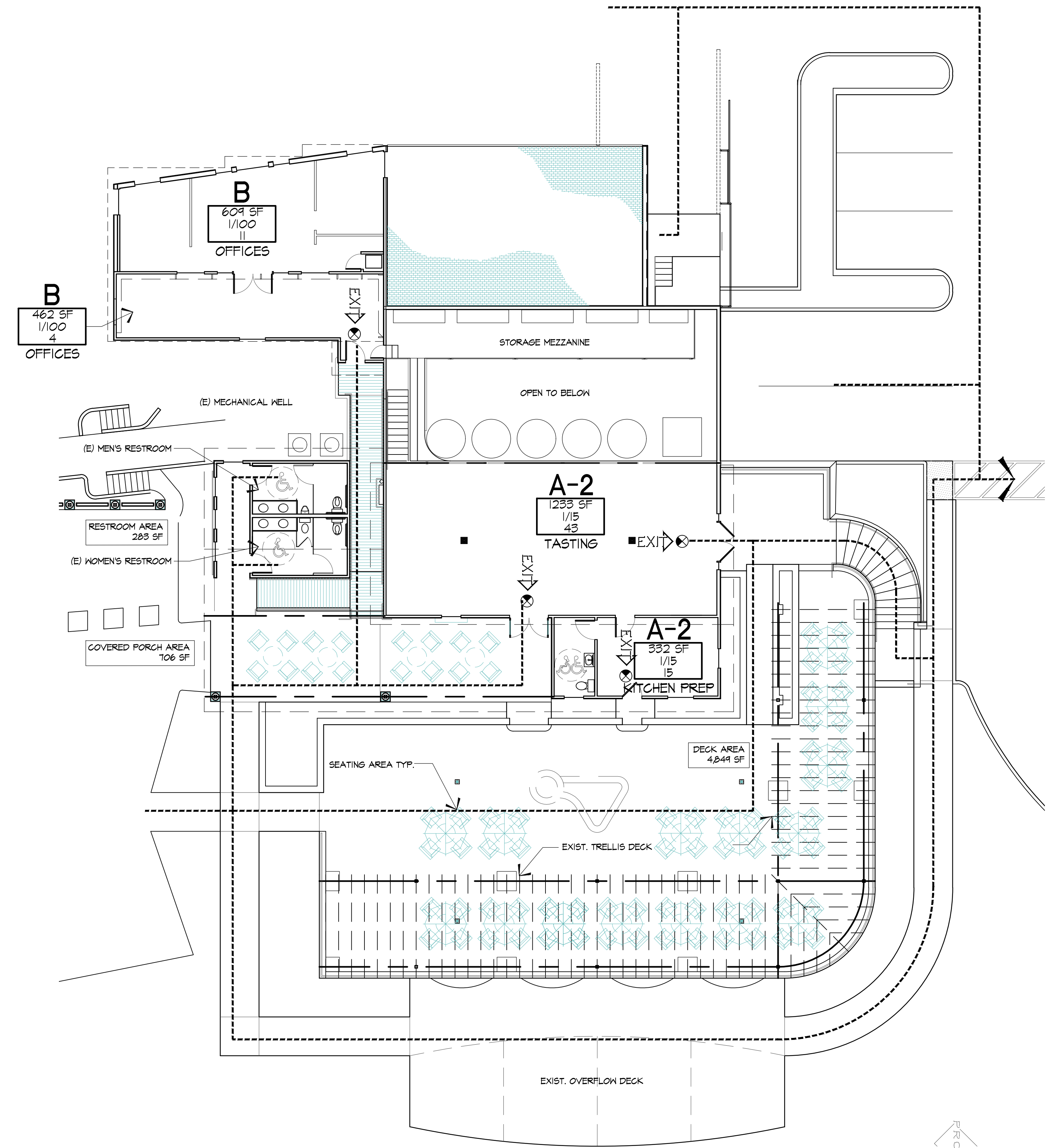
LEGEND:

- ⊗ EXIT SIGN - CEILING / WALL MOUNTED (SEE REFLECTED GLG. PLAN)
- ⊗ EXIT FACE KNOCK-OUT ILLUMINATION
- ARROW KNOCK-OUT DIRECTION
- ⊗ EXIT SIGN - PHOTOLUMINESCENT - FLOOR-LEVEL MOUNT, SIGN SHALL NOT BE LESS THAN 6" OR MORE THAN 8" A.F.F. AND SHALL INDICATE THE PATH OF TRAVEL. FOR EXIT AND EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR IN THE CLOSEST EDGE OF THE SIGN WITH IN 4" OF THE DOOR FRAME PER CBC, 1011.7

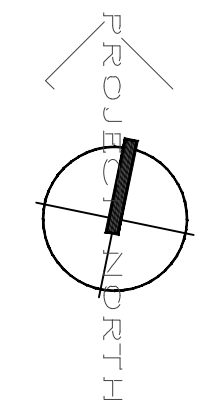
←EXIT DESIGNATED MEANS OF EGRESS



1 BASEMENT FLOOR PLAN 1" = 10'-0"



2 GROUND FLOOR PLAN 1" = 10'-0"



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Date	11/2/22

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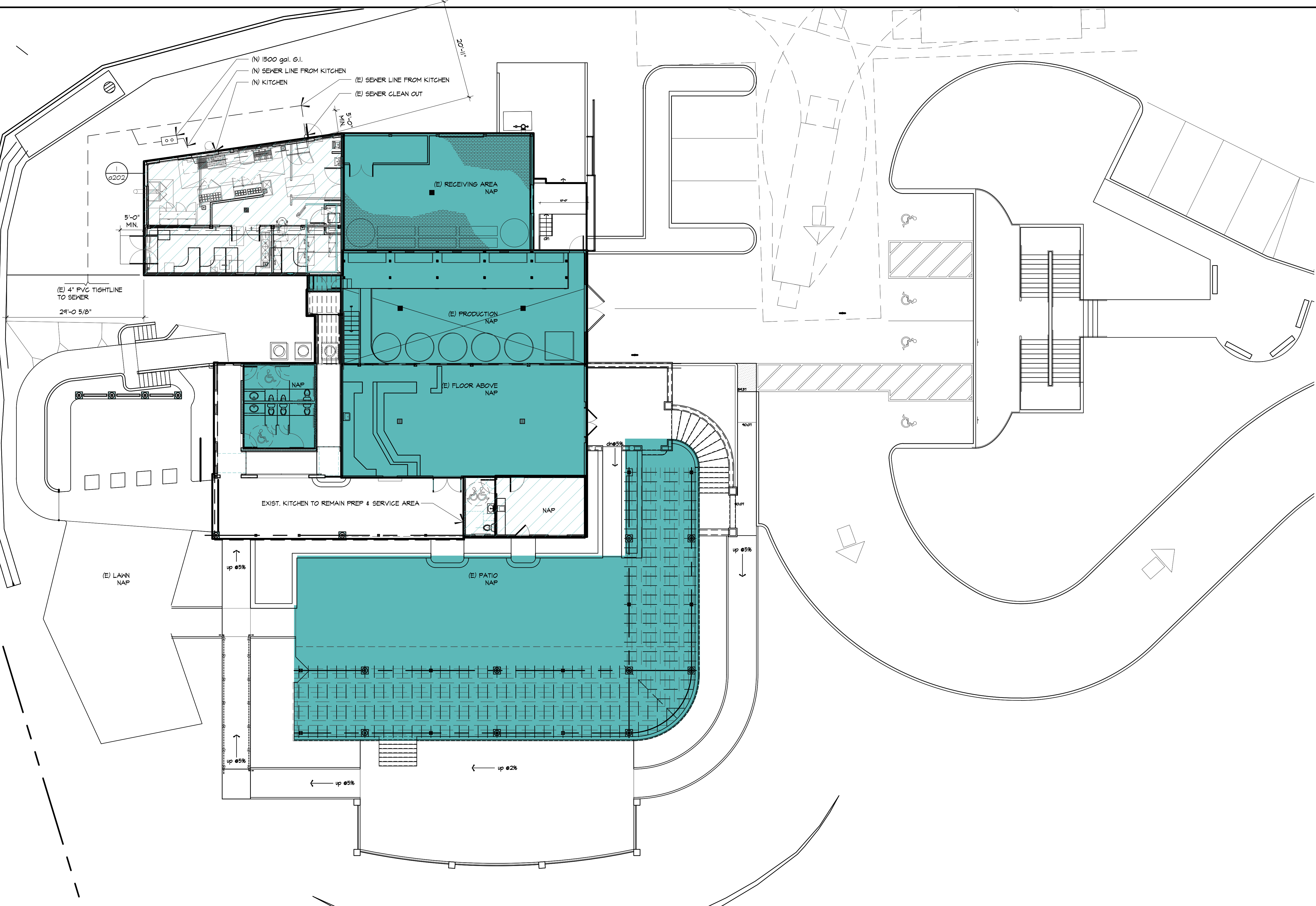
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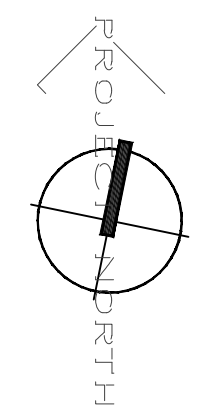
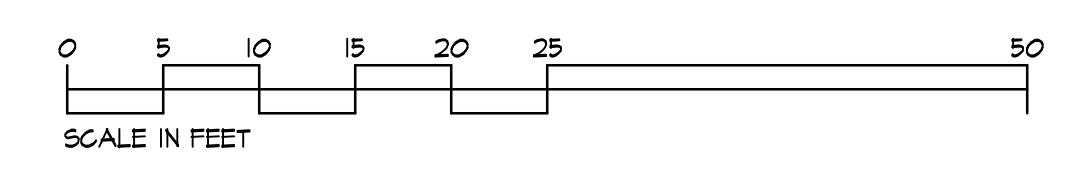
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GRASS SWALE



1 ENLARGED SITE PLAN

1" = 10'-0"



Old Town Temecula

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DESIGNED ARCHITECT
WALTER RUSSELL ALLEN
C438
EXPIRES 12/31/2025
STATE OF CALIFORNIA

Designed	bcj
Drawn By	bcj
Checked	wra
Date	11/12/22

MIRAMONTE KITCHEN

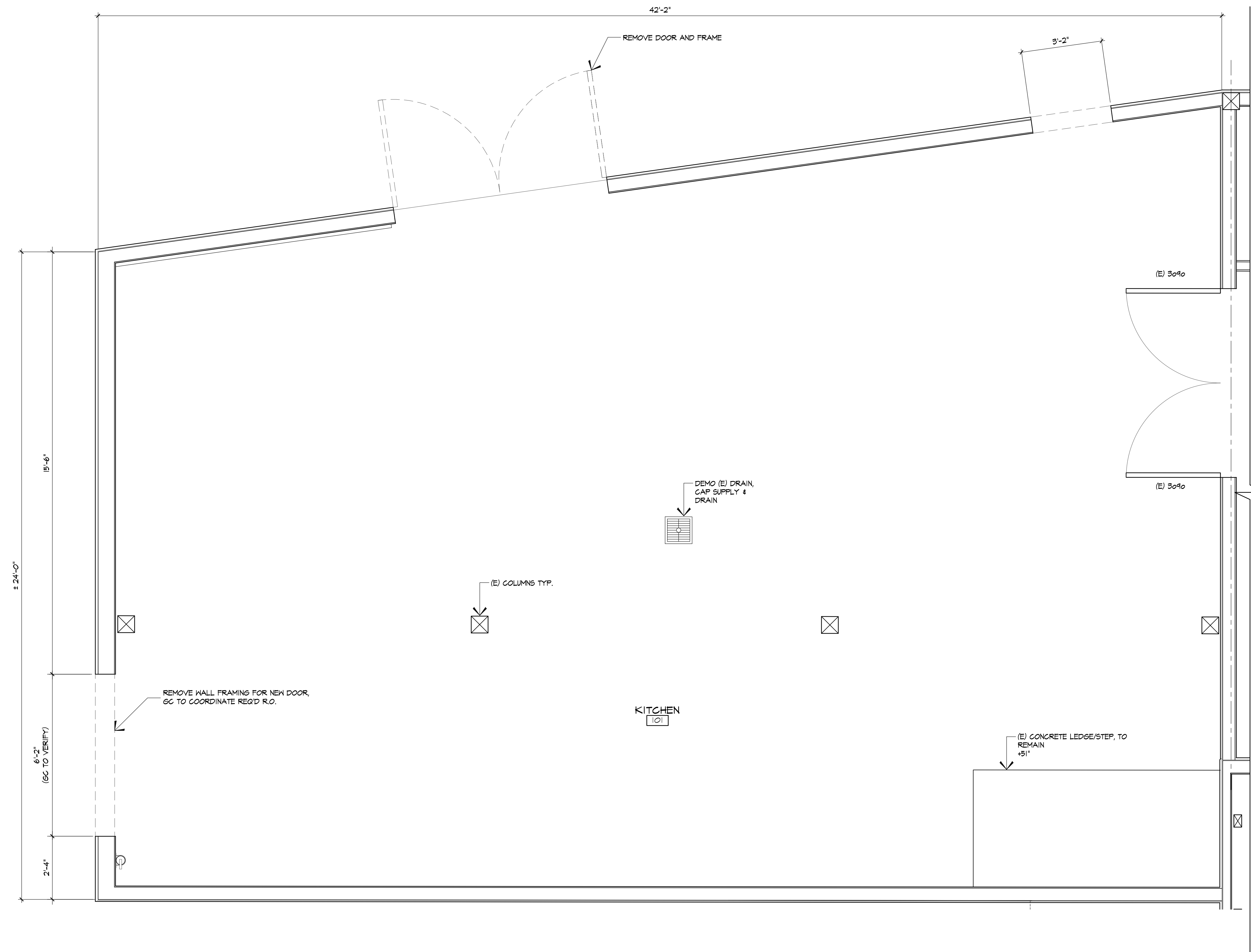
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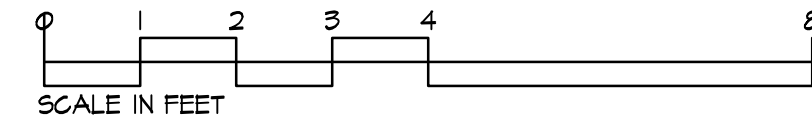
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1 DEMO PLAN

1/2" = 1'-0"



GENERAL DEMOLITION NOTES

1. DEMOLITION NOTES FOR DIFFERENT TRADES OCCUR ON OTHER DRAWINGS. ALL CONTRACTORS AND ALL TRADES SHALL REVIEW DRAWINGS FOR THE EXTENT OF THE WORK TO BE COMPLETED AND COORDINATED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION EXCEPT THAT WHICH IS DIRECTLY RELATED TO THE PLUMBING, ELECTRICAL, AND HVAC CONTRACTS. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF THEIR RESPECTIVE TRADES. I.E. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL PLUMBING FIXTURES, PIPING, SUPPORTS, CUTTING, CAPPING, AND RE-ROOTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL DEMOLITION AND REMOVAL, ETC. HVAC CONTRACTOR IS RESPONSIBLE FOR ALL HVAC DEMOLITION AND REMOVAL.
2. GENERAL CONTRACTOR WILL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL CONTACT THE ARCHITECT OR ENGINEERS PRIOR TO PROCEEDING WITH DEMOLITION OF GIVEN AREAS.
3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK UNLESS OTHERWISE NOTED. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR DEMOLITION OF THEIR RESPECTIVE TRADES.
4. REFER TO ALL DRAWINGS FOR ITEMS TO BE RELOCATED OR REINSTALLED. SPECIAL CARE IS TO BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS.
5. LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE. ALL TRADES SHALL FIELD VERIFY ALL LOCATIONS.
6. WHEN A NEW WALL, CEILING, ROOF, OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF, OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACE OF THE REMAINING SUBSTRATE, UNLESS NOTED OTHERWISE.
7. WHEN NEW FINISHES ARE SCHEDULED, INDICATED, OR REQUIRED OVER EXISTING SUBSTRATES, CONTRACTOR SHALL COMPLETELY REMOVE EXISTING FINISH MATERIALS, SUCH AS, BUT NOT NECESSARILY LIMITED TO, VENEERS, COATINGS, FILMS, OILS, SEALERS, ADHESIVES AND OTHER RESIDUAL MATERIALS WHICH ARE NOT ACCEPTABLE SUBSTRATES FOR NEW FINISHES PER NEW FINISH MANUFACTURER'S WRITTEN SPECIFICATIONS AND BEST INDUSTRY STANDARDS, WHETHER SPECIFICALLY INDICATED OR NOT. DEFECTIVE SUBSTRATES WHICH ARE NO LONGER UNIFORM, DIMENSIONALLY STABLE, STRUCTURALLY SOUND, OR OTHERWISE UNACCEPTABLE FOR THE INSTALLATION OF NEW FINISHES, SHALL BE REMOVED AND REPLACED WITH NEW MATERIAL, COMPATIBLE WITH EXISTING AND SUITABLE FOR THE NEW FINISH IN ACCORDANCE WITH MATERIAL MANUFACTURER'S WRITTEN LITERATURE AND RECOGNIZED INDUSTRY STANDARDS. IN ALL CASES, CONSULT MATERIAL MANUFACTURER'S LITERATURE FOR NEW FINISHES TO BE INSTALLED PRIOR TO STARTING THE WORK.
8. ACCESSORY ITEMS AND EQUIPMENT, SUCH AS FIRE EXTINGUISHERS, BUILT-IN CABINETS, VISUAL DISPLAY BOARDS, THERMOSTATS, SWITCHES, PANELS, EXIT SIGNS, LIGHTS, DRAINS, VALVES, UNIT VENTILATORS, AND THE LIKE, LOCATED IN WALLS, CEILINGS, ROOFS, OR FLOORS TO BE ALTERED OR REMOVED, SHALL BE REMOVED AND SALVAGED FOR RECONDITIONING AND RECONNECTION UNLESS OTHERWISE NOTED OR DIRECTED BY THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
9. DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK SHOWN HERewith, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED AND/OR SPECIFIED ELSEWHERE AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION.
10. TURN OVER TO OWNER ALL ITEMS DESIGNATED 'SALVAGE' AND REMOVE AND REINSTALL ALL ITEMS THAT ARE DESIGNATED TO BE MOVED OR REINSTALLED.
11. DEMOLITION WORK INCLUDES ALL DEMOLITION AS REQUIRED, WHETHER SHOWN OR NOT, TO ACCOMMODATE NEW CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL PATCH, REPAIR AND OR RESTORE ALL EXISTING WALLS TO THEIR ORIGINAL CONDITION WITH MATERIALS WHICH EXACTLY MATCH THE ORIGINAL CONSTRUCTION. THE USE OF COMBUSTIBLE, ASBESTOS OR OTHER MATERIALS WHICH HOWEVER NO LONGER MEET BUILDING, HEALTH AND SAFETY OR ENVIRONMENT.

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Designed	ba
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Checked	wfg
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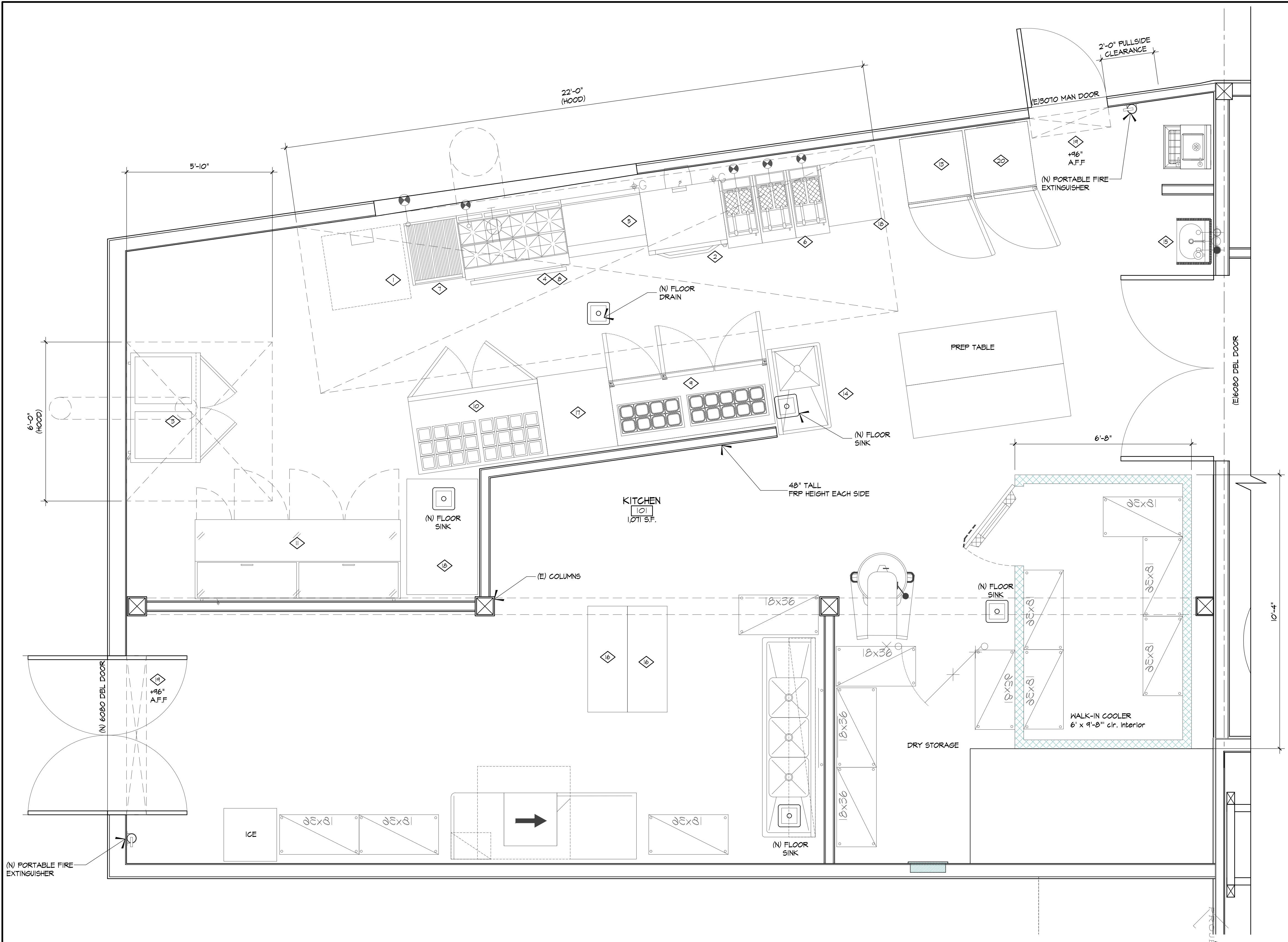
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Revisions	Sym.	By	Date

Job Number: 2207
 Drawing Number

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EQUIPMENT FLOOR PLAN

FINISH SCHEDULE

NUMBER	ROOM	FLOOR	BASE	WALLS				WAINSCOT				CEILING	HEIGHT	REMARKS / NOTES
				A	B	C	D	A	B	C	D			
FIRST FLOOR														
101	KITCHEN	F1	B1	W2	W2	W2	W2					C1	± 8'-0"	
														N/A

- F - FLOOR**
- F 1 TILE; MANUFACTURER: DAL TILE LINE: 0048 ARID FLASH COLOR: HIGH (V3) SIZE: 6x6 GROUT:
- B - BASE**
- B 1 DAL TILE; QUARRY COVERED BASE
- W - WALLS**
- W 1 DRYWALL FINISH, SEMI-GLOSS ENAMEL PAINT
- W 2 FIBER REINFORCE PANEL (FRP) OVER MOISTURE RESISTANT DRYWALL, FULL HEIGHT, MIN. 24" FROM SIDE OF SINK
- C - CEILING**
- C 1 CEILUME 2'x2' CAMBRIDGE CEILING TILE - WHITE.

- REMARKS:**
- VERIFY ALL FINISHES WITH CONTRACTOR PRIOR TO ORDERING ANY MATERIALS.
 - WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.5

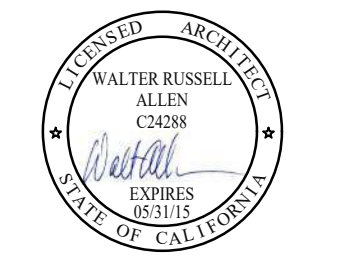
NOTE:
FLOORS SHALL SLOPE TO THE FLOOR DRAINS CFC 410.5

NOTE:
VERIFY ALL FINISHES W/ OWNER PRIOR TO ORDERING ANY MATERIALS

ITEM NO.	QUANTITY	DESCRIPTION:
1	1	DOUBLE DECK INFRARED BROILER
1	1	DOUBLE DECK CONVECTION OVEN
1	1	DOUBLE DECK PIZZA OVEN
1	1	8 BURNER W/ CONVECTION OVENS
1	1	6 BURNER/FLAT TOP COMBO W/ CONVECTION OVEN
3	3	GAS FLOOR FRYER
1	1	24" CHAR BROILER
2	2	SALAMANDER BROILER
1	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
1	1	60" SANDWICH/PREP TABLE W/ 2 DOORS
1	1	48" PIZZA PREP TABLE W/ 3 DOORS
1	1	36" 2 DRAWER CHEF BASE
1	1	REACH-IN FRIDGE
1	1	ONE COMPARTMENT SINK W/ DRAIN BOARD
1	1	HAND SINK WITH TOWEL DISPENSER
1	1	SHELVING
1	1	STEAM TABLE
1	1	SIDE TABLE
2	2	FLY FAUVAIR CURTAIN
1	1	REACH-IN FREEZER

SANITATION AND HEALTH DEPARTMENT NOTES:

- ALL FOOD SERVICE EQUIPMENT MUST BE MANUFACTURED TO COMPLY WITH ALL LOCAL BUILDING AND HEALTH DEPARTMENT CODE REQUIREMENTS. ALL FOOD SERVICE EQUIPMENT MUST MEET (N.S.F.) NATIONAL SANITATION FOUNDATION STANDARDS AND CRITERIA. THE JUNCTURE BETWEEN THE INTERIOR FLOOR AND THE INTERIOR VERTICAL WALLS SHALL HAVE A COVE BASE WITH A RADIUS OF AT LEAST 3/8" AND THE MATERIAL SHALL BE AN APPROVED TYPE TO EXTEND UPWARD ONTO THE WALLS AT LEAST 6".
- GENERAL HOT WATER SUPPLY SHALL BE MAINTAINED AT BETWEEN 130° AND 140°. THE HEATER AND WATER STORAGE CAPACITY OF HOT WATER SHALL BE ADEQUATE TO MAINTAIN THE SUPPLY DURING PERIODS OF PEAK ACTIVITY.
- MECHANICAL VENTILATION MUST BE PROVIDED IN RESTROOMS, ANTE-ROOMS, AND DRESSING ROOMS WITH AIR EXCHANGE MINIMUM OF 12 PER HOUR. (BY HEATING / VENTILATION AND AIR CONDITIONING CONTRACTOR)
- SMOOTH CONCRETE SLAB FOR TRASH CONTAINERS TO BE PROVIDED OUTSIDE IN ADJACENT AREA (BY GENERAL CONTRACTOR).
- ALL FLOORS AND HAND SINKS MUST HAVE A COMBINATION FAUCET OR PREMIXING FAUCET CAPABLE OF SUPPLYING HOT WATER FOR A MINIMUM OF TEN MINUTES. ALL HAND SINKS MUST HAVE A TOWEL AND SOAP DISPENSER. (HAND SINKS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR).
- THE JANITORIAL SINK FAUCET MUST BE PROTECTED WITH AN APPROVED BACKFLOW PREVENTION DEVICE. (BY PLUMBER)
- ALL FLOORS IN FOOD HANDLING AREAS, RESTROOMS AND ANTE-ROOMS SHALL HAVE A SMOOTH HARD NON-ABSORBENT SURFACE EXTENDED UPWARDS ONTO WALLS FIVE INCHES WHERE REQUIRED BY CODE, OR SIX INCHES TOP SET WHERE ACCEPTABLE BY CODE.
- ALL CEILINGS AND WALLS IN FOOD HANDLING, DISHWASHING, POT AND PAN WASHING AND FOOD STORAGE AREAS SHALL BE SMOOTH, CLEANABLE, AND LIGHT IN COLOR.
- WALLS IN WATER CLOSET COMPARTMENT AND WITHIN TWO FEET OF FRONT AND SIDES OF URINALS SHALL BE OF NON-ABSORBENT MATERIAL, FINISHED TO A HEIGHT OF 4'.
- FLOOR SINK AT DISHWASHING MACHINE SHALL HAVE A 3" MINIMUM DRAIN PIPE. (FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR)
- ALL CEILING AND WALLS IN RESTROOMS, ANTE-ROOMS AND EMPLOYEE DRESSING ROOMS SHALL BE SMOOTH, CLEANABLE, AND LIGHT IN COLOR.
- ALL RESTROOM, ANTE-ROOMS AND DRESSING ROOM DOORS ARE REQUIRED TO BE UNDERCUT ONE INCH (1").
- ALL EXTERIOR ANTE-ROOMS DRESSING ROOMS AND RESTROOM DOORS SHALL BE SELF CLOSING. (EXTERIOR DOORS SHALL OPEN OUTWARDS).
- FIFTY (50) FOOT CANDLES OF LIGHT MEASURED THIRTY INCHES ABOVE THE FLOOR SHALL BE PROVIDED IN ALL FOOD SERVICE AND STORAGE AREAS. (ALL LIGHTING SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR)
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE TIGHT FITTING. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH AT LEAST 16" MESH, T316 SCREENS.
- DISHWASHING MACHINES MUST MEET (N.S.F.) NATIONAL SANITATION FOUNDATION STANDARDS. (HIGH TEMP. DISH MACHINES MUST HAVE HOT WATER OF 180° F. MINIMUM FINAL RINSE WATER)
- ALL KITCHEN MUST HAVE A 3-COMPARTMENT UTENSIL, POT & PAN SINK.
- EXHAUST HOOD FIRE SUPPRESSION SYSTEM SHALL BE INSTALLED SO AS TO ALLOW EASY CLEANABILITY OF EXHAUST HOOD AND DUCT SYSTEMS.
- RESTROOM AND EXTERIOR DOORS SHALL HAVE SELF CLOSERS.
- LIGHT FIXTURES SHALL HAVE SHATTERPROOF COVERS.
- ALL EXTERIOR DOORS FROM FOOD SERVICE AREAS OF BUILDING AREAS OF BUILDING SHALL BE PROVIDED WITH INSECT CONTROL FAN MOUNTED DIRECTLY ABOVE DOOR ON EXTERIOR OF BUILDING. FAN SHALL HAVE A MIN. VELOCITY OF 1600 FPM MEASURED AT ±3' A.F.F.
- PENETRATIONS THROUGH WALLS OR BETWEEN CABINETS FOR PIPING OR CONDUIT, ETC., SHALL BE DONE NEATLY AND FINISHED WITH ESCUTCHEONS OR CLEANABLE CAULKING MAKE UP AIR SHALL BE PROVIDED AT LEAST EQUAL IN AMOUNT TO THAT WHICH IS MECHANICALLY EXHAUSTED. WINDOWS AND DOORS SHALL NOT BE USED FOR THE PURPOSE OF PROVIDING MAKE UP AIR EXHAUST AND MAKE UP AIR FANS SHALL BE ELECTRICALLY INTERCONNECTED TO OPERATE FROM ONE SWITCH.
- ALL OPERABLE WINDOWS SHALL BE SCREENED WITH NOT LESS THAN 16 MESH, T316 SCREENING
- ALL MILLWORK ITEMS, CABINETS, COUNTERS AND FINISHES MUST BE IMPERVIOUS TO WATER, GREASE, AND LIQUOR. MILLWORK MUST MEET ALL N.F.S. CODES.
- TRASH ENCLOSURE LOCATED OUTSIDE OF BUILDING. SEE SITE PLAN FOR LOCATION. ENCLOSURE SHALL BE ON CONCRETE SLAB AND SURROUNDING AREA SHALL BE EASILY WASHABLE.
- POT SINKS AND DISHTABLES SHALL DRAIN TO GREASE INTERCEPTOR WHEN GREASE INTERCEPTOR IS REQUIRED BY LOCAL CODES. DISHWASHERS AND DISPOSERS, IF SPECIFIED, SHALL NOT DRAIN TO GREASE INTERCEPTOR. VERIFY WITH FOOD SERVICE CONTRACTOR WHICH EQUIPMENT SHALL DRAIN THROUGH GREASE INTERCEPTOR. VARIANCES IN LOCAL CODE REQUIREMENTS SHALL SUPERCEDE THIS REQUIREMENT.
- HAND SINKS SHALL BE PROVIDED WITH HOT AND COLD WATER THROUGH A MIXING FAUCET. SOAP AND TOWEL DISPENSERS SHALL BE PROVIDED AT ALL HAND SINKS.
- MOP SINK SHALL BE PROVIDED WITH HOT AND COLD WATER THROUGH MIXING FAUCET. A MOP RACK AND SHELF FOR CLEANING SUPPLIES SHALL BE PROVIDED. IF MATS ARE USED IN FACILITY, MOP SINKS MUST BE LARGE ENOUGH TO WASH THEM.
- MOP SINK SHALL BE SEPARATED FROM FOOD PREPARATION AND STORAGE AREAS BY WATERPROOF, WASHABLE PARTITION TO MIN. HEIGHT OF 42" A.F.F.
- POT SINKS TUBS SHALL BE LARGE ENOUGH TO ACCOMMODATE THE LARGEST UTENSIL USED IN FACILITY.
- HIGH TEMP DOOR-TYPE DISHWASHERS SHALL BE PROVIDED WITH CLASS II EXHAUST HOODS ALL-TIME AREAS INCLUDING POT SINKS, PREP SINK, DISHWASH AREA AND MOP SINK AREA SHALL HAVE WATER-PROOF, WASHABLE, WALL LINING FROM FLOOR BASE TO MIN. 42" A.F.F. VEGETABLE PREP SINKS, POT SINKS, UNDER-BAR SINKS, DISHWASHERS, ICE MACHINES, REMOTE REFRIGERATED UNITS INCLUDING WALK-IN COILS, ICE BIN, HOT FOOD TABLES, AND ANY AND ALL EQUIPMENT AND FIXTURES WITH DRAIN CONNECTION, WITH THE EXCEPTIONS OF HAND SINKS AND MOP SINKS, SHALL DRAIN INDIRECTLY TO FLOOR SINK W/ A 1" AIR GAP, OR OTHER APPROVED METHOD. FLOOR SINKS SHALL BE ACCESSIBLE FOR CLEANING BY MEANS OF 18" CLEARANCE ABOVE THE FLOOR.
- WATER HEATERS INSTALLED IN FOOD SERVICE AREA SHALL BE INSTALLED ON A MIN. 6" HIGH COVERED CURB BASE, WITH WATER HEATER SEALED TO BASE IN WATERPROOF MANNER.



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Date: 11/2/22

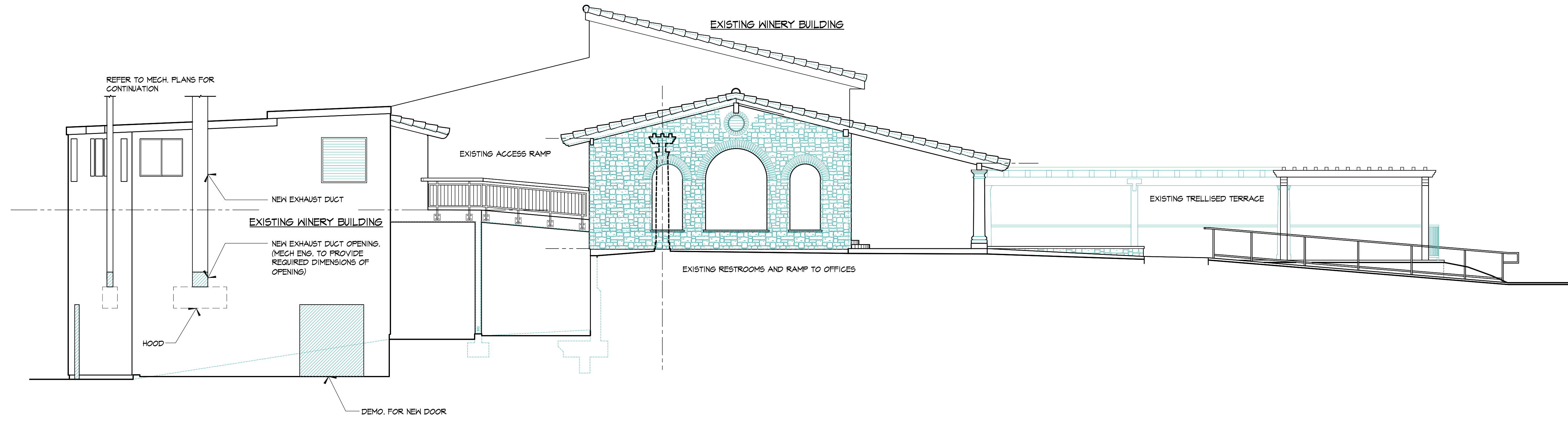
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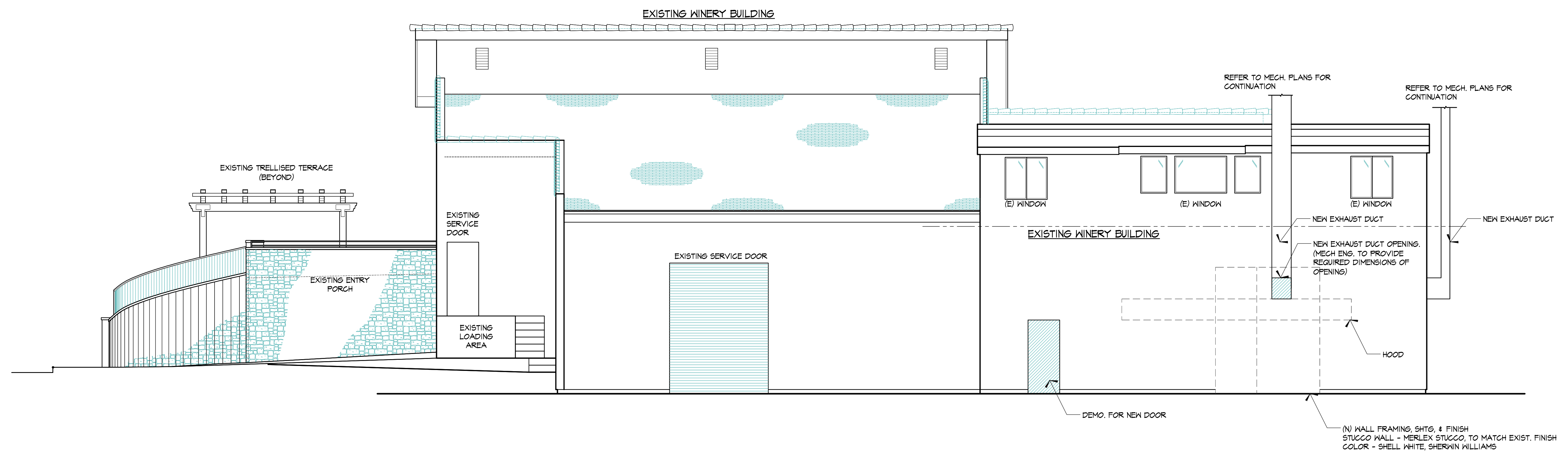
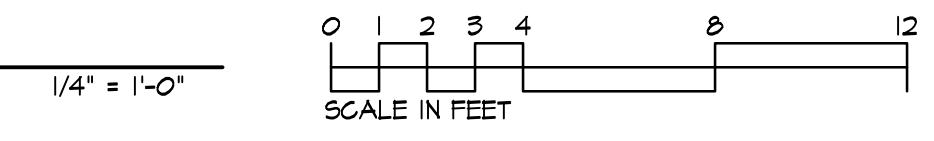
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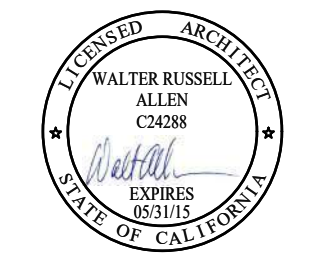
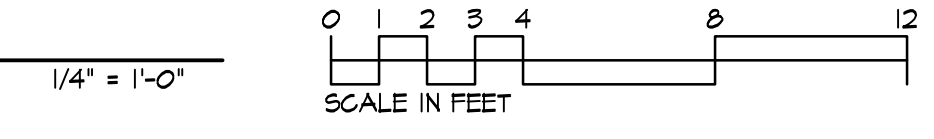
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1 LEFT SIDE (WEST) ELEVATION



2 REAR (NORTH) ELEVATION



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Drawn By	bcj
Checked	wfg
Date	11/2/22

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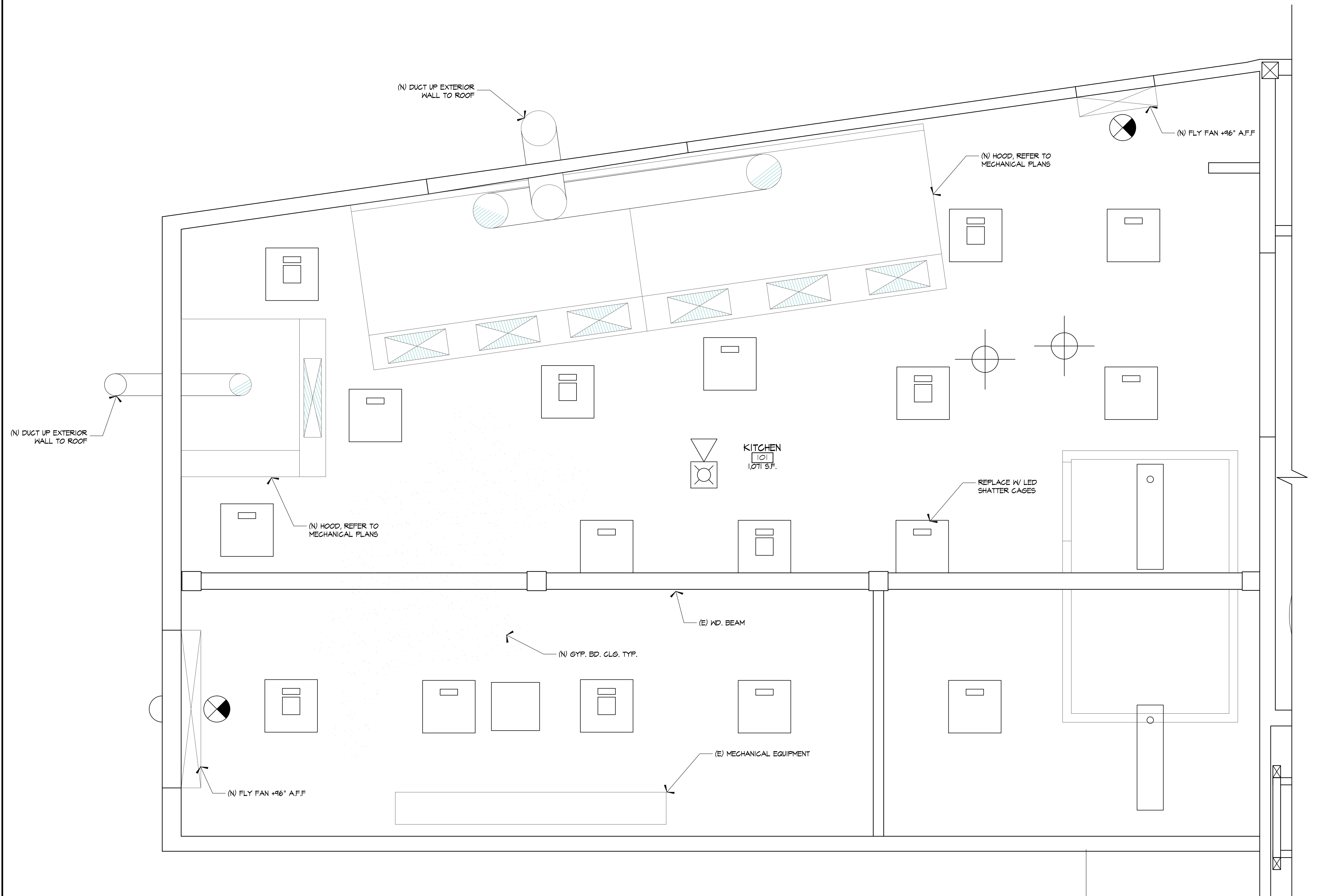
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Date																					

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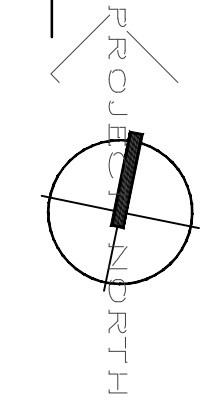
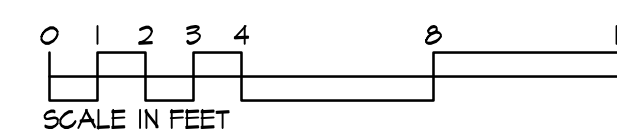
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1 REFLECTED CEILING PLAN

1/2" = 1'-0"



REFLECTED CEILING PLAN NOTES:

1. CONTRACTOR SHALL VERIFY W/ OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
2. CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED.
3. PLEASE REFER TO ELECTRICAL DRAWINGS FOR EXACT LIGHTING LAYOUT, CONTROLS, SWITCHING AND ADDITIONAL ELECTRICAL INFORMATION.
4. PLEASE REFER TO MECHANICAL DRAWINGS FOR EXHAUST FAN, HVAC SUPPLY & RETURN LOCATIONS.

NOTE:

PLEASE REFER TO ELECTRICAL DRAWINGS FOR EXACT LIGHTING LAYOUT, CONTROLS, SWITCHING AND ADDITIONAL ELECTRICAL INFORMATION.

PLEASE REFER TO MECHANICAL DRAWINGS FOR HVAC SUPPLY & RETURN LOCATIONS.

ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH OR CENTER LINE OF FIXTURES (UNLESS NOTED). THIS SHEET ONLY

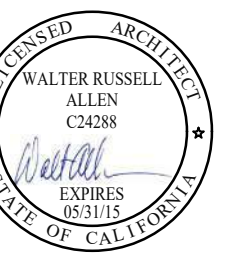
UTILITIES LEGEND:

- 2x2 SURFACE MOUNTED LED TROFFER
- 2x2 SURFACE MOUNTED LED TROFFER W/ EMERGENCY BATTERY PACK
- GASKETED LED LINEAR FEATURE
- 16" DIAMETER LED PENDANT
- LED EXIT SIGN
- LED WALL PACK W/ EMERGENCY BATTERY PACK

FIRE EQUIPMENT:

- HORN & STROBE ALARM

Old Town Temecula
rqtex
 28465 Old Town Front Street, Suite 201
 Temecula, CA 92590
 (951) 693-0301



Designed	bcj
Drawn By	bcj
Checked	wfg
Date	11/2/22

MIRAMONTE KITCHEN

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Permit Number: Permit Number

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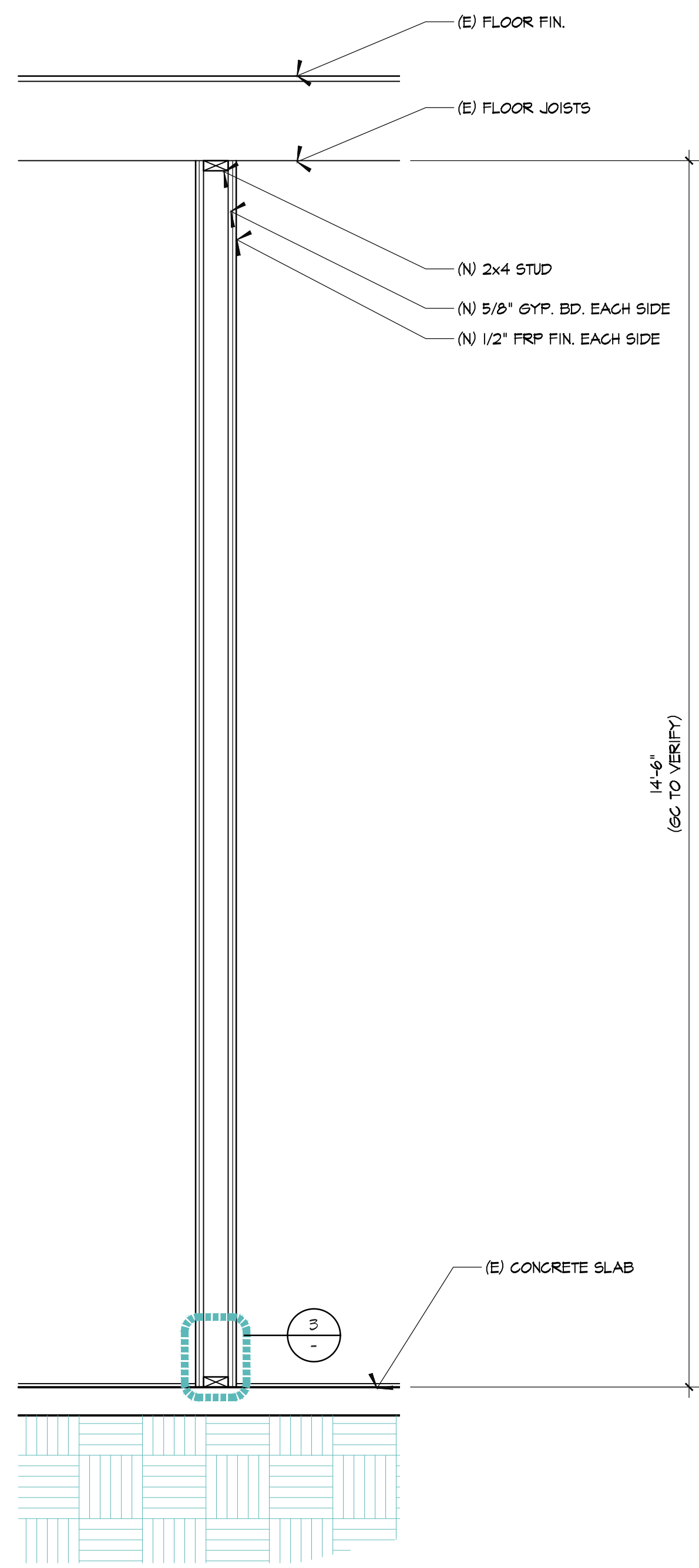
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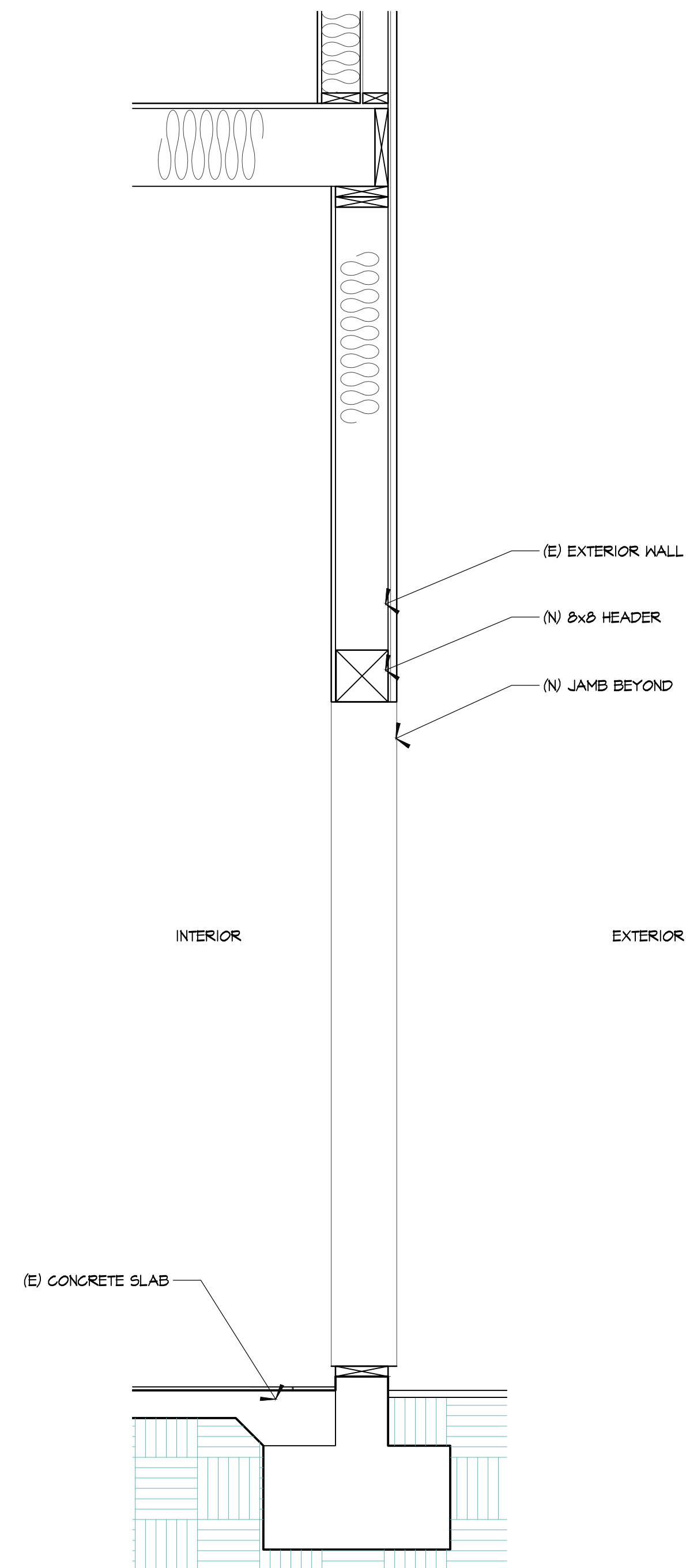
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8 - 3/4" = 1'-0"



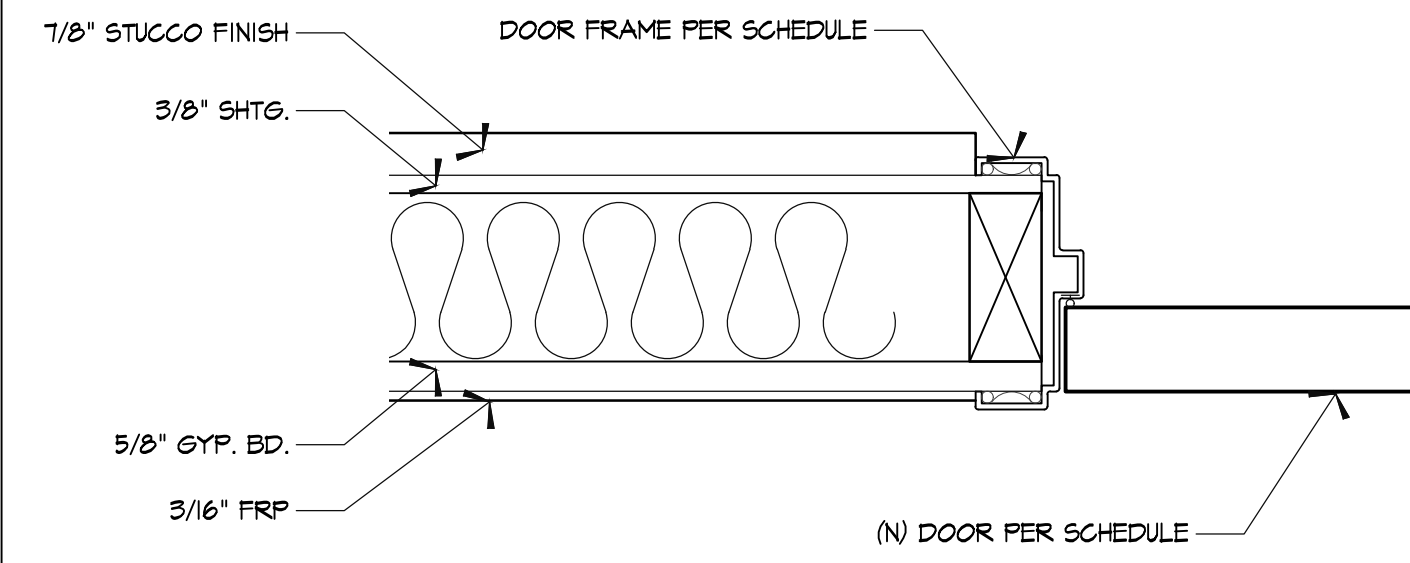
9 - 3/4" = 1'-0"

6 - SCALE 3" = 1'-0"

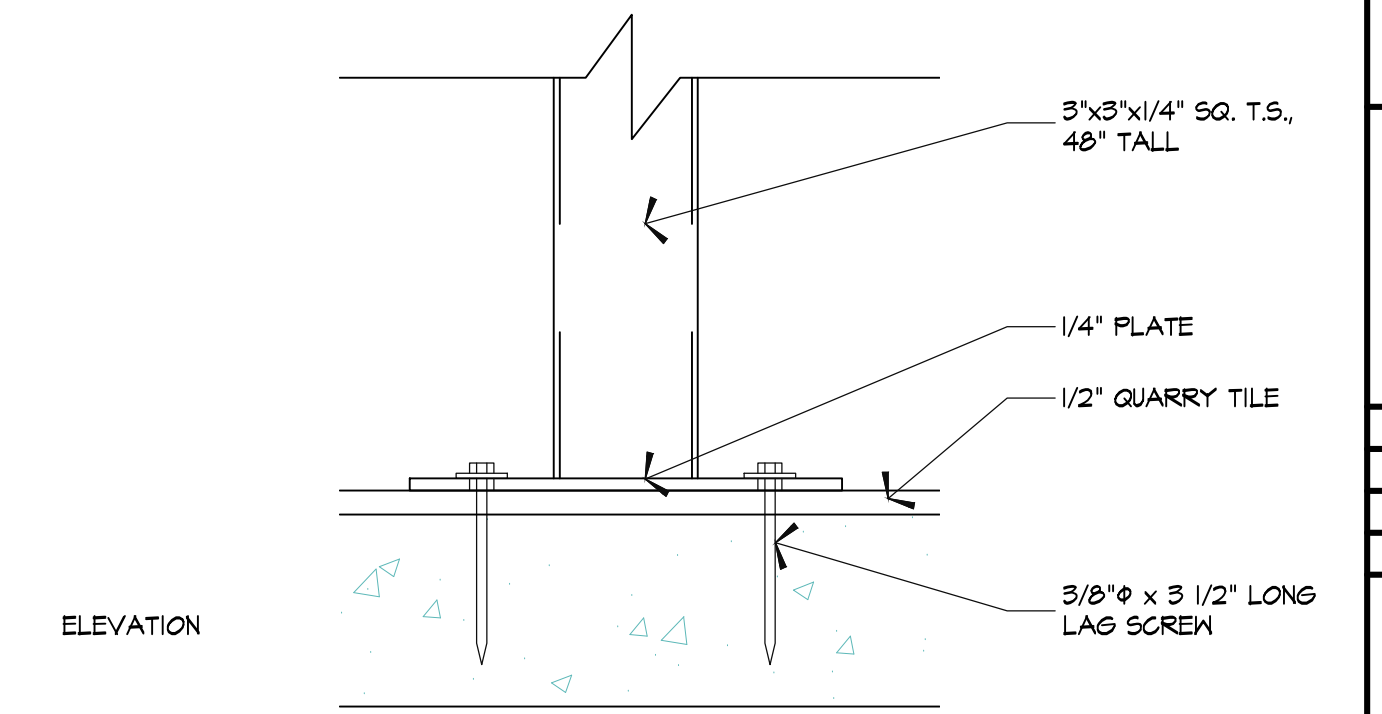
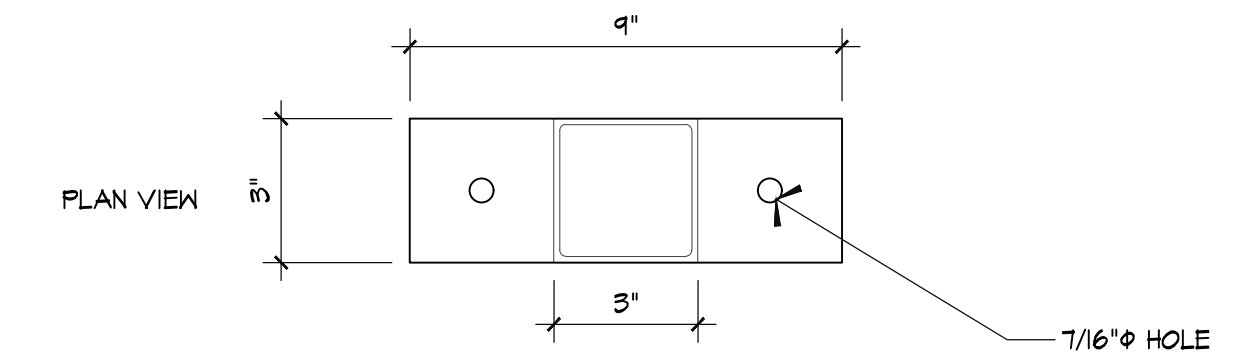
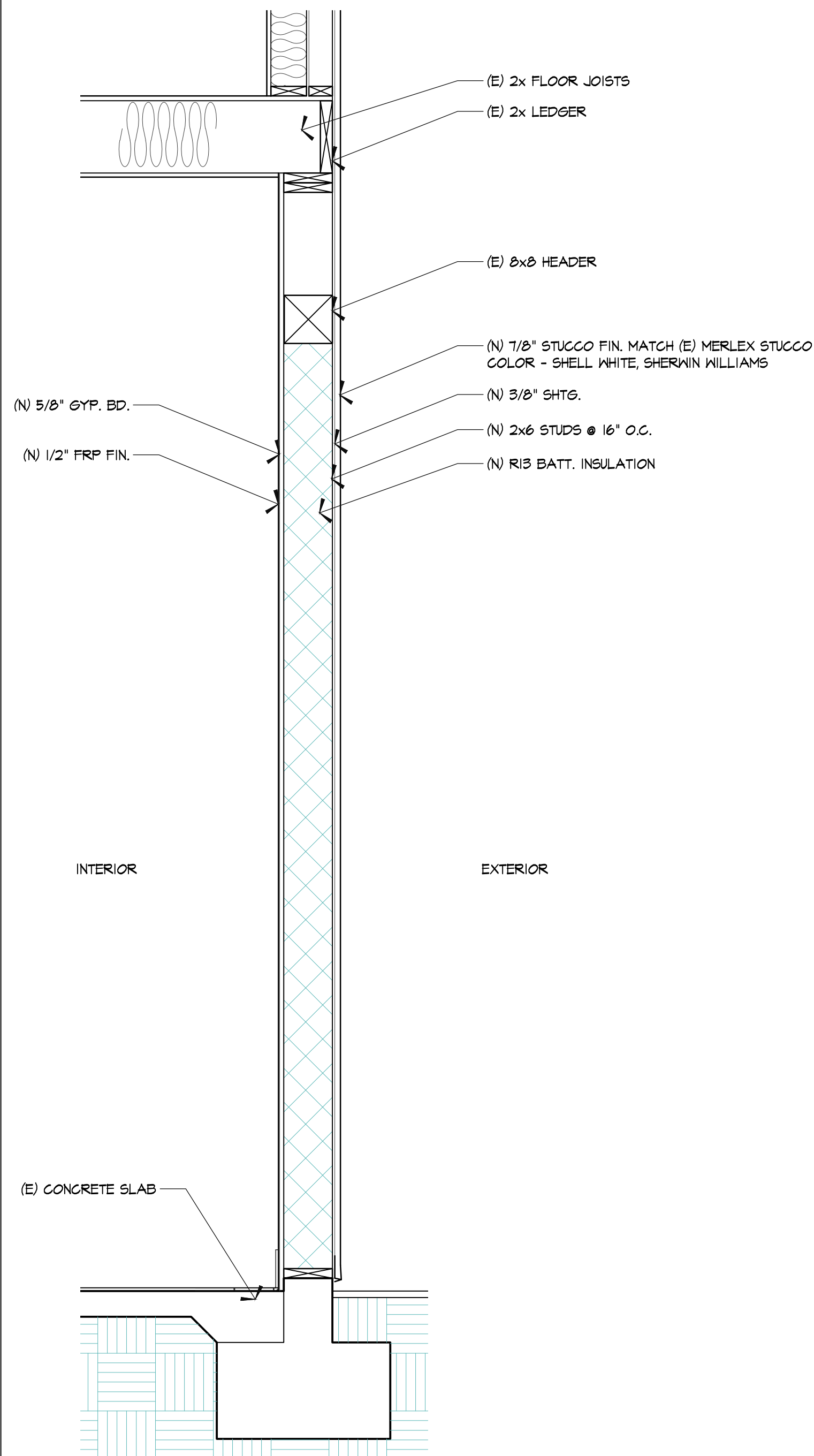


7 - SCALE 3/4" = 1'-0"

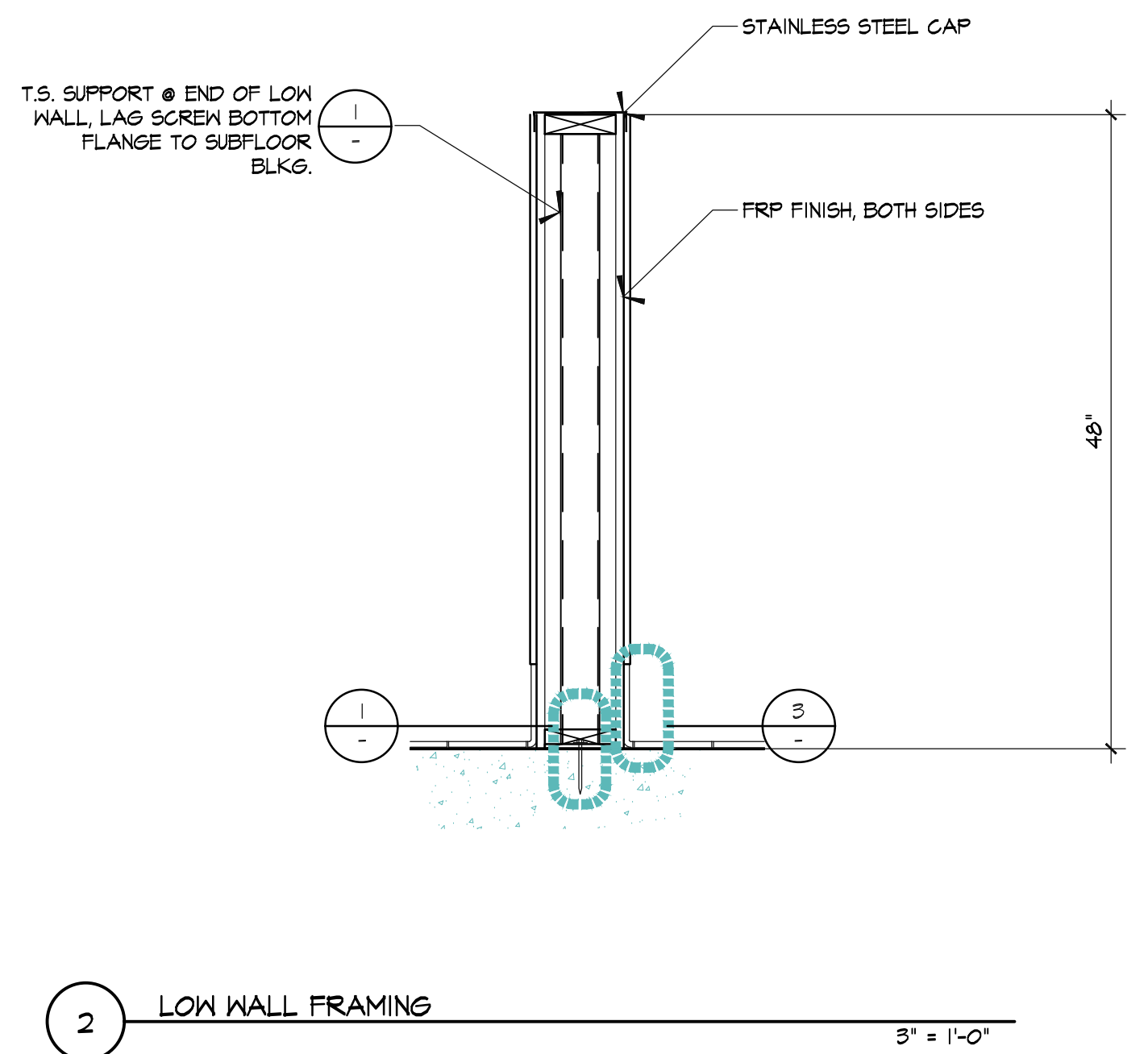
4 - (N) EXT. DOOR 3" = 1'-0"



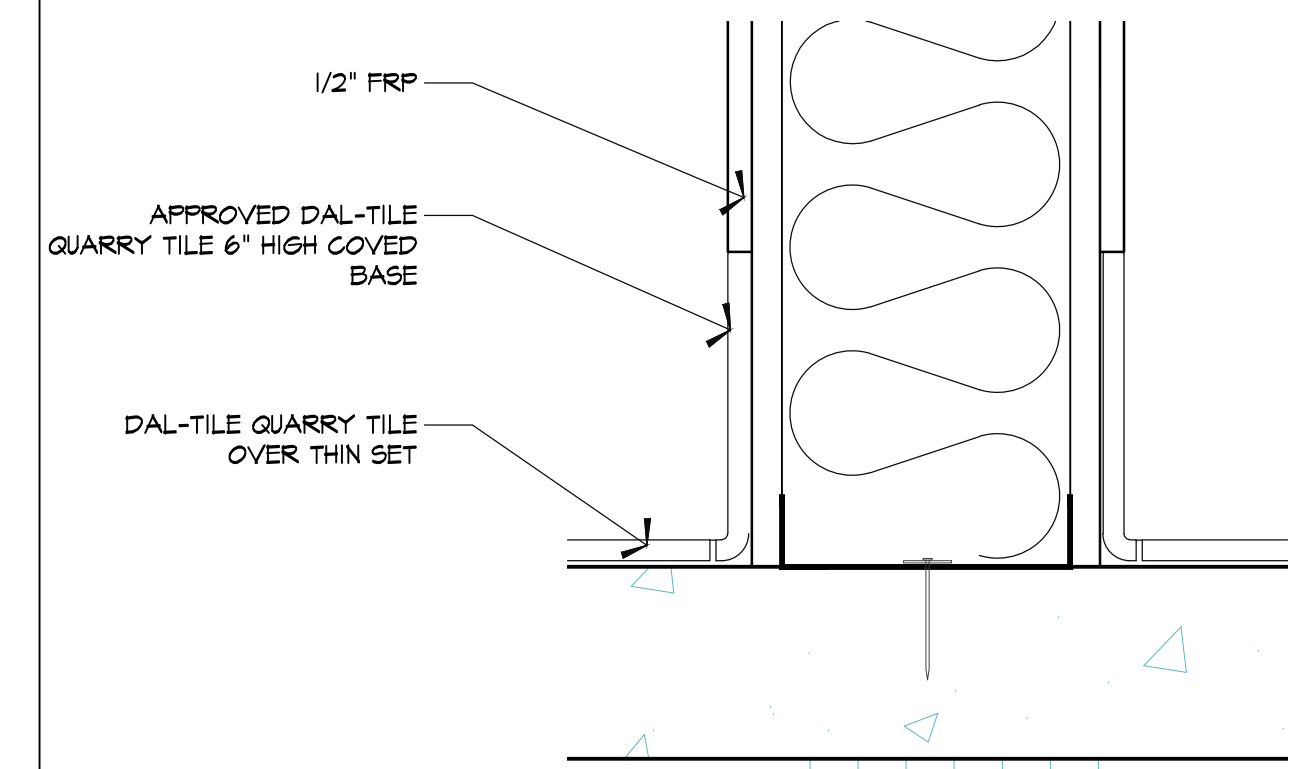
5 - NEW DOOR FRAMING SECTION 3/4" = 1'-0"



1 - TUBE STEEL SUPPORT @ LOW WALL FRAMING 3" = 1'-0"



2 - LOW WALL FRAMING 3" = 1'-0"



3 - BASE MOLDING 3" = 1'-0"



Designed	ba
Drawn By	ba
Checked	prg
Date	11/12/22

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SUSPENDED CEILING SPECIFICATION:

SUSPENDED CEILING SYSTEM TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION METHODS.

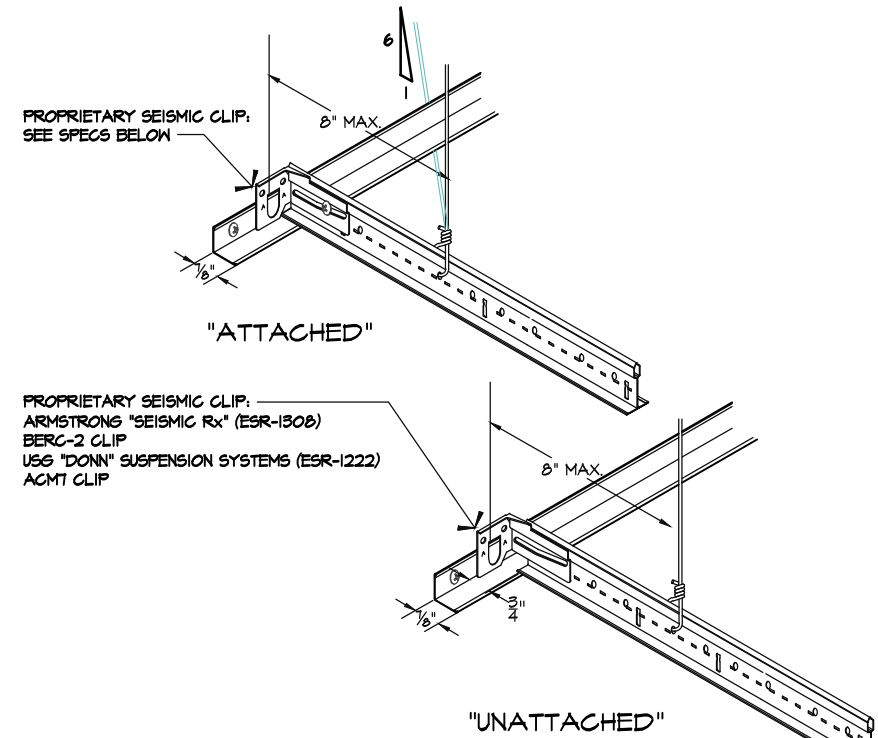
APPROVED MANUFACTURERS & SYSTEMS SHALL BE:

- ARMSTRONG "SEISMIC RX" SUSPENSION SYSTEM (ICC-ESR-1308)
- USG "DORN" SUSPENSION SYSTEMS (ICC-ESR-1222)

SUBSTITUTION OF COMPONENTS IS NOT ALLOWED. IF SUBSTITUTIONS ARE PROPOSED, CONTRACTOR SHALL SUBMIT ALTERNATE MANUFACTURER DATA FOR VERIFICATION.

CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED.

USE SPECIFIC SEISMIC CLIPS & COMPONENTS IN ACCORDANCE WITH COMPLETE APPROVED SUSPENDED CEILING SYSTEM.



2016 CODE REFERENCES:

1615.10.13 ASCE 7, SECTION 13.5.6. REPLACE ASCE 7, SECTION 13.5.6 BY THE FOLLOWING:

- 13.5.6 SUSPENDED CEILING. SUSPENDED CEILING SHALL BE IN ACCORDANCE WITH THIS SECTION.
- 13.5.6.1 SEISMIC FORCES. THE WEIGHT OF THE CEILING, WP, SHALL INCLUDE THE CEILING GRID, CEILING TILES OR PANELS, LIGHT FIXTURES IF ATTACHED TO, CLIPPED TO, OR Laterally SUPPORTED BY THE CEILING GRID, AND OTHER COMPONENTS THAT ARE Laterally SUPPORTED BY THE CEILING. WP SHALL BE TAKEN AS NOT LESS THAN 4 PSF (4 NLM2).
- 13.5.6.2 SEISMIC FORCE, FP, SHALL BE TRANSMITTED THROUGH THE CEILING ATTACHMENTS TO THE BUILDING STRUCTURAL ELEMENTS OR THE CEILING-STRUCTURE BOUNDARY.
- 13.5.6.2.1 INDUSTRY STANDARD CONSTRUCTION FOR ACOUSTICAL TILE OR LAY-IN PANEL CEILING. UNLESS DESIGNED IN ACCORDANCE WITH ASTM E 580 SECTION 5.2.2.3, OR SEISMICALLY QUALIFIED IN ACCORDANCE WITH SECTIONS 13.2.3 OR 13.2.6, ACOUSTICAL TILE OR LAY-IN PANEL CEILING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THIS SECTION.
- 13.5.6.2.2 SEISMIC DESIGN CATEGORIES D THROUGH F. ACOUSTICAL TILE OR LAY-IN PANEL CEILING IN SEISMIC DESIGN CATEGORIES D, E AND F SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASTM C 635, ASTM C 636, AND ASTM E 580, SECTION 5 - SEISMIC DESIGN CATEGORIES D, E AND F AS MODIFIED BY THIS SECTION.
- 13.5.6.2.2.2 MODIFICATION TO ASTM E 580:

1. EXIT WAYS. LAY-IN CEILING ASSEMBLIES IN EXIT WAYS OF HOSPITALS AND ESSENTIAL SERVICES BUILDINGS SHALL BE INSTALLED WITH A MAIN RUNNER OR CROSS RUNNER SURROUNDING ALL SIDES OF EACH PIECE OF TILE, BOARD OR PANEL AND EACH LIGHT FIXTURE OR GRILLE. A CROSS RUNNER THAT SUPPORTS ANOTHER CROSS RUNNER SHALL BE CONSIDERED AS A MAIN RUNNER FOR THE PURPOSE OF STRUCTURAL CLASSIFICATION, SPLICES OR INTERSECTIONS OF SUCH RUNNERS SHALL BE ATTACHED WITH THROUGH CONNECTORS SUCH AS POP RIVETS, SCREWS, PINS, PLATES WITH END TABS OR OTHER APPROVED CONNECTORS.
2. CORRIDORS AND LOBBIES. EXPANSION JOINTS SHALL BE PROVIDED IN THE CEILING AT INTERSECTIONS OF CORRIDORS AND AT JUNCTIONS OF CORRIDORS AND LOBBIES OR OTHER SIMILAR AREAS.
3. LAY-IN PANELS. METAL PANELS AND PANELS WEIGHING MORE THAN 1/2 POUNDS PER SQUARE FOOT (24 NLM2) OTHER THAN ACOUSTICAL TILES SHALL BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION RUNNERS.
4. LATERAL FORCE BRACING. LATERAL FORCE BRACING IS REQUIRED FOR ALL CEILING AREAS EXCEPT THAT THEY SHALL BE PERMITTED TO BE OMITTED IN ROOMS WITH FLOOR AREAS UP TO 144 SQUARE FEET WHEN PERIMETER SUPPORT IN ACCORDANCE WITH ASTM E 580 SECTIONS 5.2.2 AND 5.2.3 ARE PROVIDED AND PERIMETER WALLS ARE DESIGNED TO CARRY THE CEILING LATERAL FORCES.
5. CEILING FIXTURES. FIXTURES INSTALLED IN ACOUSTICAL TILE OR LAY-IN PANEL CEILING SHALL BE MOUNTED IN A MANNER THAT WILL NOT COMPROMISE CEILING PERFORMANCE. ALL RECESSED OR DROP-IN LIGHT FIXTURES AND GRILLES SHALL BE SUPPORTED DIRECTLY FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE WITH A MINIMUM OF TWO 12-GAUGE WIRES LOCATED AT DIAGONALLY OPPOSITE CORNERS. LEVELING AND POSITIONING OF FIXTURES MAY BE PROVIDED BY THE CEILING GRID. FIXTURE SUPPORT WIRES MAY BE SLIGHTLY LOOSE TO ALLOW THE FIXTURE TO SEAT INTO THE CEILING SYSTEM. FIXTURES SHALL NOT BE SUPPORTED FROM MAIN RUNNERS OR CROSS RUNNERS IF THE WEIGHT OF THE FIXTURES CAUSES THE TOTAL DEAD LOAD TO EXCEED THE DEFLECTION CAPABILITY OF THE CEILING SUSPENSION SYSTEM. FIXTURES SHALL NOT BE INSTALLED SO THAT THE MAIN RUNNERS OR CROSS RUNNERS WILL BE ECCENTRICALLY LOADED. SURFACE-MOUNTED FIXTURES SHALL BE ATTACHED TO THE MAIN RUNNER WITH AT LEAST TWO POSITIVE CLAMPING DEVICES MADE OF MATERIAL WITH A MINIMUM OF 1/4 GAUGE. ROTATIONAL SPRING CATCHES DO NOT COMPLY. A 12-GAUGE SUSPENSION WIRE SHALL BE ATTACHED TO EACH CLAMPING DEVICE AND TO THE STRUCTURE ABOVE.
6. PARTITIONS. WHERE THE SUSPENDED CEILING SYSTEM IS REQUIRED TO PROVIDE LATERAL SUPPORT FOR THE PERMANENT OR RELOCATABLE PARTITIONS, THE CONNECTION OF THE PARTITION TO THE CEILING SYSTEM, THE CEILING SYSTEM MEMBERS AND THEIR CONNECTIONS, AND THE LATERAL FORCE BRACING SHALL BE DESIGNED TO SUPPORT THE REACTION FORCE OF THE PARTITION FROM PRESCRIBED LOADS APPLIED PERPENDICULAR TO THE FACE OF THE PARTITION. PARTITION CONNECTORS, THE SUSPENDED CEILING SYSTEM AND THE LATERAL FORCE BRACING SHALL ALL BE ENGINEERED TO SUIT THE INDIVIDUAL PARTITION APPLICATION AND SHALL BE SHOWN OR DEFINED IN THE DRAWINGS OR SPECIFICATIONS.

ASTM E 580, Section 5. SEISMIC DESIGN CATEGORY D, E & F

THE OBJECTIVE OF THIS SECTION IS TO PROVIDE A RESTRAINED CEILING THROUGH EITHER CONNECTION TO THE PERIMETER WALL OR THROUGH BRACING EITHER RIGID OR NON-RIGID. THE KEY TO GOOD SEISMIC PERFORMANCE OF THIS TYPE OF CEILING IS THAT THE WIDTH OF THE CLOSURE AROUND THE PERIMETERS ARE ADEQUATE TO ACCOMMODATE CEILING MOTION AND THAT PENETRATIONS, SUCH AS COLUMNS AND PIPING, HAVE ADEQUATE CLEARANCE TO AVOID CONCENTRATING RESTRAINING LOADS ON THE CEILING SYSTEM.

5.1 SUSPENSION SYSTEM COMPONENTS

- 5.1.1 ONLY HEAVY-DUTY MAIN TEES AS DEFINED IN SPECIFICATION C 635 SHALL BE USED.
- 5.1.2 THE MAIN RUNNERS AND CROSS RUNNERS OF THE CEILING SYSTEM AND THEIR INTERSECTIONS, INTERSECTION CONNECTORS, AND EXPANSION DEVICES SHALL BE DESIGNED AND CONSTRUCTED TO CARRY A MEAN ULTIMATE TEST LOAD OF NOT LESS THAN 180 LB (80 KG) IN COMPRESSION AND IN TENSION. THE TENSILE TEST SHALL ALLOW FOR A 5° OFFSET OF THE CONNECTION IN ANY DIRECTION. INSTEAD OF A 5° MISALIGNMENT, THE LOAD CAN BE APPLIED WITH A 1-IN. (25-MM) ECCENTRICITY ON A SAMPLE NOT MORE THAN 24 IN. (600 MM) LONG ON EACH SIDE OF THE SPLICE OR INTERSECTION. THE CONNECTORS AT SPLICES AND INTERSECTIONS SHALL BE THE MECHANICAL INTERLOCKING TYPE.
- 5.1.3 EVALUATION OF TEST RESULTS SHALL BE MADE ON THE MEAN VALUES RESULTING FROM TESTS ON A MINIMUM OF THREE IDENTICAL SPECIMENS. IF THE DEVIATION OF ANY INDIVIDUAL TEST RESULT EXCEEDS ± 10% FROM THE MEAN VALUE, THREE ADDITIONAL SAMPLES SHALL BE TESTED. AFTER THE REQUIRED TESTING ON THE SIX SPECIMENS IS COMPLETE, DROP THE HIGH AND LOW TEST VALUES AND USE THE REMAINING FOUR TEST RESULTS TO OBTAIN THE MEAN TEST VALUE AVERAGE. IF ONE OF THE REMAINING TEST RESULTS STILL EXCEEDS THE ± 10% MEAN VALUE, THE LOWEST INDIVIDUAL TEST VALUE RECORDED FROM THE SIX TEST WILL BE USED AS THE REPORTED TEST RESULT.

5.2 SUSPENSION SYSTEM APPLICATION

- 5.2.1 UNLESS PERIMETER MEMBERS ARE A STRUCTURAL PART OF THE APPROVED SYSTEM AND MEET THE STRUCTURAL LOAD CARRYING REQUIREMENTS, WALL ANGLES OR CHANNELS SHALL BE CONSIDERED AS AESTHETIC CLOSERS AND SHALL HAVE NO STRUCTURAL VALUE ASSESSED TO THEMSELVES OR THEIR METHOD OF ATTACHMENT TO THE WALLS.
- 5.2.2 THE PERIMETER SUPPORT ANGLE SHALL SUPPLY A SUPPORT LEDGE OF NOT LESS THAN 2 IN. (50 MM).
- 5.2.3 MAIN RUNNERS AND/OR CROSS RUNNERS SHALL BE ATTACHED TO THE PERIMETER ON TWO ADJACENT WALLS. CLEARANCE OF 3/4 IN. (19MM) SHALL BE MAINTAINED BETWEEN THE MAIN RUNNER AND CROSS RUNNER ENDS AND THE PERIMETER MEMBERS ON THE TWO OPPOSITE WALLS (SEE FIG. 4, C-C). ON THE WALLS WHERE THE TERMINAL END RUNNERS ARE NOT FIXED TO THE PERIMETER SUPPORTING CLOSURE, ALLOW FOR 3/4 IN. (19 MM) AXIAL MOVEMENT.
- 5.2.4 TERMINAL ENDS OF MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER OR HAVE SOME OTHER APPROVED MEANS TO PREVENT THEIR SPREADING. STABILIZER BARS, CROSS TEES OR OTHER MEANS TO PREVENT SPREADING SHALL OCCUR WITHIN 8 IN. (200 MM) OF EACH WALL.
- 5.2.5 DIRECT CONCEALED SUSPENDED CEILING SYSTEMS SHALL HAVE POSITIVELY CONNECTED STABILIZER BARS OR MECHANICALLY CONNECTED CROSS RUNNERS AT A MAXIMUM SPACING OF 60 IN. (1500 MM) PERPENDICULAR TO THE MAIN RUNNERS. STABILIZATION SHALL OCCUR WITHIN 24 IN. (600 MM) OF EACH WALL.
- 5.2.6 THE TERMINAL END OF EACH CROSS RUNNER AND MAIN RUNNER SHALL BE SUPPORTED INDEPENDENTLY, A MAXIMUM OF 8 IN. (200 MM) FROM EACH WALL OR CEILING DISCONTINUITY WITH NO. 12-GAUGE (2.10 MM) WIRE OR APPROVED WALL SUPPORT. SEE FIG. 4.
- 5.2.7 SUSPENSION WIRE APPLICATION:

- 5.2.7.1 SUSPENSION WIRES OF GALVANIZED, SOFT-ANNEALED, MILD STEEL WIRE SHALL NOT BE SMALLER THAN NO. 12 GAUGE (2.10 MM) SPACED AT 4 FT (1200 MM) ON CENTER ALONG EACH MAIN RUNNER UNLESS CALCULATIONS JUSTIFYING THE INCREASED SPACING OR ALTERNATE MATERIALS ARE PROVIDED.
- 5.2.7.2 EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE SUCH THAT THE WIRE LOOPS SHALL BE TIGHTLY WRAPPED AND SHARPLY BENT TO PREVENT ANY VERTICAL MOVEMENT OR ROTATION OF THE MEMBER WITHIN THE LOOPS. THE WIRE MUST BE WRAPPED AROUND ITSELF A MINIMUM OF THREE FULL TURNS (360° EACH) WITHIN A 3-IN. (75-MM) LENGTH. CONNECTION DEVICES TO THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN A 100-LB (45-KG) ALLOWABLE LOAD.
- 5.2.7.3 SUSPENSION WIRES SHALL NOT HANG MORE THAN ONE IN SIX OUT OF PLUMB UNLESS COUNTERSLOPING WIRES ARE PROVIDED.
- 5.2.7.4 WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. A TRAPEZOID OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZOID SUSPENSIONS SHALL BE SIZED TO RESIST THE DEAD LOAD AND LATERAL FORCES APPROPRIATE FOR THE SEISMIC DESIGN CATEGORY.

MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS:

EMT Conduit	up to 6 feet, 0 inches
1/2" EMT conduit	up to 6 feet, 0 inches
3/4" EMT conduit	up to 8 feet, 6 inches
1" EMT conduit	up to 10 feet, 0 inches
1 Metal Stud	up to 6 feet, 2 inches
1-5/8" metal stud (25-gauge)	up to 6 feet, 2 inches
2-1/2" metal stud (25-gauge)	up to 10 feet, 6 inches

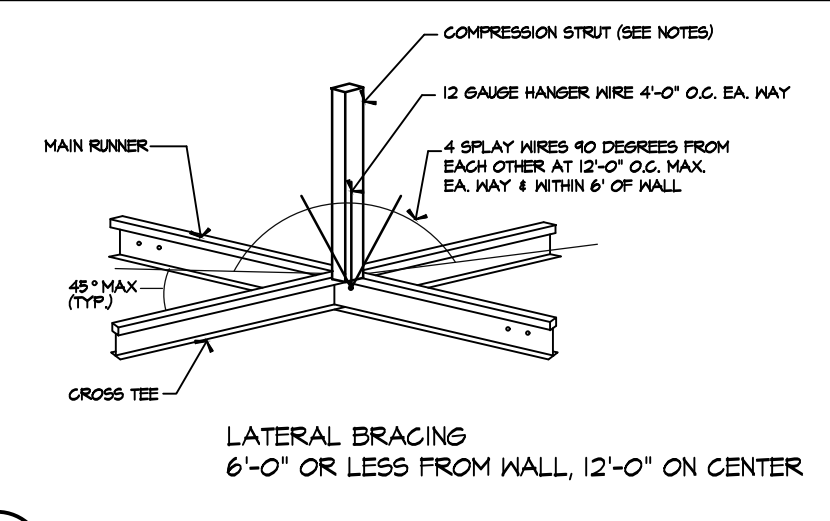
Note: Plenum areas greater than 11 feet require engineering calculations.

5.2.8 LATERAL FORCE BRACING:

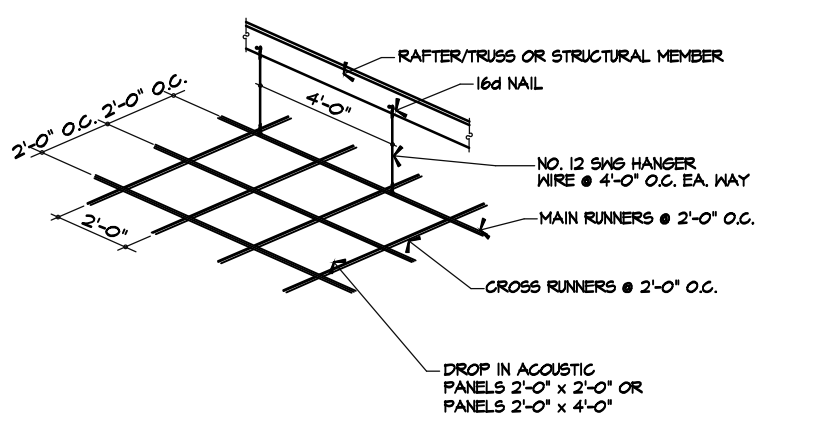
- 5.2.8.1 LATERAL FORCE BRACING IS REQUIRED FOR ALL CEILING AREAS GREATER THAN 1000 FT² (92.9 M²).
- 5.2.8.2 HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12-GAUGE (2.10 MM) WIRES SECURED TO THE MAIN RUNNER WITHIN 2 IN. (50 MM) OF THE CROSS RUNNER INTERSECTION AND SPACED 90° FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING-STRUT FASTENED TO THE MAIN RUNNER AT THE LOCATION OF THE BRACING WIRES SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE ROOF OR FLOOR ABOVE. THE STRUT SHALL BE ADEQUATE TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FT (3600 MM) ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FT (1800 MM) FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE AND TO THE MAIN RUNNER SHALL BE ADEQUATE FOR THE LOAD IMPOSED. SEE FIG. 4.
- 5.2.8.3 LATERAL FORCE BRACING MEMBERS SHALL BE SPACED A MINIMUM OF 6 IN. (150 MM) FROM ALL HORIZONTAL PIPING OR DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRE SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A LOAD OF NOT LESS THAN 200 LB (90 KG) OR TWO TIMES THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER.
- 5.2.8.4 RIGID BRACES THAT HAVE BEEN DESIGNED TO LIMIT RELATIVE LATERAL DEFLECTIONS AT THE POINT OF ATTACHMENT OF THE CEILING GRID TO LESS THAN 0.25 IN. (6 MM) ARE PERMITTED TO BE USED IN THE PLACE OF DIAGONAL SPRAY WIRES.
- 5.2.8.5 EXCEPT WHERE RIGID BRACING IS USED OR SUBSTANTIATING DESIGN CALCULATIONS HAVE SHOWN THAT LATERAL DEFLECTIONS ARE LIMITED TO LESS THAN 0.25 IN. (6 MM), SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2-IN. (50-MM) OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1 IN. (25 MM) IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE 1 IN. (25 MM) OF CEILING MOVEMENT SHALL BE PERMITTED TO BE USED WITHOUT THE OVERSIZE RING, SLEEVE OR ADAPTER.
- 5.2.8.6 CHANGES IN CEILING PLANE ELEVATION SHALL HAVE INDEPENDENT POSITIVE BRACING.
- 5.2.8.7 CABLE TRAYS & ELECTRICAL CONDUITS SHALL BE SUPPORTED AND BRACED INDEPENDENTLY OF THE CLG.
- 5.2.8.8 INTEGRAL CEILING/SPRINKLER CONSTRUCTION AS AN ALTERNATE TO PROVIDING THE LARGE CLEARANCES SPECIFIED IN 5.2.8.4. IT IS ACCEPTABLE FOR THE SPRINKLER SYSTEM AND THE CEILING SYSTEM GRID TO BE DESIGNED AND CONSTRUCTED SO THAT THEY ARE TIED TOGETHER AS AN INTEGRAL UNIT. SUCH A DESIGN SHALL BE PERFORMED BY A REGISTERED ENGINEER AND SHALL CONSIDER THE MASS AND FLEXIBILITY OF ALL ELEMENTS INVOLVED, INCLUDING THE CEILING SYSTEM, SPRINKLER SYSTEM, LIGHT FIXTURES AND MECHANICAL (HVAC) APPURTENANCES.

5.3 LIGHT FIXTURE APPLICATION:

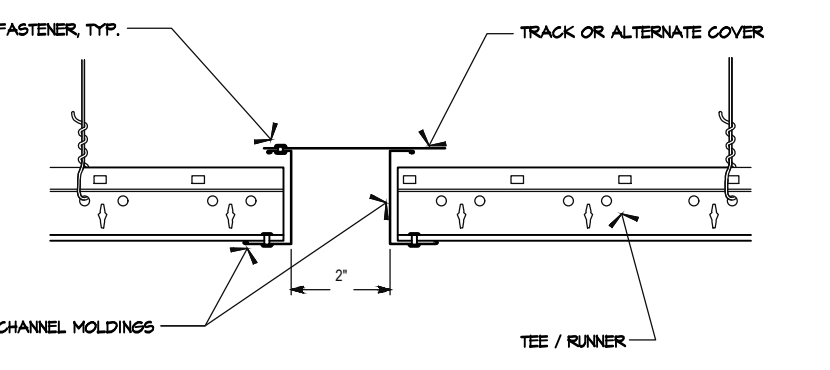
- 5.3.1 ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM BY MECHANICAL MEANS AS SPECIFIED IN THE NATIONAL ELECTRICAL CODE, UNLESS INDEPENDENTLY SUPPORTED. THE ATTACHMENT DEVICE SHALL HAVE THE CAPACITY OF 100% OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. A MINIMUM OF TWO ATTACHMENT DEVICES ARE REQUIRED FOR EACH FIXTURE.
- 5.3.2 SURFACE-MOUNTED LIGHTING FIXTURES SHALL BE ATTACHED TO THE CEILING SUSPENSION SYSTEM WITH POSITIVE CLAMPING DEVICES THAT COMPLETELY SURROUND THE SUPPORTING MEMBERS. SAFETY WIRES SHALL BE ATTACHED BETWEEN THE CLAMPING DEVICE AND THE ADJACENT CEILING HANGER OR TO THE STRUCTURE ABOVE. IN NO CASE SHALL THE LOAD CARRYING CAPABILITY OF THE DESIGN CARRYING CAPACITY OF THE SUPPORTING MEMBERS.
- 5.3.3 WHEN THE LOAD CARRYING CAPABILITY OF CROSS TEES SUPPORTING LIGHT FIXTURES IS LESS THAN 16 LB/FT (241.7 NM), SUPPLEMENTAL HANGER WIRES SHALL BE REQUIRED. SUPPLEMENTAL HANGER WIRES SHALL BE INSTALLED AS SHOWN IN FIG. 5.
- 5.3.4 LIGHTING FIXTURES WEIGHING LESS THAN 10 LB (5 KG) SHALL HAVE ONE NO. 12 GAUGE (2.10 MM) SAFETY WIRE CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. IT IS NOT NECESSARY FOR THESE SAFETY WIRES TO BE TAUT.
- 5.3.5 LIGHTING FIXTURES WEIGHING GREATER THAN 10 LB (5 KG) BUT LESS THAN 56 LB (25 KG) SHALL HAVE, IN ADDITION TO THE REQUIREMENTS OUTLINED IN 5.3.4, TWO NO. 12-GAUGE (2.10 MM) HANGER WIRES CONNECTED FROM THE FIXTURE HOUSING (NOT THE DETACHABLE END PLATES) TO THE STRUCTURE ABOVE THAT ACT AS SAFETY WIRES. IT IS NOT NECESSARY FOR THESE SAFETY WIRES TO BE TAUT.
- 5.3.6 LIGHTING FIXTURES WEIGHING 56 LB (25 KG) OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
- 5.3.7 PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO LESS THAN NO. 9-GAUGE (3.10 MM) WIRE OR AN APPROVED ALTERNATE SUPPORT. THE CEILING SUSPENSION SYSTEM SHALL NOT PROVIDE ANY DIRECT SUPPORT.
- 5.3.8 RIGID CONDUIT SHALL NOT BE USED FOR ATTACHMENT OF THE FIXTURES.
- 5.4 SERVICES WITHIN THE CEILING:
- 5.4.1 FLEXIBLE SPRINKLER HOSE FITTINGS, CEILING-MOUNTED AIR TERMINALS OR OTHER SERVICES WEIGHING LESS THAN 20 LB (9 KG) SHALL BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION MAIN RUNNERS OR TO CROSS RUNNERS THAT HAVE THE SAME CARRYING CAPACITY AS THE MAIN RUNNERS.
- 5.4.2 FLEXIBLE SPRINKLER HOSE FITTINGS, AIR TERMINALS OR OTHER SERVICES WEIGHING MORE THAN 20 LB (9 KG) BUT LESS THAN 56 LB (25 KG) SHALL HAVE, IN ADDITION TO THE REQUIREMENTS IN 5.4.1, TWO NO. 12-GAUGE (2.10 MM) HANGER WIRES CONNECTED FROM THE TERMINAL OR SERVICE TO THE CEILING SYSTEM HANGERS OR TO THE STRUCTURE ABOVE THAT ACT AS SAFETY WIRES. IT IS NOT NECESSARY FOR THESE WIRES TO BE TAUT.
- 5.4.3 FLEXIBLE SPRINKLER HOSE FITTINGS, AIR TERMINALS OR OTHER SERVICES WEIGHING MORE THAN 56 LB (25 KG) SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
- 5.5 PARTITION APPLICATION TO SUSPENDED CEILING:
- 5.5.1 PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN 6 FT (1.8 M) IN HEIGHT SHALL BE Laterally BRACED TO THE BUILDING STRUCTURE. SUCH BRACING SHALL BE INDEPENDENT OF ANY CEILING SPRAY BRACING. BRACING SHALL BE SPACED TO LIMIT HORIZONTAL DEFLECTION AT THE PARTITION HEAD TO BE COMPATIBLE WITH CEILING DEFLECTION REQUIREMENTS AS DETERMINED FOR SUSPENDED CEILING.
- 5.6 CEILING PENETRATIONS:
- 5.6.1 ALL CEILING PENETRATIONS (COLUMNS, ETC.) AND INDEPENDENTLY SUPPORTED FIXTURES OR SERVICES SHALL BE CONSIDERED AS PERIMETER CLOSURES THAT ALSO MUST ALLOW THE REQUIRED CLEARANCES BY USING SUITABLE CLOSURE DETAIL.
- 5.7 CONSEQUENTIAL DAMAGE/SEISMIC INTERACTION EFFECTS:
- 5.7.1 THE FUNCTIONAL AND PHYSICAL INTERRELATIONSHIP OF ARCHITECTURAL COMPONENTS (CEILINGS), THEIR SUPPORTS, AND THEIR EFFECT ON EACH OTHER SHALL BE CONSIDERED SO THAT THE FAILURE OF AN ESSENTIAL OR NON-ESSENTIAL CEILING, MECHANICAL OR ELECTRICAL COMPONENT SHALL NOT CAUSE THE FAILURE OF AN ESSENTIAL CEILING, MECHANICAL OR ELECTRICAL COMPONENT. THIS SHALL BE THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.
- note 3—An essential component is a component that must function and be operable immediately after a seismic event.



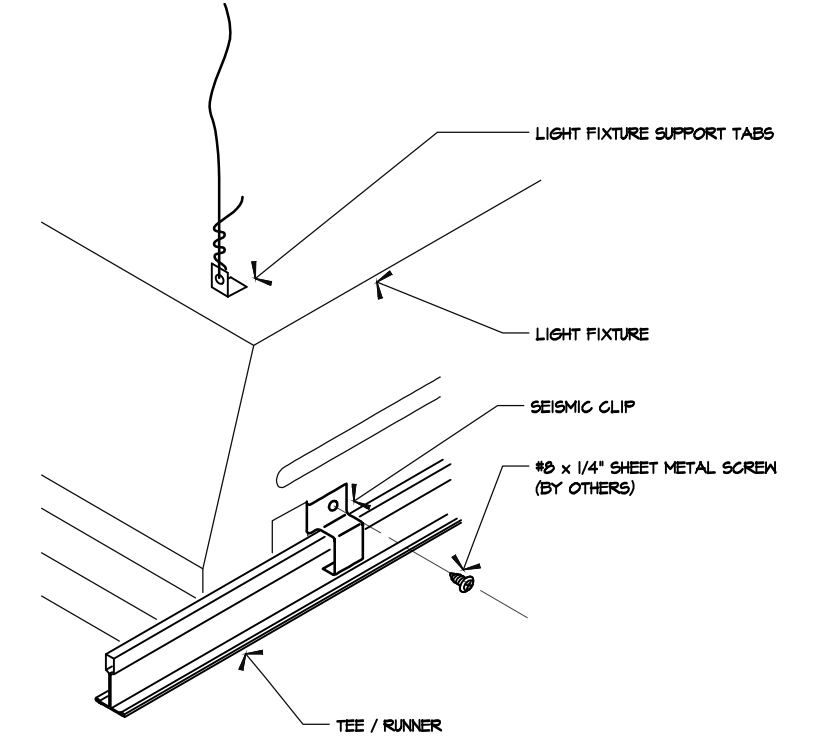
A LATERAL BRACING N.T.S.



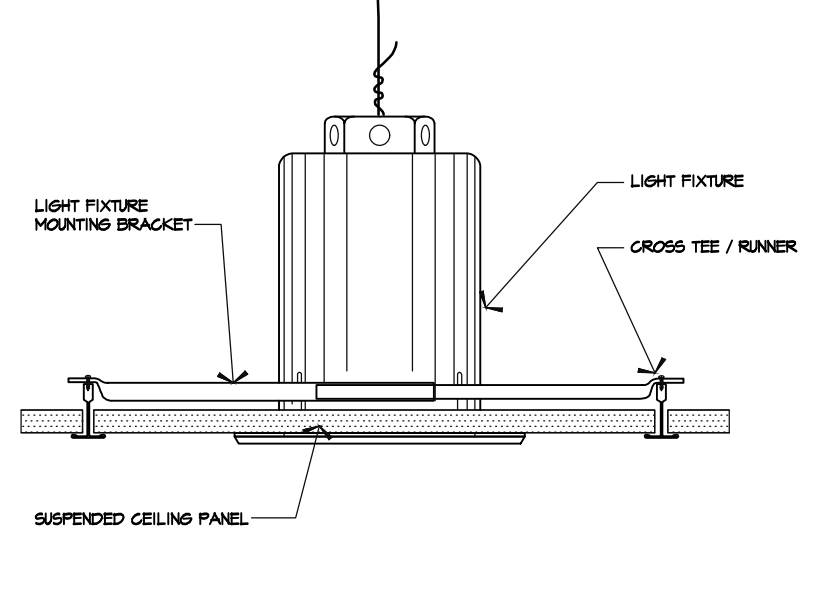
B RUNNERS AND HANGER WIRES N.T.S.



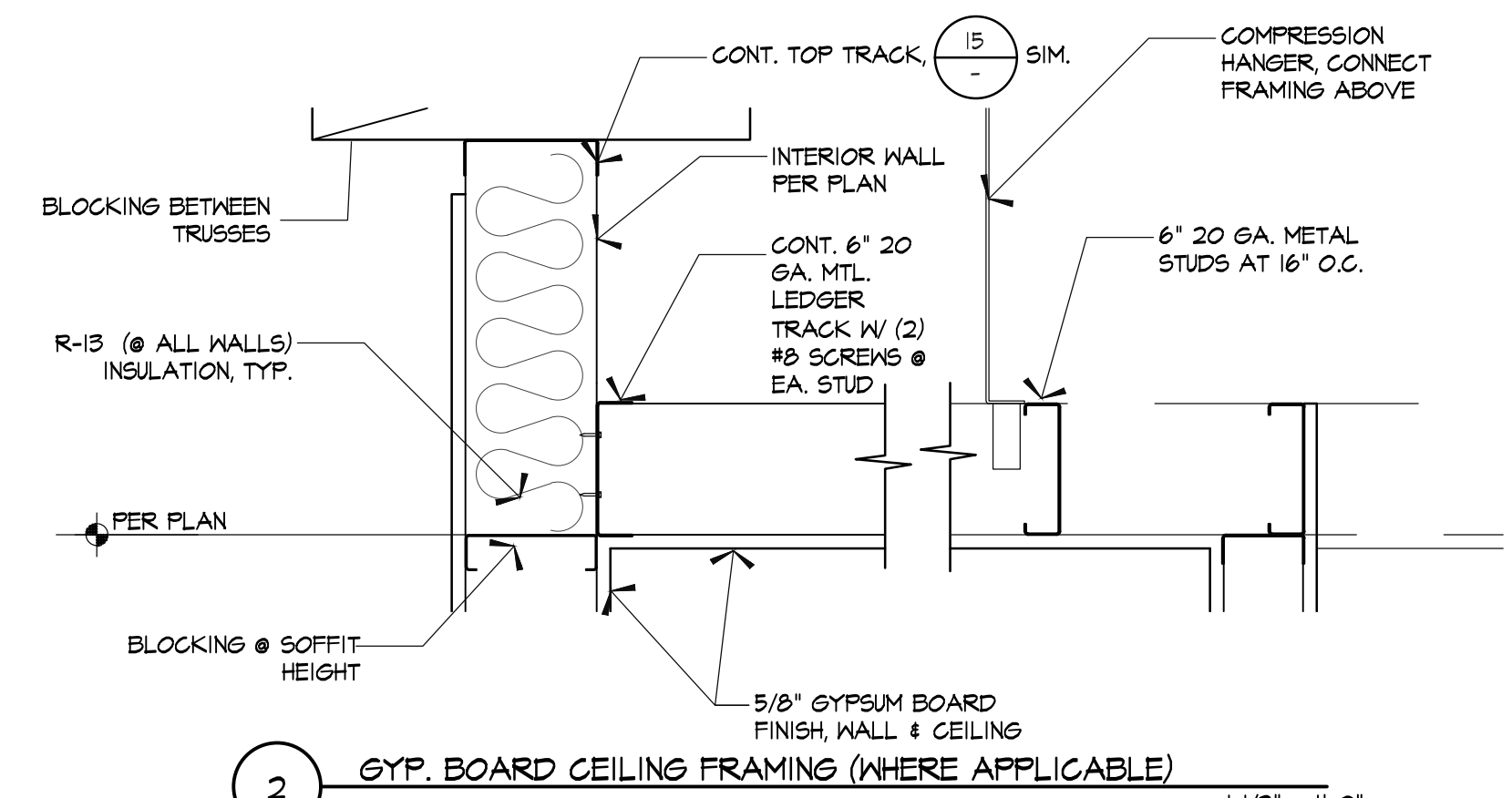
C SEISMIC SEPARATION JOINTS N.T.S.



D STANDARD PERIMETER CLOSURE N.T.S.



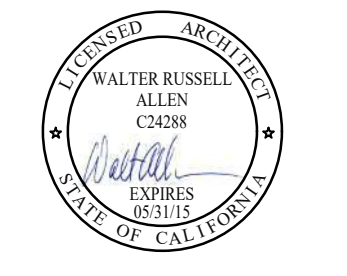
E FIXTURE MOUNTING DETAILS N.T.S.



2 GYP. BOARD CEILING FRAMING (WHERE APPLICABLE)

1 SUSPENDED CEILING DETAILS AND GENERAL NOTES

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Checked by	wfg
Date	11/12/22

MIRAMONTE KITCHEN

3840 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

Permit Number: _____

Revisions	By	Date	Job Number	Drawing Number
			2207	

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N.T.S.

ELECTRICAL SYMBOL LEGEND

SOME SYMBOLS IN THIS LEGEND MAY OR MAY NOT BE USED IN THIS PROJECT. FLOOR PLANS SHALL DICTATE WHICH SYMBOLS ARE APPLICABLE.

Table with columns for SYMBOL and DESCRIPTION. Includes symbols for conduit homerun, wiring, flexible connections, light fixtures, sensors, switches, and receptacles.

Table with columns for SYMBOL and DESCRIPTION. Includes symbols for smoke detectors, signal systems (backboards, cabinets, speakers, sensors), and data outlets.

Table with columns for SYMBOL and DESCRIPTION. Includes symbols for demolition notes such as existing conditions, removal of equipment, and conduit handling.

Table with columns for SYMBOL and DESCRIPTION. Includes symbols for branch circuit wiring notes such as conductor counts, grounding, and equipment requirements.

Table with columns for SYMBOL and DESCRIPTION. Includes symbols for applicable codes such as California Administrative Code, Electrical Code, Mechanical Code, Plumbing Code, Energy Code, Fire Code, Existing Building Code, Green Building Standards Code, and Referenced Standards Code.

PROJECT NOTES

1. THESE DOCUMENTS MAY NOT BE USED FOR ANY REPRODUCTION, BIDDING, OR CONSTRUCTION UNLESS AUTHORIZED... 21. ALL BROCHURES, OPERATING MANUALS, CATALOGS, ETC. SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.

ABBREVIATIONS

Table with columns for SYMBOL and DESCRIPTION. Lists abbreviations for electrical components like AMP, AFCI, AFF, AS, BC, CB, CIR, CO, CU, EDF, EM, EMT, EX, EXP, F, G, GFI, GND, I.G., IMC, ISC, LCL, MAX, MCB, MIN, MLO, NA, NEC, NKE, NOM, NTS, P, PH, PNL, PVC, REQ'D, RGS, SFM, SWBD, SWGR, TYP, U.O.N., V, WP, X, XL, XX, XR, XFMR.

FIRE ALARM DEFERRED APPROVAL NOTES

1. THE FIRE ALARM SYSTEM DRAWINGS WHEN REQUIRED SHALL BE PROVIDED BY THE FIRE ALARM CONTRACTOR UNDER A DEFERRED APPROVAL PROCESS... 2. FIRE ALARM SHOP DRAWINGS SHALL BE SUBMITTED TO THE STATE FIRE MARSHAL OR LOCAL FIRE DEPARTMENT...

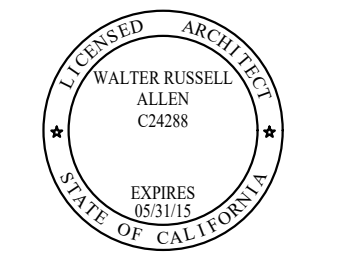


Table with columns for field and value. Fields include Designed, Drawn By, Checked, and Date.

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Table for Revisions with columns for Sym, Description, and Date.

Job Number: 2207

Drawing Number

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Logo for SALASOBRIEN with contact information: 3220 EXECUTIVE RIDGE SUITE 210, VISTA, CA 92081, TEL: (760) 560-0100, #22089, 01-17-23, www.salasobrien.com, E-Mail admin@tseng.com.



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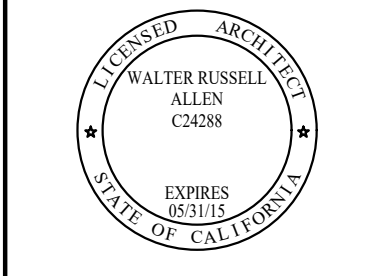
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL FIXTURES WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. ALL LIGHTING TO BE CONNECTED TO PANEL 'D', CIRCUIT NUMBER(S) AS SHOWN.
- D. ALL FIXTURES PROVIDED WITH EGRESS LIGHTING BATTERY PACK BACK-UP SHALL BE FED FROM UNSWITCHED CIRCUIT SERVING LIGHTING IN SAME AREA PER NEC ARTICLE 700.12(F). EMERGENCY BATTERY PACK SHALL BE ACTIVATED ONLY UPON NORMAL POWER FAILURE.

KEY NOTES

- 1 PROVIDE LOW-TEMP OCCUPANCY SENSOR. CONTRACTOR TO PROVIDE SENSOR AND COOLER CONTRACTOR TO INSTALL UNIT AND OVERRIDE SWITCH FOR LIGHT FIXTURES.

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Checked	SO
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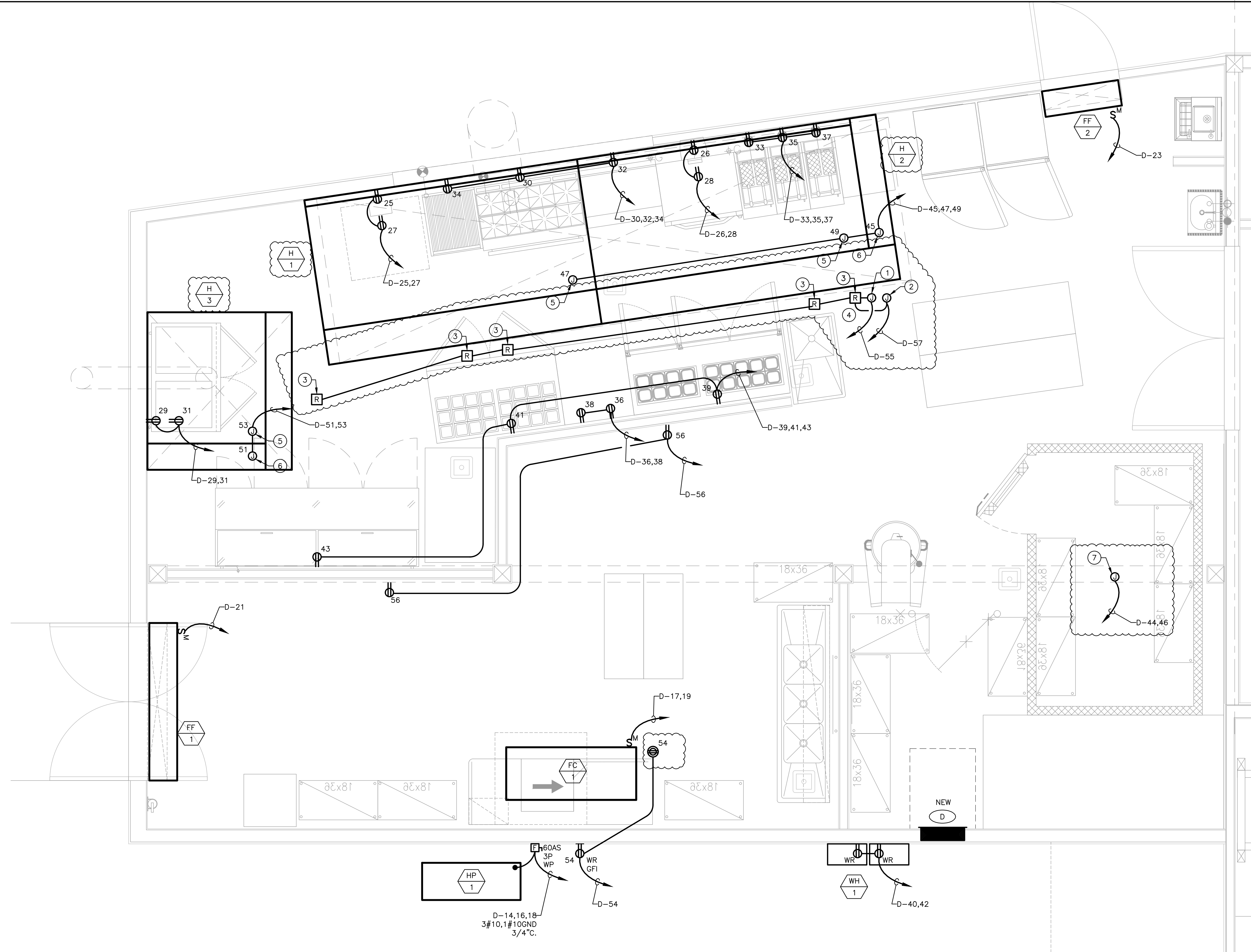
1 LIGHTING FLOOR PLAN
 SCALE: 1/2"=1'-0"

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1 POWER FLOOR PLAN

SCALE: 1/2"=1'-0"

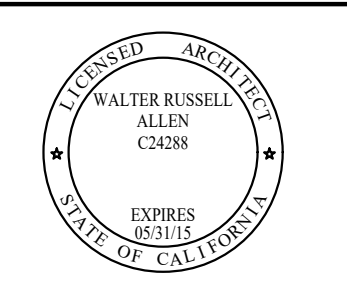
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL OUTLETS WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR, EQUIPMENT SHOP DRAWINGS AND SHALL PROVIDE RECEPTACLES, PLUGS AND CORDS AS DIRECTED BY EQUIPMENT MANUFACTURER. PROVIDE ALL COST IN BID. VERIFY NEMA CONFIGURATIONS PRIOR TO START OF WORK WITH NO EXTRA COST TO OWNER.
- D. PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT.
- E. COORDINATE ALL WORK WITH KITCHEN EQUIPMENT PROVIDER FOR EXACT REQUIREMENTS AND LOCATION PRIOR TO ROUGH-IN.
- F. CONTRACTOR SHALL COORDINATE AND VERIFY EXACT LOCATIONS AND REQUIRED HEIGHTS OF ALL ELECTRICAL OUTLETS WITH KITCHEN PLANS AND OTHER RELATED TRADES PRIOR TO START OF WORK.
- G. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AND PROVIDE NECESSARY CONTROLS TO ALL KITCHEN EQUIPMENT.
- H. ALL 120V RECEPTACLES LOCATED IN KITCHEN SHALL BE OF GFCI TYPE, INCLUDING RECEPTACLES DEDICATED TO EQUIPMENT PER 2016 CEC.
- I. ALL EQUIPMENT AND MATERIAL SHALL BE INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS AND SHALL BE CODE COMPLIANT.
- J. ALL WIRING SHALL INCLUDE INSULATED GROUND WIRE, SIZED PER CEC.
- K. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL CONTROL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL ELECTRICAL COMPONENTS AND DEVICES, CONDUITS AND CONDUCTORS (LOW AND LINE VOLTAGE) REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM WITH NO COST TO THE OWNER.
- L. ALL CONDUIT ENTERING AND LEAVING A COOLER/FREEZER SHALL HAVE AN APPROVED SEALANT TO WALL PENETRATION.

KEY NOTES

- ① ELECTRICAL CONNECTION FOR FIRE SUPPRESSION.
- ② ELECTRICAL CONNECTION FOR AUTO-GAS SHUT-OFF.
- ③ 3-POLE MAGNETIC CONTACTOR IN NEMA 1 ENCLOSURE WITH 120V COIL. MOUNT IN ACCESSIBLE CEILING SPACE. SEE WIRING DIAGRAM ON SHEET E4.01
- ④ ROUTE THRU FIRE SUPPRESSION SYSTEM.
- ⑤ ELECTRICAL CONNECTION FOR EXHAUST HOOD.
- ⑥ ELECTRICAL CONNECTION FOR HOOD CONTROLLER.
- ⑦ ELECTRICAL CONNECTION FOR WALK-IN COOLER. VERIFY FINAL ELECTRICAL REQUIREMENTS PRIOR TO START OF WORK.

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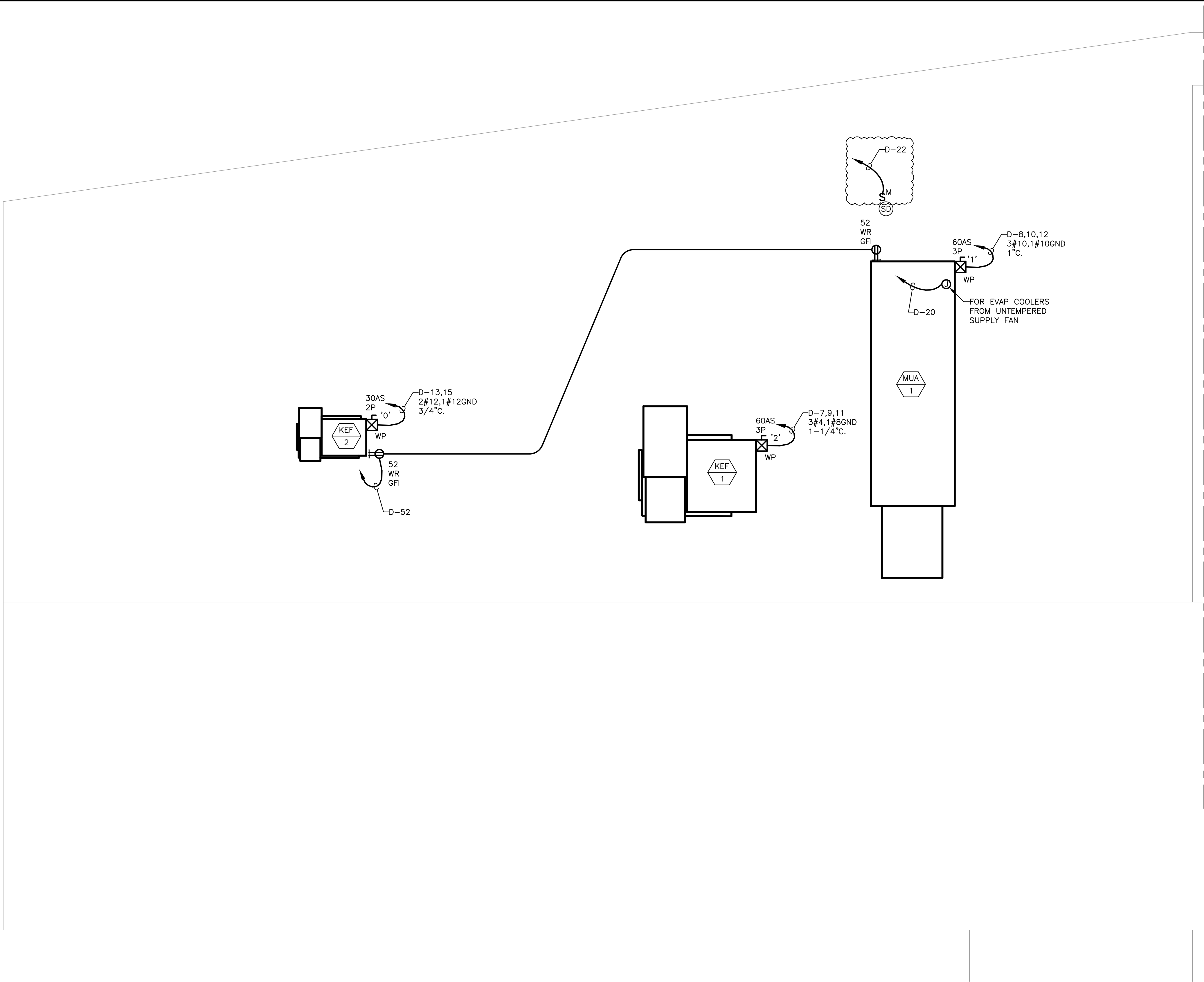
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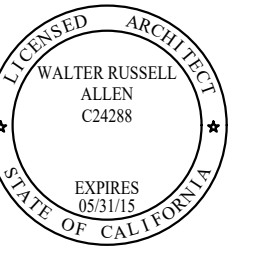
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- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL OUTLETS WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE WITH MECHANICAL DRAWINGS FOR EXACT EQUIPMENT LOCATIONS AND REQUIREMENTS PRIOR TO START OF WORK.
- D. MECHANICAL EQUIPMENT FUSE SIZE RATINGS PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL EQUIPMENT FUSIBLE DISCONNECTS AND MOTOR RATED SWITCHES EXPOSED TO WEATHER SHALL BE WEATHERPROOF RATED.

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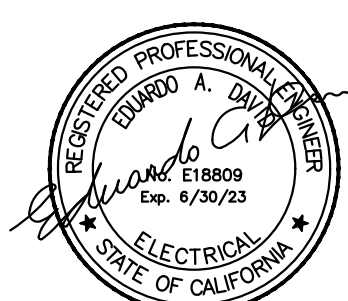
Drawing Number

e203

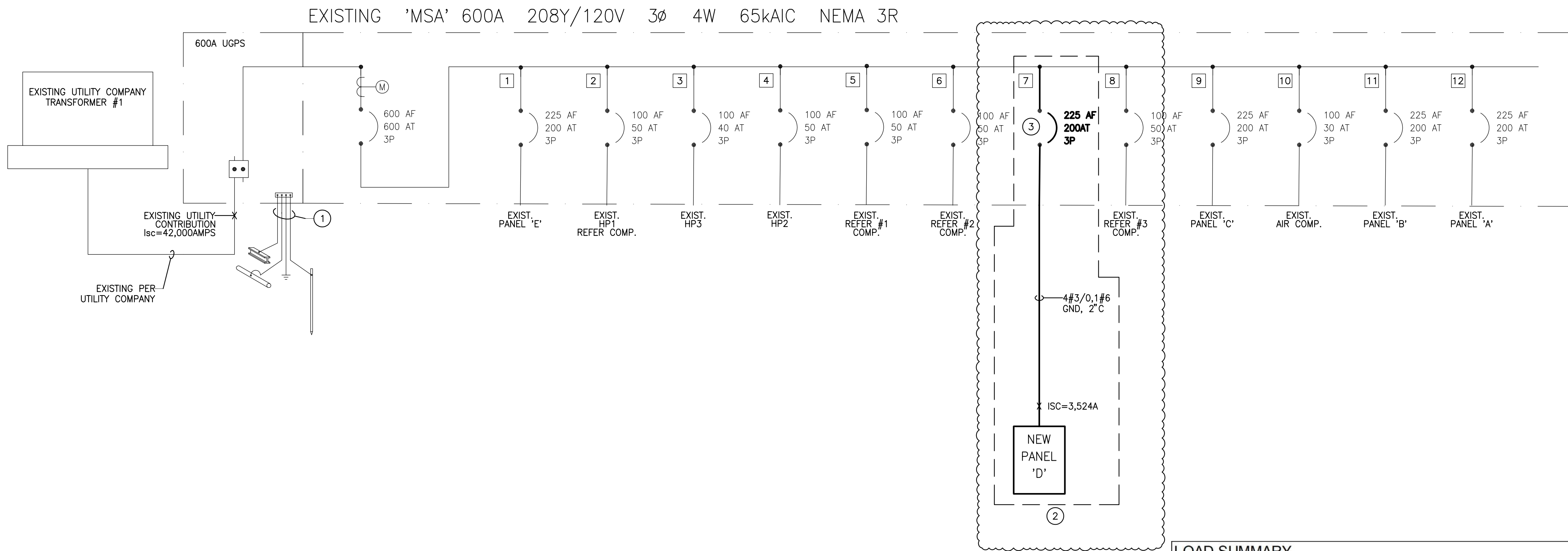
1 ELECTRICAL ROOF PLAN

SCALE: 1/2"=1'-0"

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ESD | ESD | TI | KW



LOAD SUMMARY

EXISTING SWITCHBOARD 'MSA'

EXISTING LOAD		
MAXIMUM 12 MONTHS DEMAND AT 125%	=	80.00 kVA
64.00 kVA AT 125%		
NEW LOAD		
PANEL 'D' - NEW	=	49.87 kVA
TOTAL LOAD		
129.87 kVA AT 208Y/120V, 3PHASE, 4WIRE		129.87 kVA
		360.50 AMPS

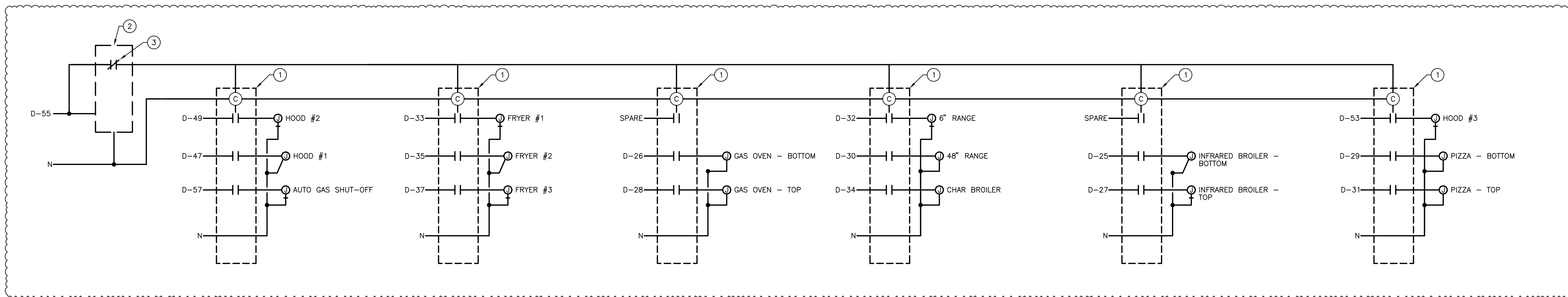
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL WORK SHOWN LIGHT IS EXISTING, AND ALL WORK SHOWN DARK IS NEW.
- C. ALL CONDUCTORS SHALL BE COPPER UNLESS NOTED OTHERWISE.

KEY NOTES

- 1 EXISTING FEEDER TO REMAIN.
- 2 SCOPE OF WORK.
- 3 REPLACE EXISTING CIRCUIT BREAKER OF SAME TYPE, STYLE, AND AIC RATING AS THE EXISTING. PROVIDE MOUNTING HARDWARE AS REQUIRED.

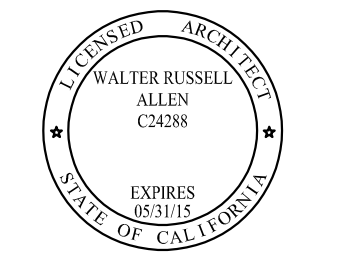
1 ELECTRICAL SINGLE-LINE DIAGRAM
NO SCALE



KEY NOTES

- 1 3-POLE MAGNETIC CONTACTOR IN NEMA 1 ENCLOSURE WITH 120V COIL. MOUNT IN ACCESSIBLE CEILING SPACE.
- 2 FIRE SUPPRESSION CONTROL PANEL. COORDINATE LOCATION WITH EQUIPMENT PROVIDER/INSTALLER.
- 3 NORMALLY CLOSED DRY CONTACT IN FIRE SUPPRESSION CONTROL PANEL.

2 FIRE SUPPRESSION WIRING DIAGRAM FOR REFERENCE OF ELECTRICAL
NO SCALE



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

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Sym.	
Revisions	
By	
Date	
Job Number	2207
Drawing Number	e401

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e401

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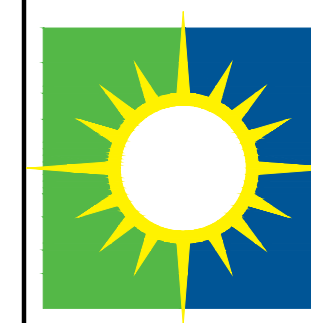
PANEL: NEW PANEL D	LOCATION: SEE PLANS	MAIN: 200A/3P	BUS: 225A	NEMA 1										
VOLTAGE: 208 / 120	AIC RATING: 42,000K	FEED: BOTTOM	MTG: SURFACE											
PHASE: 3	CIRCUIT CODE:													
WIRE: 4	Blank=NON-CONTINUOUS, N=NON-COINCIDENTAL, L=LONG CONTINUOUS, R=RECEPT (NEC ART. 220-44), K=KITCHEN													
NOTE:	DESCRIPTION	CODE	BKR	P	#	VA	PHASE	VA	#	P	BKR	CODE	DESCRIPTION	NOTE
	KITCHEN LTG	L	20	1	1	400	A	100	2	1	20	L	COOLER LTG	
	EXTERIOR EGRESS LTG	L	20	1	3	50	B		4	1	20		SPARE	
	SPARE		20	1	5		C		6	1	20		SPARE	

LIGHTING LOADS ABOVE - SPLIT-BUS - MECHANICAL LOADS BELOW														
	KITCHEN EXHAUST KEF-1		70	3	7	3706	A	2912	8	3	50		MAKE-UP AIR MUA-1	
	-				9	3706	B	2912	10				-	
	-				11	3706	C	2912	12				-	
	KITCHEN EXHAUST KEF-2		20	2	13	915	A	2232	14	3	40		SPLIT HP-1	
	-				15	915	B	2232	16				-	
	SPLIT FC-1		15	2	17	624	C	2232	18				-	
	-				19	624	A	600	20	1	20		MAKE-UP AIR EVAP COOLERS	
	FLY FAN FF-1		20	1	21	1224	B	120	22	1	20		DUCT DETECTOR	2
	FLY FAN FF-2		20	1	23	600	C		24	1	20		SPARE	

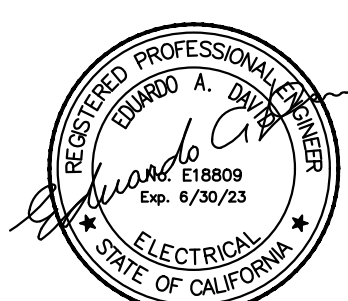
MECHANICAL LOADS ABOVE - SPLIT-BUS - POWER LOADS BELOW															
1a	INFRARED BROILER - BOTTOM	R	20	1	25	120	A	960	26	1	20	R	GAS CONVEC OVEN - BOTTOM	1a	
1a	INFRARED BROILER - TOP	R	20	1	27	120	B	960	28	1	20	R	GAS CONVEC OVEN - TOP	1a	
1b	2-DOOR PIZZA - BOTTOM	R	20	1	29	120	C	960	30	1	20	R	48" RANGE	1b	
1b	2-DOOR PIZZA - TOP	R	20	1	31	120	A	960	32	1	20	R	36" RANGE	1b	
1c	FRYER #1	R	20	1	33	120	B	120	34	1	20	R	CHAR BROILER	1b	
1c	FRYER #2	R	20	1	35	120	C	420	36	1	20	R	CHEFS BASE	1c	
1c	FRYER #3	R	20	1	37	120	A	1500	38	1	20	R	HOT FOOD	1c	
1c	72" SANDWICH PREP	R	20	1	39	300	B	600	40	1	20	R	TANKLESS WATER HEATER #1	1d	
1c	60" SANDWICH PREP	R	20	1	41	300	C	600	42	1	20	R	TANKLESS WATER HEATER #1	1d	
	SPARE	R	20	1	43	300	A	686	44	2	50	L	WALK-IN COOLER		
1d	HOOD 1 & 2 CONTROLLER		20	1	45	1200	B	686	46			L	-		
1d	HOOD1		20	1	47	600	C		48	1	20		SPARE		
1d	HOOD 2		20	1	49	600	A		50	1	20		SPARE		
1e	HOOD 3 CONTROLLER		20	1	51	1200	B	360	52	1	20	R	ROOF RECEPT		
1e	HOOD 3		20	1	53	600	C	360	54	1	20	R	MAINT. RECEPT		
1f	SUPPRESSION SYSTEM		20	1	55	600	A	360	56	1	20	R	MISC. RECEPT		
1f	AUTO-GAS SHUTOFF		20	1	57	600	B		58	1	20		SPARE		
	SPARE		20	1	59		C		60	1	20		SPARE		
	SPARE		20	1	61		A		62	1	20		SPARE		
	SPARE		20	1	63		B		64	1	20		SPARE		
	SPARE		20	1	65		C		66	1	20		SPARE		
CONNECTED VA @ A			17815	CONNECTED VA ()			37572	PANEL CONN. AMPS WITH LCL			138.44	PANEL DEMAND KVA WITH LCL			49.87
CONNECTED VA @ B			17425	CONNECTED VA (L)			1922	CONNECTED VA WITH LCL (L)			2403	PANEL DEMAND AMPS WITH LCL			138.44
CONNECTED VA @ C			14154	CONNECTED VA (R)			9900	DEMAND VA (R)			9900	PANEL CONNECTED AMPS			137.10
TOTAL VA			49394	CONNECTED VA (K)			0	DEMAND VA (K)			0	DEMAND HIGH @ AMPS WITH LCL			150.82

SPECIAL NOTES:														
1	PROVIDE LISTED HANDLE-TIE DEVICE	6												
2	PROVIDE CIRCUIT BREAKER LOCK-ON DEVICE	7												
3		8												
4		9												
5		10												

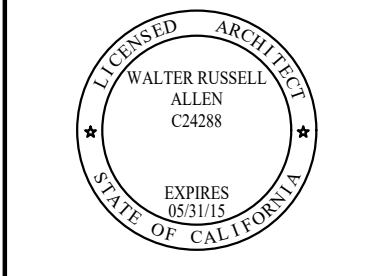
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Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

Revisions	Sym.	Date	By

Job Number: 2207
Drawing Number: e402

SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

TAG	MANUFACTURER & MODEL NO.	HEAT PUMP										OPER. WEIGHT (LBS.)	TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	ESP (IN. W.G.)	MIN. OA CFM	FAN COIL UNIT						OPER. WEIGHT (LBS.)	REMARKS													
		COOLING NET CAPACITY			SEER (EER)		HEATING CAPACITY		ELECTRICAL										COOLING			HEATING					ELECTRICAL			FILTERS									
		TOTAL (MBH)	SENS. (MBH)	AMB. (°F)	SEER	EER	SENS. (MBH)	AMB. (°F)	HSPF (COP)	COND. NO.	FAN HP								FLA	COMPRESSOR NO.	RLA	LRA	MCA	MOCP			V	PH	NO.	HP	FLA	MCA	MOCP	V	PH	QTY	SIZE		
HP 1	CARRIER 25HHA460A005	59.55	45.78	95	14 (11.5)	57.84	47	8.2	1	1/4	1.45	1	17.1	110	22.9	40	208	3	310	FC 1	CARRIER FXDNF061L00	KITCHEN	1850	0.5	0	80	67	70	1	3/4	6	7.5	15	208	1	1	21-1/2 x 23-5/16	220	①②③④⑤⑥⑦⑧⑨⑩⑪

- | | | |
|---|---|---|
| <p>① PROVIDE REFRIGERANT PIPING AND INSULATION INCLUDING FULL REFRIGERANT CHARGE. SIZES SHALL BE BASED ON FINAL DEVELOPED LENGTH AND MANUFACTURER'S REQUIREMENTS. PROVIDE ALL REFRIGERANT ACCESSORIES AS PER MANUFACTURER'S RECOMMENDATION. VERIFY SIZING WITH MANUFACTURER'S REP. PRIOR TO INSTALLATION, SEE DETAILS 4/m502 AND 9/m502.</p> <p>② PROVIDE WITH NON-CFC REFRIGERANT BASED SYSTEM.</p> <p>③ PROVIDE FAN COIL WITH POLYCARBONATE DRAIN PAN AND INTEGRAL CONDENSATE PUMP AND SECONDARY CONDENSATE DRAIN OVERFLOW CUTOFF SWITCH.</p> | <p>④ PROVIDE WITH FLEXIBLE CONNECTOR AND LINED PLENUM AT UNIT INLET AND OUTLET, SEE DETAIL 8/m501.</p> <p>⑤ PROVIDE UL 900 (CLASS 1 OR 2) 30% EFFICIENT (MERV 13) DISPOSABLE PLEATED FILTERS.</p> <p>⑥ PROVIDE WITH PROGRAMMABLE THERMOSTAT, SEE DETAIL 5/m501.</p> <p>⑦ PROVIDE CONDENSING UNIT WITH VIBREX VIBRATION ISOLATOR TYPE RC 2x2 NEOPRENE PADS, SEE DETAIL 8/m502.</p> | <p>⑧ PROVIDE FAN COIL WITH VIBREX VIBRATION ISOLATOR TYPE RMXA WITH MINIMUM 1" DEFLECTION, SEE DETAIL 1/m501.</p> <p>⑨ PROVIDE WITH DISCONNECT, BY OTHERS. FOR CONTROL DIAGRAM, SEE 3/m501.</p> <p>⑩ PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED BY MANUFACTURER FOR PROPER OPERATION.</p> <p>⑪ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.</p> |
|---|---|---|

AIR DEVICE SCHEDULE

TAG	MANUFACTURER & MODEL NO.	TYPE	FRAME STYLE	OBD (YES/NO)	REMARKS
A	TITUS 350RL	LOUVER FACE RETURN/EXHAUST	BORDER TYPE 1	YES	①②
B	TITUS TMRA	ROUND SUPPLY	DUCT MOUNTED	NO	③④

- ① SQUARE NECK WITH ROUND ADAPTOR. ② STEEL CONSTRUCTION. ③ ALUMINUM CONSTRUCTION.
 ④ SEE DETAIL 1/m501.

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	ESP (IN. W.G.)	DRIVE TYPE	RPM	BHP (WATTS)	HP (WATTS)	MAX. SONES	V	PH	FAN TYPE	OPER. WEIGHT (LBS.)	REMARKS
KEF 1	CAPTIVEAIRE USB1240D-RM	KITCHEN	5145	3.0	DIRECT	1305	4.89	10	33	208	3	UTILITY	830	①②③④⑤⑥⑦⑧⑨⑩
KEF 2	CAPTIVEAIRE USB110D-RM	KITCHEN	750	0.7	DIRECT	1497	0.21	1	8.9	208	1	UTILITY	220	①②③④⑤⑥⑦⑧⑨⑩

- ① PROVIDE VIBRATION ISOLATION AND SEISMIC RESTRAINT, SEE DETAIL 6/m502. ⑤ INTERLOCK WITH MUA, SEE CAPTIVE AIRE DRAWINGS FOR DETAILS.
- ② PROVIDE WITH MANUFACTURER'S FAN SPEED CONTROLLER. INSTALL AT FAN HOUSING. COORDINATE CFM WITH CERTIFIED T.A.B. AGENCY. ⑥ PROVIDE WITH DISCONNECT SWITCH, BY OTHERS.
- ③ PROVIDE THERMAL OVERLOAD PROTECTION ON FAN MOTOR. ⑦ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL ACCESSORIES REQUIRED BY MANUFACTURER FOR A COMPLETE AND OPERATIONAL SYSTEM.
- ④ PROVIDE DRAIN TAP AT BOTTOM OF FAN SCROLL. ⑧ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.
- ⑨ FAN SHALL BE UL 762 LISTED FOR RESTAURANT DUTY. ⑩ INTERLOCK WITH HOOD OPERATION AND MUA-1.

MAKE-UP AIR UNIT SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	SUPPLY FAN										EVAP. FLOW RATE GPH	OPER. WEIGHT (LBS.)	REMARKS
			CFM	ESP (IN. W.G.)	RPM	BHP	HP	FLA	MCA	MOCP	V	PH			
MUA 1	CAPTIVEAIRE A3-24D	KITCHEN	5900	1.0	1308	4.14	7.5	21.1	26.4	45	208	3	5.21	1430	①②③④⑤⑥⑦

- ① PROVIDE WITH MANUFACTURER'S LEVEL PRE-FAB ROOF CURB. FOR MOUNTING, SEE DETAIL 7/m502. ⑤ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL OTHER ACCESSORIES REQUIRED BY MANUFACTURER FOR A COMPLETE AND OPERATIONAL SYSTEM.
- ② PROVIDE WITH CW CONNECTION AND CONDENSATE DRAIN, SEE PLUMBING PLANS. ⑥ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.
- ③ PROVIDE WITH DISCONNECT, BY OTHERS. FOR WIRING DIAGRAM, SEE DETAIL 6/m501. ⑦ SHOWN FOR REFERENCE ONLY. REFER TO SHEETS M401 THRU M414 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
- ④ INTERLOCK WITH HOOD OPERATION, EXHAUST FANS KEF-1 AND KEF-2.

KITCHEN AIR BALANCE

TAG	SUPPLY	RETURN	EXHAUST	BALANCE
KEF-1	-	-	5145	-
KEF-2	-	-	750	-
MUA-1	5900	-	-	-
FC-1	1850	1850	-	-
TOTAL	7750	1850	5895	5

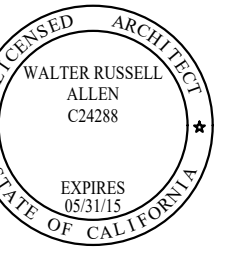
AIR CURTAIN/FLY FAN SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	VELOCITY (FPM)	ELECTRICAL DATA				OPER. WEIGHT (LBS.)	REMARKS	
					NO.	HP	AMPS	V			PH.
FF 1	MARS N272-2UA-0B	KITCHEN	2700	2592	2	1/2	10.2	115	1	132	①②③④⑤
FF 2	MARS N236-1UA-0B	KITCHEN	1379	2206	1	1/2	5.1	115	1	66	①②③④⑤

- ① PROVIDE WITH MANUFACTURER'S WALL MOUNTED INSTALLATION KIT. SEE MFR.'S INSTALLATION MANUAL FOR MOUNTING DETAILS. ④ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL ACCESSORIES REQUIRED BY MANUFACTURER FOR PROPER OPERATION.
- ② INTERLOCK WITH DOOR OPERATED MICROSWITCH. ⑤ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.
- ③ PROVIDE WITH DISCONNECT SWITCH, BY OTHERS.

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Designed SO
 Drawn By SO
 Checked SO
 Date 11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date	Job Number
				2207

Job Number: 2207

Drawing Number

m002

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Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H6. SYSTEM SPECIAL FEATURES table with columns 1-4: System Name, Equipment Type, Window Interlocks per §140.4(n), Other Special Features and Controls

H7. NONRESIDENTIAL VENTILATION table with columns 1-7: Zone Name, Mechanical Ventilation, DCV or Occupant Sensor Controls, or Both

H8. HIGH-RISE RESIDENTIAL DWELLING UNIT AND HOTEL/MOTEL VENTILATION. This Section Does Not Apply

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY table with columns 1-13: System ID, Zone Name, System Type, Qty, Rated Capacity, Airflow, Fan

H10. EVAPORATIVE COOLER SUMMARY table with columns 1-9: System ID, Type, Qty, Effectiveness, Pump Power, Secondary Fan Flow Rate, Secondary Fan Total Efficiency, Secondary Fan Static Pressure, Secondary Air Source

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

C3. ENERGY USE SUMMARY table with columns: Energy Component, Standard Design Site (MWh), Proposed Design Site (MWh), Margin (MWh), Standard Design Site (MBtu), Proposed Design Site (MBtu), Margin (MBtu)

D. EXCEPTIONAL CONDITIONS. The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

E. HERS VERIFICATION. This Section Does Not Apply

H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) table with columns 1-12: Equipment Name, Equipment Type, Qty, Heating, Cooling, Economizer Type

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

A. GENERAL INFORMATION table with columns 1-14: Project Location, CA Zip Code, Climate Zone, Total Conditioned Floor Area, Total Unconditioned Floor Area, Total # of Stories, Total # of dwelling units

B. PROJECT SUMMARY. Table Instructions: Table B shows which building components are included in the performance calculation.

Table with columns: Building Components Complying via Performance, Building Components Complying Prescriptively, Performance checkboxes, Compliance Margin

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H11. HEAT RECOVERY SUMMARY. This Section Does Not Apply

H2. COMMERCIAL KITCHENS table with columns 1-5: Space Name, Exhaust Hood Style, Exhaust Hood Duty, Exhaust Length, Exhaust Flow Rate

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) table with columns 1-12: Equipment Name, Equipment Type, Qty, Heating, Cooling, Economizer Type

H2. FAN SYSTEMS SUMMARY table with columns 1-14: Name or Item Tag, Qty, Design OA, Supply Fan, Return Fan

H3. EXHAUST FAN SUMMARY table with columns 1-8: System ID, Zone Name, Qty, CFM, Motor BHP, Power Per Flow, Total Static Pressure

H4. Wet System Equipment(boilers,chillers,cooling towers,etc.) This Section Does Not Apply

H5. PUMPS. This Section Does Not Apply

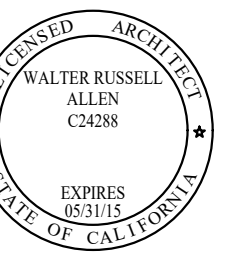
CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kWh/ft²-yr) table with columns: Energy Component, Standard Design (TDV), Proposed Design (TDV), Compliance Margin (TDV)¹

C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS¹ table with columns: Miscellaneous Energy Component, Standard Design (TDV), Proposed Design (TDV), Compliance Margin (TDV)¹

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39



Designed: SO, Drawn By: SO, Checked: SO, Date: 11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD, TEMECULA, CA 92591

Permit Number:

Revisions table with columns: Sym., Revisions, By, Date

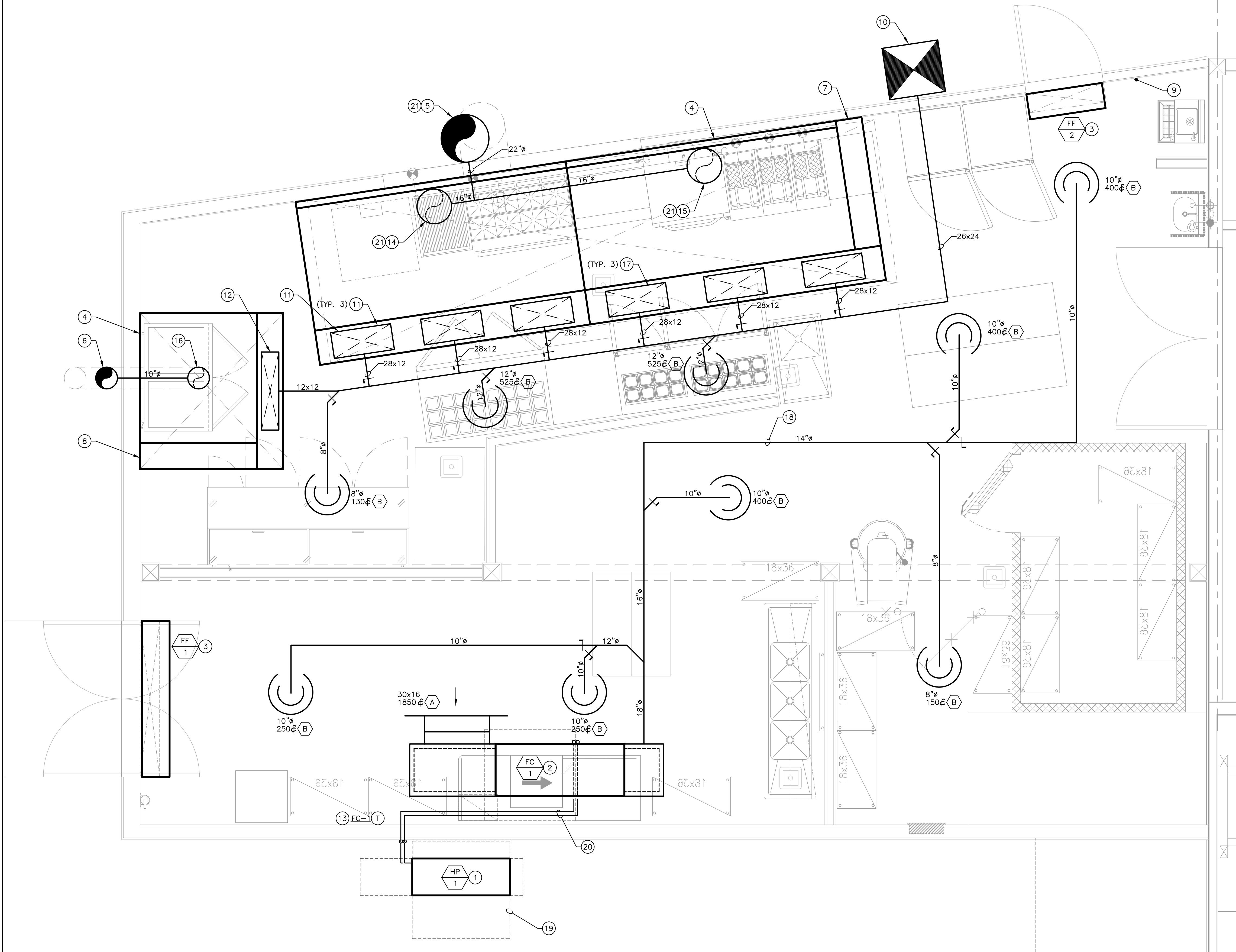
Job Number: 2207, Drawing Number

m003

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1 MECHANICAL FLOOR PLAN
SCALE: 1/2"=1'-0"

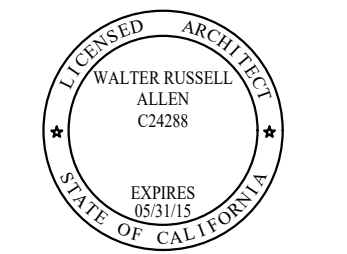
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DETERMINING EXTENT OF DEMOLITION, AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL EXISTING EQUIPMENT, DUCTWORK AND AIR DISTRIBUTION DEVICES, WHICH ARE TO REMAIN, SHALL BE CLEANED AND REFURBISHED TO ORIGINAL WORKING CONDITION.
- C. ALL WORK TO BE DEMOLISHED OR REMOVED SHALL NOT BE RE-INSTALLED UNLESS NOTED OTHERWISE.
- D. RETAIL SPACES SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE, AND HEATING VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN FUTURE TENANT IMPROVEMENT.
- E. SEE DETAIL 7/m501 FOR DUCT TAKEOFF.

KEY NOTES

- 1 INSTALL CONDENSING UNIT ON THE EXISTING CONCRETE PAD AND PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 8/M502.
- 2 INSTALL FAN COIL UNIT PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 1/M502.
- 3 AIR CURTAIN ABOVE DOOR OPENING, TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.
- 4 KITCHEN EXHAUST HOOD. REFER TO KITCHEN HOOD DRAWINGS ON SHEETS M401 TO M402 FOR DETAILS.
- 5 22\"/>

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rtqtx
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 993-0301



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Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

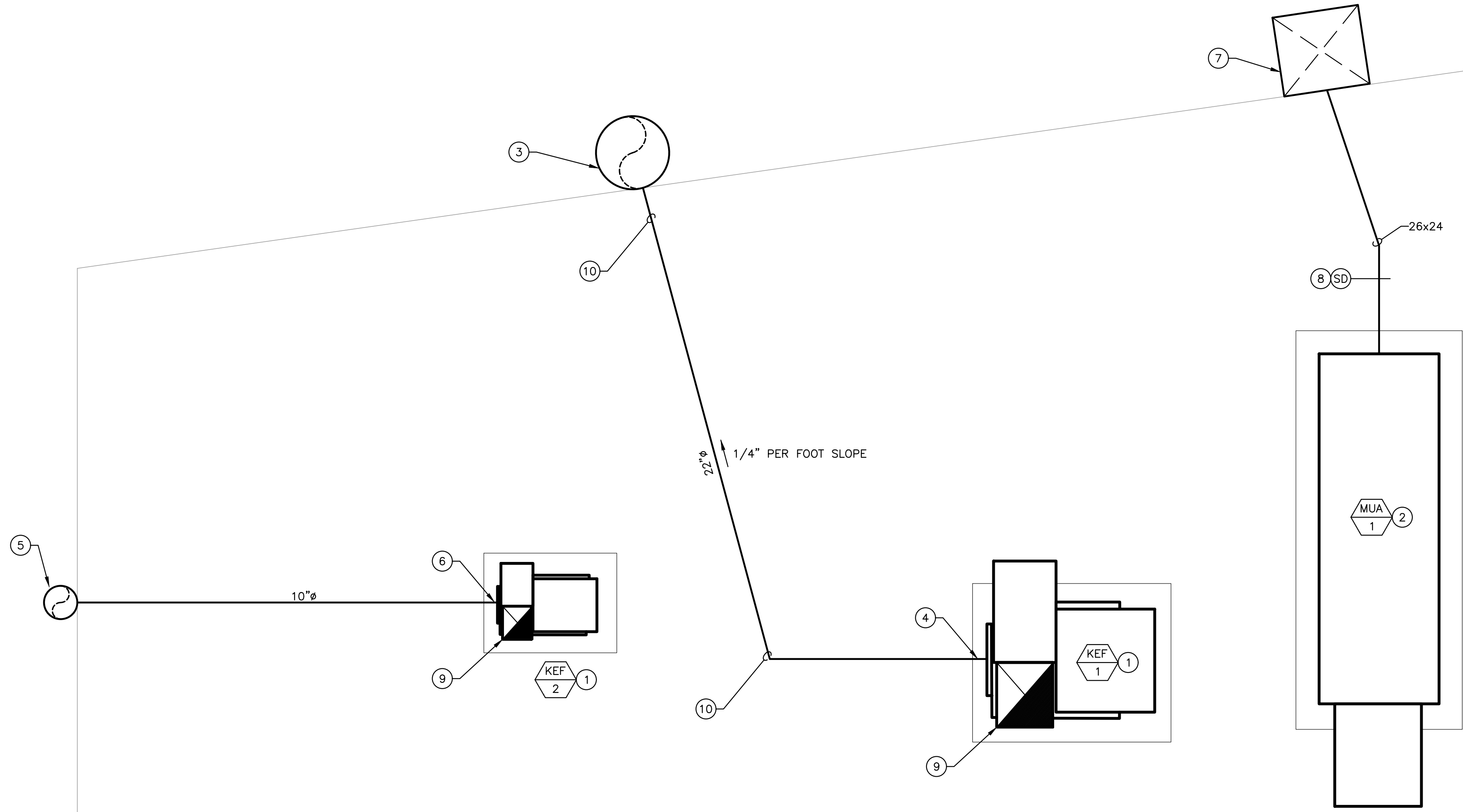
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By	
Date	
Job Number:	2207
Drawing Number	

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m201

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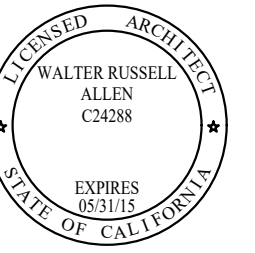


GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DETERMINING EXTENT OF DEMOLITION, AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL EXISTING EQUIPMENT, DUCTWORK AND AIR DISTRIBUTION DEVICES, WHICH ARE TO REMAIN, SHALL BE CLEANED AND REFURBISHED TO ORIGINAL WORKING CONDITION.
- C. ALL WORK TO BE DEMOLISHED OR REMOVED SHALL NOT BE RE-INSTALLED UNLESS NOTED OTHERWISE.
- D. ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET FROM THE PROPERTY LINE, 10 FEET FROM A FORCED AIR INLET, AND 3 FEET FROM OPENING INTO THE BUILDING. ENVIRONMENTAL EXHAUST DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY.

KEY NOTES

- ① INSTALL EXHAUST FAN ON A LEVELING PLATFORM AND PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 6/m502. TERMINATION SHALL BE NOT LESS THAN 10 FT. OF HORIZONTAL CLEARANCE FROM AIR INTAKES OR NOT LESS THAN 3 FT. ABOVE AIR INTAKES WITHIN 10 FT. OF EXHAUST OUTLET.
- ② INSTALL MAKE-UP AIR UNIT ON A LEVELING PLATFORM AND PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 7/m502.
- ③ 22"Ø PREFABRICATED LISTED GREASE DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1, SEE DETAIL 9/m501.
- ④ 24"Ø PREFABRICATED LISTED GREASE DUCT CONNECTION TO KEF-1.
- ⑤ 10"Ø PREFABRICATED DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1.
- ⑥ 12"Ø PREFABRICATED LISTED GREASE DUCT CONNECTION TO KEF-2.
- ⑦ 26x24 SA DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1.
- ⑧ DUCT-TYPE SMOKE DETECTOR IN SUPPLY AIR DUCT, SEE DETAIL 3/m502.
- ⑨ TERMINATE EXHAUST DUCT 10 FT. AWAY FROM AIR INTAKES OR NOT LESS THAN 3 FT. ABOVE AIR INTAKES WITHIN 10 FT. OF EXHAUST OUTLET.
- ⑩ PROVIDE RATED ACCESS COVER FOR CLEANING AND INSPECTION AT CHANGES OF DIRECTION WITH SAFE ACCESS. VERIFY EXACT SIZE AND LOCATION WITH THE MANUFACTURER OF PREFABRICATED LISTED GREASE DUCT PRIOR TO START OF WORK.



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Revisions	Sym.

Job Number: 2207

Drawing Number

m202

1 MECHANICAL ROOF PLAN

SCALE: 1/2"=1'-0"

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HOOD INFORMATION - JOB#5571887

HOOD NO	TAG	MODEL	MANUFACTURER	LENGTH	MAX COOKING TEMP	TYPE	APPLIANCE DUTY	DESIGN CFM/FT	TOTAL EXH CFM	EXHAUST PLENUM					TOTAL SUPPLY CFM	HOOD CONSTRUCTION	HOOD CONFIG			
										WIDTH	LENG	HEIGHT	DIA	CFM			VEL	SP	END TO END	ROW
1	H1 - LEFT	6024 ND-2-PSP-F	CAPTIVEAIRE	10' 6"	600 DEG	I	HEAVY	260	2730			4'	16'	2730	1955	-1.085'	1950	430 SS WHERE EXPOSED	LEFT	ALONE
2	H1 - RIGHT	6024 ND-2-PSP-F	CAPTIVEAIRE	10' 6"	600 DEG	I	HEAVY	230	2415			4'	16'	2415	1730	-0.849'	2150	430 SS WHERE EXPOSED	RIGHT	ALONE
3	H2 - PIZZA	5424 VHB-PSP-F-ND	CAPTIVEAIRE	5' 0"	780 DEG	II	N/A	150	750			4'	10'	1375	-0.113'	620	430 SS 100X	ALONE	ALONE	

HOOD INFORMATION

HOOD NO	TAG	TYPE	FILTER(S)			EFFICIENCY @ 7 MICRONS	LIGHT(S)		UTILITY CABINET(S)			FIRE SYSTEM	ELECTRICAL	SWITCHES	FIRE SYSTEM HANGING PIPING	HOOD WEIGHT
			QTY	HEIGHT	LENGTH		QTY	TYPE	WIRE GUARD	LOCATION	SIZE					
1	H1 - LEFT	CAPRATE SOLID FILTER	7	20"	16"	85% SEE FILTER SPEC	3	RECESSED ROUND	NO						YES	623 LBS
2	H1 - RIGHT	CAPRATE SOLID FILTER	7	20"	16"	85% SEE FILTER SPEC	3	RECESSED ROUND	NO	RIGHT	12"x60"x24"	TANK FS	4.0/4.0/4.0/4.0		YES	1110 LBS
3	H2 - PIZZA						2	RECESSED ROUND	NO	LEFT	12"x54"x24"		DCV-2111	1 LIGHT 1 FAN	NO	363 LBS

HOOD OPTIONS

HOOD NO	TAG	BACKSPLASH	80.00" HIGH X 26.40" LONG	430 SS VERTICAL
1	H1 - LEFT	LEFT VERTICAL END PANEL	27" TOP WIDTH, 21" BOTTOM WIDTH, 80" HIGH	INSULATED 430 SS
2	H1 - RIGHT	RIGHT VERTICAL END PANEL	27" TOP WIDTH, 21" BOTTOM WIDTH, 80" HIGH	INSULATED 430 SS
3	H2 - PIZZA	BACKSPLASH	80.00" HIGH X 72.00" LONG	430 SS VERTICAL

PERFORATED SUPPLY PLENUM(S)

HOOD NO	TAG	POS	LENGTH	WIDTH	HEIGHT	RISE(S)				
						WIDTH	LENG	DIA	CFM	SP
1	H1 - LEFT	Front	126"	16"	6"	MUA	12"	28"	650	0.1617'
						MUA	12"	28"	650	0.1617'
						MUA	12"	28"	650	0.1617'
						MUA	12"	28"	716	0.1932'
2	H1 - RIGHT	Front	138"	16"	6"	MUA	12"	28"	716	0.1932'
						MUA	12"	28"	716	0.1932'
						MUA	12"	28"	716	0.1932'
						MUA	12"	28"	716	0.1932'
3	H2 - PIZZA	Front	72"	12"	6"	MUA	8"	36"	620	0.1932'

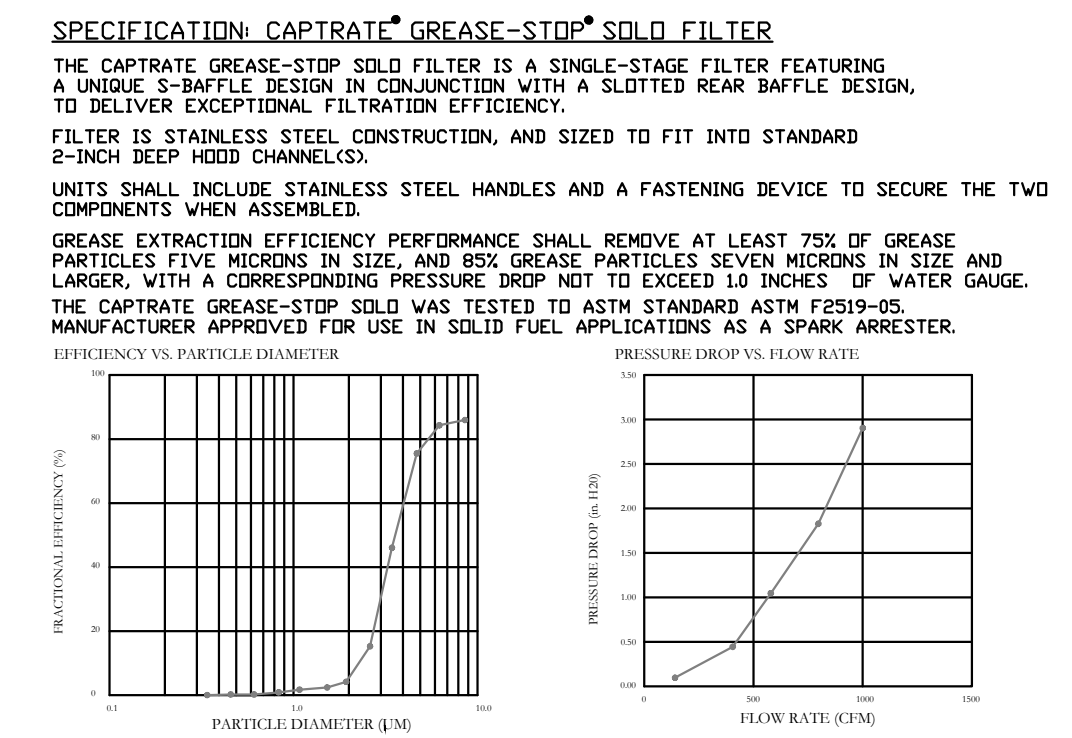
PLAN VIEW - HOOD #1 (H1 - LEFT) TO 6.00' LONG 6024ND-2-PSP-F

PLAN VIEW - HOOD #2 (H1 - RIGHT) TO 6.00' LONG 6024ND-2-PSP-F

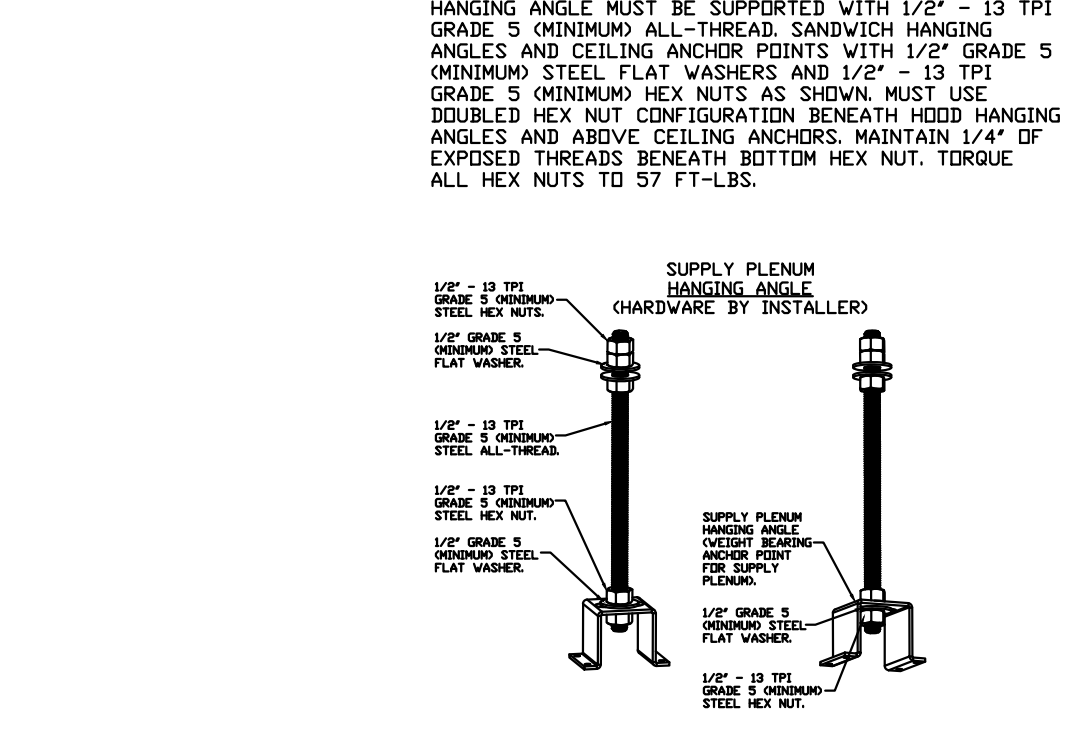
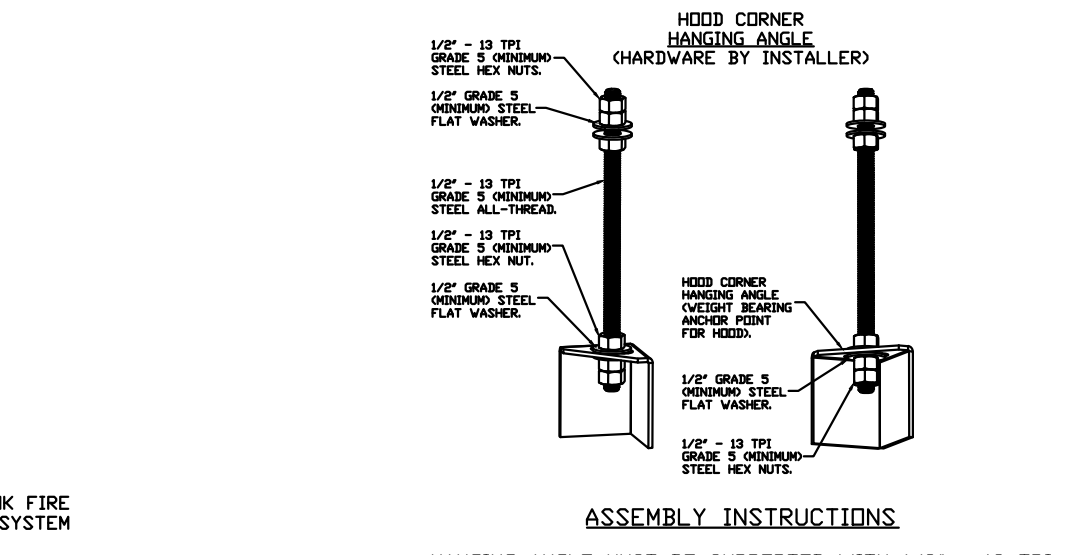
CAPTIVE-AIRE HOODS ARE BUILT IN COMPLIANCE WITH UL 710 AND NFPA 96 AND ARE RECOGNIZED BY ONE OR MORE OF THE FOLLOWING:

ETL SANITATION LISTED
ETL LISTED
FILE# 102900319PRT-001

NOTE:



CAPRATE FILTERS ARE BUILT IN COMPLIANCE WITH NFPA 96, NSF STANDARD #6, UL STANDARD #1046, INT. MECH. CODE (M.C.), ULC-5649.

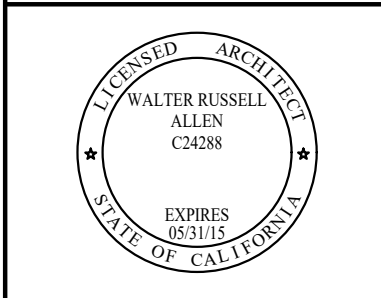


FOR QUESTIONS CALL:
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(951) 231-5102 / REG102@CAPTIVEAIRE.COM

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Inland Empire
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Miramonte Winery - Temecula r2
TEMECULA, CA, 92591

7/25/2022
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CJ - 102
3/4" = 1'-0"
MASTER DRAWING



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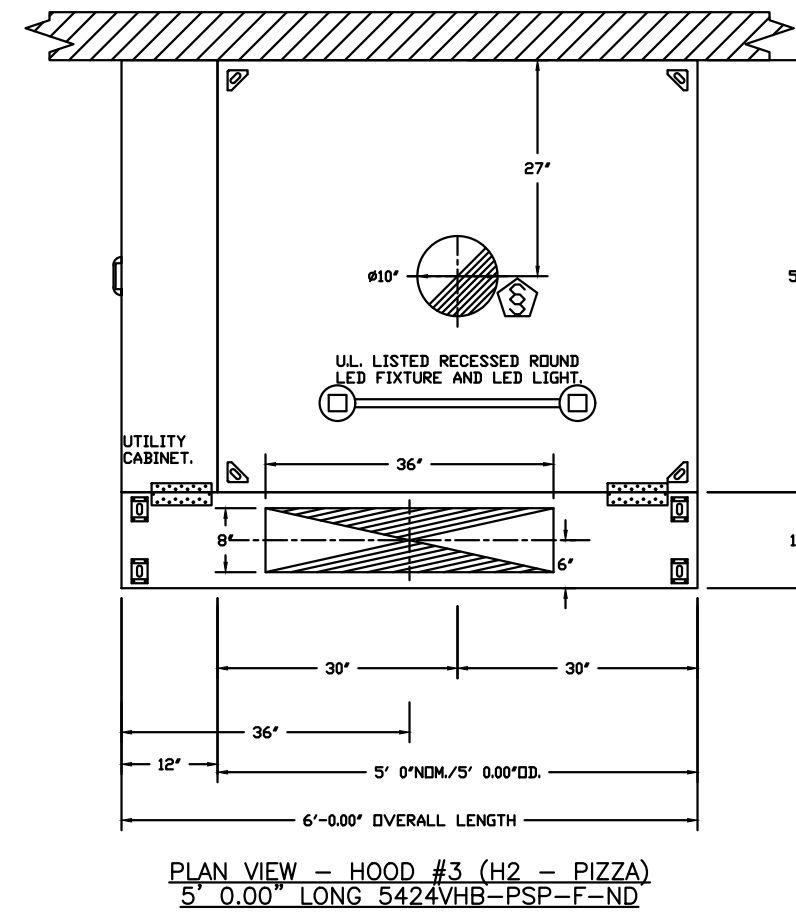
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			2207

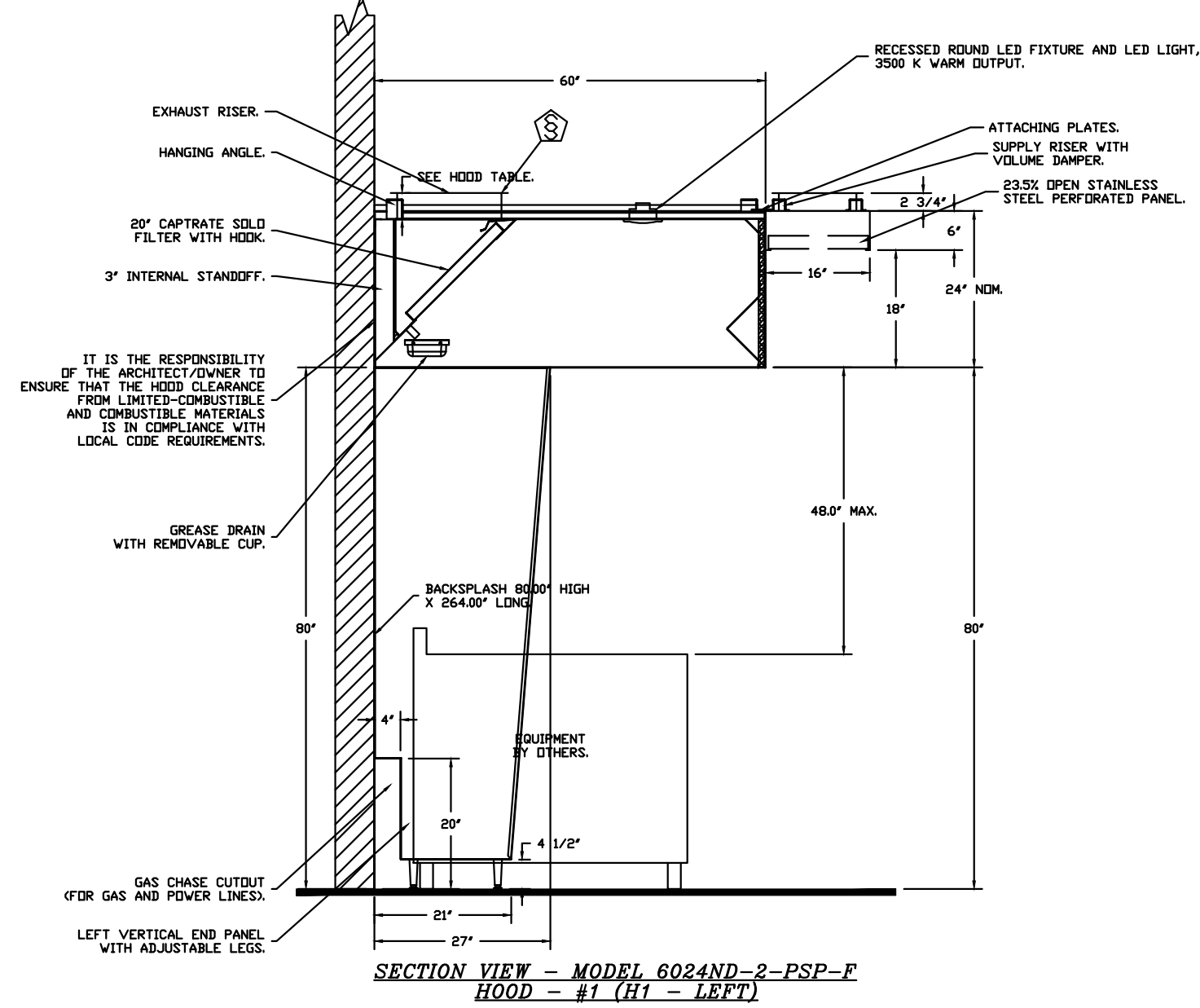
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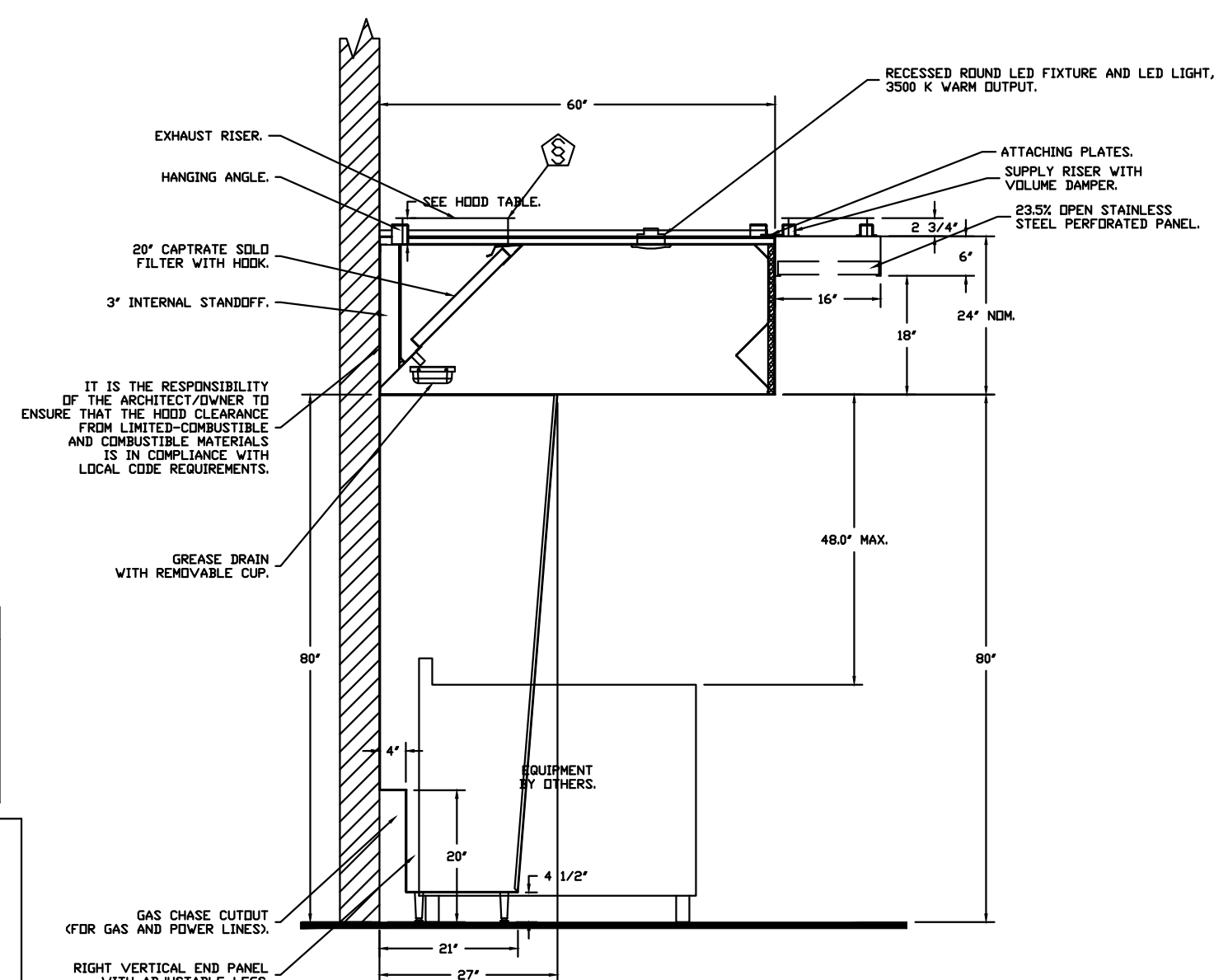
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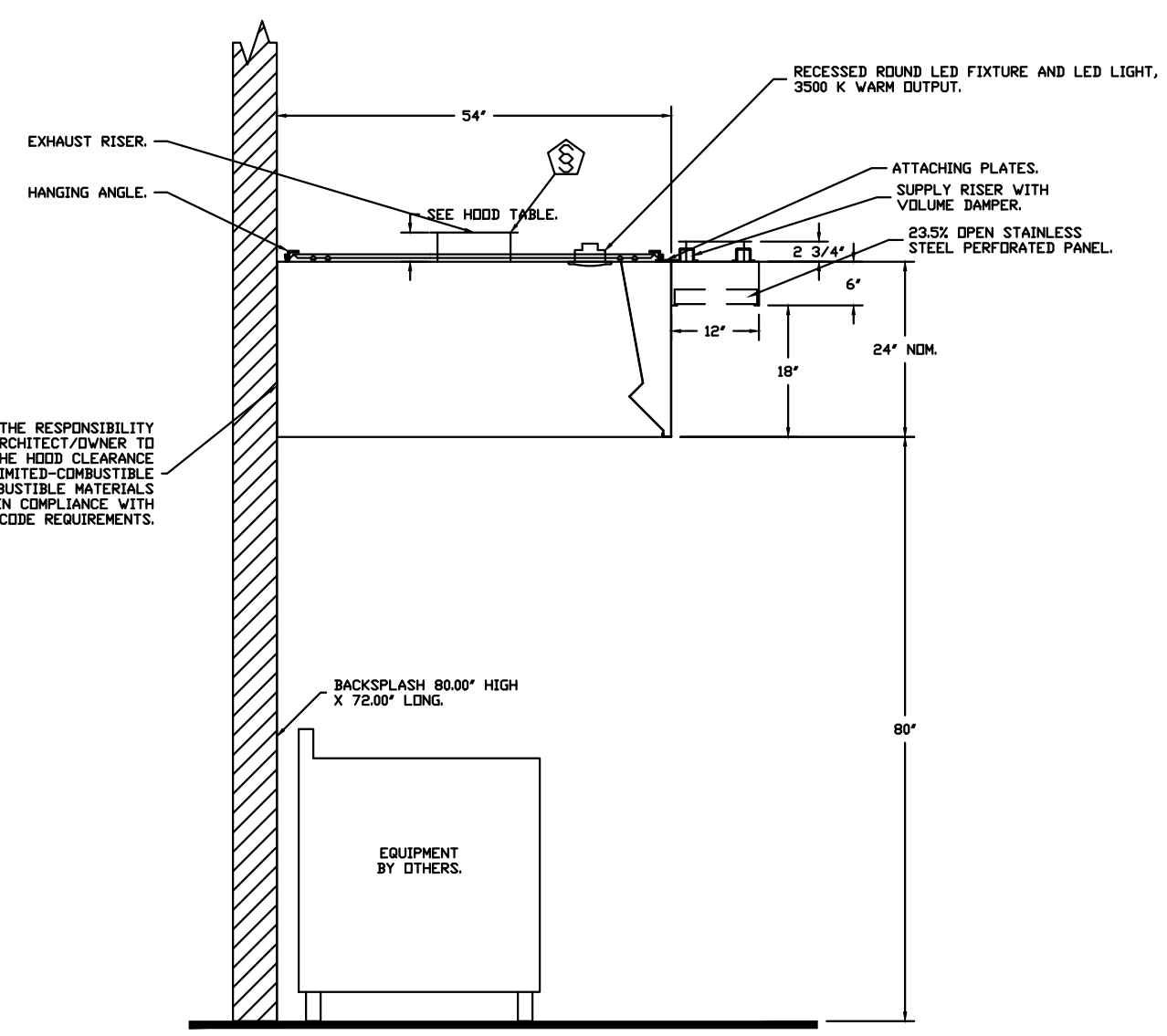
PLAN VIEW - HOOD #3 (H2 - PIZZA)
5.000' LONG 5424VHB-PSP-F-ND



SECTION VIEW - MODEL 6024ND-2-PSP-F
HOOD - #1 (H1 - LEFT)



SECTION VIEW - MODEL 6024ND-2-PSP-F
HOOD - #2 (H1 - RIGHT)



SECTION VIEW - MODEL 5424VHB-PSP-F-ND
HOOD - #3 (H2 - PIZZA)

NOTE:

CAPTIVE-AIRE HOODS ARE BUILT IN COMPLIANCE WITH UL 710 AND NFPA 96 AND ARE RECOGNIZED BY ONE OR MORE OF THE FOLLOWING:

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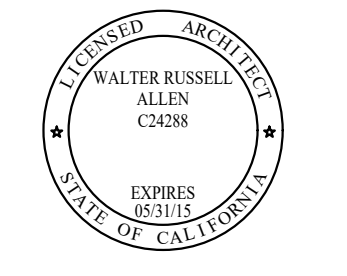
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Miramonte Winery - Temecula r2
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7/25/2022
5571887
CJ - 102
3/4" = 1'-0"

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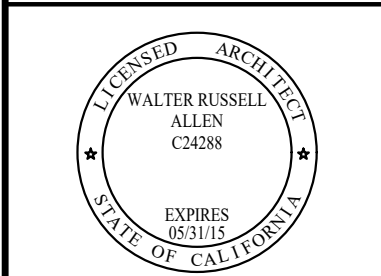
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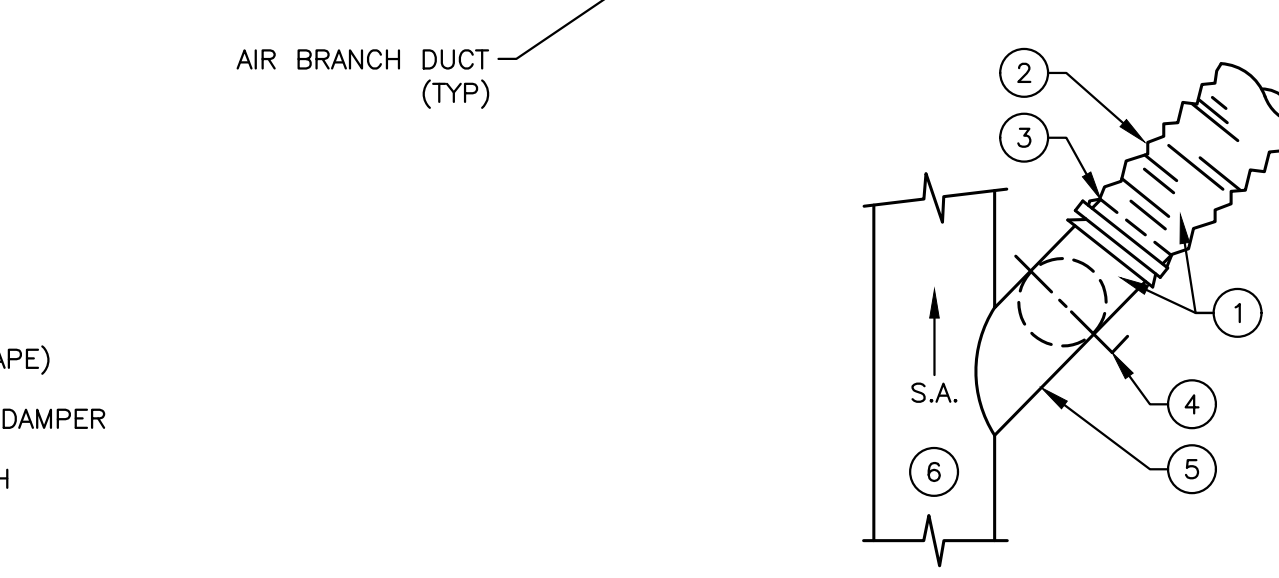
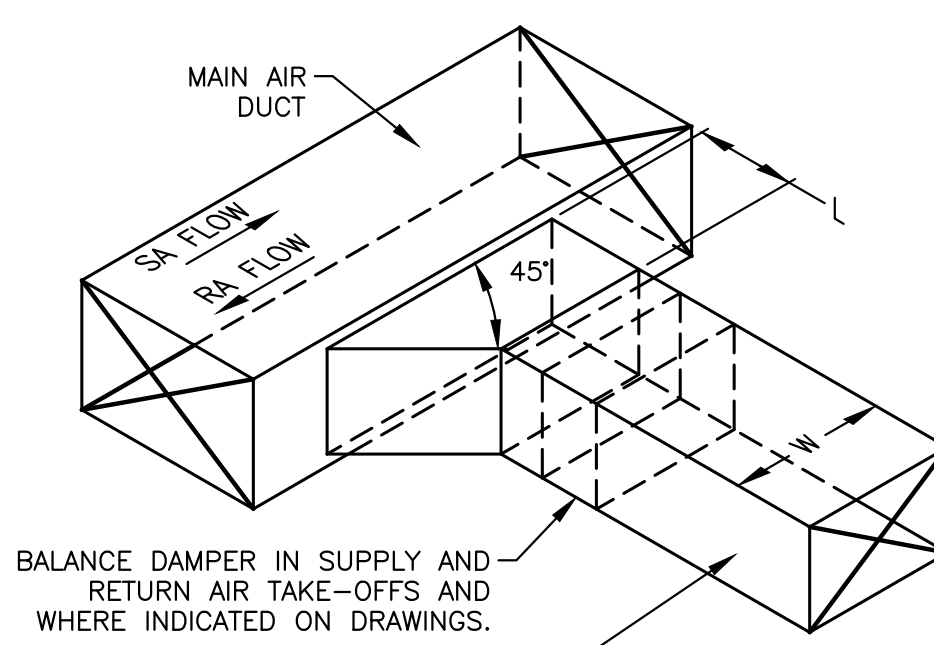
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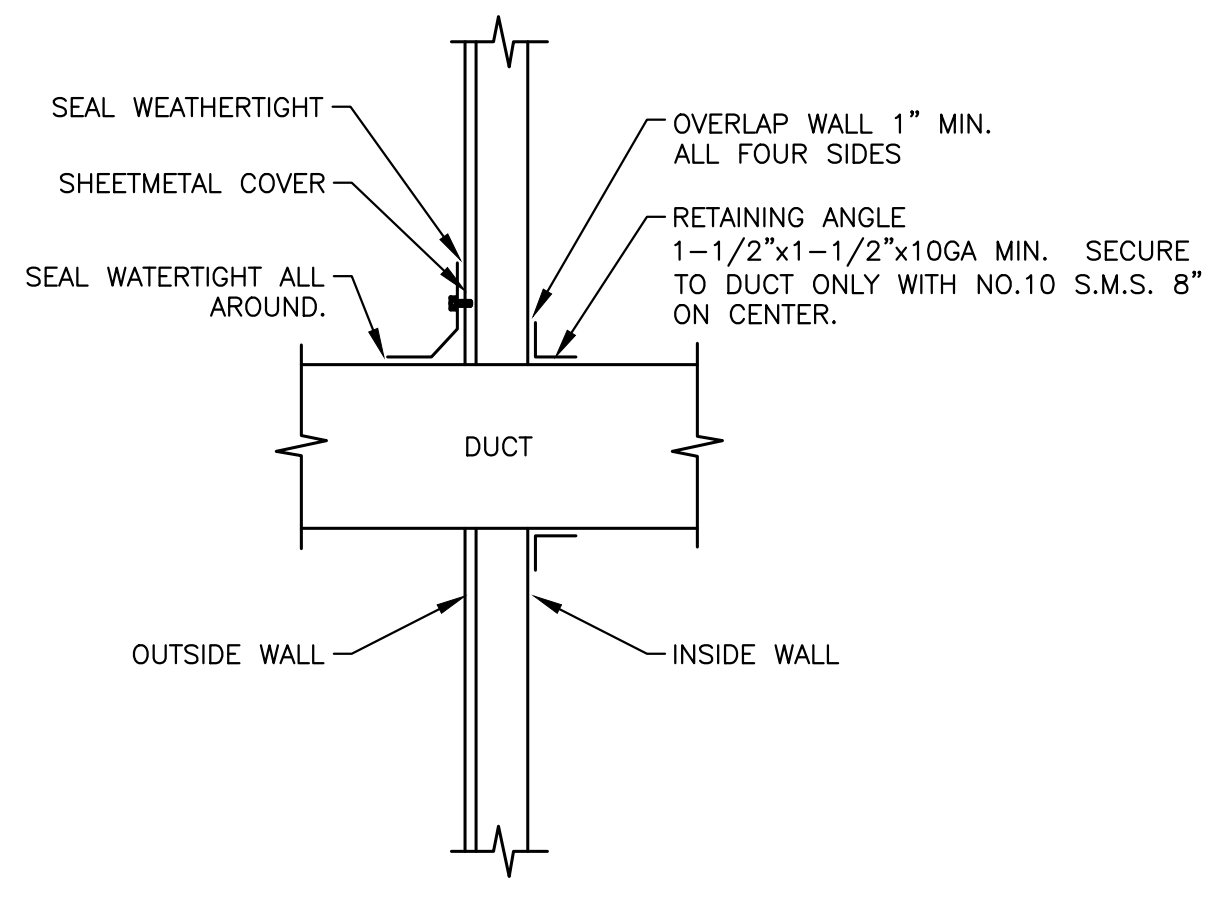
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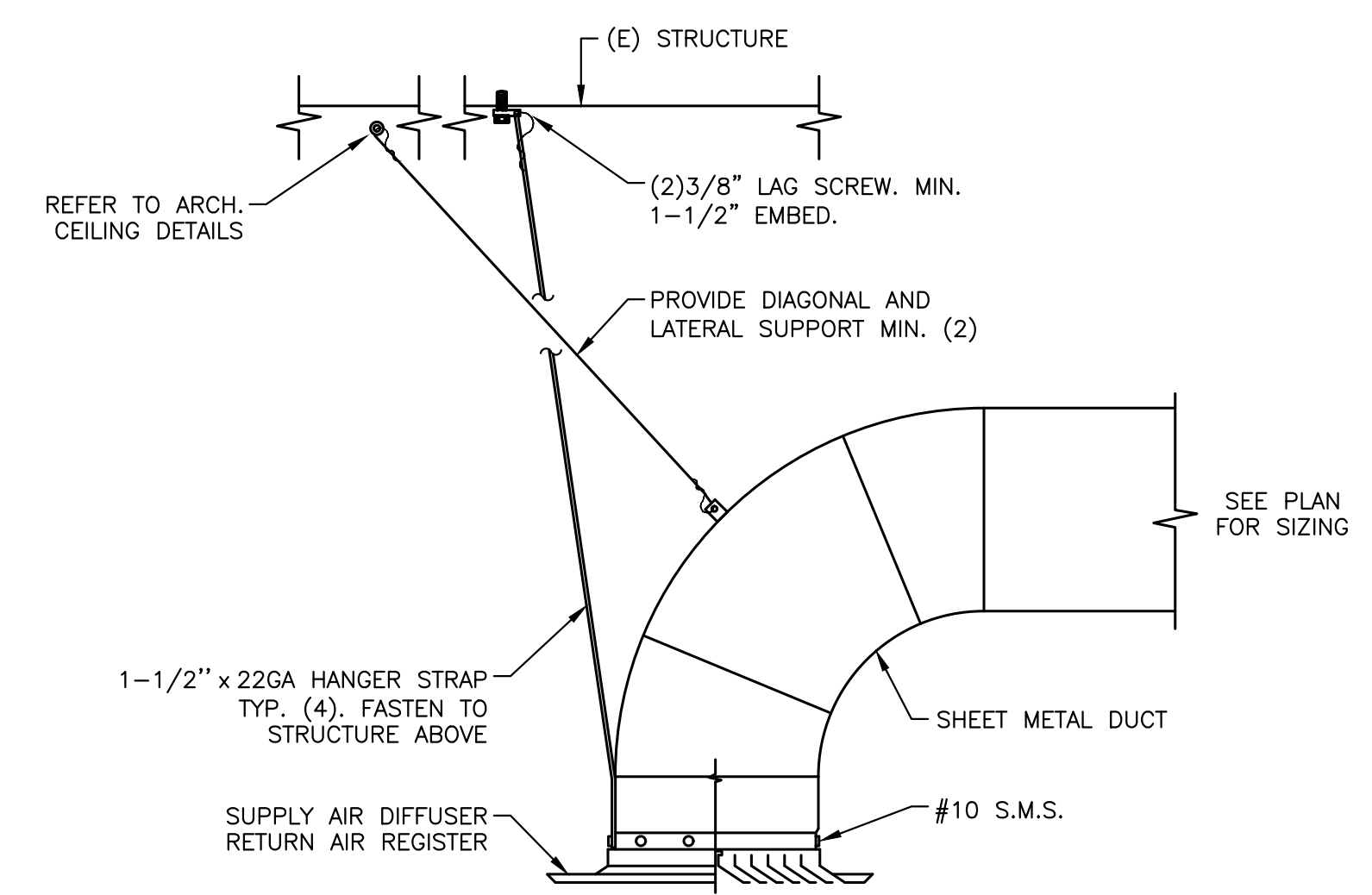
- 1 SAME SIZE
- 2 FLEXIBLE DUCT
- 3 CLAMP (NO DUCT TAPE)
- 4 MANUAL BALANCING DAMPER
- 5 45° LATERAL BRANCH
- 6 MAIN DUCT

NOTE: L=1/4W (4" MIN.)

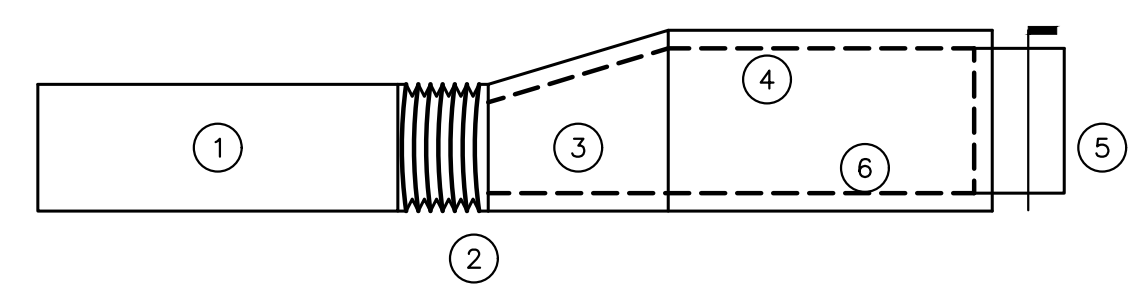
DUCT TAKE-OFF DETAIL SCALE NONE **7**



DUCT THRU EXTERIOR WALL DETAIL SCALE NONE **4**



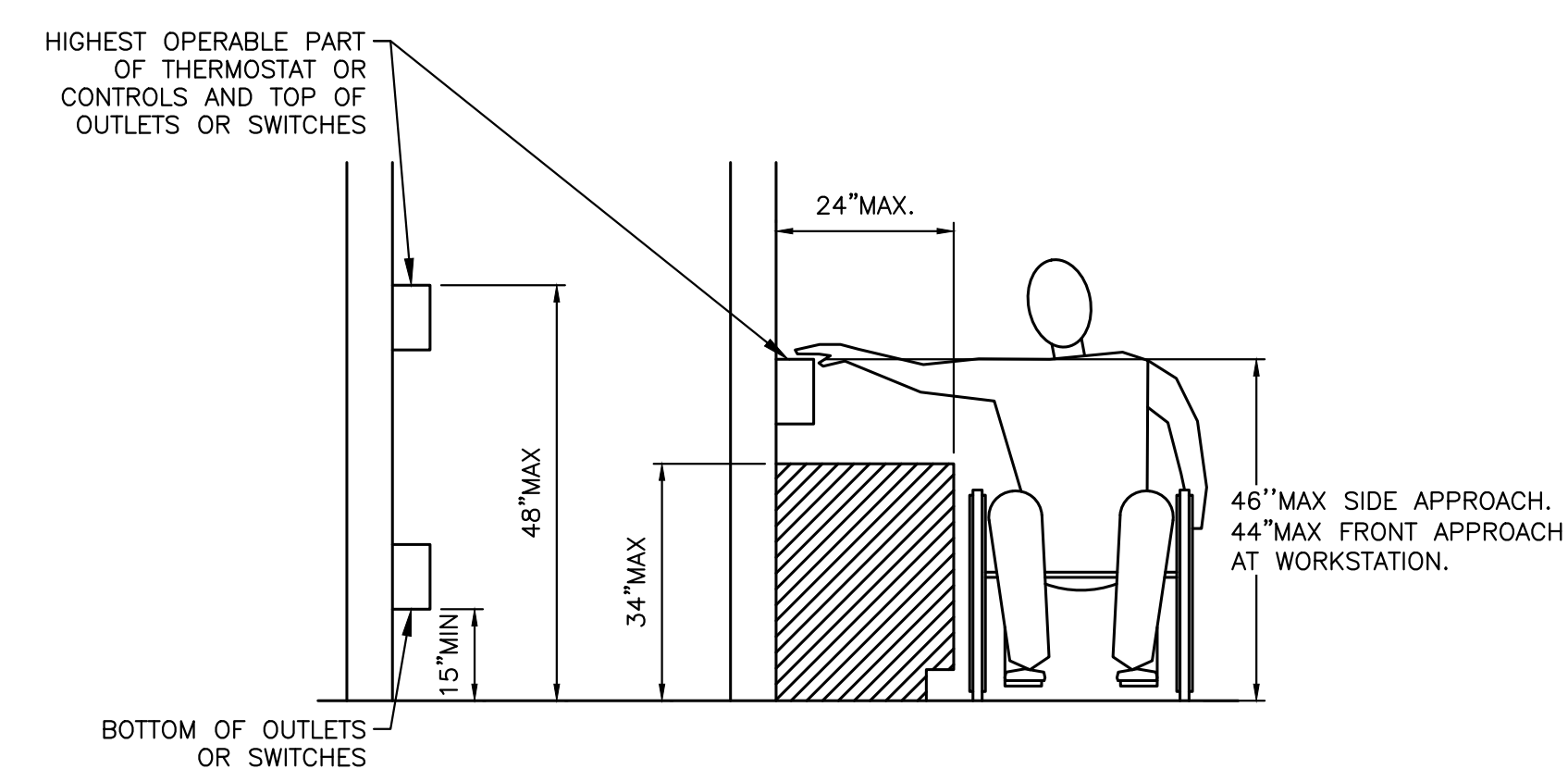
EXPOSED DUCT/DIFFUSER DETAIL SCALE NONE **1**



- 1 FAN COIL
- 2 FLEX CONNECTION
- 3 FAN COIL TO PLENUM TRANSITION.
- 4 PLENUM 2" LARGER THEN THE LARGEST TAP IN.
- 5 ROUND OR SQUARE TAP IN w/MVD.
- 6 ACOUSTICAL LINING AS PER DETAIL.

NOTE: SUPPLY SIDE SHOWN. RETURN SIDE, SIMILAR.

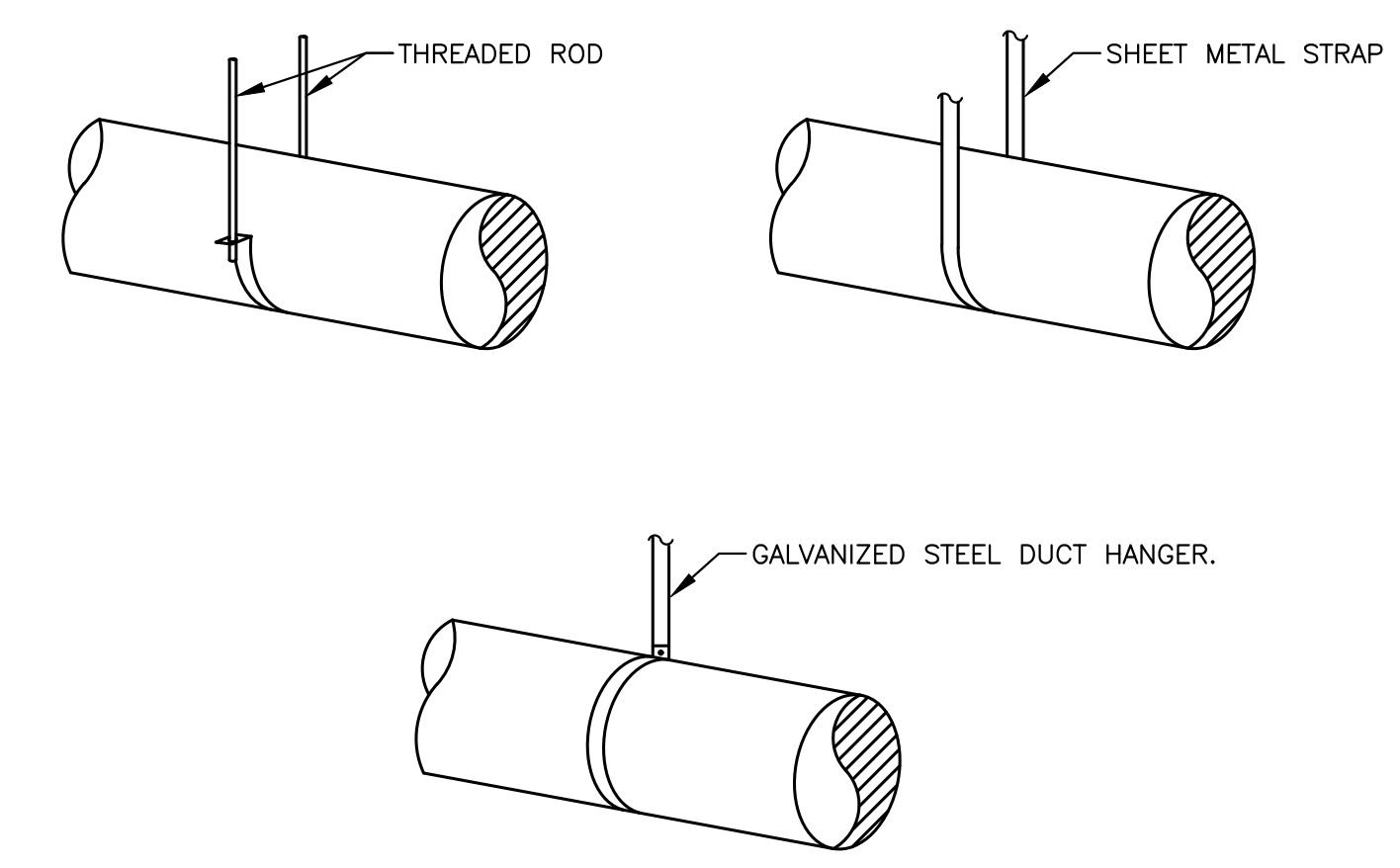
FAN COIL TO PLENUM CONNECTION DETAIL SCALE NONE **8**



NOTE: ELECTRICAL OUTLETS, SWITCHES AND SIMILAR CONTROLS SHALL BE MOUNTED A MAXIMUM OF 48" ABOVE FINISHED FLOOR, MEASURED TO THE TOP OF THE ELECTRICAL BOX.

THE MINIMUM MOUNTING HEIGHT FOR SWITCHES AND OUTLETS IS 18" A.F.F. MEASURED FROM CENTERLINE OF ELECTRICAL BOX.

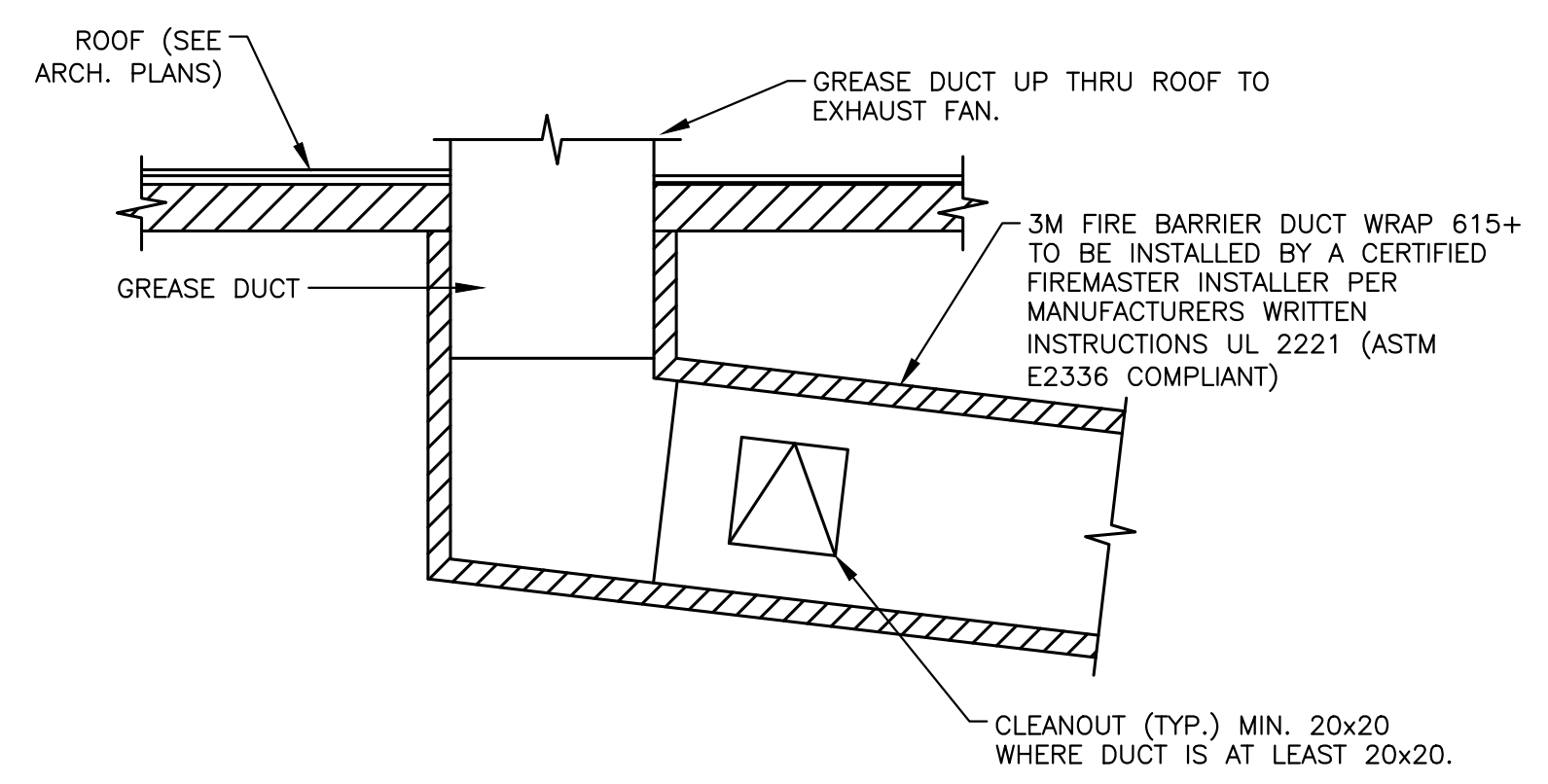
THERMOSTAT MOUNTING DETAIL SCALE NONE **5**



NOTES:

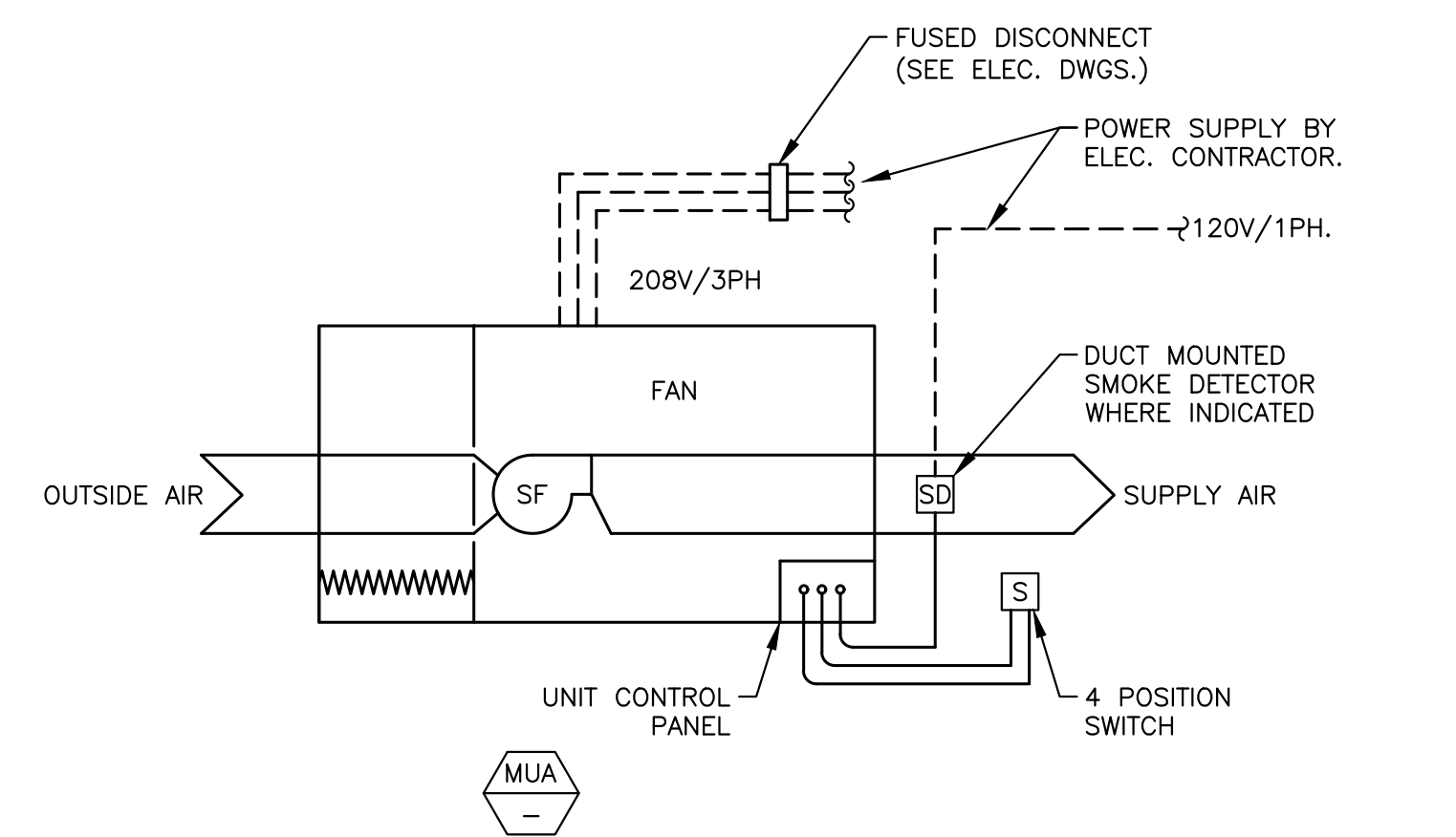
- ATTACHMENT TO STRUCTURE ABOVE AND HANGER SPACING SHALL BE IN ACCORDANCE WITH SMACNA STANDARDS.
- PROVIDE SEISMIC RESTRAINT AS REQUIRED.

TYPICAL DUCT HANGER DETAIL SCALE NONE **2**



NOTE: GREASE DUCT SHALL HAVE MINIMUM 1/4" PER FOOT SLOPE TOWARD HOOD. PROVIDE DUCT CLEANOUT AND FIRE RATED ACCESS PANEL THRU BARRIER AT EVERY CHANGE IN DIRECTION AND AT 10'-0" O.C. MAXIMUM TO ENSURE COMPLETE ACCESS.

GREASE DUCT DETAIL SCALE NONE **9**

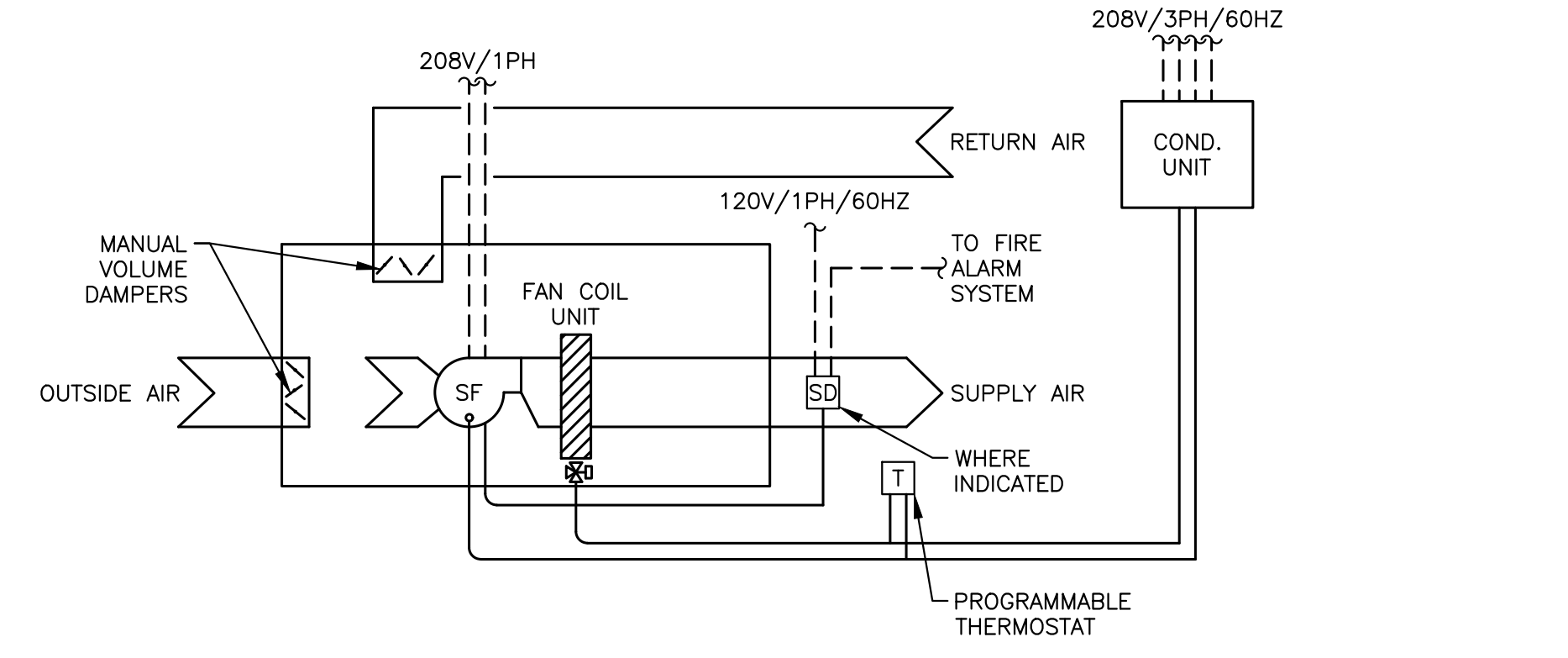


NOTE: CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED FOR PROPER OPERATION OF SYSTEM AS RECOMMENDED BY MANUFACTURER.

----- WIRING PROVIDED AND INSTALLED BY DIVISION 16

_____ WIRING PROVIDED AND INSTALLED BY DIVISION 15

MAKE-UP AIR UNIT CONTROL DIAGRAM SCALE NONE **6**



NOTE: CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED FOR PROPER OPERATION OF SYSTEM AS RECOMMENDED BY MANUFACTURER.

----- WIRING PROVIDED AND INSTALLED BY DIVISION 16

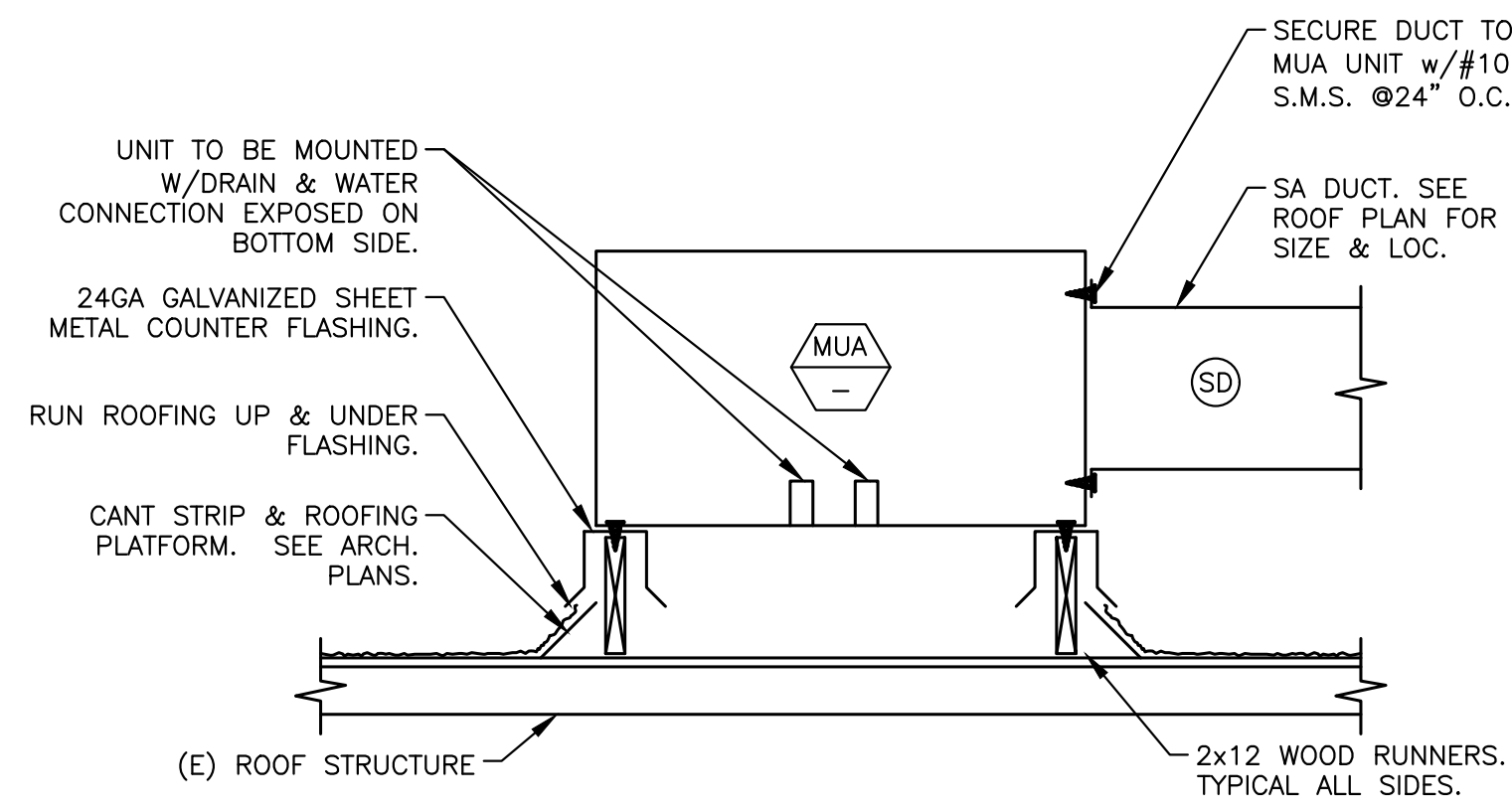
_____ WIRING PROVIDED AND INSTALLED BY DIVISION 15

SPLIT SYSTEM HEAT PUMP CONTROL DIAGRAM SCALE NONE **3**

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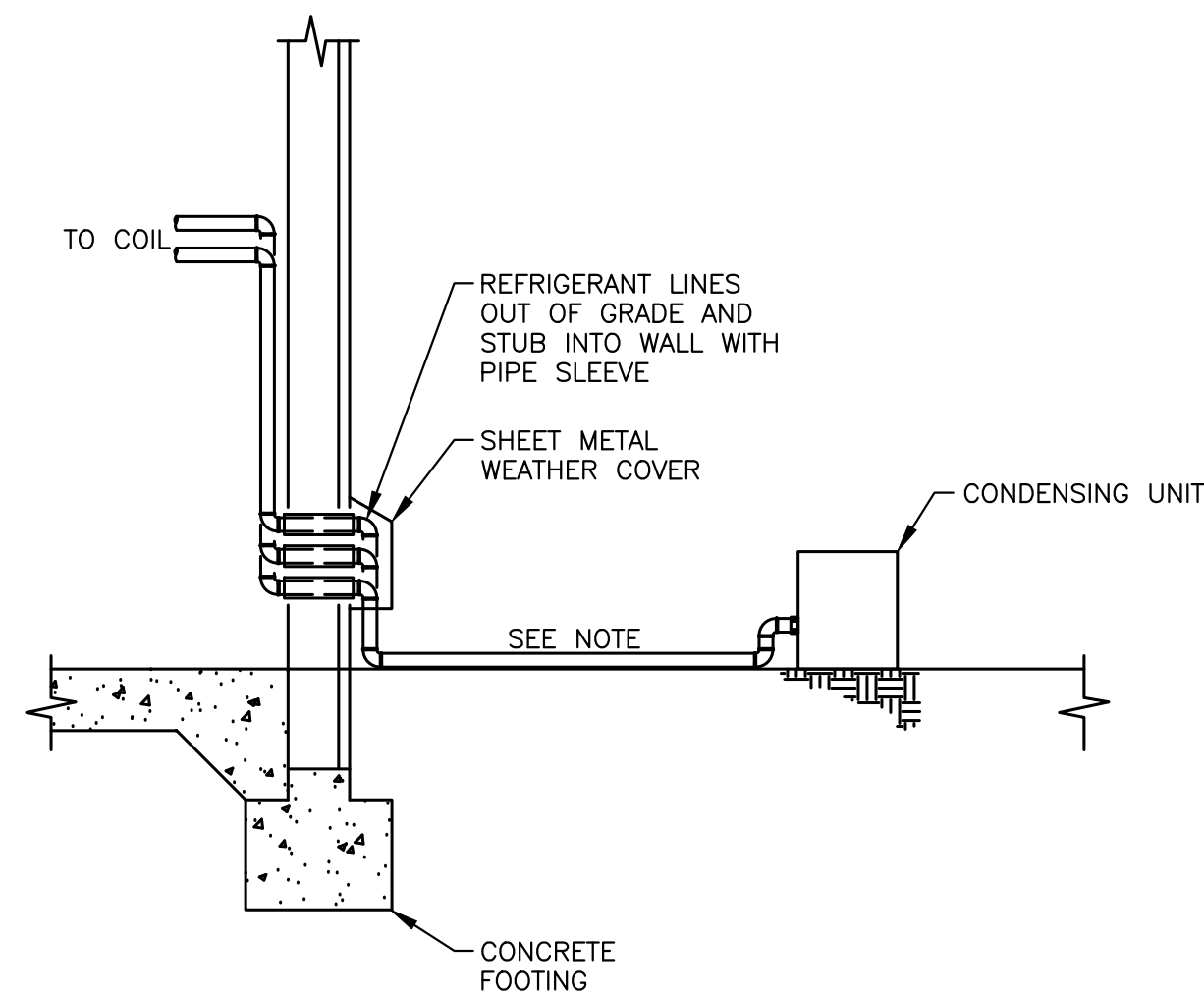


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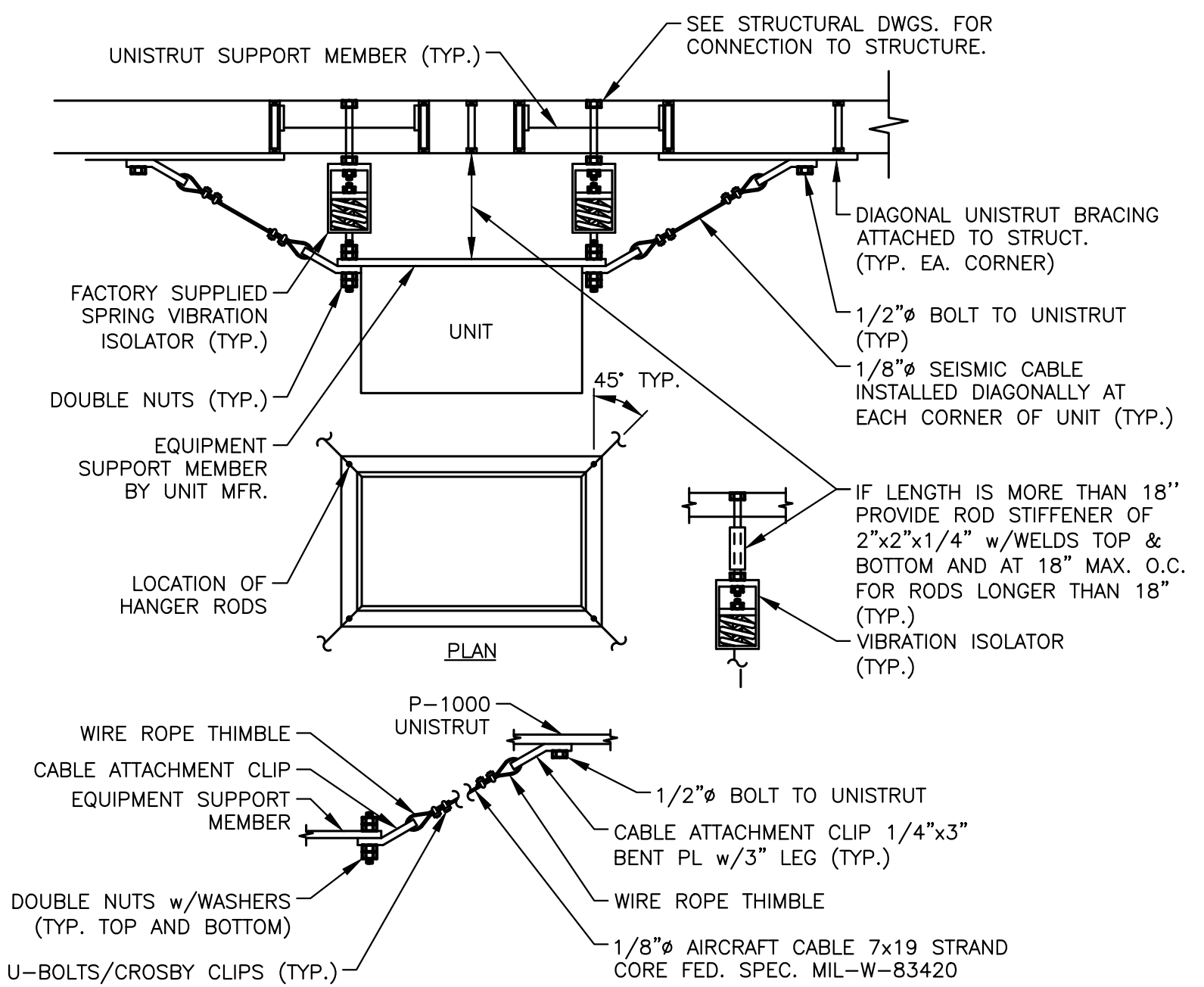
NOTE: FOR WATER PROOFING REQUIREMENTS SEE ARCHITECTURAL PLANS.

MAKE-UP AIR UNIT MOUNTING DETAIL SCALE NONE 7

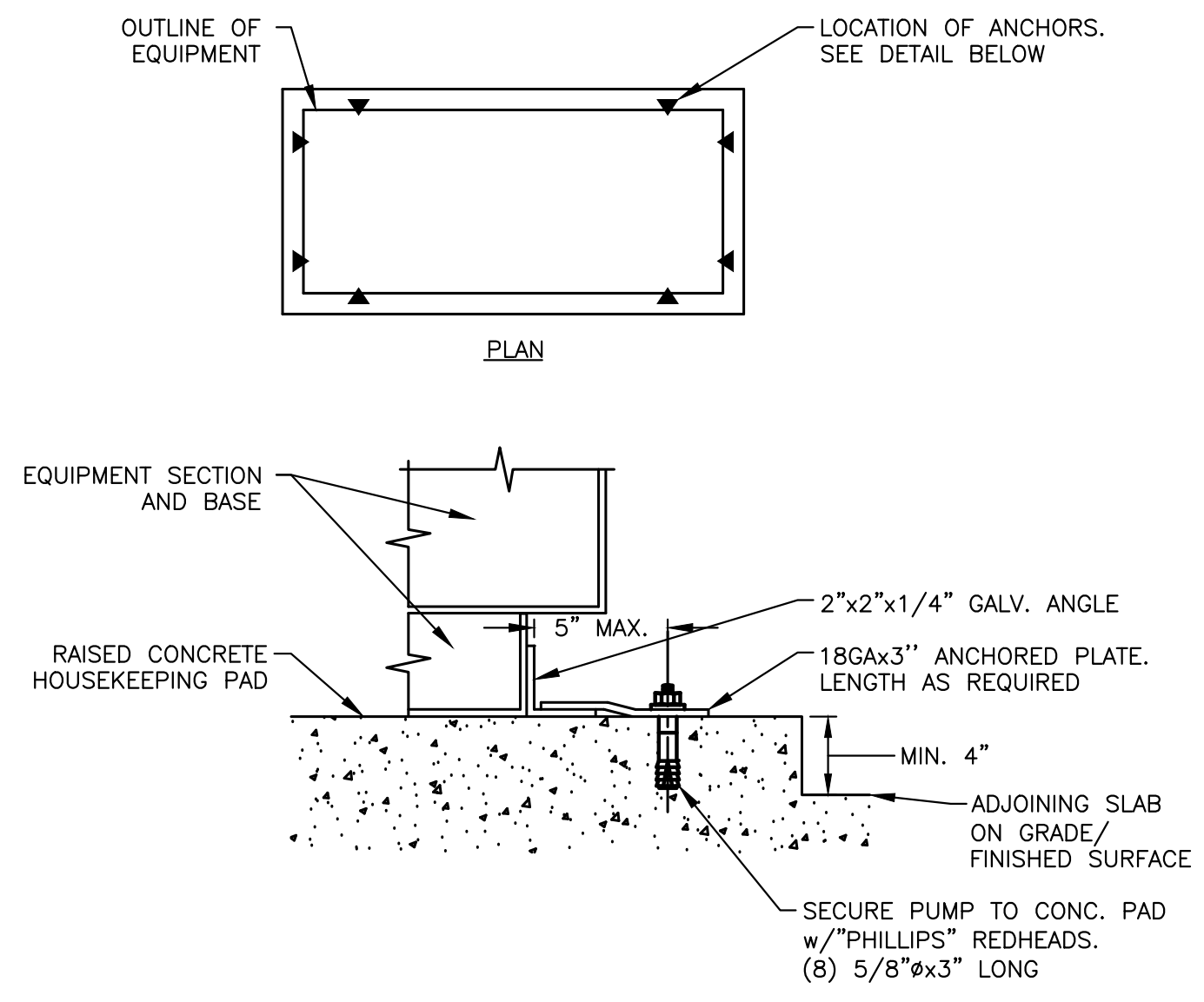


NOTE: REFRIGERANT PIPES TO CONDENSING UNIT. SUPPORT ON WOOD BLOCKS. PROVIDE STAINLESS STEEL JACKET AND INSULATION.

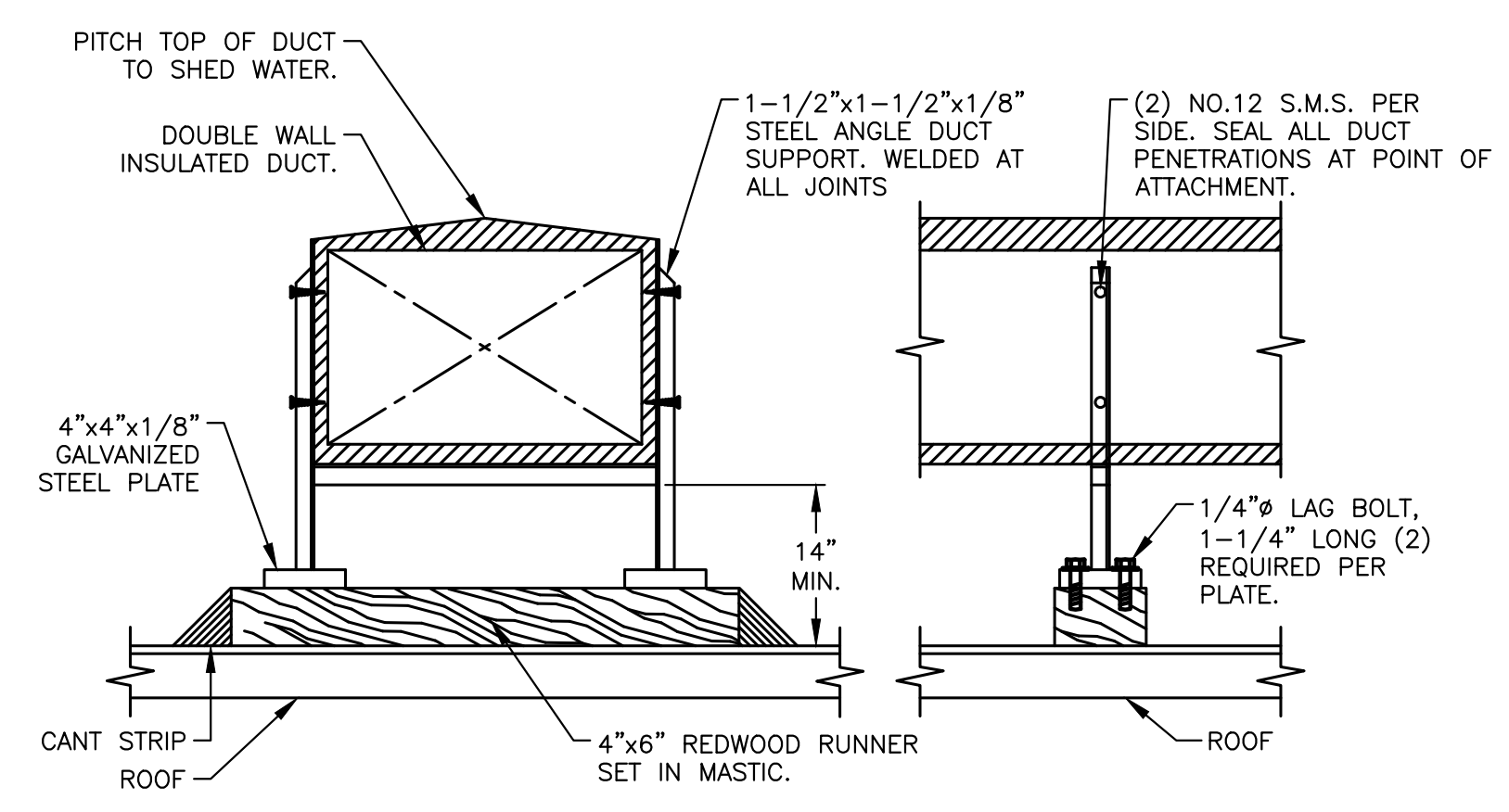
REFRIGERANT PIPE TO UNIT DETAIL SCALE NONE 4



HVAC UNIT MOUNTING DETAIL SCALE NONE 1

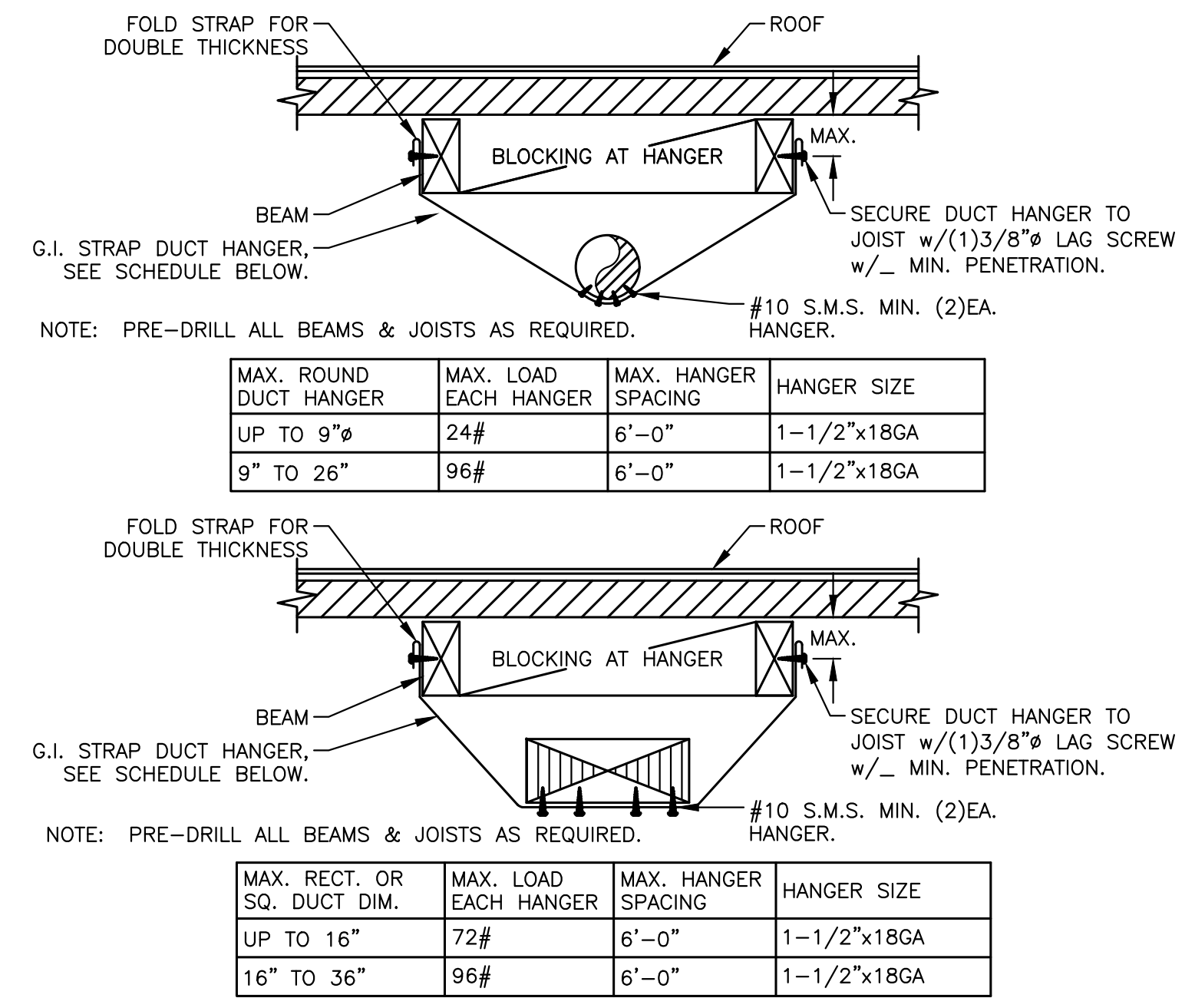


CONDENSING UNIT MOUNTING DETAIL SCALE NONE 8

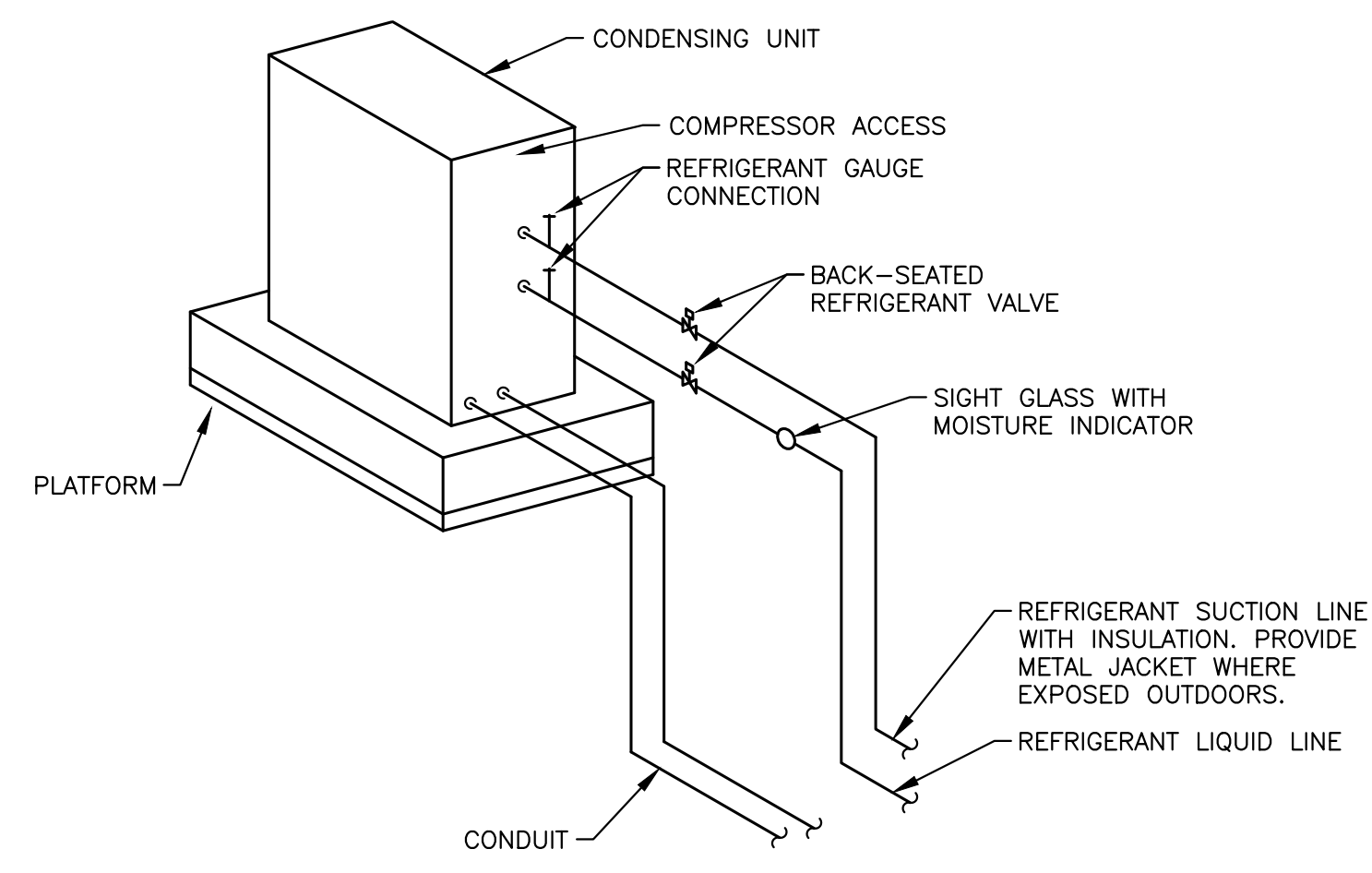


NOTES:
1. DUCTS SHALL BE INTERNALLY LINED. REFER TO -/M3.1 FOR DUCT LINER DETAIL
2. DUCT SUPPORTS SHALL BE MOUNTED AT ANGLE TO ROOF SLOPE.

ROOF MOUNTED DUCT DETAIL SCALE NONE 5

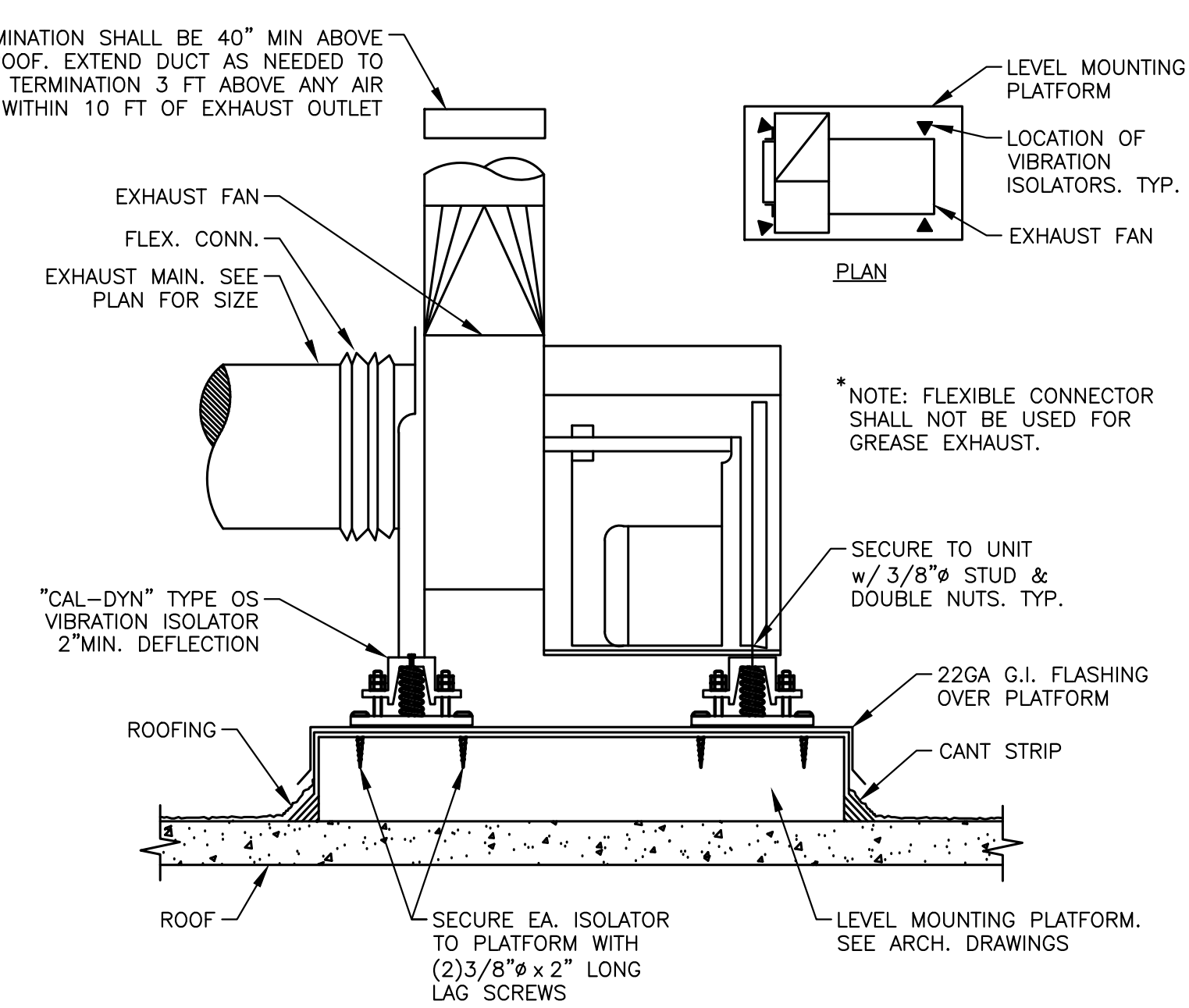


DUCT SUPPORT DETAILS SCALE NONE 2

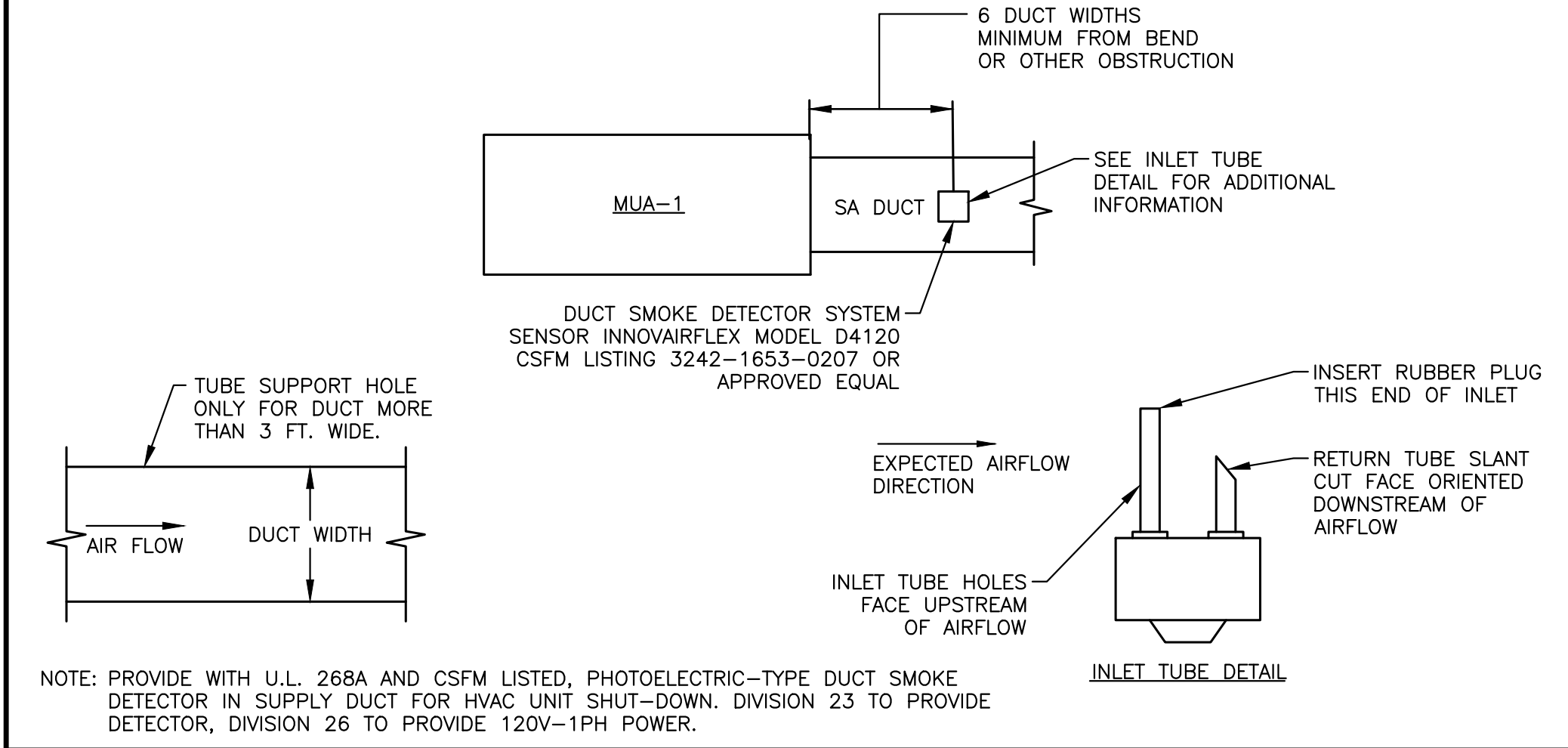


NOTE: NOT A MOUNTING DETAIL.

CONDENSING UNIT PIPING DIAGRAM SCALE NONE 9



UTILITY SET EXHAUST FAN MOUNTING DETAIL SCALE NONE 6

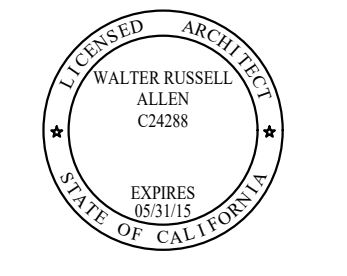


DUCT SMOKE DETECTOR MOUNTING DETAIL SCALE NONE 3

SALASOBRIEN
[expect a difference]
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PROFESSIONAL SEAL
WALTER RUSSELL ALLEN
ARCHITECT
EXPIRES 06/30/24
STATE OF CALIFORNIA

Old Town Temecula
rtex
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 983-0301



Designed SO
Drawn By SO
Checked SO
Date 11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	m502

PLUMBING LEGEND

Table with 5 columns: SYMBOL, ABBREVIATION, DESCRIPTION, ABBREVIATION, DESCRIPTION. It lists various plumbing components such as sewer pipes, valves, and fixtures with their corresponding symbols and abbreviations.

PLUMBING GENERAL NOTES:

- 1. THESE DOCUMENTS MAY NOT BE USED FOR ANY REPRODUCTION, BIDDING, OR CONSTRUCTION UNLESS AUTHORIZED, IN WRITING, BY SALAS O'BRIEN AND THE ENGINEER OF RECORD RESPONSIBLE FOR THEIR PREPARATION.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITY PIPES PRIOR TO START OF WORK. NECESSARY ADJUSTMENTS TO THE PLUMBING LAYOUT SHALL BE DONE AT NO EXTRA COST.
3. CONTRACTOR SHALL NOTIFY ALL LOCAL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE GAS COMPANY, ELECTRIC COMPANY, TELEPHONE COMPANY, AND THE WATER DEPARTMENT, ABOUT THE EXTENT OF PLUMBING WORK. ALL EXCAVATION WORK SHALL BE APPROVED BY ALL UTILITY COMPANIES TO ASSURE PREVENTION OF INTERRUPTION OF EXISTING SERVICES PRIOR TO START OF WORK.
4. ALL PLUMBING WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CALIFORNIA PLUMBING CODE, CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, AMERICANS WITH DISABILITIES ACT (ADA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), THE LOCAL CITY AND COUNTY CODES, AND ALL OTHER CODES HAVING JURISDICTION. IN CASE OF CONFLICT, THE MORE STRICT REGULATIONS SHALL GOVERN.
5. ALL PLUMBING WORK SHALL BE COORDINATED WITH THE WORKS OF OTHER TRADES PRIOR TO START OF WORK. NECESSARY ADJUSTMENTS SHALL BE MADE AT NO EXTRA COST.
6. FOR MINIMUM PIPE SIZE CONNECTIONS TO EACH PLUMBING FIXTURE SEE PLUMBING FIXTURE SCHEDULE. THESE VALUES ARE MINIMUM; LARGER CONNECTIONS MAY RESULT BASED ON THE DIFFERENT MANUFACTURER'S RECOMMENDATIONS.
7. MANUFACTURER'S NAMES AND MODEL NUMBERS SHOWN FOR PLUMBING FIXTURES AND EQUIPMENT ARE FOR REFERENCE ONLY. OTHER MANUFACTURERS WHICH CAN MEET THE DESIGN REQUIREMENTS OF THE PLUMBING SYSTEM MAY BE SUBSTITUTED UPON APPROVAL FROM THE ARCHITECT AND THE OWNER.
8. PROVIDE DIELECTRIC FITTINGS FOR DISSIMILAR METALS IN CONTACT.
9. PROVIDE HANGERS AND SUPPORTS FOR PIPING IN ACCORDANCE WITH THE RECOMMENDATIONS OF MSS SP-69-2003.
10. PROVIDE VALVES AT THE FOLLOWING LOCATIONS:
A. WATER MAIN SHUT-OFF VALVE IN VALVE BOX.
B. VALVE WITH HOSE CONNECTION ON DOWNSTREAM SIDE OF THE MAIN SHUT-OFF VALVE.
C. SHUT-OFF VALVE ON EACH SUPPLY TO EACH FIXTURE AND EQUIPMENT ITEM NOT PROVIDED WITH CONTROL STOP OR OTHER AUXILIARY SHUT-OFF VALVE. INSTALL SHUT-OFF VALVES SO THAT STEMS EITHER ARE VERTICAL WITH HANDWHEELS OR OPERATORS ON TOP OR ARE HORIZONTAL AND SO THAT VALVES ARE EASILY ACCESSIBLE FOR OPERATION, SERVICE, REMOVAL AND REPLACEMENT.
11. PROVIDE SLEEVES FOR ALL PIPE AND TUBING PASSING THROUGH FLOORS, ROOFS, AND WALLS. PACK CAULK INTO THE SPACE AROUND THE PIPE OR TUBING. PROVIDE FLASHING FOR ALL PIPES EXTENDING THROUGH THE ROOF.
12. ALL VENT TERMINATIONS AT ROOF SHALL BE AT LEAST 10 FEET AWAY FROM OUTSIDE AIR INTAKES, OPERABLE WINDOWS, AND BUILDING OPENINGS.
13. FILL CRACKS BETWEEN FIXTURES AND WALL/FLOORS WITH SILICONE RUBBER SEALANT.
14. LOCATE, SIZE, AND INSTALL WATER HAMMER ARRESTERS IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD NO. WH-201.
15. INSTALL FIXTURES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES. SECURE FLOOR OUTLET OF FLOOR-MOUNTED FIXTURES TO DRAINAGE CONNECTIONS AND FLOOR IN A RIGID MANNER. RIGIDLY SUPPORT WALL-HUNG FIXTURES BY MEANS OF METAL SUPPORTING MEMBERS. USE CHROMIUM-PLATED BRASS BOLTS, NUTS, AND WASHERS WHERE EXPOSED. ALL CONNECTIONS SHALL BE MADE GAS-TIGHT AND WATER-TIGHT. USE OF PUTTY AND PLASTICS FOR GASKETS WILL NOT BE PERMITTED.
16. PROVIDE ALL FIXTURE COMPONENTS AS INDICATED ON DRAWINGS. PROVIDE ADDITIONAL COMPONENTS AS PER MANUFACTURER'S RECOMMENDATIONS FOR PROPER OPERATION OF THE FIXTURES.
17. PROVIDE EACH PLUMBING FIXTURE (INCLUDING HOSE BIBBS) WITH AN INDIVIDUAL STOP OR COMPRESSION VALVE OF POLISHED CHROME-PLATED LOOSE KEY TYPE.
18. WHERE DEPTHS OR INVERTS ELEVATIONS ARE NOT INDICATED, PROVIDE MINIMUM COVERAGE (ABOVE TOP OF PIPES) AS FOLLOWS:
A. ANY PIPING UNDER SLAB (TOP OF PIPE TO UNDERSIDE OF SLAB): 18 INCHES.
B. CAST IRON AND COPPER PIPES IN OTHER LOCATIONS: 18 INCHES.
C. EXCAVATE TO UNDISTURBED EARTH: CUT LEVEL AND FORM TRUE. REMOVE DEBRIS, RUBBISH AND SOFT MATERIAL (SUCH AS MUD). WHERE ROCK IS ENCOUNTERED, UNDERCUT TRENCHES 6-INCHES AND FILL WITH WELL TAMPED NEUTRAL SAND AND PEA GRAVEL TO PROPER PIPE ELEVATION. DURING EXCAVATION FREE OF STANDING WATER. UNDERCUT TRENCH 6-INCHES AND INSTALL PIPING IN A 6-INCH NEUTRAL SAND ENVELOPE.
19. BACKFILL TO A POINT 12-INCHES ABOVE TOP OF PIPING WITH EARTH (EXCAVATED MATERIAL MAY BE USED) FREE OF CLAY, DEBRIS, RUBBISH, ROCKS, OR CLODS OVER 4-INCHES IN THE GREATEST DIMENSION. BACKFILL ABOVE 12-INCHES FROM TOP OF PIPING MAY BE WITH EXCAVATED MATERIAL. APPLY BACKFILL BY HAND IN 6-INCH DEEP LAYERS THE FULL WIDTH OF THE TRENCH. MOISTEN EACH LAYER (DO NOT FLOOD OR PUDDLE), AND HAND TAMP TO A MINIMUM 90 PERCENT COMPACTION BEFORE PROCEEDING WITH THE NEXT LAYER OF BACKFILL.
20. DO NOT EXCAVATE UNDER FOUNDATIONS OR FOOTINGS EXCEPT IN MANNER PERMITTED BY THE ARCHITECT. DO NOT BACKFILL UNTIL INSTALLED PIPING HAS BEEN SUCCESSFULLY TESTED.
21. VERIFICATION OF WATER AGENCY APPROVAL SHALL BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION PRIOR TO ISSUANCE OF A PLUMBING PERMIT FOR THIS PROJECT.
22. ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES SHALL BE PACKED WITH APPROVED FIRE PROOFING. FOR LOCATIONS OF FIRE RATED ASSEMBLIES, SEE ARCHITECTURAL PLANS.
23. ROUTE ALL PIPES AS HIGH AS POSSIBLE IN EXPOSED LOCATIONS. COORDINATE ROUTING WITH ALL OTHER TRADES PRIOR TO START OF WORK.
24. NO SPRAY FOAM INSULATION SHALL BE APPLIED TO AREAS CONTAINING PEX PIPING.

PLUMBING MANDATORY MEASURES

- 1. ALL PLUMBING SYSTEM COMPONENTS SHALL MEET OR EXCEED THE REQUIREMENTS OF CURRENT CBC, CAC, CEC, MEC, NFPA, ASTM, ANSI, AND ALL LOCAL AND STATE CODE REQUIREMENTS. (SEE BELOW)
2. ALL PLUMBING EQUIPMENT LISTED IN OF THE 2019 CALIFORNIA CODE OF REGULATIONS (CCR), TITLE-24, PART 6, SECTION 110.3 ENERGY EFFICIENCY STANDARDS MUST BE CERTIFIED BY THE MANUFACTURER TO MEET OR EXCEED SPECIFICATIONS OR EFFICIENCIES ADOPTED BY THE CEC.
3. ALL HEATERS FOR DOMESTIC HOT WATER MUST BE CERTIFIED BY THE MANUFACTURER TO MEET THE SPECIFICATIONS OR EFFICIENCIES AS ADOPTED BY THE CEC IN ACCORDANCE WITH THE 2019 CALIFORNIA CODE OF REGULATIONS (CCR), TITLE-24, PART 6, SECTION 110.3 RESIDENTIAL NON-RESIDENTIAL.
4. ALL GAS APPLIANCES MUST HAVE PILOTLESS IGNITION SYSTEM IN ACCORDANCE WITH SECTION 110.5 OF THE 2019 CALIFORNIA CODE OF REGULATIONS, TITLE-24, PART 6, ENERGY EFFICIENCY STANDARDS, TABLE 4-4.
5. ALL INSULATING MATERIALS INSTALLED MUST BE CERTIFIED BY CALIFORNIA ENERGY COMMISSION TO MEET 2019 CALIFORNIA CODE OF REGULATIONS, TITLE-24, PART 6, ENERGY EFFICIENCY STANDARDS, SECTION 120.3 AND TABLE 4-15.
6. ALL INSULATION INSTALLED SHALL MEET THE FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF 2019 CBC, PART 1, SECTION 720 AND 2019 CMC SECTION 602.2.
7. ALL PIPING EXPOSED TO WEATHER SHALL BE METALLIC.
8. ALL FERROUS PIPING EXPOSED TO WEATHER SHALL BE GALVANIZED AND PAINTED.
9. ALL PIPES, FITTINGS AND FIXTURES USED TO CONVEY POTABLE WATER SHALL BE LEAD FREE IN COMPLIANCE WITH CPC SECTION 604.2.
10. ALL FIXTURES REQUIRED TO BE ACCESSIBLE SHALL BE INSTALLED AS PER THE LATEST REQUIREMENTS OF TITLE 24 AND ADA (AMERICANS WITH DISABILITIES ACT).
11. CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT (OTHER THAN THOSE LISTED IN INFORMATION BULLETIN 103).
12. A WATER HEATER PRESSURE AND TEMPERATURE RELIEF DRAIN THAT TERMINATES OUTSIDE THE BUILDING SHALL COMPLY WITH CPC SECTION 608.5.
13. WATER HEATER SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION PER CPC SECTION 507.2.
14. WATER HEATER SHALL COMPLY WITH CPC SECTION 608.3, FOR THERMAL EXPANSION REQUIREMENTS.
15. LAVATORY FAUCETS IN PUBLIC RESTROOM SHALL BE SELF CLOSING TYPE.
16. TUB AND SHOWER COMBINATIONS SHALL BE PROVIDED WITH MIXING VALVES PER CPC SECTION 408.3.
17. SHOWERHEADS SHALL BE 1.8 GPM AT 80PSI.
18. NONRESIDENTIAL LAVATORY FAUCETS SHALL BE 0.4 GPM MAXIMUM.
19. KITCHEN FAUCETS AND WASH FOUNTAINS SHALL BE 1.8 GPM MAXIMUM.
20. METERING FAUCETS SHALL BE 0.2 GPC MAXIMUM.
21. WATER CLOSETS (GRAVITY TANK TYPE, FLUSHOMETER TANK, FLUSHOMETER VALVE AND ELECTROMECHANICAL HYDRAULIC TYPE) SHALL BE 1.28 GPF MAXIMUM.
22. FLOOR-MOUNT URINALS SHALL BE 0.5 GPF MAXIMUM. WALL-MOUNT URINALS SHALL BE 0.125 GPF MAXIMUM.
23. ALL INSTALLATION OF PEX PIPE INSTALLED IN NEW CONSTRUCTION SHALL BE FLUSHED TWICE OVER A PERIOD OF AT LEAST ONE WEEK PER CPC SECTION 604.1.2. PEX.
1) AT THE TIME OF FILL, EACH NEW PLUMBING FIXTURE SHALL HAVE A REMOVABLE TAG APPLIED STATING:
a. THIS NEW PLUMBING SYSTEM SHALL BE FIRST FILLED AND FLUSHED ON (DATE) BY (NAME). THE STATE OF CALIFORNIA REQUIRES THAT THE SYSTEM BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE ABOVE, IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO USE FOR HUMAN CONSUMPTION. THE TAG MAY NOT BE REMOVED PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY BUILDING OWNER OR OCCUPANT.
2) PRIOR TO ISSUING A BUILDING PERMIT TO INSTALL PEX PIPE, THE BUILDING OFFICIAL SHALL REQUIRE AS PART OF THE PERMITTING PROCESS THAT THE CONTRACTOR; OR THE APPROPRIATE PLUMBING SUBCONTRACTORS, PROVIDE WRITTEN CERTIFICATION THAT HE OR SHE WILL COMPLY WITH THE FLUSHING PROCEDURES SET FORTH BY CODE.
3) THE BUILDING OFFICIAL SHALL NOT GIVE FINAL PERMIT APPROVAL FOR ANY PEX PLUMBING INSTALLATION UNLESS HE OR SHE FINDS THAT THE MATERIAL HAS BEEN INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CODE, INCLUDING THE REQUIREMENTS TO FLUSH AND TAG THE SYSTEMS.
4) ANY CONTRACTOR OR SUBCONTRACTOR FOUND TO HAVE FAILED TO COMPLY WITH THE PEX FLUSHING REQUIREMENTS SHALL BE SUBJECT TO THE PENALTIES IN HEALTH AND SAFETY CODE, DIVISION 13, PART 1.5, CHAPTER 6 (SECTION 17995, et seq.).

APPLICABLE CODES

- 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR PART 1, TITLE 24
• 2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PARTS 1 & 2
• 2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3 (BASED ON THE 2017 EDITION NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS)
• 2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4, TITLE 24 CCR (BASED ON THE 2018 EDITION NATIONAL MECHANICAL CODE WITH CALIFORNIA AMENDMENTS)
• 2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5, (BASED ON THE 2018 EDITION UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS)
• 2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6, AND ASSOCIATED ADMINISTRATIVE REGULATION IN PART 1
• 2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9 (BASED ON THE 2018 EDITION INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS)
• 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10, (BASED ON THE 2018 EDITION INTERNATIONAL EXISTING BUILDING CODE WITH CALIFORNIA AMENDMENTS)
• 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11
• 2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12
• TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
• 2016 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS

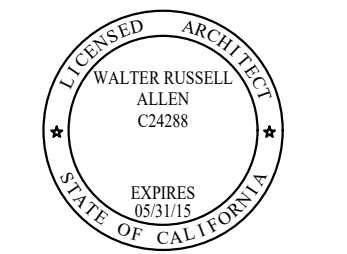


Table with 2 columns: Field (Designed, Drawn By, Checked, Date) and Value (SO, SO, SO, 11/12/22).

MIRAMONTE KITCHEN

Table with 2 columns: Sym., Value (various symbols).

Table with 2 columns: Revisions, Value (various symbols).

Table with 2 columns: Job Number, Value (2207).

Table with 2 columns: Drawing Number, Value (p001).

SALASO'BRIEN logo with contact information: 3220 EXECUTIVE RIDGE SUITE 210 VISTA, CA 92081 TEL: (760) 560-0100 #22089 01-17-23 www.salasobrien.com E-Mail admin@tseng.com



p001

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MANDATORY CALGREEN CHECKLIST

Table with 2 columns: Description and Mandatory status. Includes sections for Water Efficiency and Conservation, Excess Consumption, Water Reduction, Wastewater Reduction, and Plumbing Fixtures and Fittings.

WATER REDUCTION FIXTURE FLOW RATES

Table with 2 columns: Fixture Type and Maximum Flow Rate. Lists Kitchen Faucets, Wash Fountains, Metering Faucets, and Metering Faucets for Wash Fountains.

WATER CONSERVATION FIXTURE FLOW RATES

Table with 2 columns: Fixture Type and Maximum Baseline Flow Rate. Lists Water Closets, Urinals, and Showerheads.

PLUMBING FIXTURES AND FIXTURE FITTINGS

Table with 2 columns: Fixture Type and Required Standards. Lists Water Closets (Toilets) - Flushometer Valve Type, Water Closets (Toilets) - Flushometer Tank-Type, Urinals, Public Lavatory Faucets, and Public Metering Self-Closing Faucets.

PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN TABLE 5.303.6.

PLUMBING PIPE MATERIAL SCHEDULE

Table with 4 columns: Service, Location, Pipe Material, and Slope. Details requirements for Water, Sewer and Vent, LPG Gas, and Condensate pipes.

PIPE INSULATION THICKNESS

Table with multiple columns: Fluid Operating Temperature Range, Insulation Conductivity, Mean Rating Temperature, and Nominal Pipe Diameter. Provides minimum pipe insulation required for space heating, cooling, and refrigerant systems.

WATER CALCULATIONS

Table with multiple columns: Domestic Cold Water Pressure Calculation, Domestic Cold Water Sizing, and Domestic Hot Water Sizing. Includes formulas and tables for pipe sizing based on friction loss.

FIXTURE DATA

Table with 8 columns: Symbol, Description, No. of Units, F.U. per Unit, Domestic Water Total Fixture Units, Sewer F.U. per Unit, and Total Fixture Units. Lists items like Hose Bibb, Hand Sink, Kitchen Sink, etc.

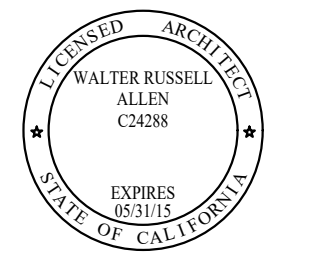
PLUMBING EQUIPMENT SCHEDULE

Table with 6 columns: Tag, Equipment, Location, Manufacturer, Model, and Remarks. Lists items like Trap Primer and Reduced Pressure Zone Assemblies.

PLUMBING FIXTURE SCHEDULE

Table with 6 columns: Symbol, Fixture, Min. Pipe Size (CW, HW, V, S), and Remarks. Lists items like 3 Comp Sink, Hand Sink, Mop Sink, Floor Drain, Floor Sink, Mixing Valve, and Hose Bib.

Salasobrien logo and contact information: 3220 EXECUTIVE RIDGE SUITE 210, VISTA, CA 92081. Includes website and email address.



Designed: SO, Drawn By: SO, Checked: SO, Date: 11/12/22

MIRAMONTE KITCHEN

3340 RANCHO CALIFORNIA ROAD, TEMECULA, CA 92591

Table with 2 columns: Sym. and Revisions. Includes a grid for tracking design changes.

Job Number: 2207

Drawing Number

p002

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ADJACENT USE:
EXISTING WINERY

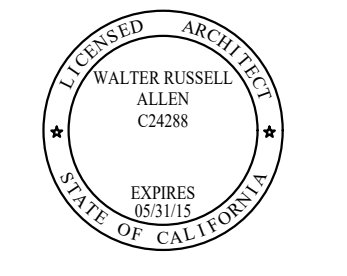
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL PIPING AND UTILITIES PRIOR TO START OF WORK. IN THE EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL PIPING LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNER'S REPRESENTATIVE AND VERIFY EXACT ROUTING PRIOR TO START OF WORK.
- C. VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS TO MECHANICAL EQUIPMENT PRIOR TO START OF WORK. IN NO CASE SHALL THE CONNECTION SIZE BE LARGER THAN THE BRANCH PIPING SIZE.
- D. RETAIL SPACES SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE, AND HEATING VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN FUTURE TENANT IMPROVEMENT.

KEY NOTES

- 1 PROPOSED LOCATION OF (N) LPG TANK. PROVIDE FIRST STAGE REGULATOR (SPG RANGE 8-12 PSI), AND SECOND STAGE REGULATOR (SPG RANGE 9-13 PSI) AS REQUIRED. VERIFY SIZE AND REQUIREMENT WITH LPG GAS COMPANY.
- 2 2" LPG PIPING BELOW GRADE.

Old Town Temecula
rqtex
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 993-0301



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date	Job Number
				2207

Drawing Number

p101

EXISTING & PROPOSED STRUCTURE

EXIST. RESTROOMS

EXIST. ADJACENT RESIDENCE GARAGE (82' SETBACK)

ADJACENT ZONING: C/V
ADJACENT USE:
PRIVATE RESIDENCE

1 p201 1 p202

ADJ. PROPERTY LINE, TYP.

PROPERTY LINE 493.58'

DENOTES LINE OF 50' SETBACK

PARCEL 1: APN: 943-110-007
AREA: 266,848.5 S.F.
SEE "LANDSCAPE" PLANS FOR VINEYARD PLANTING AREA

PROPERTY LINE 801.54'

PROPERTY LINE 523.67'

1 PLUMBING SITE PLAN

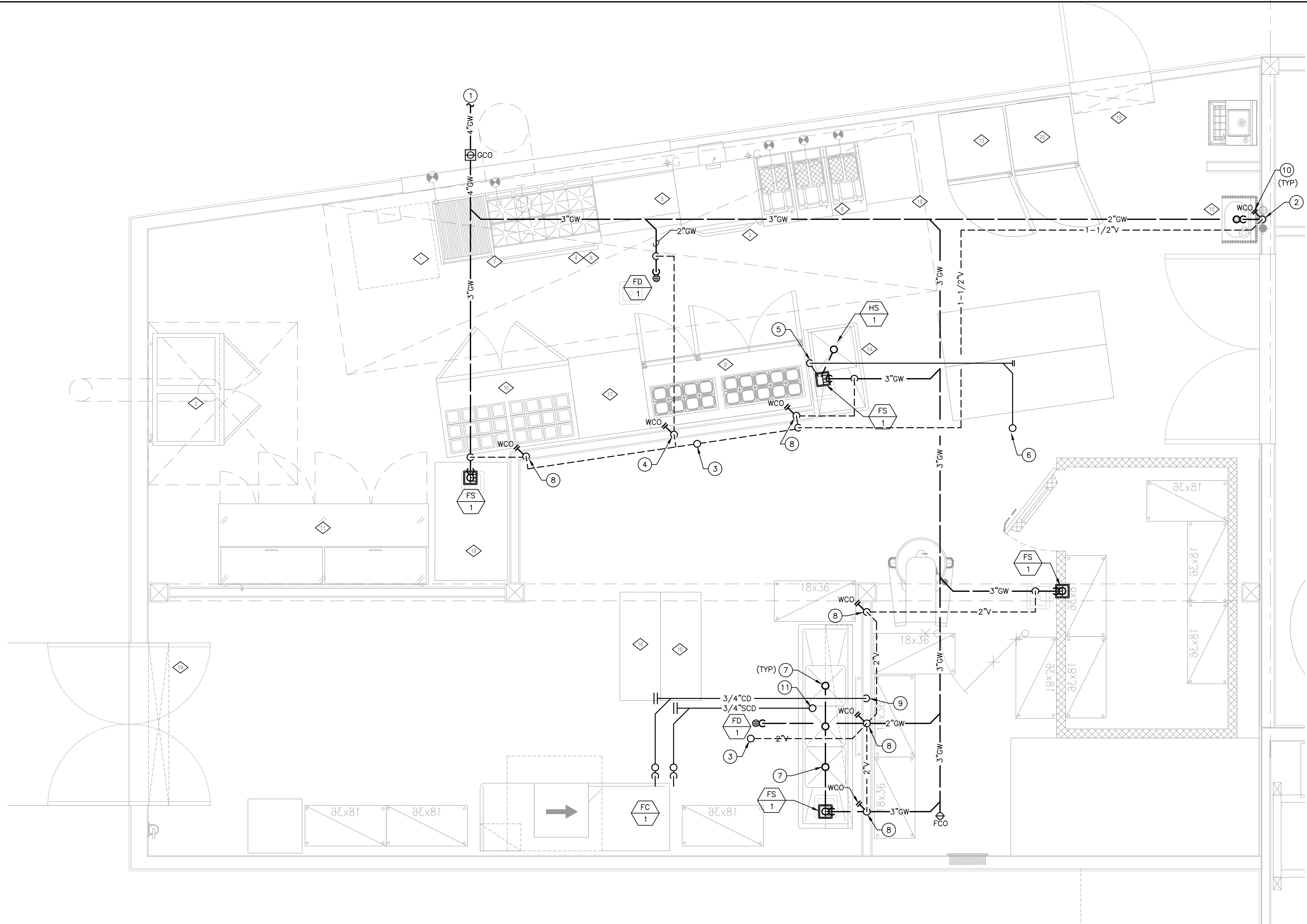
SCALE: 1"=30'-0"

SALASOBRIEN
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GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL PIPING AND UTILITIES PRIOR TO START OF WORK. IN THE EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL PIPING LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNER'S REPRESENTATIVE AND VERIFY EXACT ROUTING PRIOR TO START OF WORK.
- C. VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS TO MECHANICAL EQUIPMENT PRIOR TO START OF WORK. IN NO CASE SHALL THE CONNECTION SIZE BE LARGER THAN THE BRANCH PIPING SIZE.
- D. RETAIL SPACES SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE, AND HEATING VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN FUTURE TENANT IMPROVEMENT.

KEY NOTES

- ① 4" GREASE WASTE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- ② 2" SEWER DOWN AND 1-1/2" VENT UP.
- ③ 3" VENT THRU ROOF.
- ④ 2" VENT DOWN TO BELOW FLOOR.
- ⑤ 1-1/2" CONDENSATE DRAIN DOWN IN WALL AND SPILL TO FLOOR SINK.
- ⑥ 1-1/2" CONDENSATE DRAIN UP TO HVAC ROOF TOP UNIT. CONTRACTOR TO COORDINATE ROUTING OF PIPING IN FIELD.
- ⑦ INDIRECT WASTE FROM SINK TO FLOOR SINK.
- ⑧ 2" VENT DOWN TO BELOW FLOOR.
- ⑨ 3/4" CONDENSATE DRAIN DOWN IN WALL AND SPILL TO FLOOR SINK.
- ⑩ WALL CLEANOUT. SEE DETAIL 2/p501.
- ⑪ SECONDARY CONDENSATE DRAIN TO TERMINATE JUST BELOW CEILING. SEE DETAIL 8/p501.

ITEM NO.	QUANTITY	DESCRIPTION:
◇	1	DOUBLE DECK INFRARED BROILER
◇	1	DOUBLE DECK CONVECTION OVEN
◇	1	DOUBLE DECK PIZZA OVEN
◇	1	8 BURNER W/ CONVECTION OVENS
◇	1	6 BURNER/FLAT TOP COMBO W/CONVECTION OVEN
◇	3	GAS FLOOR FRYER
◇	1	24" CHAR BROILER
◇	2	SALAMANDER BROILER
◇	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
◇	1	60" SANDWICH/PREP TABLE W 2 DOORS
◇	1	93" PIZZA PREP TABLE W 3 DOORS
◇	1	36" 2 DRAWER CHEF BASE
◇	1	REACH-IN FRIDGE
◇	1	ONE COMPARTMENT SINK W/DRAIN BOARD
◇	1	HAND SINK WITH TOWEL DISPENSER
◇		SHELVING
◇	1	STEAM TABLE
◇	1	SIDE TABLE
◇	2	FLY FAN/AIR CURTAIN
◇	1	REACH-IN FREEZER

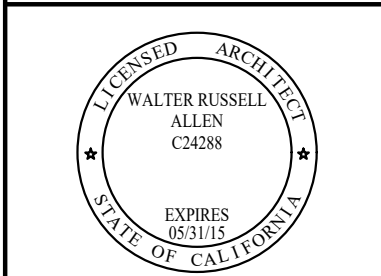
1 PLUMBING FLOOR PLAN - SEWER & VENT AND CONDENSATE DRAIN PIPING

SCALE: 1/2"=1'-0"

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 E-Mail admin@tsqeng.com



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 Temecula, CA 92590
 (951) 993-0301



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

Permit Number:

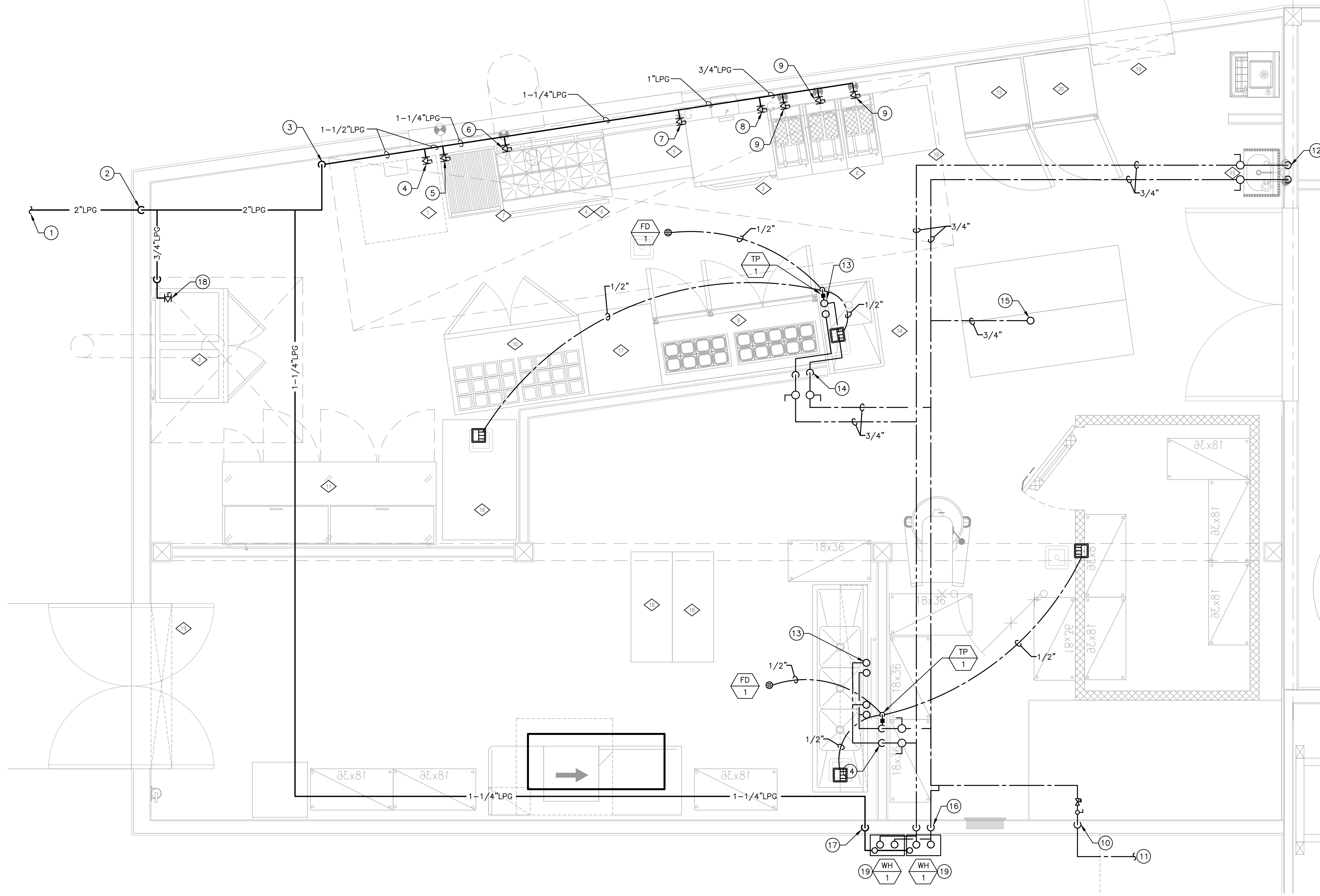
Revisions	Sym.	By	Date

Job Number: 2207

Drawing Number

p201

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GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL PIPING AND UTILITIES PRIOR TO START OF WORK. IN THE EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL PIPING LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNER'S REPRESENTATIVE AND VERIFY EXACT ROUTING PRIOR TO START OF WORK.
- C. VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS TO MECHANICAL EQUIPMENT PRIOR TO START OF WORK. IN NO CASE SHALL THE CONNECTION SIZE BE LARGER THAN THE BRANCH PIPING SIZE.
- D. RETAIL SPACES SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE, AND HEATING VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN FUTURE TENANT IMPROVEMENT.

KEY NOTES

- 1 LPG PIPING BELOW GRADE TO LPG TANK. REFER TO PLUMBING DRAWING p101 FOR CONTINUATION.
- 2 2" LPG DOWN TO BELOW GRADE AND UP TO ABOVE CEILING.
- 3 1-1/2" LPG PIPING DOWN FROM CEILING TO ABOVE FINISHED FLOOR.
- 4 3/4" LPG TO BROILER 192,000 BTU.
- 5 3/4" LPG TO BROILER 60,000 BTU.
- 6 3/4" LPG TO RANGE 294,000 BTU, AND SALAMANDER BROILER 35,000 BTU.
- 7 3/4" LPG TO BROILER 60,000 BTU.
- 8 3/4" LPG TO CONVECTION OVEN 140,000 BTU.
- 9 3/4" LPG TO FRYER 38,000 BTU EACH. OF (3).
- 10 1" CW DOWN TO BELOW GRADE.
- 11 1" CW REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 12 3/4" HOT AND COLD WATER DOWN TO FIXTURE.
- 13 3/4" COLD AND HOT WATER UP FROM BELOW SINK.
- 14 3/4" COLD AND HOT WATER DOWN TO BELOW SINK.
- 15 3/4" COLD WATER UP TO HVAC ROOF TOP UNIT. CONTRACTOR TO FIELD COORDINATE PIPE ROUTING.
- 16 3/4" HOT & COLD WATER DOWN AND CONNECT TO WATER HEATERS.
- 17 1-1/4" LPG DOWN AND CONNECT TO WATER HEATERS.
- 18 3/4" LPG TO PIZZA OVEN 140,000 BTU.
- 19 TANKLESS WATER HEATERS ON EXTERIOR WALL. SEE DETAIL 7/p501.

ITEM NO.	QUANTITY	DESCRIPTION:
1	1	DOUBLE DECK INFRARED BROILER
1	1	DOUBLE DECK CONVECTION OVEN
1	1	DOUBLE DECK PIZZA OVEN
1	1	8 BURNER W/ CONVECTION OVENS
1	1	6 BURNER/FLAT TOP COMBO W/CONVECTION OVEN
3	3	GAS FLOOR FRYER
1	1	24" CHAR BROILER
2	2	SALAMANDER BROILER
1	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
1	1	60" SANDWICH/PREP TABLE W/ 2 DOORS
1	1	93" PIZZA PREP TABLE W/ 3 DOORS
1	1	36" 2 DRAWER CHEF BASE
1	1	REACH-IN FRIDGE
1	1	ONE COMPARTMENT SINK W/DRAIN BOARD
1	1	HAND SINK WITH TOWEL DISPENSER
		SHELVING
1	1	STEAM TABLE
1	1	SIDE TABLE
2	2	FLY FAN/AIR CURTAIN
1	1	REACH-IN FREEZER

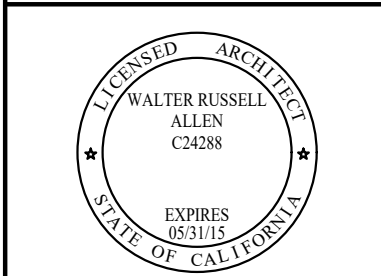
1 PLUMBING FLOOR PLAN - DOMESTIC WATER AND GAS PIPING

SCALE: 1/2"=1'-0"

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Designed SO
Drawn By SO
Checked SO
Date 11/12/22

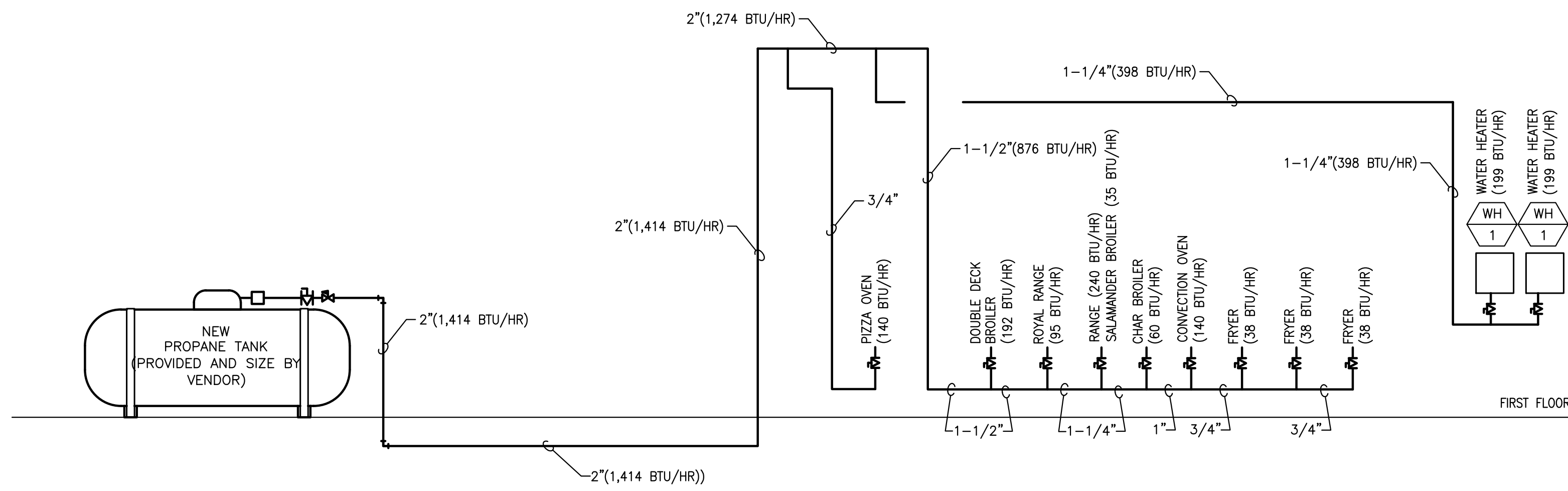
MIRAMONTE KITCHEN

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TEMECULA, CA 92591

Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	p202

Permit Number:
p202

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1 PLUMBING LPG (PROPANE) RISER DIAGRAM

SCALE: NONE

LPG GAS CHART						
BASED ON TABLE 1215.2(27) 2019 CPC SCHEDULE 40 METALLIC PIPE				GAS LPG		
				INLET PRESSURE	14" IN W.C	
TOTAL DEVELOPED LENGTH: 123 FEET				PRESSURE DROP	0.5 IN W.C.	
				SPECIFIC GRAVITY	1.5	
PIPE SIZE						
NOMINAL	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"
LENGTH (FT)	CAPACITY IN CUBIC FEET OF GAS PER HOUR (CFH)					
	125	89	185	349	716	1070
						2070

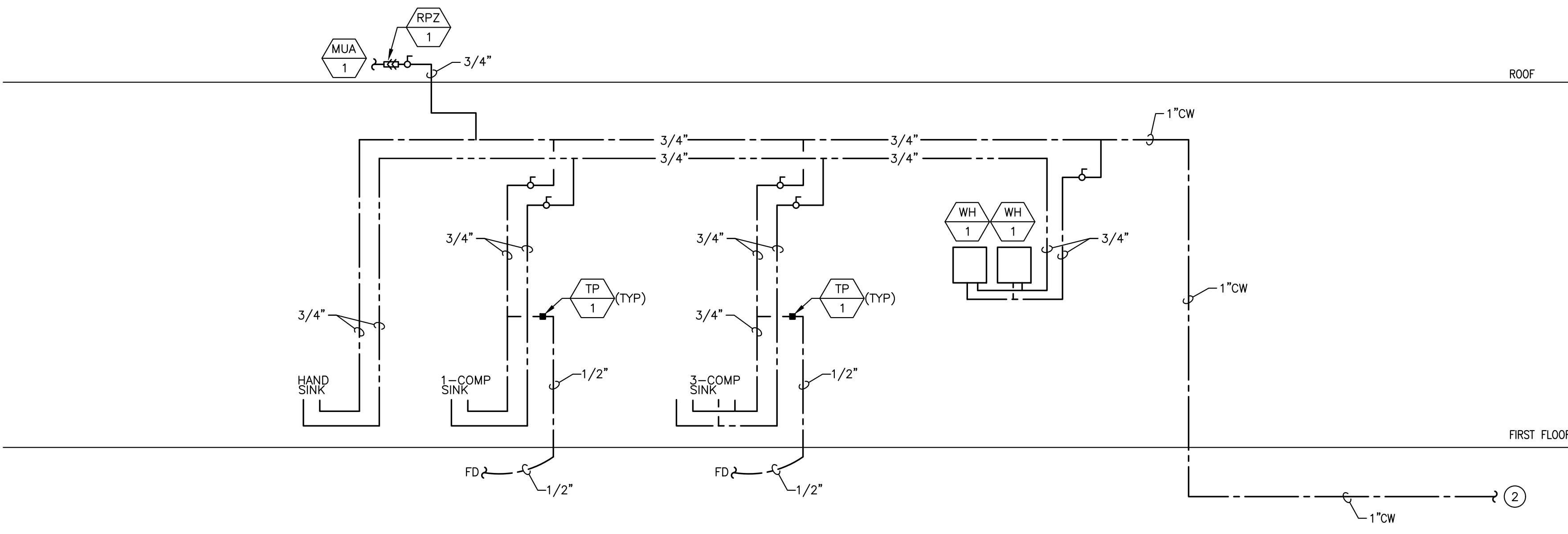
1. GAS PIPE BRANCH SIZE TO EQUIPMENT SHALL NEVER BE SMALLER THAN CONNECTION SIZES TO EQUIPMENT. IN CASE OF A DISCREPANCY, PROVIDE THE LARGER SIZE PIPE.
2. SEE DETAIL 6/PS.1 FOR GAS CONNECTION.
3. CONTRACTOR SHALL FIELD VERIFY EXACT LENGTH, GAS LOAD REQUIREMENTS AND EQUIPMENT CONNECTION SIZES PRIOR TO START OF WORK. IN CASE OF ANY DISCREPANCIES OR POTENTIAL CONFLICT, NOTIFY ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.

GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF ALL PIPING AND UTILITIES PRIOR TO START OF WORK. IN THE EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL PIPING LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNER'S REPRESENTATIVE AND VERIFY EXACT ROUTING PRIOR TO START OF WORK.
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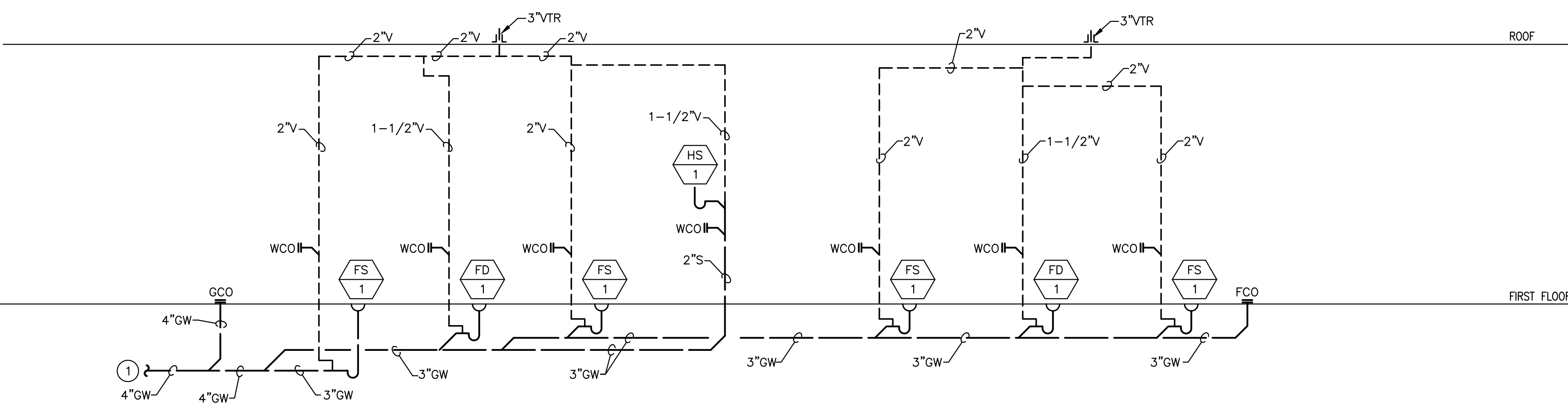
KEY NOTES

- ① 4" GREASE WASTE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- ② DOMESTIC COLD WATER. REFER TO CIVIL DRAWINGS FOR CONTINUATION.



2 PLUMBING DOMESTIC WATER RISER DIAGRAM

SCALE: NONE



1 PLUMBING RISER DIAGRAM

SCALE: NONE

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REGISTERED ARCHITECT
WALTER RUSSELL ALLEN
C3438
EXPIRES 06/30/24
STATE OF CALIFORNIA

Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

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Permit Number:

Sym.	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20
Revisions																				
By																				
Date																				
Job Number:	2207																			
Drawing Number																				

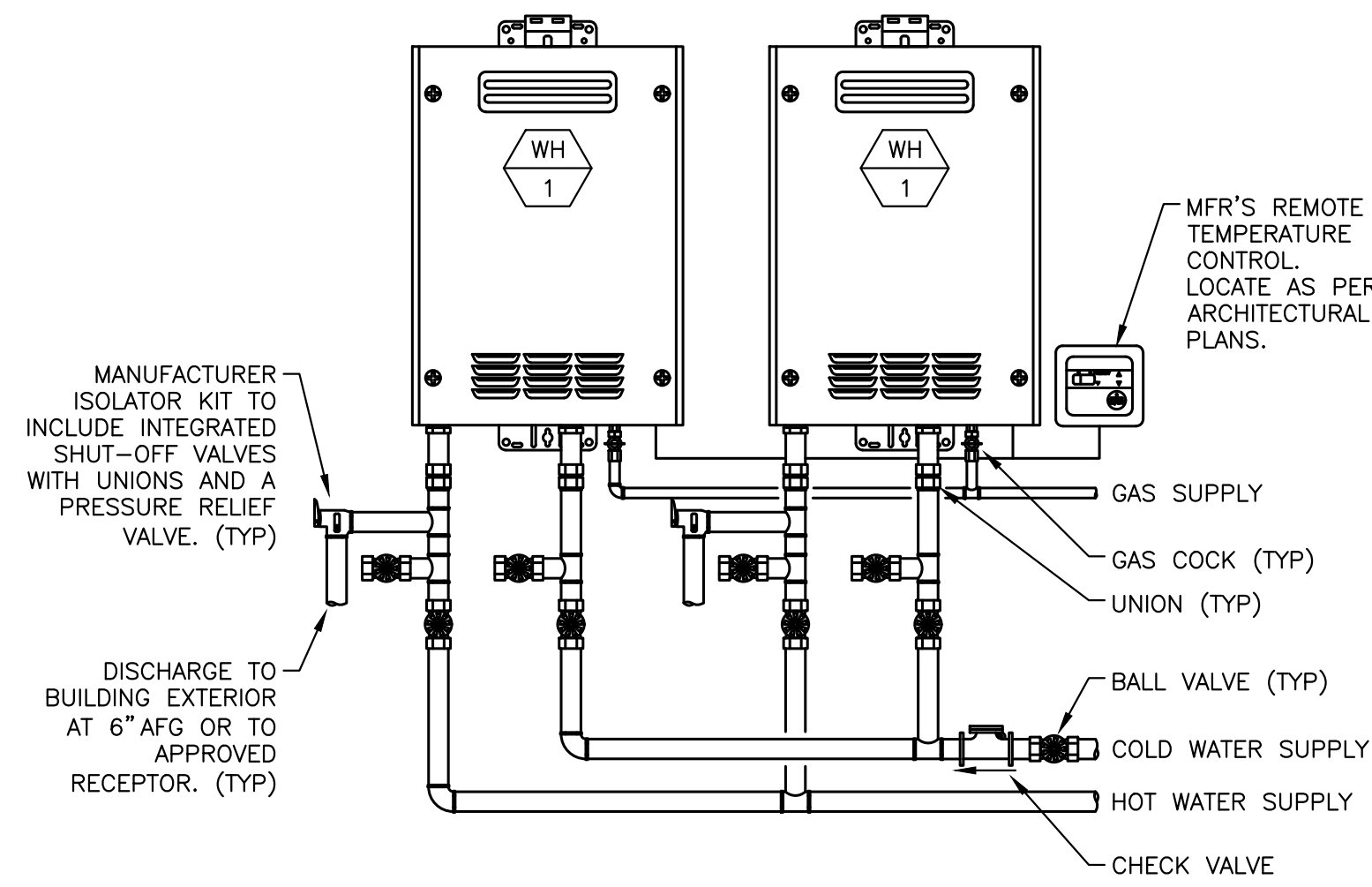
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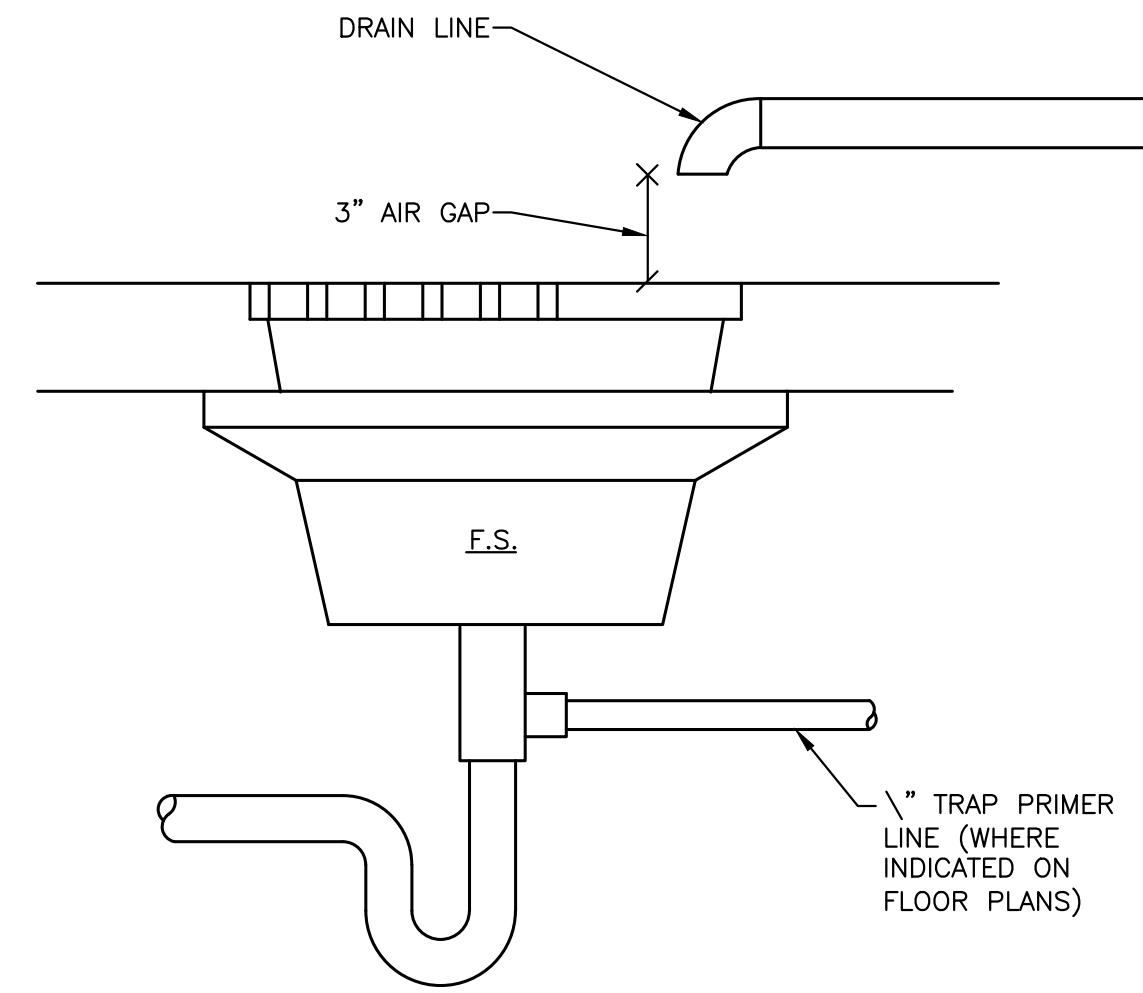
p401

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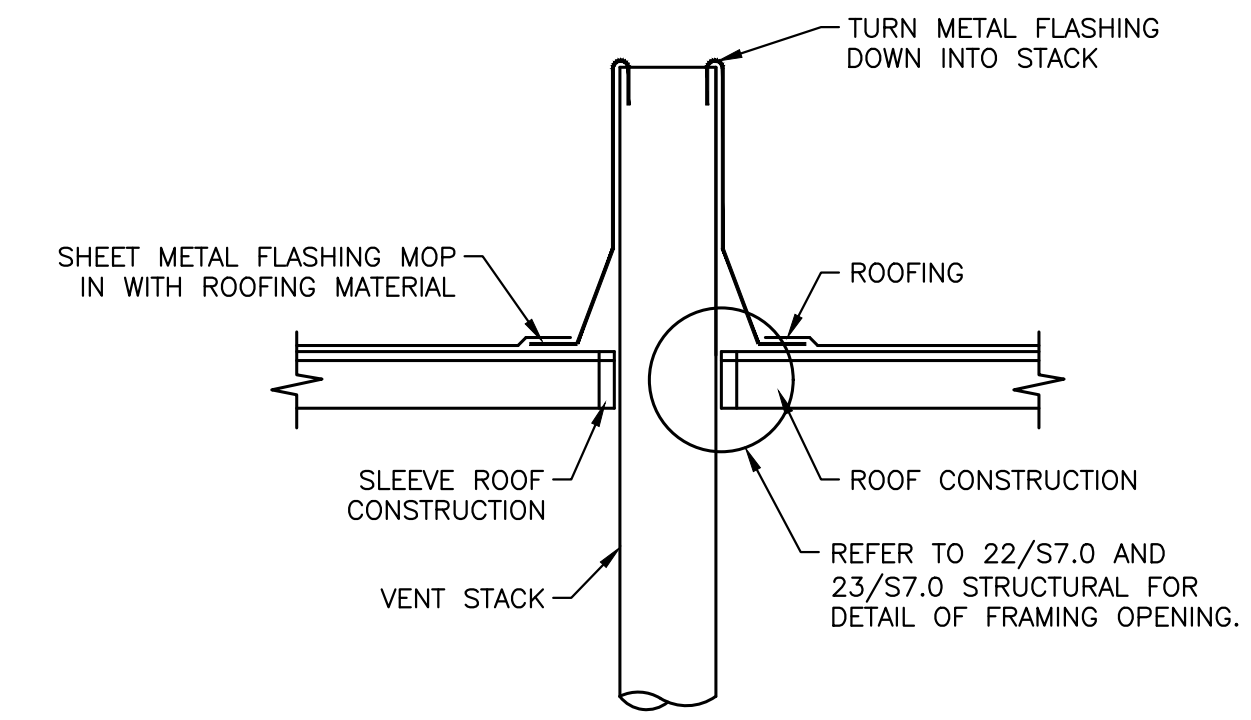
DOUBLE TANKLESS HOT WATER DETAIL

SCALE NONE 7



AIR GAP FITTING DETAIL

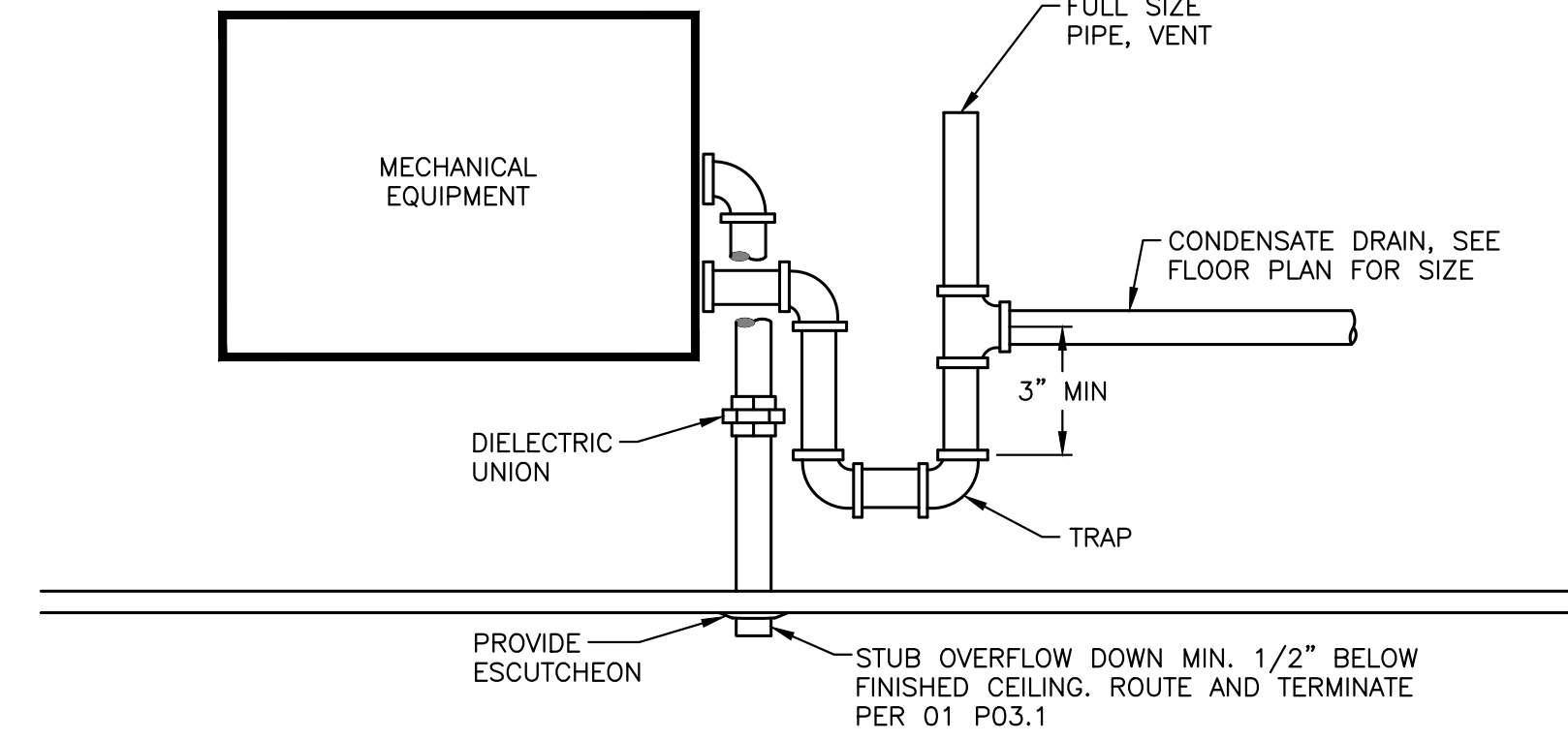
SCALE NONE 4



NOTE: EXTEND VENT PIPING A MINIMUM OF 6" ABOVE ROOFING.

VENT THRU ROOF DETAIL

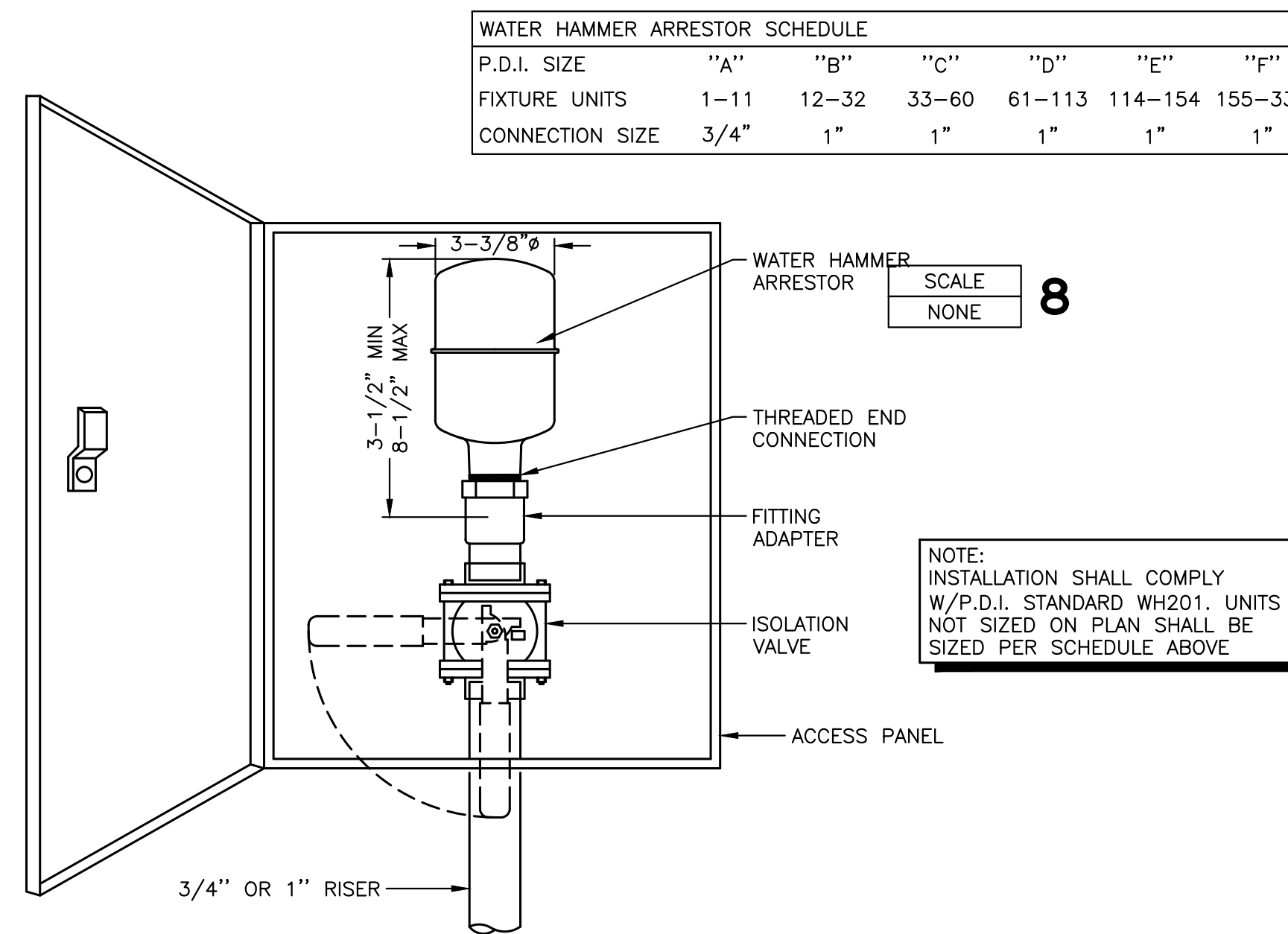
SCALE NONE 1



NOTE: CONTRACTOR SHALL VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS INTO MECHANICAL UNITS PRIOR TO START OF WORK. BRANCH PIPE SIZE SHALL NOT BE LESS THAN THE CONNECTION SIZE.

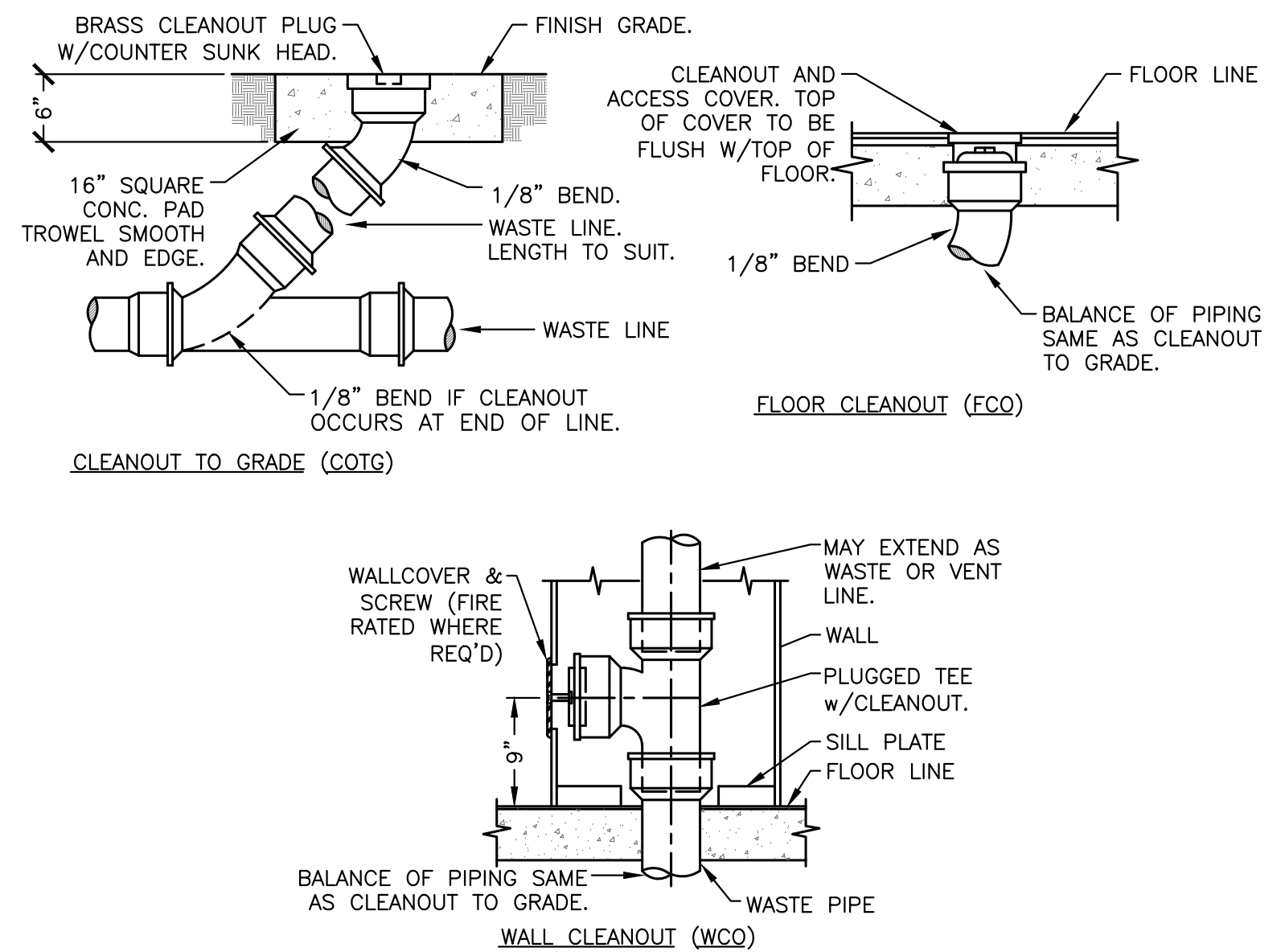
CONDENSATE DRAIN CONNECTION DETAIL

SCALE NONE 8



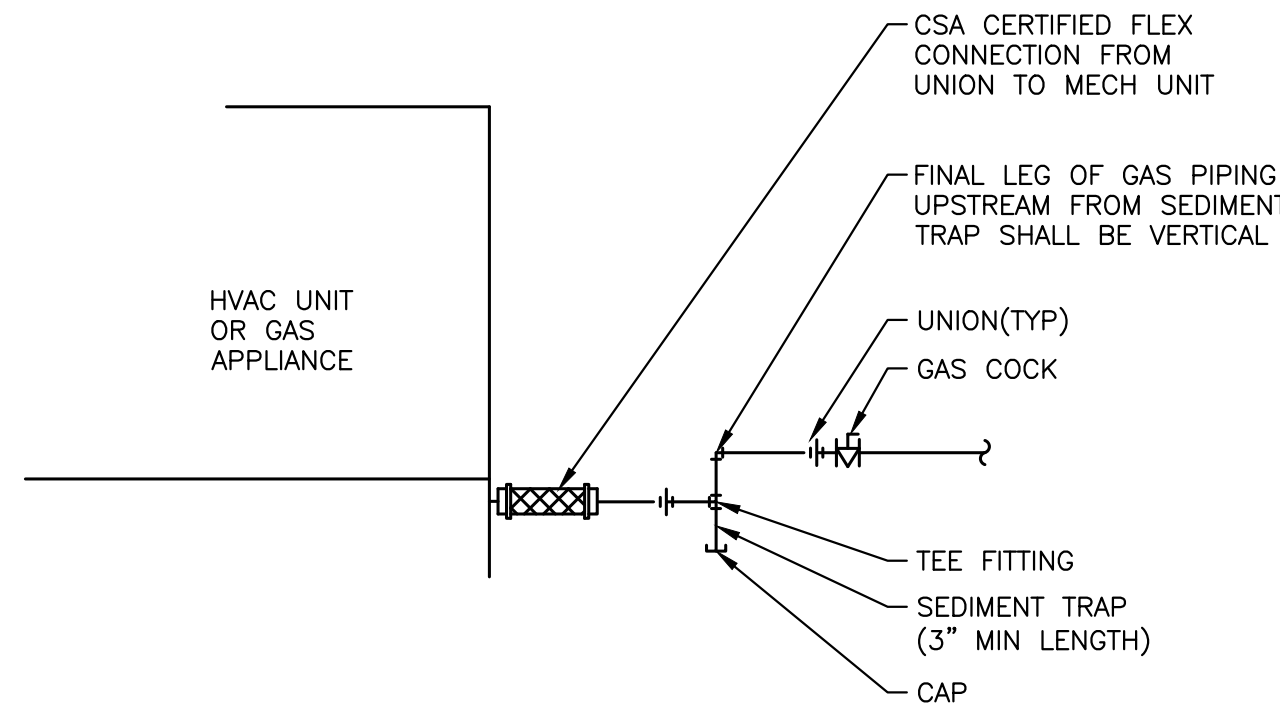
WATER HAMMER ARRESTOR DETAIL

SCALE NONE 5



CLEANOUT DETAILS

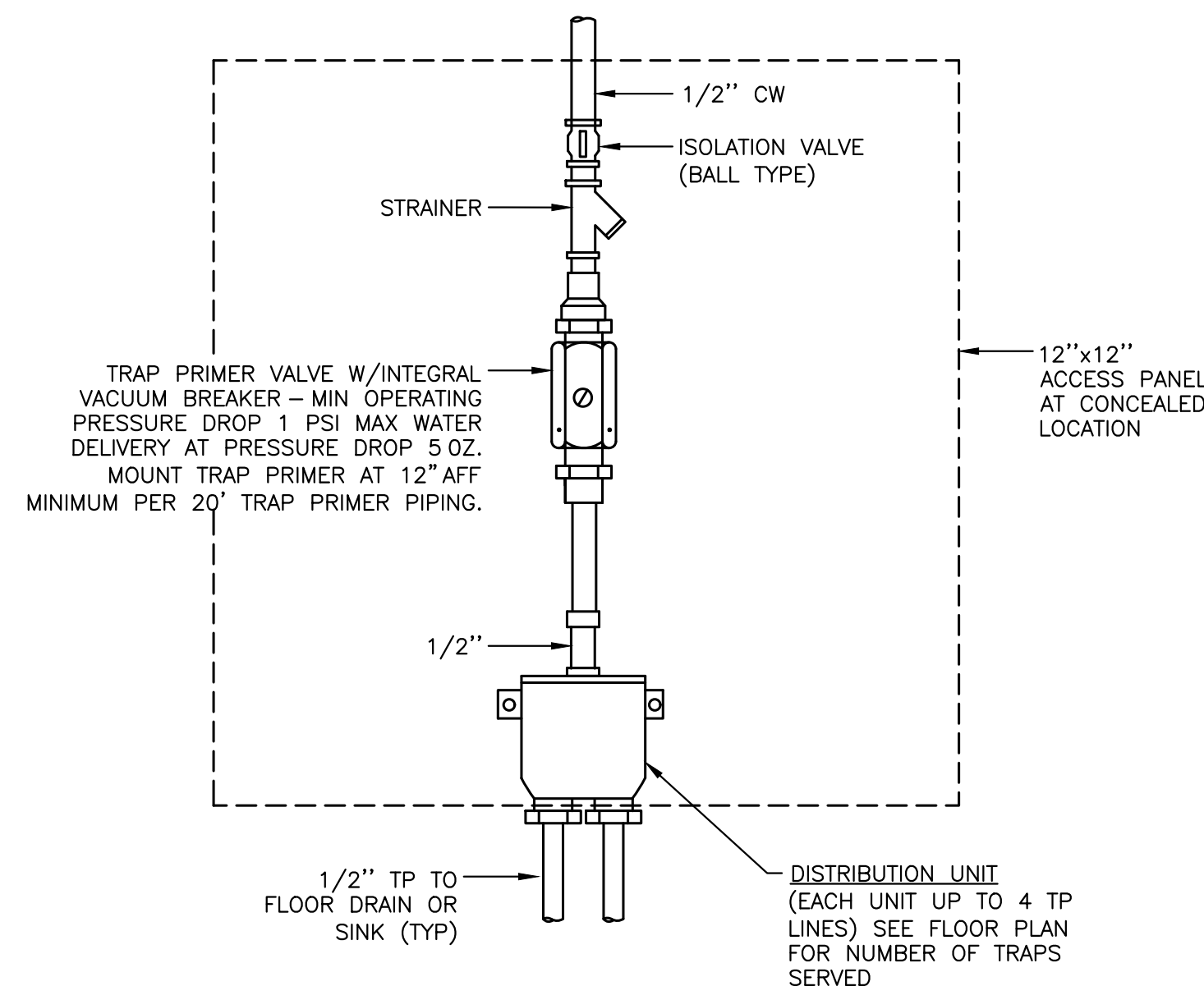
SCALE NONE 2



NOTE: SEDIMENT TRAP NOT REQUIRED FOR APPLIANCES WITH INTERNAL SEDIMENT TRAP, RANGES, CLOTHES DRYERS, FIREPLACES OR OUTDOOR GRILLES.

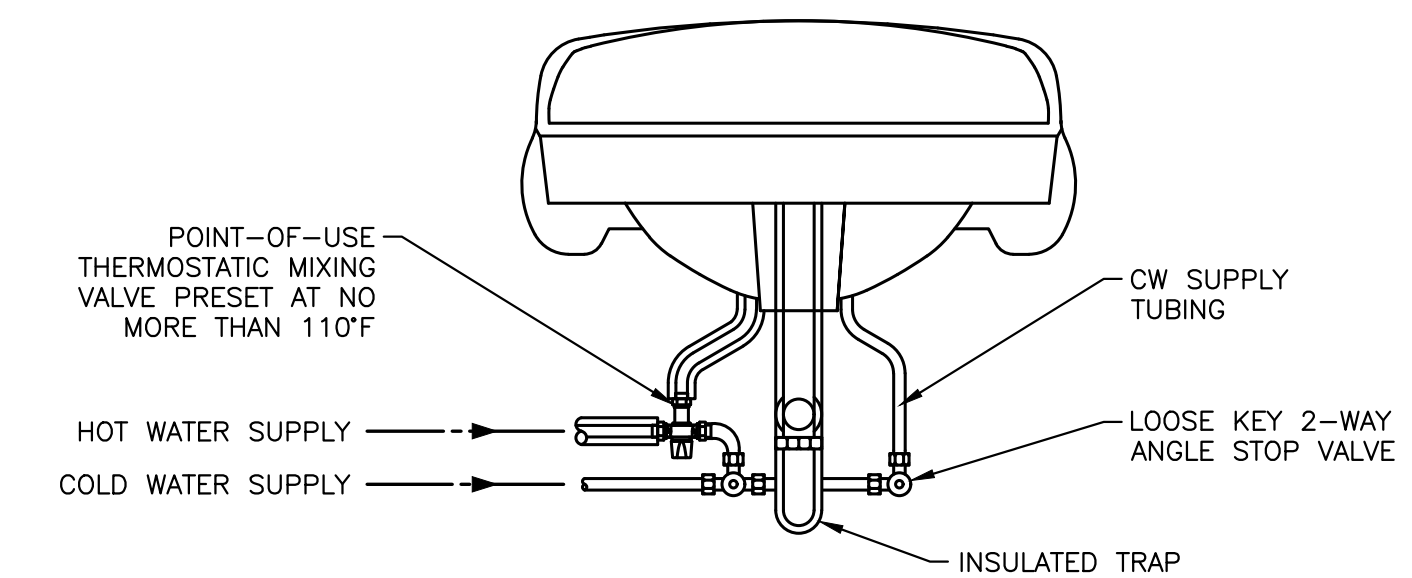
GAS CONNECTION DETAIL

SCALE NONE 9



TRAP PRIMER DETAIL

SCALE NONE 6



POINT-OF-USE TMV DETAIL

SCALE NONE 3

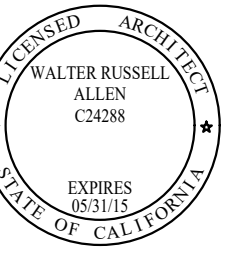
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Checked	SO
Date	11/12/22

Permit Number:

Sym.	Revisions	By	Date

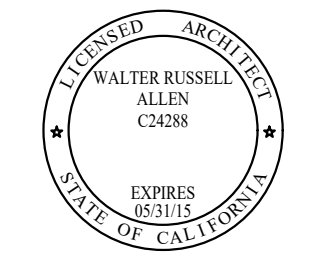
Job Number: 2207

Drawing Number

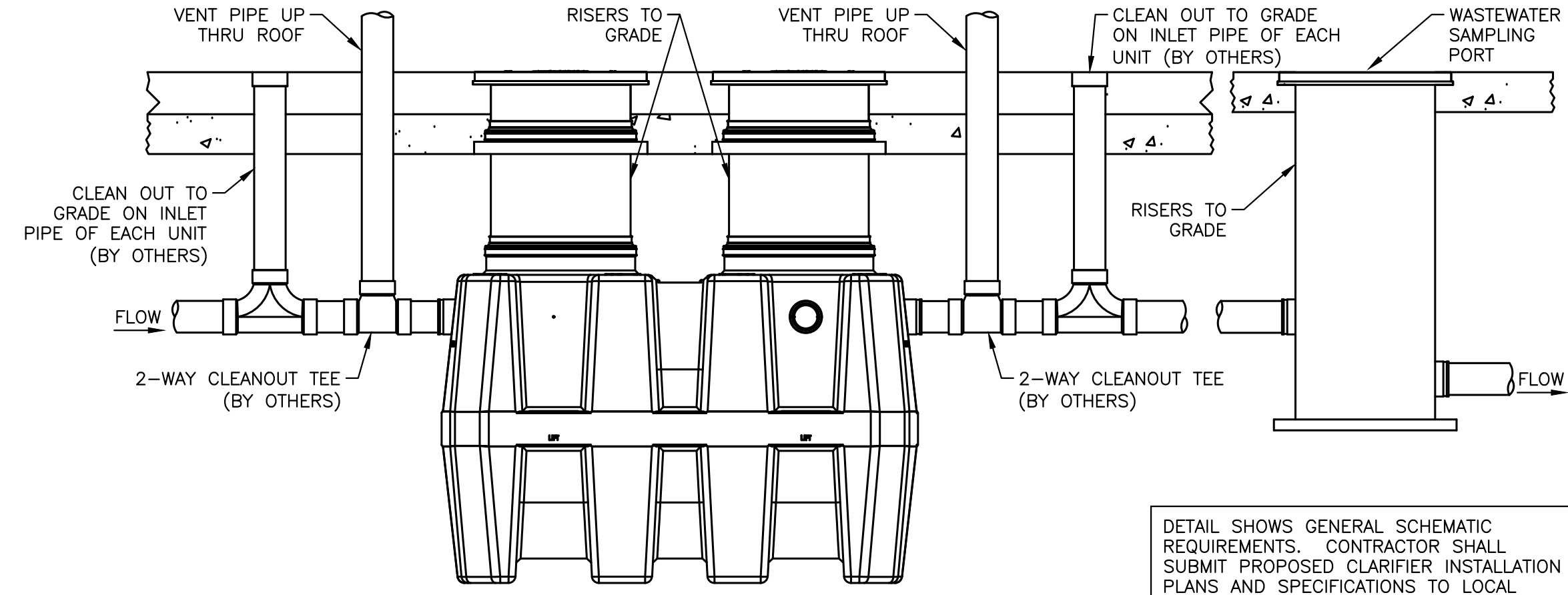
p501

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 (951) 993-0301



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22



DETAIL SHOWS GENERAL SCHEMATIC REQUIREMENTS. CONTRACTOR SHALL SUBMIT PROPOSED CLARIFIER INSTALLATION PLANS AND SPECIFICATIONS TO LOCAL AUTHORITIES FOR THEIR APPROVAL BEFORE ACQUISITION OF INTERCEPTOR. PROVIDE INTERCEPTOR WITH ADEQUATE STRUCTURAL STRENGTH TO ACCOMMODATE PEDESTRIAN TRAFFIC AT INSTALLATION LOCATION. PROVIDE TANK WITH MINIMUM 35 GALLON CAPACITY OR LARGER IF REQUIRED BY LOCAL AUTHORITIES – VERIFY.

NOT USED

SCALE	7
NONE	

GREASE INTERCEPTOR DETAIL

SCALE	1
NONE	

NOT USED

SCALE	8
NONE	

NOT USED

SCALE	5
NONE	

NOT USED

SCALE	2
NONE	

NOT USED

SCALE	9
NONE	

NOT USED

SCALE	6
NONE	

NOT USED

SCALE	3
NONE	

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Permit Number:

Date	By	Revisions	Sym.

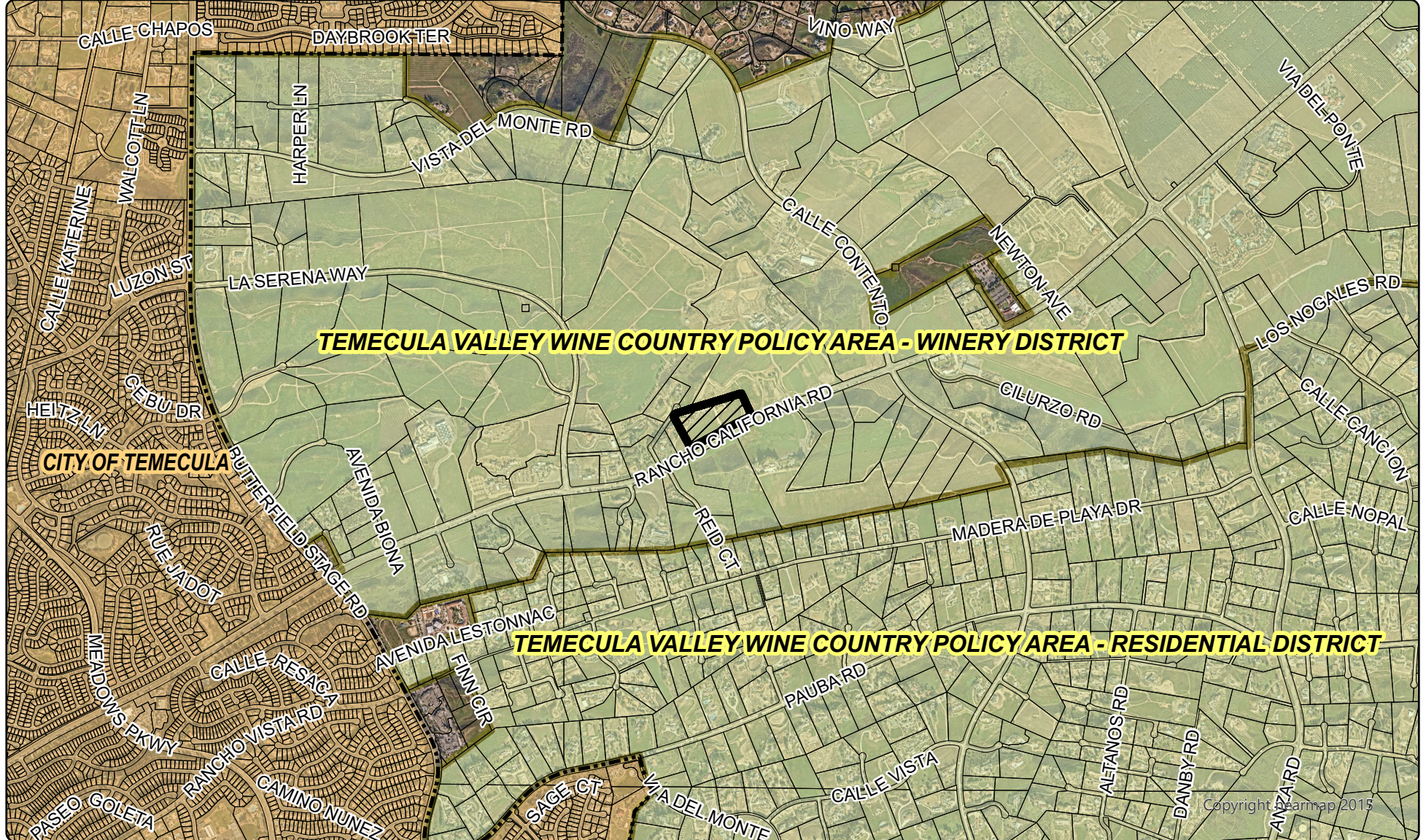
Job Number:	2207
Drawing Number	

p502

RIVERSIDE COUNTY PLANNING DEPARTMENT
CZ2300005 PP23819R01
VICINITY/POLICY AREAS

Supervisor: Washington
 District 3

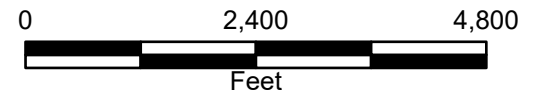
Date Drawn: 9/12/2023
 Vicinity Map



Zoning Area: Rancho California

Author: Adam Grim

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcfma.org>



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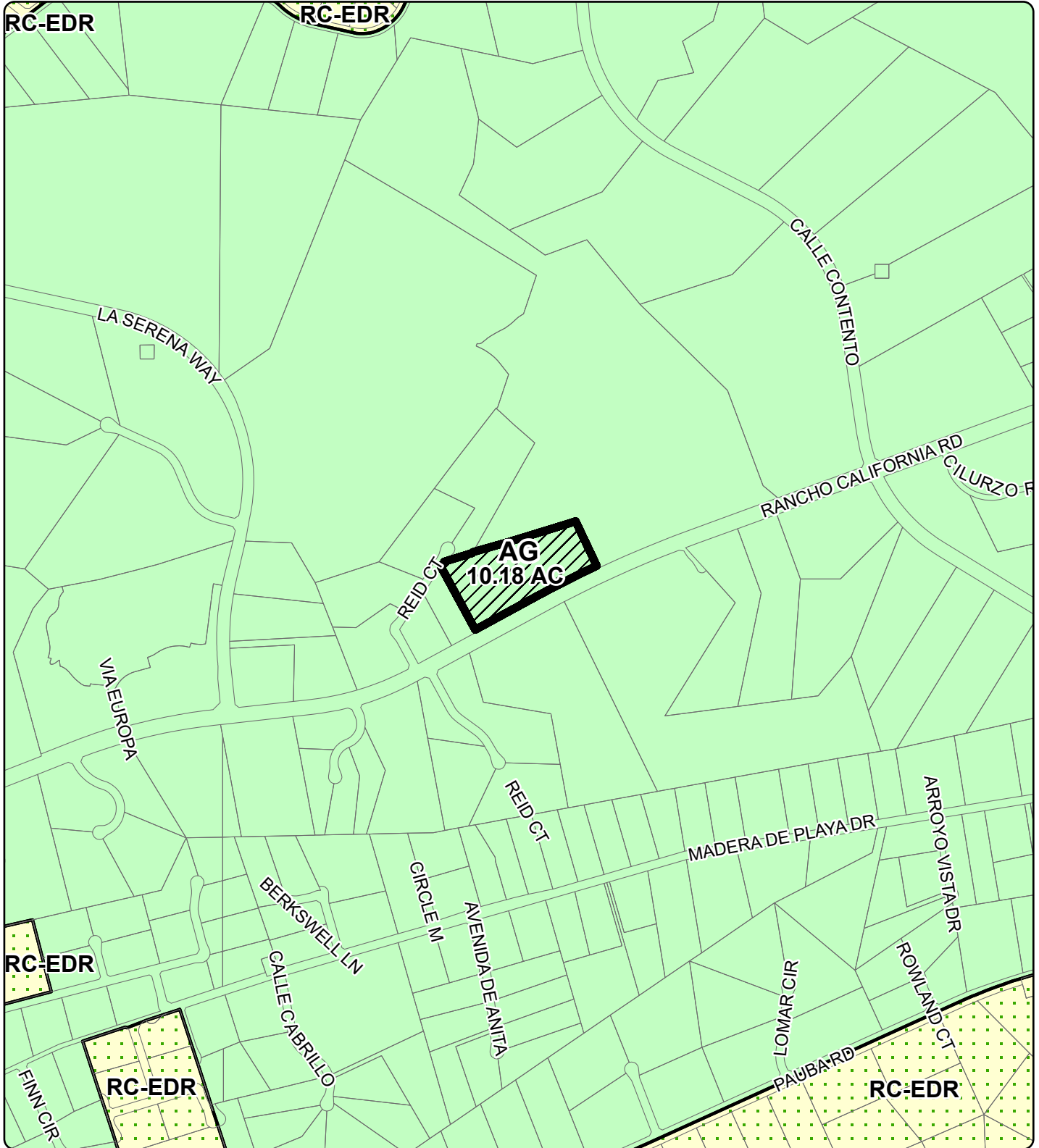
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ2300005 PP23819R01

EXISTING GENERAL PLAN

Supervisor: Washington
District 3

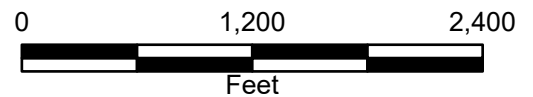
Date Drawn: 9/12/2023
Exhibit 5



Zoning Area: Rancho California

Author: Adam Grim

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RIVERSIDE COUNTY PLANNING DEPARTMENT

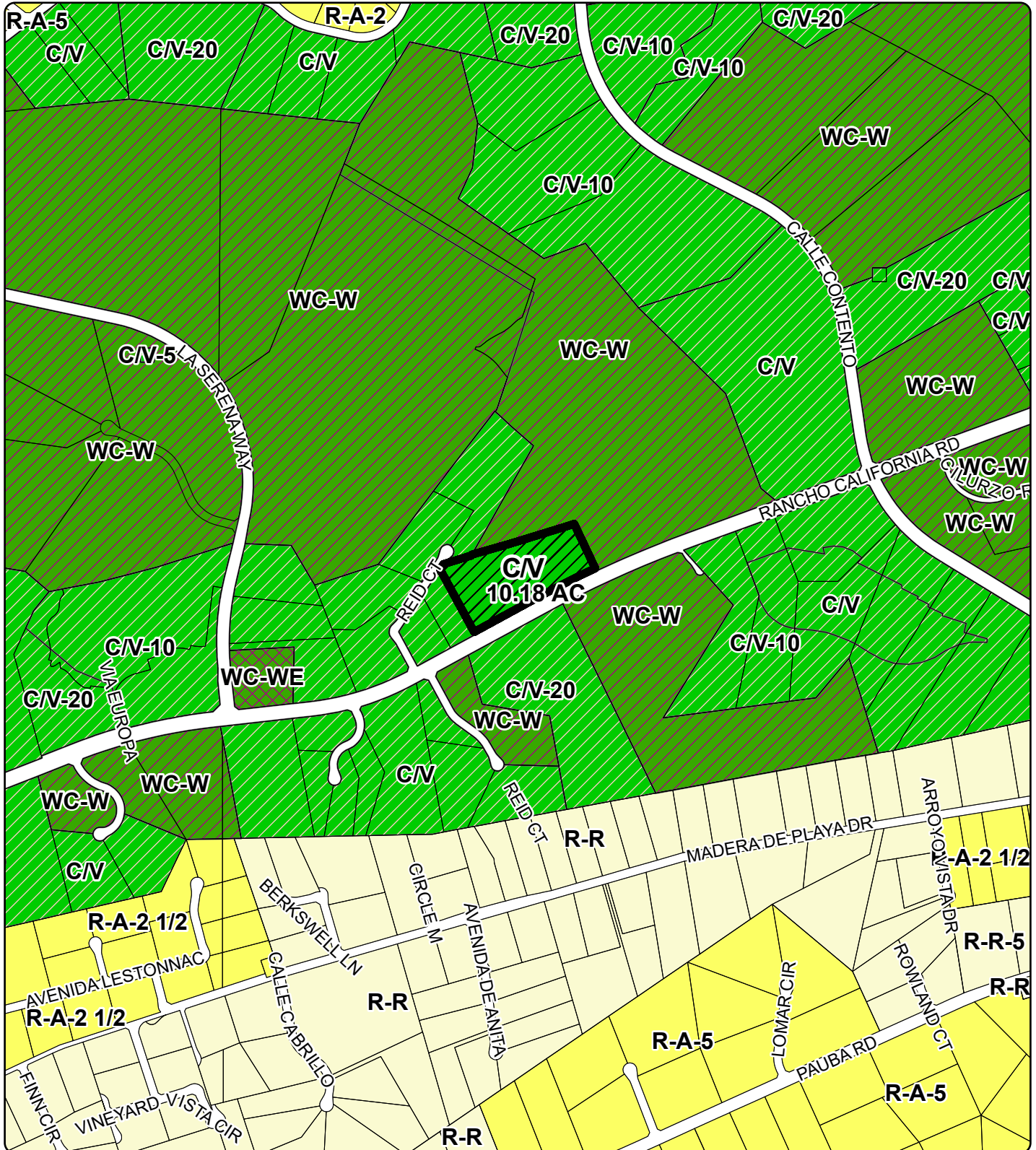
CZ2300005 PP23819R01

Supervisor: Washington
District 3

Date Drawn: 9/12/2023

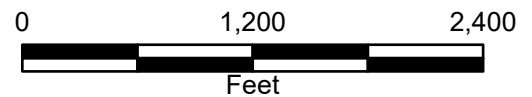
Exhibit 2

EXISTING ZONING



Zoning Area: Rancho California

Author: Adam Grim



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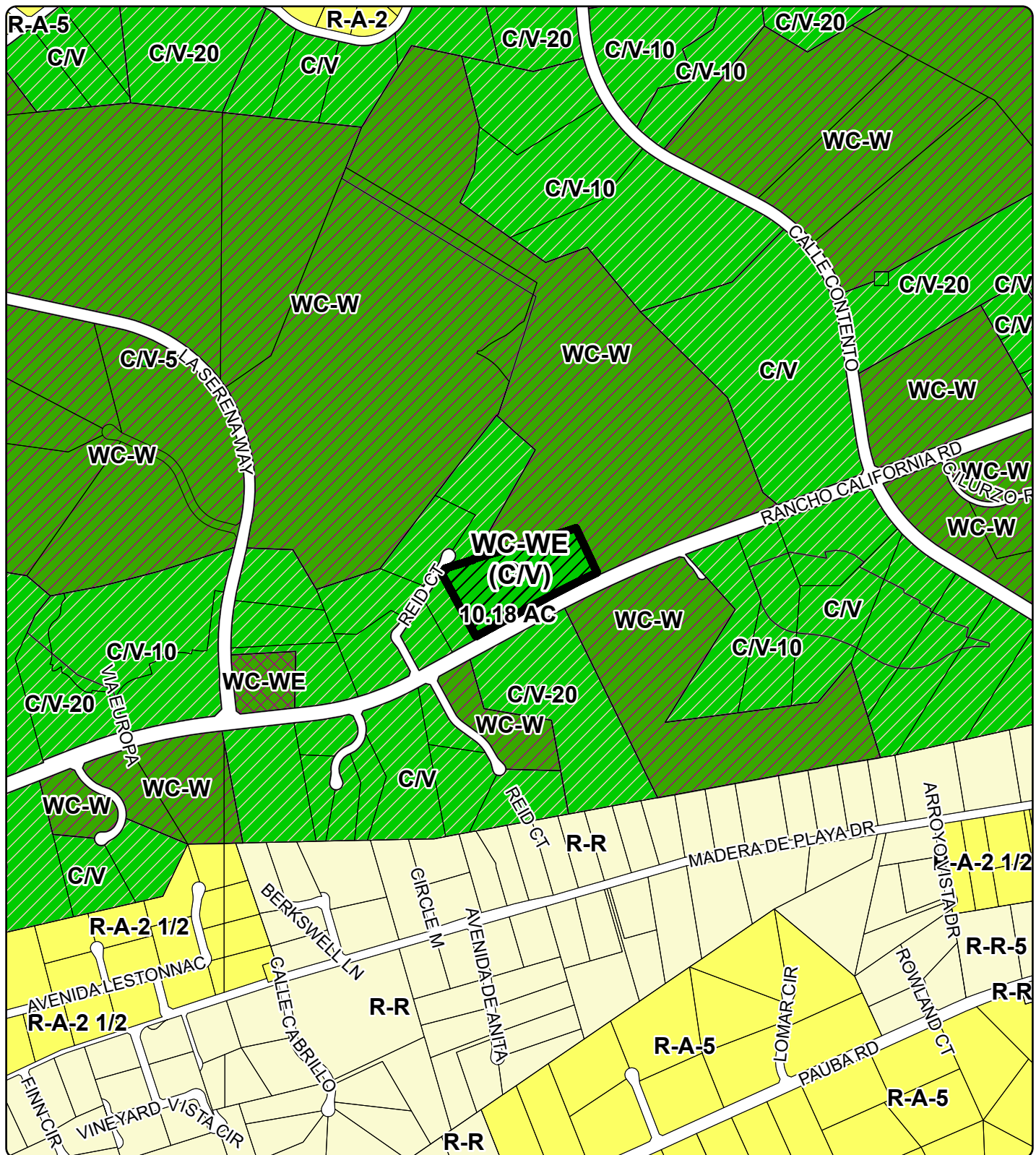
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ2300005 PP23819R01

PROPOSED ZONING

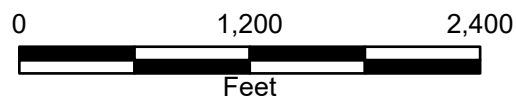
Supervisor: Perez
District 4

Date Drawn: 9/12/2023
Exhibit 3



Zoning District: Blythe

Author: Adam Grim



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RIVERSIDE COUNTY PLANNING DEPARTMENT

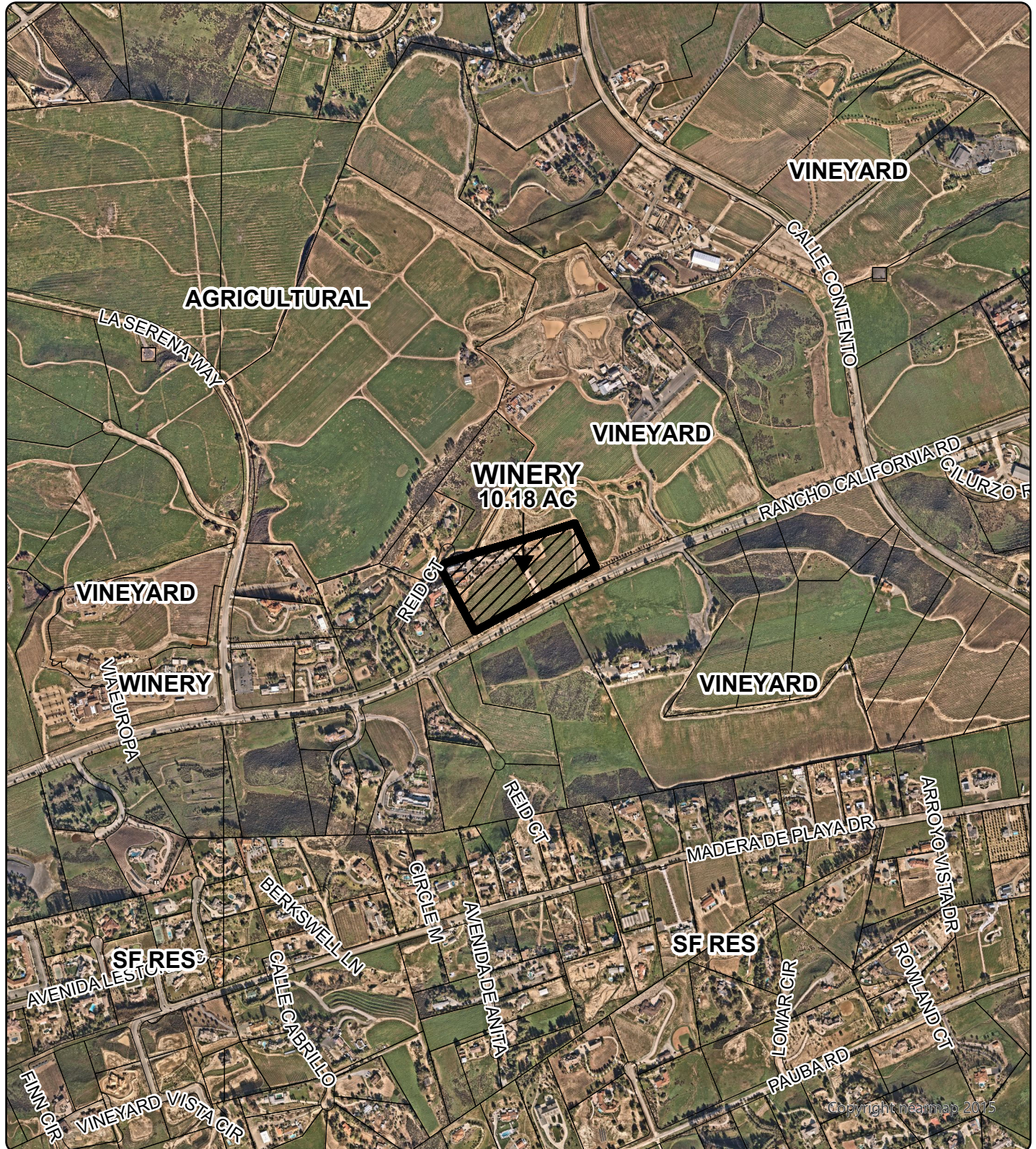
CZ2300005 PP23819R01

Supervisor: Washington
District 3

Date Drawn: 9/12/2023

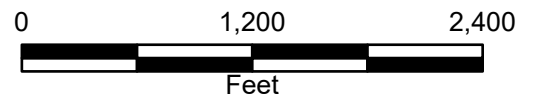
LAND USE

Exhibit 1



Zoning Area: Rancho California

Author: Adam Grim



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RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
TLMA Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409
 38686 El Cerrito Road
Palm Desert, CA 92201

Project Title/Case No.: PP23819R01/CZ2300005

Project Location: The Project is located within the Southwest Area Plan and is a part of the Temecula Valley Wine Country Policy Area – Winery District. The Project site is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road.

Project Description: Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Applicant & Address: Walt Allen Architects, c/o Chris Campbell, 28465 Old Town Front St., Unit: STE201, Temecula, CA, 92590

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
 Declared Emergency (Sec. 21080(b)(3); 15269(a))
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption (Section 15061(b)(3), Section 15301, and Section 15303)
 Statutory Exemption (_____)
 Other: _____



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
TLMA Director

Reasons why project is exempt: This proposed Project is exempt from California Environmental Quality Act (CEQA) pursuant to Article 5 - Preliminary Review of Projects and Conduct of Initial Study, Section 15061, which states: Once a lead agency has determined that an activity is a project subject to CEQA, a lead agency shall determine whether the project is exempt from CEQA. The Project is a minor modification to an existing, operational winery, and does not propose additional grading or construction in the Project scope.

The Project is exempt pursuant to Article 19, Section 15301 (Existing Facilities), which states: Class I consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use. The existing site has historically been utilized as a winery. The proposed alterations are interior modifications to an existing structure and would not significantly expand the capability of the site beyond what already exists. The Project, as proposed, does not seek to expand the existing structure, nor does it propose any significant construction or grading to the Project site. As such, the Project falls within the standards for Class I since the scope proposes only minor alterations to an existing winery that does not significantly expand the operations of the existing use. Thus, the Project is in compliance with the guidelines of Article 19, Section 15301 Class 1, Existing Facilities.

Furthermore, this Project is exempt pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). This section exempts construction and location of new, small facilities or structures; and the conversion of existing small structures for one use or another where only minor modifications are made to the exterior of the structure. The Project proposes minor interior modifications to the existing barrel storage room, as previously described, and does not propose the construction of any new structures. Therefore, the Project falls within the standards of this exemption as the Project scope seeks to convert an existing small structure for a new, permissible use per the zone. Thus, the Project is in compliance with the guidelines of Article 19, Section 15303, New Construction or Conversion of Small Structures.

In addition, the Project will not result in any specific or general exceptions to the use of the categorical exemptions as detailed under State CEQA Guidelines Section 15300.2. The Project would not lead to cumulative impacts that overtime would be significant since the winery operations have already been evaluated to be permissible for the scope of the area it is located within. The Project does not propose any new grading or construction as no significant expansions or alterations to the structure or the site are proposed. Therefore, the Project would not create a greater level of potential impacts beyond what already exists, and all future projects that are similar to or are located within the same area will be evaluated pursuant to CEQA. The Project's proposal to install a kitchen to establish food service does not qualify as an unusual circumstance since this is a permitted use pursuant to the applicable sections of the General Plan and Ordinance No. 348. As such, the Project has been conditioned to comply with all applicable General Plan policies, County Ordinances, and State law for the proposed use, and has also been conditioned to maintain any applicable permits from the Riverside County Departments throughout the duration of its operations. The Project site is not located near significant historical or cultural resources, and it is not located adjacent to a roadway classified as a State Scenic, eligible State Scenic, or County Eligible Scenic Highway. Therefore, no foreseeable specific or general exceptions to the use of the categorical exemptions would result with approval of this Project.

The Project is also exempt under State CEQA Guidelines Section 15061 (b)(3), which states: The activity is covered by the commonsense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The proposed Project will continue to operate as a commercial winery similar to the activity that has historically been present on-site. Given that the site has already been developed for this use, and the Project only proposes minor interior modifications, no significant construction impacts would occur. As the land is already developed, there are no potential impacts related to aesthetics, biological and cultural resources, hydrology, or other similar potential impacts. Therefore, the Project meets the requirements for CEQA exemption per Section 15061(b)(3) as there is no potential that the Project would have a significant physical impact on the environment.

Based on these findings, the Project, as proposed, complies with the guidelines of the California Environmental Quality Act Article 19, Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061(b)(3) (Common Sense Exemption). Therefore, the Project is exempt.

Kathleen Mitchell
County Contact Person

951-955-6836
Phone Number

Signature

Project Planner
Title

9/12/2023
Date

Date Received for Filing and Posting at OPR: _____

Please charge deposit fee case#:

FOR COUNTY CLERK'S USE ONLY



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.
Assistant CEO/TLMA Director



09/12/23, 10:17 am

PP23819R01

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for PP23819R01. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of Plot Plan No. 23819 Revision No. 1 and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 2 AND - Project Description & Operational Limits

Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen.

The Project is located within the Southwest Area Plan and is a part of the Temecula Valley Wine Country Policy Area – Winery District. The Project site is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road.

Advisory Notification. 3 AND - Design Guidelines

Compliance with applicable Design Guidelines:

- Temecula Valley Wine Country (Adopted 3/11/2014)

Advisory Notification. 4 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT(S):

Exhibit A: Site Plan, dated November 12, 2022

Exhibit B: Floor Plans & Elevations, dated November 12, 2022

Advisory Notification. 5 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Federal, State & Local Regulation Compliance (cont.)

- National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)
2. Compliance with applicable State Regulations, including, but not limited to:
- The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)
3. Compliance with applicable County Regulations, including, but not limited to:
- Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 484 (Control of Blowing Sand)
 - Ord. No. 625 (Right to Farm)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
4. Mitigation Fee Ordinances
- Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

Advisory Notification. 6 AND - Hold Harmless

The applicant/permittee or any successor in interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN NO. 23819 REVISION NO. 1 or its associated environmental documentation; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void, or annul any other decision made by the COUNTY concerning the PLOT PLAN NO. 23819 REVISION NO. 1, including, but not limited to, decisions made in response to California Public Records Act requests; and

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 6 AND - Hold Harmless (cont.)

(a) and (b) above are hereinafter collectively referred to as "LITIGATION."

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such LITIGATION or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such LITIGATION, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

Advisory Notification. 7 AND - Winery Development Standards

The following standards shall apply to all wineries as stated in Ordinance No. 348 Section 14.95(D):

1. A total of seventy-five percent (75%) of the net project area shall be planted in vineyards prior to issuance of certificate of occupancy or final inspection, whichever occurs first. Fifty percent (50%) of the vineyard requirement shall be planted prior to issuance of building permit for the winery.
2. To achieve the seventy-five (75%) percent requirement, fifteen percent (15%) of the net project area may include the planting of olive trees and the remaining sixty percent (60%) of the net project area shall be planted in vineyards.
3. The seventy-five (75%) planting requirement shall not include water features, natural or man-made lakes or the planting of grapevines in parking lots but may include planting in the road right of way as may be approved by the Director of Transportation or his designee.
4. Vineyards used to meet the above planting requirement shall have a minimum average density of 450 vines per acre. Olive trees used to meet the above planting requirement shall have a minimum average.

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 7 AND - Winery Development Standards (cont.)

density of 100 olive trees per acre.

5. The seventy-five (75%) planting requirement shall be maintained for the life of the permit.
6. No amplified sound shall be permitted outdoors unless an exception to Ordinance No. 847 has been applied for and approved.
7. Prior to obtaining a Certificate of Occupancy, a winery operator shall obtain all applicable permits or licenses required by the California Department of Beverage Control.
8. A minimum of seventy-five percent (75%) of the grapes utilized in wine production and retail wine sales shall be grown in Riverside County, except during the following:
 - a. When the Board of Supervisors declares an Agricultural Emergency for the Temecula Valley Wine Country Area. The declaration shall be for a specific period of time and any winery within the Temecula Valley Wine Country Area Policy Area may take advantage of the exemption.
 - b. The first two years from the plot plan's or conditional use permit's effective date.
9. For winery entitlements and revised entitlements approved after the effective date of Ordinance No. 348.4818, at least fifty percent (50%) of the wine sold by a winery shall be produced on the winery site. This development standard does not apply to wineries approved and operating under an existing valid entitlement before the effective date of Ordinance No. 348.4818. Any change or expansion by these wineries requiring a revised entitlement shall be consistent with this development standard.
10. A Class I Winery shall be less than 1,501 square feet in size.
11. Class II, III and IV Wineries shall be at least fifteen hundred (1,500) square feet in size and shall produce at least three thousand five hundred (3,500) gallons of wine annually as determined by the County Agricultural Commissioner.
12. Prior to the issuance of a building permit for any incidental commercial uses, the winery shall be constructed.
13. Prior to the issuance of a certificate of occupancy for any incidental commercial uses, the winery shall be operational.
14. Buildings and structures shall be designed in a rural, equestrian, or wine country theme consistent with the Temecula Valley Wine Country Design Guidelines.
15. Automobile parking spaces shall comply with Section 18.12 of Ordinance No. 348 and shall be consistent with the rural standards of the Temecula Valley Wine Country Policy Area of the Riverside County General Plan and the Temecula Valley Wine Country Design Guidelines.

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 7 AND - Winery Development Standards (cont.)

16. Loading, trash, and service areas shall be screened by structures or landscaping and shall be located and designed in such a manner as to minimize noise and odor impacts to adjacent properties.

17. Outside storage areas shall be screened from view by structures or landscaping.

18. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of thirteen hundred twenty feet (1,320').

BS-Grade

BS-Grade. 1 0010-BS-Grade-USE - 2:1 MAX SLOPE RATIO

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

BS-Grade. 2 0010-BS-Grade-USE - CRIB/RETAIN'G WALLS

Cribwall (retaining) walls shall be designed by a qualified professional who shall provide the following information for review and approval - this shall be in addition to standard retaining wall data normally required. The plans shall clearly show: soil preparation and compaction requirements to be accomplished prior to footing-first course installation, method/requirement of footing-first course installation, properties of materials to be used (i.e. Fc=2500 p.s.i.). Additionally special inspection by the manufacturer/dealer and a registered special inspector will be required.

BS-Grade. 3 0010-BS-Grade-USE - DISTURBS NEED G/PMT

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any topsoil disturbances related to construction grading.

BS-Grade. 4 0010-BS-Grade-USE - DRAINAGE & TERRACING

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

BS-Grade. 5 0010-BS-Grade-USE - DUST CONTROL

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

BS-Grade. 6 0010-BS-Grade-USE - GENERAL INTRODUCTION

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

BS-Grade. 7 0010-BS-Grade-USE - LOT TO LOT DRN ESMT

ADVISORY NOTIFICATION DOCUMENT

BS-Grade

BS-Grade. 11 0010-BS-Grade-USE - OBEY ALL GDG REGS (cont.)

BS-Grade. 11 0010-BS-Grade-USE - OBEY ALL GDG REGS

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

BS-Grade. 12 0010-BS-Grade-USE - OFFST. PAVED PKG

All off-street parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

BS-Grade. 13 0010-BS-Grade-USE - RETAINING WALLS

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

BS-Grade. 14 0010-BS-Grade-USE - SLOPE SETBACKS

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

BS-Grade. 15 0010-BS-Grade-USE - SLOPE STABL'TY ANLYS

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut and fill slopes over 30 feet in vertical height, or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

BS-Grade. 16 0010-BS-Grade-USE-G.3.1NO B/PMT W/O G/PMT

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

BS-Grade. 17 0010-BS-Grade-USE-G2.3SLOPE EROS CL PLAN

Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded per the requirements of Ordinance 457 (refer to dept. form 284-47).

BS-Grade. 18 0010-BS-Grade-USE-G2.7DRNAGE DESIGN Q100

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water

ADVISORY NOTIFICATION DOCUMENT

BS-Grade

BS-Grade. 18 **0010-BS-Grade-USE-G2.7DRNAGE DESIGN Q100 (cont.)**

Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100-year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

BS-Grade. 19 **0010-BS-Grade-USE-G4.3PAVING INSPECTIONS**

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

E Health

E Health. 1 **0010-E Health-CONTACT SAN DIEGO RWQCB**

The applicant is advised to contact the San Diego Regional Water Quality Control Board (SDRWQC) to obtain information regarding specific requirements.

California Regional Water Quality Control Board San Diego Region
9174 Sky Park Court, Suite 100
San Diego, CA 92123
(858) 467-2952

E Health. 2 **0010-E Health-OWTS ABANDONMENT / RELOCATION**

All onsite wastewater treatment system (OWTS) abandonment or relocation activities must be conducted under permit with the Department of Environmental Health (DEH). Please contact DEH at (951) 955-8980 for further information.

E Health. 3 **0010-E Health-RCWD POTABLE WATER SERVICE**

Plot Plan#23819 is proposing Rancho California Water District (RCWD) potable water service only. It is the responsibility of the developer to ensure that all requirements to obtain potable water service are met with RCWD as well as all other applicable agencies.

E Health. 4 **DEH - ECP COMMENTS**

If previously unidentified contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

E Health. 5 **DEH-Sewer Connect**

Plot Plan#23819R01 currently has established sewer service from Eastern Municipal Water District (EMWD). It is the responsibility of the developer to ensure that all requirements to obtain potable water service are

ADVISORY NOTIFICATION DOCUMENT

E Health

E Health. 5 DEH-Sewer Connect (cont.)

met with EMWD as well as all other applicable agencies.

Fire

Fire. 1 0010-Fire-USE-#23-MIN REQ FIRE FLOW

Minimum required fire flow shall be 1500 GPM for a 2-hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2007 CBC and Building(s) having a fire sprinkler system.

Fire. 2 0010-Fire-USE-#25-GATE ENTRANCES

Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38-foot turning radius shall be used.

Fire. 3 0010-Fire-USE-#31-ON/OFF NOT LOOPED HYD

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2") will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

Fire. 4 0010-Fire-USE-#50-BLUE DOT REFLECTOR

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

Fire. 5 0010-Fire-USE-#84-TANK PERMITS

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

Fire. 6 0010-Fire-USE-#88A-AUTO/MAN GATES

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

Flood

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 **Flood Hazard Report (cont.)**

Flood. 1 **Flood Hazard Report**

FLOOD HAZARD REPORT: 10/17/2022

BB ID: 134-177-425

Plot Plan No. 23819 R1 is a proposal to remove an existing deli in order to construct a full-scale kitchen operation. The kitchen will be located within the existing barrel storage space (barrel storage space to be removed). The site (Miramonte Winery) is located in the Rancho California area north of Rancho California Road, south of La Serena Road, east of Butterfield Stage Road and west of Calle Contento Road.

The site was reviewed under the original PP 23819 and PP 23819 S1, the drainage and the water quality issues were addressed in plan check for the Plot Plan. All the conditions under the original Plot Plan are still applicable. Since this revision does not create new impervious area, the District does not object to this proposal.

This project is not associated with any existing any existing or proposed District maintained facilities, therefore the Transportation Department will have the responsibility to process the review and approval of any hydrology or drainage studies including the preliminary and final Water Quality Management Plan (WQMP).

Any questions pertaining to this project may be directed to Kelly O'Sullivan at 951-955-8851 or kosulliv@rivco.org.

Planning

Planning. 1 **0010-Planning-USE - BUSINESS LICENSING**

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

Planning. 2 **0010-Planning-USE - CAUSES FOR REVOCATION**

In the event the use hereby permitted under this permit,

a) is found to be in violation of the terms and conditions of this permit,

b) is found to have been obtained by fraud or perjured testimony, or

c) is found to be detrimental to the public health, safety, or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

Planning. 3 **0010-Planning-USE - CEASED OPERATIONS**

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 3 0010-Planning-USE - CEASED OPERATIONS (cont.)

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

Planning. 4 0010-Planning-USE - COLORS & MATERIALS

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBITS and Color Renderings for the project.

Planning. 5 0010-Planning-USE - COMPLY WITH ORD./CODES

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

Planning. 6 0010-Planning-USE - EXTERIOR NOISE LEVELS

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, at all times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847. Sound amplifying equipment and live music is prohibited between the hours of 10:00 PM and 8:00 AM.

Planning. 7 0010-Planning-USE - FEES FOR REVIEW

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

Planning. 8 0010-Planning-USE - GEO02164

County Geologic Report (GEO) No. 2164, submitted for this project (PP23819) was prepared by EnGEN Corporation and is entitled: "Geotechnical Feasibility Study, Miramonte Winery, 33410 Rancho California Road (Assessors Parcel Number 943-110-007 & 008), Temecula Area, Riverside County, CA", dated October 2, 2008. In addition, EnGEN submitted "Response to Planning Department Review, County Geologic Report No. 2164, Geotechnical Feasibility Study, 33410 Rancho California Road APN: 943-110-007 & 008, Temecula area, County of Riverside, CA", dated September 10, 2009. This document is herein incorporated as a part of GEO02164.

GEO02164 concluded:

1.No known active faults exist on the subject site.

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 10 **0010-Planning-USE - LC LANDSCAPE REQUIREMENT (cont.)**

the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation, and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3) Ensure that all landscaping is healthy, free of weeds, disease, and pests.

Planning. 11 **0010-Planning-USE - LIGHTING HOODED/DIRECTED**

All parking lot lighting and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan

All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.

Planning. 12 **0010-Planning-USE - LIMIT ON SIGNAGE**

On-site advertising signs shall be consistent with Temecula Valley Wine Country Design Guidelines and comply with all applicable County signage requirements. One wall-mounted sign is proposed with this project on the northern elevation of the building. The sign is not to exceed 210.6 sq.ft. in area (10% of the building frontage square footage).

A separate entitlement will be processed for the approval of all proposed signage on-site and reviewed against the Temecula Valley Wine Country Design Guidelines for compliance.

Planning. 13 **0010-Planning-USE - MAINTAIN LICENSING**

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the County Environmental Health Department, County Transportation and Land Management Agency, and California Department of Alcohol Beverage Control, or equivalent agency as provided by law. Should such licensing be denied, expire or lapse at any time in the future, this permit shall become null and void.

Planning. 14 **0010-Planning-USE - MT PALOMAR LIGHTING AREA**

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 14 **0010-Planning-USE - MT PALOMAR LIGHTING AREA (cont.)**

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high-pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

Planning. 15 **0010-Planning-USE - NO OUTDOOR ADVERTISING**

No outdoor advertising display, sign, or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

Planning. 16 **0010-Planning-USE - NO RESIDENT OCCUPANCY**

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

Planning. 17 **0010-Planning-USE - NOISE MONITORING REPORTS**

The permit holder may be required to submit periodic noise monitoring reports as determined by the Code Enforcement Department as part of a code enforcement action. Upon written notice from the Code Enforcement Department requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Code Enforcement Department, unless more time is allowed through written agreement by the Code Enforcement Department. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

Planning. 18 **0010-Planning-USE - PRODUCTION CAPACITY**

The winery facility shall have a capacity to produce a minimum of 3,500 gallons of wine annually.

Planning. 19 **0010-Planning-USE - RECLAIMED WATER**

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

Planning. 20 **0010-Planning-USE - VINEYARD PLANTING**

A minimum of 75% of the net lot area (7.9 acres) shall be planted in vineyards.

Planning. 21 **0010-Planning-USE - VOID RELATED PROJECT**

Any approval for use of or development on this property that was made pursuant to Plot Plan No. 22698 shall become null and void upon final approval of Plot Plan No. 23819 by the County of Riverside.

Planning. 22 **0010-Planning-USE - WINE-TASTING & MUSIC**

Live music (played indoors) may accompany wine-tasting from 7 PM to 10 PM Fridays, Saturdays and

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 22 **0010-Planning-USE - WINE-TASTING & MUSIC (cont.)**

Sundays. Live music and wine-tasting will terminate at 10 PM. Live music that accompanies wine-tasting from 7 PM to 10 PM Fridays, Saturdays and Sundays is not considered a special event.

(ADDED AT DIRECTOR'S HEARING ON 2/08/10.)

Planning. 23 **0020-Planning-USE - EXPIRATION CODE ENFORCE**

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permit holder shall apply to the Building and Safety Department for all necessary permits, including the submission of all required document fees for any plan check review as determined by the Director of Building and Safety, to ensure all buildings, structures and uses are in compliance with the applicable requirements of Ordinance Nos. 457 (Building Code) and 348 (Land Use) and the conditions of approval of this permit. A lock shall be placed on the permit to take effect on the sixtieth day, which shall not be released unless compliance with the above provision has occurred. THE PERMIT HOLDER SHALL PURSUE DILIGENTLY TO COMPLETION ALL NECESSARY PERMITS AND OBTAIN FINAL INSPECTION APPROVAL THEREOF WITHIN TWO (2) YEARS OF THE EFFECTIVE DATE OF THIS PERMIT (additional time may be requested pursuant to Section 18.43 of Ordinance No. 348). A lock shall be placed on any building permit to take effect on the expiration date, and shall not be removed unless compliance with the above provision has occurred. Notwithstanding the above, any circumstance within the property threatening the public health and safety shall be immediately corrected.

Planning. 24 **0020-Planning-USE - EXPIRATION DATE-PP**

This approval shall be used within eight (8) years of the approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant completion of construction and the actual occupancy of existing buildings or land under the terms of the authorized use. The Planning Director, at his/her, discretion, may grant additional years beyond the eight (8) years stated above. Should the years be granted and the completion of construction and the actual occupancy of existing buildings or land under the terms of the authorized use not occur, the approval shall become null and void and of no effect whatsoever.

Planning. 25 **0020-Planning-USE - PLANTING COMPLETION DATE**

Seventy-five percent (75%) of the net lot area shall be planted in vineyards by June 1, 2011.

Planning. 26 **0020-Planning-USE - RESTROOMS**

Restrooms must be constructed within 180 days of project approval.

Planning. 27 **0020-Planning-USE - REVIEW OPERATION HOURS**

One year after issuance of occupancy permit the Planning Director and the Code Enforcement Director shall review this permit to consider the hours of operation. If significant complaints have been received regarding noise and nuisance, the hours of operation may be further restricted.

Planning. 28 **0020-Planning-USE - SUBMIT PLANS**

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Planning

Planning. 28 0020-Planning-USE - SUBMIT PLANS (cont.)

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permit holder shall submit restroom plans to the Building and Safety Department, along with the appropriate application and related fees.

Planning. 29 90 DAYS TO PROTEST

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

Planning. 30 BASIS FOR PARKING

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b),

- Restaurant, Serving Areas, & Tasting Area = 2,605 sq.ft. (1 space/45 sq.ft.) -- 58 spaces
- Receiving & Barrel Room = 2,056 sq.ft. (1 space/1,000 sq.ft.) -- 2 spaces
- Offices = 1,050 sq.ft. (1 space/200 sq.ft.) -- 6 spaces
- Employees= 8 employees (1 space /2 employees) -- 4 spaces

TOTAL: 70 (required); 74 (provided)

Planning. 31 NOISE (SITE OPERATIONS)

All implementing projects involving a new winery or expansion of an existing winery shall be subject to the following noise standards:

- The use of outdoor amplified sound is not permitted at any time during the operation of the winery. Operations must maintain noise levels within the standards set by Ordinance No. 847. No amplified sound shall be permitted outdoors unless an exception to Ordinance No. 847 has been applied for and approved
- Mechanical equipment including but not limited to, de-stemming, crushing, and refrigeration equipment shall be enclosed or shielded for noise attenuation. Alternatively, the proponent may submit a Noise Study prepared by a qualified acoustical analyst that demonstrates that the unenclosed/unshielded equipment would not exceed the County's allowable noise levels.
- The hours of operation for shipping facilities associated with wineries shall be limited to 9:00 a.m. to 7:00 p.m. Monday through Sunday in the Wine Country - Winery District
- Shipping facilities and parking areas which abut residential parcels shall be located away from sensitive land uses and be designed to minimize potential noise impacts upon nearby sensitive land uses.
- Site-specific noise-attenuating features such as hills, berms, setbacks, block walls, or other measures shall be considered for noise attenuation in noise-producing areas of future wineries including, but not limited to, locations of mechanical equipment, locations of shipping facilities, access, and parking areas.

ADVISORY NOTIFICATION DOCUMENT

Planning-CUL

Planning-CUL. 1 Human Remains

If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Planning-CUL. 2 Unanticipated Resources

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continuous monitoring of all future site grading activities as necessary.

Transportation

Transportation. 1 0010-Transportation-USE - COUNTY WEBSITE

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Website: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

Transportation. 2 0010-Transportation-USE - NO ADD'L ON-SITE R-O-W

No additional on-site right-of-way shall be required on Rancho California Road and Reid Court since adequate right-of-way exists, per PM82/3 and PM1/30-33.

Transportation. 3 0010-Transportation-USE - STD INTRO 3(ORD 460/461)

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in

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Transportation

Transportation. 3 0010-Transportation-USE - STD INTRO 3(ORD 460/461) (cont.)

accordance with Ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

Transportation. 4 0010-Transportation-USE - TRAFFIC MANAGEMENT PLAN

The following Traffic Management Plan was prepared by applicant/engineer for PP 23819.

1. Introduction: The purpose of this Traffic Management Plan is to describe the potential impact to traffic on Rancho California Road due to regular and special activities at MiraMonte Winery. The winery was established in the early 1980s and has been in operation ever since. The original Owner failed to obtain Plot Plan Approval for his tasting venue. The current Owner wishes to document and legitimize activities that have been ongoing since before he purchased the property.

2. Project Description / Location: The address of this property is 33410 Rancho California Road, which is approximately one mile east of Butterfield Stage Road and about three quarters of a mile west of Calle Contento. The project is on 11.85 gross acres, comprising two parcels. The westerly parcel is planted with a vineyard and has an existing 6,595 sq.ft production winery and retail tasting room. Approximately 5,863 sq.ft of new construction is proposed, including new accessible restrooms (283 sq.ft), but primarily covered walkways, and trellised exterior decks (5,555 s.f.).

The Owner has recently purchased the adjacent parcel to the east and is in the process of incorporating it into the existing property through a parcel merger (PM #1807). This brings the land area into compliance with the current CV zone minimum. The proposed Plot Plan 23819 includes the planting of the easterly portion of the property so that almost 77% of the total acreage is planted as vineyard.

3. Ingress/Egress: The project takes access from the north side of Rancho California Road. The street is currently paved to a width of approximately thirty feet. Access to this site is provided by a twenty-four ft. wide driveway, which connects directly to Rancho California Road.

The driveway connection to Rancho California Road will include a left turn pocket and A.C. pavement transition to taper between the existing paved roadway, and the proposed driveway, in accordance with the following design parameters:

-- Edge of pavement returns shall be a 35-foot radius;

-- Ingress and Egress to and from the driveway onto the opposite side of the travel lane shall be provided by an existing continuous center lane for exclusive use of left turning vehicles;

-- Provide acceleration/deceleration lanes per County Std. 803.

4. Parking: Onsite parking is in accordance with Riverside County Ordinance 348, Section 18.12. For daily

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Transportation

Transportation. 4 0010-Transportation-USE - TRAFFIC MANAGEMENT PLAN (cont.)

parking, seventy-eight spaces are required. Thirty-nine standard spaces (including two H/C spaces) are proposed. There are four designated limousine spaces, and ten overflow parallel spaces along the widened lower portion of the driveway. In addition to these paved spaces, there are nineteen available on the designated mulching pad and ten more along the north vineyard access road. For certain events this latter area may be utilized as a bus parking area. In total there are eight-two auto spaces, including the four limousine spaces.

For special events, where up to one hundred fifty guests and twelve employees may be expected, there is adequate parking on-site. Figuring two guests and two employees per car, eighty-one spaces are required. As stated above, without even considering bus or limousine capacities, we have counted eighty-two parking spaces.

5. Hours of Operation / Employees: The winery is operated by Celebration Cellars, Cane Vanderhoof, director of operations. In addition to Mr. Vanderhoof, there may be up to 12 employees working at the winery, depending upon the season. In non-harvest, non-production periods, there probably will be less than half that. For special events, there may be up to twelve paid workers, including parking attendants and caterers.

Hours of customer contact will be from 11 AM to 6 PM Monday through Thursday, and 11 AM to 12 PM Friday, Saturday, and Sunday.

The Owner intends to continue hosting live music indoors from 7 PM to 10 PM Fridays, Saturdays, and Sundays. Routinely, at 10 o'clock, live performances and wine tasting will terminate.

6. Special Events: MiraMonte Winery intends to host occasional wine related events. These will be dependent upon the season and winery production schedule. Among these will be quarterly wineclub appreciation events, catered dinners, and private tastings for Valley tour groups. In addition to these regularly scheduled MiraMonte events, private and corporate groups may wish to schedule private and/or holiday parties.

Between the regularly scheduled MiraMonte special events and the private/corporate events, there is a potential for up to three events a month. For these various events, the attendance may be from about fifteen individuals to a maximum of one hundred fifty.

7. Signage: Small, lit "entry 500 feet" signs will be placed near the southwesterly corner of the property and the southeasterly corner. A monument sign will be located near the entry gate, just north of the regional trail easement. "MiraMonte Winery" will be painted above the east doors and lit from below.

Small, softly lit indicator signs designating limo and bus parking will be located in the appropriate spots. Standard Accessibility signs will be placed in the appropriate locations throughout the property.

A "stop" sign will be placed on the access driveway where the driveway meets with Rancho California Road. Sufficient "No Parking" signs shall be placed along Rancho California Road to deter visitors from parking on the street.

Transportation. 5 0010-Transportation-USE - TS/EXEMPT

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

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Transportation

Transportation. 5

0010-Transportation-USE - TS/EXEMPT (cont.)

Plan: PP23819R01

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60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 0060-BS-Grade-USE - LOT TO LOT DRAINAGE Not Satisfied

A recorded drainage easement is required for lot to lot drainage.

060 - BS-Grade. 2 0060-BS-Grade-USE IMPORT/EXPORT Not Satisfied

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review, and approval of the haul routes by the Transportation Department will be required.

060 - BS-Grade. 3 0060-BS-Grade-USE-G1.4 NPDES/SWPPP Not Satisfied

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 341-5455.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

060 - BS-Grade. 4 0060-BS-Grade-USE-G2.14OFFSITE GDG ONUS Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

060 - BS-Grade. 5 0060-BS-Grade-USE-G2.15NOTRD OFFSITE LTR Not Satisfied

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off-site grading.

060 - BS-Grade. 6 0060-BS-Grade-USE-G2.4GEOTECH/SOILS RPTS Not Satisfied

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

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60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 7 0060-BS-Grade-USE-G2.7DRNAGE DESIGN Q100 Not Satisfied

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

Flood

060 - Flood. 1 Mitcharge - Use Not Satisfied

This project is located within the limits of the Murrieta Creek- Temecula Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. Fees shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Drainage fees shall be paid directly to the District. Personal or corporate checks will not be accepted for payment.

Planning

060 - Planning. 1 0060-Planning-USE - FEE STATUS Not Satisfied

Prior to the issuance of grading permits for Plot Plan No. 23819, the Planning Department shall determine the status of the deposit-based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR Not Satisfied

This site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. Hence:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1. The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2. The project paleontologist retained shall review the approved development plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a

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60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR (cont.) Not Satisfied
Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

A. The project paleontologist shall participate in a pre-construction project meeting with development staff and construction operations to ensure an understanding of any mitigation measures required during construction, as applicable.

B. Paleontological monitoring of earthmoving activities will be conducted on an as-needed basis by the project paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The project paleontologist or his/her assign will have the authority to reduce monitoring once he/she determines the probability of encountering fossils has dropped below an acceptable level.

C. If the project paleontologist finds fossil remains, earthmoving activities will be diverted temporarily around the fossil site until the remains have been evaluated and recovered. Earthmoving will be allowed to proceed through the site when the project paleontologist determines the fossils have been recovered and/or the site mitigated to the extent necessary.

D. If fossil remains are encountered by earthmoving activities when the project paleontologist is not onsite, these activities will be diverted around the fossil site and the project paleontologist called to the site immediately to recover the remains.

E. If fossil remains are found, fossiliferous rock will be recovered from the fossil site and processed to allow for the recovery of smaller fossil remains. Test samples may be recovered from other sampling sites in the rock unit if appropriate.

F. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators.

* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

G. A qualified paleontologist shall prepare a report of findings made during all site grading activity with an appended itemized list of fossil specimens recovered during grading (if any). This report shall be submitted to the County Geologist for review and approval prior to building final inspection as described elsewhere in this conditions set.

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60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR (cont.) Not Satisfied

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist, Professional Engineer, etc.), as appropriate. Two wet-signed original copies of the report shall be submitted directly to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office.

060 - Planning. 3 0060-Planning-USE - PARCEL MERGR REQD (1) Not Satisfied

Prior to the issuance of a grading permit, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 943-110-007 and 943-110-008. The proposed parcel shall comply with the development standards of the Citrus Vineyard (C/V) zone.

060 - Planning. 4 0060-Planning-USE - SKR FEE CONDITION Not Satisfied

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which requires the payment of the appropriate fee set forth in that ordinance.

060 - Planning. 5 Gen - If Additional Grading to be Proposed Not Satisfied

If additional grading to the site is proposed, a grading permit must be submitted to the Building & Safety Department for review and approval. The Planning Department must also review the grading plans for compliance against approved entitlements. If any changes, additions, or expansions are to result from the grading, Planning will evaluate if additional entitlements are needed prior to grading permit issuance.

Regional Parks and Open Space

060 - Regional Parks and 0060-Regional Parks and Open Space-USE- TRAIL MAP Not Satisfied

Prior to the issuance of grading permits, the applicant shall submit a draft trail easement with exhibits to the Regional Park & Open-Space District for a 20-foot trail located outside of the proposed road ROW on Rancho California Road. The exhibits shall show the boundary of easement and trail shown in a graded condition. Should the application have any questions it is to contact Marc Brewer Sr. Park Planner at 951-955-4316.

Transportation

060 - Transportation. 1 0060-Transportation-USE - TRANSPORTATION Not Satisfied

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 0080-BS-Grade-USE* -G3.1NO B/PMT W/O G/PMT Not Satisfied

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

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80. Prior To Building Permit Issuance

E Health

080 - E Health. 1 0080-E Health-USE - RWQCB OK Not Satisfied

A clearance letter from the appropriate California Regional Water Quality Control Board is required to address the estimated daily and peak wasteflows of the proposed project.

080 - E Health. 2 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code. Submit to DEH-DES-Murrieta 951.461.0284

080 - E Health. 3 Sewer Will Serve Not Satisfied

Established sewer from EMWD is required from the sewer agency serving the project.

080 - E Health. 4 Water Will Serve Not Satisfied

Established water from Rancho California Water District is required from the appropriate water agency.

Fire

080 - Fire. 1 0080-Fire-USE-#17A-BLDG PLAN CHECK \$ Not Satisfied

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

080 - Fire. 2 0080-Fire-USE-#4-WATER PLANS Not Satisfied

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

Flood

080 - Flood. 1 Mitcharge - Use Not Satisfied

This project is located within the limits of the Murrieta Creek- Temecula Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area pursuant to Ordinance No. 460 Section 10.25.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. The charge is payable to the Flood Control District and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Personal or corporate checks will not be accepted for payment.

Planning

080 - Planning. 1 0080-Planning-USE - AGENCY CLEARANCE Not Satisfied

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80. Prior To Building Permit Issuance

Planning

080 - Planning. 1 0080-Planning-USE - AGENCY CLEARANCE (cont.) Not Satisfied

A clearance letter from Waste Management shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated December 12, 2008.

080 - Planning. 2 0080-Planning-USE - CONFORM TO ELEVATIONS Not Satisfied

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on the APPROVED EXHIBIT.

080 - Planning. 3 0080-Planning-USE - CONFORM TO FLOOR PLANS Not Satisfied

Floor plans shall be in substantial conformance with that shown on the APPROVED EXHIBITS.

080 - Planning. 4 0080-Planning-USE - FEE STATUS Not Satisfied

Prior to issuance of building permits for Plot Plan No. 23819 & Revision No. 1 to Plot Plan No. 23819, the Planning Department shall determine the status of the deposit-based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

080 - Planning. 5 0080-Planning-USE - LC LANDSCAPE PLOT PLAN Not Satisfied

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2) Weather based controllers and necessary components to eliminate water waste;
- 3) A copy of the "stamped" approved grading plans; and,
- 4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;

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80. Prior To Building Permit Issuance

Planning

080 - Planning. 5 0080-Planning-USE - LC LANDSCAPE PLOT PLAN (cont.) Not Satisfied

6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

2) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

080 - Planning. 6 0080-Planning-USE - LIGHTING PLANS Not Satisfied

All implementing projects shall provide a lighting plan for the project area prior to approval. This plan shall include the location of onsite buildings and structures, the location of existing buildings and structures within surrounding properties, the distance between existing buildings and structures and proposed light sources, and other details of the proposed lighting (i.e., type, size, wattage, lumens, shielding type, etc.) during each phase of project development.

080 - Planning. 7 0080-Planning-USE - ROOF EQUIPMENT SHIELDING Not Satisfied

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval and as shown on the APPROVED EXHIBIT plans for all buildings.

080 - Planning. 8 0080-Planning-USE - SCHOOL MITIGATION Not Satisfied

Impacts to the Temecula Valley Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 9 0080-Planning-USE - SIGNS Not Satisfied

Prior to building permit issuance all "lit signs" referred to in the traffic management plan, dated July 14, 2009, shall be submitted to the Planning Department for review and approval.

080 - Planning. 10 If Additional Construction Proposed Not Satisfied

Plan: PP23819R01

Parcel: 943110007

80. Prior To Building Permit Issuance

Planning

080 - Planning. 10 If Additional Construction Proposed (cont.) Not Satisfied

If additional construction to the site is proposed, a construction permit must be submitted to the Building & Safety Department for review and approval. The Planning Department must also review the construction plans for compliance against approved entitlements. If any changes, additions, or expansions are to result from the construction, Planning will evaluate if additional entitlements are needed prior to grading permit issuance.

080 - Planning. 11 VINEYARD PLANTING INSPECTION Not Satisfied

Prior to building permit issuance, and in accordance with Ordinance 348 Section 14.95 D. 1, fifty percent (50%) of the planted vineyard planting shall be planted prior to issuance of building permit for the winery. The permit holder shall contact the Land Use Division or Planning Department to request an inspection. The County field representative shall conduct a site visit inspection to verify that vineyard planting has occurred in accordance with the approved vineyard planting plan. Once verified, the representative shall satisfy the condition of approval referring to the need for fifty percent (50%) vineyard planting. If the total seventy-five percent (75%) vineyard planting area is planted prior to building permit issuance, the County field representative can clear this condition of approval and the condition of approval for prior to final inspection for verification of vineyard planted area of a total of seventy-five percent (75%). Vineyard planting shall conform to the approved vineyard planting plan exhibit for the approved project.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 0090-BS-Grade-USE*G4.3PAVING INSPECTIONS Not Satisfied

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

E Health

090 - E Health. 1 0090-E Health-USE - HAZMAT BUS PLAN Not Satisfied

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

090 - E Health. 2 0090-E Health-USE - HAZMAT CONTACT Not Satisfied

Contact the Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

090 - E Health. 3 0090-E Health-USE - HAZMAT REVIEW Not Satisfied

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

090 - E Health. 4 E Health Clearance Not Satisfied

Prior to building permit final, clearance must be obtained from the Department of Environmental Health.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Fire

090 - Fire. 1 0090-Fire-USE-#12A-SPRINKLER SYSTEM Not Satisfied

Install a complete fire sprinkler system per NFPA 13 2002 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout.

090 - Fire. 2 0090-Fire-USE-#27-EXTINGUISHERS Not Satisfied

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

090 - Fire. 3 0090-Fire-USE-#36-HOOD DUCTS Not Satisfied

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical components and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

090 - Fire. 4 0090-Fire-USE-#45-FIRE LANES Not Satisfied

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

Planning

090 - Planning. 1 0090-Planning-USE - ACCESSIBLE PARKING Not Satisfied

A minimum of four (4) accessible parking spaces for persons with disabilities shall be provided. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 1 0090-Planning-USE - ACCESSIBLE PARKING (cont.) Not Satisfied
stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

090 - Planning. 2 0090-Planning-USE - EXISTING STRUCTURES Not Satisfied

All existing buildings, structures and uses on the entire property shall conform to all the applicable requirements of Ordinance No. 348 and Ordinance No. 457, and the conditions of this permit.

090 - Planning. 3 0090-Planning-USE - LC COMPLY W/ LNDSCP/ IRR Not Satisfied

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

090 - Planning. 4 0090-Planning-USE - LC LNDSCP INSPECT DEPOST Not Satisfied

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment Inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

090 - Planning. 5 0090-Planning-USE - ORD 810 FEE (2) Not Satisfied

Prior to the issuance of a certificate of occupancy, or building permit final inspection, or prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance.

090 - Planning. 6 0090-Planning-USE - ORD NO. 659 (DIF) Not Satisfied

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance.

090 - Planning. 7 0090-Planning-USE - PALEO MONITORING REPORT Not Satisfied

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 7 0090-Planning-USE - PALEO MONITORING REPORT Not Satisfied
PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

090 - Planning. 8 0090-Planning-USE - PARKING PAVING MATERIAL Not Satisfied

A minimum of 82 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced to current standards as approved by the Department of Building and Safety.

090 - Planning. 9 0090-Planning-USE - ROOF EQUIPMENT SHIELDING Not Satisfied

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

090 - Planning. 10 0090-Planning-USE - SIGNS Not Satisfied

Prior to building permit final, all "lit signs" referred to in the traffic management plan dated July 14, 2009, shall be submitted to the Planning Department for review and approval.

090 - Planning. 11 0090-Planning-USE - TRASH ENCLOSURES Not Satisfied

One (1) trash enclosure which is adequate to enclose a minimum of one (1) bin shall be located as shown on the APPROVED EXHIBIT A and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and shall include landscaping screening and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

090 - Planning. 12 0090-Planning-USE - UTILITIES UNDERGROUND Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

090 - Planning. 13 0090-Planning-USE - VINEYARD PLANTING Not Satisfied

Prior to building permit final inspection, seventy-five percent (75%) of the net lot area (7.9 acres) shall be planted in vineyards.*

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 13 0090-Planning-USE - VINEYARD PLANTING (cont.) Not Satisfied

*EXCEPTION: Retaining walls, septic systems, and all permits related to the restroom can receive building permit final inspection (all other permits cannot be finalized until 75% vineyard planting is achieved).

090 - Planning. 14 0090-Planning-USE - WALL & FENCE LOCATIONS Not Satisfied

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT.

090 - Planning. 15 ABC Licensing Not Satisfied

Prior to obtaining a Certificate of Occupancy, a winery operator shall obtain all applicable permits or licenses required by the California Department of Beverage Control and provide proof of license to the Riverside County Planning Department for permit clearance.

Transportation

090 - Transportation. 1 0090-Transportation-USE - EXISTING MAINTAINED Not Satisfied

Rancho California Road is a paved County maintained road designated as a Mountain Arterial highway and shall be improved with AC pavement tapering for acceleration and deceleration transition lane and join existing AC pavement at the driveway(s) as determined by the Director of Transportation Department.

1. At the driveway the edge of pavement return shall be 35' radius.
2. Acceleration and deceleration lane shall be per County Standard No. 803 or/and as determined by the Director of Transportation.

090 - Transportation. 2 0090-Transportation-USE - IMP PLANS Not Satisfied

Improvement plans for the required improvements must be prepared.

1. Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department (Website: www.rctlma.org/trans/land_dev_plan_check_guidelines.html).
2. If you do not prepare the improvement plans per the policies and guidelines, it may cause a delay in the processing of your plans.

090 - Transportation. 3 0090-Transportation-USE - SIGNING & STRIPING Not Satisfied

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

090 - Transportation. 4 0090-Transportation-USE - UTILITY INSTALL Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 4 0090-Transportation-USE - UTILITY INSTALL (cont.) Not Satisfied

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

090 - Transportation. 5 0090-Transportation-USE - UTILITY PLAN Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

090 - Transportation. 6 0090-Transportation-USE - WRCOG TUMF Not Satisfied

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

PROPERTY OWNERS CERTIFICATION FORM

I, Kathleen Mitchell, certify that on September 12, 2023, the attached property owners list was prepared by County of Riverside / GIS.

Distance Buffered: 1,400'

Pursuant to application requirements furnished by the Riverside County Planning Department; Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Kathleen Mitchell

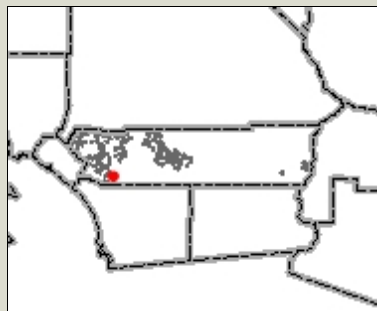
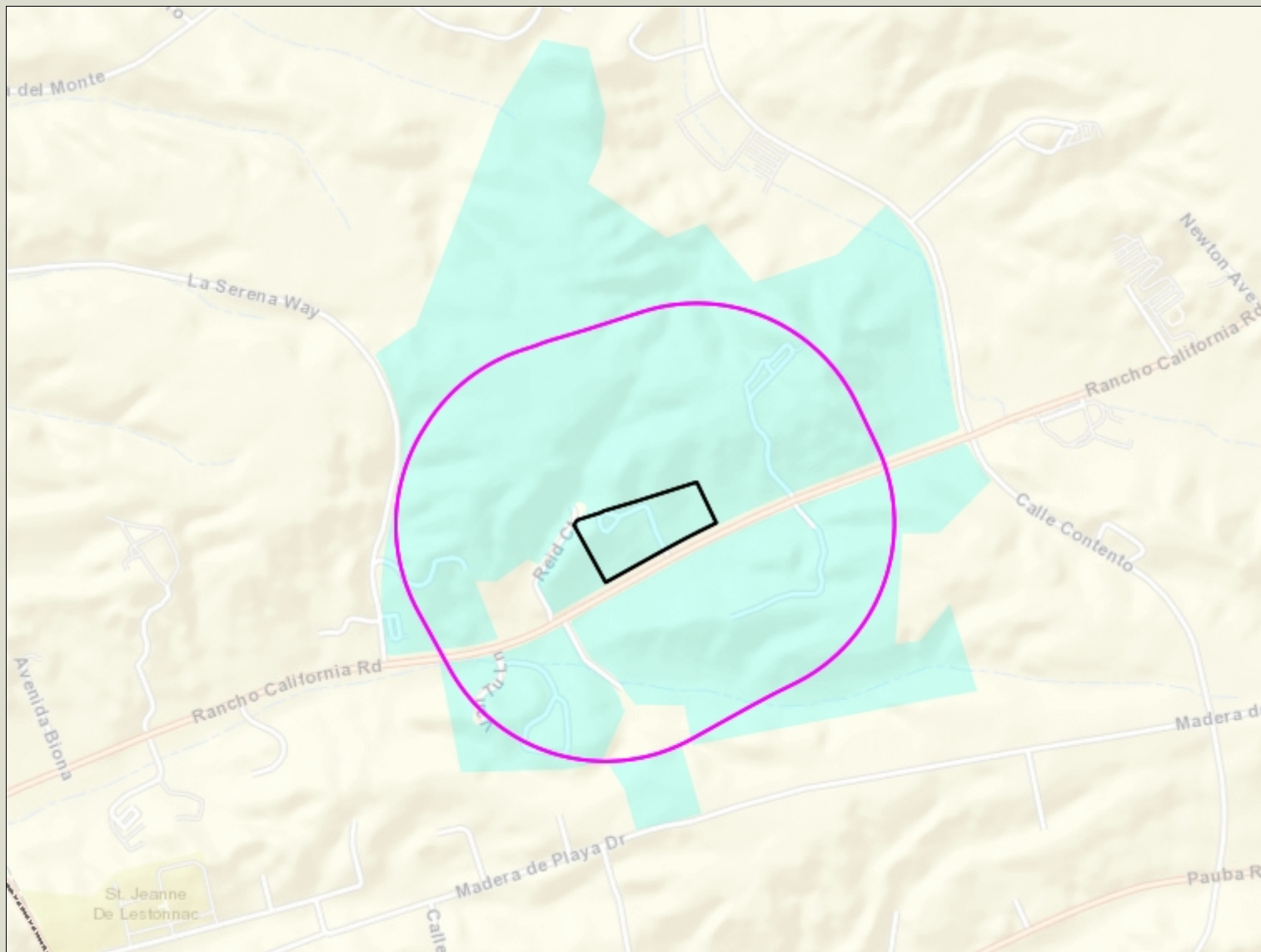
TITLE/REGISTRATION: Urban Regional Planner, III

ADDRESS: 4080 Lemon Street, Riverside CA, 92501



TELEPHONE (8 a.m. – 5 p.m.): (951) 955-6836

Riverside County GIS Mailing Labels

PP23819R01 (1400 Foot Buffer)



Legend

-  County Boundary
-  Cities
-  World Street Map

Notes



0 1,505 3,009 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 8/24/2023 4:23:49 PM

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943100005
ANDREW HOLZMANN
33242 LA SERENA WAY
TEMECULA CA 92591

943100009
PHILLIPS B. BAILY
36150 PAUBA RD
TEMECULA CA 92592

943100011
ALEX BRINKMEYER
33400 LA SERENA WAY
TEMECULA CA 92591

943110012
FRENI MARILYN M EXEMPT TRUST UNDER THE
1 LA SENDA PL
LAGUNA BEACH CA 92651

943110015
MAHMOUD M. YAKUT
645 FRONT ST # 2102
SAN DIEGO CA 92101

943110017
GUILLERMO A. CARPINELLI
33350 RANCHO CALIFORNIA RD
TEMECULA CA 92591

943110018
89 PERCENT
165 6TH AVE NO 2201
SAN DIEGO CA 92101

943110020
CELEBRATION CELLARS
33410 RANCHO CALIFORNIA RD
TEMECULA CA 92591

943100007
INVESTEUROPA
41391 KALMIA ST STE 200
MURRIETA CA 92562

943110011
NGUNS TRUST DTD 11/10/2015
41005 REID CT
TEMECULA CA 92591

943120022
S T & KOO INTERNATIONAL CORP
323 WEST COURT STE 301
SAN BERNARDINO CA 92401

943120045
LOUIDAR
PO BOX 891510
TEMECULA CA 92589

943120046
KPC MT PALOMAR REALTY
9 KPC PARKWAY STE 301
CORONA CA 92879

951060010
PRADEEP W. GUNARATNE
16526 COTUIT CIR
HUNTINGTON BEACH CA 92649

951060013
CHURON INN WINERY
7351 MCGUIRE AVE
FONTANA CA 92336

951090004
DIBERNARDO FAMILY TRUST DTD 5/12/2010
41141 REID CT
TEMECULA CA 92592

951090015
TED MCWHORTER
33376 MADERA DE PLAYA ST
TEMECULA CA 92592

951090019
FEN HUEI HSIN
23 OLD PALI PL
HONOLULU HI 96817

951090036
THOMAS P. ROE
NO 200
TEMECULA CA 92591

951090038
MICHELLE R. MARTIN
33352 MADERA DE PLAYA RD
TEMECULA CA 92592

951100002
CREATIVE SPACE INNOVATION
3731 WILSHIRE BLVD STE 612
LOS ANGELES CA 90010

951100004
CREATIVE SPACE INNOVATION
3731 WILSHIRE BLVD STE 612
LOS ANGELES CA 90010

951100007
VUE BEL TRUST U/T/A DTD 10/17/11
33515 RANCHO CALIFORNIA RD
TEMECULA CA 92591

951060009
KRUNAL AMIN
41175 VAN TU LN
TEMECULA CA 92591

951060011
SUBHASH C. VARSHNEY
11292 PINECONE ST
CORONA CA 92883

951060012
JONATHAN COLEMAN
1919 HILLCREST DR
HERMOSA BEACH CA 90254

951090001
NATALIE SOO
1432 SANTA FE DR
TUSTIN CA 92780

951090003
VALLEY VINEYARDS
7351 MCGUIRE AVE
FONTANA CA 92336

951100003
CREATIVE SPACE INNOVATION
4322 WILSHIRE BLV NO 300
LOS ANGELES CA 90010

Miramonte Kitchen

33410 Rancho California Road TEMECULA, CA 92591

REFER TO
Plot Plan No. 23819

Old Town Temecula
rtex
28465 Old Town Front Street, Suite 201
Temecula, CA 92590
(951) 985-0301

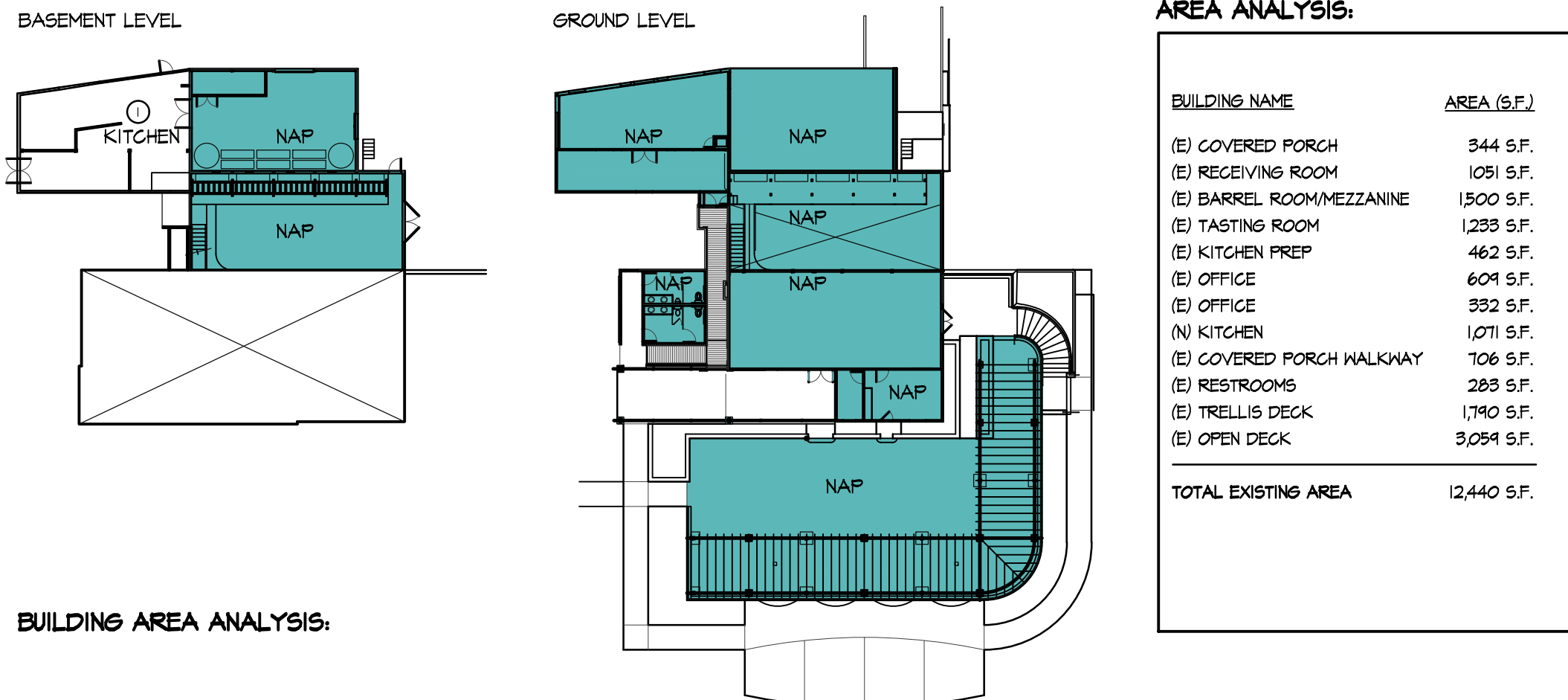


Designed: bcj
Drawn By: bcj
Checked: wfg
Date: 11/2/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591
Permit Number: _____

CODE CALCULATIONS



OCCUPANT LOAD CALCULATIONS: FOR EXITING REQUIREMENTS

OCCUPANCY DESIGNATION	ROOM USE DESIGNATION	GROSS AREA (Usable)	OCCUPANT LOAD FACTOR	MAX. TOTAL OCCUPANT LOAD
KITCHEN				
F-2	(E) BARREL RM #2	1,071 S.F.	1/500	3
A-2	(N) KITCHEN	1,071 S.F.	1/15	72
TOTAL		1,071 S.F.		
BASEMENT LEVEL				
F-2	(E) BARREL RM #1	1,199 S.F.	1/500	3
S-2	(E) RECEIVING	996 S.F.	1/500	2
A-2	(N) KITCHEN	1,071 S.F.	1/15	71
TOTAL				11 OCCUPANTS
GROUND LEVEL				
B	(E) OFFICES	604 S.F.	1/100	6
B	(E) OFFICES	462 S.F.	1/100	4
A-2	(E) TASTING	1,235 S.F.	1/15	45
A-2	(E) KITCHEN PREP	332 S.F.	1/100	2
TOTAL		5,902 S.F.		60 OCCUPANTS

BUILDING USE	(N) OCCUPANCY TYPE	CONSTRUCTION TYPE	ALLOWABLE AREA	ACTUAL AREA
KITCHEN	A-2	V B	24,000 S.F.	1,071 S.F.
	A-2	V B	24,000 S.F.*	1,071 S.F.

* ALLOWABLE AREA PER FLOOR

BUILDING AREA ANALYSIS:

NOTE:
1. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR PROJECTS REQUIRING HERS VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY.
2. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY.

ACCESSORY AREAS (STAIRWAY ENCLOSURE, CIRCULATION SPACES, RESTROOMS) EXCLUDED PER 2019 CPC TABLE A - OCCUPANT LOAD FACTOR CPC TABLE 4.2.2.1, NOTES 3. THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES. THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY TOILET FACILITIES ARE PROVIDED FOR EACH SEX IN AN A OR E OCCUPANCY WITH AN OCCUPANT LOAD OF LESS THAN 50. EITHER
A. THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED OR
B. IF INSTALLED, THE URINAL SHALL NOT REQUIRE A SECOND WATER CLOSET TO BE PROVIDED FOR THE FEMALE
*** REQUIRED TOILET FACILITIES FOR EMPLOYEES AND CUSTOMERS ARE WITHIN 500 FEET.

GENERAL NOTES

- PRIOR TO FINAL INSPECTION A 'CERTIFICATE OF CONSTRUCTION COMPLIANCE' SHALL BE MADE READY FOR THE INSPECTOR. THE CERTIFICATE SHALL STATE THAT 'BASED UPON PERSONAL KNOWLEDGE THE WORK APPEARS IN EVERY MATERIAL RESPECT TO BE IN COMPLIANCE WITH THE PLANS'. THE CERTIFICATE MUST BE SIGNED BY ONE OR MORE OF THE FOLLOWING: (A) OWNER, (B) GENERAL CONTRACTOR, (C) ARCHITECT (D) DESIGN ENGINEER (E) APPROVED INDEPENDENT INSPECTOR OR INSPECTION AGENCY.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL CAREFULLY EXAMINE THE SITE, DRAWINGS, AND SPECIFICATIONS TO OBTAIN FIRST-HAND KNOWLEDGE OF JOB CONDITIONS. ANY DISCREPANCIES OR CONDITIONS NEEDING CLARIFICATION SHALL BE REPORTED TO THE OWNER AND ARCHITECT PRIOR TO BEGINNING WORK. NO ALLOWANCE SHALL BE GIVEN FOR FAILURE TO COMPLY WITH THE ABOVE OR ANY CONDITIONS THAT CAN BE DETERMINED BY EXAMINING THE SITE, DRAWINGS, AND SPECIFICATIONS.
- THE CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN TO THE CONTRACTOR OR SUB-CONTRACTORS FOR CHANGES RESULTING FROM FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SPECIFIED SHALL GOVERN. DIMENSIONS ARE NOMINAL AND ARE TO THE FACE OF OBJECTS UNLESS OTHERWISE INDICATED.
- EACH SUB-CONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO SUBMISSION OF HIS BID OR PERFORMANCE OF THE WORK, NOTIFY THE CONTRACTOR AND ARCHITECT OF ANY WORK CALLED OUT IN THE DMS OR SPECS WHICH CAN NOT BE FULLY GUARANTEED OR CONSTRUCTED AS DESIGNED OR DETAILED.
- DETAILS SHALL BE USED WHERE THE CONDITION OCCURS FOR WHICH THEY ARE INTENDED. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY ALTERNATE, NON-STANDARD, OR UNTESTED METHODS PROPOSED BY THE CONTRACTOR.
- ARCHITECT SHALL BE IMMEDIATELY NOTIFIED BY CONTRACTOR OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND APPLICABLE CODES OF GOVERNING BODY HAVING JURISDICTION. IT IS UNDERSTOOD THAT THE 'FIELD INSPECTOR' FOR SUCH AGENCY HAS FINAL AUTHORITY TO APPROVE OR DISAPPROVE PROJECT CONSTRUCTION AND TO ASSESS THE CORRECTNESS OF ALL CODE RELATED ITEMS.
- CONTRACTOR AND APPROPRIATE SUB-CONTRACTORS ARE RESPONSIBLE FOR CONNECTION OF ALL UTILITIES REQUIRED BY THE WORK, BOTH TEMPORARY AND PERMANENT.
- TRADE NAMES AND MANUFACTURERS REFERRED TO IN DRAWINGS AND SPECIFICATIONS INDICATE CHARACTER AND QUALITY STANDARDS OF MATERIALS AND EQUIPMENT TO BE FURNISHED. IF CONTRACTOR WISHES TO SUBSTITUTE MATERIAL OR EQUIPMENT OF EQUAL QUALITY BY ANOTHER MANUFACTURER HE MAY SUBMIT ALTERNATES FOR APPROVAL BY ARCHITECT. APPROVAL OF THESE SUBSTITUTIONS MUST BE OBTAINED BEFORE CONTRACTOR SUBMITS HIS BID.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND ALL SUB-CONTRACTORS TO ORDER MATERIAL, EQUIPMENT AND LABOR SUFFICIENTLY IN ADVANCE SO AS TO INSURE TIMELY CONSTRUCTION SEQUENCE.
- CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE MATERIALS DELIVERED TO SITE. MATERIALS SHALL BE SECURELY STORED, PROTECTED AND KEPT DRY BEFORE INSTALLATION. CONTRACTOR SHALL PROVIDE APPROVED TEMPORARY CONSTRUCTION FENCING AND OTHER SECURITY MEASURES TO PROTECT THE PROJECT DURING CONSTRUCTION.
- CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS ARE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DEFECTIVE EQUIPMENT OR WORK BEFORE FINAL ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL KEEP PREMISES CLEAN AND WELL ORDERED DURING CONSTRUCTION AND SHALL PROVIDE THOROUGH CLEANING PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY OWNER.
- THE WORK SHALL CONFORM TO REQUIREMENTS OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE 'TITLE 24' - ENERGY CONSERVATION REQUIREMENTS AND SHALL BE IN COMPLIANCE WITH 'TITLE 24' BARRIER FREE DESIGN AND AMERICANS WITH DISABILITIES ACT (1910 ADA).
- WALKS, RAMPS AND FLOOR SURFACES SHALL BE SLIP RESISTANT.
- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY THE PHYSICALLY HANDICAPPED.
- ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY THE PHYSICALLY HANDICAPPED SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- FLAME SPREAD CLASSIFICATION FOR INTERIOR WALLS AND CEILING SHALL BE IN ACCORDANCE WITH CBC SECTION 803, TABLES 803.5 - 803.5.5.
- PROVIDE DRAFT STOPS FOR AREAS BETWEEN CEILING AND FLOORS ABOVE SO THAT NO CONCEALED SPACE EXCEEDS 1000 S.F. AND NO HORIZONTAL DIMENSION BETWEEN DRAFT STOPS EXCEEDS 60 FEET.
- ALL GLASS OVER 9 SQUARE FEET IN AREA, WITHIN 18" OF THE FLOOR, OR WITHIN 36 INCHES OF GRADE SHALL BE FULLY TEMPERED. GLAZING WITHIN A 24" ARG OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS 15 LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE TEMPERED. ALSO ALL GLAZING WITHIN OPERABLE DOORS SHALL BE TEMPERED. (CBC SECTION 2406)
- FINISH GRADE SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT (2%) AWAY FROM ANY PORTION OF THE FOUNDATION FOR A DISTANCE OF AT LEAST 3 FEET.
- ALL INCOMING SITE ELECTRICAL, CABLE TV, AND TELEPHONE WIRES SHALL BE INSTALLED BELOW GROUND.
- EXTERIOR LIGHTS SHALL BE IN CONFORMANCE WITH ALL CITY ORDINANCES.
- CLEAN-OUTS INSTALLED UNDER CONCRETE OR ASPHALT PAVING SHALL BE ACCESSIBLE BY YARD BOXES, FLUSH WITH PAVING WITH A BRASS CAP OR OTHER APPROVED MATERIAL WHEN SUBJECT TO VEHICULAR TRAFFIC.
- PROJECT SHALL BE EQUIPPED WITH A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM INCLUDING CONTROLS AND MONITORING SYSTEMS. SYSTEM SHALL BE IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES. SMOKE DETECTORS SHALL BE INCLUDED. SPRINKLER CONTRACTOR SHALL SUBMIT COMPLETE SYSTEM DESIGN DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIALS.
- SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE PREVENTION BUREAU UNDER A SEPARATE PERMIT.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE DISTINCTLY DIFFERENT AND AUTOMATICALLY TRANSMITTED TO AN APPROVED CENTRAL STATION, REMOTE SUPERVISING STATION OR PROPRIETARY SUPERVISING STATION AS DEFINED IN NFPA 72 OR, WHEN APPROVED BY THE FIRE CODE OFFICIAL, SHALL SOUND AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. PER C.B.C. 903.4.1
- CONTRACTOR SHALL BE IMMEDIATELY NOTIFIED BY ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND APPLICABLE CODES OF GOVERNING BODY HAVING JURISDICTION. IT IS UNDERSTOOD THAT THE 'FIELD INSPECTOR' FOR SUCH AGENCY HAS FINAL AUTHORITY TO APPROVE OR DISAPPROVE PROJECT CONSTRUCTION AND TO ASSESS THE CORRECTNESS OF ALL CODE RELATED ITEMS.
- CONTRACTOR AND APPROPRIATE SUB-CONTRACTORS ARE RESPONSIBLE FOR CONNECTION OF ALL UTILITIES REQUIRED BY THE WORK, BOTH TEMPORARY AND PERMANENT.
- TRADE NAMES AND MANUFACTURERS REFERRED TO IN DRAWINGS AND SPECIFICATIONS INDICATE CHARACTER AND QUALITY STANDARDS OF MATERIALS AND EQUIPMENT TO BE FURNISHED. IF CONTRACTOR WISHES TO SUBSTITUTE MATERIAL OR EQUIPMENT OF EQUAL QUALITY BY ANOTHER MANUFACTURER HE MAY SUBMIT ALTERNATES FOR APPROVAL BY ARCHITECT. APPROVAL OF THESE SUBSTITUTIONS MUST BE OBTAINED BEFORE CONTRACTOR SUBMITS HIS BID.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND ALL SUB-CONTRACTORS TO ORDER MATERIAL, EQUIPMENT AND LABOR SUFFICIENTLY IN ADVANCE SO AS TO INSURE TIMELY CONSTRUCTION SEQUENCE.
- CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE MATERIALS DELIVERED TO SITE. MATERIALS SHALL BE SECURELY STORED, PROTECTED AND KEPT DRY BEFORE INSTALLATION. CONTRACTOR SHALL PROVIDE APPROVED TEMPORARY CONSTRUCTION FENCING AND OTHER SECURITY MEASURES TO PROTECT THE PROJECT DURING CONSTRUCTION.
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- CONTRACTOR SHALL KEEP PREMISES CLEAN AND WELL ORDERED DURING CONSTRUCTION AND SHALL PROVIDE THOROUGH CLEANING PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY OWNER.
- THE WORK SHALL CONFORM TO REQUIREMENTS OF THE STATE OF CALIFORNIA ADMINISTRATIVE CODE 'TITLE 24' - ENERGY CONSERVATION REQUIREMENTS AND SHALL BE IN COMPLIANCE WITH 'TITLE 24' BARRIER FREE DESIGN AND AMERICANS WITH DISABILITIES ACT (1910 ADA).
- WALKS, RAMPS AND FLOOR SURFACES SHALL BE SLIP RESISTANT.

ABBREVIATIONS

4...AND	FND...FOUNDATION	FR...PAIR
L...ANGLE	FE...FIRE EXTINGUISHER	PT...POINT
#...AT	FE...FIRE EXTINGUISHER	P.T.D...PAPER TOWEL
#...FOUND OR NUMBER	GABINET	DISPENSER
ACOUS...ACOUSTICAL	F.H.C...FIRE HOSE CAB.	P.T.D./COMB. PAPER
A.D...AREA DRAIN	FIN...FINISH	RECEPTACLE
ADJ...ADJUSTABLE	FL...FLOOR	P.T.R...PAPER TOWEL
AGGR...AGGREGATE	FLASH...FLASHING	R...RISER
AL...ALUMINUM	FLOOR...FLUORESCENT	Q...QUARRY TILE
APPROX...APPROXIMATE	F.O.C...FACE OF CONC.	RAD...RADIUS
ARCH...ARCHITECTURAL	F.O.F...FACE OF FINISH	R.G...ROOF DRAIN
ASB...ASBESTOS	F.O.S...FACE OF STUD	REG...REGISTER
ASPH...ASPHALT	FT...FOOT (OR FEET)	REIN...REINFORCED
BP...BOARDS	FTG...FOOTING	REGD...REQUIRED
BTM...BOTTOM	FURR...FURRING	RESIL...RESILIENT
BLK...BLOCK	FUT...FUTURE	RM...ROOM
BM...BEAM	GA...GAUGE	R.O...ROUGH OPENING
BOT...BOTTOM	GALV...GALVANIZED	R.R...RIPROD
CAB...CABINET	G.B...GRAB BAR	R.U.L...RAIN WATER LEADER
CB...CATCH BASIN	GL...GLASS	S...SOUTH
CEM...CEMENT	GD...GROUND	S.C...SOLID CORE
CR...CERAMIC	GR...GRADE	S.C.H...SOLID CORE
C.I...CAST IRON	GP...GYPSUM	S.C.H.D...SOLID CORE
C.G...CORNER GUARD	H.B...HOSE BIB	SCHED...SCHEDULE
CLS...CEILING	H.C...HOLLOW CORE	S.D...SOAP DISPENSER
CLS...CEILING	H.C...HOLLOW CORE	SECT...SECTION
CLS...CEILING	H.C...HOLLOW CORE	S.F...SQUARE FEET
CLS...CEILING	H.C...HOLLOW CORE	SH...SHOULDER
CLS...CEILING	H.C...HOLLOW CORE	SHR...SHOWER
CLS...CEILING	H.C...HOLLOW CORE	SH...SHEET
CLS...CEILING	H.C...HOLLOW CORE	SIM...SIMILAR
CLS...CEILING	H.C...HOLLOW CORE	S.N.D...SANITARY NAPKIN DISP.
CLS...CEILING	H.C...HOLLOW CORE	S.N.R...SANITARY NAPKIN RECP.
CLS...CEILING	H.C...HOLLOW CORE	SPEC...SPECIFICATION
CLS...CEILING	H.C...HOLLOW CORE	SQ...SQUARE
CLS...CEILING	H.C...HOLLOW CORE	S.S...STAINLESS STEEL
CLS...CEILING	H.C...HOLLOW CORE	S.S.K...SERVICE SINK
CLS...CEILING	H.C...HOLLOW CORE	STN...STATION
CLS...CEILING	H.C...HOLLOW CORE	STD...STANDARD
CLS...CEILING	H.C...HOLLOW CORE	STR...STEEL
CLS...CEILING	H.C...HOLLOW CORE	STRUC...STRUCTURAL
CLS...CEILING	H.C...HOLLOW CORE	SUSP...SUSPENDED
CLS...CEILING	H.C...HOLLOW CORE	SYM...SYMMETRICAL
CLS...CEILING	H.C...HOLLOW CORE	TR...TREAD
CLS...CEILING	H.C...HOLLOW CORE	T.B...TOEEL BAR
CLS...CEILING	H.C...HOLLOW CORE	T.C...TOP OF CURB
CLS...CEILING	H.C...HOLLOW CORE	TEL...TELEPHONE
CLS...CEILING	H.C...HOLLOW CORE	TER...TERRAZZO
CLS...CEILING	H.C...HOLLOW CORE	T.G...TONGUE AND GROOVE
CLS...CEILING	H.C...HOLLOW CORE	THK...THICK
CLS...CEILING	H.C...HOLLOW CORE	T.P...TOP OF PAVEMENT
CLS...CEILING	H.C...HOLLOW CORE	T.P.D...TOILET PAPER
CLS...CEILING	H.C...HOLLOW CORE	DISPENSER
CLS...CEILING	H.C...HOLLOW CORE	T.V...TELEVISION
CLS...CEILING	H.C...HOLLOW CORE	T.J...TOP OF WALL
CLS...CEILING	H.C...HOLLOW CORE	T.T.P...TYPICAL
CLS...CEILING	H.C...HOLLOW CORE	UNF...UNFINISHED
CLS...CEILING	H.C...HOLLOW CORE	UNLESS NOTED
CLS...CEILING	H.C...HOLLOW CORE	UR...URINAL
CLS...CEILING	H.C...HOLLOW CORE	VERT...VERTICAL
CLS...CEILING	H.C...HOLLOW CORE	VEST...VESTIBULE
CLS...CEILING	H.C...HOLLOW CORE	W...WALL
CLS...CEILING	H.C...HOLLOW CORE	W.O...WITHOUT
CLS...CEILING	H.C...HOLLOW CORE	W.P...WATERPROOF
CLS...CEILING	H.C...HOLLOW CORE	M.E.T...MANSKOT
CLS...CEILING	H.C...HOLLOW CORE	WT...WEIGHT

PROJECT INFORMATION:

OWNER: CELEBRATION CELLARS, LLC
33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591
CONTACT: GARY VANDERHOOF
tel: (951) 906-5500

ARCHITECT: WALTER R. ALLEN, AIA
28465 OLD TOWN FRONT STREET, SUITE 201
TEMECULA, CA 92590
tel: (951) 985-0301
CONTACT: CHRISTOPHER CAMPBELL

CIVIL ENGINEER: VENTURA ENGINEERING, LLC
21915 JEFFERSON AVENUE, SUITE J-2291
TEMECULA, CA 92590
tel: (951) 252-7692
fax: (951) 346-5126
CONTACT: WILFREDO VENTURA

PROJECT DESCRIPTION:

LEGAL DESCRIPTION: LOTS 1, 2, & 3 OF TRACT 29915, BOOK 369 OF MAPS, PAGES 44-54, RECORDS OF RIVERSIDE COUNTY, STATE OF CA.

SCOPE OF WORK: PROJECT SHALL CONSIST OF TENANT IMPROVEMENTS FOR THE EXPANSION OF EXISTING KITCHEN OPERATIONS TO A THE EXISTING BARREL STORAGE ROOM, WORK SHALL INCLUDE EXISTING DOOR AND WALL DEMOLITION, NEW PLUMBING FOR KITCHEN EQUIPMENT AND FLOOR SINKS, NEW ELECTRICAL POWER, AND ADDITIONAL LIGHTING.

APN: 94910020

PROJECT ADDRESS: 33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

ZONING: CITRUS VINEYARD - I0

EXISTING USE: EXISTING VINEYARD & STORAGE BUILDING. NO CHANGE TO EXISTING USE IS PROPOSED.

OCCUPANCY: S-1, A-2

CODES: - CALIFORNIA BUILDING CODE 2019 ED.
- CALIFORNIA RESIDENTIAL CODE 2019 ED.
- CALIFORNIA GREEN CODE 2019 ED.
- CALIFORNIA MECHANICAL CODE 2019 ED.
- CALIFORNIA ELECTRICAL CODE 2019 ED.
- CALIFORNIA PLUMBING CODE 2019 ED.
- CALIFORNIA FIRE CODE 2019 ED.

TYPE OF CONSTRUCTION: V-B

SPRINKLERS: FULLY-SPRINKLERED, FIRE ALARM

AREA: 1071 S.F.

STORIES: TWO

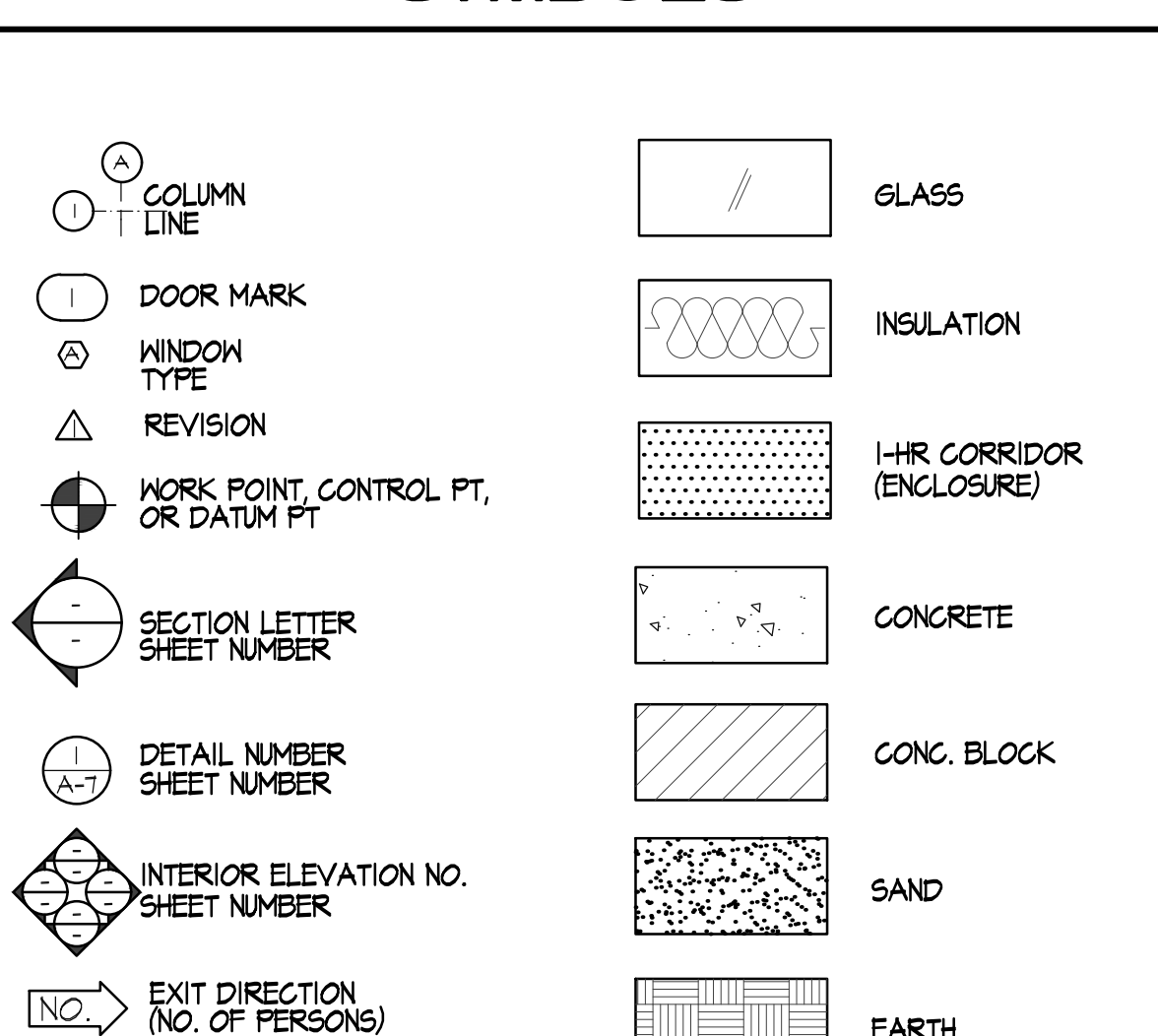
BUILDING HEIGHT: APPROX. 34'-10"

SCHOOL DISTRICT: TEMECULA VALLEY UNIFIED SCHOOL DISTRICT

RELATED CASES: ENR04007 PERMIT APPLICATION 12/24/81
NO. 015648 EXISTING PLAN CHECK 01/10/84
NO. 183805 STRUCTURAL BUILDING PERMIT 06/14/90
NO. 608020 SPECIAL INSPECTION

TENANT IMPROVEMENT PROJECTS ARE SUBJECT TO THE FOLLOWING APPLICABLE REQUIREMENTS OF THE 2016 CALIFORNIA GREEN BUILDING CODE (CGBC):
- 5.305 INDOOR WATER USE
- 5.504 POLLUTANT CONTROL
- 5.506 INDOOR AIR QUALITY DOCUMENTATION VERIFYING COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING CODE (CGBC) AS REQUIRED PER SECTIONS 5.504.4.5.2 AND 5.504.4.6.1 SHALL BE SUBMITTED PRIOR TO REQUESTING A FINAL INSPECTION.

SYMBOLS



INDEX TO DRAWINGS:

ARCHITECTURAL:
t101 SHEET INDEX, PROJECT INFO, ABBREVIATIONS, VICINITY MAP,
t102 TITLE 24 (ADA COMPLIANCE) SHEET, FIRE NOTES,
t103 CAL GREEN MANDATORY REQUIREMENTS, DETAILS;
ex101 FIRST AND SECOND FLOOR EXITING PLANS;
a101 SITE PLAN;
a102 ENLARGED SITE PLAN;
d201 DEMO PLAN;
a201 NEW WALL AND FRAMING PLAN;
a202 EQUIPMENT FLOOR PLAN, FINISHES;
a301 ELEVATIONS;
a302 SECTIONS;
a501 REFLECTED CEILING PLAN;
a501 DETAILS;
a502 DETAILS;

ELECTRICAL:
e001 PROJECT NOTES, SYMBOLS & LEGEND;
e002 LIGHTING FIXTURE SCHEDULE;
e003 TITLE 24;
e004 TITLE 24;
e005 TITLE 24;
e101 ELECTRICAL SITE PLAN;
e201 LIGHTING FLOOR PLAN;
e202 POWER FLOOR PLAN;
e203 ELECTRICAL ROOM PLAN;
e401 SINGLE LINE DIAGRAM;
e401 LIGHTING & MECHANICAL LOADS;

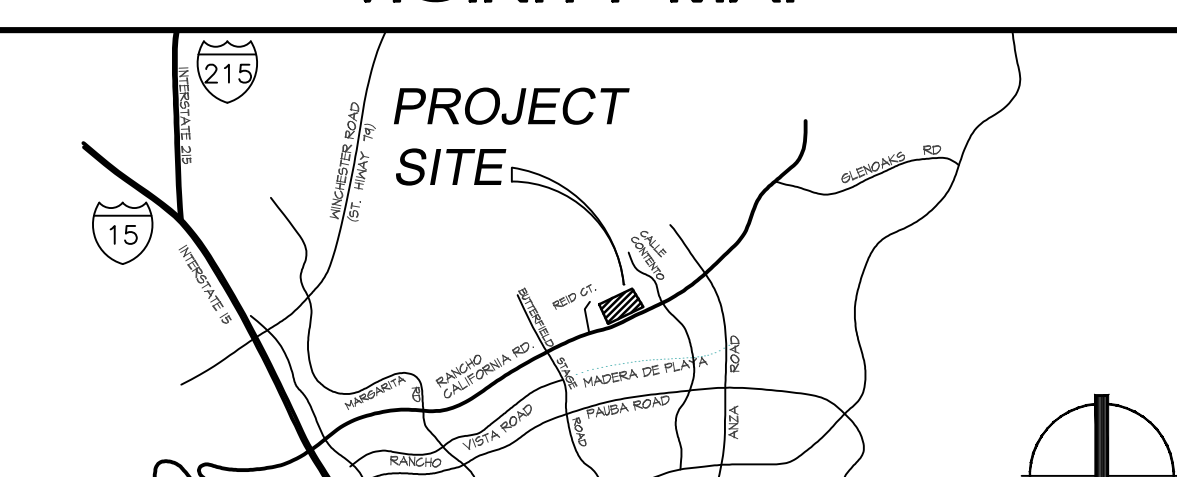
MECHANICAL:
m001 PROJECT NOTES, SYMBOLS & LEGEND;
m002 SCHEDULES;
m003 TITLE 24;
m004 TITLE 24;
m201 MECHANICAL FLOOR PLAN;
m202 MECHANICAL ROOF PLAN;
m401 HOOD PLANS;
m402 HOOD ELEVATIONS;
m501 DETAILS;
m502 DETAILS;

PLUMBING:
p001 PROJECT NOTES, SYMBOLS & LEGEND;
p002 SCHEDULES;
p003 SCHEDULES;
p101 PLUMBING SITE PLAN;
p201 PLUMBING FLOOR PLAN;
p202 PLUMBING FLOOR PLAN;
p203 PLUMBING ROOF PLAN;
p401 SINGLE LINE DIAGRAMS;
p501 DETAILS;
p502 DETAILS;

UTILITY PURVEYORS:

UTILITY	NAME	PHONE
WATER	RANCHO CALIFORNIA WATER DISTRICT	(951) 296-6100
SEWER	EASTERN MUNICIPAL WATER DISTRICT	(951) 928-3777
GAS	N/A - PROPANE	-
ELECTRIC	SOUTHERN CALIFORNIA EDISON	(800) 411-3143
TELEPHONE	VERIZON	(800) 483-3000
TRASH	WASTE MANAGEMENT OF INLAND VALLEY	(800) 423-4166

VICINITY MAP



By	Date	Job Number	Drawing Number
		2207	

t101

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GENERAL FIRE PREVENTION NOTES

- (REVISED 01-01-17)
- ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH TITLE 24, 2016 EDITION.
 - PART 1, CALIFORNIA ADMINISTRATION CODE (CAC)
 - PART 2, CALIFORNIA BUILDING CODE (CBC)
 - PART 3, CALIFORNIA ELECTRICAL CODE (CEC)
 - PART 4, CALIFORNIA MECHANICAL CODE (CMC)
 - PART 5, CALIFORNIA PLUMBING CODE (CPC)
 - PART 9, CALIFORNIA FIRE CODE (CFC)
 - FIRE DEPARTMENT INSPECTIONS ARE REQUIRED. SCHEDULE ALL INSPECTIONS 4 DAYS IN ADVANCE.
 - THIS PLAN REVIEW OR APPROVAL ENCOMPASSES THE TENANT IMPROVEMENT PLANS ONLY. FIRE SPRINKLER SYSTEM(S), ALARM SYSTEM(S), HOOD SYSTEM(S), UNDERGROUND FIRE LINES OR ANY OTHER FIRE PROTECTION SYSTEM OR REQUIRED FIRE DEPARTMENT PERMIT(S), REQUIRES A SEPARATE PLAN SUBMITTAL AND ARE NOT ENCOMPASSED IN THIS PLAN REVIEW OR APPROVAL. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK. CFC, CHAPTER 9, SECTION 901.2
 - PROVIDE 6" INCH HIGH WITH MINIMUM STROKE WIDTH OF 0.75" INCH ADDRESS NUMERALS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. CFC CHAPTER 5 SECTION 505.1
 - IF ADDITIONS OF WALLS AND/OR OTHER TENANT IMPROVEMENTS OBSTRUCT OR EFFECT COVERAGE OR PERFORMANCE OF THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM AND/OR IF ANY MODIFICATIONS TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM IS NECESSARY, FIRE SPRINKLER, FIRE ALARM TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED TO THE CITY OF TEMECULA - FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION OR ALTERATIONS. NFPA 13 4.12 2016 EDITION
 - EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT. CFC CHAPTER 10, SECTION 1004.3
 - SIGNAGE ABOVE MAIN EXIT DOORS WITH ONE-INCH LETTERS IS TO READ, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". CFC CHAPTER 10, SECTION 1008.1.4.3
 - PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED PER CFC CHAPTER 9, SECTION 906.
 - NEW TENANT SPACES AND NEW OCCUPANCY BUILDINGS SHALL REQUIRE ALARM NOTIFICATION DEVICES. FOR MULTI-TENANT BUILDINGS AN ALARM NOTIFICATION DEVICE SHALL BE PLACED IN EACH SUITE. FOR EXISTING BUILDINGS WITH NEW TENANTS AN ALARM NOTIFICATION DEVICE SHALL BE REQUIRED IN EACH TENANT SPACE FOR EXISTING BUILDINGS THAT ARE NOT EQUIPPED WITH A FIRE ALARM SYSTEM OR SPRINKLER MONITORING SYSTEM. NEW TENANTS OR OWNERS SHALL BE REQUIRED TO INSTALL THE APPROPRIATE TYPE OF ALARM SYSTEM.
 - STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE OR COMPRESSED GASES, OR ANY OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH CALIFORNIA FIRE CODE REGULATIONS. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE CITY OF TEMECULA - FIRE DEPARTMENT PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS. CFC CHAPTERS 50-67 APPENDIX CHAPTER 1
 - ALL BUILDING(S) SHALL BE APPROVED FOR HIGH-PILED STORAGE. HIGH-PILED STORAGE SHALL BE APPROVED BY THE CITY OF TEMECULA - FIRE DEPARTMENT PRIOR TO MATERIALS BEING STORED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH-PILED STORAGE. CFC CHAPTER 32
 - DUCT DETECTORS IN INDIVIDUAL TENANT SPACES OF MULTI-TENANT BUILDINGS SHALL BE POWERED FROM THE MAIN BUILDING FIRE ALARM POWER SUPPLY.
 - WHERE IN DUCT SMOKE DETECTORS ARE INSTALLED MORE THAN 10 FEET ABOVE THE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTOR'S ALARM OR SUPERVISORY INDICATOR IS NOT VISIBLE TO RESPONDING PERSONNEL, THE DETECTORS SHALL BE PROVIDED WITH REMOTE ALARM OR SUPERVISORY INDICATION IN A LOCATION ACCEPTABLE TO THE A.H.J. NFPA 72, 2016 EDITION, SECTION 23.8.5.4.6
 - BUILDING ACCESS AND/OR GATE ACCESS IS REQUIRED. PROVIDE A KNOX BOX AT THE FOLLOWING LOCATION:
 - *FIRE SPRINKLER RISER ROOM

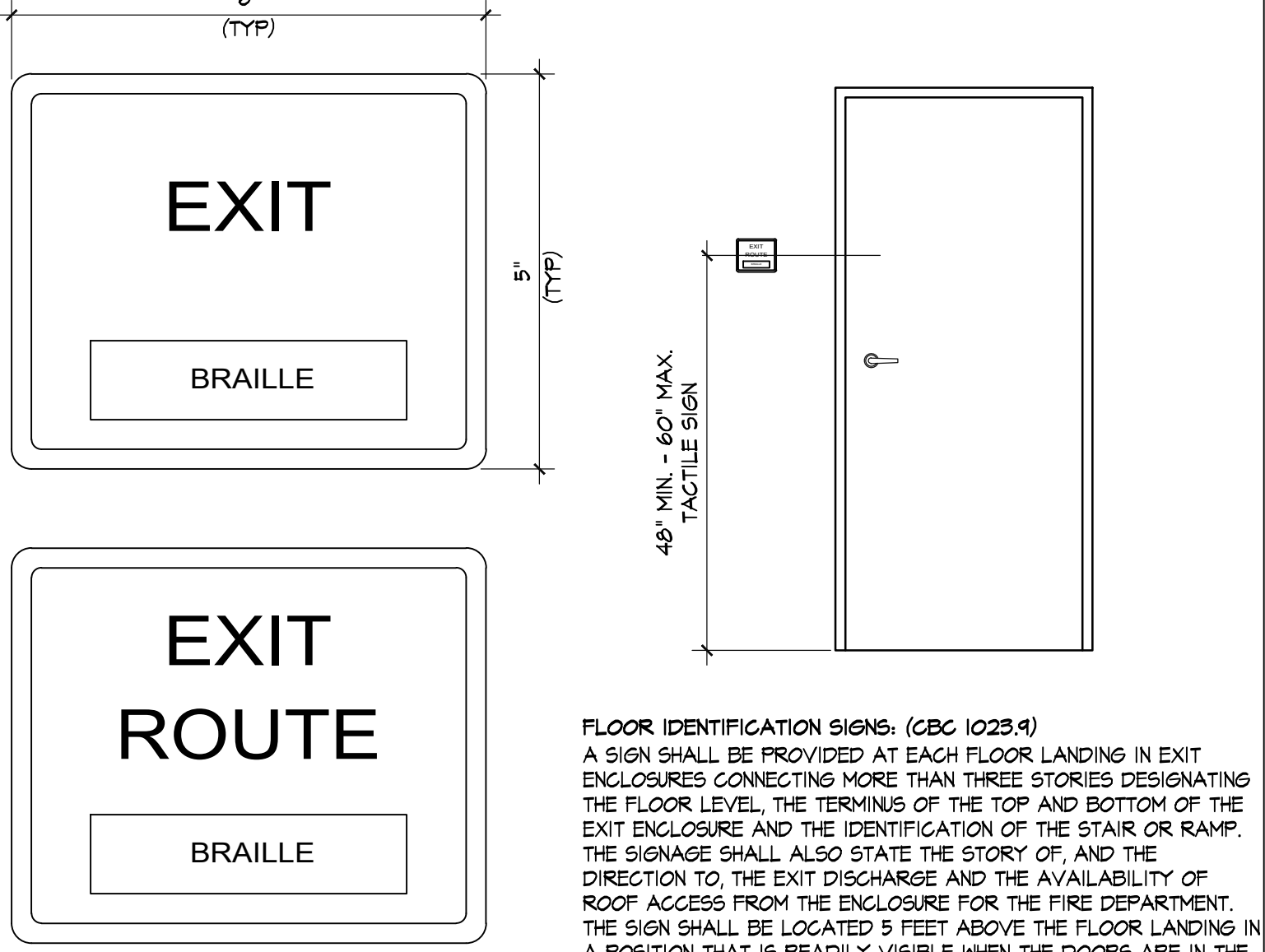
NOTE:
FIRE ALARM AND SPRINKLERS

PRIOR TO ISSUANCE OF A "CERTIFICATE OF OCCUPANCY" ALL REQUIRED ENERGY ACCEPTANCE TEST FORMS SHALL BE SUBMITTED TO THE ENFORCEMENT AGENCY. THE FOLLOWING ACCEPTANCE TEST(S) ARE REQUIRED FOR THIS PROJECT:

- NONE, ALL SYSTEMS EXIST, LIMITED ALTERATION

ACCESSIBILITY STANDARDS

- TACTILE EXIT SIGNAGE (CBC 1013)**
- TACTILE SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
- EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT."
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - A. "EXIT STAIR DOWN"
 - B. "EXIT RAMP DOWN"
 - C. "EXIT STAIR UP"
 - D. "EXIT RAMP UP"
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF AN EXIT PASSAGEWAY, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE."
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A SIGN WITH THE WORDS, "TO EXIT."



FLOOR IDENTIFICATION SIGNS (CBC 1023.9)

A SIGN SHALL BE PROVIDED AT EACH FLOOR LANDING IN EXIT ENCLOSURES CONNECTING MORE THAN THREE STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP AND BOTTOM OF THE EXIT ENCLOSURE AND THE IDENTIFICATION OF THE STAIR OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FROM THE ENCLOSURE FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET ABOVE THE FLOOR LANDING IN A POSITION THAT IS READILY VISIBLE WHEN THE DOORS ARE IN THE OPEN AND CLOSED POSITIONS.

TACTILE SIGNS

TACTILE FLOOR IDENTIFICATION SIGNS (COMPLYING WITH SECTION 11B-703.6) SHALL BE LOCATED AT THE LANDING OF EACH FLOOR LEVEL, PLACED ADJACENT TO THE DOOR ON THE LATCH SIDE, IN ALL ENCLOSED STAIRWAYS IN BUILDINGS TWO OR MORE STORIES IN HEIGHT TO IDENTIFY THE FLOOR LEVEL. AT THE EXIT DISCHARGE LEVEL, THE SIGN SHALL INCLUDE A RAISED FIVE-POINTED STAR LOCATED TO THE LEFT OF THE IDENTIFYING FLOOR LEVEL. CBC 1022.8

GENERAL STAIR REQUIREMENTS (CBC 11B-504)

INTERIOR:
STAIR TREADS SHALL BE MARKED WITH A SLIP-RESISTANT MATERIAL AT THE UPPER APPROACH AND THE LOWER TREAD OF EACH STAIRWAY BY A STRIP OF CLEARLY COLOR. IT SHALL BE BETWEEN 2" AND 4" WIDE AND SHALL BE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP.

EXTERIOR:
THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED WITH A STRIP PROVIDING CLEAR VISUAL CONTRAST AS FOLLOWS: IT SHALL BE GREATER THAN OR EQUAL TO 2" IN WIDTH, PLACED PARALLEL TO AND LESS THAN OR EQUAL TO 1" FROM THE NOSE OF THE STEP, AND THE STRIP SHALL BE AS SLIP RESISTANT AS THE TREADS OF THE STAIRS. TREADS SHALL BE SMOOTH, ROUNDED, OR CHAMFERED AT THE FORWARD EDGE OF THE NOSING. THE NOSING SHALL HAVE NO ABRUPT EDGE PROJECTING PAST THE FACE OF THE RISER(S) ABOVE. OPEN RISERS ARE NOT ALLOWED.

IN OTHER THAN DWELLING UNITS

TOILET ROOM FLOORS SHALL HAVE A SMOOTH HARD, NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE, OR OTHER APPROVED MATERIAL WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 4 INCHES. WALLS WITHIN WATER CLOSET COMPARTMENTS AND HALLS WITHIN 24 INCHES OF THE FRONT AND SIDES OF URINALS SHALL BE SIMILARLY FINISHED TO A HEIGHT OF 48 INCHES AND, EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE (SEE INTERIOR ELEVATIONS). CBC 1210.1 & 1210.2

TACTILE SIGNAGE (11B-703)

RAISED CHARACTERS AND PICTORIAL SYMBOL SIGNS. WHEN RAISED CHARACTERS ARE REQUIRED OR WHEN PICTORIAL SYMBOLS (PICTOGRAMS) ARE USED ON SUCH SIGNS, THEY SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- CHARACTER TYPE. CHARACTERS ON SIGNS SHALL BE RAISED 1/32 INCH (0.794 MM) MINIMUM AND SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY CONTRACTED (GRADE 2) BRAILLE COMPLYING WITH SECTION 11B7.5.6.
- CHARACTER SIZE. RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8 INCH (15.9 MM) AND A MAXIMUM OF 2 INCHES (51 MM) HIGH.
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS). PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6 INCHES (152 MM) IN HEIGHT.
- CHARACTER PLACEMENT. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM OF 3/8 INCH (9.5 MM) AND A MAXIMUM OF 1/2 INCH (12.7 MM) DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED. WHEN TACTILE TEXT IS MULTILINED, ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT.

CONTRACTED (GRADE 2) BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54 MM) ON CENTER IN EACH CELL WITH 2/10-INCH (5.08 MM) SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635 MM) ABOVE THE BACKGROUND. BRAILLE DOTS SHALL BE DOMED OR ROUNDED.

MOUNTING LOCATION AND HEIGHT. WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.

WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.

MOUNTING HEIGHT SHALL BE A MINIMUM OR 58 INCHES (1473 MM) AND MAXIMUM 60 INCHES (1524 MM) ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.

SIGNAGE SHALL BE MOUNTED WITHIN 1 INCH OF VERTICAL CENTERLINE OF DOOR.

SIGNAGE WITH ROUNDED OR EASED EDGES AT A MINIMUM 1/16-INCH RADIUS OR CHAMFERED EDGES WITH MINIMUM 1/8-INCH RADIUS. VERTICES WITH A MINIMUM 1/8-INCH RADIUS AND MAXIMUM 1/4-INCH RADIUS.

SEE ALSO SECTION 11B-703.1.2.6 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES.

PLACEMENT OF SIGNAGE AT SANITARY FACILITIES: (11B-703.1.2.6)

IDENTIFICATION SYMBOLS, DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL IN COMPLIANCE WITH THIS SECTION. GEOMETRIC SYMBOLS SHALL BE CENTERED HORIZONTALLY ON THE DOOR AT A HEIGHT OF 58-60 INCHES (1524 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE CENTER OF THE SYMBOL. EDGES OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED. CORNERS OF SIGNS SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH (3.2 MM). SEE SECTION 11B-703.1.2.6, ITEM 1 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES.

703.1.2.6.1 MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, 1/4 INCH (6.4 MM) THICK WITH EDGES 12 INCHES (305 MM) LONG AND A VERTEX POINTING UPWARD. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

703.1.2.6.2 WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

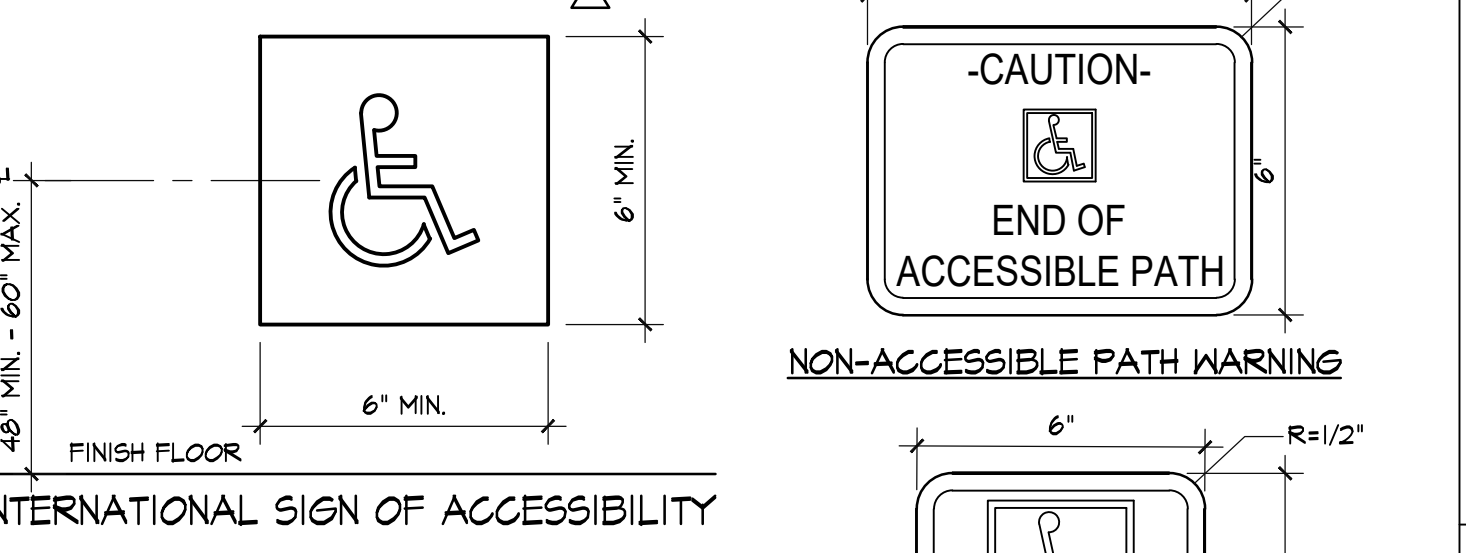
703.1.2.6.3 UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH (6.4 MM) THICK AND 12 INCHES (305 MM) IN DIAMETER WITH A 1/4 INCH (6.4 MM) THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH (305 MM) DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.

PLACEMENT OF SIGNAGE FOR ROOMS & SPACES: (11B-703)

MOUNTING LOCATION AND HEIGHT. WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.

WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE EXITS THE ROOM OR SPACE.

MOUNTING HEIGHT SHALL BE 48 INCHES MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60 INCHES (1524 MM) MAX. ABOVE THE FINISH FLOOR TO THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.



INTERNATIONAL SIGN OF ACCESSIBILITY

NOTE: REFERENCE NOTES & DIAGRAM ABOVE FOR SIGN MOUNTING HEIGHTS, CLEARANCES, AND CHARACTER REQUIREMENTS.

ACCESSIBLE SIGNAGE (CBC 11B-703.1.2)

THE FOLLOWING ELEMENTS AND SPACES OF ACCESSIBLE FACILITIES SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THIS SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NUMBER 15090 IN FEDERAL STANDARD 545B. PLACE THE SIGN IN SUCH LOCATIONS AS:

- ACCESSIBLE PARKING SPACES, EXCEPT WHERE THE TOTAL PARKING SPACES PROVIDED ARE 5 OR LESS.
- ACCESSIBLE AREAS OF REFUGE.
- ACCESSIBLE PASSENGER LOADING ZONES.

GENERAL CONSIDERATIONS

THE FOLLOWING STANDARDS FOR BARRIER FREE DESIGN SHALL BE INCORPORATED INTO THE PROJECT SITE AND BUILDING AS DESCRIBED BY THE 2016 CALIFORNIA BUILDING CODE (TITLE 24 & CALIFORNIA CODE OF REGULATIONS), AMERICANS WITH DISABILITIES ACT (ADA) WITH CABO/VANSI. SECTIONS AND DIAGRAMS ARE PROVIDED FOR QUICK REFERENCE INTERPRETATION OF THESE CODES AND REGULATIONS AND INTENDED ONLY AS AN AID FOR CONSTRUCTION.

PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES. CBC, 421.11(A)

PAINTS, COATINGS, STAINS, OR OTHER SURFACE TREATMENTS ARE NOT ACCEPTABLE MEANS OF COMPLIANCE WITH ANY WILDFIRE-RESISTIVE CONSTRUCTION REQUIREMENT. CBC, 421.103.4

PLUMBING NOTES

MAXIMUM FLUSH VOLUMES AND FLOW RATINGS: FAUCETS - 2.2 GPM (SINKS & LAVS), 1.6 GPM (WATER CLOSETS). SHALL BE MARKED WITH THESE FLOW RATINGS AND CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB-FT. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. TOILET SEATS SHALL NOT SPRING TO RETURN TO A LIFTED POSITION. STRUCTURAL ADEQUACY OF GRAB BARS, MOUNTING HARDWARE, AND FASTENERS MUST ACCOMMODATE 250 LB-FT POINT LOAD WHEN APPLIED TO ANY POINT ON THE GRAB BAR, FASTENER, MOUNTING DEVICE, OR SUPPORTING STRUCTURE. CBC, 11B-606.4 - 11B-3091 11B-604.8

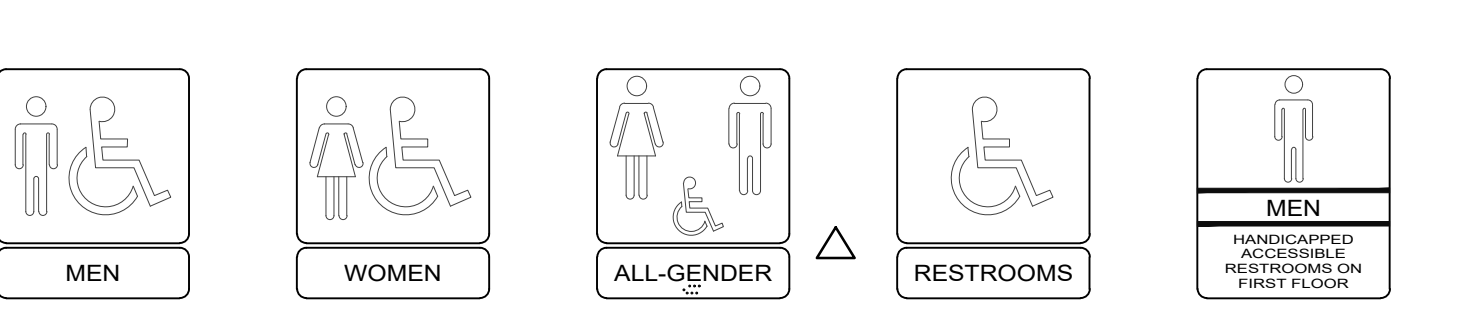
ELECTRICAL NOTES CBC: 11B-308.11/2

ELECTRICAL SWITCHES: CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.

ELECTRICAL RECEPTACLE OUTLETS: ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.

EXCEPTIONS:

- RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT.
- REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS.
- BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, WINDOW WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.
- THIS SECTION SHALL NOT APPLY TO EXISTING BLDGS. WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP.



WALL - SIGNAGE (TYP)

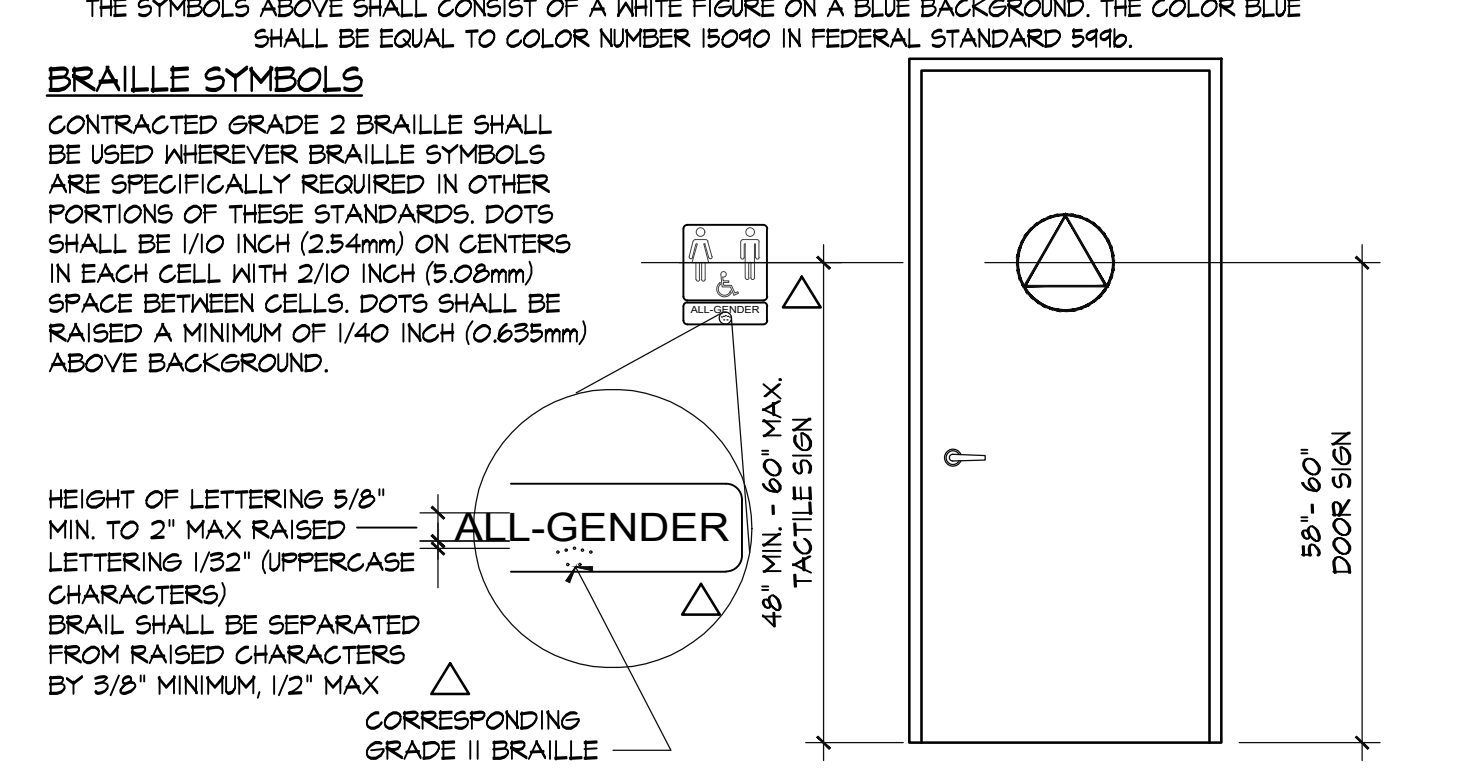
DOOR MOUNTED SIGNAGE (TYP)

NOTE: PICTOGRAMS AND / OR LETTERING ARE NOT REQUIRED ON DOOR - MOUNTED SIGNAGE

THE SYMBOLS ABOVE SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL BE EQUAL TO COLOR NUMBER 15090 IN FEDERAL STANDARD 545B.

BRAILLE SYMBOLS

CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54mm) ON CENTERS IN EACH CELL WITH 2/10 INCH (5.08mm) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635mm) ABOVE BACKGROUND.



DOOR HARDWARE

11B-404.2.1 HAND-ACTIVATED DOOR LATCHING, LOCKING HAND-ACTIVATED DOOR HARDWARE AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 34 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE CONSISTENT AS ABOVE IN THE DIRECTION OF EGRESS.

1010.1.3 DOOR OPENING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS (22 N). FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND (67 N) FORCE. THE DOOR SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30-POUND (133 N) FORCE. THE DOOR SHALL SWING TO A FULL-OPEN POSITION WHEN SUBJECTED TO A 15-POUND (67 N) FORCE.

1010.1.3.1 LOCATION OF APPLIED FORCES. FORCES SHALL BE APPLIED TO THE LATCH SIDE OF THE DOOR. THE MAXIMUM FORCE REQUIRED TO PUSH OR PULL OPEN A DOOR SHALL COMPLY WITH THIS SECTION. PUSH OR PULL FORCE FOR A HINGED DOOR SHALL BE MEASURED PERPENDICULAR TO THE DOOR FACE AT THE DOOR OPENING HARDWARE OR 30 INCHES (762 MM) FROM THE HINGED SIDE, WHICHEVER IS FARTHER FROM THE HINGE. PUSH OR PULL FORCE FOR A SLIDING OR FOLDING DOOR SHALL BE MEASURED PARALLEL TO THE DOOR AT THE DOOR PULL OR LATCH. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS COMPLYING WITH SECTION 11B-404.3 MAY BE USED TO MEET THE MAXIMUM FORCE LIMITS.

1010.1.3.2 LOCKS AND LATCHES. LOCKS AND LATCHES SHALL BE PERMITTED TO PREVENT OPERATION OF DOORS WHERE ANY OF THE FOLLOWING EXISTS:

REFER TO DOOR SCHEDULE FOR EXCEPTIONS APPLIED

- PLACES OF DETENTION OR RESTRAINT.
- IN BUILDINGS IN OCCUPANCY GROUP A HAVING AN OCCUPANT LOAD OF 300 OR LESS, GROUPS B, F, M AND S, AND IN PLACES OF RELIGIOUS WORSHIP, THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED:
 - THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED.
 - A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS ONE INCH HIGH ON A CONTRASTING BACKGROUND.
 - THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.

3. WHERE EGRESS DOORS ARE USED IN PAIRS, APPROVED AUTOMATIC FLUSH BOLTS SHALL BE PERMITTED TO BE USED, PROVIDED THAT THE DOOR LEAF HAVING THE AUTOMATIC FLUSH FLUSH BOLTS HAS NO DOORKNOB OR SURFACE-MOUNTED HARDWARE.

4. DOORS FROM INDIVIDUAL DWELLING OR SLEEPING UNITS OF GROUP R OCCUPANCIES HAVING AN OCCUPANT LOAD OF 10 OR LESS ARE PERMITTED TO BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN, PROVIDED SUCH DEVICES ARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR TOOL.

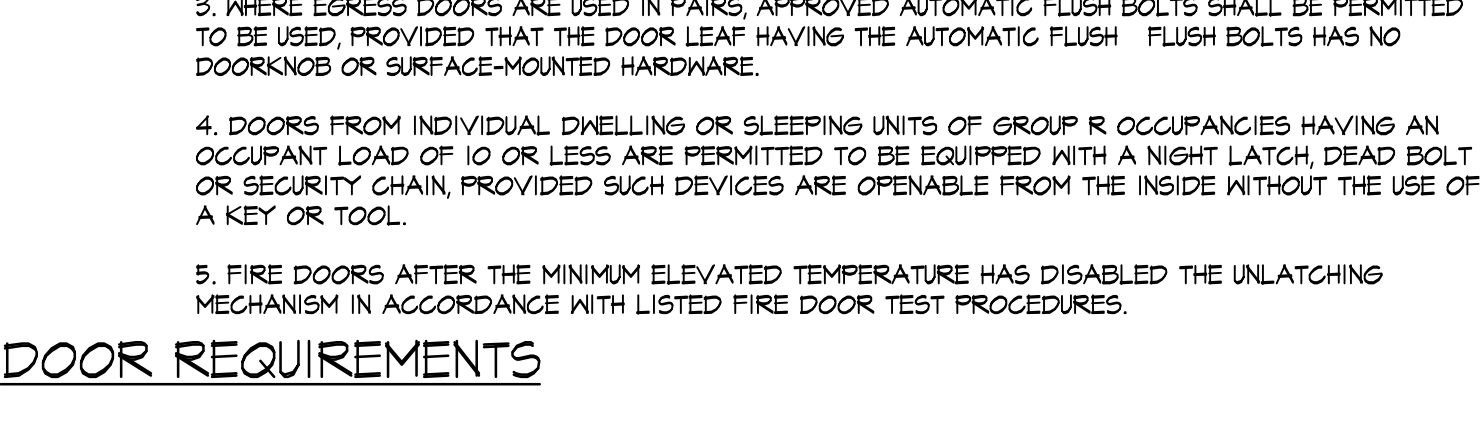
5. FIRE DOORS AFTER THE MINIMUM ELEVATED TEMPERATURE HAS DISABLED THE UNLATCHING MECHANISM IN ACCORDANCE WITH LISTED FIRE DOOR TEST PROCEDURES.

DOOR REQUIREMENTS

1. REQUIRED FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBIF (667 N).

2. OTHER THAN REQUIRED FIRE DOORS, INTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 LB (22.2 N).

3. OTHER THAN REQUIRED FIRE DOORS, EXTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 LB (22.2 N).



DOOR APPROACH SECTION

DOOR CONSTRUCTION ELEVATION

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Old Town Temecula

rqtex

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DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 11/12/22

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

MIRAMONTE KITCHEN

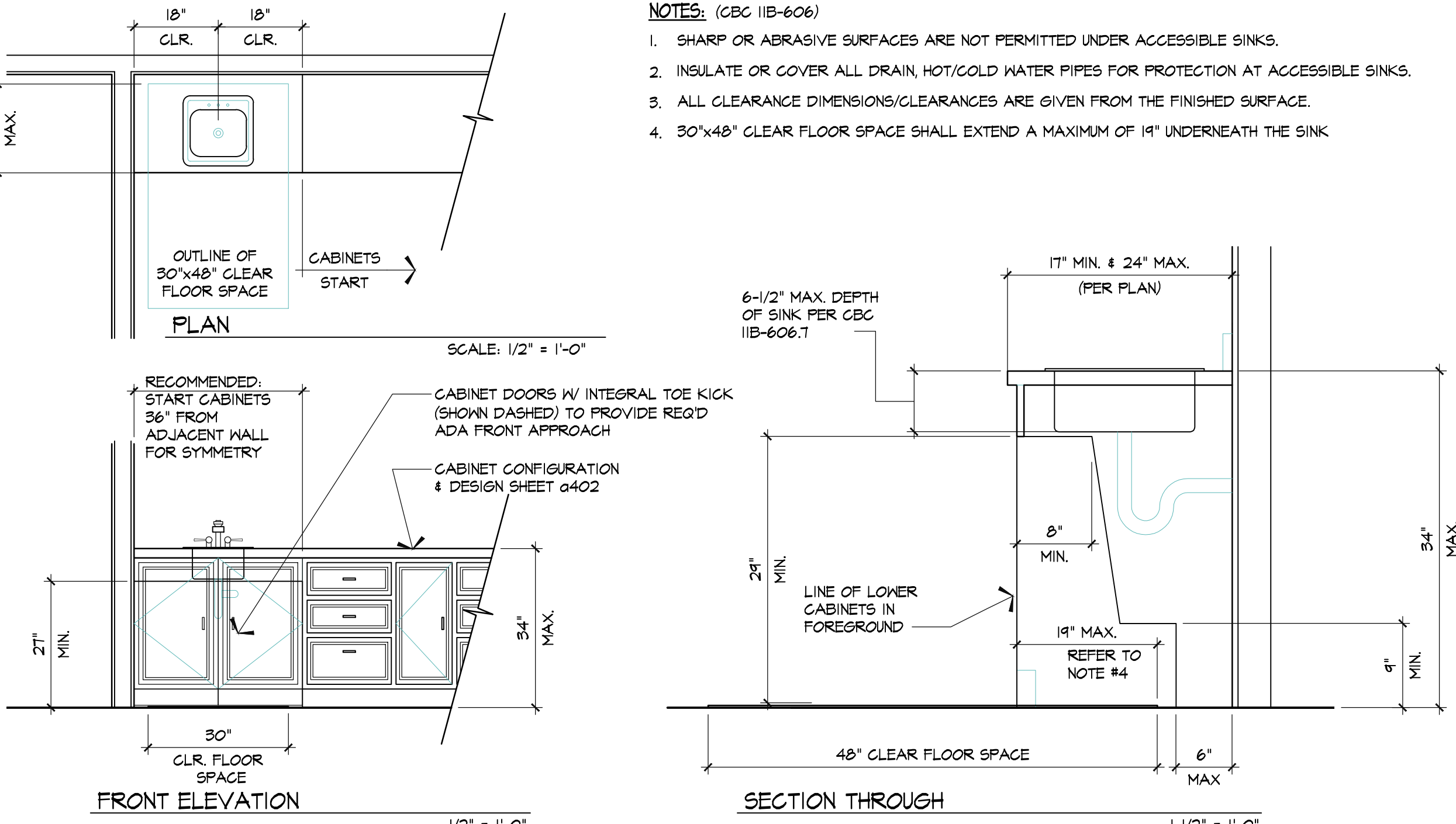
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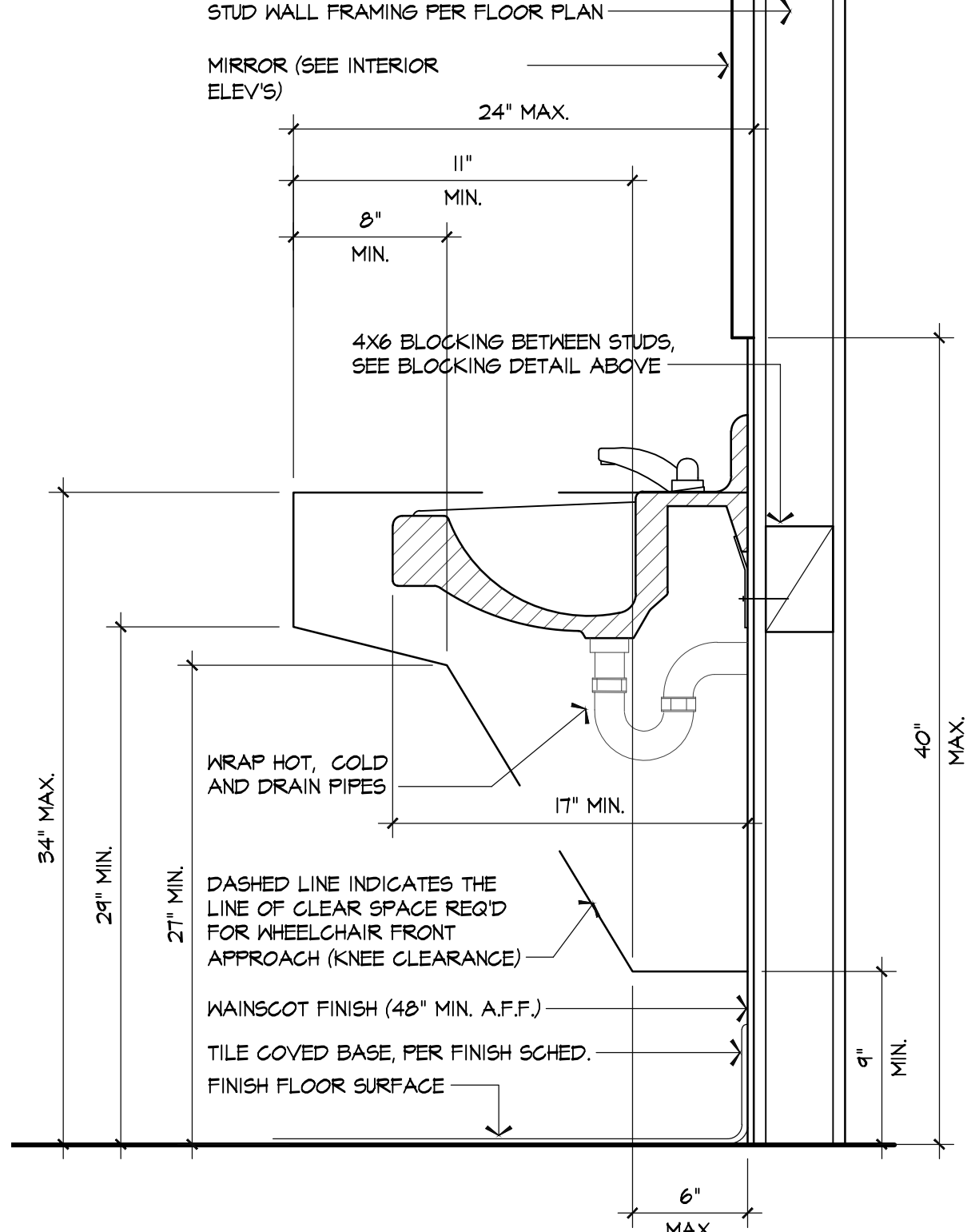
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NOTES: (CBC 11B-606)

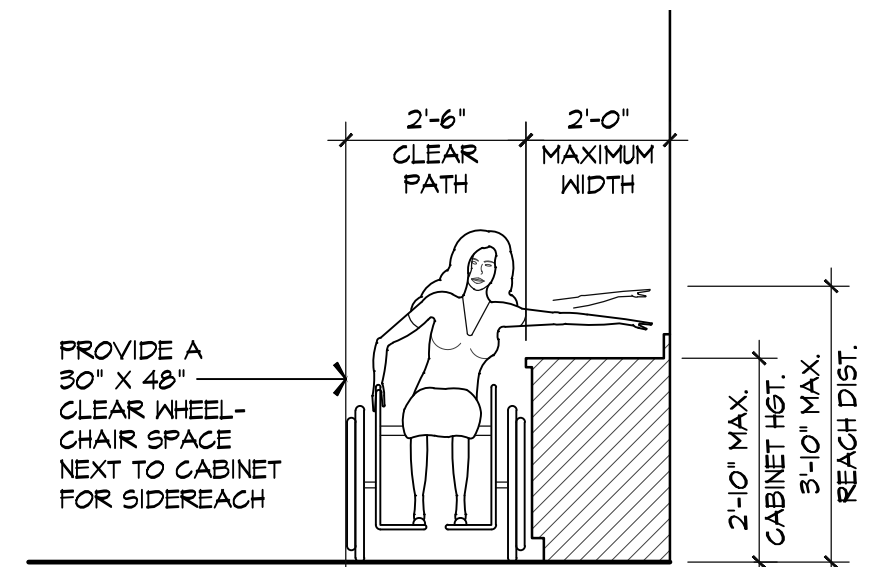
1. SHARP OR ABRASIVE SURFACES ARE NOT PERMITTED UNDER ACCESSIBLE SINKS.
2. INSULATE OR COVER ALL DRAIN, HOT/COLD WATER PIPES FOR PROTECTION AT ACCESSIBLE SINKS.
3. ALL CLEARANCE DIMENSIONS/CLEARANCES ARE GIVEN FROM THE FINISHED SURFACE.
4. 30"x48" CLEAR FLOOR SPACE SHALL EXTEND A MAXIMUM OF 19" UNDERNEATH THE SINK



1 WALL-HUNG LAVATORY SINK
(WHERE APPLICABLE)
1-1/2" = 1'-0"

NOTES:

1. REFER TO THIS SHEET FOR MOUNTING HEIGHTS, CLEARANCES, GENERAL REQUIREMENTS AND DIMENSIONS AT RESTROOM FIXTURES
2. REFER TO DETAIL 3 ON THIS SHEET FOR KNEE CLEARANCES REQUIRED FOR SINKS AT COUNTERTOPS



2 SIDE REACH OVER OBSTRUCTION
TYPICAL @ CABINETS
3/8" = 1'-0"

SECTION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

5.410 BUILDING MAINTENANCE AND OPERATION
5.410.4 TESTING AND ADJUSTING, TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.101) SHALL BE REQUIRED.
5.410.4.2 SYSTEMS, CONTRACTOR SHALL DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE, AS APPLICABLE TO THE PROJECT:
1. HVAC SYSTEMS AND CONTROLS
2. INDOOR AND OUTDOOR LIGHTING AND CONTROLS
3. WATER HEATING SYSTEMS
4. RENEWABLE ENERGY SYSTEMS
5. LANDSCAPE IRRIGATION SYSTEMS
6. WATER REUSE SYSTEMS
5.410.4.3 PROCEDURES, CONTRACTOR SHALL PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.
5.410.4.3.1 HVAC BALANCING, IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
5.410.4.4 REPORTING, AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, CONTRACTOR SHALL PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
5.410.4.5 OPERATION AND MAINTENANCE (OM) MANUAL, CONTRACTOR SHALL PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM. OM INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 9142, AND OTHER RELATED REGULATIONS.
5.410.4.5.1 INSPECTIONS AND REPORTS, INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.

SECTION 5.5 ENVIRONMENTAL QUALITY

5.504 POLLUTANT CONTROL
5.504.1.5 TEMPORARY VENTILATION, THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION ADDITIONS OR AREAS OF ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1994, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.
5.504.1.5 COVERING OF DUCT OPENINGS OF MECHANICAL EQUIPMENT DURING CONSTRUCTION, IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.
5.504.3 FINISH MATERIAL POLLUTANT CONTROL
5.504.4.1 ADHESIVES, SEALANTS AND CAULKS, ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:
1. ADHESIVES, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE, AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW.
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE OUNCE AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94807.
5.504.4.5 PAINTS AND COATINGS, ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3 IN DIVISION 5.5, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3, SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21.4.36 AND 4.31 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 OF THE 2010 CAL GREEN CODE SHALL APPLY.
5.504.4.5.1 AEROSOL PAINTS AND COATINGS, AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROG IN SECTION 94522(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(G)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE 44.

5.504.4.5.2 VERIFICATION,

SEE DOCUMENTATION: CALGREEN STD. BEC-551, BEC-552, BEC-553, BEC-554
5.504.4.4 CARPET SYSTEMS, ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
3. NFPA/ANSI 140 AT THE GOLD LEVEL OR HIGHER
4. SCIENTIFIC CERTIFICATIONS SYSTEMS SUSTAINABLE CHOICE
5.504.4.4.1 CARPET CUSHION, ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM.
5.114.4.4.2 CARPET ADHESIVE, ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4.1 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE.
5.504.4.5 COMPOSITE WOOD PRODUCTS, HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN AREAS AIR QUALITY CONTROL MEASURE FOR COMPOSITE WOOD (1) CCR 93.20 ET SEQ), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 5.504.4.5 IN DIVISION 5.5 OF THE 2010 CAL GREEN CODE.
5.504.4.5.3 DOCUMENTATION, **SEE DOCUMENTATION: CALGREEN STD. BEC-551, BEC-552, BEC-553, BEC-554**
5.504.4.6 RESILIENT FLOORING SYSTEMS, FOR 50 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING, INSTALL RESILIENT FLOORING COMPLYING WITH THE VOC-EMISSION LIMITS DEFINED IN THE 2009 COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) CRITERIA AND LISTED ON ITS HIGH PERFORMANCE DATABASE, PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOLS PROGRAM, CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM, OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).
5.504.4.6.1 VERIFICATION OF COMPLIANCE.

5.114.5 HAZARDOUS PARTICULATES AND CHEMICAL POLLUTANTS,

MINIMIZE AND CONTROL POLLUTANT ENTRY INTO BUILDINGS AND CROSS-CONTAMINATION OF REGULARLY OCCUPIED AREAS.
5.504.5.5 FILTERS, IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR THAT PROVIDES AT LEAST A MINIMUM EFFICIENCY REPORTING VALUE (MERV) 8. MERV 8 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL.
EXCEPTION: AN ASHRAE 10-PERCENT TO 15-PERCENT EFFICIENCY FILTER SHALL BE PERMITTED FOR AN HVAC UNIT MEETING THE 2013 CALIFORNIA ENERGY CODE HAVING 60,000 BTU/H OR LESS CAPACITY PER FAN COIL, IF THE ENERGY USE OF THE AIR DELIVERY SYSTEM IS 0.4 WCFM OR LESS AT DESIGN AIR FLOW, EXISTING MECHANICAL EQUIPMENT.

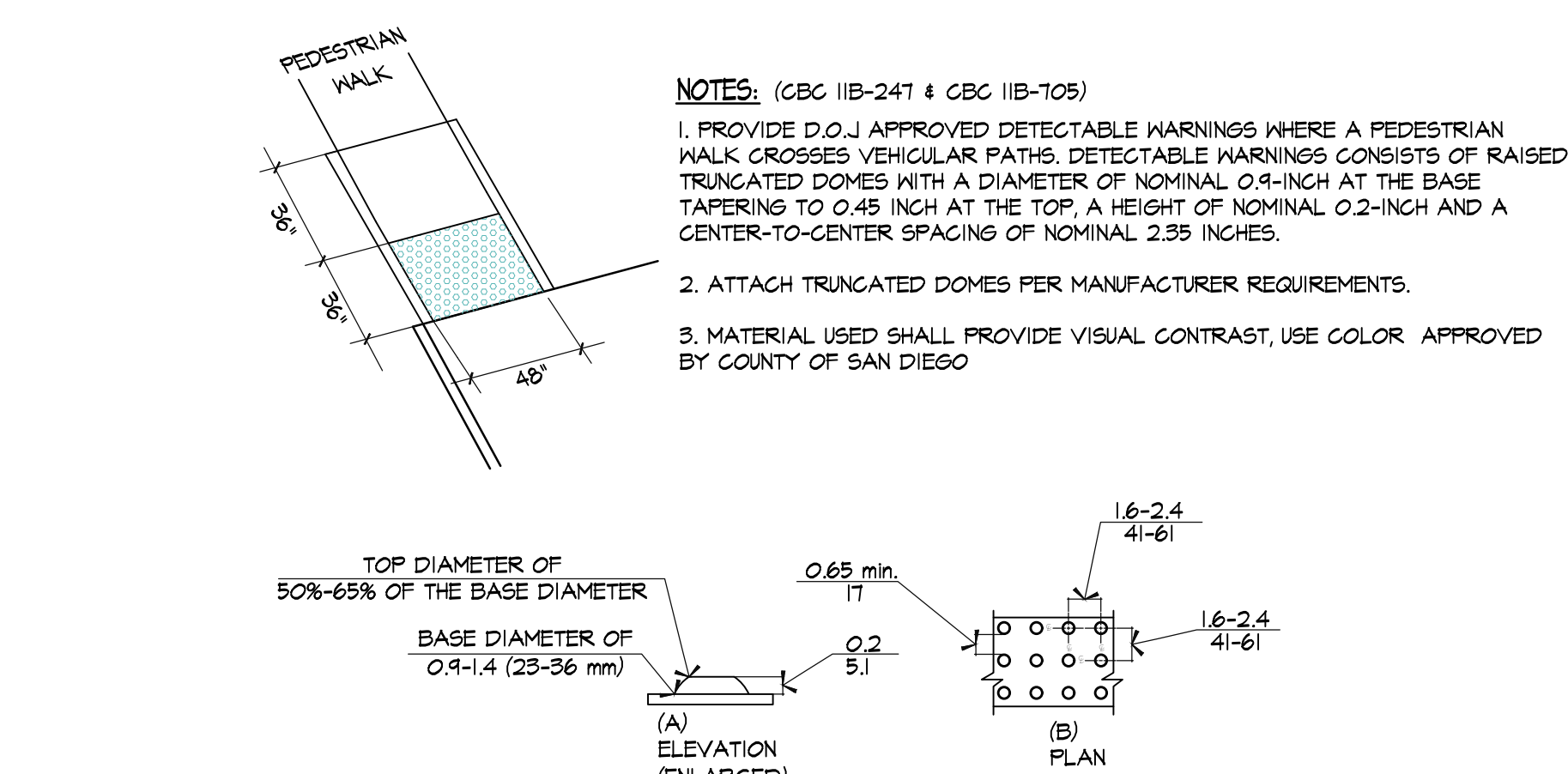
5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL

WHERE OUTDOOR AREAS ARE PROVIDED FOR SMOKING, PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR AIR INTAKES AND OPERABLE WINDOWS AND WITHIN THE BUILDING AS ALREADY PROHIBITED BY OTHER LAWS OR REGULATIONS, OR AS ENFORCED BY ORDINANCES, REGULATIONS OR POLICIES OF ANY CITY, COUNTY, CITY AND COUNTY, CALIFORNIA COMMUNITY COLLEGE, CAMPUS OF THE CALIFORNIA STATE UNIVERSITY, OR CAMPUS OF THE UNIVERSITY OF CALIFORNIA, WHICHEVER ARE MORE STRINGENT. WHEN ORDINANCES, REGULATIONS OR POLICIES ARE NOT IN PLACE, POST SIGNAGE TO INFORM BUILDING OCCUPANTS OF THE PROHIBITION.

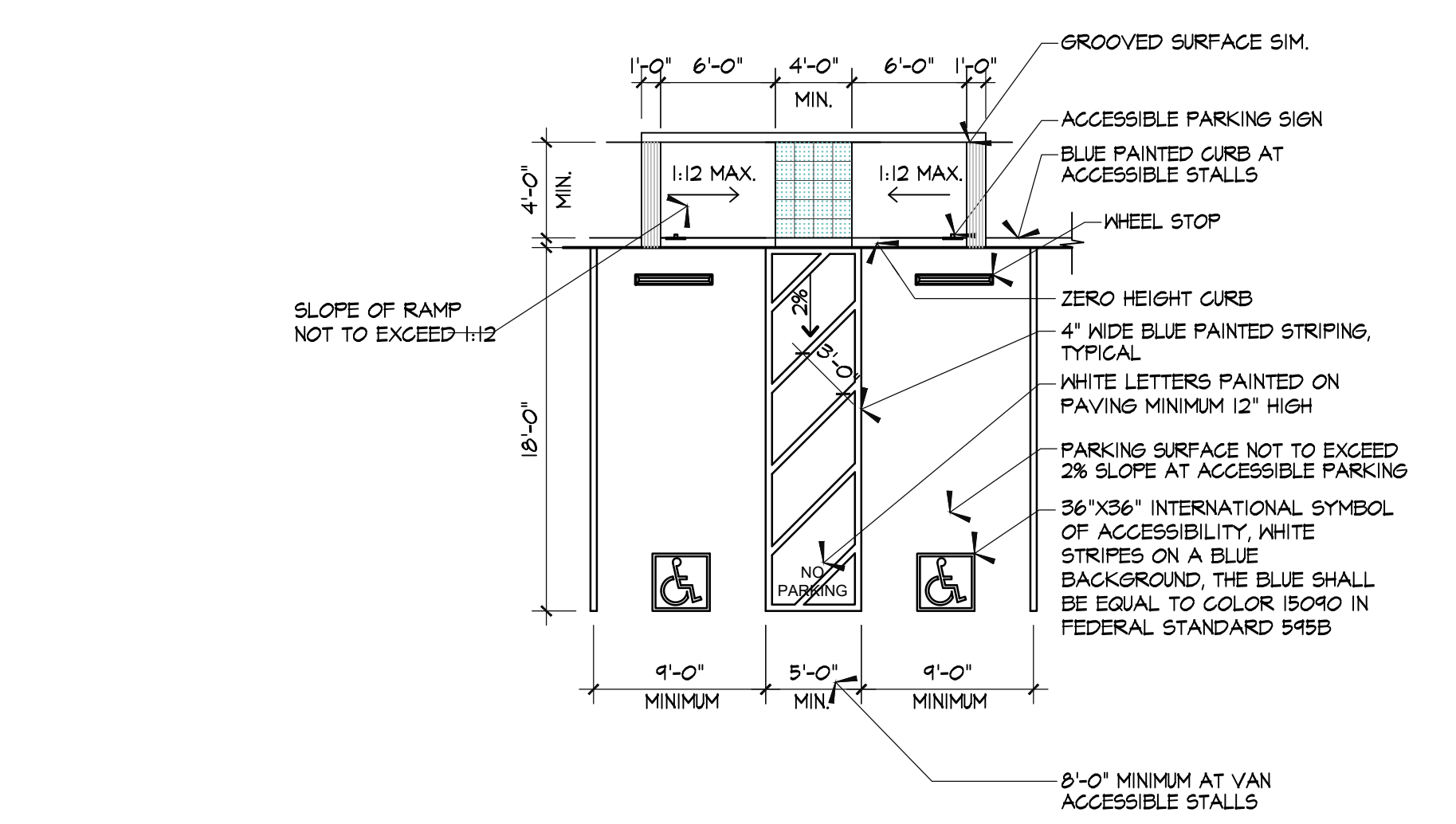
5.501 ENVIRONMENTAL COMFORT

5.501.4 ACOUSTICAL CONTROL
EMPLOY BUILDING ASSEMBLIES AND COMPONENTS WITH SOUND TRANSMISSION CLASS (STC) VALUES DETERMINED IN ACCORDANCE WITH ASTM E90 AND ASTM E 415 OR OUTDOOR-INDOOR SOUND TRANSMISSION CLASS (OTIC) DETERMINED IN ACCORDANCE WITH ASTM E 1332, USING EITHER THE PRESCRIPTIVE OR PERFORMANCE METHOD IN SECTION 5.114.11.1 OR 5.114.11.2. EXCEPTIONS: BUILDINGS WITH FEW OR NO OCCUPANTS OR WHERE OCCUPANTS ARE NOT LIKELY TO BE AFFECTED BY EXTERIOR NOISE, AS DETERMINED BY THE ENFORCEMENT AUTHORITY, SUCH AS FACTORIES, STADIUMS, STORAGE, ENCLOSED PARKING STRUCTURES AND UTILITY BUILDINGS.
5.501.4.1 EXTERIOR NOISE TRANSMISSION, PRESCRIPTIVE METHOD, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ADDITION OR ALTERED ENVELOPE SHALL MEET A COMPOSITE STC RATING OF AT LEAST 50 OR A COMPOSITE OTIC RATING OF NO LESS THAN 40, WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 OR OTIC OF 30 IN THE FOLLOWING BUILDING LOCATIONS:
1. WITHIN THE 65 CNEL NOISE CONTOUR OF AN AIRPORT
EXCEPTIONS:
1. LDN OR CNEL FOR MILITARY AIRPORTS SHALL BE DETERMINED BY THE FACILITY AIR INSTALLATION COMPATIBLE LAND USE ZONE (AICUZ) PLAN.
2. LDN OR CNEL FOR OTHER AIRPORTS AND HELIPORTS FOR WHICH A LAND USE PLAN HAS NOT BEEN DEVELOPED SHALL BE DETERMINED BY THE LOCAL GENERAL PLAN NOISE ELEMENT.
3. WITHIN THE 65 CNEL OR LDN NOISE CONTOUR OF A FREEWAY OR EXPRESSWAY, RAILROAD, INDUSTRIAL SOURCE OR FIXED-GUIDEWAY NOISE SOURCE AS DETERMINED BY THE NOISE ELEMENT OF THE GENERAL PLAN.
5.501.4.1.1 NOISE EXPOSURE WHERE NOISE CONTOURS ARE NOT READILY AVAILABLE, BUILDINGS EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-HR DURING ANY HOUR OF OPERATION SHALL HAVE BUILDING ADDITION OR ALTERATION EXTERIOR WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MEETING A COMPOSITE STC RATINGS OF AT LEAST 45 (OR OTIC 35), WITH EXTERIOR WINDOWS OF A MINIMUM STC OF 40 (OR OTIC 30).
5.501.4.2 PERFORMANCE METHOD, FOR BUILDINGS LOCATED AS DEFINED IN SECTION A5.114.11.1 OR A5.114.11.1.1, WALL AND ROOF-CEILING ASSEMBLIES EXPOSED TO THE NOISE SOURCE MAKING UP THE BUILDING ADDITION OR ALTERED ENVELOPE SHALL BE CONSTRUCTED TO PROVIDE AN INTERIOR NOISE ENVIRONMENT ATTRIBUTABLE TO EXTERIOR SOURCES THAT DOES NOT EXCEED AN HOURLY EQUIVALENT NOISE LEVEL (LEQ-HR) OF 50 DBA IN OCCUPIED AREAS DURING ANY HOUR OF OPERATION.
5.114.1.2.1 SITE FEATURES: EXTERIOR FEATURES SUCH AS SOUND BARRIERS OR EARTH BERMS MAY BE UTILIZED AS APPROPRIATE TO THE ADDITION OR ALTERATION PROJECT TO MITIGATE SOUND MIGRATION TO THE INTERIOR.
5.501.4.2.2 DOCUMENTATION OF COMPLIANCE, AN ACOUSTICAL ANALYSIS DOCUMENTING COMPLYING INTERIOR SOUND LEVELS SHALL BE PREPARED BY PERSONNEL APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD.
5.501.4.3 INTERIOR SOUND TRANSMISSION, WALL AND FLOOR-CEILING ASSEMBLIES SEPARATING TENANT SPACES AND TENANT SPACES AND PUBLIC PLACES SHALL HAVE AN STC OF AT LEAST 40.
NOTE: EXAMPLES OF ASSEMBLIES AND THEIR VARIOUS STC RATINGS MAY BE FOUND AT THE CALIFORNIA OFFICE OF NOISE CONTROL: http://www.tdclbase.org/PDF/CASESTUDIES/STC_ICG_RATINGS.pdf.
5.508 OUTDOOR AIR QUALITY
5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS, INSTALLATIONS OF HVAC, REFRIGERATION, AND FIRE SUPPRESSION EQUIPMENT SHALL COMPLY WITH THE FOLLOWING:
5.508.1.1 CHLOROFLUOROCARBONS (CFCs), INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN CFCs.
5.508.1.2 HALONS, INSTALL HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT THAT DO NOT CONTAIN HALONS.

3 KNEE CLEARANCES @ NONCOMMERCIAL KITCHEN AND COUNTER BAR SINKS
(WHERE APPLICABLE)
VARIES



4 SIZE AND SPACING OF TRUNCATED DOMES
N.T.S.



5 TYPICAL ACCESSIBLE PARKING AND RAMP
1/8" = 1'-0"

Designed	bcj
Drawn By	bcj
Checked	wfg
Date	11/2/22

MIRAMONTE KITCHEN

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Revisions																				
By																				
Date																				
Job Number	2207																			
Drawing Number	t103																			

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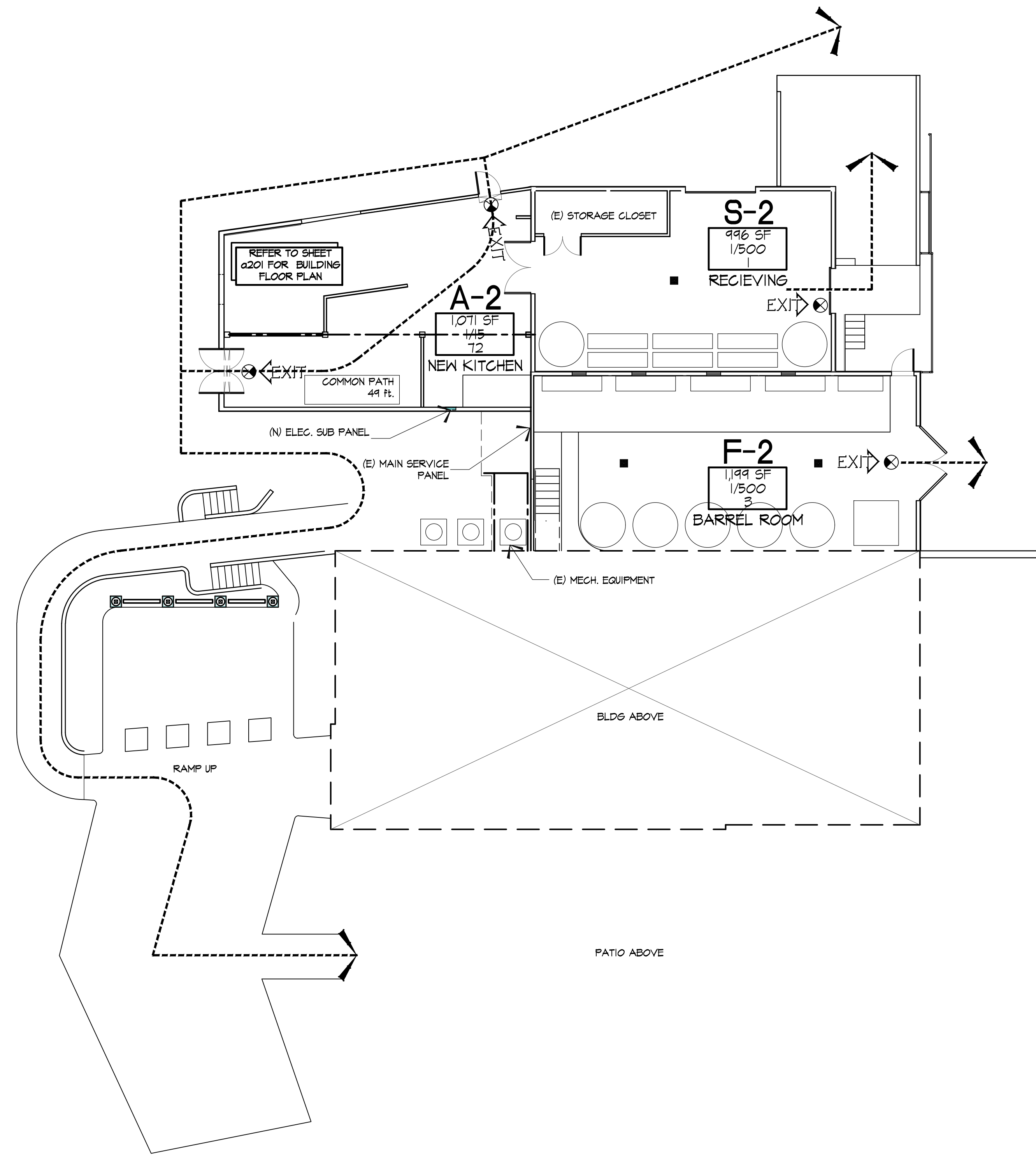
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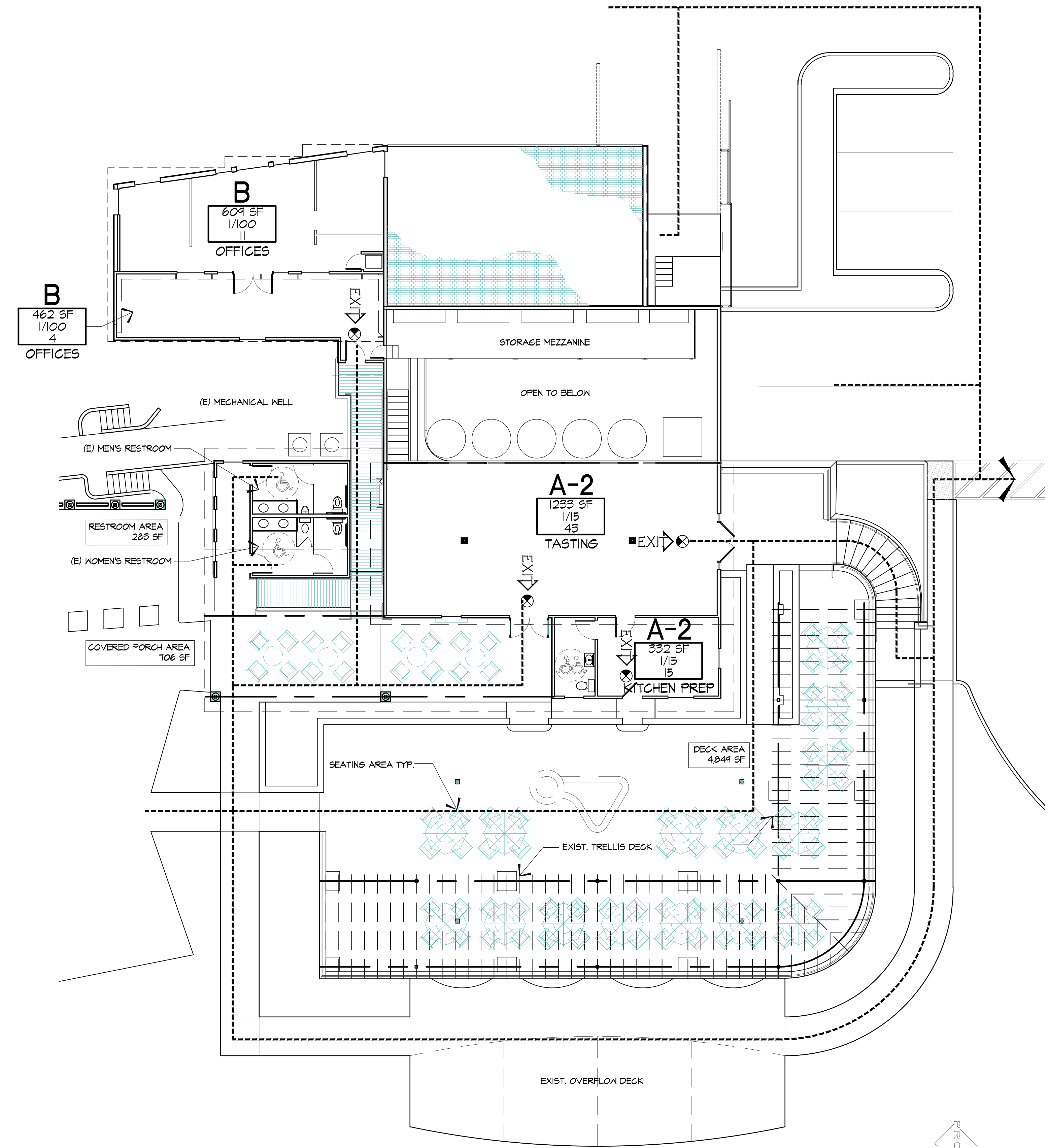
LEGEND:

- ⊗ EXIT SIGN - CEILING / WALL MOUNTED (SEE REFLECTED G.L.G. PLAN)
- ⊘ EXIT FACE KNOCK-OUT ILLUMINATION
- ARROW KNOCK-OUT DIRECTION
- ⊗ EXIT SIGN - PHOTOLUMINESCENT - FLOOR-LEVEL MOUNT, SIGN SHALL NOT BE LESS THAN 6" OR MORE THAN 8" A.F.F. AND SHALL INDICATE THE PATH OF TRAVEL. FOR EXIT AND EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR IN THE CLOSEST EDGE OF THE SIGN WITH IN 4" OF THE DOOR FRAME PER CBC, 1011.7

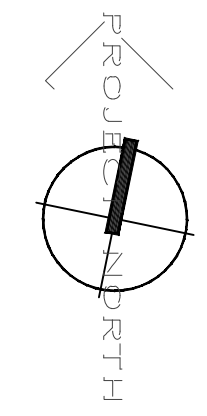
←EXIT DESIGNATED MEANS OF EGRESS



1 BASEMENT FLOOR PLAN 1" = 10'-0"



2 GROUND FLOOR PLAN 1" = 10'-0"



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Designed	bcj
Drawn By	bcj
Checked	wfg
Date	11/2/22

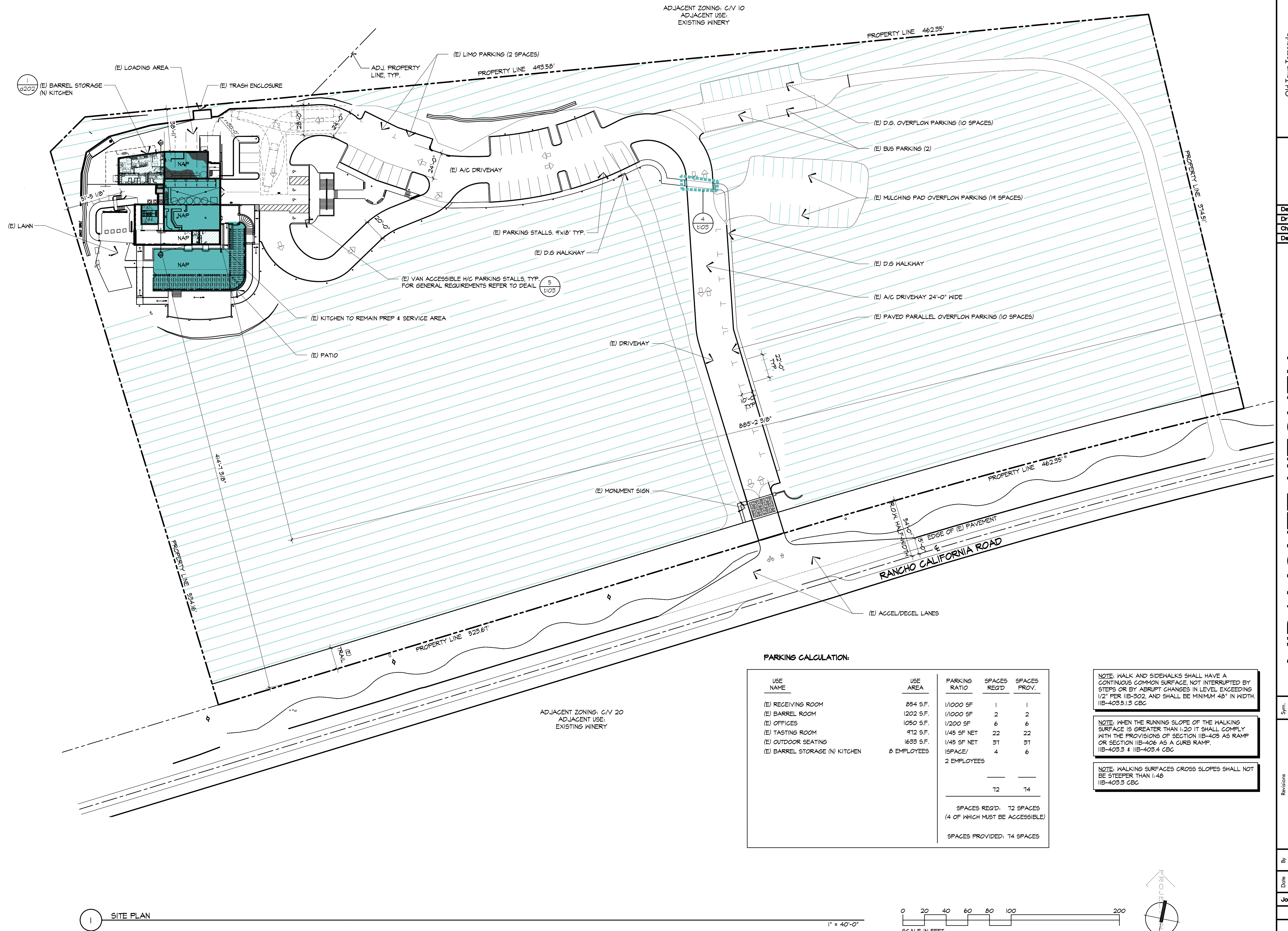
MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

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ADJACENT ZONING: C/V 10
ADJACENT USE:
EXISTING WINERY

ADJACENT ZONING: C/V 20
ADJACENT USE:
EXISTING WINERY

PARKING CALCULATION:

USE NAME	USE AREA	PARKING RATIO	SPACES REQ'D	SPACES PROV.
(E) RECEIVING ROOM	854 S.F.	1/1000 SF	1	1
(E) BARREL ROOM	1202 S.F.	1/1000 SF	2	2
(E) OFFICES	1050 S.F.	1/200 SF	6	6
(E) TASTING ROOM	912 S.F.	1/45 SF NET	22	22
(E) OUTDOOR SEATING	1633 S.F.	1/45 SF NET	37	37
(E) BARREL STORAGE (N) KITCHEN	8 EMPLOYEES	1SPACE/	4	6
		2 EMPLOYEES		
			72	74
			SPACES REQ'D: 72 SPACES (4 OF WHICH MUST BE ACCESSIBLE)	
			SPACES PROVIDED: 74 SPACES	

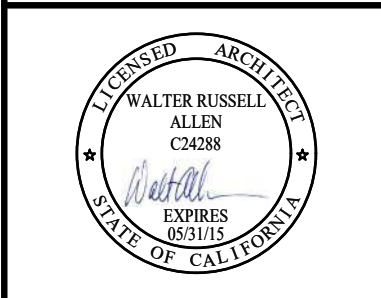
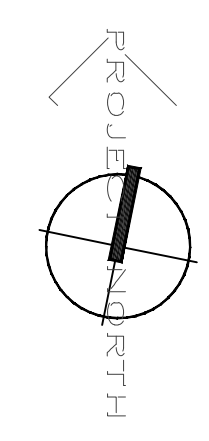
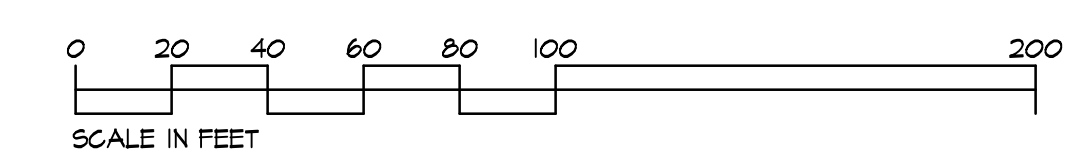
NOTE: WALK AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" PER 11B-302, AND SHALL BE MINIMUM 48" IN WIDTH, 11B-403.3, 1.3 CBC

NOTE: WHEN THE RUNNING SLOPE OF THE WALKING SURFACE IS GREATER THAN 1:20 IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 11B-405 AS RAMP OR SECTION 11B-406 AS A CURB RAMP, 11B-403.3 & 11B-403.4 CBC

NOTE: WALKING SURFACES CROSS SLOPES SHALL NOT BE STEEPER THAN 1:48 11B-403.3 CBC

1 SITE PLAN

1" = 40'-0"



Designed	bcj
Drawn By	bcj
Checked	wfg
Date	11/2/22

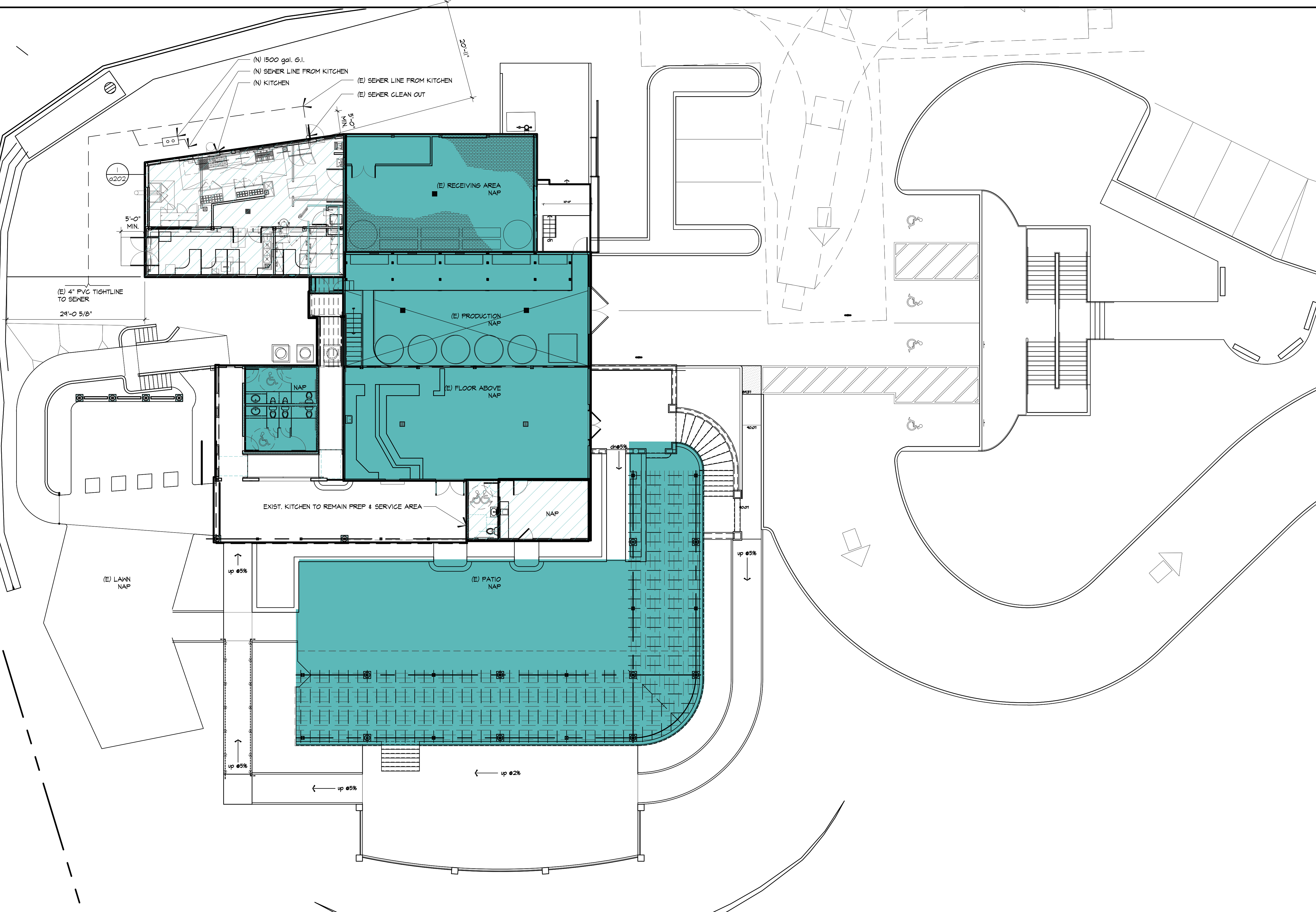
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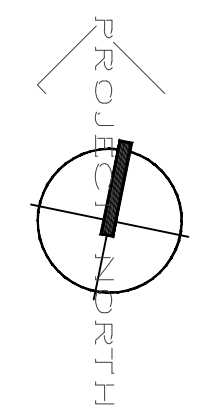
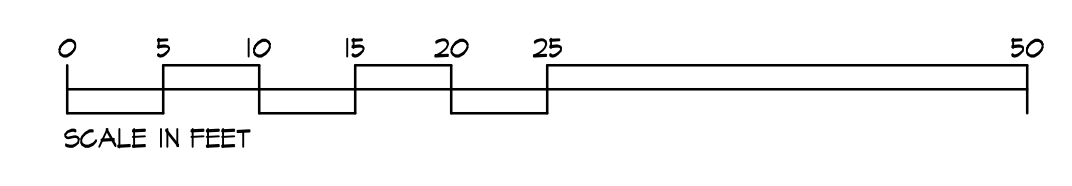
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GRASS SWALE

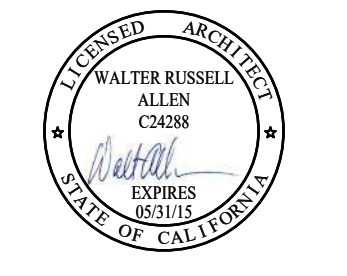


1 ENLARGED SITE PLAN

1" = 10'-0"



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Designed by bcj
Drawn By bcj
Checked by wra
Date 11/12/22

MIRAMONTE KITCHEN

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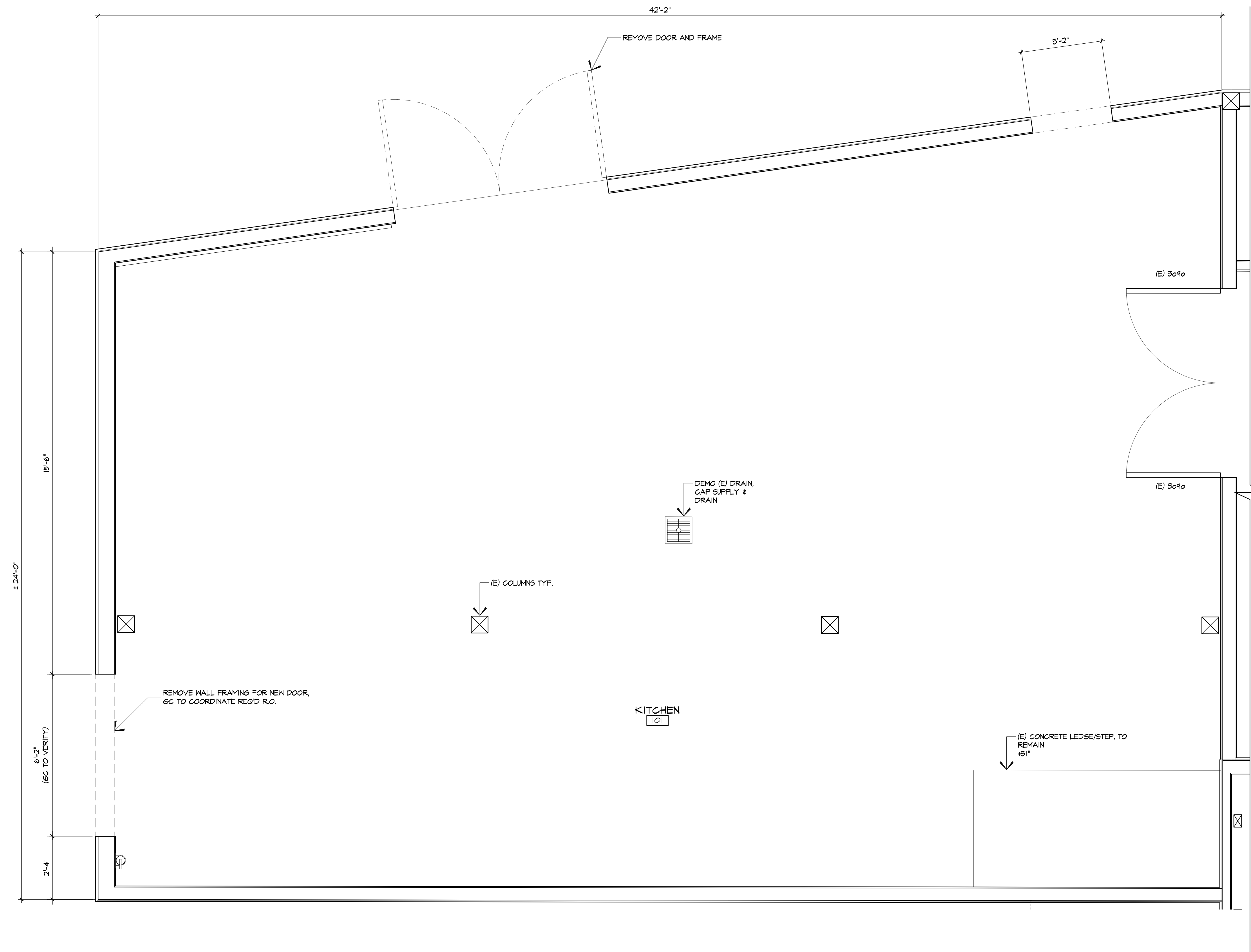
Permit Number: Permit Number:

Revisions	Sym.	Date	By

Job Number: 2207
Drawing Number

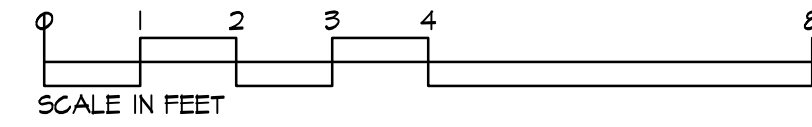
a102

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1 DEMO PLAN

1/2" = 1'-0"



GENERAL DEMOLITION NOTES

1. DEMOLITION NOTES FOR DIFFERENT TRADES OCCUR ON OTHER DRAWINGS. ALL CONTRACTORS AND ALL TRADES SHALL REVIEW DRAWINGS FOR THE EXTENT OF THE WORK TO BE COMPLETED AND COORDINATED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION EXCEPT THAT WHICH IS DIRECTLY RELATED TO THE PLUMBING, ELECTRICAL, AND HVAC CONTRACTS. EACH PRIME CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF THEIR RESPECTIVE TRADES. I.E. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL PLUMBING FIXTURES, PIPING, SUPPORTS, CUTTING, CAPPING, AND RE-ROOTING. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL DEMOLITION AND REMOVAL, ETC. HVAC CONTRACTOR IS RESPONSIBLE FOR ALL HVAC DEMOLITION AND REMOVAL.
2. GENERAL CONTRACTOR WILL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL CONTACT THE ARCHITECT OR ENGINEERS PRIOR TO PROCEEDING WITH DEMOLITION OF GIVEN AREAS.
3. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK UNLESS OTHERWISE NOTED. ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR DEMOLITION OF THEIR RESPECTIVE TRADES.
4. REFER TO ALL DRAWINGS FOR ITEMS TO BE RELOCATED OR REINSTALLED. SPECIAL CARE IS TO BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS.
5. LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE. ALL TRADES SHALL FIELD VERIFY ALL LOCATIONS.
6. WHEN A NEW WALL, CEILING, ROOF, OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF, OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACE OF THE REMAINING SUBSTRATE, UNLESS NOTED OTHERWISE.
7. WHEN NEW FINISHES ARE SCHEDULED, INDICATED, OR REQUIRED OVER EXISTING SUBSTRATES, CONTRACTOR SHALL COMPLETELY REMOVE EXISTING FINISH MATERIALS, SUCH AS, BUT NOT NECESSARILY LIMITED TO, VENEERS, COATINGS, FILMS, OILS, SEALERS, ADHESIVES AND OTHER RESIDUAL MATERIALS WHICH ARE NOT ACCEPTABLE SUBSTRATES FOR NEW FINISHES PER NEW FINISH MANUFACTURER'S WRITTEN SPECIFICATIONS AND BEST INDUSTRY STANDARDS, WHETHER SPECIFICALLY INDICATED OR NOT. DEFECTIVE SUBSTRATES WHICH ARE NO LONGER UNIFORM, DIMENSIONALLY STABLE, STRUCTURALLY SOUND, OR OTHERWISE UNACCEPTABLE FOR THE INSTALLATION OF NEW FINISHES, SHALL BE REMOVED AND REPLACED WITH NEW MATERIAL, COMPATIBLE WITH EXISTING AND SUITABLE FOR THE NEW FINISH IN ACCORDANCE WITH MATERIAL MANUFACTURER'S WRITTEN LITERATURE AND RECOGNIZED INDUSTRY STANDARDS. IN ALL CASES, CONSULT MATERIAL MANUFACTURER'S LITERATURE FOR NEW FINISHES TO BE INSTALLED PRIOR TO STARTING THE WORK.
8. ACCESSORY ITEMS AND EQUIPMENT, SUCH AS FIRE EXTINGUISHERS, BUILT-IN CABINETS, VISUAL DISPLAY BOARDS, THERMOSTATS, SWITCHES, PANELS, EXIT SIGNS, LIGHTS, DRAINS, VALVES, UNIT VENTILATORS, AND THE LIKE, LOCATED IN WALLS, CEILINGS, ROOFS, OR FLOORS TO BE ALTERED OR REMOVED, SHALL BE REMOVED AND SALVAGED FOR RECONDITIONING AND RECONNECTION UNLESS OTHERWISE NOTED OR DIRECTED BY THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
9. DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK SHOWN HEREWITH, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED AND/OR SPECIFIED ELSEWHERE AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION.
10. TURN OVER TO OWNER ALL ITEMS DESIGNATED 'SALVAGE' AND REMOVE AND REINSTALL ALL ITEMS THAT ARE DESIGNATED TO BE MOVED OR REINSTALLED.
11. DEMOLITION WORK INCLUDES ALL DEMOLITION AS REQUIRED, WHETHER SHOWN OR NOT, TO ACCOMMODATE NEW CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL PATCH, REPAIR AND OR RESTORE ALL EXISTING WALLS TO THEIR ORIGINAL CONDITION WITH MATERIALS WHICH EXACTLY MATCH THE ORIGINAL CONSTRUCTION. THE USE OF COMBUSTIBLE, ASBESTOS OR OTHER MATERIALS WHICH HOWEVER NO LONGER MEET BUILDING, HEALTH AND SAFETY OR ENVIRONMENT.

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Designed	ba
Drawn By	ba
Checked	wfg
Date	11/2/22

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33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

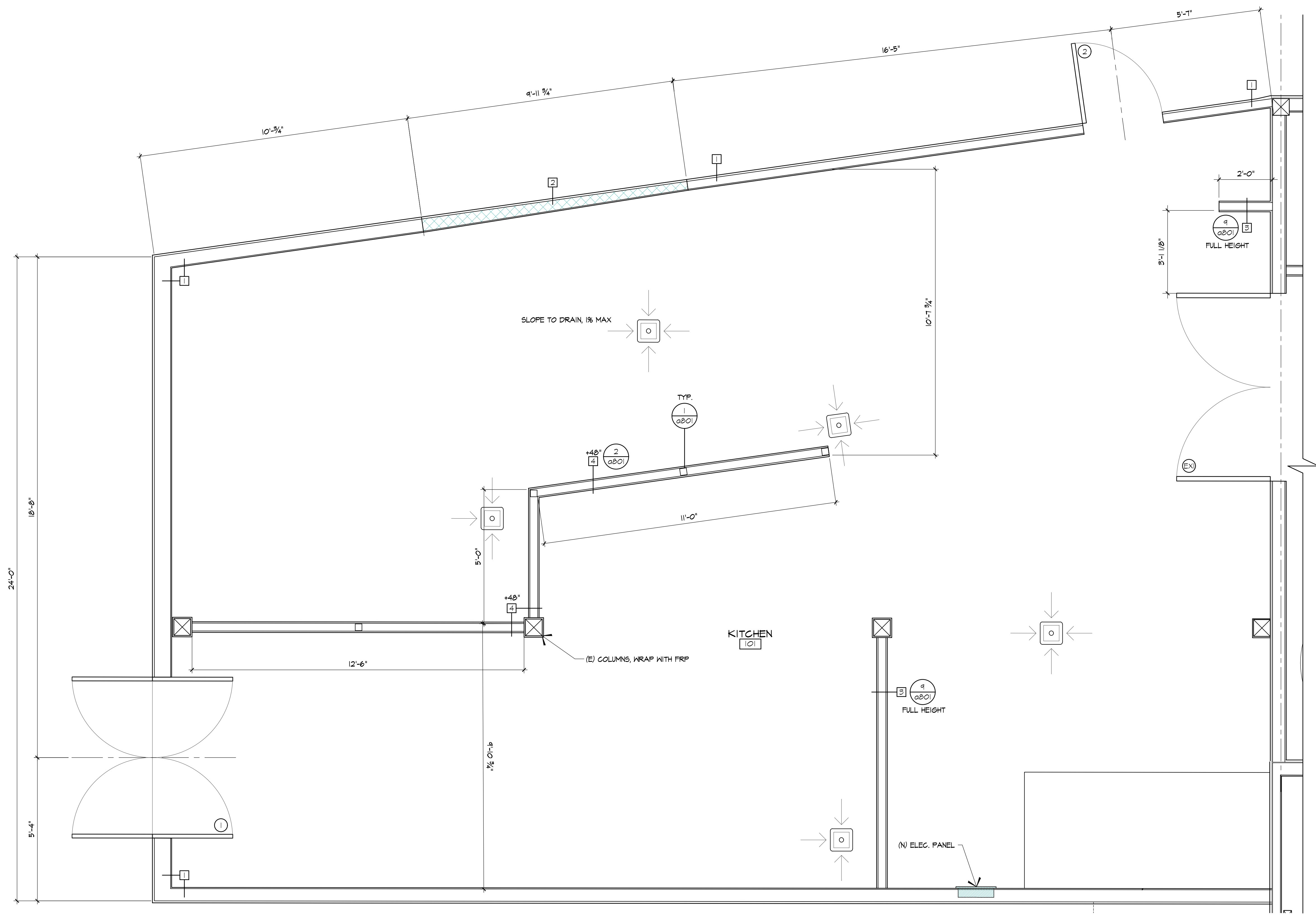
Permit Number: Permit Number

Revisions	Sym.	By	Date

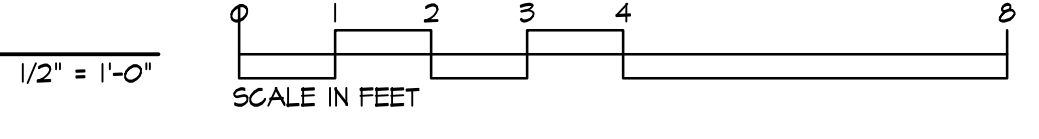
Job Number: 2207

Drawing Number
d201

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1 FRAMING FLOOR PLAN



WALL LEGEND:

EXISTING EXTERIOR WALL:

1 EXTERIOR WALL, 2x6 WD STUDS @ 16" O.C. W/ R-19 BATT INSULATION, PROVIDE (N) 5/8" GYP. BD INTERIOR FINISH

NEW EXTERIOR WALL:

2 EXTERIOR WALL, 2x6 WD STUDS @ 16" O.C. W/ R-19 BATT INSULATION, PROVIDE (N) 5/8" GYP. BD INTERIOR FINISH

NEW INTERIOR WALL:

3 INTERIOR WALL, 2x4 WD STUDS, PROVIDE (N) 5/8" GYP. BD FINISH

4 INTERIOR WALL, 2x4 WD STUDS, PROVIDE (N) 5/8" GYP. BD FINISH

5 EXTERIOR WALL, 2x6 WD STUDS @ 16" O.C. W/ R-19 BATT INSULATION, PROVIDE (N) 5/8" GYP. BD INTERIOR FINISH

6 INTERIOR WALL, 2x4 WD STUDS, PROVIDE (N) 5/8" GYP. BD FINISH

7 INTERIOR WALL, 2x4 WD STUDS, PROVIDE (N) 5/8" GYP. BD FINISH

SPECIFIC DEMOLITION NOTES:

THE CONTRACTOR AND SUB-CRANCTORS SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION LAYOUT. NO ALLOWANCE SHALL BE GIVEN TO THE CONTRACTORS OR SUB-CRANCTORS FOR CHANGES RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.

Old Town Temecula

rqtex

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DESIGNED ARCHITECT

WALTER RUSSELL ALLEN ARCHITECTS
WALTER RUSSELL ALLEN ARCHITECTS
EXPERIENCED ARCHITECTS
STATE OF CALIFORNIA

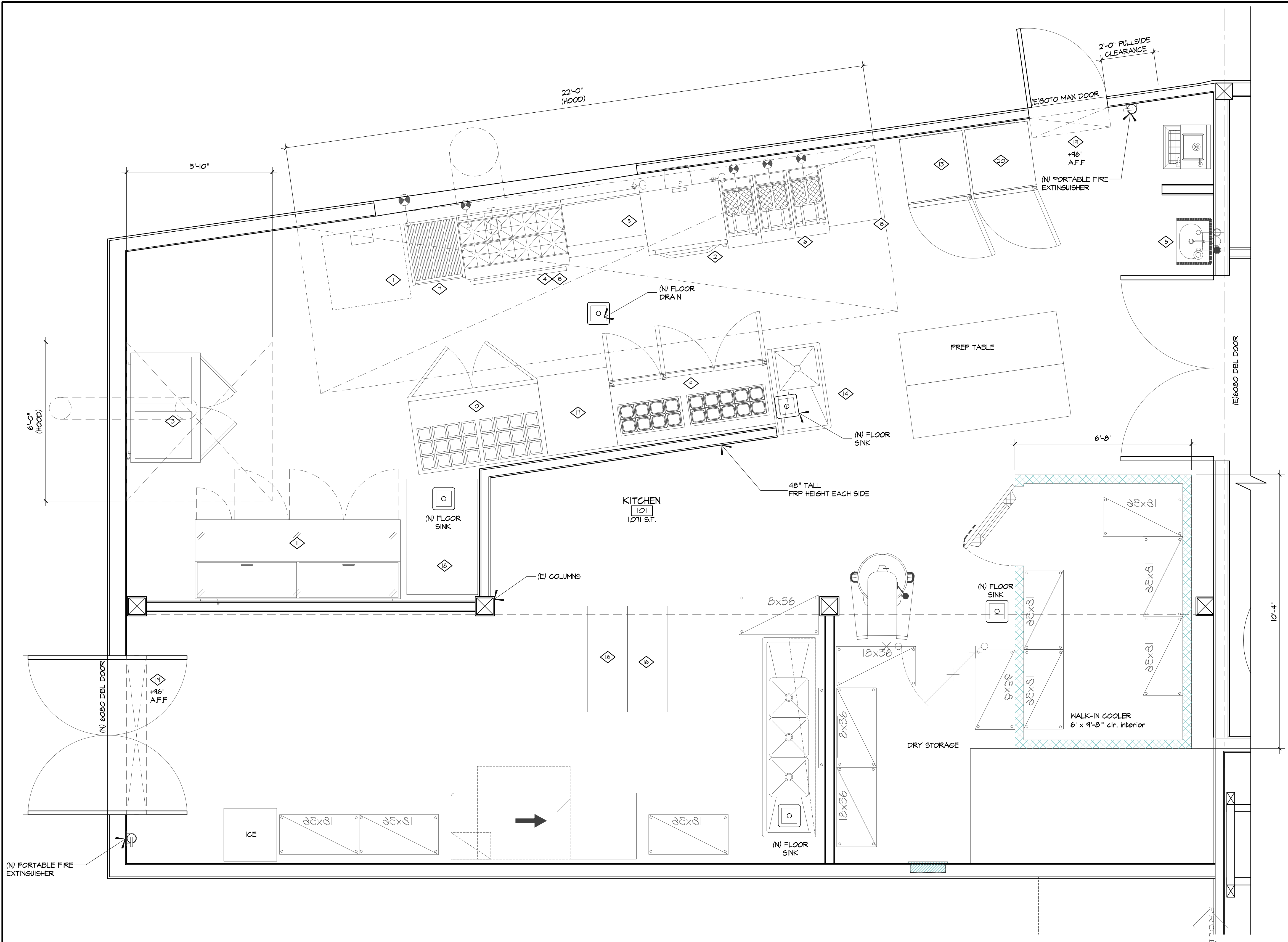
Designed by [Signature] bca
Drawn By bca
Checked wra
Date 11/12/22

MIRAMONTE KITCHEN

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Revisions	By	Date	Job Number	Drawing Number
			2207	a201

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EQUIPMENT FLOOR PLAN

FINISH SCHEDULE

NUMBER	ROOM	FLOOR	BASE	WALLS				WAINSCOT				CEILING	HEIGHT	REMARKS / NOTES
				A	B	C	D	A	B	C	D			
FIRST FLOOR														
101	KITCHEN	F1	B1	W2	W2	W2	W2					C1	± 8'-0"	
														N/A

- F - FLOOR**
- F 1 TILE; MANUFACTURER: DAL TILE LINE: 0048 ARID FLASH COLOR: HIGH (V3) SIZE: 6x6 GROUT:
- B - BASE**
- B 1 DAL TILE; QUARRY COVERED BASE
- W - WALLS**
- W 1 DRYWALL FINISH, SEMI GLOSS ENAMEL PAINT
- W 2 FIBER REINFORCE PANEL (FRP) OVER MOISTURE RESISTANT DRYWALL, FULL HEIGHT, MIN. 24" FROM SIDE OF SINK
- C - CEILING**
- C 1 CEILUME 2'x2' CAMBRIDGE CEILING TILE - WHITE.

- REMARKS:**
- VERIFY ALL FINISHES WITH CONTRACTOR PRIOR TO ORDERING ANY MATERIALS.
 - WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.5

NOTE:
FLOORS SHALL SLOPE TO THE FLOOR DRAINS CPC 410.5

NOTE:
VERIFY ALL FINISHES W/ OWNER PRIOR TO ORDERING ANY MATERIALS

ITEM NO.	QUANTITY	DESCRIPTION:
1	1	DOUBLE DECK INFRARED BROILER
1	1	DOUBLE DECK CONVECTION OVEN
1	1	DOUBLE DECK PIZZA OVEN
1	1	8 BURNER W/ CONVECTION OVENS
1	1	6 BURNER/FLAT TOP COMBO W/ CONVECTION OVEN
3	3	GAS FLOOR FRYER
1	1	24" CHAR BROILER
2	2	SALAMANDER BROILER
1	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
1	1	60" SANDWICH/PREP TABLE W/ 2 DOORS
1	1	48" PIZZA PREP TABLE W/ 3 DOORS
1	1	36" 2 DRAWER CHEF BASE
1	1	REACH-IN FRIDGE
1	1	ONE COMPARTMENT SINK W/ DRAIN BOARD
1	1	HAND SINK WITH TOWEL DISPENSER
1	1	SHELVING
1	1	STEAM TABLE
1	1	SIDE TABLE
2	2	FLY FAUVAIR CURTAIN
1	1	REACH-IN FREEZER

SANITATION AND HEALTH DEPARTMENT NOTES:

- ALL FOOD SERVICE EQUIPMENT MUST BE MANUFACTURED TO COMPLY WITH ALL LOCAL BUILDING AND HEALTH DEPARTMENT CODE REQUIREMENTS. ALL FOOD SERVICE EQUIPMENT MUST MEET (N.S.F.) NATIONAL SANITATION FOUNDATION STANDARDS AND CRITERIA. THE JUNCTURE BETWEEN THE INTERIOR FLOOR AND THE INTERIOR VERTICAL WALLS SHALL HAVE A COVE BASE WITH A RADIUS OF AT LEAST 3/8" AND THE MATERIAL SHALL BE AN APPROVED TYPE TO EXTEND UPWARD ONTO THE WALLS AT LEAST 6".
- GENERAL HOT WATER SUPPLY SHALL BE MAINTAINED AT BETWEEN 130° AND 140°. THE HEATER AND WATER STORAGE CAPACITY OF HOT WATER SHALL BE ADEQUATE TO MAINTAIN THE SUPPLY DURING PERIODS OF PEAK ACTIVITY.
- MECHANICAL VENTILATION MUST BE PROVIDED IN RESTROOMS, ANTE-ROOMS, AND DRESSING ROOMS WITH AIR EXCHANGE MINIMUM OF 12 PER HOUR. (BY HEATING / VENTILATION AND AIR CONDITIONING CONTRACTOR)
- SMOOTH CONCRETE SLAB FOR TRASH CONTAINERS TO BE PROVIDED OUTSIDE IN ADJACENT AREA (BY GENERAL CONTRACTOR).
- ALL FLOORS AND HAND SINKS MUST HAVE A COMBINATION FAUCET OR PREMIXING FAUCET CAPABLE OF SUPPLYING HOT WATER FOR A MINIMUM OF TEN MINUTES. ALL HAND SINKS MUST HAVE A TOWEL AND SOAP DISPENSER. (HAND SINKS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR).
- THE JANITORIAL SINK FAUCET MUST BE PROTECTED WITH AN APPROVED BACKFLOW PREVENTION DEVICE. (BY PLUMBER)
- ALL FLOORS IN FOOD HANDLING AREAS, RESTROOMS AND ANTE-ROOMS SHALL HAVE A SMOOTH HARD NON-ABSORBENT SURFACE EXTENDED UPWARDS ONTO WALLS FIVE INCHES WHERE REQUIRED BY CODE, OR SIX INCHES TOP SET WHERE ACCEPTABLE BY CODE.
- ALL CEILINGS AND WALLS IN FOOD HANDLING, DISHWASHING, POT AND PAN WASHING AND FOOD STORAGE AREAS SHALL BE SMOOTH, CLEANABLE, AND LIGHT IN COLOR.
- WALLS IN WATER CLOSET COMPARTMENT AND WITHIN TWO FEET OF FRONT AND SIDES OF URINALS SHALL BE OF NON-ABSORBENT MATERIAL, FINISHED TO A HEIGHT OF 4'.
- FLOOR SINK AT DISHWASHING MACHINE SHALL HAVE A 3" MINIMUM DRAIN PIPE. (FURNISHED AND INSTALLED BY PLUMBING CONTRACTOR)
- ALL CEILING AND WALLS IN RESTROOMS, ANTE-ROOMS AND EMPLOYEE DRESSING ROOMS SHALL BE SMOOTH, CLEANABLE, AND LIGHT IN COLOR.
- ALL RESTROOM, ANTE-ROOMS AND DRESSING ROOM DOORS ARE REQUIRED TO BE UNDERCUT ONE INCH (1").
- ALL EXTERIOR ANTE-ROOMS DRESSING ROOMS AND RESTROOM DOORS SHALL BE SELF CLOSING. (EXTERIOR DOORS SHALL OPEN OUTWARDS).
- FIFTY (50) FOOT CANDLES OF LIGHT MEASURED THIRTY INCHES ABOVE THE FLOOR SHALL BE PROVIDED IN ALL FOOD SERVICE AND STORAGE AREAS. (ALL LIGHTING SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR)
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE TIGHT FITTING. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH AT LEAST 16" MESH, T316 SCREENS.
- DISHWASHING MACHINES MUST MEET (N.S.F.) NATIONAL SANITATION FOUNDATION STANDARDS. (HIGH TEMP. DISH MACHINES MUST HAVE HOT WATER OF 180° F. MINIMUM FINAL RINSE WATER)
- ALL KITCHENS & PREP AREAS SHALL HAVE SHATTER ROOF COVERS.
- EXHAUST HOOD FIRE SUPPRESSION SYSTEM SHALL BE INSTALLED SO AS TO ALLOW EASY CLEANABILITY OF EXHAUST HOOD AND DUCT SYSTEMS.
- RESTROOM AND EXTERIOR DOORS SHALL HAVE SELF CLOSERS.
- LIGHT FIXTURES SHALL HAVE SHATTERPROOF COVERS.
- ALL EXTERIOR DOORS FROM FOOD SERVICE AREAS OF BUILDING AREAS OF BUILDING SHALL BE PROVIDED WITH INSECT CONTROL FAN MOUNTED DIRECTLY ABOVE DOOR ON EXTERIOR OF BUILDING. FAN SHALL HAVE A MIN. VELOCITY OF 1600 FPM MEASURED AT ±3' A.F.F.
- PENETRATIONS THROUGH WALLS OR BETWEEN CABINETS FOR PIPING OR CONDUIT, ETC., SHALL BE DONE NEATLY AND FINISHED WITH ESCUTCHEONS OR CLEANABLE CAULKING MAKE UP AIR SHALL BE PROVIDED AT LEAST EQUAL IN AMOUNT TO THAT WHICH IS MECHANICALLY EXHAUSTED. WINDOWS AND DOORS SHALL NOT BE USED FOR THE PURPOSE OF PROVIDING MAKE UP AIR EXHAUST AND MAKE UP AIR FANS SHALL BE ELECTRICALLY INTERCONNECTED TO OPERATE FROM ONE SWITCH.
- ALL OPERABLE WINDOWS SHALL BE SCREENED WITH NOT LESS THAN 16 MESH, T316 SCREENING
- ALL MILLWORK ITEMS, CABINETS, COUNTERS AND FINISHES MUST BE IMPERVIOUS TO WATER, GREASE, AND LIQUOR. MILLWORK MUST MEET ALL N.F.S. CODES.
- TRASH ENCLOSURE LOCATED OUTSIDE OF BUILDING. SEE SITE PLAN FOR LOCATION. ENCLOSURE SHALL BE ON CONCRETE SLAB AND SURROUNDING AREA SHALL BE EASILY WASHABLE.
- POT SINKS AND DISHTABLES SHALL DRAIN TO GREASE INTERCEPTOR WHEN GREASE INTERCEPTOR IS REQUIRED BY LOCAL CODES. DISHWASHERS AND DISPOSERS, IF SPECIFIED, SHALL NOT DRAIN TO GREASE INTERCEPTOR. VERIFY WITH FOOD SERVICE CONTRACTOR WHICH EQUIPMENT SHALL DRAIN THROUGH GREASE INTERCEPTOR. VARIANCES IN LOCAL CODE REQUIREMENTS SHALL SUPERCEDE THIS REQUIREMENT.
- HAND SINKS SHALL BE PROVIDED WITH HOT AND COLD WATER THROUGH A MIXING FAUCET. SOAP AND TOWEL DISPENSERS SHALL BE PROVIDED AT ALL HAND SINKS.
- MOP SINK SHALL BE PROVIDED WITH HOT AND COLD WATER THROUGH MIXING FAUCET. A MOP RACK AND SHELF FOR CLEANING SUPPLIES SHALL BE PROVIDED. IF MATS ARE USED IN FACILITY, MOP SINKS MUST BE LARGE ENOUGH TO WASH THEM.
- MOP SINK SHALL BE SEPARATED FROM FOOD PREPARATION AND STORAGE AREAS BY WATERPROOF, WASHABLE PARTITION TO MIN. HEIGHT OF 42" A.F.F.
- POT SINKS TUBS SHALL BE LARGE ENOUGH TO ACCOMMODATE THE LARGEST UTENSIL USED IN FACILITY.
- HIGH TEMP DOOR-TYPE DISHWASHERS SHALL BE PROVIDED WITH CLASS II EXHAUST HOODS ALL TYPES INCLUDING POT SINKS, PREP SINK, DISHWASH AREA AND MOP SINK AREA SHALL HAVE WATER-PROOF, WASHABLE, WALL LINING FROM FLOOR BASE TO MIN. 42" A.F.F. VEGETABLE PREP SINKS, POT SINKS, UNDER-BAR SINKS, DISHWASHERS, ICE MACHINES, REMOTE REFRIGERATED UNITS INCLUDING WALK-IN COILS, ICE BIN, HOT FOOD TABLES, AND ANY AND ALL EQUIPMENT AND FIXTURES WITH DRAIN CONNECTION, WITH THE EXCEPTIONS OF HAND SINKS AND MOP SINKS, SHALL DRAIN INDIRECTLY TO FLOOR SINK W/ A 1" AIR GAP, OR OTHER APPROVED METHOD. FLOOR SINKS SHALL BE ACCESSIBLE FOR CLEANING BY MEANS OF 18" CLEARANCE ABOVE THE FLOOR.
- WATER HEATERS INSTALLED IN FOOD SERVICE AREA SHALL BE INSTALLED ON A MIN. 6" HIGH COVERED CURB BASE, WITH WATER HEATER SEALED TO BASE IN WATERPROOF MANNER.



Designed	bcj
Drawn By	bcj
Checked	wfq
Date	11/2/22

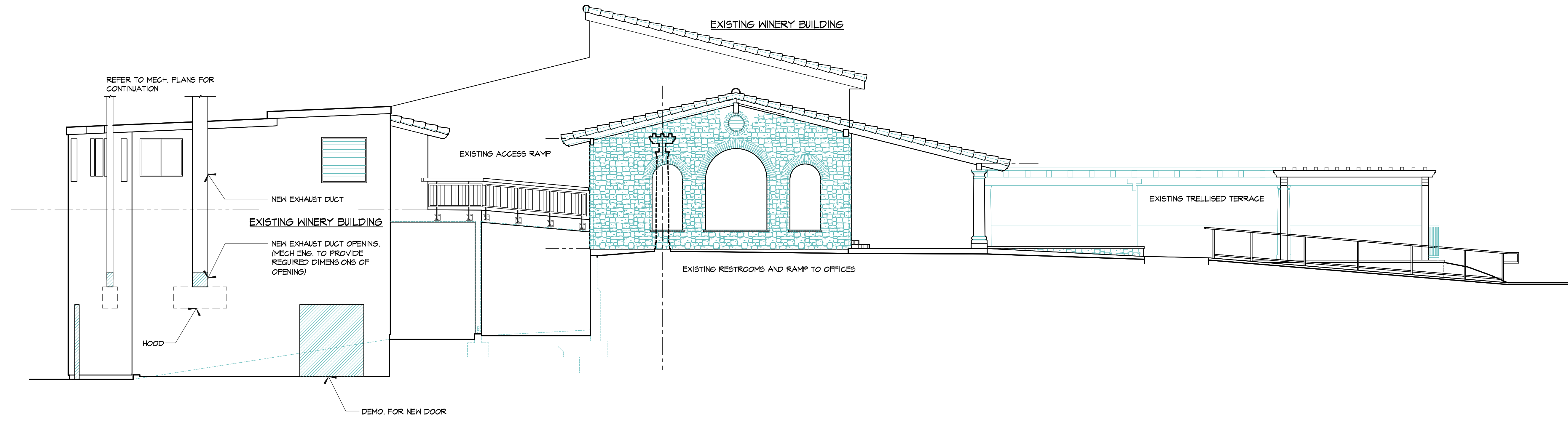
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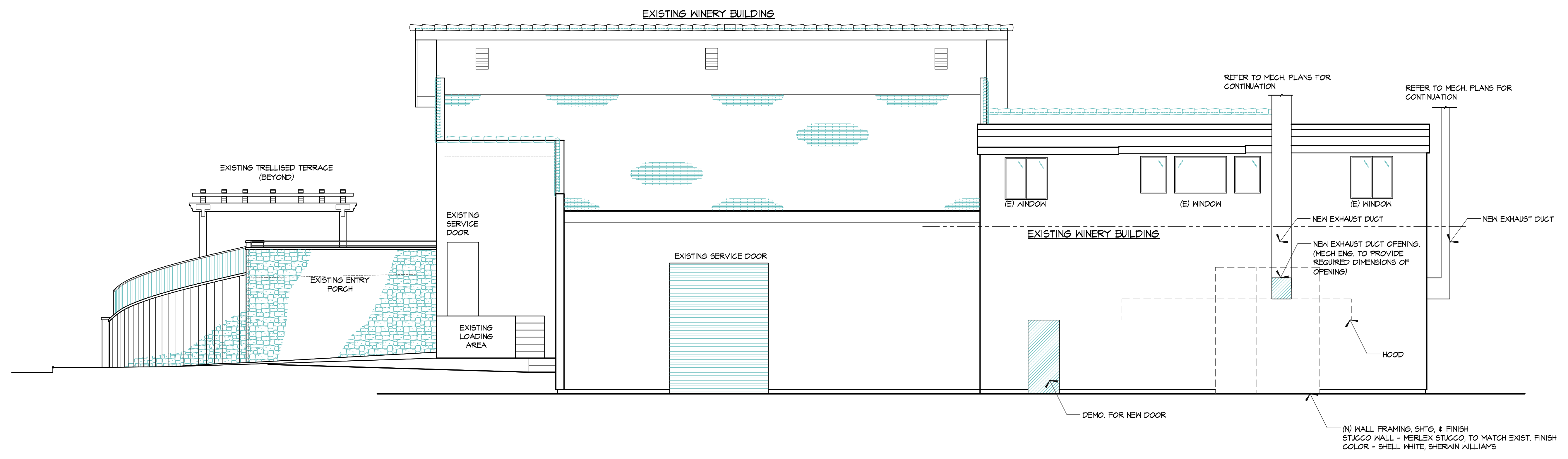
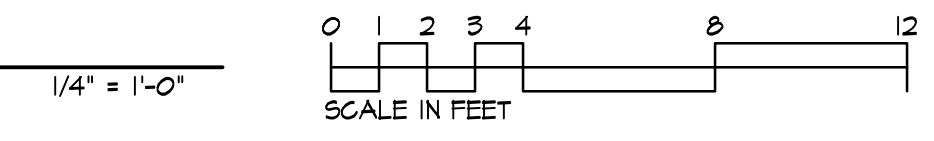
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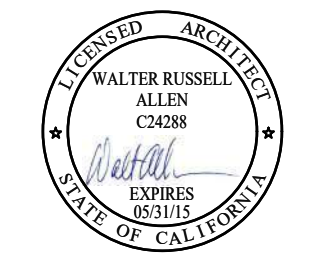
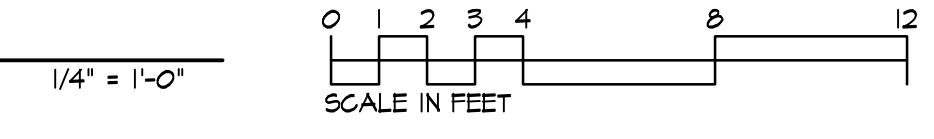
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1 LEFT SIDE (WEST) ELEVATION



2 REAR (NORTH) ELEVATION



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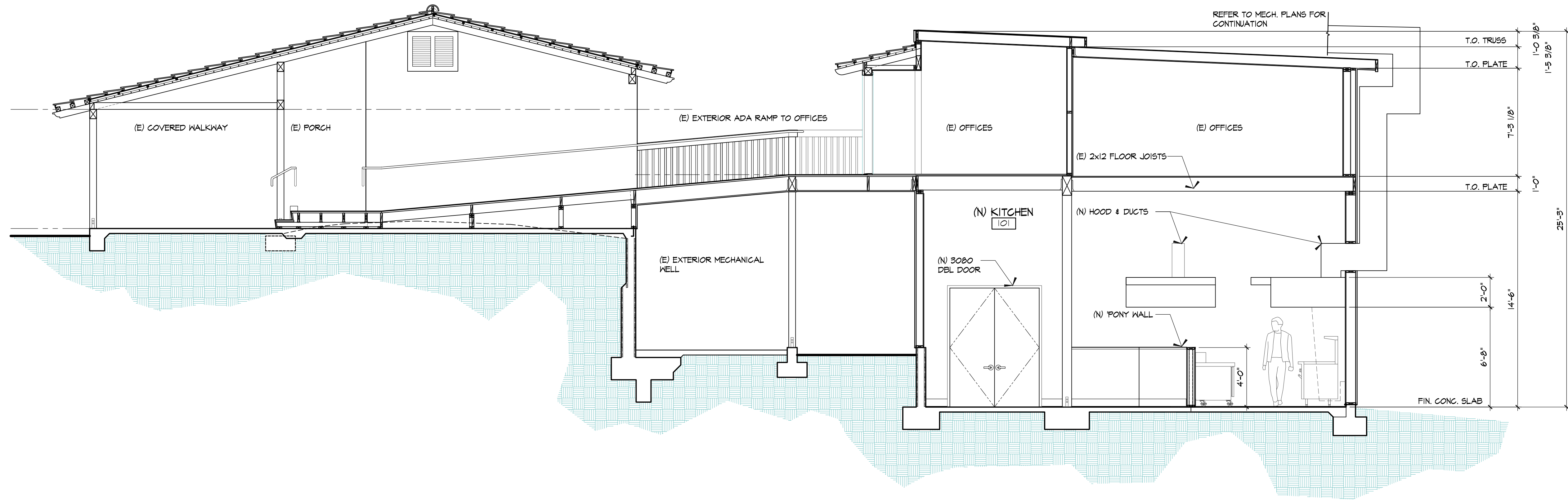
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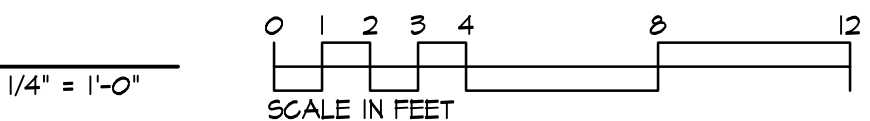
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SECTION A-A



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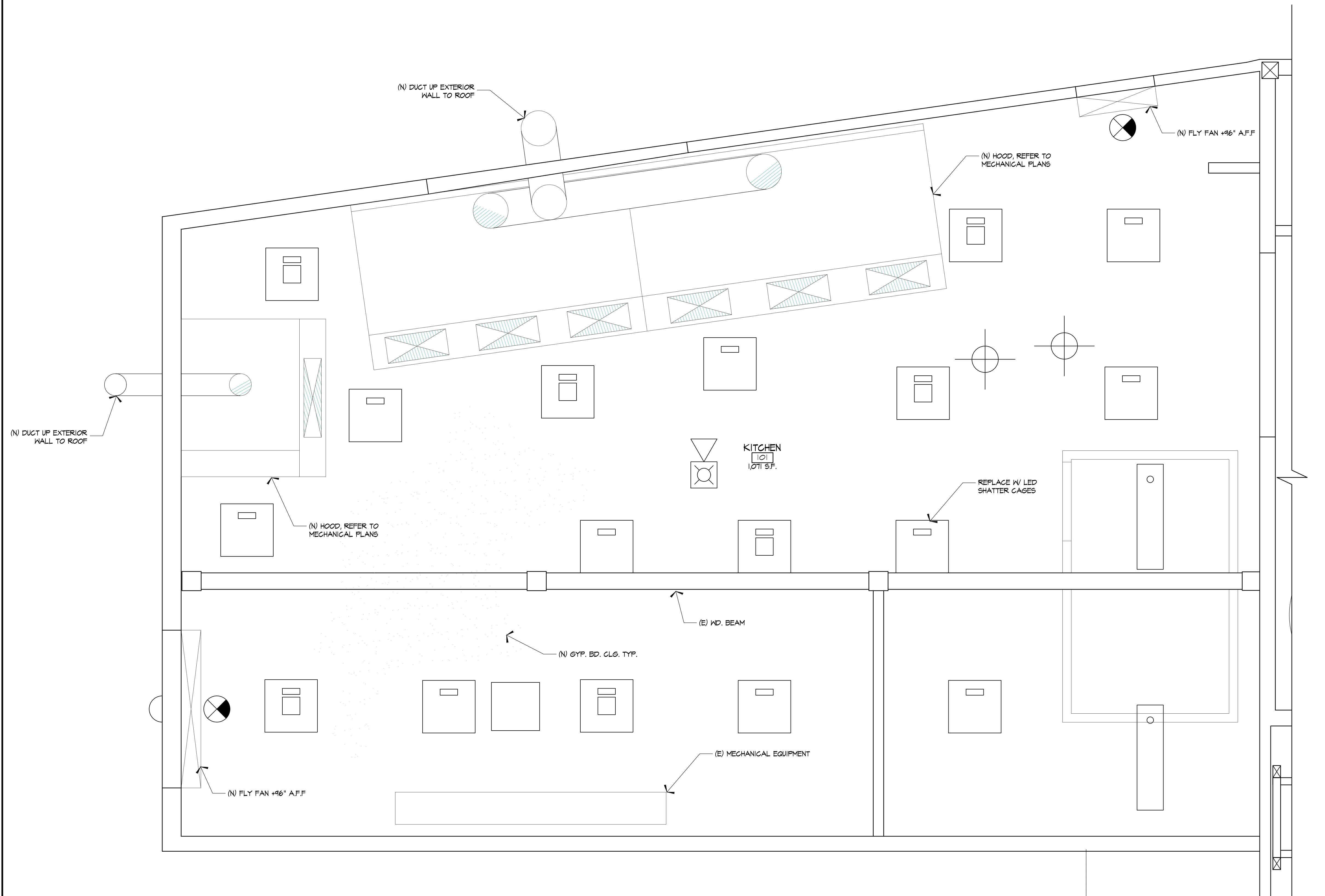
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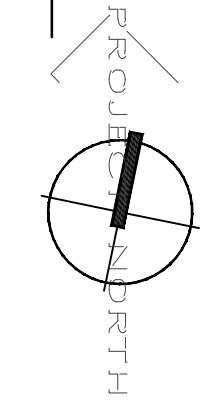
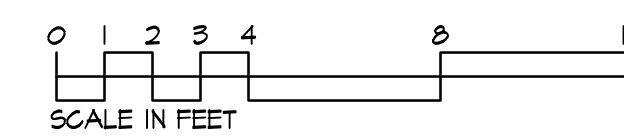
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1 REFLECTED CEILING PLAN

1/2" = 1'-0"



REFLECTED CEILING PLAN NOTES:

1. CONTRACTOR SHALL VERIFY W/ OWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
2. CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED.
3. PLEASE REFER TO ELECTRICAL DRAWINGS FOR EXACT LIGHTING LAYOUT, CONTROLS, SWITCHING AND ADDITIONAL ELECTRICAL INFORMATION.
4. PLEASE REFER TO MECHANICAL DRAWINGS FOR EXHAUST FAN, HVAC SUPPLY & RETURN LOCATIONS.

NOTE:

PLEASE REFER TO ELECTRICAL DRAWINGS FOR EXACT LIGHTING LAYOUT, CONTROLS, SWITCHING AND ADDITIONAL ELECTRICAL INFORMATION.

PLEASE REFER TO MECHANICAL DRAWINGS FOR HVAC SUPPLY & RETURN LOCATIONS.

ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH OR CENTER LINE OF FIXTURES (UNLESS NOTED). THIS SHEET ONLY

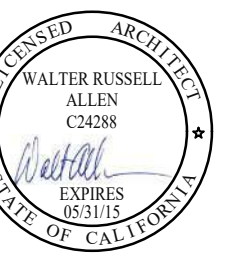
UTILITIES LEGEND:

- 2x2 SURFACE MOUNTED LED TROFFER
- 2x2 SURFACE MOUNTED LED TROFFER W/ EMERGENCY BATTERY PACK
- GASKETED LED LINEAR FEATURE
- 16" DIAMETER LED PENDANT
- LED EXIT SIGN
- LED WALL PACK W/ EMERGENCY BATTERY PACK

FIRE EQUIPMENT:

- HORN & STROBE ALARM

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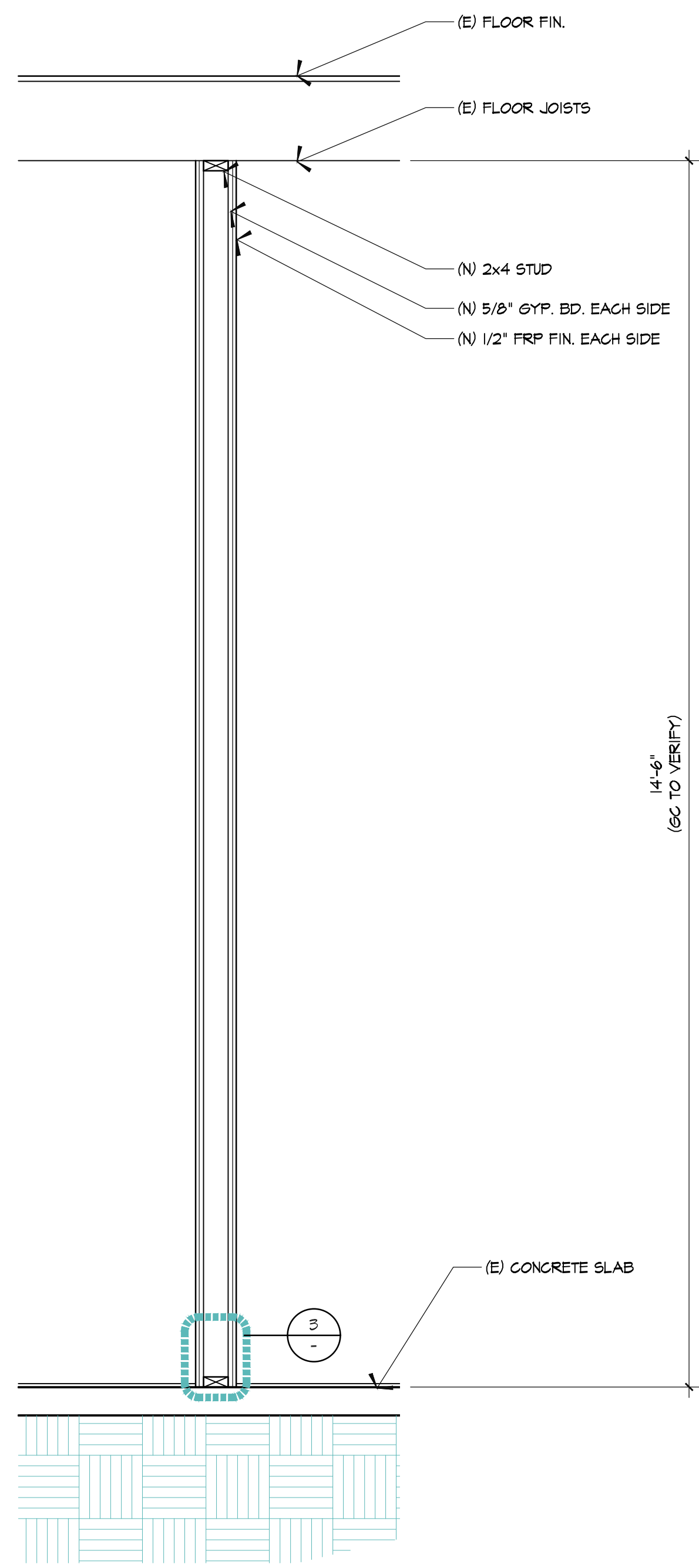
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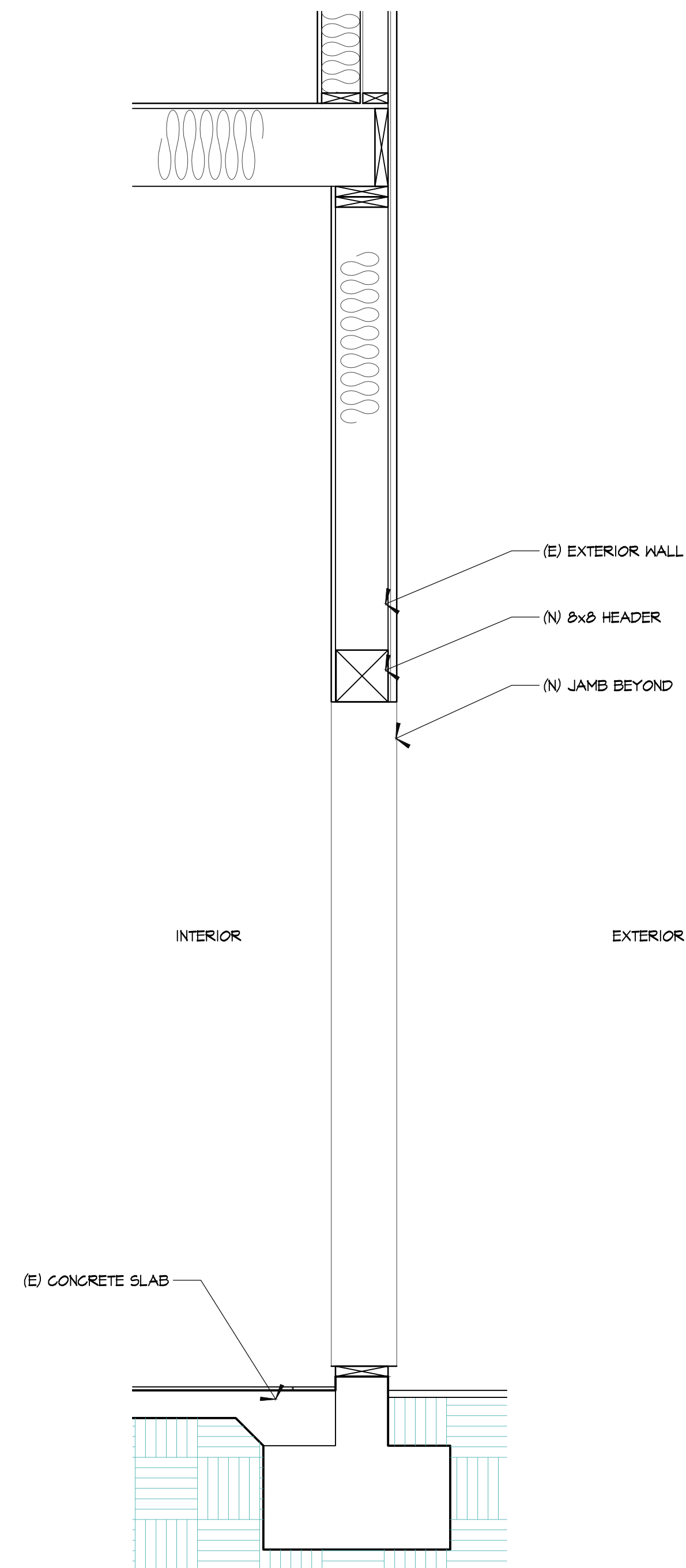
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8 - 3/4" = 1'-0"



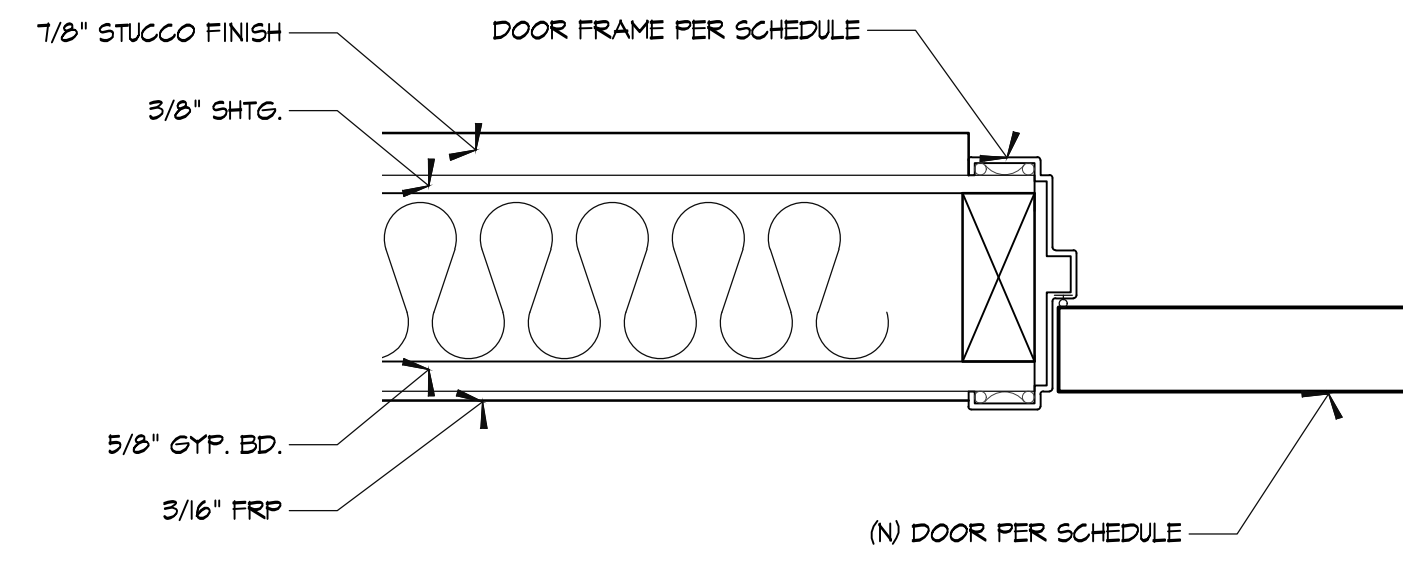
9 - 3/4" = 1'-0"

6 - SCALE 3" = 1'-0"

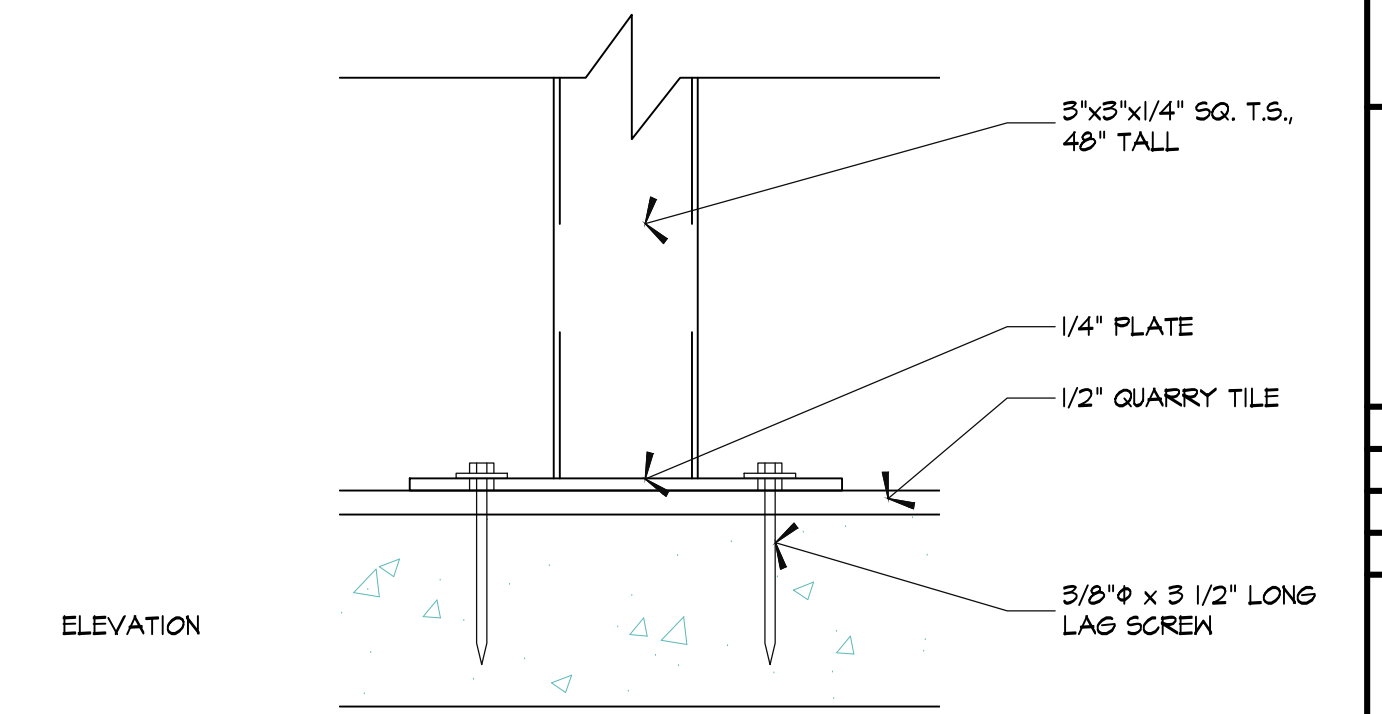
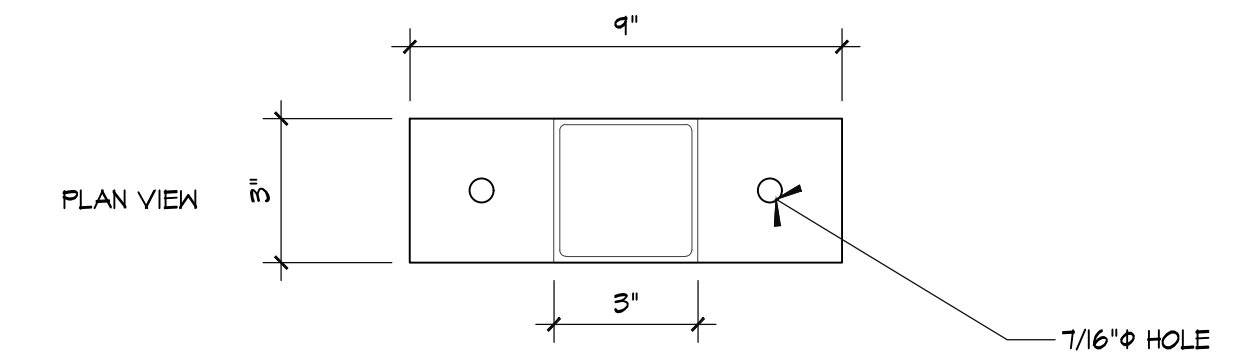
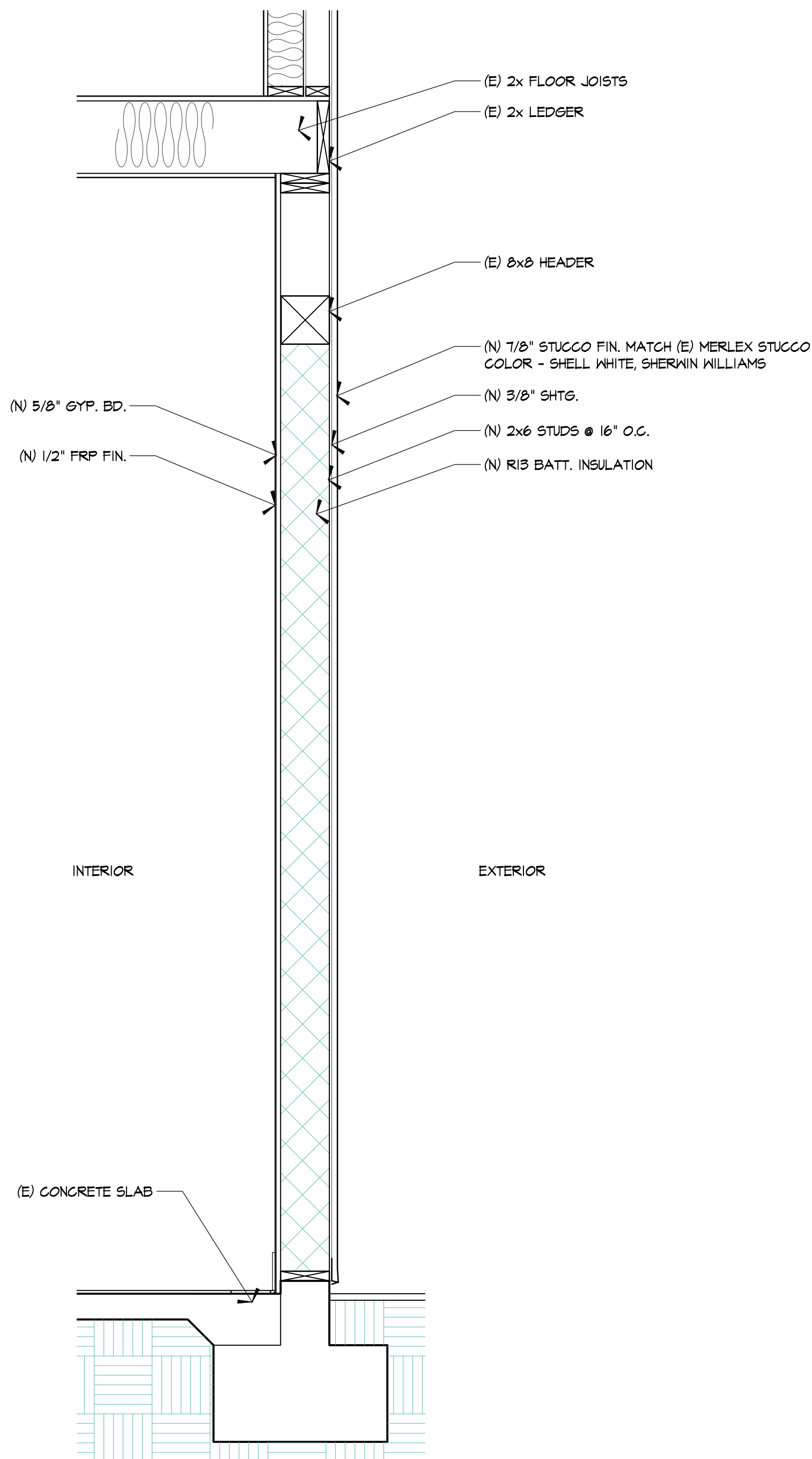


7 - SCALE 3/4" = 1'-0"

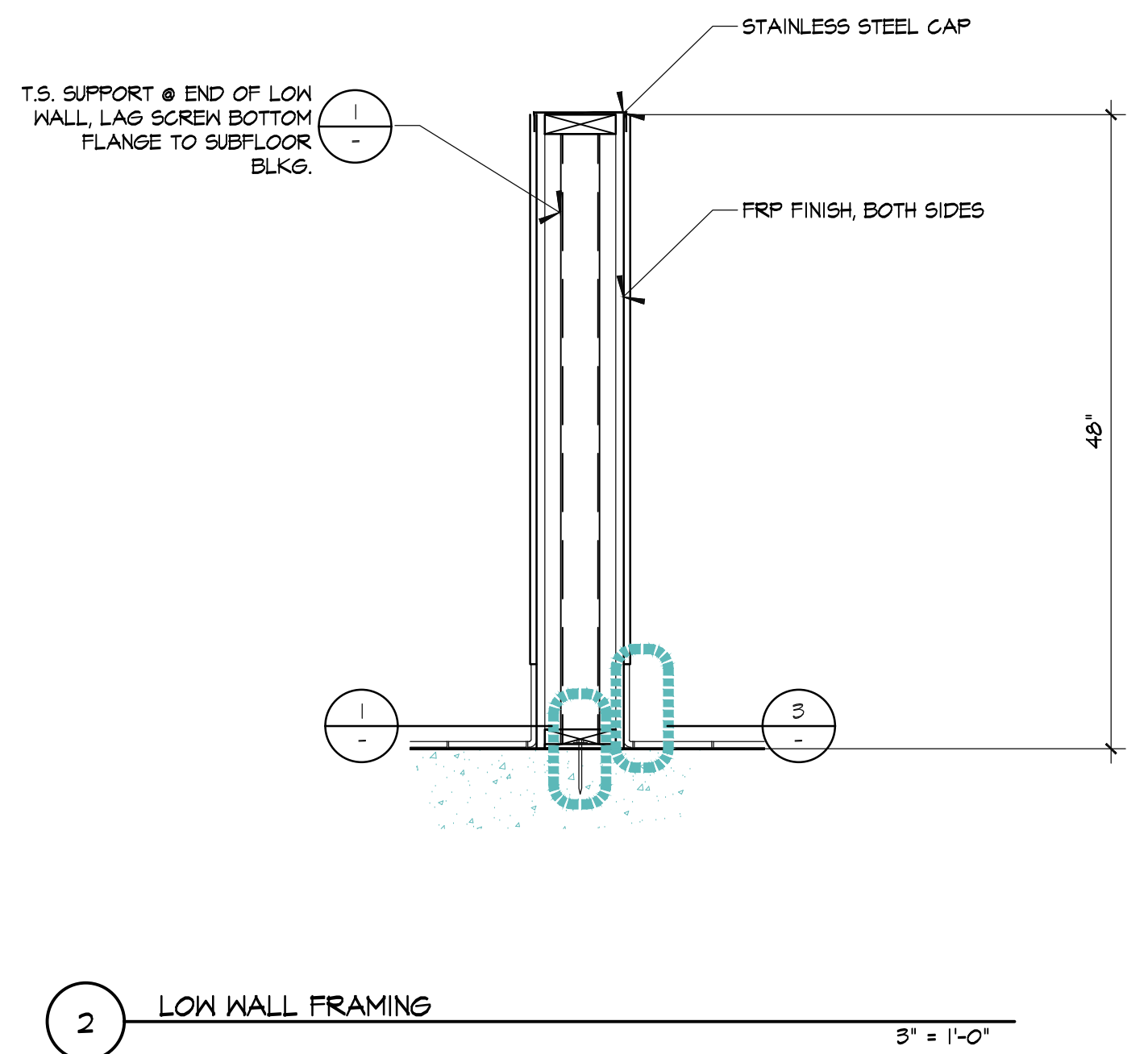
4 - (N) EXT. DOOR 3" = 1'-0"



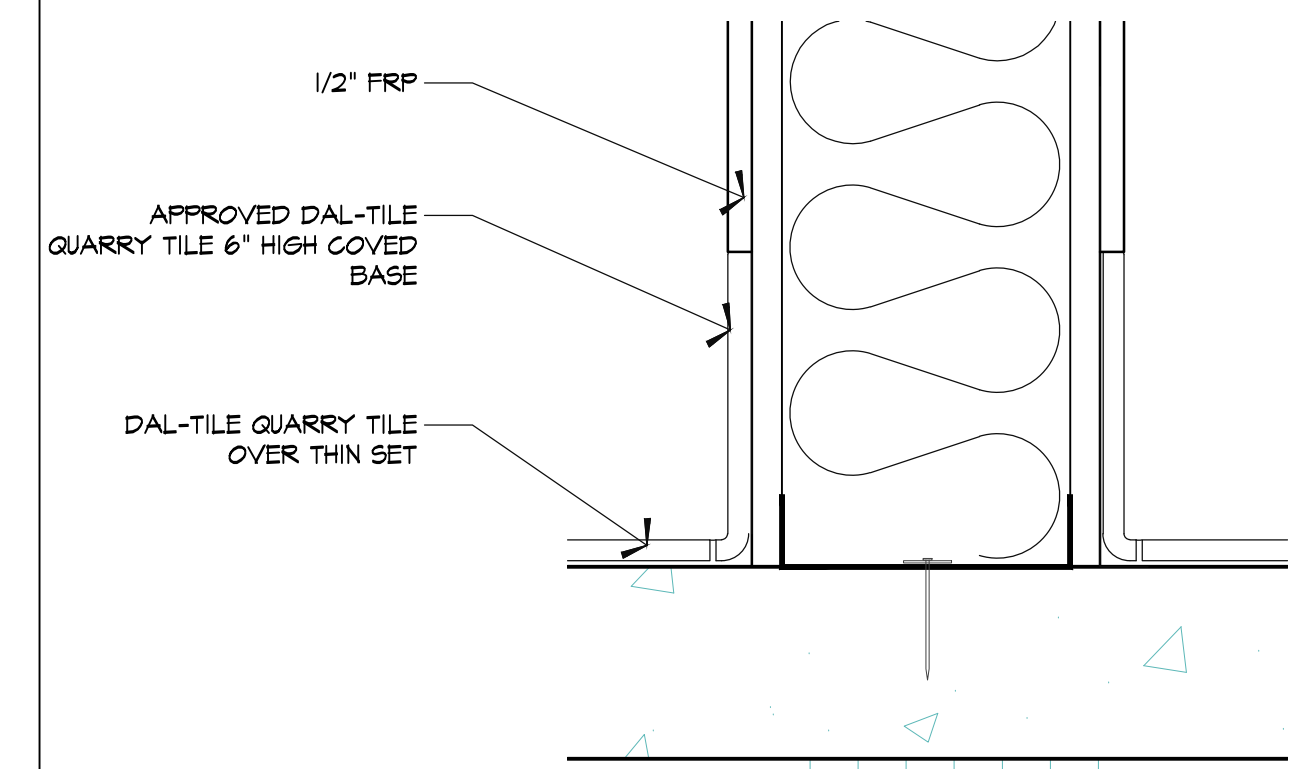
5 - NEW DOOR FRAMING SECTION 3/4" = 1'-0"



1 - TUBE STEEL SUPPORT @ LOW WALL FRAMING 3" = 1'-0"



2 - LOW WALL FRAMING 3" = 1'-0"



3 - BASE MOLDING 3" = 1'-0"



Designed	ba
Drawn By	ba
Checked	wra
Date	11/12/22

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SUSPENDED CEILING SPECIFICATION:

SUSPENDED CEILING SYSTEM TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION METHODS.

APPROVED MANUFACTURERS & SYSTEMS SHALL BE:

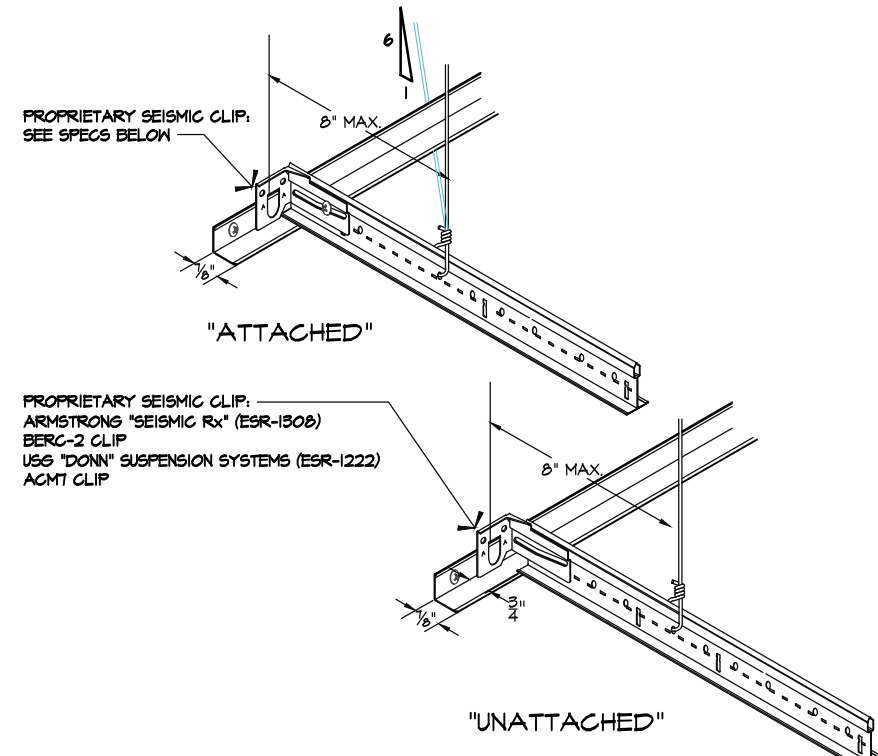
- ARMSTRONG "SEISMIC R" SUSPENSION SYSTEM (ICC-ESR-1308)

- USG "DONN" SUSPENSION SYSTEMS (ICC-ESR-1222)

SUBSTITUTION OF COMPONENTS IS NOT ALLOWED, IF SUBSTITUTIONS ARE PROPOSED, CONTRACTOR SHALL SUBMIT ALTERNATE MANUFACTURER DATA FOR VERIFICATION.

CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEViate FROM THESE PLANS WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZES ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED.

USE SPECIFIC SEISMIC CLIPS & COMPONENTS IN ACCORDANCE WITH COMPLETE APPROVED SUSPENDED CEILING SYSTEM.



2016 CODE REFERENCES:

1615.10.13 ASCE 7, SECTION 13.5.6. REPLACE ASCE 7, SECTION 13.5.6 BY THE FOLLOWING:

13.5.6 SUSPENDED CEILING SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION METHODS.

13.5.6.1 SEISMIC FORCES. THE WEIGHT OF THE CEILING, WP, SHALL INCLUDE THE CEILING GRID, CEILING TILES OR PANELS, LIGHT FIXTURES IF ATTACHED TO, CLIPPED TO, OR Laterally SUPPORTED BY THE CEILING GRID, AND OTHER COMPONENTS THAT ARE Laterally SUPPORTED BY THE CEILING. WP SHALL BE TAKEN AS NOT LESS THAN 4 PSF (19 N/M2). THE SEISMIC FORCE, FP, SHALL BE TRANSMITTED THROUGH THE CEILING ATTACHMENTS TO THE BUILDING STRUCTURAL ELEMENTS OR THE CEILING-STRUCTURE BOUNDARY.

13.5.6.2 INDUSTRY STANDARD CONSTRUCTION FOR ACOUSTICAL TILE OR LAY-IN PANEL CEILING. UNLESS DESIGNED IN ACCORDANCE WITH ASTM E 580 SECTION 5.2.2.2, OR SEISMICALLY QUALIFIED IN ACCORDANCE WITH SECTIONS 13.2.3 OR 13.2.6, ACOUSTICAL TILE OR LAY-IN PANEL CEILING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THIS SECTION.

13.5.6.2.1 SEISMIC DESIGN CATEGORIES D THROUGH F. ACOUSTICAL TILE OR LAY-IN PANEL CEILING IN SEISMIC DESIGN CATEGORIES D, E AND F SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASTM C 635, ASTM C 636, AND ASTM E 580, SECTION 5 - SEISMIC DESIGN CATEGORIES D, E AND F AS MODIFIED BY THIS SECTION.

13.5.6.2.2 MODIFICATION TO ASTM E 580:

- EXIT WAYS. LAY-IN CEILING ASSEMBLIES IN EXIT WAYS OF HOSPITALS AND ESSENTIAL SERVICES BUILDINGS SHALL BE INSTALLED WITH A MAIN RUNNER OR CROSS RUNNER SURROUNDING ALL SIDES OF EACH PIECE OF TILE, BOARD OR PANEL AND EACH LIGHT FIXTURE OR GRILLE. A CROSS RUNNER THAT SUPPORTS ANOTHER CROSS RUNNER SHALL BE CONSIDERED AS A MAIN RUNNER FOR THE PURPOSE OF STRUCTURAL CLASSIFICATION, SPLICES OR INTERSECTIONS OF SUCH RUNNERS. LIGHT FIXTURES ATTACHED WITH THROUGH CONNECTORS SUCH AS POP RIVETS, SCREWS, PINS, PLATES WITH END TABS OR OTHER APPROVED CONNECTORS.
- CORRIDORS AND LOBBIES. EXPANSION JOINTS SHALL BE PROVIDED IN THE CEILING AT INTERSECTIONS OF CORRIDORS AND AT JUNCTIONS OF CORRIDORS AND LOBBIES OR OTHER SIMILAR AREAS.
- LAY-IN PANELS. METAL PANELS AND PANELS WEIGHING MORE THAN 1-1/2 POUNDS PER SQUARE FOOT (24 NLM2) OTHER THAN ACOUSTICAL TILES SHALL BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION RUNNERS.
- LATERAL FORCE BRACING. LATERAL FORCE BRACING IS REQUIRED FOR ALL CEILING AREAS EXCEPT THAT THEY SHALL BE PERMITTED TO BE OMITTED IN ROOMS WITH FLOOR AREAS UP TO 144 SQUARE FEET WHEN PERIMETER SUPPORT IN ACCORDANCE WITH ASTM E 580 SECTIONS 5.2.2 AND 5.2.3 ARE PROVIDED AND PERIMETER WALLS ARE DESIGNED TO CARRY THE CEILING LATERAL FORCES.
- CEILING FIXTURES. FIXTURES INSTALLED IN ACOUSTICAL TILE OR LAY-IN PANEL CEILING SHALL BE MOUNTED IN A MANNER THAT WILL NOT COMPROMISE CEILING PERFORMANCE. ALL RECESSED OR DROP-IN LIGHT FIXTURES AND GRILLES SHALL BE SUPPORTED DIRECTLY FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE WITH A MINIMUM OF TWO 12-GAUGE WIRES LOCATED AT DIAGONALLY OPPOSITE CORNERS. LEVELING AND POSITIONING OF FIXTURES MAY BE PROVIDED BY THE CEILING GRID. FIXTURE SUPPORT WIRES MAY BE SLIGHTLY LOOSE TO ALLOW THE FIXTURE TO SEAT IN THE CEILING SYSTEM. FIXTURES SHALL NOT BE SUPPORTED FROM MAIN RUNNERS OR CROSS RUNNERS IF THE WEIGHT OF THE FIXTURES CAUSES THE TOTAL DEAD LOAD TO EXCEED THE DEFLECTION CAPABILITY OF THE CEILING SUSPENSION SYSTEM. FIXTURES SHALL NOT BE INSTALLED SO THAT THE MAIN RUNNERS OR CROSS RUNNERS WILL BE ECCENTRICALLY LOADED. SURFACE-MOUNTED FIXTURES SHALL BE ATTACHED TO THE MAIN RUNNER WITH AT LEAST TWO POSITIVE CLAMPING DEVICES MADE OF MATERIAL WITH A MINIMUM OF 1/4 GAUGE. ROTATIONAL SPRING CATCHES DO NOT COMPLY. A 12-GAUGE SUSPENSION WIRE SHALL BE ATTACHED TO EACH CLAMPING DEVICE AND TO THE STRUCTURE ABOVE.
- PARTITIONS. WHERE THE SUSPENDED CEILING SYSTEM IS REQUIRED TO PROVIDE LATERAL SUPPORT FOR THE PERMANENT OR RELOCATABLE PARTITIONS, THE CONNECTION OF THE PARTITION TO THE CEILING SYSTEM, THE CEILING SYSTEM MEMBERS AND THEIR CONNECTIONS, AND THE LATERAL FORCE BRACING SHALL BE DESIGNED TO SUPPORT THE REACTION FORCE OF THE PARTITION FROM PRESCRIBED LOADS APPLIED PERPENDICULAR TO THE FACE OF THE PARTITION. PARTITION CONNECTORS, THE SUSPENDED CEILING SYSTEM AND THE LATERAL FORCE BRACING SHALL ALL BE ENGINEERED TO SUIT THE INDIVIDUAL PARTITION APPLICATION AND SHALL BE SHOWN OR DEFINED IN THE DRAWINGS OR SPECIFICATIONS.

ASTM E 580, SECTION 5: SEISMIC DESIGN CATEGORY D, E & F

THE OBJECTIVE OF THIS SECTION IS TO PROVIDE A RESTRAINED CEILING THROUGH EITHER CONNECTION TO THE PERIMETER WALL OR THROUGH BRACING EITHER RIGID OR NON-RIGID. THE KEY TO GOOD SEISMIC PERFORMANCE OF THIS TYPE OF CEILING IS THAT THE WIDTH OF THE CLOSURE ANGLE AROUND THE PERIMETERS ARE ADEQUATE TO ACCOMMODATE CEILING MOTION AND THAT PENETRATIONS, SUCH AS COLUMNS AND PIPING, HAVE ADEQUATE CLEARANCE TO AVOID CONCENTRATING RESTRAINING LOADS ON THE CEILING SYSTEM.

5.1 SUSPENSION SYSTEM COMPONENTS:

5.1.1 ONLY HEAVY-DUTY MAIN TEES AS DEFINED IN SPECIFICATION C 635 SHALL BE USED.

5.1.2 THE MAIN RUNNERS AND CROSS RUNNERS OF THE CEILING SYSTEM AND THEIR INTERSECTION CONNECTORS, AND EXPANSION DEVICES SHALL BE DESIGNED AND CONSTRUCTED TO CARRY A MEAN ULTIMATE TEST LOAD OF NOT LESS THAN 180 LB (80 KG) IN COMPRESSION AND IN TENSION THE TENSILE TEST SHALL ALLOW FOR A 5° OFFSET OF THE CONNECTION IN ANY DIRECTION. INSTEAD OF A 5° MISALIGNMENT, THE LOAD CAN BE APPLIED WITH A 1-IN. (25-MM) ECCENTRICITY ON A SAMPLE NOT MORE THAN 24 IN. (600 MM) LONG ON EACH SIDE OF THE SPLICE OR INTERSECTION. THE CONNECTORS AT SPLICES AND INTERSECTIONS SHALL BE THE MECHANICAL INTERLOCKING TYPE.

5.1.3 EVALUATION OF TEST RESULTS SHALL BE MADE ON THE MEAN VALUES RESULTING FROM TESTS ON A MINIMUM OF THREE IDENTICAL SPECIMENS. IF THE DEVIATION OF ANY INDIVIDUAL TEST RESULT EXCEEDS ± 10% FROM THE MEAN VALUE, THREE ADDITIONAL SAMPLES SHALL BE TESTED. AFTER THE REQUIRED TESTING ON THE SIX SPECIMENS IS COMPLETE, DROP THE HIGH AND LOW TEST VALUES AND USE THE REMAINING FOUR TEST RESULTS TO OBTAIN THE MEAN TEST VALUE AVERAGE. IF ONE OF THE REMAINING TEST RESULTS STILL EXCEEDS THE ± 10% MEAN VALUE, THE LOWEST INDIVIDUAL TEST VALUE RECORDED FROM THE SIX TEST WILL BE USED AS THE REPORTED TEST RESULT.

5.2 SUSPENSION SYSTEM APPLICATION:

5.2.1 UNLESS PERIMETER MEMBERS ARE A STRUCTURAL PART OF THE APPROVED SYSTEM AND MEET THE STRUCTURAL LOAD CARRYING REQUIREMENTS, WALL ANGLES OR CHANNELS SHALL BE CONSIDERED AS AESTHETIC CLOSERS AND SHALL HAVE NO STRUCTURAL VALUE ASSESSED TO THEMSELVES OR THEIR METHOD OF ATTACHMENT TO THE WALLS.

5.2.2 THE PERIMETER SUPPORT ANGLE SHALL SUPPLY A SUPPORT LEDGE OF NOT LESS THAN 2 IN. (50 MM).

5.2.3 MAIN RUNNER AND/OR CROSS RUNNERS SHALL BE ATTACHED TO THE PERIMETER ON TWO ADJACENT WALLS. CLEARANCE OF 3/4 IN. (19MM) SHALL BE MAINTAINED BETWEEN THE MAIN RUNNER AND CROSS RUNNER ENDS AND THE PERIMETER MEMBERS ON THE TWO OPPOSITE WALLS (SEE FIG. 4, C-C). ON THE WALLS WHERE THE TERMINAL END RUNNERS ARE NOT FIXED TO THE PERIMETER SUPPORTING CLOSURE, ALLOW FOR 3/4 IN. (19 MM) AXIAL MOVEMENT.

5.2.4 TERMINAL ENDS OF MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER OR HAVE SOME OTHER APPROVED MEANS TO PREVENT THEIR SPREADING. STABILIZER BARS, CROSS TEES OR OTHER MEANS TO PREVENT SPREADING SHALL OCCUR WITHIN 8 IN. (200 MM) OF EACH WALL.

5.2.5 DIRECT CONCEALED SUSPENDED CEILING SYSTEMS SHALL HAVE POSITIVELY CONNECTED STABILIZER BARS OR MECHANICALLY CONNECTED CROSS RUNNERS AT A MAXIMUM SPACING OF 60 IN. (1500 MM) PERPENDICULAR TO THE MAIN RUNNERS. STABILIZATION SHALL OCCUR WITHIN 24 IN. (600 MM) OF EACH WALL.

5.2.6 THE TERMINAL END OF EACH CROSS RUNNER AND MAIN RUNNER SHALL BE SUPPORTED INDEPENDENTLY, A MAXIMUM OF 8 IN. (200 MM) FROM EACH WALL OR CEILING DISCONTINUITY WITH NO. 12-GAUGE (2.70 MM) WIRE OR APPROVED WALL SUPPORT. SEE FIG. 4.

5.2.7 SUSPENSION WIRE APPLICATION:

5.2.7.1 SUSPENSION WIRES OF GALVANIZED, SOFT-ANNEALED, MILD STEEL WIRE SHALL NOT BE SMALLER THAN NO. 12 GAUGE (2.70 MM) SPACED AT 4 FT (1200 MM) ON CENTER ALONG EACH MAIN RUNNER UNLESS CALCULATIONS JUSTIFYING THE INCREASED SPACING OR ALTERNATE MATERIALS ARE PROVIDED.

5.2.7.2 EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE SUCH THAT THE WIRE LOOPS SHALL BE TIGHTLY WRAPPED AND SHARPLY BENT TO PREVENT ANY VERTICAL MOVEMENT OR ROTATION OF THE MEMBER WITHIN THE LOOPS. THE WIRE MUST BE WRAPPED AROUND ITSELF A MINIMUM OF THREE FULL TURNS (360° EACH) WITHIN A 3-IN. (75-MM) LENGTH. CONNECTION DEVICES TO THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN A 100-LB (45-KG) ALLOWABLE LOAD.

5.2.7.3 SUSPENSION WIRES SHALL NOT HANG MORE THAN ONE IN SIX OUT OF PLUMB UNLESS COUNTERSLOPING WIRES ARE PROVIDED.

5.2.7.4 WIRES SHALL NOT ATTACH TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. A TRAPEZOID OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZOID SUSPENSIONS SHALL BE SIZED TO RESIST THE DEAD LOAD AND LATERAL FORCES APPROPRIATE FOR THE SEISMIC DESIGN CATEGORY.

MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS:

EMT Conduit	
1/2" EMT conduit	up to 6 feet, 0 inches
3/4" EMT conduit	up to 8 feet, 6 inches
1" EMT conduit	up to 10 feet, 0 inches
1 Metal Stud	
1-5/8" metal stud (25-gauge)	up to 6 feet, 2 inches
2-1/2" metal stud (25-gauge)	up to 10 feet, 6 inches

Note: Plenum areas greater than 11 feet require engineering calculations.

5.2.8 LATERAL FORCE BRACING:

5.2.8.1 LATERAL FORCE BRACING IS REQUIRED FOR ALL CEILING AREAS GREATER THAN 1000 FT² (92.9 M²).

5.2.8.2 HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12-GAUGE (2.70 MM) WIRES SECURED TO THE MAIN RUNNER WITHIN 2 IN. (50 MM) OF THE CROSS RUNNER INTERSECTION AND SPAYED 90° FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING-STRUT FASTENED TO THE MAIN RUNNER AT THE LOCATION OF THE BRACING WIRES SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE ROOF OR FLOOR ABOVE. THE STRUT SHALL BE ADEQUATE TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FT (3600 MM) ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FT (1800 MM) FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE AND TO THE MAIN RUNNER SHALL BE ADEQUATE FOR THE LOAD IMPOSED. SEE FIG. 4.

5.2.8.3 LATERAL FORCE BRACING MEMBERS SHALL BE SPACED A MINIMUM OF 6 IN. (150 MM) FROM ALL HORIZONTAL PIPING OR DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRE SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A LOAD OF NOT LESS THAN 200 LB (90 KG) OR TWO TIMES THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER.

5.2.8.4 RIGID BRACES THAT HAVE BEEN DESIGNED TO LIMIT RELATIVE LATERAL DEFLECTIONS AT THE POINT OF ATTACHMENT OF THE CEILING GRID TO LESS THAN 0.25 IN. (6 MM) ARE PERMITTED TO BE USED IN THE PLACE OF DIAGONAL SPRAY WIRES.

5.2.8.5 EXCEPT WHERE RIGID BRACING IS USED OR SUBSTANTIATING DESIGN CALCULATIONS HAVE SHOWN THAT LATERAL DEFLECTIONS ARE LIMITED TO LESS THAN 0.25 IN. (6 MM), SPRINKLER HEADS AND OTHER PENETRATIONS SHALL HAVE A 2-IN. (50-MM) OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1 IN. (25 MM) IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE 1 IN. (25 MM) OF CEILING MOVEMENT SHALL BE PERMITTED TO BE USED WITHOUT THE OVERSIZED RING, SLEEVE OR ADAPTER.

5.2.8.6 CHANGES IN CEILING PLANE ELEVATION SHALL HAVE INDEPENDENT POSITIVE BRACING.

5.2.8.7 CABLE TRAYS & ELECTRICAL CONDUITS SHALL BE SUPPORTED AND BRACED INDEPENDENTLY OF THE CLG.

5.2.8.8 INTEGRAL CEILING SPRINKLER CONSTRUCTION IS AN ALTERNATE TO PROVIDING THE LARGE CLEARANCES SPECIFIED IN 5.2.8.4. IT IS ACCEPTABLE FOR THE SPRINKLER SYSTEM AND THE CEILING SYSTEM GRID TO BE DESIGNED AND CONSTRUCTED SO THAT THEY ARE TIED TOGETHER AS AN INTEGRAL UNIT. SUCH A DESIGN SHALL BE PERFORMED BY A REGISTERED ENGINEER AND SHALL CONSIDER THE MASS AND FLEXIBILITY OF ALL ELEMENTS INVOLVED, INCLUDING THE CEILING SYSTEM, SPRINKLER SYSTEM, LIGHT FIXTURES AND MECHANICAL (HVAC) APPURTENANCES.

5.2.9 SEPARATION JOINT. NOTE: THERE IS NO CEILING AREA EXCEEDING 2500 S.F. FOR THIS PROJECT.

5.2.9.1 ALL CONTINUOUS CEILING AREAS EXCEEDING 2500 FT² (232 M²) SHALL HAVE A SEISMIC SEPARATION JOINT, BULKHEAD BRACED TO THE STRUCTURE OR FULL HEIGHT PARTITION THAT BREAKS THE CEILING INTO AREAS OF NO MORE THAN 2500 FT² (232 M²) AND HAVING A RATIO OF THE LONG TO SHORT DIMENSION LESS THAN OR EQUAL TO 4. EACH AREA SHALL BE CAPABLE OF ALLOWING 6-3/4 IN. (168 MM) AXIAL MOVEMENT. AREAS SURROUNDED BY BULKHEADS OR FULL HEIGHT PARTITIONS SHALL BE PROVIDED WITH CLOSURE ANGLES IN ACCORDANCE WITH 5.2.2. EACH AREA WITH A SEISMIC SEPARATION JOINT, BULKHEAD OR FULL HEIGHT PARTITION SHALL HAVE HORIZONTAL BRACING OR RESTRAINTS IN ACCORDANCE WITH 5.2.8.

5.3 LIGHT FIXTURE APPLICATION:

5.3.1 ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM BY MECHANICAL MEANS AS SPECIFIED IN THE NATIONAL ELECTRICAL CODE, UNLESS INDEPENDENTLY SUPPORTED. THE ATTACHMENT DEVICE SHALL HAVE THE CAPACITY OF 100% OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. A MINIMUM OF TWO ATTACHMENT DEVICES ARE REQUIRED FOR EACH FIXTURE.

5.3.2 SURFACE-MOUNTED LIGHTING FIXTURES SHALL BE ATTACHED TO THE CEILING SUSPENSION SYSTEM WITH POSITIVE CLAMPING DEVICES THAT COMPLETELY SURROUND THE SUPPORTING MEMBERS. SAFETY WIRES SHALL BE ATTACHED BETWEEN THE CLAMPING DEVICE AND THE ADJACENT CEILING HANGER OR TO THE STRUCTURE ABOVE. IN NO CASE SHALL THE LOAD CARRYING CAPABILITY OF THE CEILING SUSPENSION SYSTEM BE COMPROMISED BY THE WEIGHT OF THE LIGHTING FIXTURES. SUPPLEMENTAL HANGER WIRES SHALL BE REQUIRED. SUPPLEMENTAL HANGER WIRES SHALL BE INSTALLED AS SHOWN IN FIG. 5.

5.3.4 LIGHTING FIXTURES WEIGHING LESS THAN 10 LB (5 KG) SHALL HAVE ONE NO. 12 GAUGE (2.70 MM) SAFETY WIRE CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. IT IS NOT NECESSARY FOR THESE SAFETY WIRES TO BE TAUT.

5.3.5 LIGHTING FIXTURES WEIGHING GREATER THAN 10 LB (5 KG) BUT LESS THAN 56 LB (25 KG) SHALL HAVE, IN ADDITION TO THE REQUIREMENTS OUTLINED IN 5.3.4, TWO NO. 12-GAUGE (2.70 MM) HANGER WIRES CONNECTED FROM THE FIXTURE HOUSING (NOT THE DETACHABLE END PLATES) TO THE STRUCTURE ABOVE THAT ACT AS SAFETY WIRES. IT IS NOT NECESSARY FOR THESE SAFETY WIRES TO BE TAUT.

5.3.6 LIGHTING FIXTURES WEIGHING 56 LB (25 KG) OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.

5.3.7 PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO LESS THAN NO. 4-GAUGE (3.70 MM) WIRE OR AN APPROVED ALTERNATE SUPPORT. THE CEILING SUSPENSION SYSTEM SHALL NOT PROVIDE ANY DIRECT SUPPORT.

5.3.8 RIGID CONDUIT SHALL NOT BE USED FOR ATTACHMENT OF THE FIXTURES.

5.4 SERVICES WITHIN THE CEILING:

5.4.1 FLEXIBLE SPRINKLER HOSE FITTINGS, CEILING-MOUNTED AIR TERMINALS OR OTHER SERVICES WEIGHING LESS THAN 20 LB (9 KG) SHALL BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION MAIN RUNNERS OR TO CROSS RUNNERS THAT HAVE THE SAME CARRYING CAPACITY AS THE MAIN RUNNERS.

5.4.2 FLEXIBLE SPRINKLER HOSE FITTINGS, AIR TERMINALS OR OTHER SERVICES WEIGHING MORE THAN 20 LB (9 KG) BUT LESS THAN 56 LB (25 KG) SHALL HAVE, IN ADDITION TO THE REQUIREMENTS IN 5.4.1, TWO NO. 12-GAUGE (2.70 MM) HANGER WIRES CONNECTED FROM THE TERMINAL OR SERVICE TO THE CEILING SYSTEM HANGERS OR TO THE STRUCTURE ABOVE THAT ACT AS SAFETY WIRES. IT IS NOT NECESSARY FOR THESE WIRES TO BE TAUT.

5.4.3 FLEXIBLE SPRINKLER HOSE FITTINGS, AIR TERMINALS OR OTHER SERVICES WEIGHING MORE THAN 56 LB (25 KG) SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.

5.5 PARTITION APPLICATION TO SUSPENDED CEILING:

5.5.1 PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN 6 FT (1.8 M) IN HEIGHT SHALL BE Laterally BRACED TO THE BUILDING STRUCTURE. SUCH BRACING SHALL BE INDEPENDENT OF ANY CEILING SPAY BRACING. BRACING SHALL BE SPACED TO LIMIT HORIZONTAL DEFLECTION AT THE PARTITION HEAD TO BE COMPATIBLE WITH CEILING DEFLECTION REQUIREMENTS AS DETERMINED FOR SUSPENDED CEILING.

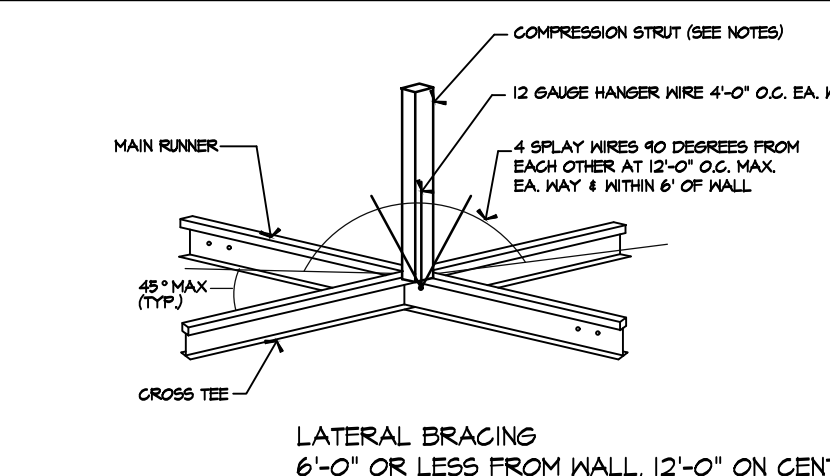
5.6 CEILING PENETRATIONS:

5.6.1 ALL CEILING PENETRATIONS (COLUMNS, ETC.) AND INDEPENDENTLY SUPPORTED FIXTURES OR SERVICES SHALL BE CONSIDERED AS PERIMETER CLOSURES THAT ALSO MUST ALLOW THE REQUIRED CLEARANCES BY USING SUITABLE CLOSURE DETAIL.

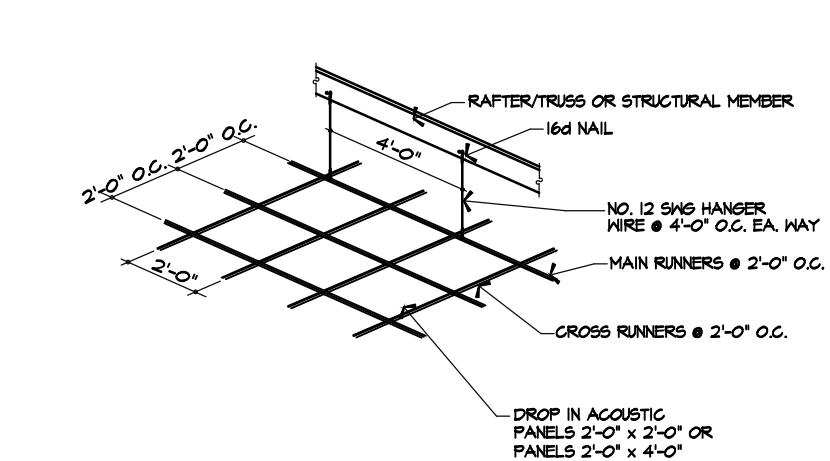
5.7 CONSEQUENTIAL DAMAGE/SEISMIC INTERACTION EFFECTS:

5.7.1 THE FUNCTIONAL AND PHYSICAL INTERRELATIONSHIP OF ARCHITECTURAL COMPONENTS (CEILING), THEIR SUPPORTS, AND THEIR EFFECT ON EACH OTHER SHALL BE CONSIDERED SO THAT THE FAILURE OF AN ESSENTIAL OR NON-ESSENTIAL CEILING, MECHANICAL OR ELECTRICAL COMPONENT SHALL NOT CAUSE THE FAILURE OF AN ESSENTIAL CEILING, MECHANICAL OR ELECTRICAL COMPONENT. THIS SHALL BE THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL.

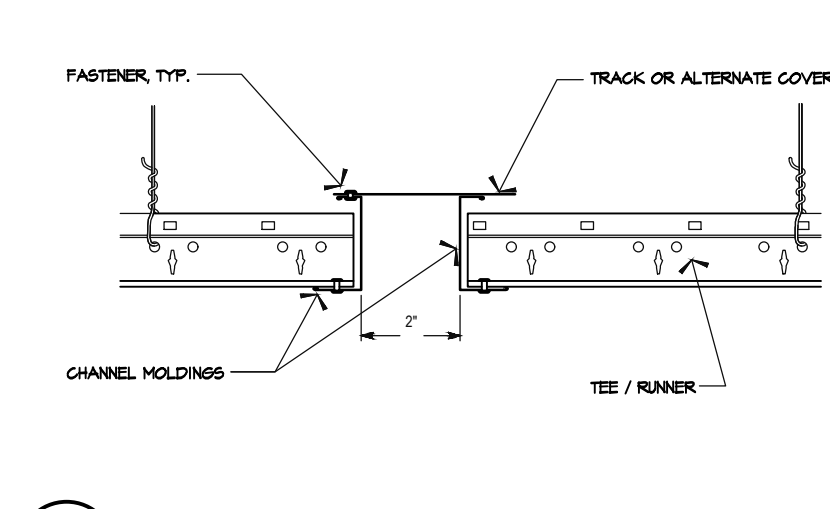
note 3--an essential component is a component that must function and be operable immediately after a seismic event.



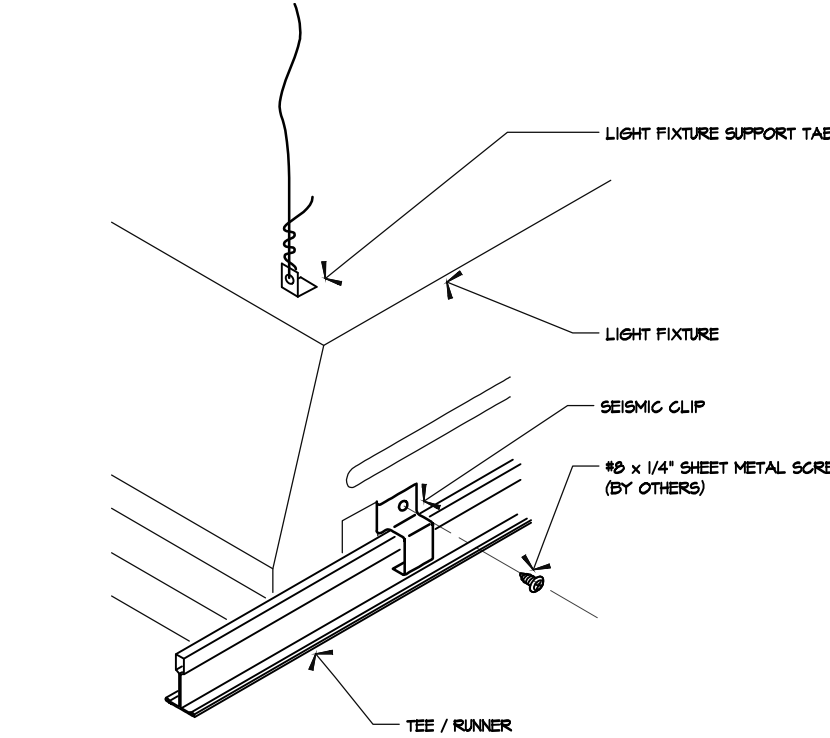
A LATERAL BRACING N.T.S.



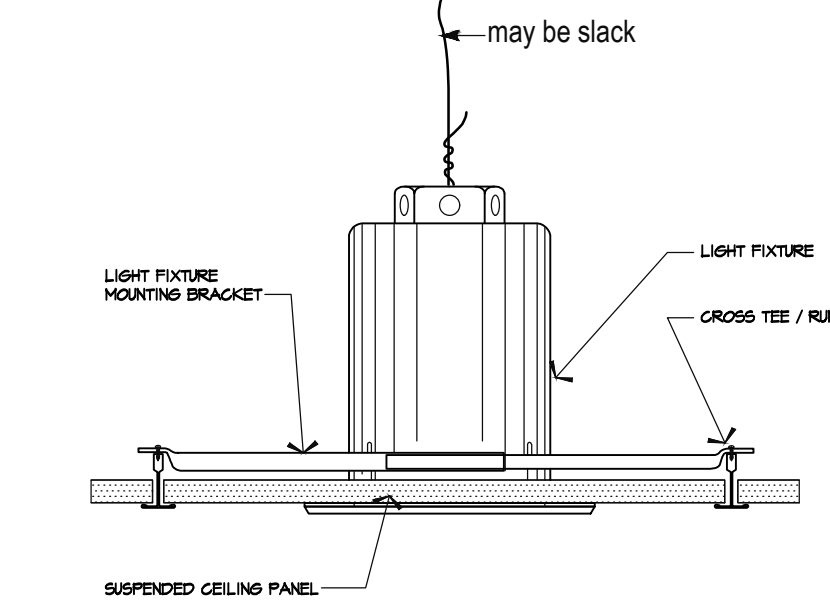
B RUNNERS AND HANGER WIRES N.T.S.



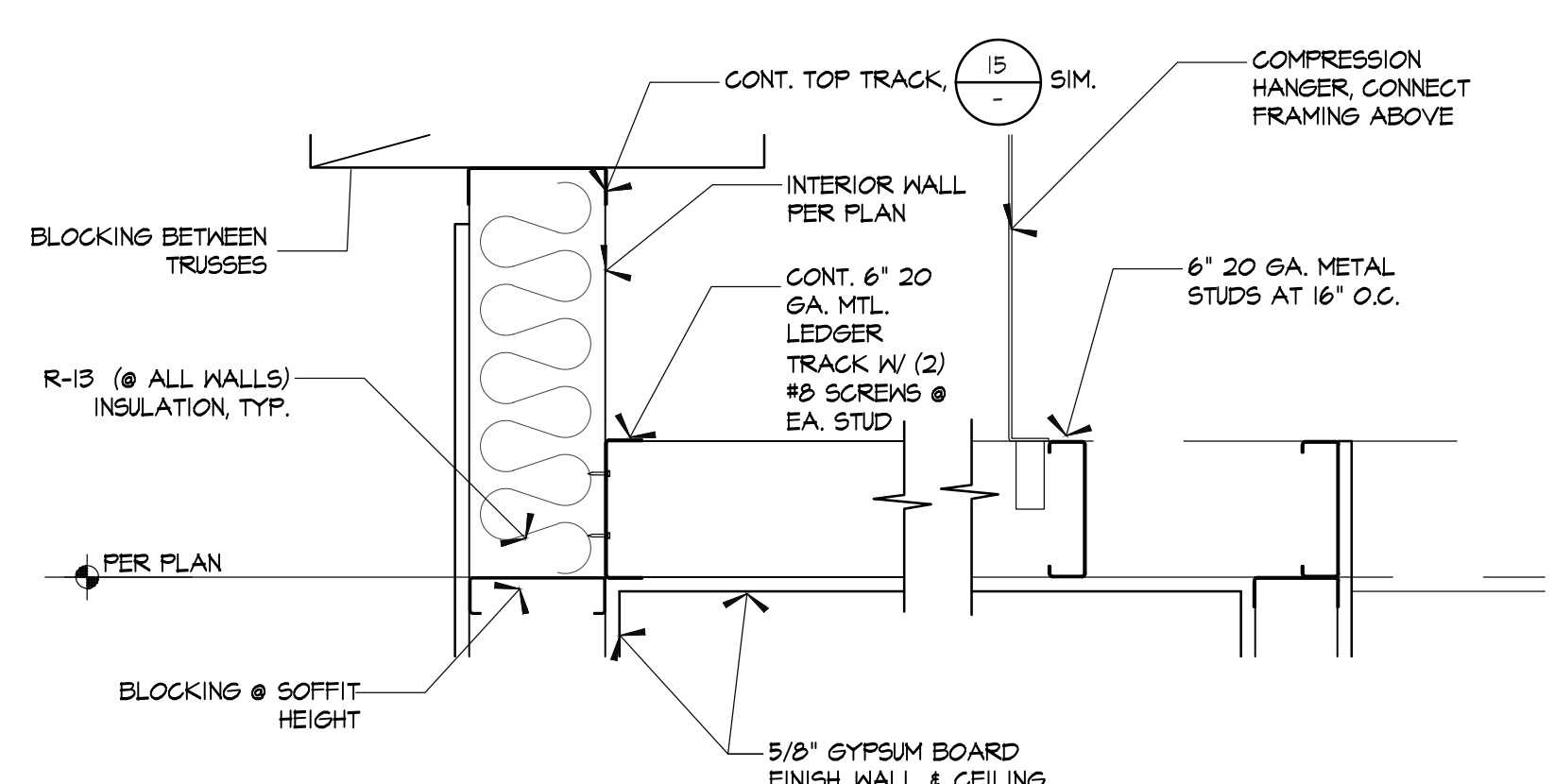
C SEISMIC SEPARATION JOINTS N.T.S.



D STANDARD PERIMETER CLOSURE N.T.S.



E FIXTURE MOUNTING DETAILS N.T.S.



2 GYP. BOARD CEILING FRAMING (WHERE APPLICABLE) 1/2" = 1'-0"

1 SUSPENDED CEILING DETAILS AND GENERAL NOTES

Old Town Temecula

rtetex

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Designed	bcj
Drawn By	bcj
Checked	WFG
Date	11/2/22

MIRAMONTE KITCHEN

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Permit Number: Permit Number

Revisions	Sym.	Date	By	Job Number	Drawing Number

a802

N.T.S.

ELECTRICAL SYMBOL LEGEND

SOME SYMBOLS IN THIS LEGEND MAY OR MAY NOT BE USED IN THIS PROJECT. FLOOR PLANS SHALL DICTATE WHICH SYMBOLS ARE APPLICABLE.

SYMBOL	DESCRIPTION
	CONDUIT HOMERUN WITH PANEL DESIGNATION AND CIRCUITS INDICATED.
	CONDUIT/WIRING, INSTALLED IN OR BELOW FLOOR SLAB.
	CONDUIT/WIRING, EXPOSED.
	CONDUIT/WIRING CONCEALED IN WALL OR CEILING SPACE.
	CONDUIT, FLEXIBLE CONNECTION DRY LOCATIONS - FLEXIBLE STEEL CONDUIT WET LOCATIONS - LIQUIDTIGHT FLEXIBLE STEEL CONDUIT
	LIGHT FIXTURE DESIGNATION
	LED LIGHTING FIXTURE UPPER CASE LETTER(S) = FIXTURE TYPE NUMBER = CIRCUIT NUMBER LOWER CASE LETTER(S) = ROOM SWITCHING CIRCUITS AND NUMBER OF SWITCHES NOTE: THIS LABELING SCHEME IS TYPICAL FOR ALL LIGHT FIXTURES.
	LED, WALL MOUNTED LIGHT FIXTURE.
	LED STRIP OR UNDERCABINET TASK LIGHT
	LED LIGHTING FIXTURE WITH EMERGENCY BATTERY PACK OR CONNECTED TO EMERGENCY POWER SYSTEM.
	POLE MOUNTED LIGHT FIXTURE WITH POLE AND FOUNDATION. NUMBER AND ORIENTATION OF LUMINAIRES AS SHOWN ON DRAWINGS.
	LIGHTING FIXTURE, WALL OR BRACKET MOUNTED.
	LIGHTING FIXTURE, SURFACE OR RECESSED MOUNTED.
	LIGHTING FIXTURE WITH EMERGENCY BATTERY PACK OR CONNECTED TO EMERGENCY POWER SYSTEM.
	TRACK LIGHTING WITH FIXTURES.
	MOTION SENSOR, DUAL TECHNOLOGY, CEILING MOUNTED NOT TO BE LOCATED WITHIN 48" OF ANY HVAC DIFFUSER.
	EXIT LIGHT FIXTURE. DARKENED AREA INDICATES FIXTURE FACE. ARROW INDICATES DIRECTION OF FACE ARROW. LL = LOW LEVEL
	LIGHT SWITCH, WALL MOUNTED AT +42" AFF, U.O.N. 2 = TWO POLE, 3 = THREE WAY, 4 = FOUR WAY o, d = INDICATES ROOM SWITCHING CIRCUITS AND NUMBER OF SWITCHES D = DIMMER K = KEYPAD OC = OCCUPANCY SENSOR, DUAL TECHNOLOGY VS = VACANCY SENSOR, MANUAL ON, WHERE REQUIRED BY CODE P = PILOT LIGHT, LIGHTED IN THE OFF POSITION. BP = BYPASS TIMER WP = WEATHERPROOF WR = WEATHER RESISTANT F = FAN SWITCH S = SOLATUBE CONTROL T = TIMER SWITCH LV = LOW VOLTAGE
	JUNCTION BOX, HANDHOLE OR PULLBOX WITH COVER, SIZE PER NEC, ART. 314.28.
	GROUND
	FUSE
	UTILITY COMPANY APPROVED CT/METER PROVISIONS
	FUSED SWITCH
	CIRCUIT BREAKER
	TIME CLOCK
	LIGHTING OR POWER PANEL - FLUSH MOUNT UNLESS INDICATED OTHERWISE
	DISTRIBUTION BOARD, LIGHTING OR POWER PANEL DESIGNATION
	MOTOR OR MECHANICAL EQUIPMENT, WITH FLEXIBLE CONNECTION
	MECHANICAL EQUIPMENT DESIGNATION
	DISCONNECT SWITCH (30=AMPS 3=POLES) NEMA 1 INDOORS NEMA 3R IN WET LOCATIONS F = FUSED PROVIDE TIME-DELAY TYPE FUSE(S) SIZED PER EQUIPMENT MANUFACTURERS NAMEPLATE RATING.
	MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD PROTECTOR
	MAGNETIC MOTOR STARTER WITH THERMAL OVERLOAD PROTECTOR
	COMBINATION MOTOR STARTER WITH FUSED SWITCH, WITH THERMAL OVERLOAD PROTECTOR AND DUAL ELEMENT FUSES. (30=AMPS, 3=POLES 0=STARTER SIZE).
	PUSHBUTTON OR SHUNT TRIP STATION
	DUPLEX RECEPTACLE, +18" AFF, U.O.N.; NEMA 5-20R, U.O.N.; NUMBER INDICATES CIRCUIT NUMBER. GFI = GROUND FAULT INTERRUPTION, FEED-THRU TYPE WP = WEATHERPROOF WITH A WEATHERPROOF WHILE-IN-USE COVER WR = WEATHER-RESISTANT TYPE RECEPTACLE WITH A WEATHERPROOF WHILE-IN-USE COVER GFI = GROUND FAULT INTERRUPTION.
	DOUBLE DUPLEX RECEPTACLE, +18" AFF, U.O.N.
	DUPLEX RECEPTACLE ABOVE COUNTERTOP BACKSPASH, VERIFY REQ'D HEIGHT
	POWER RECEPTACLE, SEE POWER RECEPTACLE SCHEDULE FOR NEMA CONFIGURATION AND SIZE.
	POWER POLE, WITH NUMBER OF RECEPTACLES INDICATED
	DUPLEX RECEPTACLE, PEDESTAL MOUNTED
	CEILING MOUNTED DUPLEX RECEPTACLE AT T-BAR CEILING NOT TO BE MOUNTED IN CEILING SPACE.
	DUPLEX RECEPTACLE, FLUSH FLOOR MOUNTED, WITH HINGED COVER, U.O.N.
	CORD SUSPENDED CEILING RECEPTACLE, WITH STRAIN RELIEF ASSEMBLY
	SURFACE MOUNTED DUPLEX RECEPTACLE +18" AFF, U.O.N.
	SURFACE MOUNTED DOUBLE DUPLEX RECEPTACLE +18" AFF, U.O.N.
	DOUBLE DUPLEX RECEPTACLE, +18" AFF, U.O.N. 1-CONTROLLED + 1-UNCONTROLLED DUPLEX RECEPTACLE. CONTROLLED RECEPTACLE TO BE GRAY IN COLOR.

SYMBOL	DESCRIPTION
	DUCT MOUNTED SMOKE DETECTOR
	SOLID STATE, ELECTRONIC, ADJUSTABLE TRIP CIRCUIT BREAKER WITH LSIG.
	DAYLIGHT SENSOR
	SMOKE DETECTOR
Signal Systems	
	TELEPHONE OR TERMINAL BACKBOARD
	TELEPHONE OR TERMINAL CABINET, WITH PLYWOOD BACKBOARD
	PAGING SPEAKER, WALL MOUNT
	PAGING SPEAKER, CEILING MOUNT WITH BACKBOX
	INTRUSION INFRARED SENSOR.
	TIME-OF-DAY CLOCK OUTLET AND CLOCK, AT +96" AFF, U.O.N.
	CABLE TELEVISION OUTLET, AT +18" AFF, U.O.N.
	CLOCK AND SPEAKER COMBINATION
	DATA JUNCTION BOX, AT +18" AFF U.O.N., WITH 1-1/4" CONDUIT ONLY WITH PULLSTRING UP TO NEAREST CABLE TRAY OR ACCESSIBLE TO CEILING SPACE.
	TELEPHONE JUNCTION BOX, AT +18" AFF U.O.N., WITH 1-1/4" CONDUIT ONLY WITH PULLSTRING UP TO NEAREST ACCESSIBLE TO CEILING SPACE.
	TELE/DATA JUNCTION BOX AT +18" AFF, U.O.N., WITH (2)1-1/4" CONDUIT ONLY WITH PULLSTRING UP TO NEAREST CABLE TRAY OR ACCESSIBLE CEILING SPACE. W = WALL MOUNT AT +42" AFF, U.O.N.
	CEILING MOUNTED DATA AT T-BAR CEILING NOT TO BE MOUNTED IN CEILING SPACE, WITH 1" CONDUIT AND (1) CAT 6 CABLE TO INTERMEDIATE DISTRIBUTION FRAME AS INDICATED ON DWGS.
	PROJECTOR SHOWN FOR REFERENCE ONLY
	DATA OUTLET, FLUSH FLOOR MOUNTED, WITH HINGED COVER, U.O.N.

DEMOLITION NOTES

- THE CONTRACTOR SHALL VISIT THE SITE SPECIFICALLY INCLUDING ALL AREAS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE EXISTING CONDITIONS, AND BY SUBMITTING A BID ACCEPTS CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO PERFORM THEIR WORK.
- IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES, RECEPTACLES, ELECTRICAL EQUIPMENT, ETC., AFFECTED BY THE REMODELED AREA. THIS WILL INCLUDE REROUTING, OR THE EXTENSION OF, EXISTING CONDUIT AND FEEDERS WHERE NECESSARY TO MAINTAIN THE CONTINUITY OF EXISTING EQUIPMENT REMAINING.
- ALL CIRCUIT NUMBERS AND EXISTING CONDUIT HOMERUNS SHOWN ON THESE DRAWINGS WERE TAKEN FROM EXISTING RECORD DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS OF HOMERUNS, AND ADJUST CIRCUIT NUMBERS ACCORDING TO EXISTING CONDITIONS IF REQUIRED.
- WHERE EXISTING WALLS HAVE BEEN REMOVED, AND THERE ARE EXISTING CONDUIT FEEDS WHICH HAVE BEEN CUT-OFF AND CARPED FLUSH WITH FLOOR, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND DIMENSION ALL SUCH CONDUITS ON THE "AS-BUILT" DRAWINGS UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO MAINTAIN CONTINUITY OF ALL ELECTRICAL SYSTEMS, EQUIPMENT, ETC., REMAINING IN OPERATION WHICH ARE BEING FED BY AN ABANDONED OUTLET. MAINTAINING CONTINUITY SHALL CONSIST OF REROUTING CONDUIT, WIRING, ETC., AS REQUIRED.
- WHERE NEW CIRCUITS ARE SHOWN TO EXISTING PANELS, INSTALL NEW BREAKERS OF SAME TYPE, STYLE AND RATING (MINIMUM 20 AMP, SINGLE POLE) AS CALLED FOR ON DRAWINGS. IDENTIFY EACH NEW CIRCUIT ON PANEL SCHEDULE.
- EXISTING CONDUIT MAY BE REUSED IF ADEQUATELY SIZED, BUT IN NO CASE SHALL ANY EXISTING CONDUCTORS BE REUSED.
- ALL ABANDONED OUTLETS INCLUDING LIGHT, RECEPTACLES, TELEPHONE, ETC., SHALL BE COVERED AND PATCHED TO MATCH THE FINISH OF SURROUNDING WALL OR CEILING TO THE SATISFACTION OF THE OWNER.
- ALL LIGHTING FIXTURES REMOVED TO ACCOMPLISH DEMOLITION WORK SHALL BE REINSTALLED SIMILAR TO WORK

BRANCH CIRCUIT WIRING NOTE:

- FOR RECEPTACLE CIRCUITS AND 120 VOLT BRANCH CIRCUITS, UNLESS NOTED OTHERWISE, PROVIDE THE FOLLOWING CONDUCTORS: (1) #12 CONDUCTOR FOR EACH PHASE (I.E. CIRCUIT NUMBER) AND (1) SEPARATE DEDICATED #12 NEUTRAL CONDUCTOR FOR EACH SINGLE 120 VOLT CIRCUIT OR FOR 2 TO 3 CIRCUITS PROVIDED THEY ARE OF DIFFERENT PHASES; (1) EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC. FOR CIRCUITS TO COMPUTER/DATA EQUIPMENT, PROVIDE DEDICATED NEUTRAL FOR EACH CIRCUIT.
- FOR LIGHTING BRANCH CIRCUITS, PROVIDE THE FOLLOWING CONDUCTORS: (1) #12 CONDUCTOR FOR EACH PHASE (I.E. CIRCUIT NUMBER); (1) #12 NEUTRAL CONDUCTOR FOR A SINGLE, 120 OR 277 VOLT CIRCUIT, OR (1) #12 NEUTRAL CONDUCTOR FOR 2 TO 3 CIRCUITS WHERE EACH CIRCUIT IS ON A DIFFERENT PHASE; (1) EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC ARTICLE 250 (DO NOT USE A COMMON NEUTRAL FOR MULTIPLE CIRCUITS ON SAME PHASE) (1) INTERCONNECTING CONDUCTOR BETWEEN EACH 3-WAY AND/OR 4-WAY SWITCH

APPLICABLE CODES

- 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 CCR
- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 CCR
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR
- 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR
- 2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 CCR
- 2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 CCR
- 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 CCR
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen), PART 11, TITLE 24 CCR
- 2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, CCR
- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHALL REGULATIONS

PROJECT NOTES

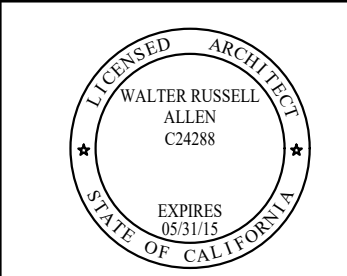
- THESE DOCUMENTS MAY NOT BE USED FOR ANY REPRODUCTION, BIDDING, OR CONSTRUCTION UNLESS AUTHORIZED, IN WRITING, BY SALAS O'BRIEN AND THE ENGINEER OF RECORD RESPONSIBLE FOR THEIR PREPARATION.
- VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS, DIMENSIONS, ELEVATIONS, POINTS OF CONNECTION AND PROJECT CONSTRUCTION LIMITS BEFORE SUBMITTING BID. SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- THESE DRAWINGS ARE DIAGRAMATIC AND ONLY INDICATE THE INTENT OF OUTLETS, DEVICES, ETC., TO BE CONNECTED AND THE CIRCUIT NUMBERS TO WHICH THEY ARE TO BE CONNECTED TO. CONTRACTOR SHALL INSTALL ALL REQUIRED JUNCTION BOXES ETC., AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM WHICH COMPLIES WITH ALL LOCAL AND NATIONAL GOVERNING CODES.
- ALL EXTERIOR EQUIPMENT SHALL BE WEATHERPROOF.
- LOCATIONS OF ALL EQUIPMENT SHALL BE VERIFIED PRIOR TO ROUGH-IN.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN COMPLIANCE WITH OSHA.
- PVC CONDUIT, WITH CODE SIZED GROUND, SHALL BE USED UNDERGROUND ONLY, IF APPROVED BY LOCAL CODE. INSTALL PER LOCAL CODE REQUIREMENTS. CONDUIT RISERS AND STUBS ABOVE GRADE SHALL BE I.M.C. WITH HALF-LAPPED TAPE COVERING OR PVC COATING.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATING ELECTRICAL SYSTEM.
- ALL MATERIALS SHALL BE NEW, AND OF THE SAME MANUFACTURER FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY THE UNDERWRITER'S LABORATORIES, AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIAL SHALL MEET WITH THE APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY, AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.N.S.I., U.L., N.E.M.A. AND N.B.F.U. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- ALL CONDUIT SHALL BE INSTALLED CONCEALED WHERE PHYSICALLY POSSIBLE. ALL EXPOSED CONDUIT SHALL BE INTERMEDIATE METAL CONDUIT AND INSTALLED PARALLEL TO OR AT RIGHT ANGLES WITH THE BUILDING WALLS. IF VIEWED BY THE PUBLIC, PAINT TO MATCH SURFACE TO WHICH IT IS ATTACHED.
- CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL CODES, O.S.H.A. AND THE CURRENTLY ADOPTED NATIONAL ELECTRICAL CODE (N.E.C.).
- THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE NEC, ARTICLE 250.
- ALL ELECTRICAL PENETRATIONS THROUGH FIRE RATED AREA SEPARATION AND CORRIDOR ASSEMBLIES INCLUDING CONDUITS AND PIPING SHALL BE TIGHTLY AND SOLIDLY SEALED WITH FIRESTOPPING WALLBOARD COMPOUND AND SHALL BE AN APPROVED MATERIAL AS REQUIRED BY LOCAL ENFORCING AGENCY.
- ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS, UTILITY CHARGES AND PAY FOR SAME. COORDINATE AND PAY FOR ALL ELECTRICAL SERVICE CHARGES WITH THE BUILDING DEPARTMENT, SERVING UTILITY AND OWNER.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER DATE OF ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
- CONDUCTORS SHALL BE CODE GRADE, 600 VOLT CLASS, COPPER (UNLESS NOTED OTHERWISE) MARKED EVERY 24" ALONG ITS LENGTH. SHOWING MANUFACTURER'S NAME, MAXIMUM ALLOWABLE VOLTAGE AND SIZE. GENERAL PURPOSE WIRING SHALL BE SOLID COPPER CONDUCTORS #10 AND SMALLER, STRANDED COPPER CONDUCTORS FOR #8 AND LARGER, WIRE "THWN (WET) OR "THHN (DRY). FOR SPECIAL PURPOSE WIRE TYPES REFER TO EQUIPMENT MANUFACTURER'S PLANS.
- ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE.
- USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM ALL WORK, INCLUDING AESTHETIC AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.
- ALL ELECTRICAL SYSTEM CONDUCTORS SHALL BE INSTALLED IN APPROVED RACEWAYS. NON-METALLIC SHEATHED CABLE IS NOT APPROVED.
- WHERE IT BECOMES NECESSARY TO DRILL INTO OR CUT THROUGH ANY EXISTING SLABS, WALKWAYS OR DRIVES TO PERMIT THE INSTALLATION OF ANY WORK UNDER THIS CONTRACT, OR TO REPAIR ANY DEFECTS THAT MAY APPEAR TO THE EXPIRATION OF THE WARRANTY, SUCH CUTTING AND PATCHING SHALL PERFORMED BY TRADESMAN EXPERIENCED IN THE WORK REQUIRED. CONTRACTOR SHALL PAY FOR ALL COSTS REQUIRED FOR CUTTING OR REPAIRING. ALL FINISHES SHALL MATCH EXISTING OR NEW ADJACENT SURFACES.
- ALL BROCHURES, OPERATING MANUALS, CATALOGS, ETC. SHALL BE TURNED OVER TO THE OWNER AT JOB COMPLETION.
- ALL SUBSTITUTIONS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT TEN (10) DAYS PRIOR TO BID. SUBMITTAL SHALL INCLUDE, BUT NOT BE LIMITED TO, COST SAVINGS, WRITTEN REASON FOR SUBSTITUTION AND A WRITTEN STATEMENT THAT IF THE SUBSTITUTION IS APPROVED, THERE WILL BE NO DELAY IN DELIVERY, CONSTRUCTION TIME OR COST TO OTHER TRADES.
- PROVIDE ENGRAVED PLASTIC NAMEPLATES FOR ALL MAJOR PIECES OF EQUIPMENT. PLATES SHALL BE 3 PLY, BLACK FACE, WHITE CORE WITH 1/4" HIGH CONDENSED GOTHIC LETTERING. SCREW-ON ATTACHMENT ONLY. NO CEMENT.
- PROVIDE THE OWNER WITH ONE (1) SET OF COMPLETE ELECTRICAL "AS-BUILTS" AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DEPTHS AND LOCATIONS.
- WHERE A CONFLICT OCCURS BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS ISSUED AS PART OF THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
- COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES. THE OWNER WILL MAKE NO SUBSEQUENT ALLOWANCE FOR ELECTRICAL WORK REQUIRED BY OTHER TRADES. OBTAIN ALL OTHER PERTINENT INFORMATION REQUIRED TO MEET ACTUAL BUILDING OR FIELD CONDITIONS.
- ALL FINAL CONNECTIONS TO OWNER-FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR. CONNECTIONS TO ALL EQUIPMENT FURNISHED BY OTHERS SHALL BE COORDINATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH EQUIPMENT MANUFACTURER PRIOR TO ROUGHING IN ALL CONDUIT TO THIS EQUIPMENT.
- NOTIFY THE OWNER'S REPRESENTATIVE WHEREVER A DISCREPANCY IN QUANTITY OR SIZE OF CONDUIT, WIRE, EQUIPMENT DEVICES, CIRCUIT BREAKERS, TRANSFORMERS, GROUND FAULT PROTECTION SYSTEMS, ETC. (ALL MATERIALS) THAT ARISE ON THE DRAWINGS AND/OR SPECIFICATIONS. PROVIDE AND INSTALL ALL MATERIAL AND SERVICES REQUIRED BY THE STRICTEST CONDITIONS NOTED ON DRAWINGS AND/OR IN THE SPECIFICATIONS TO INSURE COMPLETE AND OPERABLE SYSTEMS AS REQUIRED BY THE OWNER AND ENGINEER.
- ALL FEEDER AND BRANCH CIRCUITS SHALL BE PROVIDED WITH AN EQUIPMENT GROUNDING CONDUCTOR SIZED PER NEC, AND RUN IN THE SAME RACEWAY OR CONDUIT SUPPLYING SUCH FEEDER OR BRANCH CIRCUIT.
- TRENCH AND BACKFILL AS REQUIRED TO PERFORM UNDERGROUND WORK. USE EXTREME CAUTION WHEN TRENCHING SO AS NOT TO INTERFERE WITH EXISTING UNDERGROUND UTILITIES. REPAIR ANY DAMAGE CAUSED BY UNDERGROUND TRENCHING.
- PATCH AND REPAIR WALLS OR CEILINGS WHICH HAVE BEEN DAMAGED BECAUSE OF ELECTRICAL WORK.
- CONDUIT SHALL NOT BE RUN THROUGH ANY STRUCTURAL MEMBER OF THE BUILDING, EXCEPT AS SPECIFICALLY DIRECTED BY THE OWNER'S REPRESENTATIVE. UNDER NO CIRCUMSTANCE SHALL CONDUIT RUN THROUGH COLUMNS, FOOTINGS OR GRADE BEAMS.
- FOR ADDITIONAL ROUGH-IN AND WIRING REQUIREMENTS SEE MANUFACTURER'S INSTALLATION PLANS, WHICH ARE SUPPLEMENTAL TO AND PART OF THE ELECTRICAL WORK.
- EXACT ROUTING OF ALL FEEDERS, CONDUITS, ETC. SHALL BE FIELD VERIFIED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. COORDINATE THE INSTALLATION WITH OTHER TRADES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RECESSED, SURFACE OR PENDANT MOUNTED LIGHT FIXTURES.
- COLD WATER PIPE GROUNDING BOND SHALL BE LOCATED WITHIN 5' OF BUILDING ENTRANCE.
- CONTRACTOR SHALL VERIFY EXACT LOADS OF HVAC EQUIP. WITH MECHANICAL ENGINEER AND HVAC UNIT MANUFACTURER PRIOR TO START OF WORK. IN CASE OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, INFORM ARCHITECT AND ELECTRICAL ENGINEER IN WRITING PRIOR TO PROCEEDING ANY FURTHER.
- PIPES, DUCTS AND CONDUITS SHALL BE SUPPORTED AND BRACED PER THE S.M.A.C.N.A. "GUIDELINES FOR SEISMIC RESTRAINT OF MECHANICAL SYSTEMS AND PLUMBING AND PIPING SYSTEMS".
- ALL ELECTRICAL EQUIPMENT SHALL BE BRACED OR ANCHORED TO RESIST A HORIZONTAL FORCE ACTING IN ANY DIRECTION USING THE FOLLOWING CRITERIA:
A. EQUIPMENT ON GRADE - 20% OF OPERATING WEIGHT
B. EQUIPMENT ON STRUCTURE - 30% OF OPERATING WEIGHT
C. FOR FLEXIBLY MOUNTED EQUIPMENT USE FOUR (4) TIMES THE ABOVE VALUES, AND FOR SIMULTANEOUS VERTICAL FORCE USE ONE-THIRD (1/3) TIMES THE HORIZONTAL FORCE.
D. THE ABOVE VALUES ARE FOR AN IMPORTANCE FACTOR I = 1.0 AND SEISMIC ZONE Z = 0.4
E. WHERE ANCHORAGE DETAILS ARE NOT SHOWN ON THE DRAWINGS THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND THE FIELD INSPECTOR.
- ALL OUTLET RATINGS SHALL BE 20 AMPS, UNLESS NOTED OTHERWISE.
- ALL WORK TO COMPLY WITH 2019 CALIFORNIA ELECTRICAL CODE AND LOCAL APPLICABLE JURISDICTION CODES.

ABBREVIATIONS

A	AMPS
AF	AMP FUSE (SIZE), AMP FRAME (SIZE)
AFCI	ARC FAULT CURRENT INTERRUPT
AFF	ABOVE FINISH FLOOR
AS	AMP SWITCH (SIZE)
BC	BARE COPPER
C	CONDUIT
CB	CIRCUIT BREAKER
CIR	CIRCUIT
CO	CONDUIT ONLY, WITH PULL LINE
CU	COPPER
EDF	ELECTRIC DRINKING FOUNTAIN
EM	EMERGENCY POWER
EMT	ELECTRICAL METALLIC TUBING
EX	EXISTING
EXP	EXPLOSION PROOF
F	FUSE
G	GROUND CONDUCTOR
GFI	GROUND FAULT INTERRUPT PROTECTION
GND	GROUND
I.G.	ISOLATED GROUND
IMC	INTERMEDIATE METALLIC CONDUIT
ISC	INTERRUPTING SHORT CIRCUIT
LCL	LONG CONTINUOUS LOAD
MAX	MAXIMUM
MCB	MAIN CIRCUIT BREAKER
MIN	MINIMUM
MLO	MAIN LUGS ONLY
NA	NON-AUTOMATIC
NEC	NATIONAL ELECTRICAL CODE
NKE	NO KNOWN EQUAL; NO SUBSTITUTES
NOM	NOMINAL
NTS	NOT TO SCALE
P	POLE
PH OR Ø	PHASE
PNL	PANEL
PVC	POLYVINYL CHLORIDE
REQ'D	REQUIRED
RGS	RIGID GALVANIZED STEEL
SFM	STATE FIRE MARSHAL
SWBD	SWITCHBOARD
SWGR	SWITCHGEAR
TYP	TYPICAL, UNLESS NOTED OTHERWISE, OF MANY
U.O.N.	UNLESS OTHERWISE NOTED OR INDICATED
V	VOLTS
WP	WEATHERPROOF
X	EXISTING TO REMAIN
XL	EXISTING TO BE RELOCATED
XN	NEW LOCATION OF RELOCATED EQUIPMENT
XR	EXISTING TO BE REMOVED
XFMR	TRANSFORMER

FIRE ALARM DEFERRED APPROVAL NOTES

- THE FIRE ALARM SYSTEM DRAWINGS WHEN REQUIRED SHALL BE PROVIDED BY THE FIRE ALARM CONTRACTOR UNDER A DEFERRED APPROVAL PROCESS.
- FIRE ALARM SHOP DRAWINGS SHALL BE SUBMITTED TO THE STATE FIRE MARSHAL OR LOCAL FIRE DEPARTMENT (AS DETERMINED BY THE LOCAL AUTHORITY HAVING JURISDICTION) FOR APPROVAL WITHIN 14 CALENDAR DAYS AFTER NOTICE TO PROCEED. THE FIRE ALARM SHOP DRAWINGS SHALL CONTAIN THE FOLLOWING REQUIREMENTS:
A. INDICATE WHAT TYPE OF SYSTEM IS BEING PROVIDED
B. PROVIDE CATALOG DATA, SFM LISTING NUMBER, AND MODEL NUMBER FOR EVERY FIRE ALARM SYSTEM COMPONENT.
C. PROVIDE SINGLE LINE, RISER AND POINT-TO-POINT WIRING DIAGRAMS.
D. AN EMERGENCY WARNING SYSTEM WITH VISUAL STROBE DEVICES IS REQUIRED FOR THE HEARING IMPAIRED.
E. INDICATE THE CONDUIT SIZES, QUANTITY AND TYPE CONDUCTORS, AND WHETHER THE SYSTEM IS POWER LIMITED OR NON-POWER LIMITED.
F. PROVIDE BATTERY CALCULATIONS FOR THE ENTIRE SYSTEM (24 HOUR STANDBY, 5 MINUTE ALARM TIME).
G. PROVIDE FLOOR PLANS SHOWING LOCATIONS OF ALL FIRE ALARM EQUIPMENT, INTERCONNECT WIRING, REMOTE POWER SUPPLIES AND ANNUNCIATORS.
H. INDICATE WHETHER THE SYSTEM IS INDEPENDENT OR INTERCONNECTED TO THE EXISTING FIRE ALARM SYSTEM.
- THE WORK SHALL NOT BE STARTED UNTIL THE DETAILED DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS HAVE BEEN ACCEPTED AND APPROVED BY THE STATE FIRE MARSHAL OR LOCAL FIRE DEPARTMENT (AS DETERMINED BY THE LOCAL AUTHORITY HAVING JURISDICTION). CONTRACTOR SHALL PROVIDE APPROVED COPY TO THE ARCHITECT.



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

3340 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

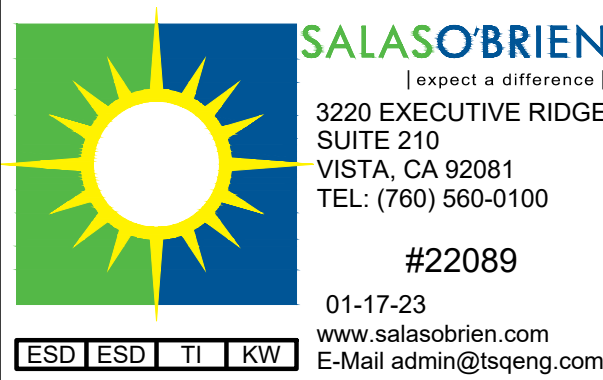
Permit Number:

Sym.	Revisions										By	Date
	1	2	3	4	5	6	7	8	9	10		

Job Number: 2207

Drawing Number

e001



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STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 3 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE. P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF)). Q. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS. R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS. S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF). T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION. U. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE.

STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 3 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. F. INDOOR LIGHTING FIXTURE SCHEDULE. G. MODULAR LIGHTING SYSTEMS. H. INDOOR LIGHTING CONTROLS (Not including PAFs). Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance. Registration Date/Time: 2022-08-03 16:47:58. Registration Provider: Energysoft.

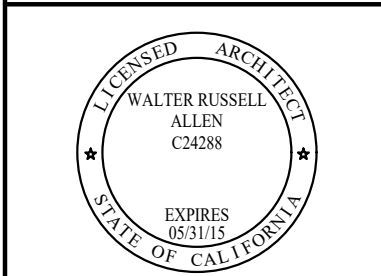
STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 1 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. A. GENERAL INFORMATION. B. PROJECT SCOPE. Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance. Registration Date/Time: 2022-08-03 16:47:58. Registration Provider: Energysoft.

STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 6 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. DOCUMENTATION AUTHOR'S DECLARATION STATEMENT. RESPONSIBLE PERSON'S DECLARATION STATEMENT. Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance. Registration Date/Time: 2022-08-03 16:47:58. Registration Provider: Energysoft.

STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 4 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. H. INDOOR LIGHTING CONTROLS (Not including PAFs). I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS. J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM. K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE. L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY. M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING. N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SPECIAL EFFECTS. Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance. Registration Date/Time: 2022-08-03 16:47:58. Registration Provider: Energysoft.

STATE OF CALIFORNIA Indoor Lighting CALIFORNIA ENERGY COMMISSION. CERTIFICATE OF COMPLIANCE. Project Name: Miramonte Kitchen. Report Page: (Page 2 of 6). Project Address: 33410 Rancho California Road. Date Prepared: 8/3/2022. C. COMPLIANCE RESULTS. D. EXCEPTIONAL CONDITIONS. E. ADDITIONAL REMARKS. F. INDOOR LIGHTING FIXTURE SCHEDULE. Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance. Registration Date/Time: 2022-08-03 16:47:58. Registration Provider: Energysoft.

Old Town Temecula. rqtex. 28465 Old Town Front Street, Suite 201. Temecula, CA 92590. (951) 993-0301.



Designed: SO. Drawn By: SO. Checked: SO. Date: 11/12/22.

MIRAMONTE KITCHEN. 33410 RANCHO CALIFORNIA ROAD. TEMECULA, CA 92591. Permit Number: 2207. Drawing Number: e003.

ESD | ESD | TI | KW. SALASOBRIEN. 3220 EXECUTIVE RIDGE SUITE 210 VISTA, CA 92081. TEL: (760) 560-0100. #22089. 01-17-23 www.salasobrien.com E-Mail admin@tsqeng.com. Registered Professional Engineer Seal for Edward A. Salasobrien, License No. E18809, Exp. 6/30/23, State of California.

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STATE OF CALIFORNIA
CALIFORNIA ENERGY COMMISSION

Outdoor Lighting
NRCC-LTO-E

CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 5 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

L. LIGHTING ALLOWANCE: ORNAMENTAL
This section does not apply to this project.

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
This table includes areas using the wattage allowance per specific area from Table 140.7-B. More than one specific area allowance may be taken in a single project, if applicable. However, multiple specific area allowances may not be taken for the exact same area on the site.

01	02	03	04	05	06	07	08	09	10
Area Description	Specific Area Type per Table 140.7-B	CALCULATED ALLOWANCE (Watts)			DESIGN WATTS			Additional Allowance (Watts)	
		Specific Area (ft ²) ¹	Allowed Density (W/ft ²)	Extra Allowance (Watts)	Luminaire Name or Item Tag	Watts per Luminaire	# of Luminaires		Design Watts
Building Facade	Building Facade	350	0.17	59.5	E2	27	2	54	54
Total Design Watts for this Area:									54
Total Allowance (Watts) All Areas:									54

¹ FOOTNOTES: See Table 140.7-B for rules for calculating the specific areas (ft²) for these additional lighting allowances.
² For luminaires indicated in Table F as linear, wattage in column 07 is W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 08 instead of number of luminaires.

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)
This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCI/

Form/Title	Field Inspector	
	Pass	Fail
NRCC-LTO-01-E - Must be submitted for all buildings	<input type="checkbox"/>	<input type="checkbox"/>
NRCC-LTO-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	<input type="checkbox"/>	<input type="checkbox"/>

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Registration Date/Time: Report Version: 2019.1.003
Registration Provider: Energysoft
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CALIFORNIA ENERGY COMMISSION

Outdoor Lighting
NRCC-LTO-E

CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 6 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/attcp/providers.html>

Form/Title	Systems/Spaces To Be Field Verified	Field Inspector	
		Pass	Fail
NRCC-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires.	<input type="checkbox"/>	<input type="checkbox"/>	

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Outdoor Lighting
NRCC-LTO-E

CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 3 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

F. OUTDOOR LIGHTING FIXTURE SCHEDULE
For new or altered lighting systems demonstrating compliance with §140.7, all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per §141.0(b)(2), only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (i.e., existing luminaires remaining or existing luminaires being moved are not included).

Designed Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ^{1,2}	How is Wattage determined	Total number luminaires ²	Luminaire Status ³	Excluded per §140.7(a)	Design Watts	Cutoff Req. > 6,200 Initial lumen output §130.2(b) ⁴	Field Inspector Pass/Fail
E2	27w LED <input type="checkbox"/> Linear	27	Mfr. Spec	2	New	<input type="checkbox"/>	54	NA: < 6200 lumens	<input type="checkbox"/> <input type="checkbox"/>
Total Design Watts:							54		

¹ NOTES: Selections with a * require a note in the space below explaining how compliance is achieved.
² For linear luminaires, wattage should be indicated as W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
³ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
⁴ Compliance with mandatory cutoff requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by §130.2(b)

G. CUTOFF REQUIREMENTS (BUG)
This section does not apply to this project.

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Outdoor Lighting
NRCC-LTO-E

CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 4 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

H. OUTDOOR LIGHTING CONTROLS
This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (i.e. untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application. When an option having a * is selected, the notes section of this table must be completed. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank.

Mandatory Controls

01	02	03	04	05
Area Description	Shut-Off §130.2(c)(1)	Auto-Schedule §130.2(c)(2)	Motion Sensor §130.2(c)(3)	Field Inspector Pass/Fail
Building Facade	Photocontrol	Yes	Exempt*	<input type="checkbox"/> <input type="checkbox"/>

¹ NOTES: Controls with a * require a note in the space below explaining how compliance is achieved.
² EX: Not permitted by health & safety to be turned off. EXCEPTION 1 to §130.2(c)

I. LIGHTING POWER ALLOWANCE (per §140.7)
This table includes areas using allowance calculations per §140.7. General Hardscape Allowance is per Table 140.7-A while "Use it or lose it" Allowances are per Table 140.7-B. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.

01	
General Hardscape Allowance Table I (below)	"Use it or lose it" Allowance (select all that apply) (select all that apply)
<input type="checkbox"/>	<input type="checkbox"/> Per Application Table J
<input type="checkbox"/>	<input type="checkbox"/> Sales Frontage Table K
<input type="checkbox"/>	<input type="checkbox"/> Ornamental Table L
<input type="checkbox"/>	<input type="checkbox"/> Per Specific Area Table M

Calculated General Hardscape Lighting Power Allowance per Table 140.7-A (L2 0, 1 & 4)
Calculated General Hardscape Lighting Power Allowance per Table 140.7-A (L2 2 & 3)

J. LIGHTING ALLOWANCE: PER APPLICATION
This section does not apply to this project.

K. LIGHTING ALLOWANCE: SALES FRONTAGE
This section does not apply to this project.

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Outdoor Lighting
NRCC-LTO-E

CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 1 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

A. GENERAL INFORMATION

01 Project Location (city)	Temecula	04 Total Illuminated Hardscape Area (ft ²)	0
02 Climate Zone	10		
03 Outdoor Lighting Zone per Title 24 Part 1 §10.114 or as designated by Authority Having Jurisdiction (AHJ):	<input type="checkbox"/> L2-0: Very Low - Undeveloped Parkland <input type="checkbox"/> L2-2: Moderate - Rural Areas <input type="checkbox"/> L2-4: High - Must be reviewed by CA Energy Commission for Approval		
	<input type="checkbox"/> L2-1: Low - Developed Parkland <input type="checkbox"/> L2-3: Moderately High - Urban Areas		

B. PROJECT SCOPE
This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.7 or §141.0(b)(2) for alterations.

My Project Consists of:

01	02
<input type="checkbox"/> New Lighting System	Must Comply with Allowances from §140.7
<input checked="" type="checkbox"/> Altered Lighting System	Is your alteration increasing the connected lighting load (Watts)? <input checked="" type="radio"/> Yes <input type="radio"/> No
03 % of Existing Luminaires Being Altered ¹	04 Sum Total of Luminaires Being Added or Altered
05 Calculation Method	
<input type="checkbox"/> < 10% <input type="checkbox"/> >= 10% and < 50% <input type="checkbox"/> >= 50%	

Please proceed to Table F. Outdoor Lighting Fixture Schedule to define the project's luminaires.
¹ FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

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Registration Date/Time: Report Version: 2019.1.003
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CERTIFICATE OF COMPLIANCE
Project Name: Miramonte Kitchen Report Page: (Page 2 of 7)
Project Address: 33410 Rancho California Road Date Prepared: 11/15/2022

C. COMPLIANCE RESULTS
Results in this table are automatically calculated from data input and calculations in Tables F through I. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

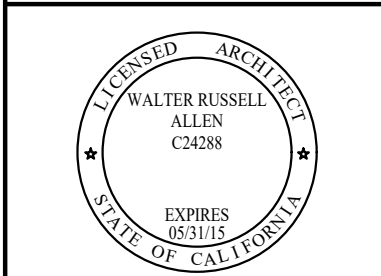
Calculations of Total Allowed Lighting Power (Watts) §140.7 or §141.0(b)(2)						Compliance Results		
01	02	03	04	05	06	07	08	09
General Hardscape Allowance §140.7(d)(1) (See Table I)	+ Per Application §140.7(d)(2) (See Table J)	+ Sales Frontage §140.7(d)(2) (See Table K)	+ Ornamental §140.7(d)(2) (See Table L)	+ Per Specific Area §140.7(d)(2) (See Table M)	OR Existing Power Allowance §141.0(b)(2) (See Table N)	= Total Allowed (Watts)	≥ Total Actual (Watts)	07 must be >= 08
0	+	+	+	+	OR	=	54	≥
Cutoff Compliance (See Table G for Details)						N/A		
Controls Compliance (See Table H for Details)						COMPLIES with Exceptional Conditions		

D. EXCEPTIONAL CONDITIONS
This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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Drawn By: SO
Checked: SO
Date: 11/12/22

MIRAMONTE KITCHEN
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Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	e004

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REGISTERED PROFESSIONAL ENGINEER
ELECTRICAL
STATE OF CALIFORNIA
No. 61880
Exp. 6/30/23

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CERTIFICATE OF COMPLIANCE	Project Name: Miramonte Kitchen	Report Page: (Page 7 of 7)
Project Address: 33410 Rancho California Road	Date Prepared: 11/15/2022	

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Ed David	Documentation Author Signature: <i>Eduardo C. Brien</i>
Company: Salas O'Brien Engineers	Signature Date: 2022-11-15
Address: 3220 Executive Ridge Suite 210	CEA/HERS Certification Identification (if applicable): E18809
City/State/Zip: Vista CA 92081	Phone: (760)560-0100

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Ed David	Responsible Designer Signature: <i>Eduardo C. Brien</i>
Company: Salas O'Brien Engineers	Date Signed: 2022-11-15
Address: 3220 Executive Ridge, Ste 210	License: E18809
City/State/Zip: Vista CA 92081	Phone: (760) 560-0100

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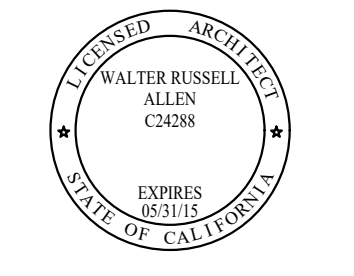
Revisions	Date	By	Sym.

Job Number: 2207
Drawing Number: e005

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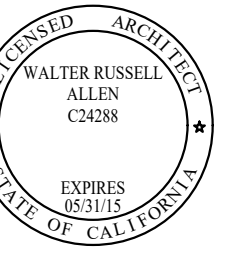
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ADJACENT USE:
EXISTING WINERY

GENERAL NOTES

A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.

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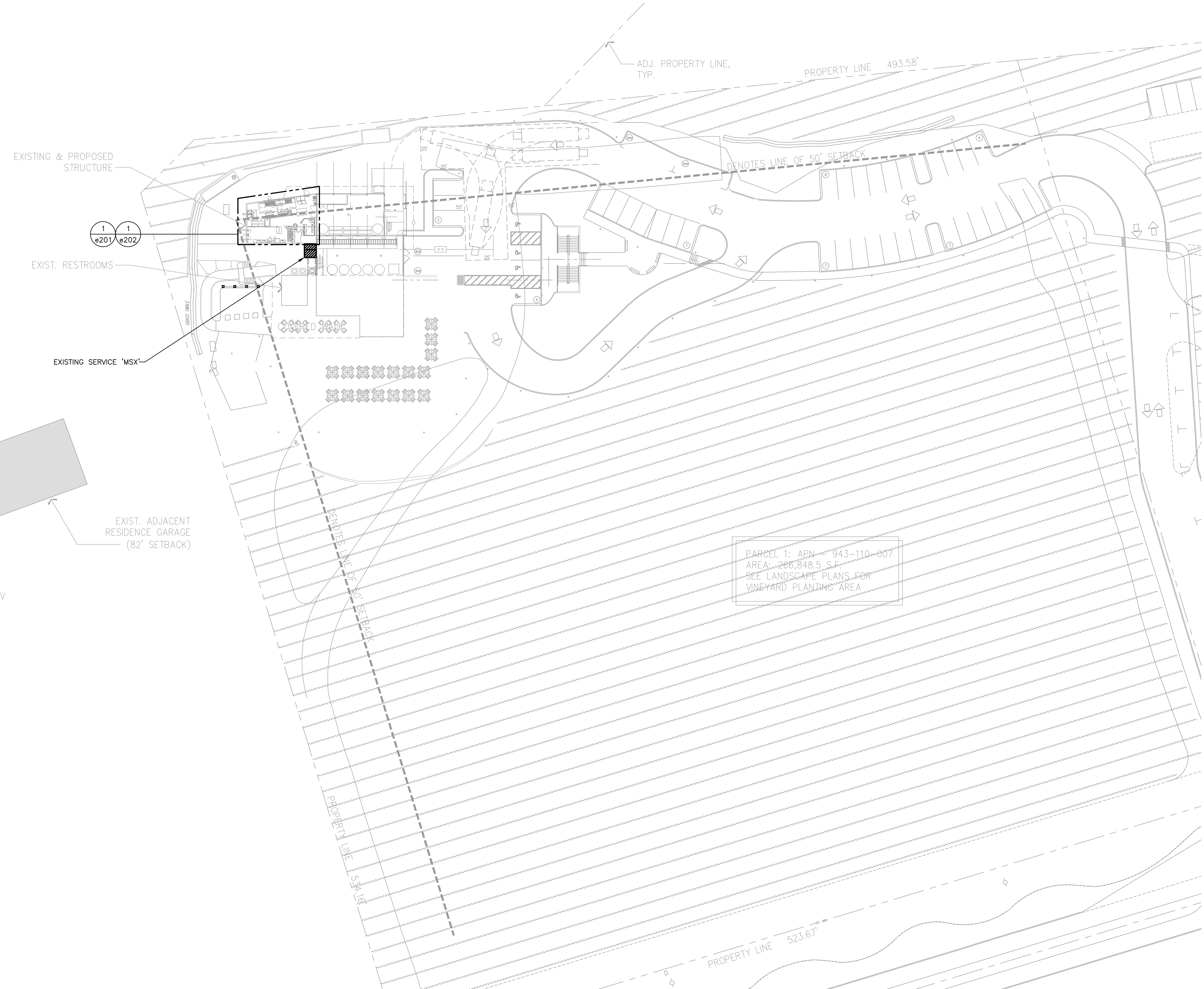
Permit Number:

Sym.	Revisions	By	Date

Job Number: 2207

Drawing Number

e101



ADJACENT ZONING: C/V
ADJACENT USE:
PRIVATE RESIDENCE

1 ELECTRICAL SITE PLAN

SCALE: 1"=30'-0"

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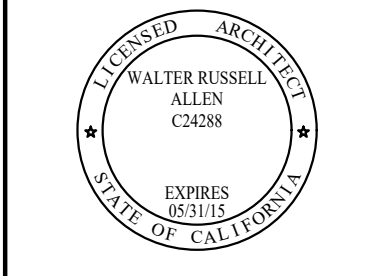
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL FIXTURES WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. ALL LIGHTING TO BE CONNECTED TO PANEL 'D', CIRCUIT NUMBER(S) AS SHOWN.
- D. ALL FIXTURES PROVIDED WITH EGRESS LIGHTING BATTERY PACK BACK-UP SHALL BE FED FROM UNSWITCHED CIRCUIT SERVING LIGHTING IN SAME AREA PER NEC ARTICLE 700.12(F). EMERGENCY BATTERY PACK SHALL BE ACTIVATED ONLY UPON NORMAL POWER FAILURE.

KEY NOTES

- 1 PROVIDE LOW-TEMP OCCUPANCY SENSOR. CONTRACTOR TO PROVIDE SENSOR AND COOLER CONTRACTOR TO INSTALL UNIT AND OVERRIDE SWITCH FOR LIGHT FIXTURES.

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				2207

Drawing Number

e201

1 LIGHTING FLOOR PLAN

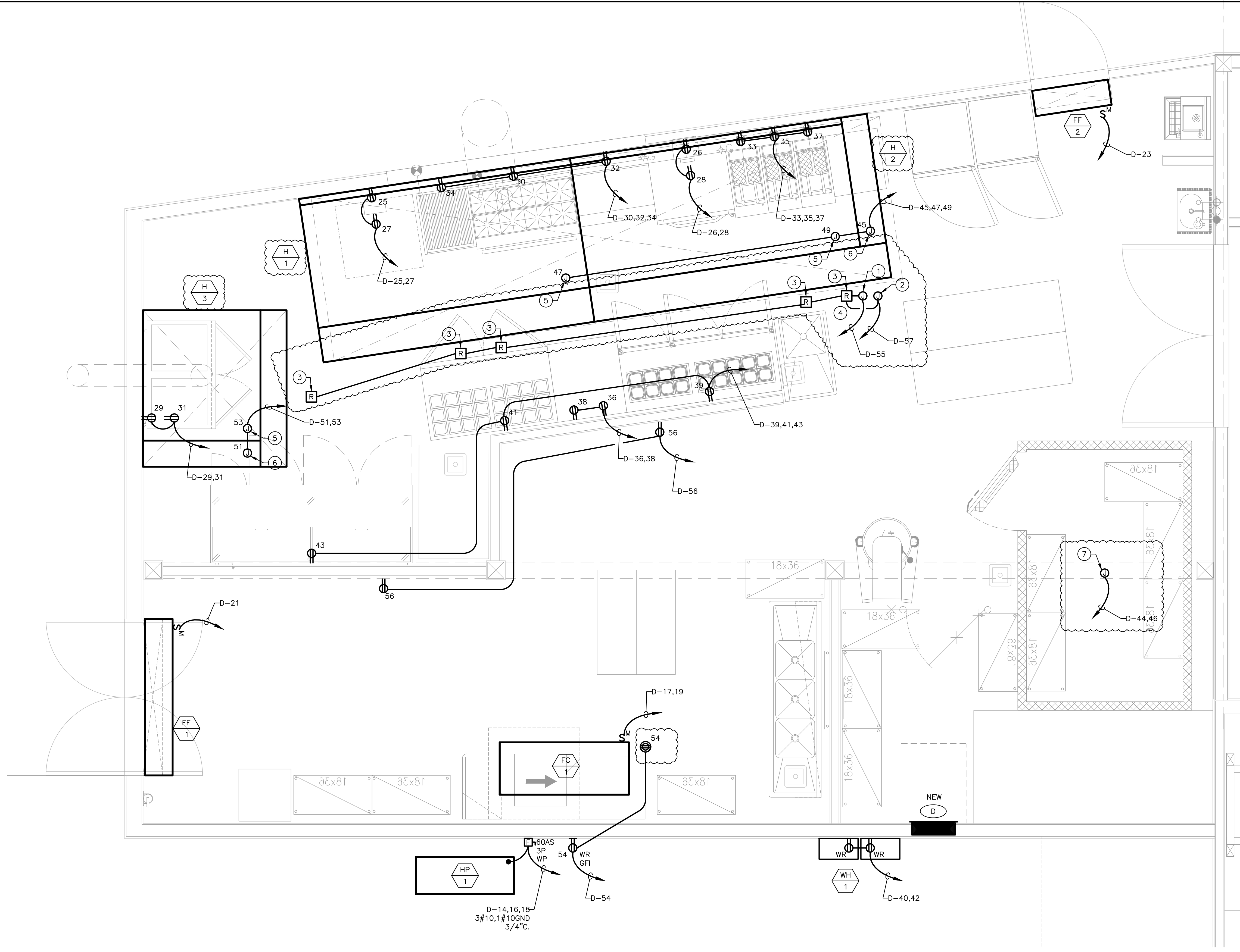
SCALE: 1/2"=1'-0"

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1 POWER FLOOR PLAN

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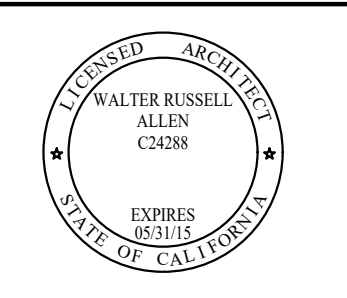
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL OUTLETS WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR, EQUIPMENT SHOP DRAWINGS AND SHALL PROVIDE RECEPTACLES, PLUGS AND CORDS AS DIRECTED BY EQUIPMENT MANUFACTURER. PROVIDE ALL COST IN BID. VERIFY NEMA CONFIGURATIONS PRIOR TO START OF WORK WITH NO EXTRA COST TO OWNER.
- D. PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT.
- E. COORDINATE ALL WORK WITH KITCHEN EQUIPMENT PROVIDER FOR EXACT REQUIREMENTS AND LOCATION PRIOR TO ROUGH-IN.
- F. CONTRACTOR SHALL COORDINATE AND VERIFY EXACT LOCATIONS AND REQUIRED HEIGHTS OF ALL ELECTRICAL OUTLETS WITH KITCHEN PLANS AND OTHER RELATED TRADES PRIOR TO START OF WORK.
- G. CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AND PROVIDE NECESSARY CONTROLS TO ALL KITCHEN EQUIPMENT.
- H. ALL 120V RECEPTACLES LOCATED IN KITCHEN SHALL BE OF GFCI TYPE, INCLUDING RECEPTACLES DEDICATED TO EQUIPMENT PER 2016 CEC.
- I. ALL EQUIPMENT AND MATERIAL SHALL BE INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS AND SHALL BE CODE COMPLIANT.
- J. ALL WIRING SHALL INCLUDE INSULATED GROUND WIRE, SIZED PER CEC.
- K. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL CONTROL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL ELECTRICAL COMPONENTS AND DEVICES, CONDUITS AND CONDUCTORS (LOW AND LINE VOLTAGE) REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM WITH NO COST TO THE OWNER.
- L. ALL CONDUIT ENTERING AND LEAVING A COOLER/FREEZER SHALL HAVE AN APPROVED SEALANT TO WALL PENETRATION.

KEY NOTES

- ① ELECTRICAL CONNECTION FOR FIRE SUPPRESSION.
- ② ELECTRICAL CONNECTION FOR AUTO-GAS SHUT-OFF.
- ③ 3-POLE MAGNETIC CONTACTOR IN NEMA 1 ENCLOSURE WITH 120V COIL. MOUNT IN ACCESSIBLE CEILING SPACE. SEE WIRING DIAGRAM ON SHEET E4.01
- ④ ROUTE THRU FIRE SUPPRESSION SYSTEM.
- ⑤ ELECTRICAL CONNECTION FOR EXHAUST HOOD.
- ⑥ ELECTRICAL CONNECTION FOR HOOD CONTROLLER.
- ⑦ ELECTRICAL CONNECTION FOR WALK-IN COOLER. VERIFY FINAL ELECTRICAL REQUIREMENTS PRIOR TO START OF WORK.

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Drawn By	SO
Checked	SO
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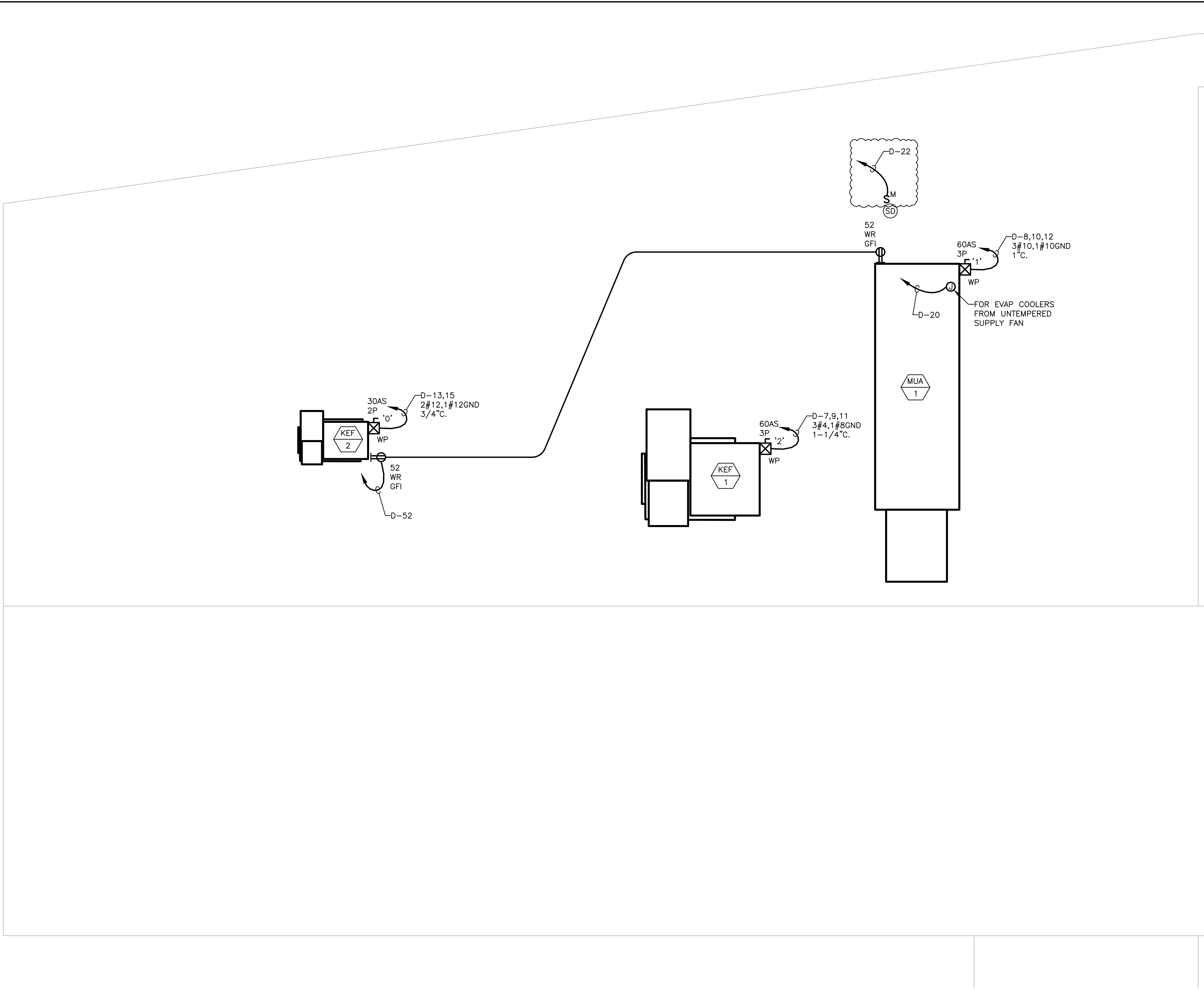
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e202

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GENERAL NOTES

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- B. CONTRACTOR SHALL VERIFY EXACT QUANTITIES, LOCATIONS AND HEIGHTS OF ALL OUTLETS WITH TENANT AND ARCHITECT PRIOR TO START OF WORK.
- C. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE WITH MECHANICAL DRAWINGS FOR EXACT EQUIPMENT LOCATIONS AND REQUIREMENTS PRIOR TO START OF WORK.
- D. MECHANICAL EQUIPMENT FUSE SIZE RATINGS PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- E. ALL MECHANICAL EQUIPMENT FUSIBLE DISCONNECTS AND MOTOR RATED SWITCHES EXPOSED TO WEATHER SHALL BE WEATHERPROOF RATED.

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Date	11/12/22

MIRAMONTE KITCHEN

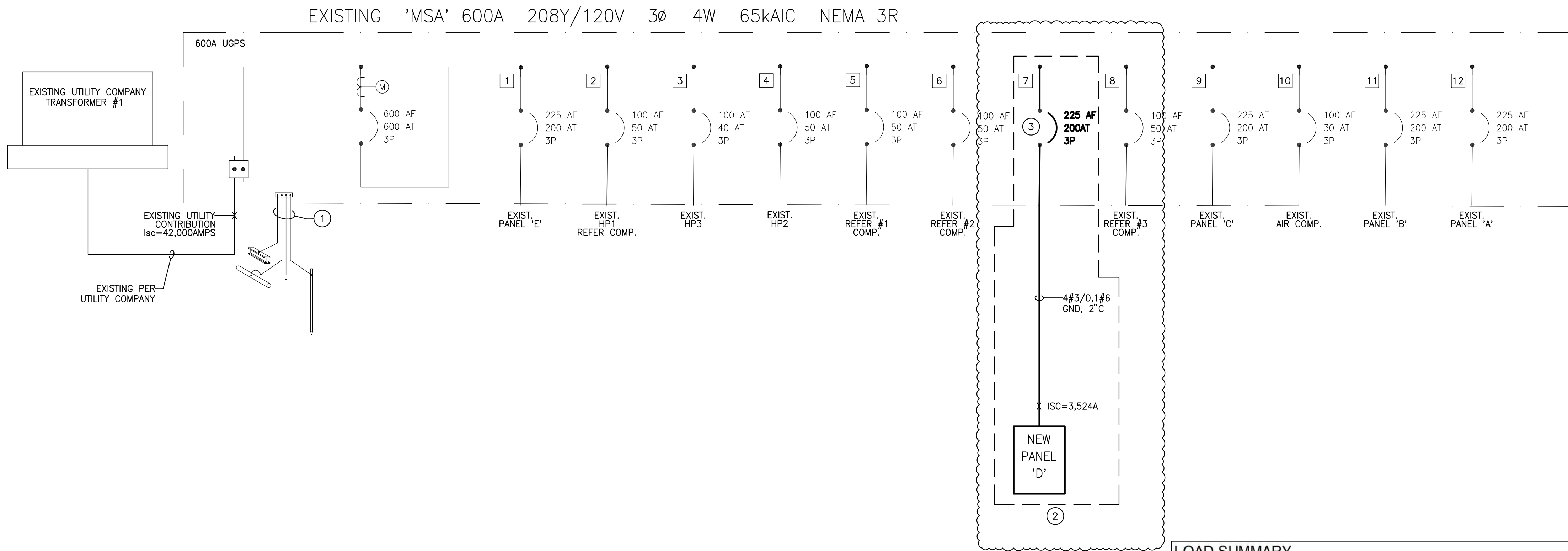
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Revisions	Sym.	Date	By

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Drawing Number: e203

1 ELECTRICAL ROOF PLAN
SCALE: 1/2"=1'-0"

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LOAD SUMMARY	
EXISTING SWITCHBOARD 'MSA'	
EXISTING LOAD	
MAXIMUM 12 MONTHS DEMAND AT 125%	= 80.00 kVA
64.00 kVA AT 125%	
NEW LOAD	
PANEL 'D' - NEW	= 49.87 kVA
TOTAL LOAD	
129.87 kVA AT 208Y/120V, 3PHASE, 4WIRE	360.50 AMPS

GENERAL NOTES

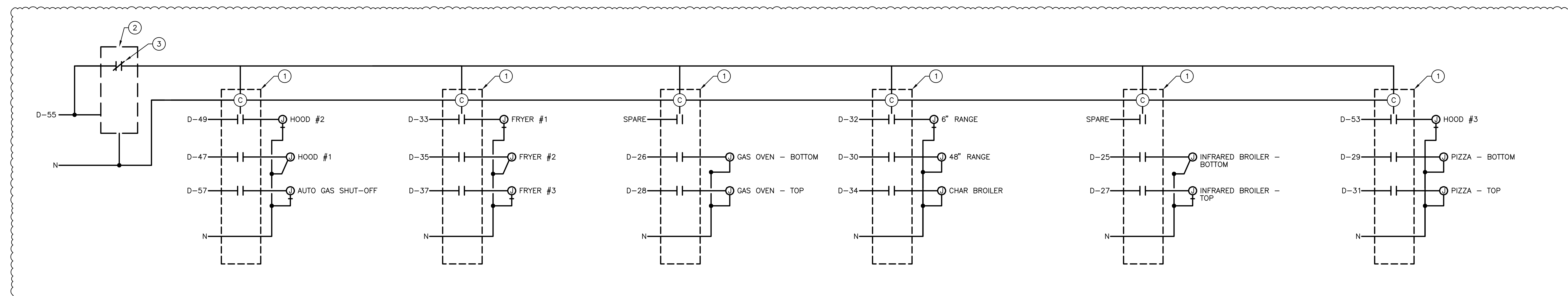
- CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- ALL WORK SHOWN LIGHT IS EXISTING, AND ALL WORK SHOWN DARK IS NEW.
- ALL CONDUCTORS SHALL BE COPPER UNLESS NOTED OTHERWISE.

KEY NOTES

- EXISTING FEEDER TO REMAIN.
- SCOPE OF WORK.
- REPLACE EXISTING CIRCUIT BREAKER OF SAME TYPE, STYLE, AND AIC RATING AS THE EXISTING. PROVIDE MOUNTING HARDWARE AS REQUIRED.

1 ELECTRICAL SINGLE-LINE DIAGRAM

NO SCALE

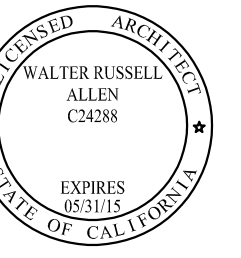


KEY NOTES

- 3-POLE MAGNETIC CONTACTOR IN NEMA 1 ENCLOSURE WITH 120V COIL. MOUNT IN ACCESSIBLE CEILING SPACE.
- FIRE SUPPRESSION CONTROL PANEL. COORDINATE LOCATION WITH EQUIPMENT PROVIDER/INSTALLER.
- NORMALLY CLOSED DRY CONTACT IN FIRE SUPPRESSION CONTROL PANEL.

2 FIRE SUPPRESSION WIRING DIAGRAM FOR REFERENCE OF ELECTRICAL

NO SCALE



Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

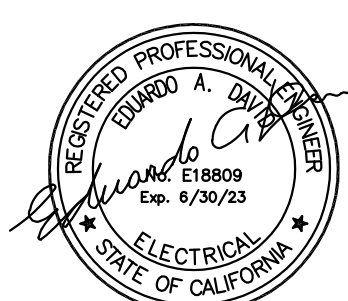
MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	e401

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e401

GENERAL NOTES

- THESE DOCUMENTS MAY NOT BE USED FOR ANY REPRODUCTION, BIDDING, OR CONSTRUCTION UNLESS AUTHORIZED, IN WRITING, BY SALAS O'BRIEN AND THE ENGINEER OF RECORD RESPONSIBLE FOR THEIR PREPARATION.
- ALL BRANCH DUCTS SHALL HAVE BALANCE DAMPERS WITH QUADRANT LOCKS.
- ALL DUCT SIZES SHOWN ARE NET INSIDE DIMENSIONS.
- DUCTWORK SHALL BE GALVANIZED SHEET METAL IN COMPLETE CONFORMANCE WITH C.M.C., AND SMACNA HVAC DUCT CONSTRUCTION STANDARDS. FLEXIBLE DUCTS MAY BE USED TO CONNECT INTO AIR OUTLETS AND INLETS. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 5'-0".
DUCTWORK ON ROOF SHALL BE INTERNALLY LINED AND PAINTED. ALL JOINTS AND SEAMS SHALL BE WEATHERPROOF.
ALL BRACING OF DUCTS AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA GUIDELINES.
DUCTS SERVING TYPE 1 KITCHEN HOODS SHALL BE CONSTRUCTED OF MINIMUM 16 GAUGE CARBON STEEL OR MINIMUM 18 GAUGE STAINLESS STEEL WITH FULLY WELDED JOINTS. DISHWASHER EXHAUST SHALL BE MINIMUM 18 GAUGE STAINLESS STEEL.
- ALL FLEXIBLE DUCTS SHALL BE INSULATED. MINIMUM BEND RADIUS SHALL BE TWICE THE DUCT DIAMETER.
- SUPPLY AND RETURN DROPS SHALL BE LINED SHEET METAL PLENUMS.
- DUCT AND PLENUM INSULATION SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA CODE OF REGULATIONS, TITLE-24, PART 6, ENERGY EFFICIENCY STANDARDS (E.E.S.), TABLE 150.1-A AND THE 2019 CALIFORNIA MECHANICAL CODE (C.M.C.) SECTION 604.0.
- ALL SHEET METAL DUCTS SHALL BE INSULATED BY MEANS OF FOIL WRAP, 3/4 LB. DENSITY FIBERGLASS INSULATION SHALL BE UL LISTED. DUCT LINERS SHALL BE NON-FIBERGLASS TYPE WITH THICKNESS AS REQUIRED TO MEET T-24 REQUIREMENTS.
- THERMOSTATS SHALL BE LOCATED AT 4' - 0" ABOVE FINISHED FLOOR (46" MAX. IF MOUNTED OVER CASEWORK OR OTHER OBSTRUCTION) IN ACCORDANCE WITH A.D.A. REQUIREMENTS, UNLESS NOTED OTHERWISE.
- CONDENSATE DRAIN PIPING SHALL BE COPPER TYPE "L", AND SHALL BE ROUTED TO AN APPROVED RECEPTOR.
- PROVIDE FLEXIBLE CONNECTIONS AT THE INLET AND OUTLET OF ALL FANS.
- COORDINATE FINAL LOCATIONS OF AIR DISTRIBUTION DEVICES WITH THE ARCHITECTURAL REFLECTED CEILING PLANS, I.E. LIGHTS, SPEAKERS, TILES AND SPRINKLER HEADS.
- ALL SUPPLY CEILING DIFFUSERS SHALL HAVE 4-WAY AIR FLOW DISTRIBUTION PATTERNS, UNLESS INDICATED OTHERWISE.
- COORDINATE FINAL LOCATIONS OF THERMOSTATS WITH ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FIELD COORDINATE LOCATIONS WITH OTHER TRADES INCLUDING ELECTRICAL, TELEPHONE, ETC.
- FIRE/SMOKE DAMPERS SHALL BE INSTALLED ON ALL DUCTWORK PASSING THROUGH FIRE SEPARATING WALLS, AND SHALL BE INSTALLED AS PER 2019 CMC SECTION 605.0, 2019 CBC SECTION 717. AND U.L., LOCAL, STATE, AND N.F.P.A. FIRE CODES.
- ALL ROOF PENETRATIONS, CUTTING, PATCHING, BLOCKOUTS, STRUCTURAL SUPPORT, ROOF OPENINGS, LEVELING OF PRE-FAB CURBS SHALL BE BY GENERAL CONTRACTOR. CONTRACTOR SHALL VERIFY EXACT ROOF OPENING SIZES WITH UNIT MANUFACTURER PRIOR TO START OF WORK AND SHALL MAKE ALL NECESSARY ADJUSTMENTS AT NO EXTRA COST TO OWNER.
- LOCATION OF ALL MECHANICAL EQUIPMENT SHOWN ARE SCHEMATIC. CONTRACTOR SHALL FIELD COORDINATE EXACT LOCATIONS AND REQUIRED SERVICE/MAINTENANCE CLEARANCES PRIOR TO START OF WORK.
- CONTRACTOR SHALL VERIFY WEIGHTS OF ALL MECHANICAL EQUIPMENT WITH THEIR MANUFACTURER PRIOR TO START OF WORK. IF DIFFERENT THAN THE WEIGHTS INDICATED ON DRAWINGS, CONTRACTOR SHALL INFORM THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO START OF WORK.
- CONTRACTOR SHALL VERIFY ALL ELECTRICAL LOADS W/MFR. AND COORDINATE WITH THE ELECTRICAL CONTRACTOR AND THE MANUFACTURER PRIOR TO START OF WORK. NOTIFY THE ARCHITECT, IN WRITING, IN CASE OF ANY DISCREPANCIES, PRIOR TO START OF WORK.
- ALL HVAC EQUIPMENT, APPLIANCES, AND DUCTWORK SHALL CONFORM TO THE LATEST JURISDICTION OF U.L., A.G.A., N.F.P.A., C.M.C., C.P.C., AND ALL OTHER LOCAL CODES HAVING JURISDICTION.
- TEST AND BALANCE THE HVAC SYSTEM AS PER REQUIREMENTS OF THE MANDATORY HVAC MEASURES INDICATED ON THIS SHEET.
- CONTRACTOR SHALL FIELD VERIFY EXACT CEILING SPACE AVAILABLE FOR ROUTING OF DUCT, PRIOR TO START OF WORK, INFORM ARCHITECT, IN WRITING, IN CASE OF ANY DISCREPANCY OR POTENTIAL CONFLICTS PRIOR TO FABRICATING AND/OR PURCHASE OF ANY DUCTWORK.
- ALL HVAC UNITS SYSTEMS WITH 2000 CFM OR MORE OR SERVING A COMMON AIR SPACE MUST BE INTERCONNECTED TO SHUT DOWN IMMEDIATELY UPON ALARM CONDITION FROM DUCT DETECTORS (OR FIRE ALARM SYSTEM WHEN USING AREA SMOKE DETECTORS IN LIEU OF DUCT DETECTORS) WITHOUT INTERFACE FROM EMS OR ANY OTHER SYSTEMS. ALL CONTROL RELAYS USED FOR SHUT DOWN MUST BE CALIFORNIA STATE FIRE MARSHAL LISTED FOR RECEIVING SERVICE.
- ACCESS PANELS SHALL BE PROVIDED TO ALL EQUIPMENT, MANUAL VOLUME DAMPERS, ETC. LOCATED IN INACCESSIBLE AREAS.
- MAINTAIN MINIMUM 10'-0" BETWEEN ALL OA INTAKES AND EXHAUST AIR DISCHARGES OR VENTS.
- EQUIPMENT INSTALLED ON THE ROOF OR WITHIN A BUILDING SHALL BE PERMANENTLY IDENTIFIED AS TO THE AREA OR SPACE THAT IT SERVES.

LEGEND

SYMBOL	ABBREV.	DESCRIPTION
		DEMOLITION
		ITEM TO BE RELOCATED
		FLEXIBLE CONNECTION, DUCTWORK
	10x6	DUCT SIZE (1ST NUMBER INDICATES SIDE SHOWN)
	(L)	INTERNALLY LINED DUCTWORK
	TV	SQUARE ELBOW WITH TURNING VANES
	RE	ROUND ELBOW
	MVD	MANUAL VOLUME DAMPER
	BD	BACKDRAFT DAMPER
	FSD	FLEXIBLE DUCTWORK
	FSD	FIRE SMOKE DAMPER
	OA	OUTSIDE AIR
	SA	ROUND DUCT UP
	RR/RG	ROUND DUCT DOWN
	RA	CEILING SUPPLY AIR DIFFUSER (4-WAY THROW UNLESS NOTED OTHERWISE)
	SA	SUPPLY AIR
	RR/RG	RETURN AIR REGISTER/GRILLE
	RA	RETURN AIR
	ER/EG	EXHAUST AIR REGISTER/GRILLE
	EA	EXHAUST AIR
	AP	CEILING ACCESS PANEL
	EA	RECTANGULAR SUPPLY DUCT UP
	EA	RECTANGULAR RETURN DUCT UP
	EA	RECTANGULAR EXHAUST DUCT UP
	EA	RECTANGULAR SUPPLY DUCT DOWN
	EA	RECTANGULAR RETURN DUCT DOWN
	EA	RECTANGULAR EXHAUST DUCT DOWN
	TSTAT	THERMOSTAT
	HSTAT	HUMIDISTAT
		WALL SWITCH/WALL STAT
	CO	CARBON MONOXIDE SENSOR
	CO2	CARBON DIOXIDE SENSOR
	SD	DUCT MOUNTED SMOKE DETECTOR INTERLOCK WITH FIRE ALARM. SEE ELECT. DWGS.
	TC	TIME CLOCK (ELECTRONIC PROGRAMMABLE)
	TS	TIMER SWITCH
	POC	POINT OF CONNECTION
	POD	POINT OF DISCONNECT
	CFM	CUBIC FEET PER MINUTE
	CHWR	CHILLED WATER RETURN
	CHWS	CHILLED WATER SUPPLY
	HHWR	HEATING HOT WATER RETURN
	HHWS	HEATING HOT WATER SUPPLY
	ACI	AMERICAN CONCRETE INSTITUTE
	A.D.A.	AMERICANS WITH DISABILITIES ACT
	A.F.F.	ABOVE FINISH FLOOR
	A.G.A.	AMERICAN GAS ASSOCIATION
	AL	ALUMINUM
	AMB.	AMBIENT
	APRX.	APPROXIMATE(LY)
	ARCH.	ARCHITECT OR ARCHITECTURAL
	ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
	BHP	BRAKE HORSEPOWER
	BLDG	BUILDING
	BTU(H)	BRITISH THERMAL UNIT (PER HOUR)
	B.U.R.	BUILT-UP ROOFING
	CAP.	CAPACITY
	C.B.C.	CALIFORNIA BUILDING CODE
	C.E.C.	CALIFORNIA ENERGY COMMISSION
	C.M.C.	CALIFORNIA MECHANICAL CODE
	C.P.C.	CALIFORNIA PLUMBING CODE
	CD	CONDENSATE DRAIN
	CGBCS	CALIFORNIA GREEN BUILDING STANDARDS COMMISSION
	CHW	CHILLED WATER
	CONC.	CONCRETE
	COND.	CONDITIONS
	CONN.	CONNECTIONS
	COORD.	COORDINATE
	C.O.P.	COEFFICIENT OF PERFORMANCE
	CORR.	CORRIDOR
	CU	COPPER
	CW	COLD WATER
	DB	DRY BULB
	DET.	DETAIL
	DIM.	DIMENSIONS

LEGEND (CONT.)

SYMBOL	ABBREV.	DESCRIPTION
	DN.	DOWN
	DWG(S).	DRAWING(S)
	DX	DIRECT EXPANSION
	(E)	EXISTING
	EAT	ENTERING AIR TEMPERATURE
	EDB.	ENTERING DRY BULB
	ENT.	ENTERING
	EQ.	EQUAL
	EWT	ENTERING WATER TEMPERATURE
	EER	ENERGY EFFICIENCY RATIO
	E.E.S.	ENERGY EFFICIENCY STANDARDS
	EFF.	EFFICIENCY
	ELEC.	ELECTRICAL
	ESP	EXTERNAL STATIC PRESSURE (INCHES OF WATER)
	FAB	FABRICATED
	F.A.R.	FREE AREA REQUIRED
	FLA	FULL LOAD AMPS
	FBM	FEET PER MINUTE
	FT.	FEET
	GA.	GAUGE
	GALV.	GALVANIZED
	GPM	GALLONS PER MINUTE
	GSM	GALVANIZED SHEET METAL
	HERS	HOME ENERGY RATING SYSTEM
	HHW	HEATING HOT WATER
	HP	HORSEPOWER
	HSPFF	HEATING SEASONAL PERFORMANCE FACTOR
	HVAC	HEATING, VENTILATION AND AIR CONDITIONING
	I.B.C.	INTERNATIONAL BUILDING CODE
	I.M.C.	INTERNATIONAL MECHANICAL CODE
	I.P.C.	INTERNATIONAL PLUMBING CODE
	IN.	INCHES
	INLV	INTEGRATED PART-LOAD VALUE
	KW	KILOWATT
	LAT	LEAVING AIR TEMPERATURE
	LBS.	POUNDS
	LVG.	LEAVING
	LWT	LEAVING WATER TEMPERATURE
	MECH.	MECHANICAL
	MAX.	MAXIMUM
	MB	MACHINE BOLT
	MBH	1000 BTU/H
	MCA	MINIMUM CIRCUIT AMPACITY
	MFR	MANUFACTURER
	MIN.	MINIMUM
	MOCBP	MAXIMUM OVERCURRENT PROTECTION
	MTG.	MOUNTING
	MVD	MANUAL VOLUME DAMPER
	NA	NOT APPLICABLE
	N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
	NIC	NOT IN CONTRACT
	NC	NOISE CRITERIA
	NO.	NUMBER
	OB	OPPOSED BLADE DAMPER
	OPER.	OPERATING
	OSHPD	OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT
	PH	PHASE
	QTY.	QUANTITY
	RECT.	RECTANGLE/RECTANGULAR
	RPM	REVOLUTIONS PER MINUTE
	SEER	SEASONAL ENERGY EFFICIENCY RATIO
	SF	SQUARE FEET
	SQ.	SQUARE
	SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION
	S.M.S.	SHEET METAL SCREW
	S.O.V.	SHUT-OFF VALVE
	SPD	STATIC PRESSURE DROP
	SOFT	SQUARE FEET
	STRUC.	STRUCTURAL
	STL.	STEEL
	TEMP.	TEMPERATURE
	THRU	THROUGH
	TSP	TOTAL STATIC PRESSURE
	TYP.	TYPICAL
	U/C	UNDERCUT DOOR
	U.L.	UNDERWRITER'S LABORATORIES
	U.F.C.	UNIFIED FACILITIES CRITERIA
	V	VOLTAGE/VOLTS
	VEL.	VELOCITY
	VAV	VARIABLE AIR VOLUME
	VFD	VARIABLE FREQUENCY DRIVE
	WB	WET BULB
	WT.	WEIGHT

MANDATORY HVAC SYSTEM MEASURES

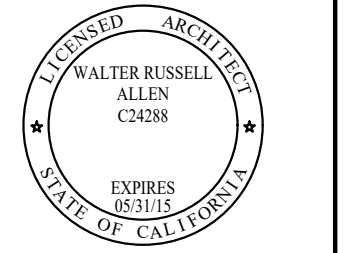
- ALL WORK INDICATED ON DRAWINGS AND/OR SPECIFICATIONS SHALL BE COORDINATED WITH WORKS OF OTHER TRADES PRIOR TO START OF WORK.
- ALL HVAC EQUIPMENT LISTED IN SECTION 100(H) OF THE E.E.S. MUST BE C.E.C. CERTIFIED.
- ALL PIPING INSULATION SHALL BE CONSISTENT WITH THE REQUIREMENTS OF C.M.C. SECTIONS 1201.2 AND TABLE E 502.5, AND E.E.S. SECTION 120.3-A.
- ALL DUCTWORK INSULATION SHALL BE CONSISTENT WITH THE REQUIREMENTS OF SECTIONS C.M.C. SECTION 604.0 TITLE 24 E.E.S. TABLE 150.1-A.
- ALL HVAC EQUIPMENT AND APPLIANCE SHALL MEET THE REQUIREMENTS PER SECTIONS 110.1-110.2, 110.5 AND 120.1-120.7 E.E.S.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS PER SECTION 110.2 AND 120.2 E.E.S.
- ALL VENTILATION SYSTEMS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE C.M.C.
- THE CONTRACTOR SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE HEATING, VENTILATION, AND AIR CONDITIONING FEATURES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING AND OPERATING INSTRUCTIONS.
- INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARD PER SECTION 120.3 AND 120.4 E.E.S.
- ALL SPACE CONDITIONING AND VENTILATION SYSTEMS SHALL BE BALANCED TO THE QUANTITIES SPECIFIED IN THESE PLANS, IN ACCORDANCE WITH THE NATIONAL ENVIRONMENTAL BALANCING BUREAU (NEBB) PROCEDURAL STANDARDS, OR ASSOCIATED AIR BALANCE COUNCIL (AABC) NATIONAL STANDARDS. TESTING AND BALANCING SHALL BE DONE BY AN INDEPENDENT QUALIFIED AGENCY.
- ALL SYSTEMS SHALL PROVIDE THE MINIMUM OUTSIDE AIR AS SHOWN ON THE MECHANICAL DRAWINGS, AND SHALL BE MEASURED AND CERTIFIED BY AN INDEPENDENT QUALIFIED TESTING AGENCY.
- DUCT INSULATION SHALL HAVE A MINIMUM INSTALLED R-VALUE OF 8.0.
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS SHALL BE SEALED AND MECHANICAL EQUIPMENT SHALL BE COVERED TO PROTECT INTEGRITY OF SYSTEM CLEANLINESS.
- PRIOR TO FINAL APPROVAL OF THE BUILDING, THE LICENSED CONTRACTOR, ARCHITECT, OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVE TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED WITH THE APPROVED PLANS.
- PROVIDE TEMPORARY MEANS OF BUILDING VENTILATION DURING CONSTRUCTION IN ACCORDANCE WITH CGBCS SECTION 5.504.1.1.
- BUILDING FLUSH-OUT SHALL BE PERFORMED AND MONITORED UPON CONSTRUCTION COMPLETION IN ACCORDANCE WITH CGBCS SECTION 5.504.2.
- ALL ENVELOPE AND MECHANICAL CERTIFICATE OF ACCEPTANCE FORMS AND ALL RELATED ACCEPTANCE DOCUMENTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THESE FORMS ARE REVIEWED AND APPROVED.
- FOR PROJECTS OVER 10,000 SQUARE FEET IN FLOOR AREA, UNLESS NOTED OTHERWISE, FUNDAMENTAL BUILDING COMMISSIONING FOR HVAC, LIGHTING AND DOMESTIC HOT WATER SYSTEMS SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION SECTION 23 08 00 AND THE CGBCS SECTION 5.410.2.
- THERMOSTATIC CONTROLS FOR ALL SINGLE ZONE AIR CONDITIONERS AND HEAT PUMPS SHALL COMPLY WITH THE REQUIREMENTS OF EES SECTION 110.2(C) AND REFERENCE JOINT APPENDIX JAS. THERMOSTAT SHALL BE CAPABLE OF COMMUNICATING THROUGH EITHER (1) AT LEAST ONE EXPANSION PORT WITH A REMOVABLE MODULE TO ENABLE COMMUNICATION; OR (2) ON BOARD COMMUNICATION DEVICE.
- DUCTWORK SHALL BE LEAK TESTED IN ACCORDANCE WITH SMACNA HVAC AIR DUCT LEAKAGE TEST MANUAL FOR A REPRESENTATIVE TOTAL NOT LESS THAN 10% OF INSTALLED DUCTWORK IN ACCORDANCE WITH THE REQUIREMENTS OF CMC 603.10.

APPLICABLE CODES

- 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR PART 1, TITLE 24
- 2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PARTS 1 & 2
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3
- 2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4, TITLE 24 CCR
- 2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5,
- 2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6, AND ASSOCIATED ADMINISTRATIVE REGULATION IN PART 1.
- 2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9
- 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10,
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11
- 2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12
- TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- 2016 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS

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Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

Sym.	Revisions	By	Date

Job Number: 2207

Drawing Number

m001

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Permit Number:

SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

TAG	MANUFACTURER & MODEL NO.	HEAT PUMP											OPER. WEIGHT (LBS.)	TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	ESP (IN. W.G.)	MIN. OA CFM	FAN COIL UNIT						ELECTRICAL						FILTERS		OPER. WEIGHT (LBS.)	REMARKS					
		COOLING NET CAPACITY			SEER (EER)		HEATING CAPACITY		HSPF (COP)			COND. FAN								COMPRESSOR			UNITS POWER SUPPLY			COOLING			HEATING			ELECTRICAL				QTY	SIZE			
		TOTAL (MBH)	SENS. (MBH)	AMB. (°F)			SENS. (MBH)	AMB. (°F)			NO.	HP								FLA	NO.	RLA	LRA	MCA	MOCV	V	PH	EDB (°F)	EWB (°F)	EDB (°F)	NO.	HP	FLA					MCA	MOCV	V
HP 1	CARRIER Z5HHA460A005	59.55	45.78	95	14 (11.5)	57.84	47	8.2	1	1/4	1.45	1	17.1	110	22.9	40	208	3	310	FC 1	CARRIER FXDNF061L00	KITCHEN	1850	0.5	0	80	67	70	1	3/4	6	7.5	15	208	1	1	21-1/2 x 23-5/16	220	①②③④⑤⑥⑦⑧⑨⑩⑪	

- | | | |
|---|---|---|
| <p>① PROVIDE REFRIGERANT PIPING AND INSULATION INCLUDING FULL REFRIGERANT CHARGE. SIZES SHALL BE BASED ON FINAL DEVELOPED LENGTH AND MANUFACTURER'S REQUIREMENTS. PROVIDE ALL REFRIGERANT ACCESSORIES AS PER MANUFACTURER'S RECOMMENDATION. VERIFY SIZING WITH MANUFACTURER'S REP. PRIOR TO INSTALLATION, SEE DETAILS 4/m502 AND 9/m502.</p> <p>② PROVIDE WITH NON-CFC REFRIGERANT BASED SYSTEM.</p> <p>③ PROVIDE FAN COIL WITH POLYCARBONATE DRAIN PAN AND INTEGRAL CONDENSATE PUMP AND SECONDARY CONDENSATE DRAIN OVERFLOW CUTOFF SWITCH.</p> | <p>④ PROVIDE WITH FLEXIBLE CONNECTOR AND LINED PLENUM AT UNIT INLET AND OUTLET, SEE DETAIL 8/m501.</p> <p>⑤ PROVIDE UL 900 (CLASS 1 OR 2) 30% EFFICIENT (MERV 13) DISPOSABLE PLEATED FILTERS.</p> <p>⑥ PROVIDE WITH PROGRAMMABLE THERMOSTAT, SEE DETAIL 5/m501.</p> <p>⑦ PROVIDE CONDENSING UNIT WITH VIBREX VIBRATION ISOLATOR TYPE RC 2x2 NEOPRENE PADS, SEE DETAIL 8/m502.</p> | <p>⑧ PROVIDE FAN COIL WITH VIBREX VIBRATION ISOLATOR TYPE RMXA WITH MINIMUM 1" DEFLECTION, SEE DETAIL 1/m502.</p> <p>⑨ PROVIDE WITH DISCONNECT, BY OTHERS. FOR CONTROL DIAGRAM, SEE 3/m501.</p> <p>⑩ PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED BY MANUFACTURER FOR PROPER OPERATION.</p> <p>⑪ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.</p> |
|---|---|---|

AIR DEVICE SCHEDULE

TAG	MANUFACTURER & MODEL NO.	TYPE	FRAME STYLE	OBD (YES/NO)	REMARKS
A	TITUS 350RL	LOUVER FACE RETURN/EXHAUST	BORDER TYPE 1	YES	①②
B	TITUS TMRA	ROUND SUPPLY	DUCT MOUNTED	NO	③④

- ① SQUARE NECK WITH ROUND ADAPTOR. ② STEEL CONSTRUCTION. ③ ALUMINUM CONSTRUCTION.
- ④ SEE DETAIL 1/m501.

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	ESP (IN. W.G.)	DRIVE TYPE	RPM	BHP (WATTS)	HP (WATTS)	MAX. SONES	V	PH	FAN TYPE	OPER. WEIGHT (LBS.)	REMARKS
KEF 1	CAPTIVEAIRE USBI240D-RM	KITCHEN	5145	3.0	DIRECT	1305	4.89	10	33	208	3	UTILITY	830	①②③④⑤⑥⑦⑧⑨⑩
KEF 2	CAPTIVEAIRE USBI110D-RM	KITCHEN	750	0.7	DIRECT	1497	0.21	1	8.9	208	1	UTILITY	220	①②③④⑤⑥⑦⑧⑨⑩

- | | | |
|---|--|--|
| <p>① PROVIDE VIBRATION ISOLATION AND SEISMIC RESTRAINT, SEE DETAIL 6/m502.</p> <p>② PROVIDE WITH MANUFACTURER'S FAN SPEED CONTROLLER. INSTALL AT FAN HOUSING. COORDINATE CFM WITH CERTIFIED T.A.B. AGENCY.</p> <p>③ PROVIDE THERMAL OVERLOAD PROTECTION ON FAN MOTOR.</p> <p>④ PROVIDE DRAIN TAP AT BOTTOM OF FAN SCROLL.</p> | <p>⑤ INTERLOCK WITH MUA, SEE CAPTIVE AIRE DRAWINGS FOR DETAILS.</p> <p>⑥ PROVIDE WITH DISCONNECT SWITCH, BY OTHERS.</p> <p>⑦ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL ACCESSORIES REQUIRED BY MANUFACTURER FOR A COMPLETE AND OPERATIONAL SYSTEM.</p> <p>⑧ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.</p> | <p>⑨ FAN SHALL BE UL 762 LISTED FOR RESTAURANT DUTY.</p> <p>⑩ INTERLOCK WITH HOOD OPERATION AND MUA-1.</p> |
|---|--|--|

MAKE-UP AIR UNIT SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	SUPPLY FAN										EVAP. FLOW RATE GPH	OPER. WEIGHT (LBS.)	REMARKS
			CFM	ESP (IN. W.G.)	RPM	BHP	HP	FLA	MCA	MOCV	V	PH			
MUA 1	CAPTIVEAIRE A3-24D	KITCHEN	5900	1.0	1308	4.14	7.5	21.1	26.4	45	208	3	5.21	1430	①②③④⑤⑥⑦

- | | |
|--|---|
| <p>① PROVIDE WITH MANUFACTURER'S LEVEL PRE-FAB ROOF CURB. FOR MOUNTING, SEE DETAIL 7/m502.</p> <p>② PROVIDE WITH CW CONNECTION AND CONDENSATE DRAIN, SEE PLUMBING PLANS.</p> <p>③ PROVIDE WITH DISCONNECT, BY OTHERS. FOR WIRING DIAGRAM, SEE DETAIL 6/m501.</p> <p>④ INTERLOCK WITH HOOD OPERATION, EXHAUST FANS KEF-1 AND KEF-2.</p> | <p>⑤ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL OTHER ACCESSORIES REQUIRED BY MANUFACTURER FOR A COMPLETE AND OPERATIONAL SYSTEM.</p> <p>⑥ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.</p> <p>⑦ SHOWN FOR REFERENCE ONLY. REFER TO SHEETS M401 THRU M414 FOR ADDITIONAL DETAILS AND SPECIFICATIONS.</p> |
|--|---|

KITCHEN AIR BALANCE

TAG	SUPPLY	RETURN	EXHAUST	BALANCE
KEF-1	-	-	5145	-
KEF-2	-	-	750	-
MUA-1	5900	-	-	-
FC-1	1850	1850	-	-
TOTAL	7750	1850	5895	5

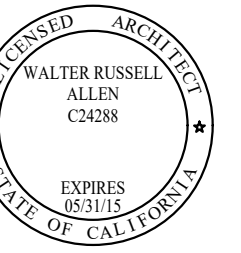
AIR CURTAIN/FLY FAN SCHEDULE

TAG	MANUFACTURER & MODEL NO.	SERVES	CFM	VELOCITY (FPM)	ELECTRICAL DATA				OPER. WEIGHT (LBS.)	REMARKS	
					NO.	HP	AMPS	V			PH.
FF 1	MARS N272-2UA-0B	KITCHEN	2700	2592	2	1/2	10.2	115	1	132	①②③④⑤
FF 2	MARS N236-1UA-0B	KITCHEN	1379	2206	1	1/2	5.1	115	1	66	①②③④⑤

- | | |
|---|---|
| <p>① PROVIDE WITH MANUFACTURER'S WALL MOUNTED INSTALLATION KIT. SEE MFR.'S INSTALLATION MANUAL FOR MOUNTING DETAILS.</p> <p>② INTERLOCK WITH DOOR OPERATED MICROSWITCH.</p> <p>③ PROVIDE WITH DISCONNECT SWITCH, BY OTHERS.</p> | <p>④ PROVIDE ALL CONTROL WIRING IN CONDUIT AND ALL ACCESSORIES REQUIRED BY MANUFACTURER FOR PROPER OPERATION.</p> <p>⑤ FIELD VERIFY EXACT ELECTRICAL REQUIREMENTS WITH MANUFACTURER AND COORDINATE WITH ELECTRICAL CONTRACTOR PRIOR TO START OF WORK.</p> |
|---|---|

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Temecula, CA 92590
(951) 993-0301



Designed: SO
Drawn By: SO
Checked: SO
Date: 11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	m002

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m002

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Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H6. SYSTEM SPECIAL FEATURES table with columns 1-4: System Name, Equipment Type, Window Interlocks per §140.4(n), Other Special Features and Controls

H7. NONRESIDENTIAL VENTILATION table with columns 1-7: Zone Name, Mechanical Ventilation, DCV or Occupant Sensor Controls, or Both

H8. HIGH-RISE RESIDENTIAL DWELLING UNIT AND HOTEL/MOTEL VENTILATION. This Section Does Not Apply

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY table with columns 1-13: System ID, Zone Name, System Type, Qty, Rated Capacity, Airflow, Fan

H10. EVAPORATIVE COOLER SUMMARY table with columns 1-9: System ID, Type, Qty, Effectiveness, Pump Power, Secondary Fan Flow Rate, Secondary Fan Total Efficiency, Secondary Fan Static Pressure, Secondary Air Source

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

C3. ENERGY USE SUMMARY table with columns: Energy Component, Standard Design Site (MWh), Proposed Design Site (MWh), Margin (MWh), Standard Design Site (MBtu), Proposed Design Site (MBtu), Margin (MBtu)

D. EXCEPTIONAL CONDITIONS. The building does not include service water heating. Verify that service water heating is not required and is not included in the design.

E. HERS VERIFICATION. This Section Does Not Apply

H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) table with columns 1-12: Equipment Name, Equipment Type, Qty, Heating, Cooling, Economizer Type

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

A. GENERAL INFORMATION table with columns 1-14: Project Location, CA Zip Code, Climate Zone, Total Conditioned Floor Area, Total Unconditioned Floor Area, Total # of Stories, Total # of dwelling units

B. PROJECT SUMMARY. Table Instructions: Table B shows which building components are included in the performance calculation.

Table with columns: Building Components Complying via Performance, Building Components Complying Prescriptively, Performance checkboxes, Compliance Margin

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H11. HEAT RECOVERY SUMMARY. This Section Does Not Apply

J2. COMMERCIAL KITCHENS table with columns 1-5: Space Name, Exhaust Hood Style, Exhaust Hood Duty, Exhaust Length, Exhaust Flow Rate

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) table with columns 1-12: Equipment Name, Equipment Type, Qty, Heating, Cooling, Economizer Type

H2. FAN SYSTEMS SUMMARY table with columns 1-14: Name or Item Tag, Qty, Design OA, Supply Fan, Return Fan, Control

H3. EXHAUST FAN SUMMARY table with columns 1-8: System ID, Zone Name, Qty, CFM, Motor BHP, Power Per Flow, Total Static Pressure

H4. Wet System Equipment(boilers,chillers,cooling towers,etc.) This Section Does Not Apply

H5. PUMPS. This Section Does Not Apply

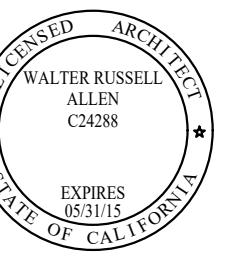
CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name: Miramonte Winery, Project Address: 33410 Rancho California Road Temecula 92591, Input File Name: 22089_T24.cibd19x

C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kWh/ft²-yr) table with columns: Energy Component, Standard Design (TDV), Proposed Design (TDV), Compliance Margin

C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS table with columns: Miscellaneous Energy Component, Standard Design (TDV), Proposed Design (TDV), Compliance Margin

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39



Designed: SO, Drawn By: SO, Checked: SO, Date: 11/12/22

MIRAMONTE KITCHEN

Revisions table with columns: Sym., Revisions, By, Date

Job Number: 2207, Drawing Number

SALASOBRIEN logo and contact information: 3220 EXECUTIVE RIDGE SUITE 210, VISTA, CA 92081, TEL: (760) 560-0100, #22089, 01-17-23, www.salasobrien.com, E-Mail: admin@tsqeng.com



m003

Project Name:	Miramonte Winery	NRCC-PRF-01-E	Page 9 of 9
Project Address:	33410 Rancho California Road Temecula 92591	Calculation Date/Time:	18:23, Mon, Jul 25, 2022
Input File Name:	22089_T24.cibd19x		

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Misty Dupre	Signature:
Company: Salas O'Brien Engineers	
Address: 3220 Executive Ridge, Suite 210	Signature Date: 2022-07-25
City/State/Zip: Vista CA 92081	CEA/ HERS Certification Identification (if applicable): M 32811
Phone: (760) 560-0100	

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 5 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that at a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Envelope Designer Name: Christopher Campbell	Signature: NOT IN SCOPE
Company: Walter R. Allen, AIA	
Address: 28465 Old Town Front Street, Suite 201	Date Signed:
City/State/Zip: Temecula CA 92590	
Phone: (951) 693-0301	Title: License #:
Responsible Lighting Designer Name:	Signature: NOT IN SCOPE
Company: Salas O'Brien	
Address: 3220 Executive Ridge, Suite 210	Date Signed:
City/State/Zip: Vista CA 92081	
Phone: (760) 560-0100	Title: License #:
Responsible Mechanical Designer Name: Misty Dupre	Signature:
Company: Salas O'Brien	
Address: 3220 Executive Ridge, Suite 210	Date Signed: 2022-11-10
City/State/Zip: Vista CA 92081	
Phone: (760) 560-0100	Title: Mechanical Engineer License #: M 32811

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name:	Miramonte Winery	NRCC-PRF-01-E	Page 7 of 9
Project Address:	33410 Rancho California Road Temecula 92591	Calculation Date/Time:	18:23, Mon, Jul 25, 2022
Input File Name:	22089_T24.cibd19x		

L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Installation must be submitted for the features to be recognized for compliance. These documents must be retained and provided to the building inspector during construction and can be found online at: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/nonresidential_documents/NRCI/

Building Component	Form/Title
Mechanical	NRCI-MCH-01-E - Must be submitted for all buildings
Covered Process	NRCI-PRC-01-E - Must be submitted for all Covered Processes

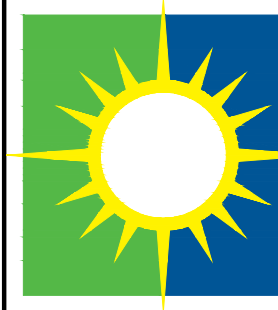
CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39

Project Name:	Miramonte Winery	NRCC-PRF-01-E	Page 8 of 9
Project Address:	33410 Rancho California Road Temecula 92591	Calculation Date/Time:	18:23, Mon, Jul 25, 2022
Input File Name:	22089_T24.cibd19x		

M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCA/

Building Component	Form/Title
Covered Process	NRCA-PRC-Q2-F - Kitchen Exhaust
Mechanical	NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap
	NRCA-MCH-03-A Constant Volume Single Zone HVAC
	NRCA-MCH-13-A Automatic FDD for Air Handling Units and Zone Terminal Units Acceptance

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-07-25 18:23:39



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Designed	SO
Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

33410 RANCHO CALIFORNIA ROAD
 TEMECULA, CA 92591

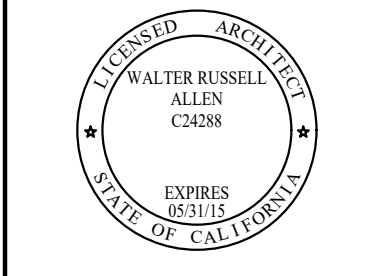
Revisions	By	Date	Sym.

Job Number: 2207

Drawing Number

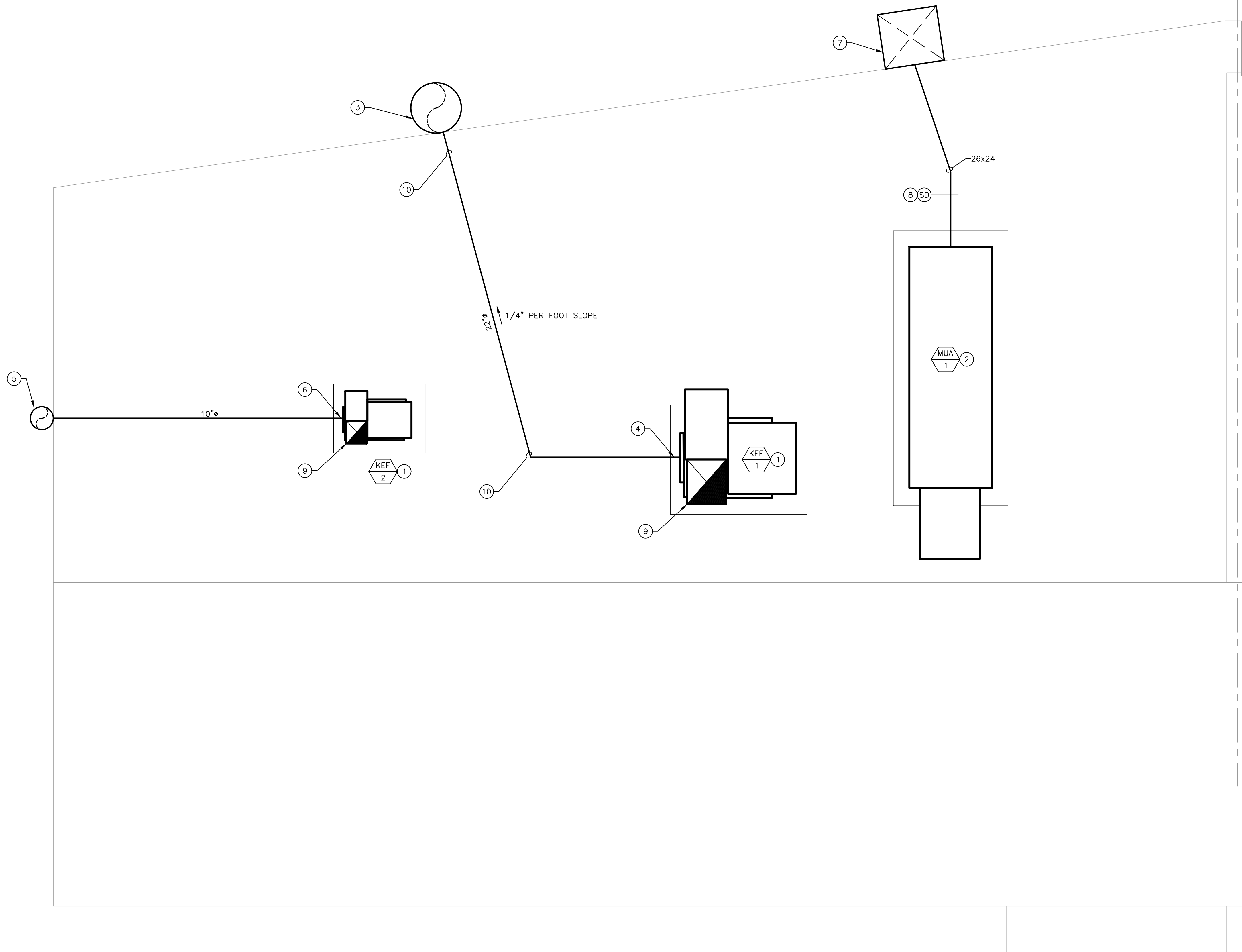
m004

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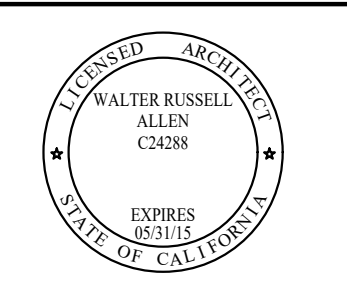
GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, DETERMINING EXTENT OF DEMOLITION, AND COORDINATE WITH ALL OTHER TRADES. IN CASE OF DISCREPANCIES OR ANY POTENTIAL CONFLICTS, INFORM THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL EXISTING EQUIPMENT, DUCTWORK AND AIR DISTRIBUTION DEVICES, WHICH ARE TO REMAIN, SHALL BE CLEANED AND REFURBISHED TO ORIGINAL WORKING CONDITION.
- C. ALL WORK TO BE DEMOLISHED OR REMOVED SHALL NOT BE RE-INSTALLED UNLESS NOTED OTHERWISE.
- D. ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE NOT LESS THAN 3 FEET FROM THE PROPERTY LINE, 10 FEET FROM A FORCED AIR INLET, AND 3 FEET FROM OPENING INTO THE BUILDING. ENVIRONMENTAL EXHAUST DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY.

KEY NOTES

- 1. INSTALL EXHAUST FAN ON A LEVELING PLATFORM AND PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 6/m502. TERMINATION SHALL BE NOT LESS THAN 10 FT. OF HORIZONTAL CLEARANCE FROM AIR INTAKES OR NOT LESS THAN 3 FT. ABOVE AIR INTAKES WITHIN 10 FT. OF EXHAUST OUTLET.
- 2. INSTALL MAKE-UP AIR UNIT ON A LEVELING PLATFORM AND PER MANUFACTURER'S RECOMMENDATION, SEE DETAIL 7/m502.
- 3. 22" Ø PREFABRICATED LISTED GREASE DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1, SEE DETAIL 9/m501.
- 4. 24" Ø PREFABRICATED LISTED GREASE DUCT CONNECTION TO KEF-1.
- 5. 10" Ø PREFABRICATED DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1.
- 6. 12" Ø PREFABRICATED LISTED GREASE DUCT CONNECTION TO KEF-2.
- 7. 26x24 SA DUCT AT THE EXTERIOR WALL DOWN TO LEVEL 1.
- 8. DUCT-TYPE SMOKE DETECTOR IN SUPPLY AIR DUCT, SEE DETAIL 3/m502.
- 9. TERMINATE EXHAUST DUCT 10 FT. AWAY FROM AIR INTAKES OR NOT LESS THAN 3 FT. ABOVE AIR INTAKES WITHIN 10 FT. OF EXHAUST OUTLET.
- 10. PROVIDE RATED ACCESS COVER FOR CLEANING AND INSPECTION AT CHANGES OF DIRECTION WITH SAFE ACCESS. VERIFY EXACT SIZE AND LOCATION WITH THE MANUFACTURER OF PREFABRICATED LISTED GREASE DUCT PRIOR TO START OF WORK.

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Drawn By	SO
Checked	SO
Date	11/12/22

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Permit Number:

Revisions	Sym.

Job Number: 2207

Drawing Number

1 MECHANICAL ROOF PLAN

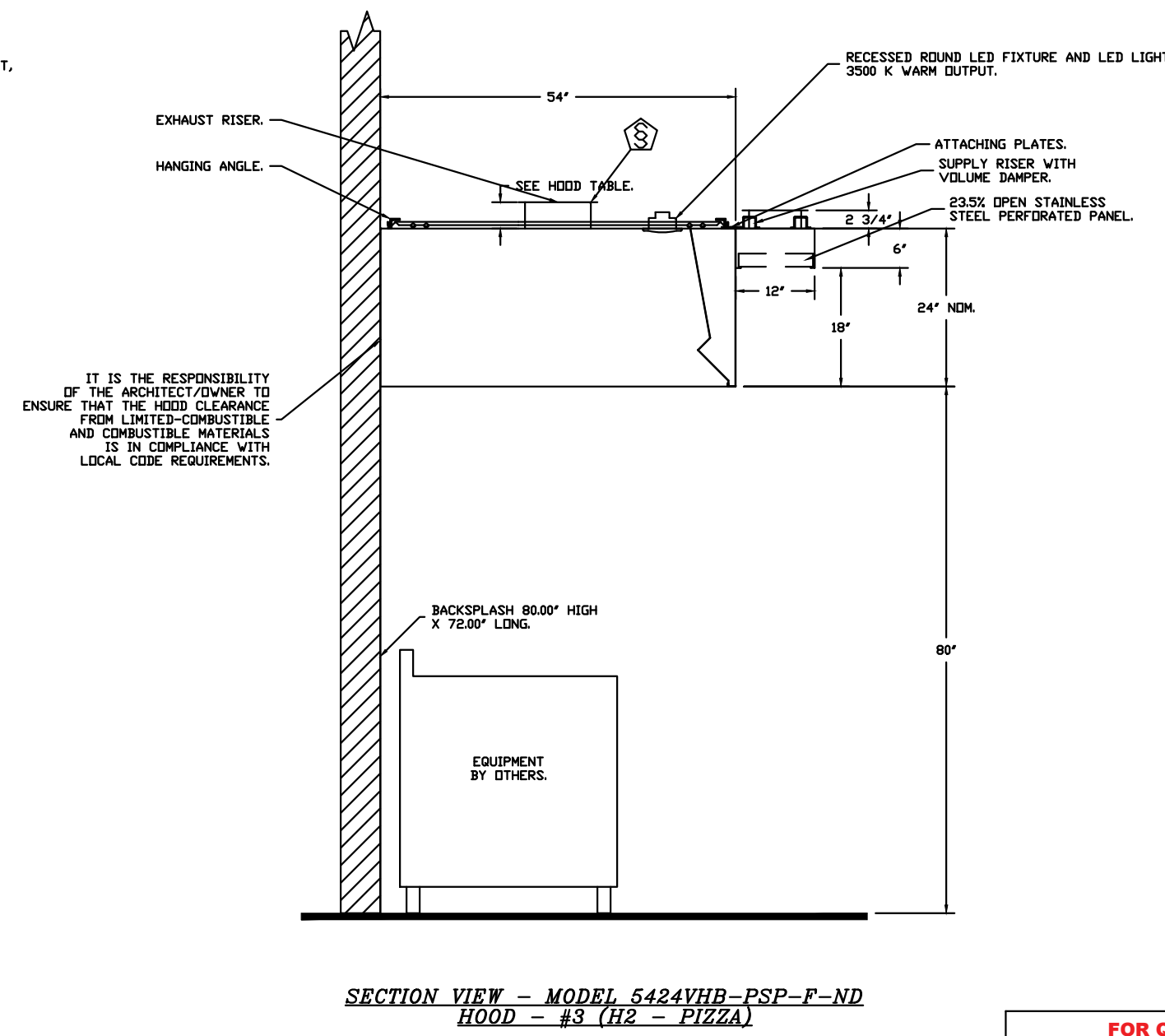
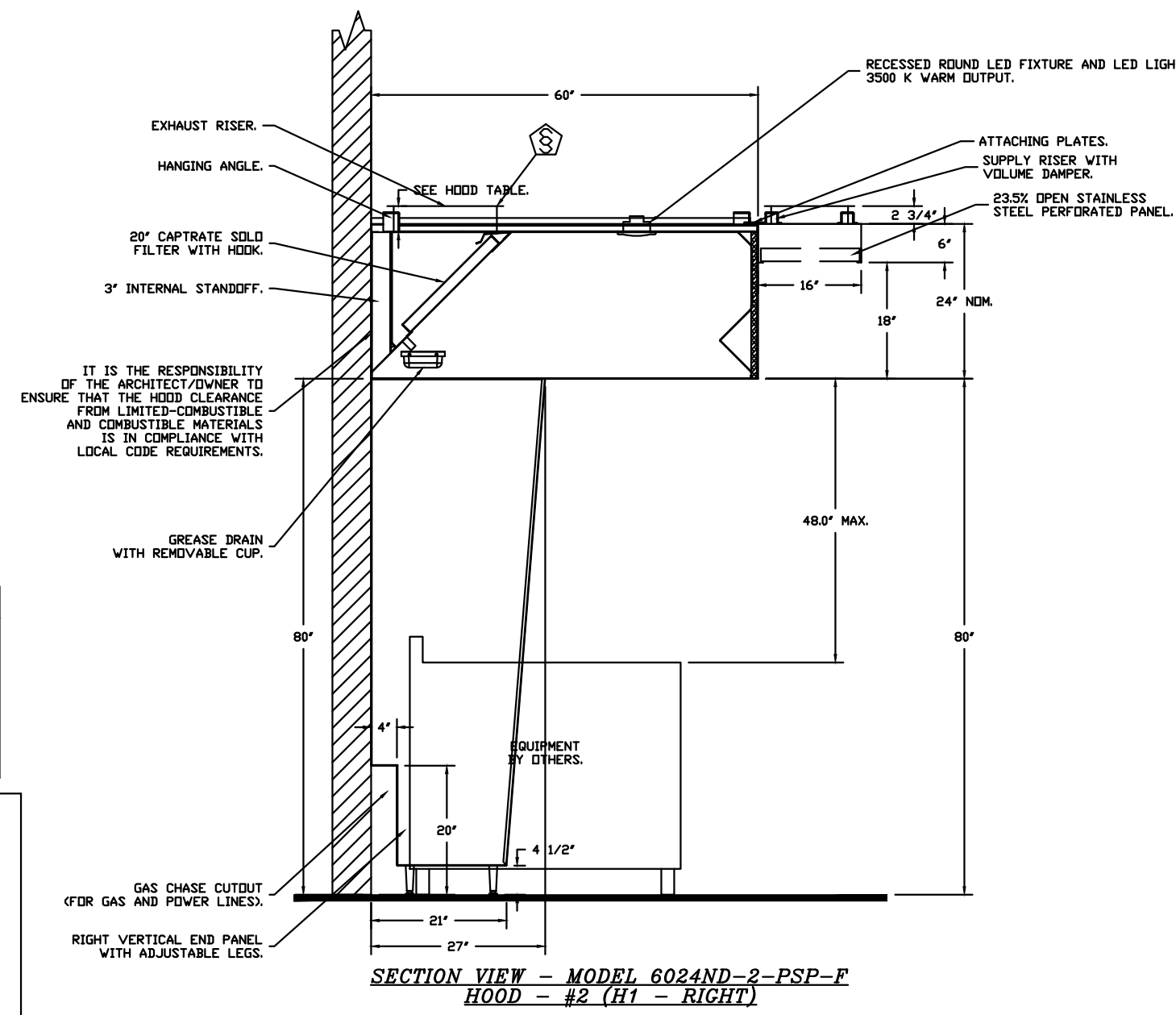
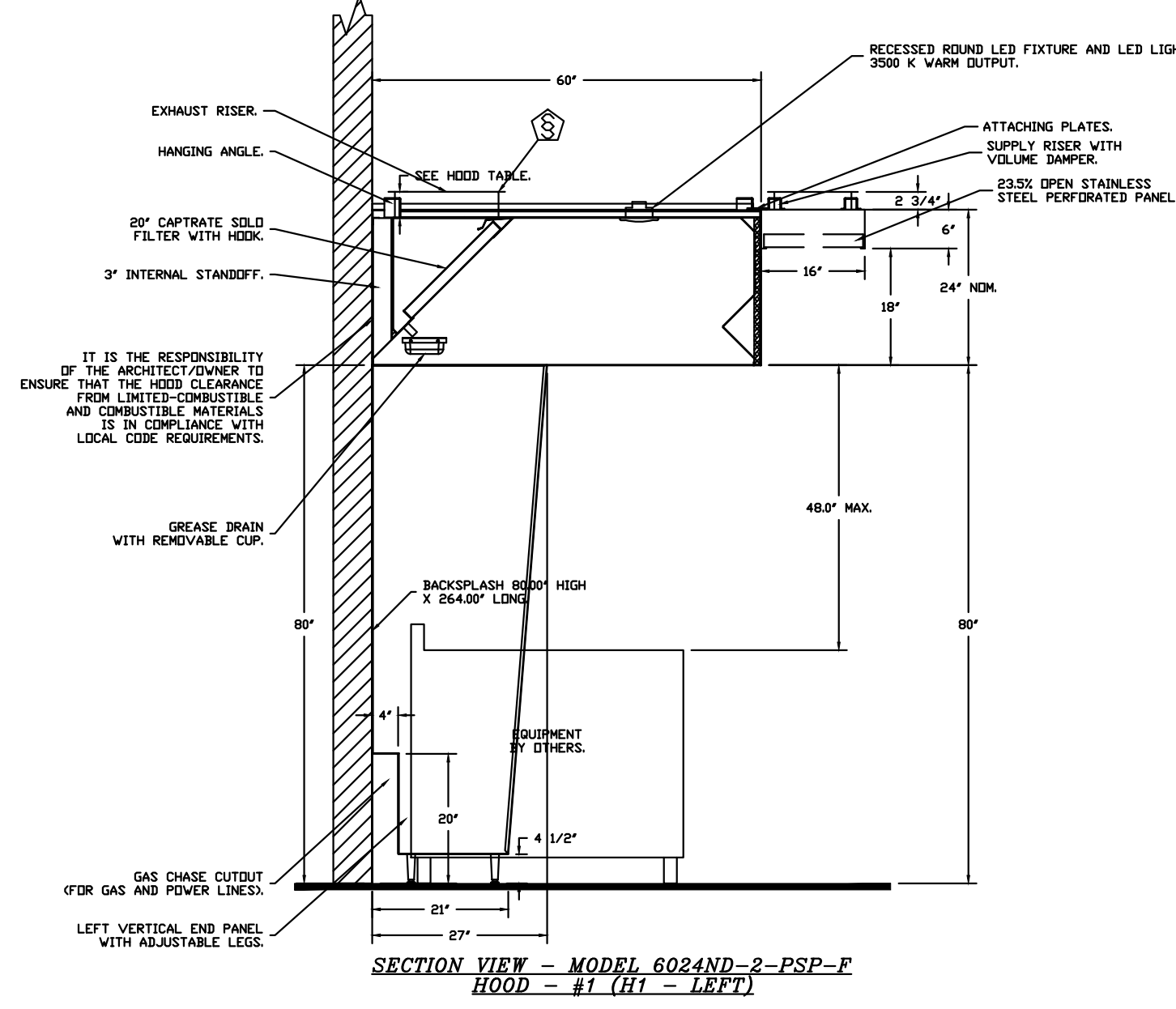
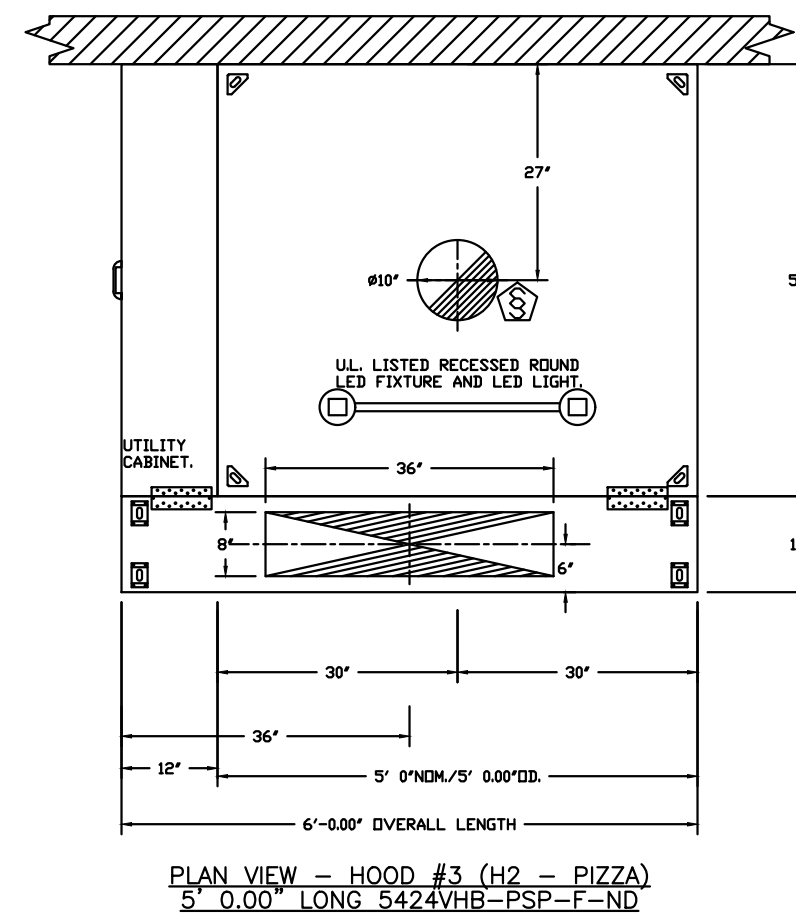
SCALE: 1/2"=1'-0"

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NOTE:

CAPTIVE-AIRE HOODS ARE BUILT IN COMPLIANCE WITH UL 710 AND NFPA 96 AND ARE RECOGNIZED BY ONE OR MORE OF THE FOLLOWING:

ETL SANITATION LISTED
ETL LISTED
FILE# 102900319PRT-001

CAPTIVE-AIRE
Inland Empire
21880 Deer Valley Road, Bldg. B24, Apple Valley, CA 92308 PHONE: (951) 231-5102 EMAIL: rep1028@inlandaire.com

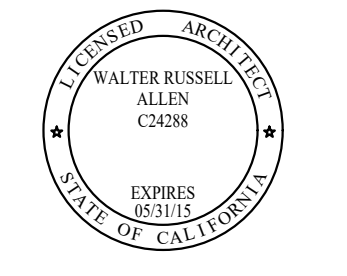
Miramonte Winery - Temecula r2
TEMECULA, CA, 92591

7/25/2022
5571887
CJ - 102
3/4" = 1'-0"
MASTER DRAWING

2

FOR QUESTIONS CALL:
Cory Jernigan
INLAND EMPIRE (Region 102)
(951) 231-5102 / REP1028@CAPTIVEAIRE.COM

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Designed SO
Drawn By SO
Checked SO
Date 11/12/22

MIRAMONTE KITCHEN

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Permit Number:

Sym.	Revisions	By	Date	Job Number
				2207

Drawing Number

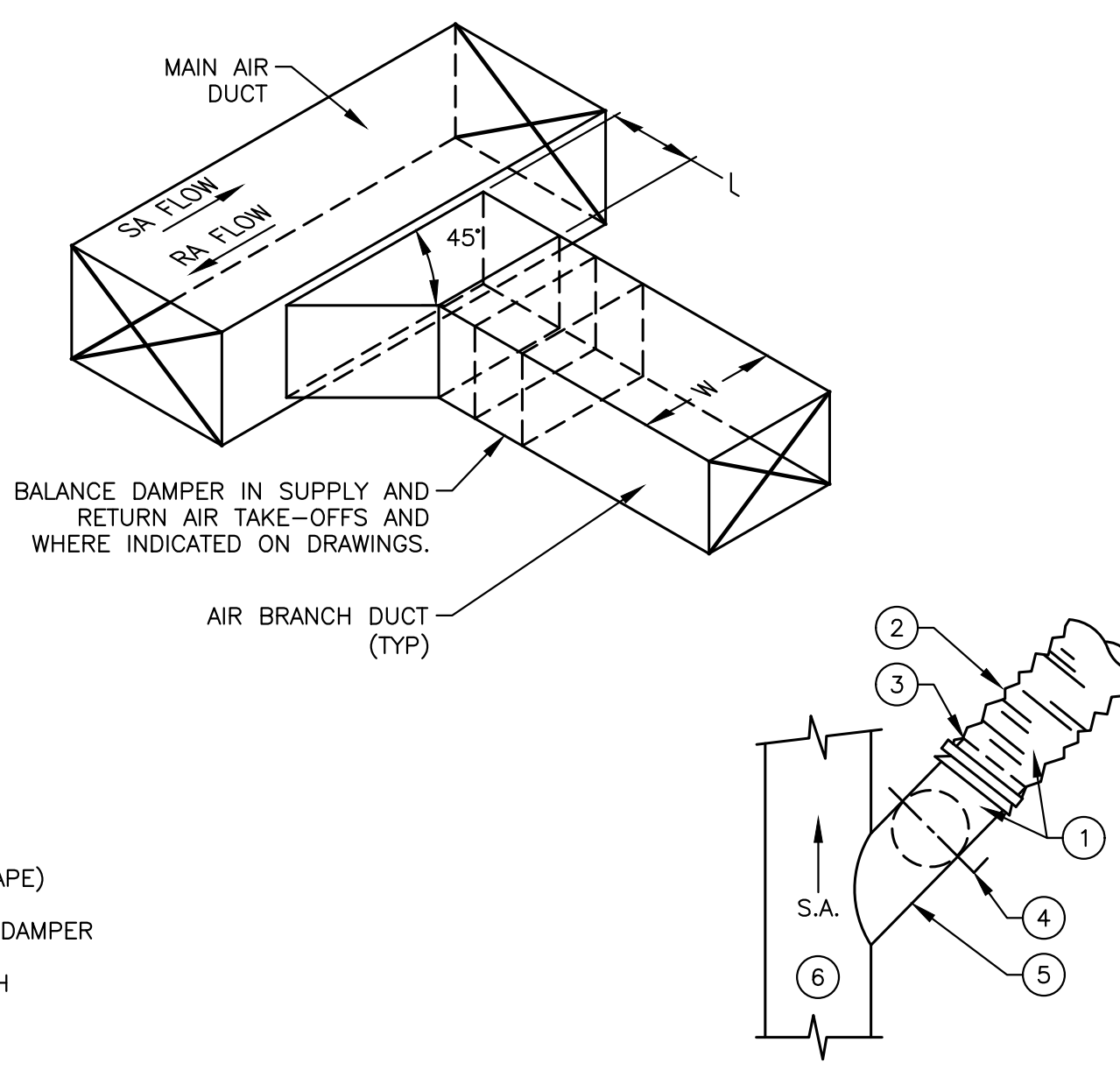
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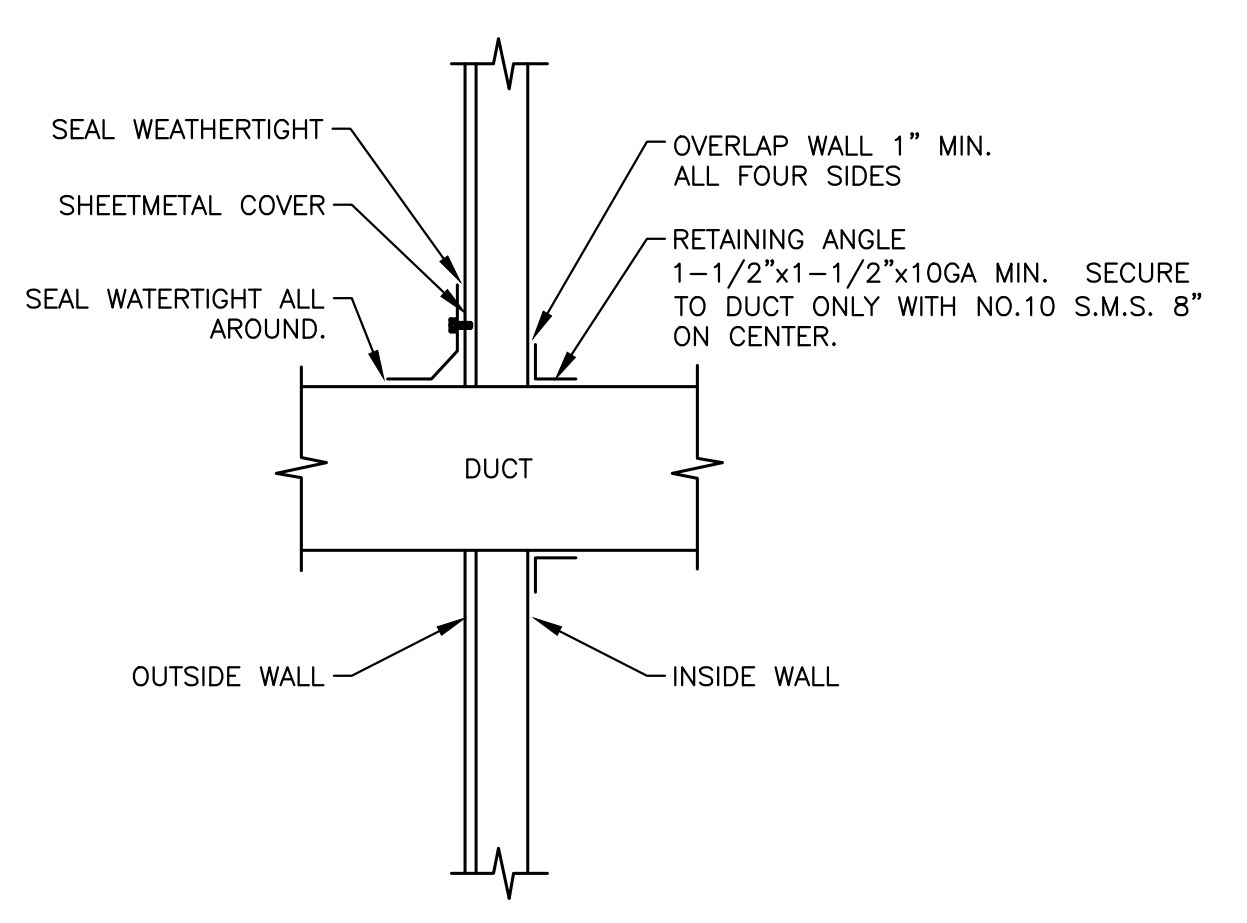
ESD | ESD | TI | KW

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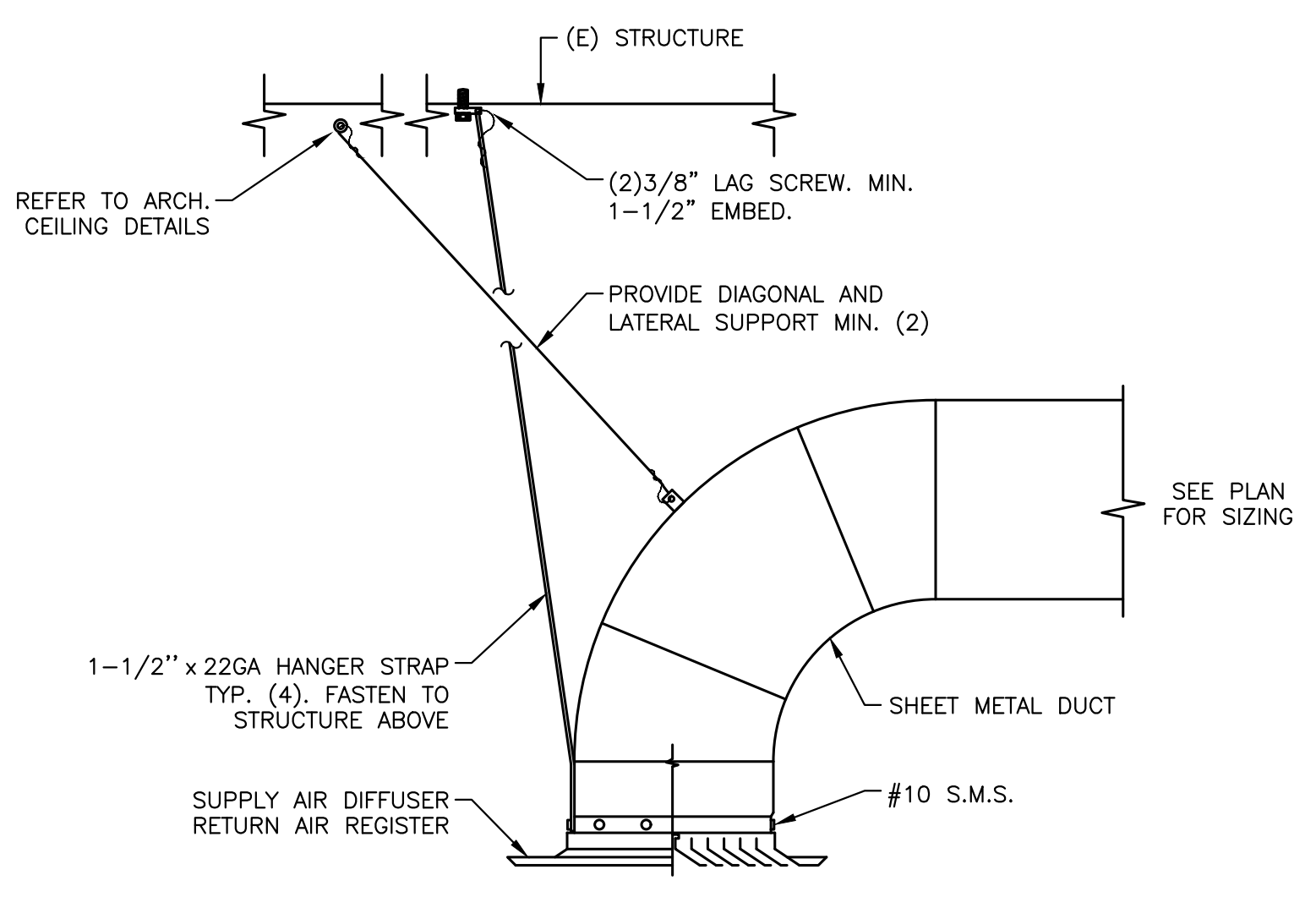


- ① SAME SIZE
 - ② FLEXIBLE DUCT
 - ③ CLAMP (NO DUCT TAPE)
 - ④ MANUAL BALANCING DAMPER
 - ⑤ 45° LATERAL BRANCH
 - ⑥ MAIN DUCT
- NOTE: L=1/4W (4" MIN.)

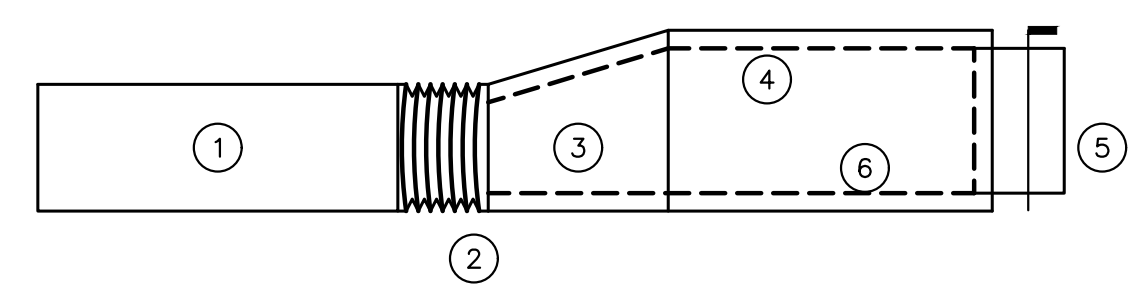
DUCT TAKE-OFF DETAIL SCALE NONE **7**



DUCT THRU EXTERIOR WALL DETAIL SCALE NONE **4**

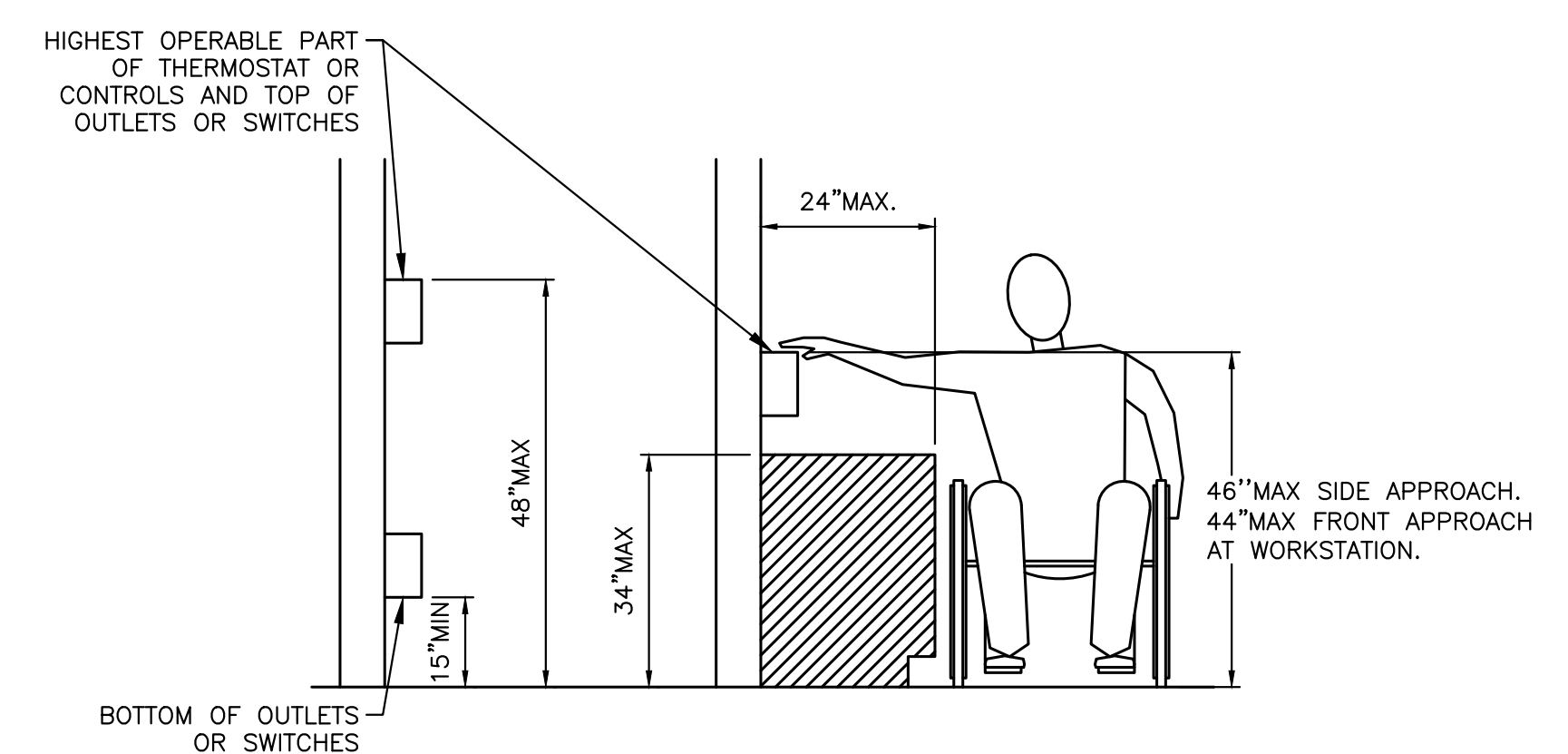


EXPOSED DUCT/DIFFUSER DETAIL SCALE NONE **1**



- ① FAN COIL
 - ② FLEX CONNECTION
 - ③ FAN COIL TO PLENUM TRANSITION.
 - ④ PLENUM 2" LARGER THEN THE LARGEST TAP IN.
 - ⑤ ROUND OR SQUARE TAP IN w/MVD.
 - ⑥ ACOUSTICAL LINING AS PER DETAIL.
- NOTE: SUPPLY SIDE SHOWN. RETURN SIDE, SIMILAR.

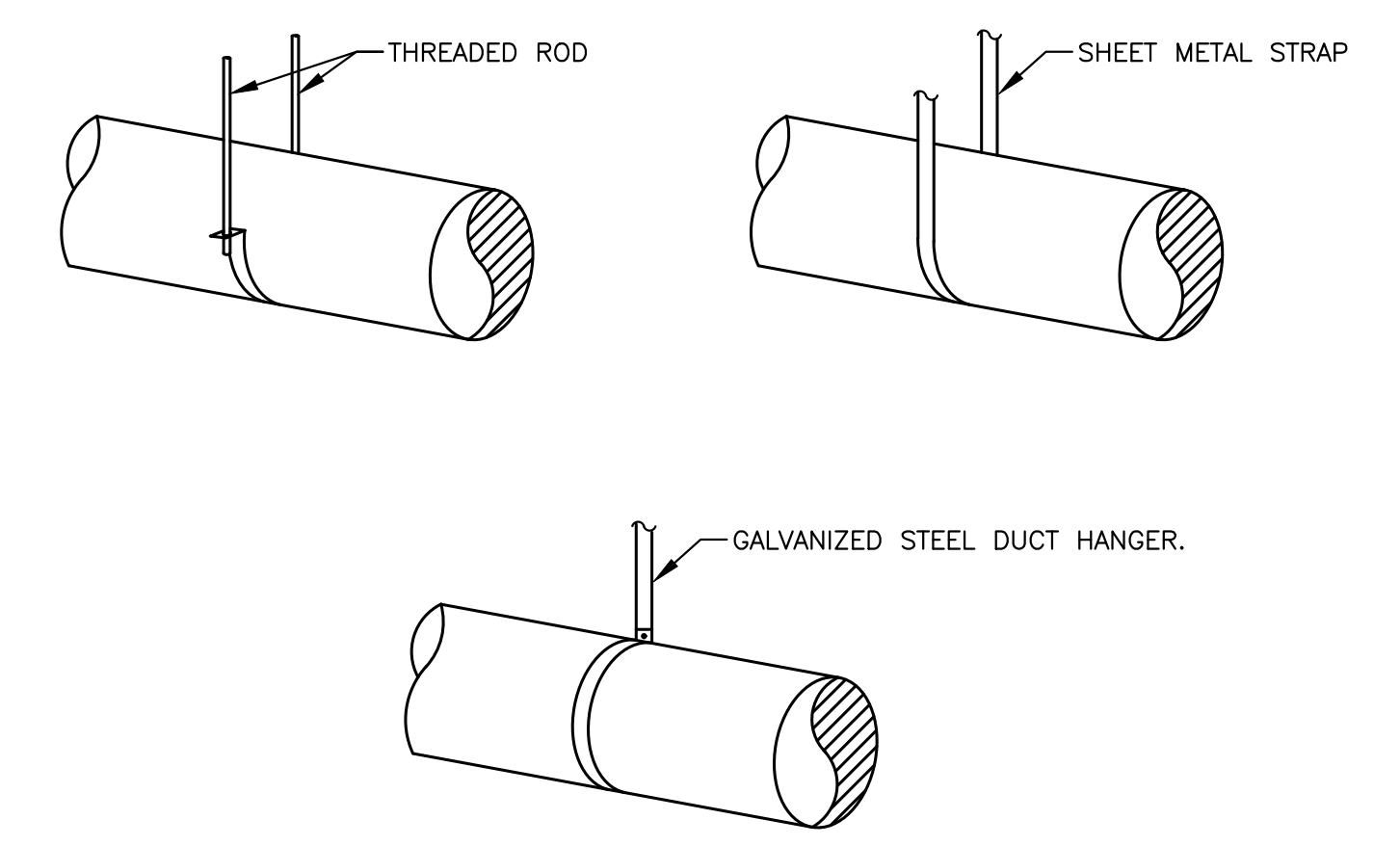
FAN COIL TO PLENUM CONNECTION DETAIL SCALE NONE **8**



NOTE: ELECTRICAL OUTLETS, SWITCHES AND SIMILAR CONTROLS SHALL BE MOUNTED A MAXIMUM OF 48" ABOVE FINISHED FLOOR, MEASURED TO THE TOP OF THE ELECTRICAL BOX.

THE MINIMUM MOUNTING HEIGHT FOR SWITCHES AND OUTLETS IS 18" A.F.F. MEASURED FROM CENTERLINE OF ELECTRICAL BOX.

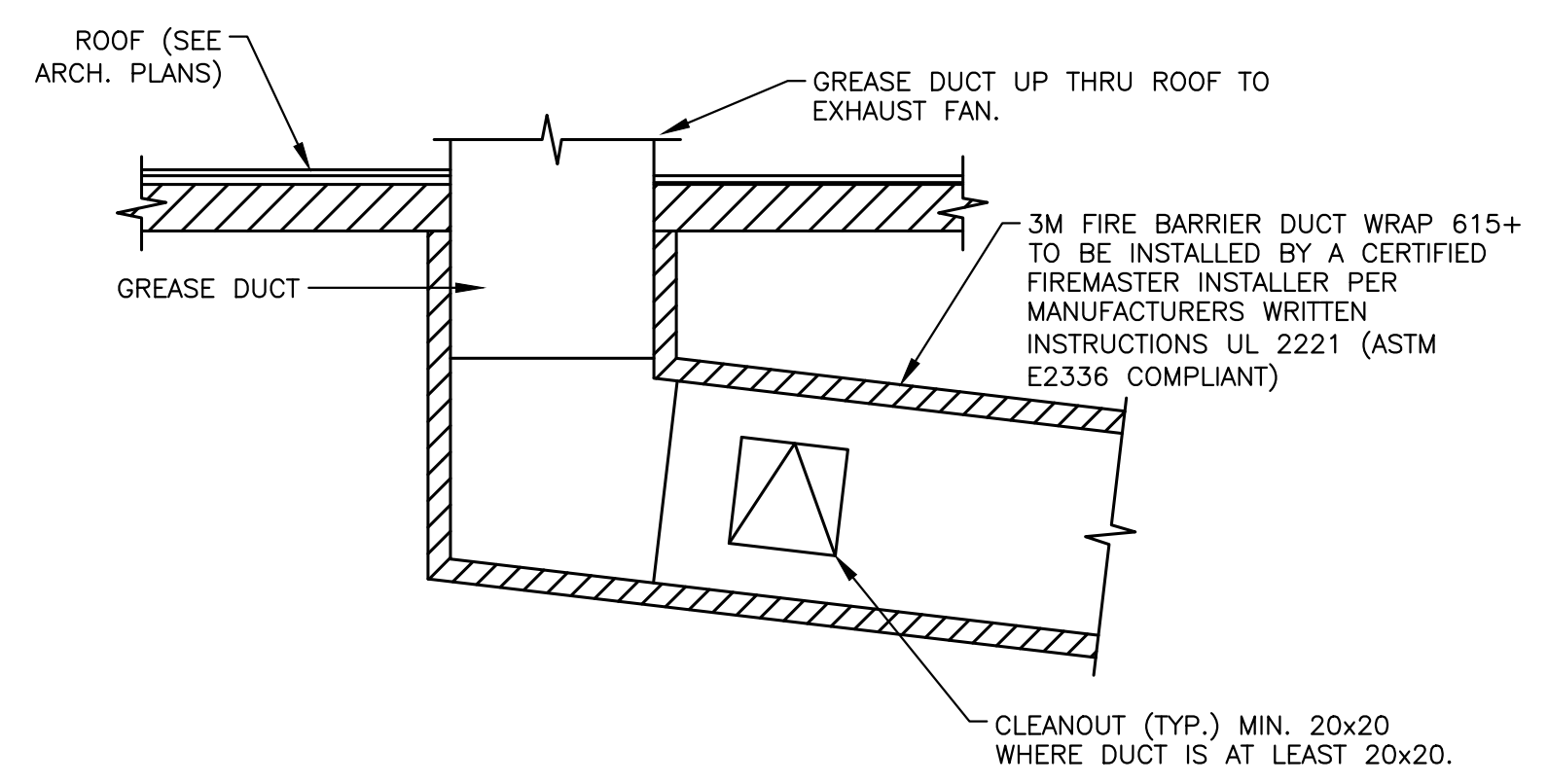
THERMOSTAT MOUNTING DETAIL SCALE NONE **5**



NOTES:

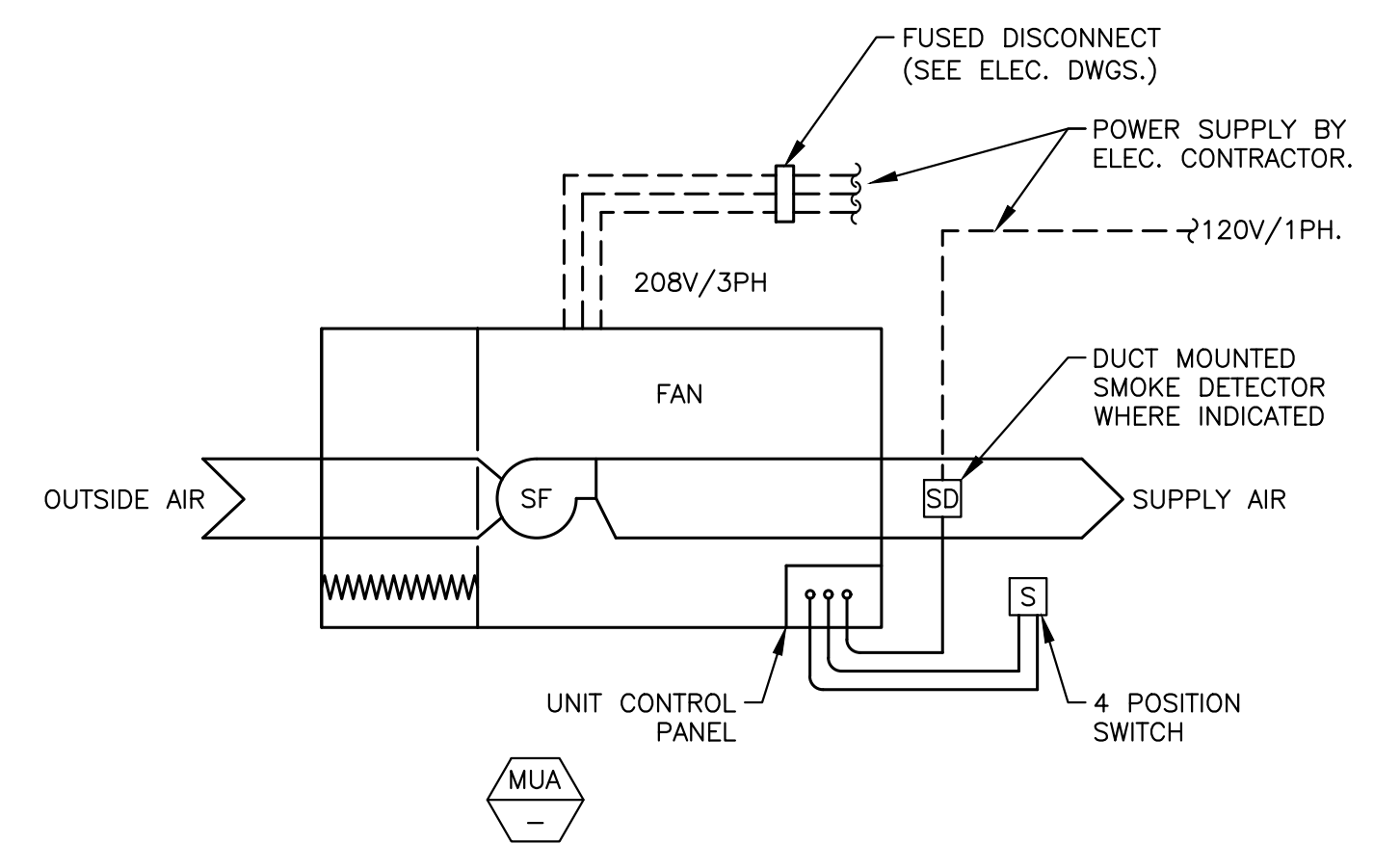
- ATTACHMENT TO STRUCTURE ABOVE AND HANGER SPACING SHALL BE IN ACCORDANCE WITH SMACNA STANDARDS.
- PROVIDE SEISMIC RESTRAINT AS REQUIRED.

TYPICAL DUCT HANGER DETAIL SCALE NONE **2**



NOTE: GREASE DUCT SHALL HAVE MINIMUM 1/4" PER FOOT SLOPE TOWARD HOOD. PROVIDE DUCT CLEANOUT AND FIRE RATED ACCESS PANEL THRU BARRIER AT EVERY CHANGE IN DIRECTION AND AT 10'-0" O.C. MAXIMUM TO ENSURE COMPLETE ACCESS.

GREASE DUCT DETAIL SCALE NONE **9**

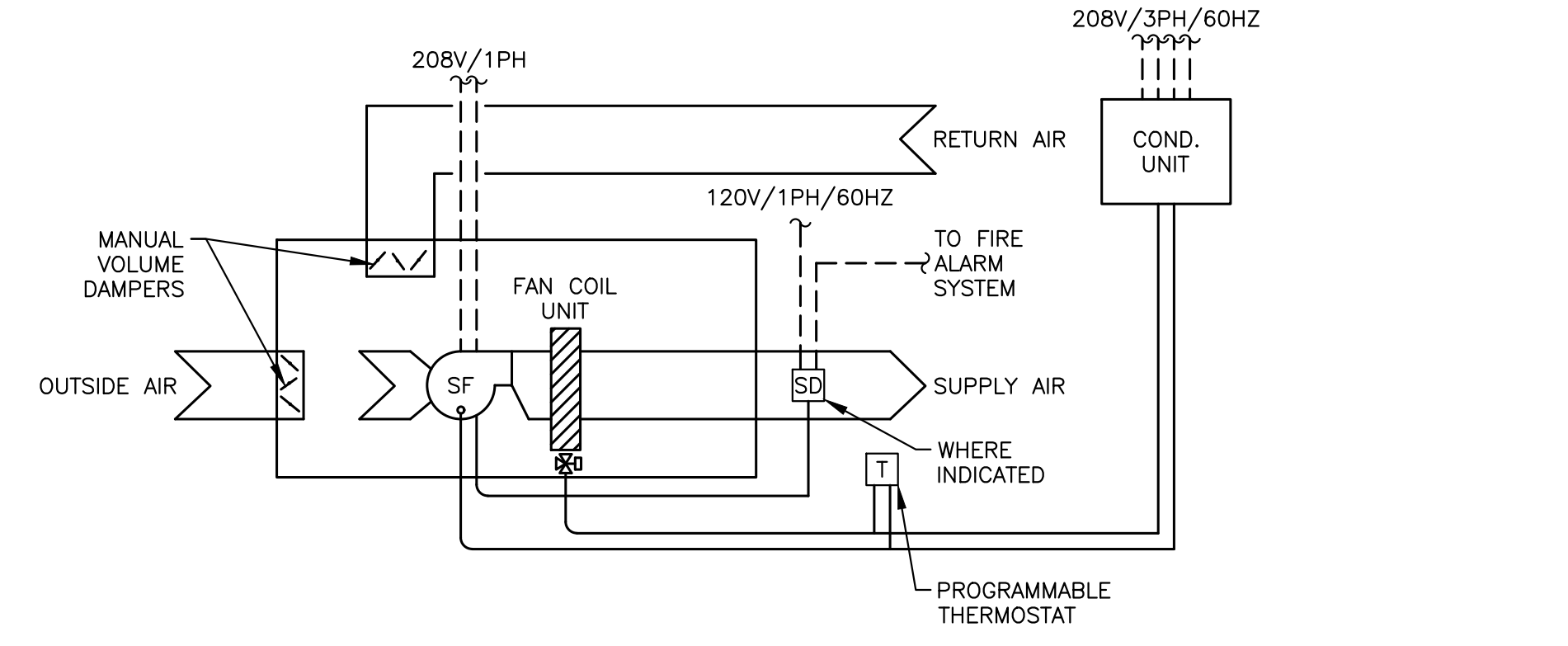


NOTE: CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED FOR PROPER OPERATION OF SYSTEM AS RECOMMENDED BY MANUFACTURER.

----- WIRING PROVIDED AND INSTALLED BY DIVISION 16

————— WIRING PROVIDED AND INSTALLED BY DIVISION 15

MAKE-UP AIR UNIT CONTROL DIAGRAM SCALE NONE **6**

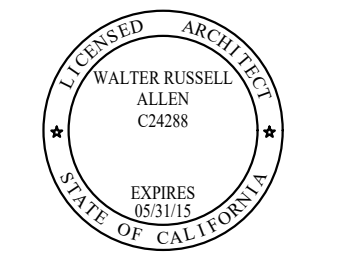


NOTE: CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING INSIDE CONDUIT AND ALL OTHER ACCESSORIES REQUIRED FOR PROPER OPERATION OF SYSTEM AS RECOMMENDED BY MANUFACTURER.

----- WIRING PROVIDED AND INSTALLED BY DIVISION 16

————— WIRING PROVIDED AND INSTALLED BY DIVISION 15

SPLIT SYSTEM HEAT PUMP CONTROL DIAGRAM SCALE NONE **3**



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Drawn By	SO
Checked	SO
Date	11/12/22

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Permit Number:

Sym.	Revisions	By	Date

Job Number: 2207

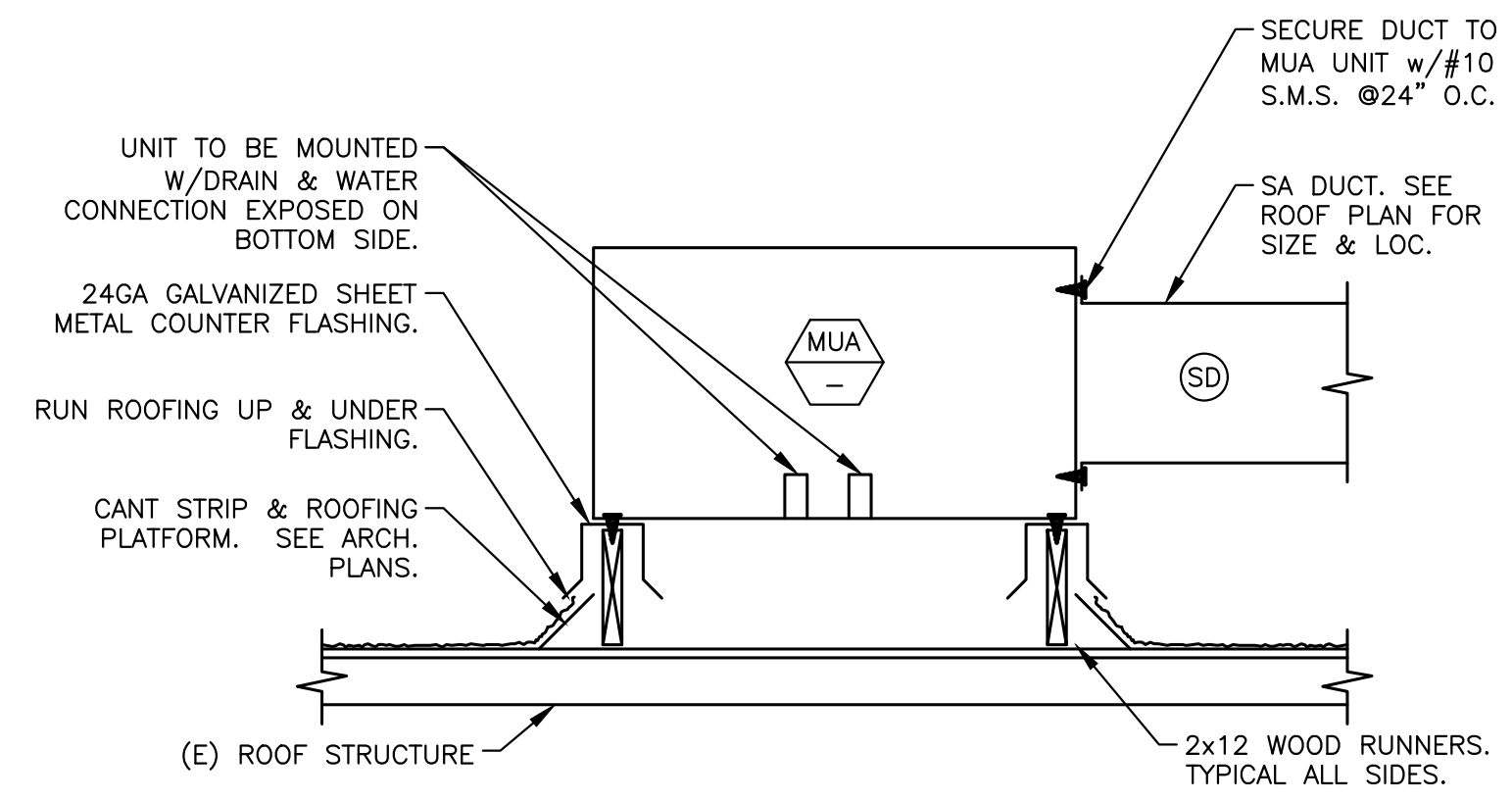
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m501

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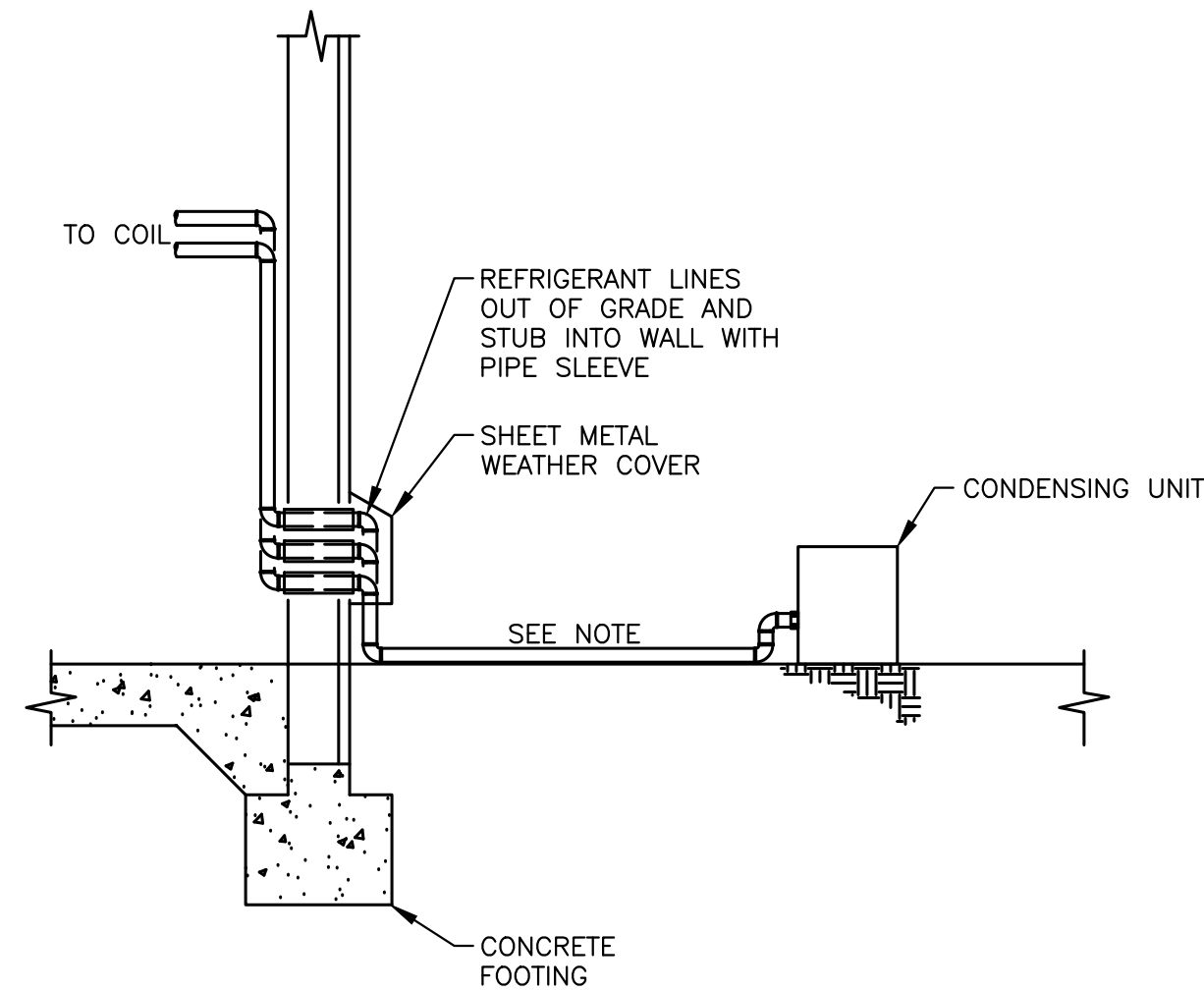
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NOTE: FOR WATER PROOFING REQUIREMENTS SEE ARCHITECTURAL PLANS.

MAKE-UP AIR UNIT MOUNTING DETAIL

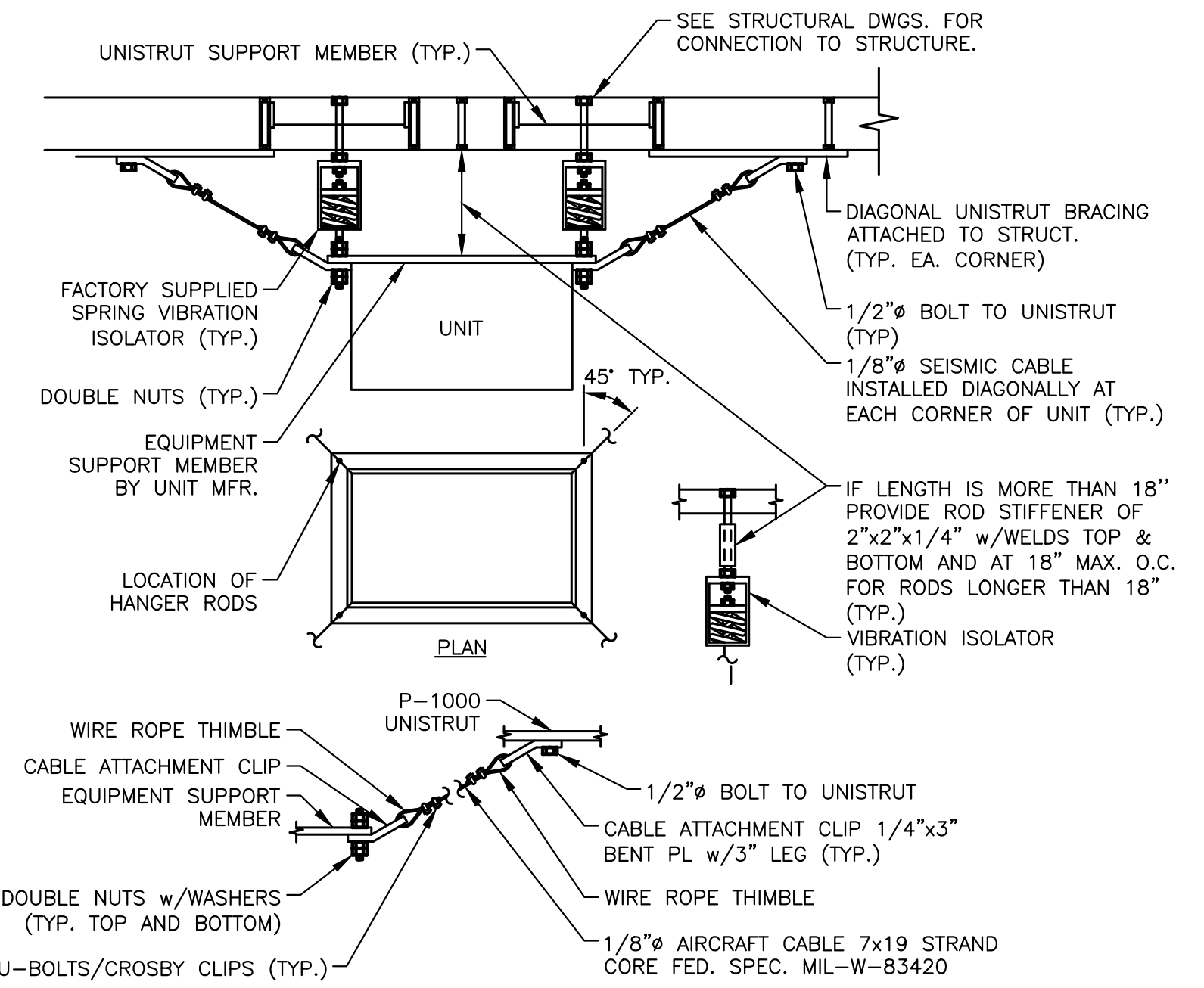
SCALE NONE 7



NOTE: REFRIGERANT PIPES TO CONDENSING UNIT. SUPPORT ON WOOD BLOCKS. PROVIDE STAINLESS STEEL JACKET AND INSULATION.

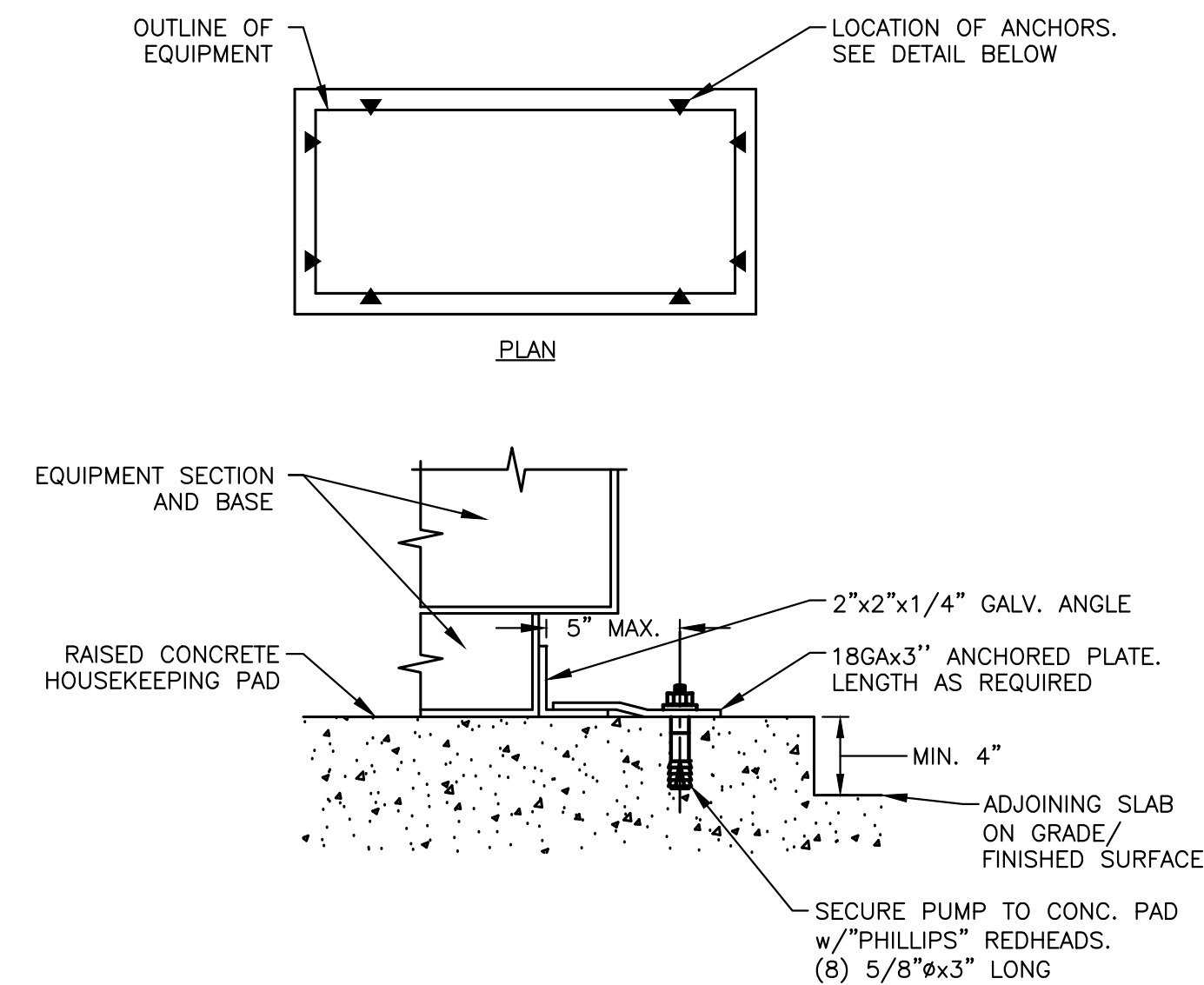
REFRIGERANT PIPE TO UNIT DETAIL

SCALE NONE 4



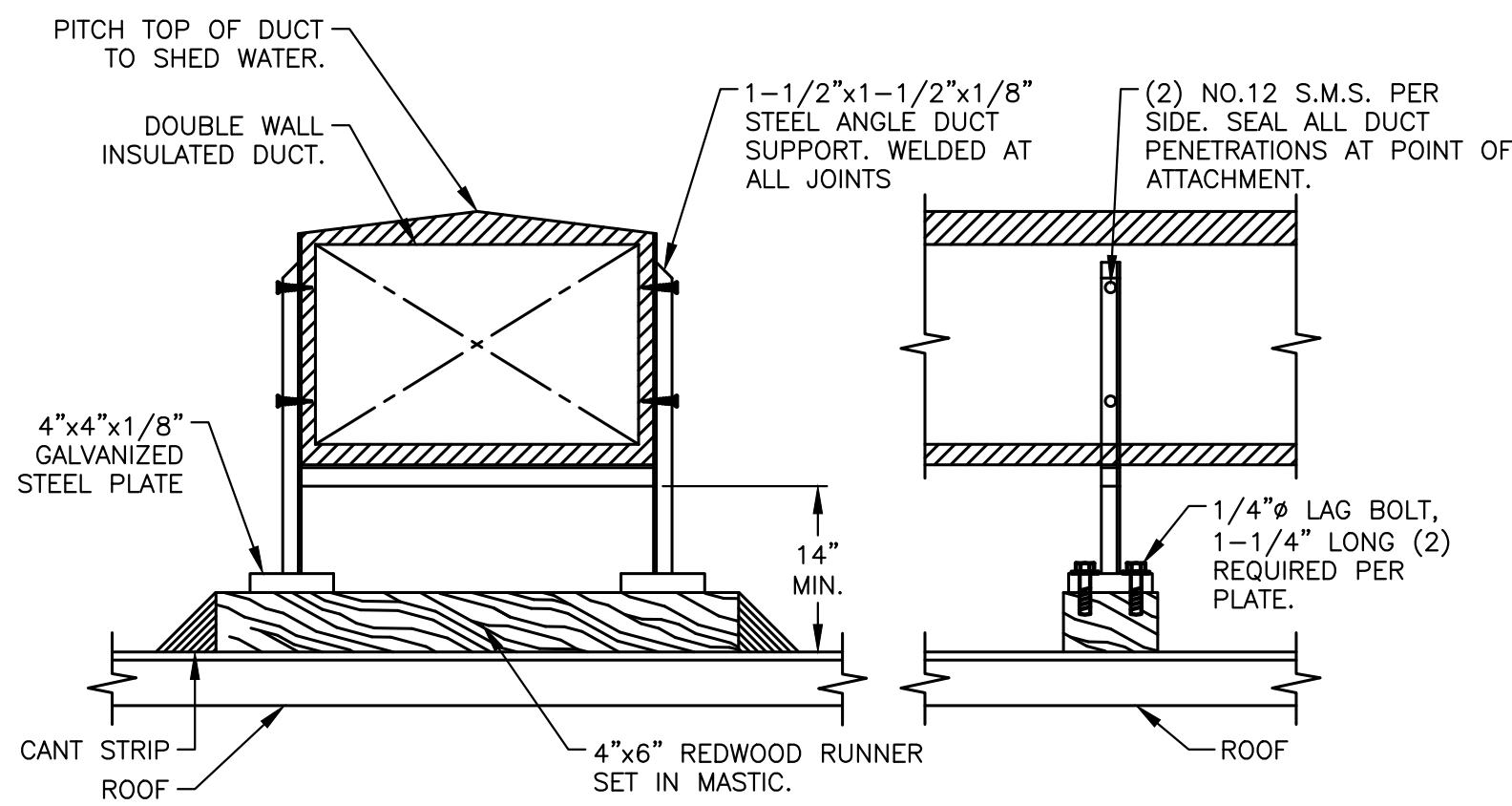
HVAC UNIT MOUNTING DETAIL

SCALE NONE 1



CONDENSING UNIT MOUNTING DETAIL

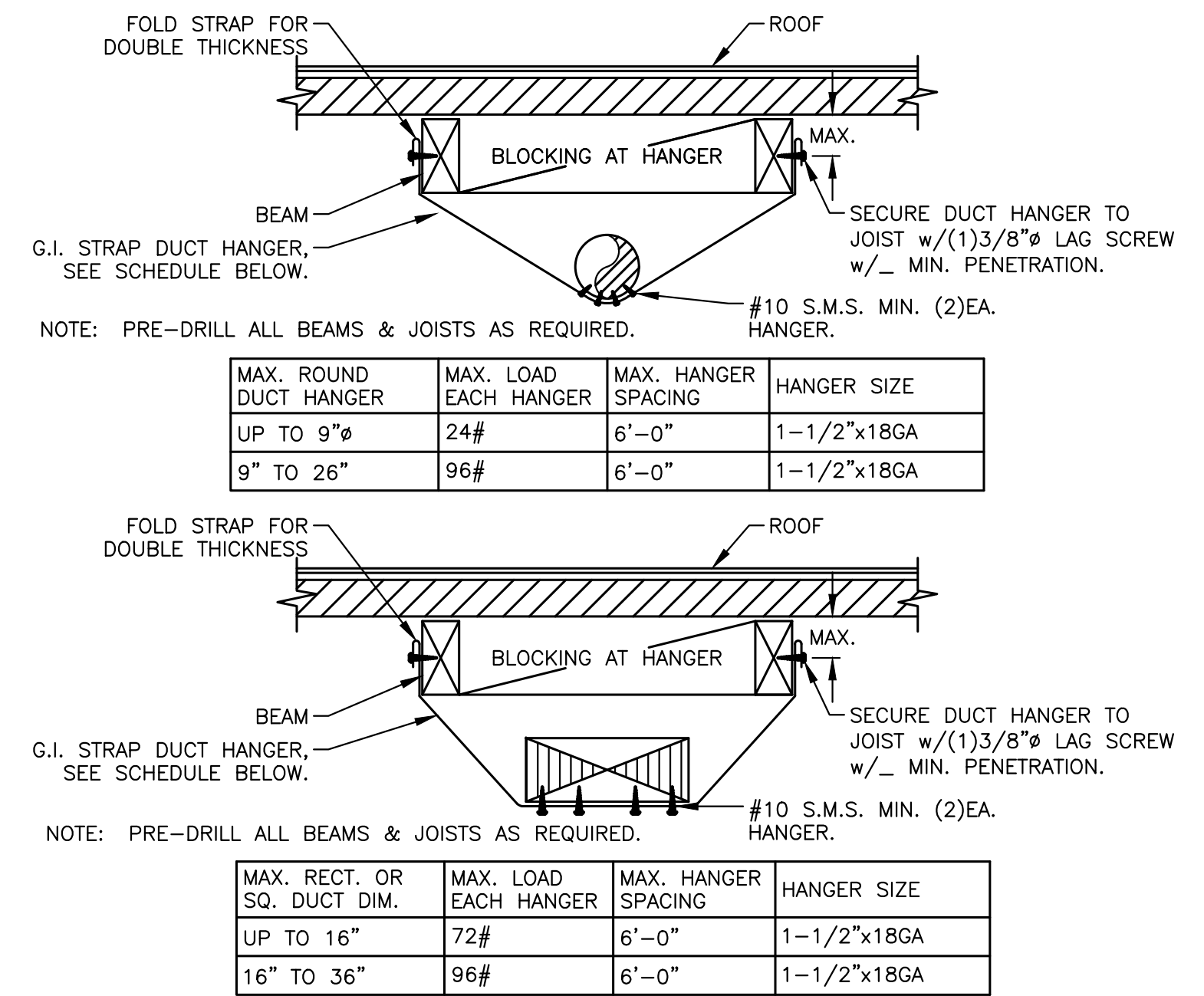
SCALE NONE 8



NOTES:
 1. DUCTS SHALL BE INTERNALLY LINED. REFER TO -/M3.1 FOR DUCT LINER DETAIL
 2. DUCT SUPPORTS SHALL BE MOUNTED AT ANGLE TO ROOF SLOPE.

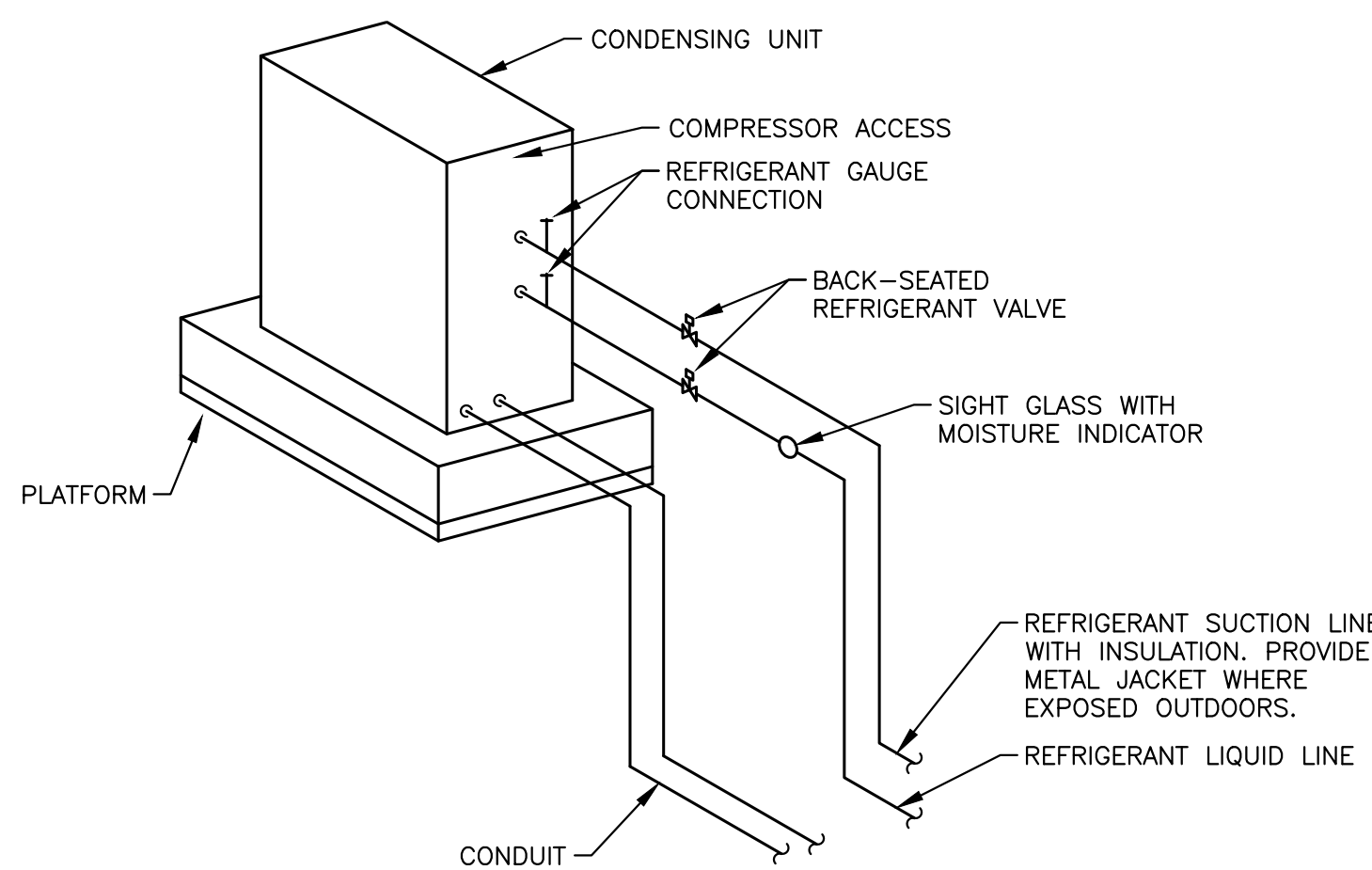
ROOF MOUNTED DUCT DETAIL

SCALE NONE 5



DUCT SUPPORT DETAILS

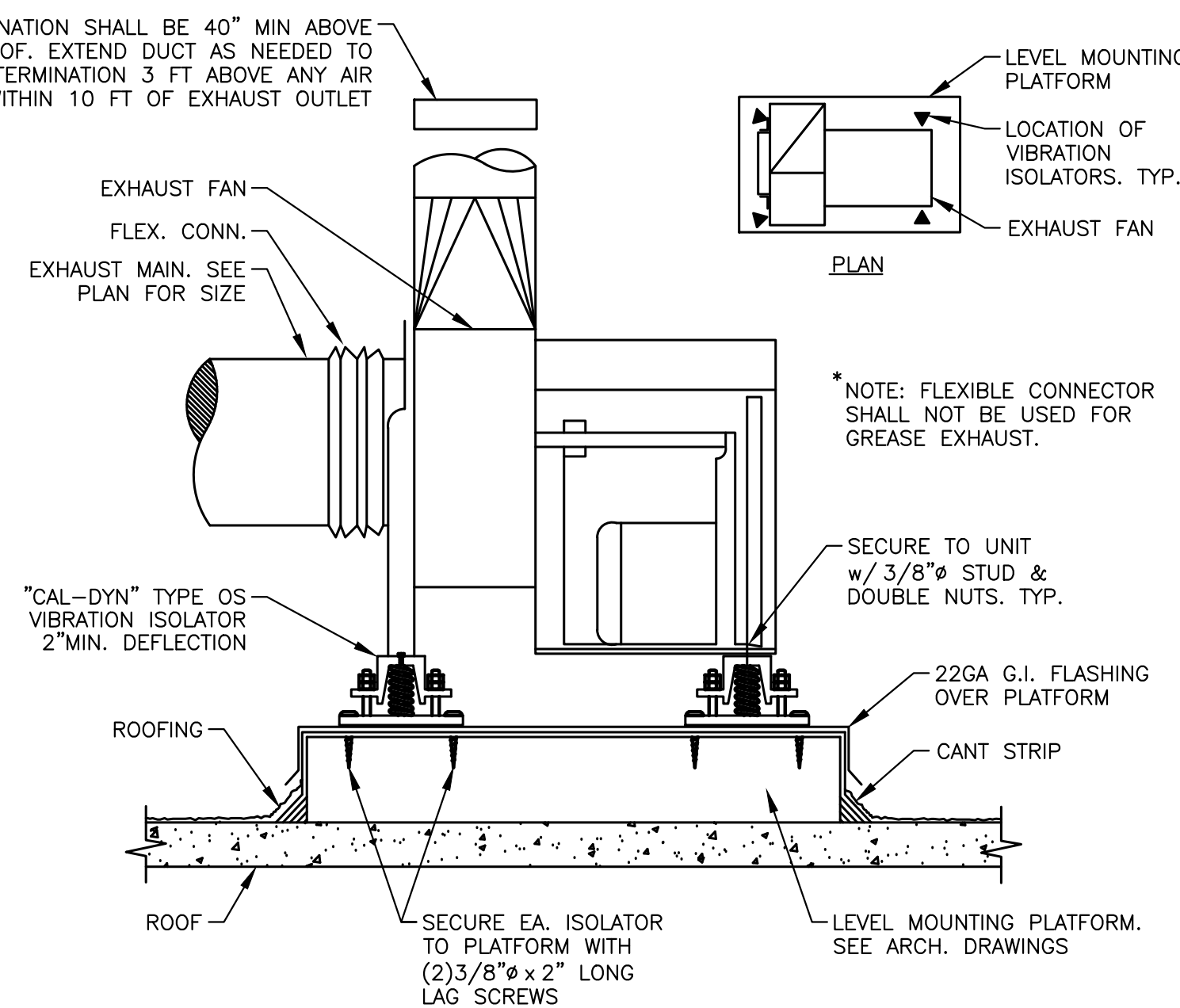
SCALE NONE 2



NOTE: NOT A MOUNTING DETAIL.

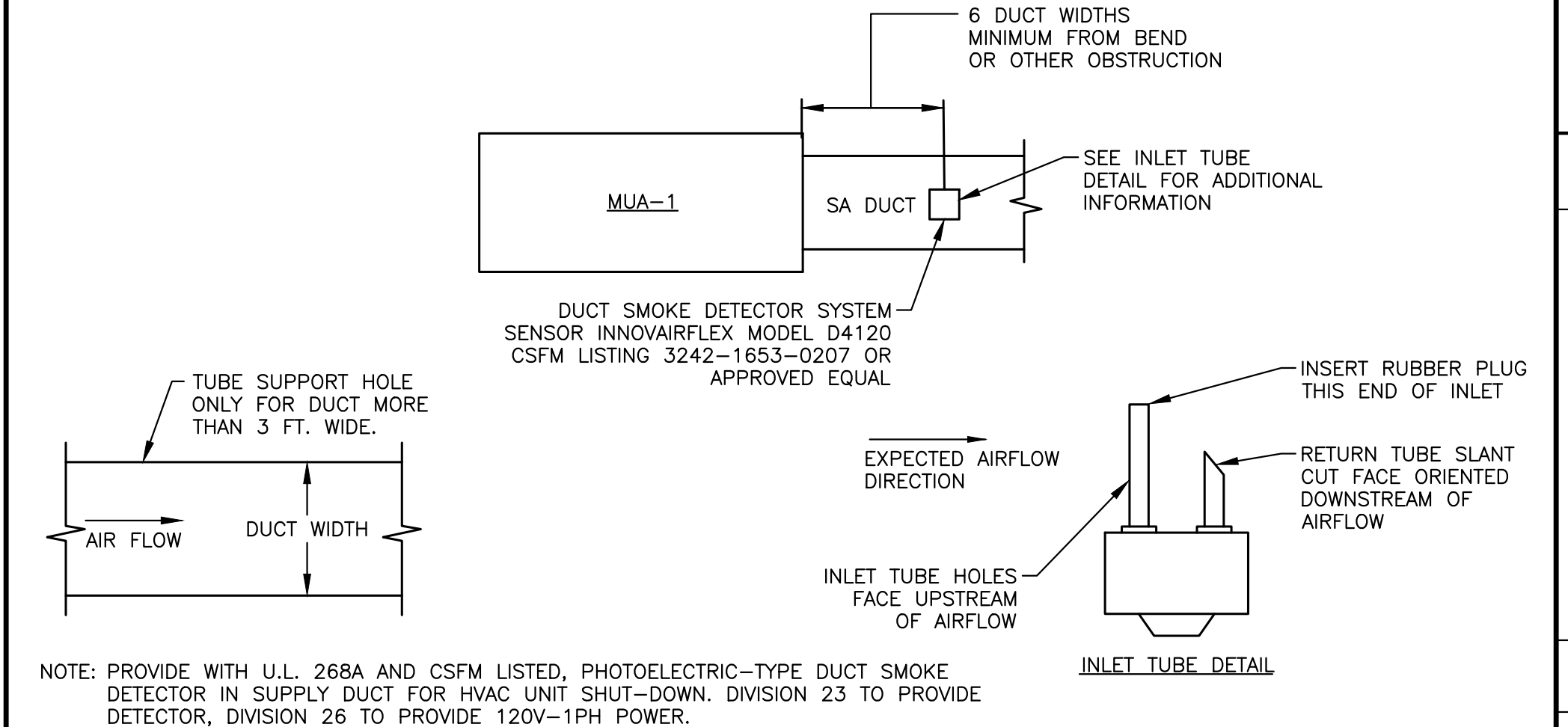
CONDENSING UNIT PIPING DIAGRAM

SCALE NONE 9



UTILITY SET EXHAUST FAN MOUNTING DETAIL

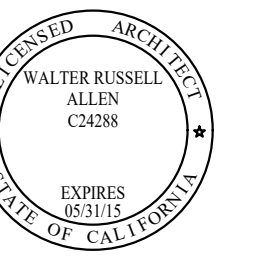
SCALE NONE 6



DUCT SMOKE DETECTOR MOUNTING DETAIL

SCALE NONE 3

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Designed SO
 Drawn By SO
 Checked SO
 Date 11/12/22

Sym.	Revisions	By	Date	Job Number	Drawing Number
				2207	m502

MANDATORY CALGREEN CHECKLIST

WATER EFFICIENCY AND CONSERVATION INDOOR WATER USE	MANDATORY
5.303.1 METERS. SEPARATE METERS SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTIONS 5.303.1.1 AND 3.303.1.2.	
5.303.1.1 BUILDINGS IN EXCESS OF 50,000 SQUARE FEET. SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS:	
1. FOR EACH INDIVIDUAL LEASED, RENTED OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100GAL/DAY.	
2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDINGS TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS:	
a. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30L/S)	
b. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 L/S)	
c. STEAM AND HOT-WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 Btu/h (147 kW)	
5.303.1.2 EXCESS CONSUMPTION. ANY BUILDING OR A SPACE WITHIN A BUILDING THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GAL/DAY (3800 L/DAY)	
5.303.2 20 PERCENT SAVINGS. A SCHEDULE OF PLUMBING FIXTURES AND FIXTURE FITTINGS THAT WILL REDUCE THE OVERALL USE OF POTABLE WATER WITHIN THE BUILDING BY 20 PERCENT SHALL BE PROVIDED.	
(CALCULATE SAVINGS BY WATER USE WORKSHEETS)	
5.303.2.1 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED THE MAXIMUM FLOW RATE AT ≥ 20 PERCENT REDUCTION CONTAINED IN TABLE 5.303.2.3 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME.	
5.303.4 WASTEWATER REDUCTION. EACH BUILDING SHALL REDUCE THE GENERATION OF WASTEWATER BY ONE OF THE FOLLOWING METHODS:	
1. THE INSTALLATION OF WATER-CONSERVING FIXTURES OR	
2. UTILIZING NONPOTABLE WATER SYSTEMS.	
5.303.6 PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE REQUIREMENTS LISTED FOR EACH TYPE IN ITEMS LISTED IN TABLE 5.303.6.	
1. WATER CLOSETS (TOILETS) – FLUSHMETER TYPE	
2. WATER CLOSETS (TOILETS) – TANK TYPE	
3. URINALS	
4. PUBLIC LAVATORY FAUCETS	
5. PUBLIC METERING SELF-CLOSING FAUCETS	
6. RESIDENTIAL BATHROOM LAVATORY SINK FAUCETS	
7. RESIDENTIAL KITCHEN FAUCETS	
8. RESIDENTIAL SHOWER HEADS	
9. SINGLE SHOWER FIXTURES SERVED BY MORE THAN ONE SHOWERHEAD	

WATER REDUCTION FIXTURE FLOW RATES

PER 2019 CALIFORNIA GREEN BUILDING CODE – TABLE A5.303.2.3.1

FIXTURE TYPE	MAXIMUM FLOW RATE
KITCHEN FAUCETS	1.8 GPM AT 60 PSI
WASH FOUNTAINS	1.8 [RIM SPACE (IN.)/20 GPM AT 60 PSI]
METERING FAUCETS	0.20 GALLONS/CYCLE
METERING FAUCETS FOR WASH FOUNTAINS	0.20 GALLONS/CYCLE/20 [RIM SPACE (IN.)@ 60 PSI]

EACH PLUMBING FIXTURE AND FITTING SHALL MEET THE FLOW RATE SPECIFIED IN 2019 CAL GREEN TABLE A5.303.2.3.1

WATER CONSERVATION FIXTURE FLOW RATES

PER 2019 CALIFORNIA GREEN BUILDING CODE SECTION 5.303.3

FIXTURE TYPE	MAXIMUM BASELINE FLOW RATE
WATER CLOSETS	1.28 GALLONS PER FLUSH
URINALS (FLOOR-MOUNT/WALL-MOUNT)	0.5/0.125 GALLONS PER FLUSH
SHOWERHEADS	1.8 GPM AT 80 PSI

PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH 5.303.3.

PLUMBING FIXTURES AND FIXTURE FITTINGS

PER 2019 CALIFORNIA PLUMBING CODE – TABLE 1701.1

REQUIRED STANDARDS	
WATER CLOSETS (TOILETS) – FLUSHMETER VALVE TYPE SINGLE FLUSH, MAXIMUM FLUSH VOLUME	ASME A 112.19.2/CSA B45.1 – 1.28 GPF (4.8 L)
WATER CLOSETS (TOILETS) – FLUSHMETER TANK-TYPE HIGH-EFFICIENCY TOILET SPECIFICATION – 1.28 GPF (4.8 L)	ASME A 112.19.2 AND USEPA WATERSENSE TANK-TYPE HIGH-EFFICIENCY TOILET SPECIFICATION – 1.28 GPF (4.8 L)
WATER CLOSETS (TOILETS) – TANK TYPE	U.S. EPA WATERSENSE TANK-TYPE HIGH EFFICIENCY TOILET SPECIFICATION
URINALS, MAXIMUM FLUSH VOLUME	ASME A 112.19.2/CSA B45.1 – 0.125 GPF (0.4 L)
URINALS, NONWATER URINALS	ASME A 112.19.19 (VITREOUS CHINA) ANSI Z124.9-2004 OR IAPMO Z124.9 (PLASTIC)
PUBLIC LAVATORY FAUCETS: MAXIMUM FLOW RATE – 0.5 GPM (1.9 L/MIN.)	ASME A 112.18.1/CSA B125.1
PUBLIC METERING SELF-CLOSING FAUCETS: MAXIMUM FLOW RATE – 0.2 (1.0 L) PER METERING CYCLE	ASME A 112.18.1/CSA B125.1

PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN TABLE 5.303.6.

PLUMBING PIPE MATERIAL SCHEDULE

SERVICE	LOCATION	PIPE MATERIAL	SLOPE
WATER	ABOVE GRADE	ASTM B88 TYPE "L" HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.	1/32" PER 1'
	BELOW GRADE	ASTM B88 TYPE "K" HARD DRAWN COPPER, FACTORY INSULATED, WITH WROUGHT COPPER FITTINGS.	1/32" PER 1'
SEWER AND VENT	ABOVE GRADE	ASTM A888 SERVICE WEIGHT CAST IRON PIPE AND DWV FITTINGS SHALL CONFORM TO CPC AND BEAR THE COLLECTIVE TRADEMARK OF CISPI AND NSF.	1/4" PER 1'
	BELOW GRADE	ABS (SOLID CORE) SCHEDULE 40 PIPE AND DWV FITTINGS SHALL CONFORM TO ASTM D2321-2000 AND CPC.	1/4" PER 1'
LPG GAS	ABOVE GRADE	ASTM A53 SCHEDULE 40 GALVANIZED STEEL "BLACK" PIPE AND FITTINGS SHALL CONFORM TO CPC. EXPOSED PIPING SHALL BE PAINTED.	1/4" PER 15'
	BELOW FLOOR (INTERIOR)	ASTM A53 SCHEDULE 40 GALVANIZED STEEL "BLACK" PIPE AND FITTINGS SHALL CONFORM TO CPC. PIPING INSTALLED UNDERGROUND BENEATH BUILDING SHALL CONFORM TO CPC 1210.1.6.	1/4" PER 15'
	BELOW GRADE (EXTERIOR)	ASTM D2513-16 POLYETHYLENE "PE" PIPE. ALL FITTINGS SHALL BE AS PER CPC.	1/4" PER 15'
CONDENSATE	ABOVE GRADE	ASTM B88 TYPE "L" HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.	1/4" PER 1'

PIPE INSULATION THICKNESS

PER 2019 CALIFORNIA ENERGY CODE TABLE 120.3-A

FLUID OPERATING TEMPERATURE RANGE (°F)	INSULATION CONDUCTIVITY		NOMINAL PIPE DIAMETER (INCHES)					
	CONDUCTIVITY (IN BTU-IN/H PER SQ. FT² °F)	MEAN RATING TEMPERATURE (°F)	< 1	1 – < 1.5	1.5 – < 4	4 – < 8	8 AND LARGER	
SPACE HEATING, SERVICE WATER HEATING SYSTEMS (STEAM, STEAM CONDENSATE, REFRIGERANT, SPACE HEATING, SERVICE HOT WATER)								
MINIMUM PIPE INSULATION REQUIRED (THICKNESS IN INCHES OR R-VALUE)								
ABOVE 350	0.32 – 0.34	250	INCHES R-VALUE	4.5 R37	5.0 R41	5.0 R37	5.0 R27	5.0 R23
251–350	0.29 – 0.31	200	INCHES R-VALUE	3.0 R24	4.0 R34	4.5 R35	4.5 R26	4.5 R22
201–250	0.27 – 0.30	150	INCHES R-VALUE	2.5 R21	2.5 R20	2.5 R17.5	3.0 R17	3.0 R14.5
141–200	0.25 – 0.29	125	INCHES R-VALUE	1.5 R11.5	1.5 R11	2.0 R14	2.0 R11	2.0 R10
105–140	0.22 – 0.28	100	INCHES R-VALUE	1.0 R7.7	1.5 R12.5	1.5 R11	1.5 R9	1.5 R8
SPACE COOLING SYSTEMS (CHILLED WATER, REFRIGERANT AND BRINE)								
MINIMUM PIPE INSULATION REQUIRED (THICKNESS IN INCHES OR R-VALUE)								
40–60	0.21 – 0.27	75	INCHES R-VALUE	NONRES 0.5 R3	RES 0.5 R6	NONRES 0.5 R3	RES 0.5 R5	1.0 1.0 1.0 1.0
BELOW 40	0.20 – 0.26	50	INCHES R-VALUE	1.0 R8.5	1.5 R14	1.5 R12	1.5 R10	1.5 R9

WATER CALCULATIONS

DOMESTIC COLD WATER PRESSURE CALCULATION (AVG PSI / 100 FT)		DOMESTIC COLD WATER SIZING			
RESIDUAL PRESSURE AVAILABLE WATER PRESSURE IS 110 PSI. CONTRACTOR TO FIELD VERIFY STREET WATER PRESSURE PRIOR TO START OF WORK. IN CASE OF ANY DISCREPANCIES NOTIFY ARCHITECT/ENGINEER PRIOR TO START OF WORK.		FRICTION LOSS 25.7 PSI PER 100 FT AVG, AT 8 FPS MAX. VELOCITY			
MIN. SYSTEM INLET PRESSURE [AT PRESSURE REDUCING VALVE INLET]		PIPE SIZE			
= 105 PSI		FLUSH TANK	FLUSH VALVE	GPM	FPS
SYSTEM PRESSURE LOSSES		WSFU			
1" PRESSURE REDUCING VALVE @ 38 GPM = 10 PSI		1/2"			
TOTAL OF SYSTEM PRESSURE LOSSES = 10.0 PSI		3/4"			
RESIDUAL PRESSURE AT PRV = 95		1"			
PRESSURE REDUCING VALVE SETPOINT = 70 PSI		1-1/4"			
STATIC HEIGHT PRESSURE LOSS (15' x .433) = 6.5 PSI		1-1/2"			
RESIDUAL PRESSURE REQUIRED AT GOVERNING FIXTURE [WATER CLOSET 25 PSI] = 25 PSI		2"			
TOTAL SYSTEM PRESSURE LOSSES (DOWNSTREAM OF PRV) = 31.5 PSI		2-1/2"			
PRESSURE AVAILABLE FOR PIPE SIZING		3"			
(PRV SETPOINT – TOTAL SYSTEM PRESSURE LOSSES DOWNSTREAM OF PRV) = 38.5 PSI		FRICION LOSS 25.7 PSI PER 100 FT AVG, AT 5 FPS MAX. VELOCITY			
ACTUAL LENGTH OF SYSTEM = 100 FT		PIPE SIZE			
DEVELOPED LENGTH OF SYSTEM (100' X 1.5) = 150 FT		FLUSH TANK	FLUSH VALVE	GPM	FPS
AVERAGE PRESSURE DROP		1/2"			
(PRESSURE AVAILABLE FOR PIPE SIZING) X 100 FT / (DEVELOPED LENGTH OF SYSTEM) = 25.7 PSI/100 FT AVG		3/4"			
SUMMARY		1"			
PIPE SIZING BASED UPON 25.7 PSI LOSS PER 100' AVG		1-1/4"			
		1-1/2"			
		2"			

FIXTURE DATA

SYMBOL	DESCRIPTION	DOMESTIC WATER				SEWER		
		NO. OF UNITS	F.U. PER UNIT (1)	TOTAL FIXTURE UNITS		NO. OF UNITS	F.U. PER UNIT (2)	TOTAL FIXTURE UNITS
HB 1	HOSE BIBB	1	2.5	2.5	--	1	--	--
HB 1	ADDITIONAL HOSE BIBB	0	1.0	0.0	--	0	--	--
HS 1	HAND SINK	1	1.5	1.5	1.1	1	1.0	1.0
KS 1	KITCHEN SINK	2	2.0	4.0	3.0	2	2.0	4.0
PS 1	PREP SINK	1	2.0	2.0	1.5	1	2.0	2.0
FD 1	FLOOR DRAIN	2	--	--	--	2	0.0	0.0
FS 1	FLOOR SINK	2	--	--	--	2	2.0	4.0
	TOTAL			10.0	5.6			11.0
	GREASE INTERCEPTOR TOTAL							0.0

(1) WATER FIXTURE UNITS PER CPC TABLE A 103.1 (2) SEWER FIXTURE UNITS PER CPC TABLE 702.1 (3) FIXTURE UNITS TO GREASE INTERCEPTOR

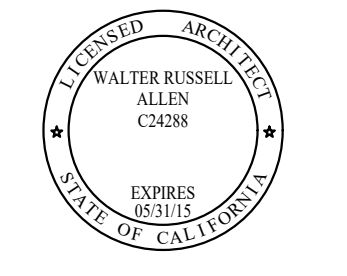
PLUMBING EQUIPMENT SCHEDULE

TAG	EQUIPMENT	LOCATION	MANUFACTURER	MODEL	REMARKS
TP 1	TRAP PRIMER	VARIES	PPP	P-2-500	PRESSURE DROP ACTIVATED. BRASS CONSTRUCTION. PROVIDE WITH APPROVED ACCESS PANEL. SEE DETAIL 2/P5.01. POTABLE WATER SUPPLY TRAP PRIMER VALVES SHALL COMPLY WITH ASSE 1018. DRAINAGE AND ELECTRONIC DESIGN TYPE TRAP SEAL PRIMER DEVICES SHALL COMPLY WITH ASSE 1044. SEC 1007.1 & 1007.2, 2019 CALIFORNIA PLUMBING CODE.
RPZ 1	REDUCED PRESSURE ZONE ASSEMBLIES	ROOF	WATTS	LF009	REDUCED PRESSURE ZONE ASSEMBLIES, TWO IN-LINE INDEPENDENT CHECK VALVES, CAPTURED SPRINGS, LEAD FREE CAST COPPER SILICON ALLOY BODY CONSTRUCTION.

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	MIN. PIPE SIZE				REMARKS
		CW	HW	V	S	
KS 1	3 COMP SINK	3/4"	3/4"	2"	2"	FOR MODEL # REFER TO KITCHEN EQUIPMENT SCHEDULE ON ARCHITECTURAL PLANS.
HS 1	HAND SINK	1/2"	1/2"	1-1/2"	2"	FOR MODEL # REFER TO KITCHEN EQUIPMENT SCHEDULE ON ARCHITECTURAL PLANS.
MS 1	MOP SINK	3/4"	3/4"	2"	3"	FOR MODEL # REFER TO KITCHEN EQUIPMENT SCHEDULE ON ARCHITECTURAL PLANS.
FD 1	FLOOR DRAIN	--	--	2"	2"	ZURN #Z415B. COATED CAST IRON BODY WITH BOTTOM OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP AND ADJUSTABLE COLLAR WITH SEEPAGE SLOTS AND "TYPE B" NICKEL BRONZE STRAINER WITH OPENINGS LESS THAN 1/4", AND TRAP PRIMER CONNECTION.
FS 1	FLOOR SINK	--	--	2"	3"	FIXTURE: ZURN MODEL# Z-1900 12"x12", 6" DEEP WITH DOME STRAINER, COATED CAST IRON BODY, ACID RESISTANT INTERIOR. PROVIDE WITH TOP, CAST IRON P-TRAP. PROVIDE 1/2" TRAP PRIMER CONNECTION TO DRAIN.
TMV 1	MIXING VALVE	--	--	--	--	WATTS MODEL LFMMV, 1/2", 4.0 PSI PRESSURE DROP AT 2.0 GPM WITH RANGE TEMPERATURE OF 80°F TO 120°F. SET VALVE AT A MAXIMUM 105°F. VALVE TO BE INSTALLED AT EACH LAVATORY AND HAND SINK AND SHALL MEET ASSE STANDARD 1070. VALVE TO BE ALSO LABELED IPC CERTIFIED. VALVE SHALL BE BRONZE BODY WITH INTEGRAL CHECKSTOPS, STRAINERS AND AN ADJUSTMENT CAP WITH LOCKING FEATURE. THE VALVE SHALL BE APPROVED FOR 0.35 GPM WATERFLOW IN ACCORDANCE WITH ASSE 1016-2003.
HB 1	HOSE BIB	3/4"	--	--	--	RECESSED HOSE BIBB – J.R. SMITH MODEL#5509QT 1/4 TURN NON-FREEZE WITH INTEGRAL VACUUM BREAKER.

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Drawn By	SO
Checked	SO
Date	11/12/22

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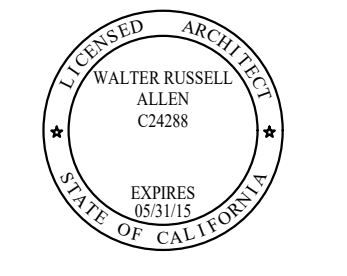
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Date																			
Job Number:	2207																		
Drawing Number	p002																		



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EQUIPMENT GAS LOAD				
EQUIPMENT	QTY	INDIVIDUAL CAPACITY (BTU/HR)	SUBTOTAL (BTU/HR)	REQUIRED PRESSURE
WATER HEATER	2	199	398	11" WC
DOUBLE DECK BROILER	1	192	192	10" WC
CONVECTION OVEN	1	140	140	10" WC
PIZZA BAKE OVEN	1	140	140	11" WC
RANGE 48" (8) BURNERS	8	30	240	10" WC
ROYAL RANGE	1	95	95	10" WC
FRYER	3	38	114	11" WC
CHAR BROILER	1	60	60	10" WC
SALAMANDER BROILER	1	35	35	10" WC
TOTAL GAS LOAD (CFH)			1,414	

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Designed SO
Drawn By SO
Checked SO
Date 11/12/22

TANKLESS GAS WATER HEATER SCHEDULE													
UNIT TAG	MAKE	MODEL NUMBER	SERVICE	TOTAL GPM @ 90 F RISE	STORAGE GALLON	INPUT (BTU's)	ELECTRICAL DATA			WATER TEMPERATURE		OPERATING WEIGHT (LBS.)	REMARKS
							VOLT	AMPS	HZ	ENT	LVG		
WH 1	RHEEM	RTGH-CM95XLP	DOMESTIC HOT WATER	8.4	N/A	199,000	120	5	60	55	140	850	①②③④⑤

- ① APPROVED FOR USE IN CALIFORNIA.
- ② PROVIDE EXPANSION TANK PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 3/P501.
- ③ PROVIDE ASME RATED PTR VALVE.
- ④ UL LISTED.
- ⑤ 96% THERMAL EFFICIENCY
- ⑥ PROVIDE CONCENTRIC VENT KIT. & CONDENSATE DRAIN WITH NEUTRALIZATION KIT.

GREASE INTERCEPTOR SCHEDULE								
UNIT TAG	MANUFACTURER/MODEL NUMBER	TYPE	CAPACITY (GALLONS)	LOCATION	SIZE LxDxH (INCHES)	MANWAY SIZE (INCHES)	INLET/OUTLET SIZE (INCHES)	REMARKS
GI 1	SCHIER MODEL GG1-1500	GREASE INTERCEPTOR	1500	BUILDING SITE	120"X68"X77"	24"	4"/4"	
SB 1	SCHIER SV24L	SAMPLE BOX	-	BUILDING SITE	24-1/2" X 24-1/2" DEEP	-	4"/4"	

MIRAMONTE KITCHEN
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 Permit Number:

Revisions	Sym.	By	Date

Job Number: 2207
Drawing Number:
p003

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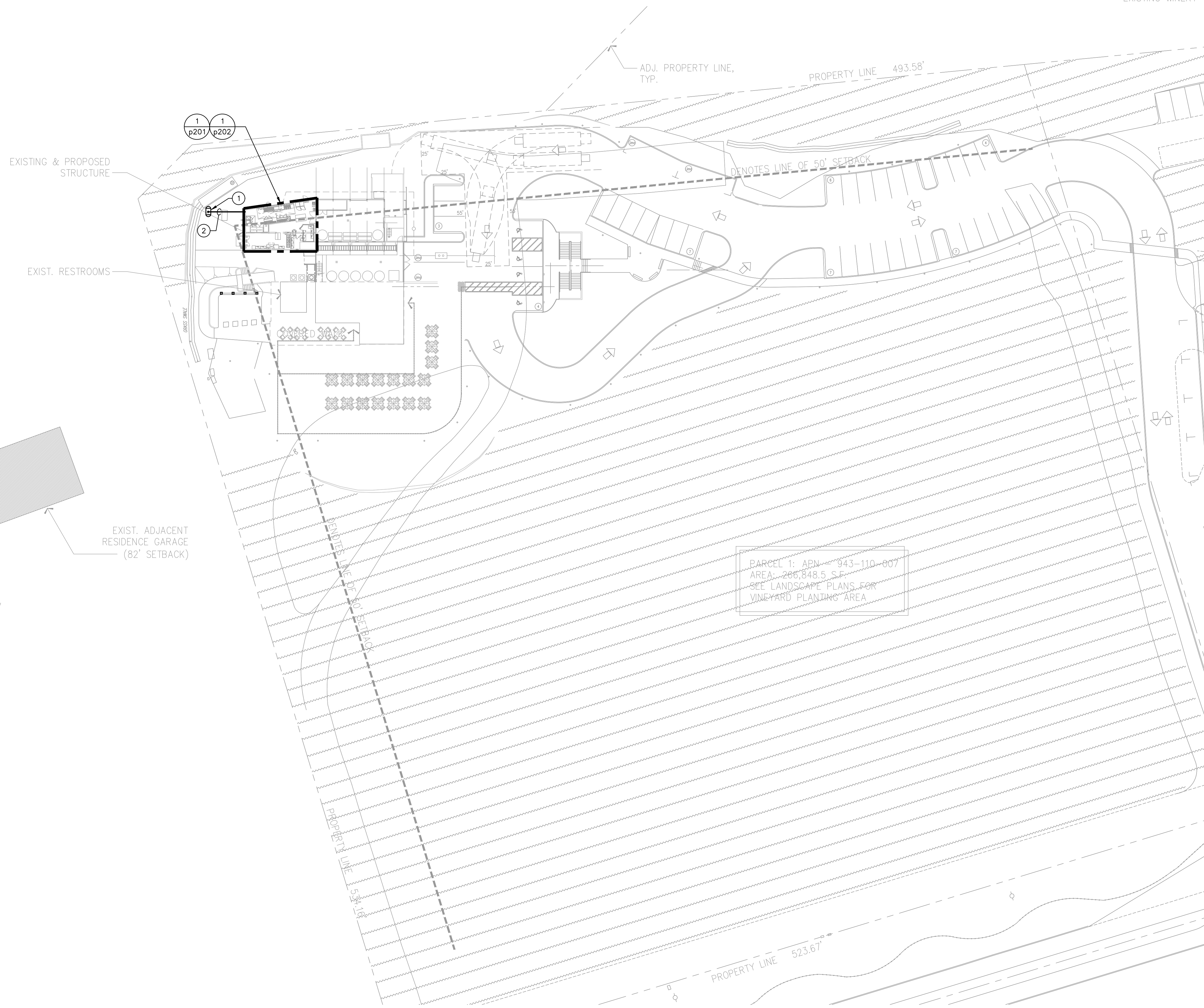


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ADJACENT ZONING: C/V
ADJACENT USE:
PRIVATE RESIDENCE

1 PLUMBING SITE PLAN

SCALE: 1"=30'-0"



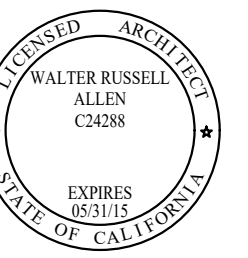
GENERAL NOTES

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- C. VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS TO MECHANICAL EQUIPMENT PRIOR TO START OF WORK. IN NO CASE SHALL THE CONNECTION SIZE BE LARGER THAN THE BRANCH PIPING SIZE.
- D. RETAIL SPACES SHALL NOT BE OCCUPIED UNTIL RESTROOMS COMPLYING WITH THE CALIFORNIA PLUMBING CODE, AND HEATING VENTILATION SYSTEMS COMPLYING WITH THE CALIFORNIA MECHANICAL CODE AND CALIFORNIA BUILDING CODE HAVE BEEN PERMITTED AND PROVIDED IN FUTURE TENANT IMPROVEMENT.

KEY NOTES

- ① PROPOSED LOCATION OF (N) LPG TANK. PROVIDE FIRST STAGE REGULATOR (SPG RANGE 8-12 PSI), AND SECOND STAGE REGULATOR (SPG RANGE 9-13 PSI) AS REQUIRED. VERIFY SIZE AND REQUIREMENT WITH LPG GAS COMPANY.
- ② 2" LPG PIPING BELOW GRADE.

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Drawn By	SO
Checked	SO
Date	11/12/22

MIRAMONTE KITCHEN

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Permit Number:

Revisions	Sym.	By	Date	Job Number
				2207

Drawing Number

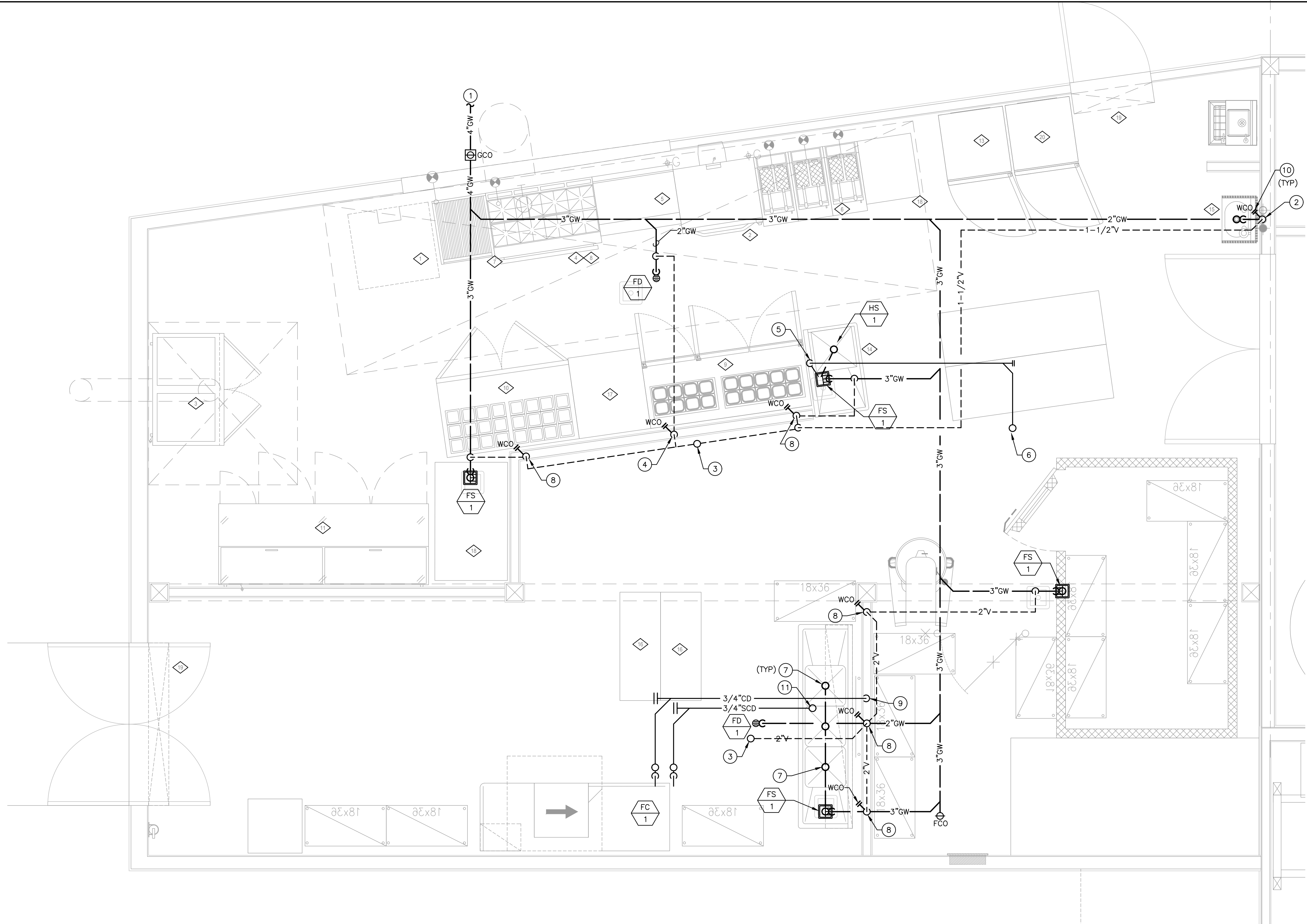
p101

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KEY NOTES

- ① 4" GREASE WASTE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- ② 2" SEWER DOWN AND 1-1/2" VENT UP.
- ③ 3" VENT THRU ROOF.
- ④ 2" VENT DOWN TO BELOW FLOOR.
- ⑤ 1-1/2" CONDENSATE DRAIN DOWN IN WALL AND SPILL TO FLOOR SINK.
- ⑥ 1-1/2" CONDENSATE DRAIN UP TO HVAC ROOF TOP UNIT. CONTRACTOR TO COORDINATE ROUTING OF PIPING IN FIELD.
- ⑦ INDIRECT WASTE FROM SINK TO FLOOR SINK.
- ⑧ 2" VENT DOWN TO BELOW FLOOR.
- ⑨ 3/4" CONDENSATE DRAIN DOWN IN WALL AND SPILL TO FLOOR SINK.
- ⑩ WALL CLEANOUT. SEE DETAIL 2/p501.
- ⑪ SECONDARY CONDENSATE DRAIN TO TERMINATE JUST BELOW CEILING. SEE DETAIL 8/p501.

ITEM NO.	QUANTITY	DESCRIPTION:
◇	1	DOUBLE DECK INFRARED BROILER
◇	1	DOUBLE DECK CONVECTION OVEN
◇	1	DOUBLE DECK PIZZA OVEN
◇	1	8 BURNER W/ CONVECTION OVENS
◇	1	6 BURNER/FLAT TOP COMBO W/CONVECTION OVEN
◇	3	GAS FLOOR FRYER
◇	1	24" CHAR BROILER
◇	2	SALAMANDER BROILER
◇	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
◇	1	60" SANDWICH/PREP TABLE W 2 DOORS
◇	1	93" PIZZA PREP TABLE W 3 DOORS
◇	1	36" 2 DRAWER CHEF BASE
◇	1	REACH-IN FRIDGE
◇	1	ONE COMPARTMENT SINK W/DRAIN BOARD
◇	1	HAND SINK WITH TOWEL DISPENSER
◇		SHELVING
◇	1	STEAM TABLE
◇	1	SIDE TABLE
◇	2	FLY FAN/AIR CURTAIN
◇	1	REACH-IN FREEZER

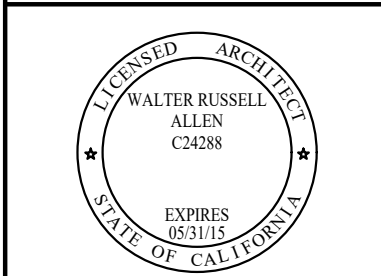
1 PLUMBING FLOOR PLAN - SEWER & VENT AND CONDENSATE DRAIN PIPING

SCALE: 1/2"=1'-0"

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Date	11/12/22

MIRAMONTE KITCHEN

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 TEMECULA, CA 92591

Permit Number:

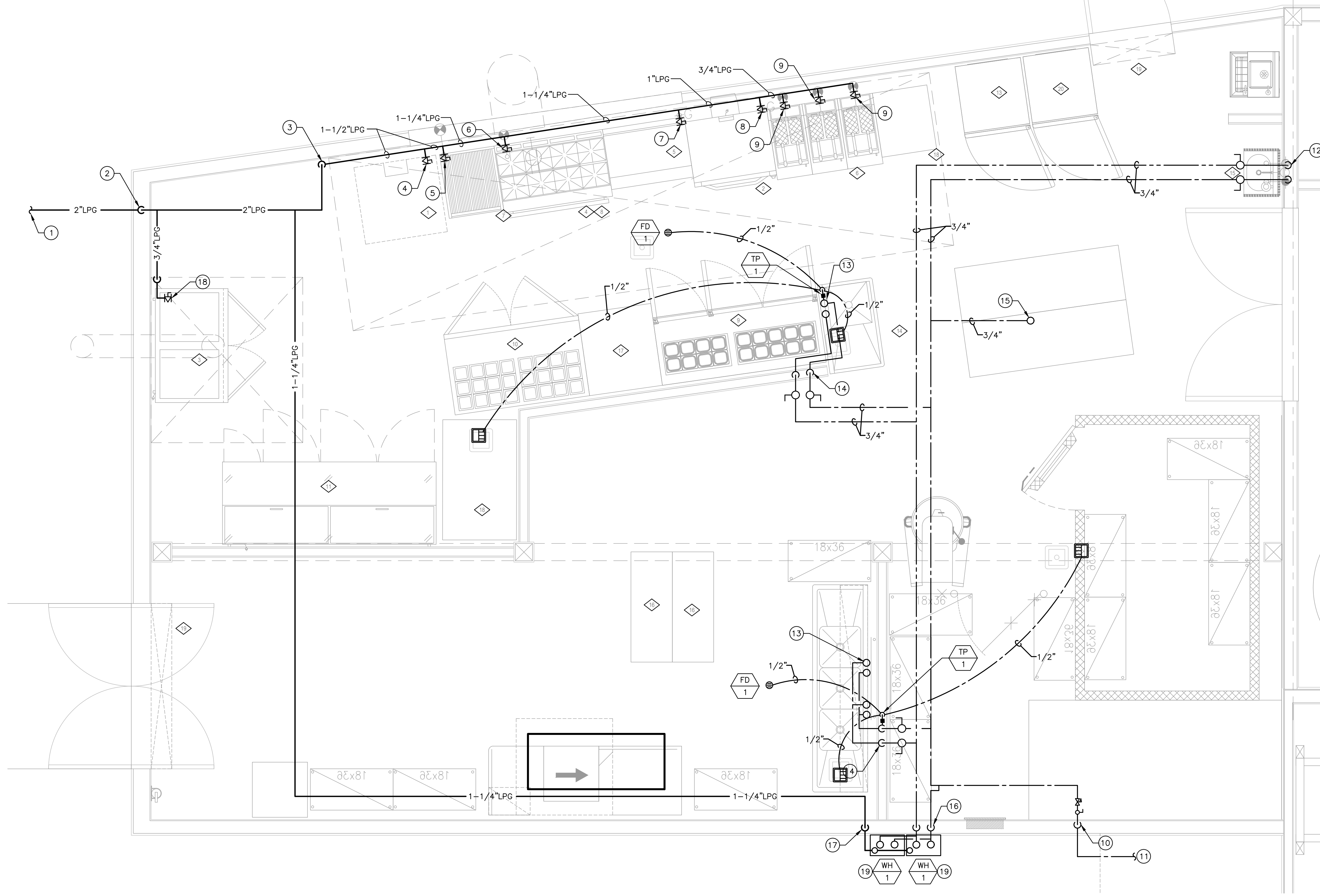
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Job Number: 2207

Drawing Number

p201

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GENERAL NOTES

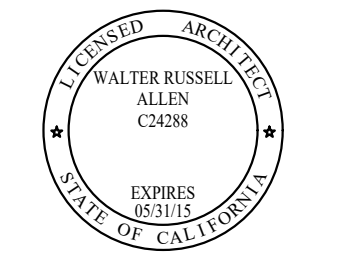
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KEY NOTES

- 1 LPG PIPING BELOW GRADE TO LPG TANK. REFER TO PLUMBING DRAWING p101 FOR CONTINUATION.
- 2 2" LPG DOWN TO BELOW GRADE AND UP TO ABOVE CEILING.
- 3 1-1/2" LPG PIPING DOWN FROM CEILING TO ABOVE FINISHED FLOOR.
- 4 3/4" LPG TO BROILER 192,000 BTU.
- 5 3/4" LPG TO BROILER 60,000 BTU.
- 6 3/4" LPG TO RANGE 294,000 BTU, AND SALAMANDER BROILER 35,000 BTU.
- 7 3/4" LPG TO BROILER 60,000 BTU.
- 8 3/4" LPG TO CONVECTION OVEN 140,000 BTU.
- 9 3/4" LPG TO FRYER 38,000 BTU EACH. OF (3).
- 10 1" CW DOWN TO BELOW GRADE.
- 11 1" CW REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 12 3/4" HOT AND COLD WATER DOWN TO FIXTURE.
- 13 3/4" COLD AND HOT WATER UP FROM BELOW SINK.
- 14 3/4" COLD AND HOT WATER DOWN TO BELOW SINK.
- 15 3/4" COLD WATER UP TO HVAC ROOF TOP UNIT. CONTRACTOR TO FIELD COORDINATE PIPE ROUTING.
- 16 3/4" HOT & COLD WATER DOWN AND CONNECT TO WATER HEATERS.
- 17 1-1/4" LPG DOWN AND CONNECT TO WATER HEATERS.
- 18 3/4" LPG TO PIZZA OVEN 140,000 BTU.
- 19 TANKLESS WATER HEATERS ON EXTERIOR WALL. SEE DETAIL 7/p501.

ITEM NO.	QUANTITY	DESCRIPTION:
1	1	DOUBLE DECK INFRARED BROILER
1	1	DOUBLE DECK CONVECTION OVEN
1	1	DOUBLE DECK PIZZA OVEN
1	1	8 BURNER W/ CONVECTION OVENS
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1	1	24" CHAR BROILER
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1	1	72" SANDWICH/PREP TABLE W/ 3 DOORS
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1	1	HAND SINK WITH TOWEL DISPENSER
		SHELVING
1	1	STEAM TABLE
1	1	SIDE TABLE
2	2	FLY FAN/AIR CURTAIN
1	1	REACH-IN FREEZER

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Designed SO
 Drawn By SO
 Checked SO
 Date 11/12/22

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 TEMECULA, CA 92591

Permit Number:

Sym.	Revisions	By	Date

Job Number: 2207
 Drawing Number

p202

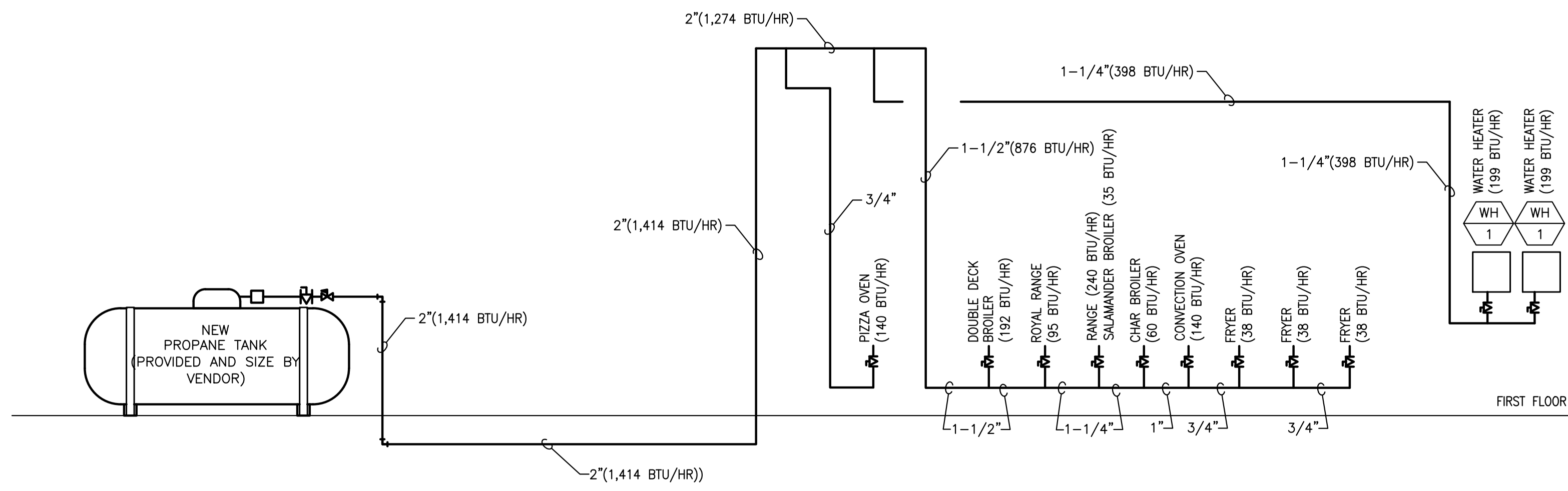
1 PLUMBING FLOOR PLAN - DOMESTIC WATER AND GAS PIPING
 SCALE: 1/2"=1'-0"

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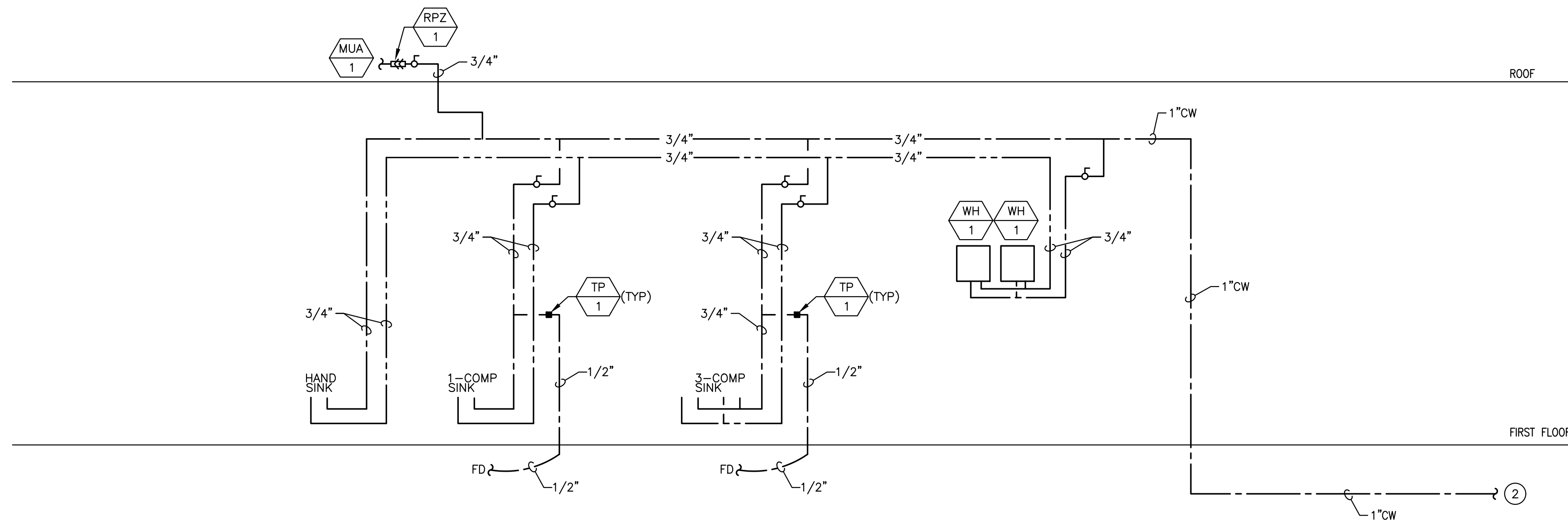


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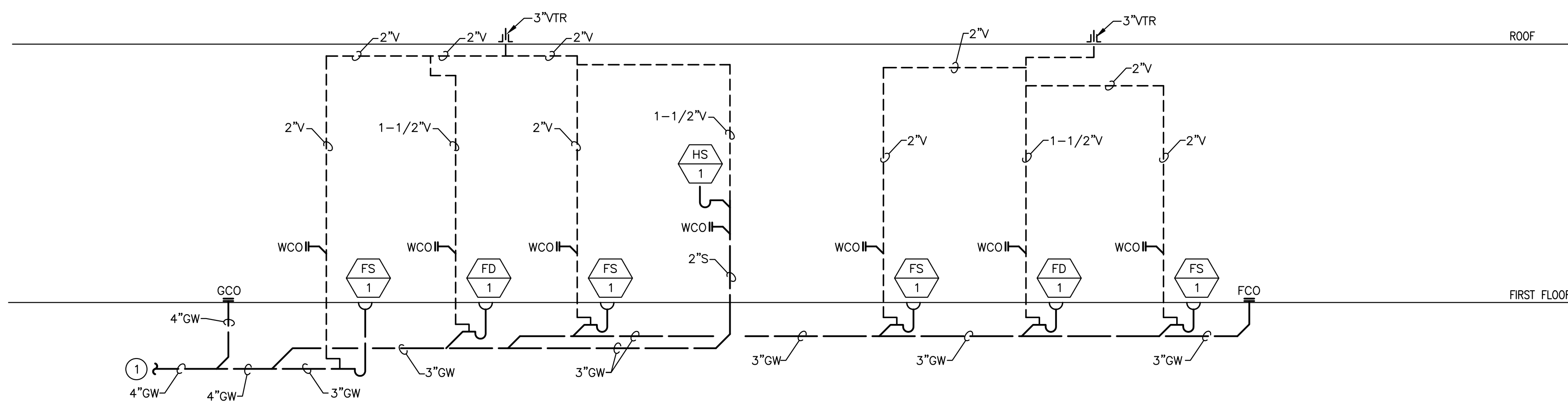
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1 PLUMBING LPG (PROPANE) RISER DIAGRAM
SCALE: NONE



2 PLUMBING DOMESTIC WATER RISER DIAGRAM
SCALE: NONE



1 PLUMBING RISER DIAGRAM
SCALE: NONE

LPG GAS CHART						
BASED ON TABLE 1215.2(27) 2019 CPC SCHEDULE 40 METALLIC PIPE				GAS LPG		
TOTAL DEVELOPED LENGTH: 123 FEET				INLET PRESSURE	14" IN W.C.	
				PRESSURE DROP	0.5 IN W.C.	
				SPECIFIC GRAVITY	1.5	
PIPE SIZE						
NOMINAL	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"
LENGTH (FT)	CAPACITY IN CUBIC FEET OF GAS PER HOUR (CFH)					
125	89	185	349	716	1070	2070

1. GAS PIPE BRANCH SIZE TO EQUIPMENT SHALL NEVER BE SMALLER THAN CONNECTION SIZES TO EQUIPMENT. IN CASE OF A DISCREPANCY, PROVIDE THE LARGER SIZE PIPE.
2. SEE DETAIL 6/PS.1 FOR GAS CONNECTION.
3. CONTRACTOR SHALL FIELD VERIFY EXACT LENGTH, GAS LOAD REQUIREMENTS AND EQUIPMENT CONNECTION SIZES PRIOR TO START OF WORK. IN CASE OF ANY DISCREPANCIES OR POTENTIAL CONFLICT, NOTIFY ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.

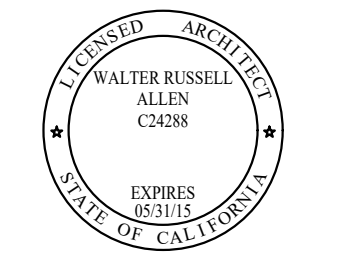
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KEY NOTES

- 1 4" GREASE WASTE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 2 DOMESTIC COLD WATER. REFER TO CIVIL DRAWINGS FOR CONTINUATION.

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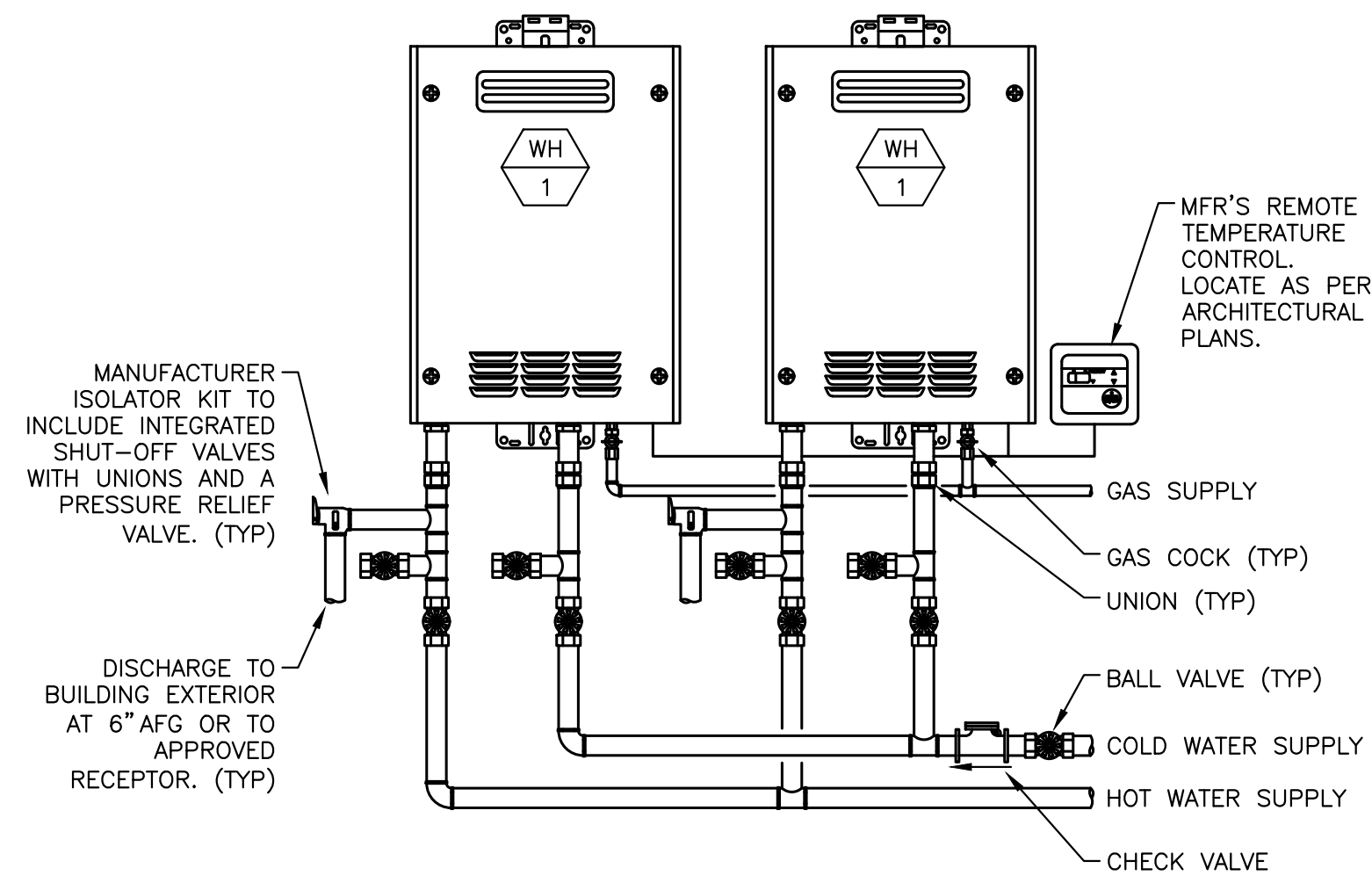
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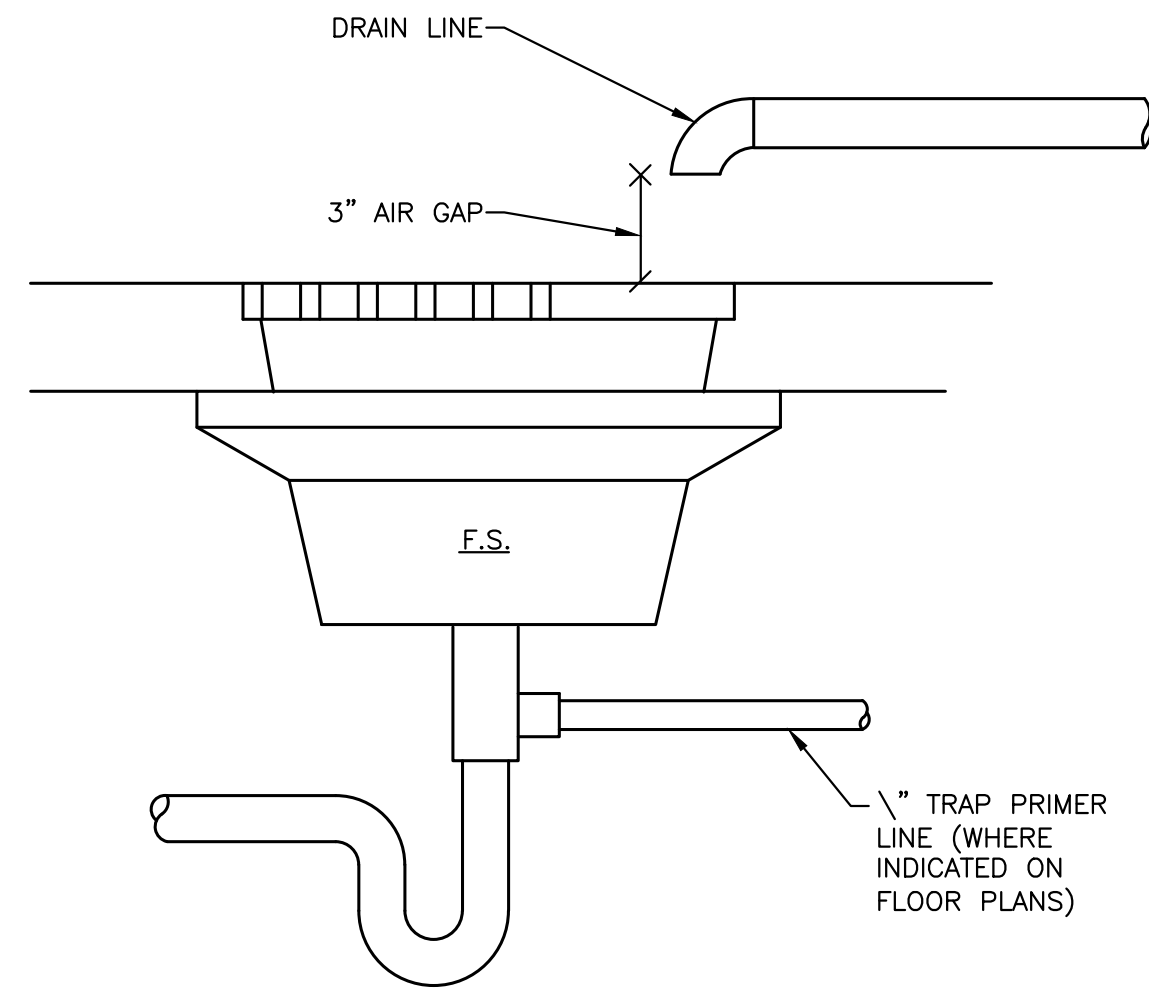
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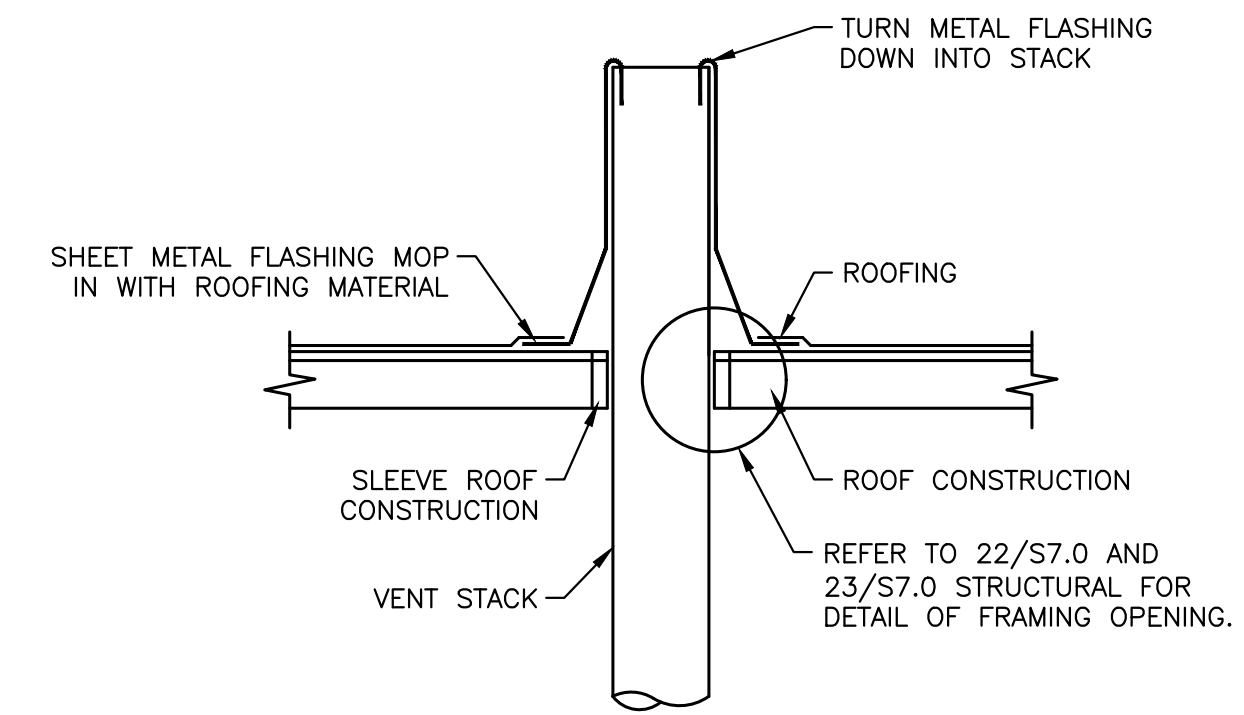
DOUBLE TANKLESS HOT WATER DETAIL

SCALE NONE 7



AIR GAP FITTING DETAIL

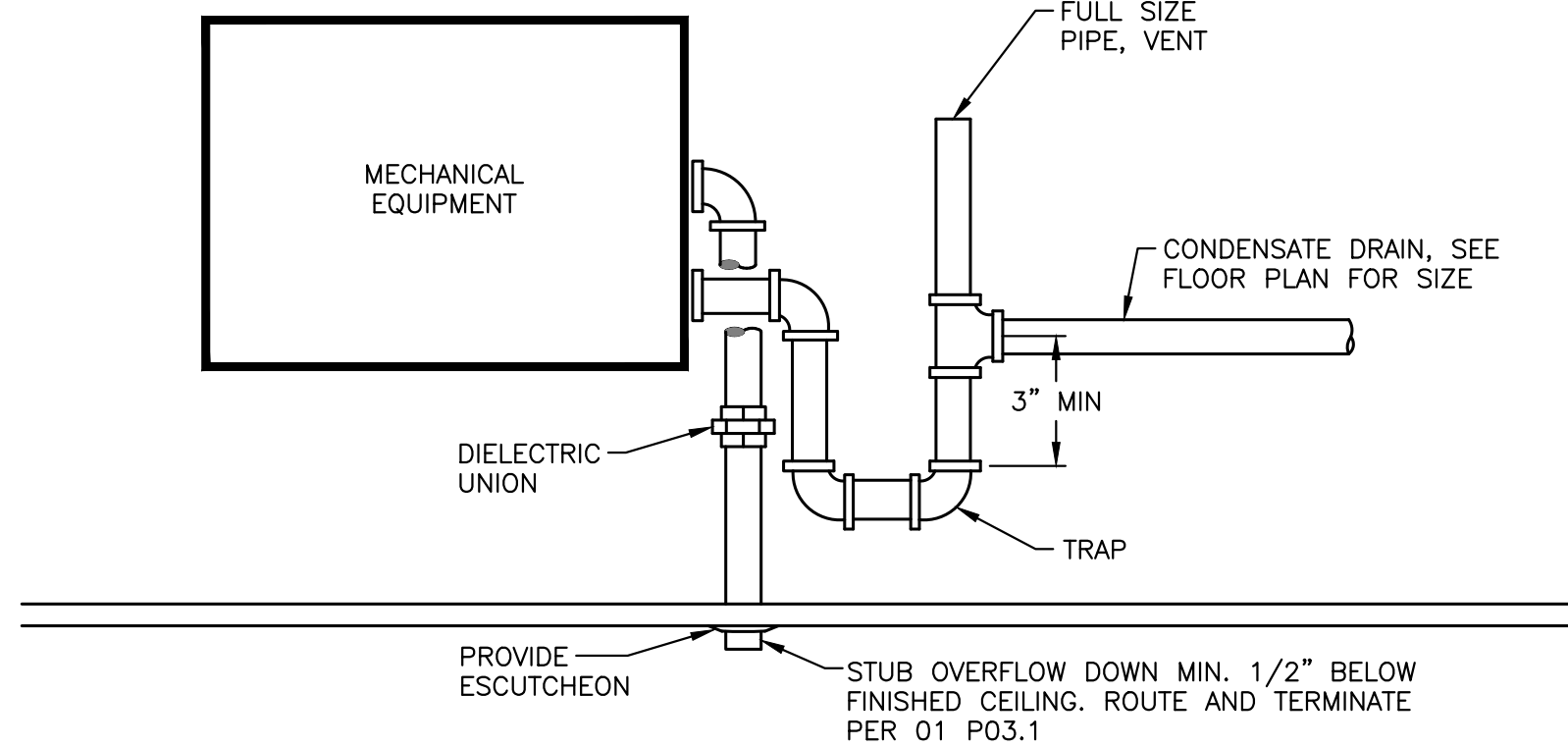
SCALE NONE 4



NOTE: EXTEND VENT PIPING A MINIMUM OF 6" ABOVE ROOFING.

VENT THRU ROOF DETAIL

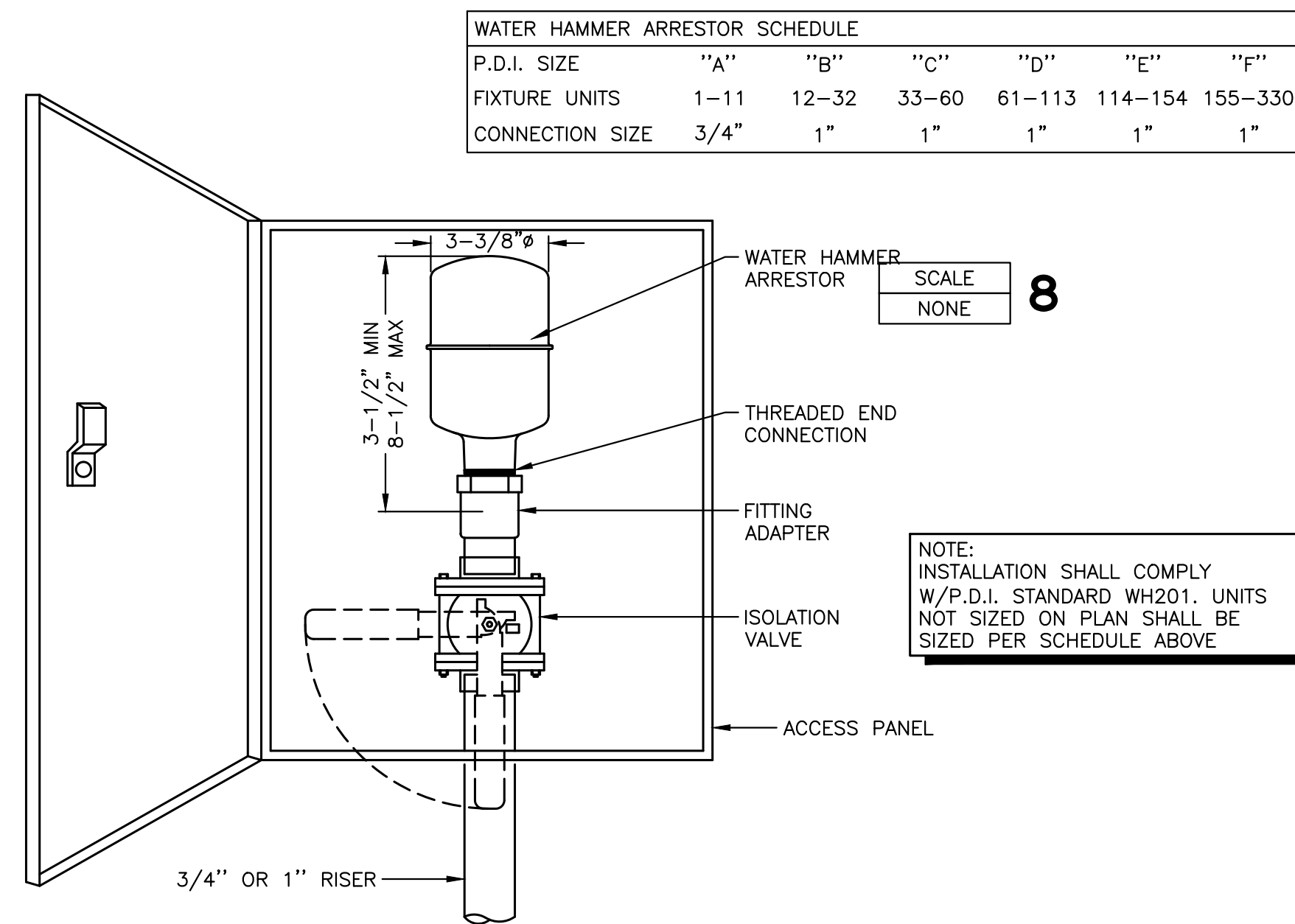
SCALE NONE 1



NOTE: CONTRACTOR SHALL VERIFY EXACT SIZE AND LOCATION OF ALL PLUMBING CONNECTIONS INTO MECHANICAL UNITS PRIOR TO START OF WORK. BRANCH PIPE SIZE SHALL NOT BE LESS THAN THE CONNECTION SIZE.

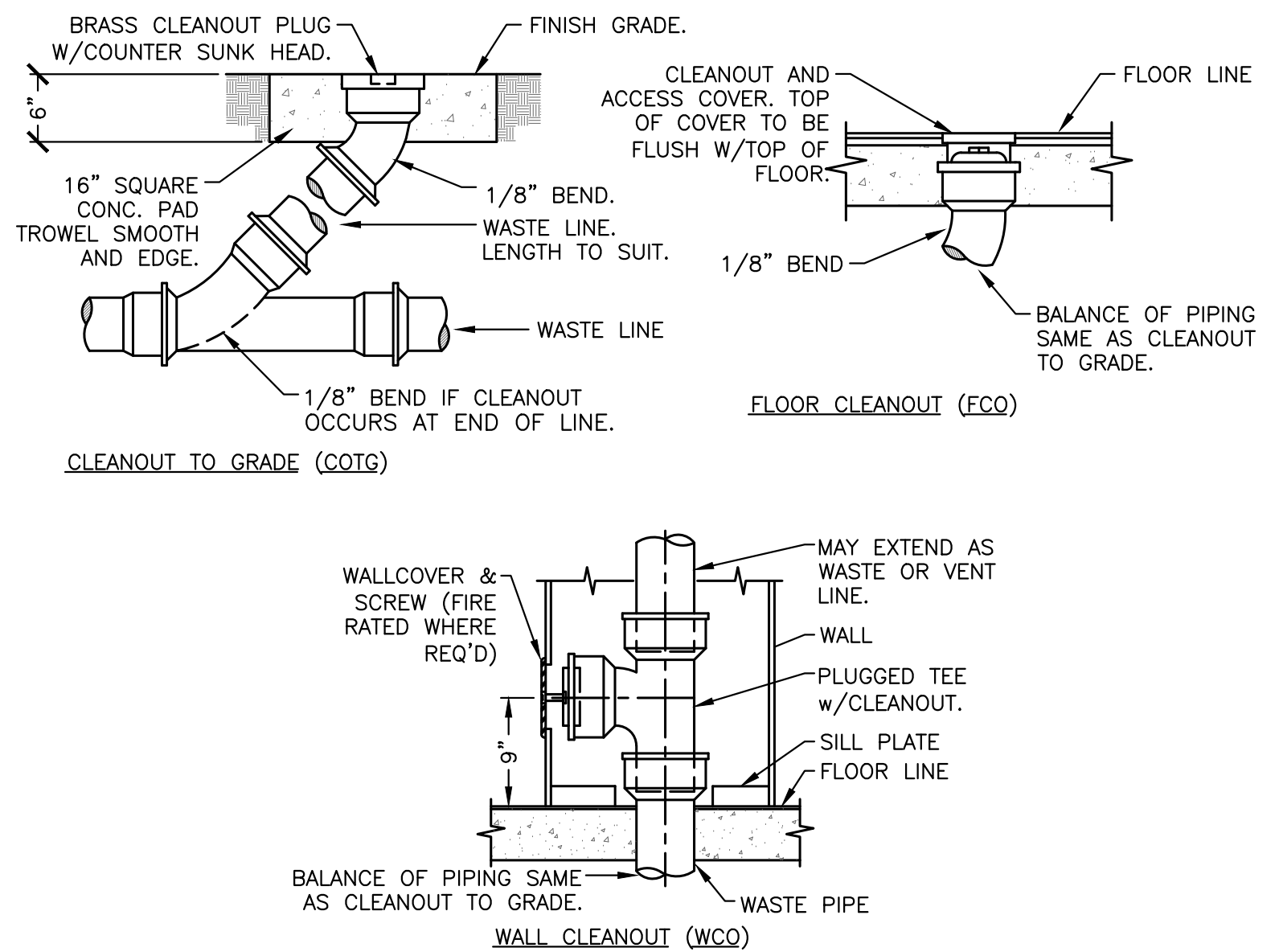
CONDENSATE DRAIN CONNECTION DETAIL

SCALE NONE 8



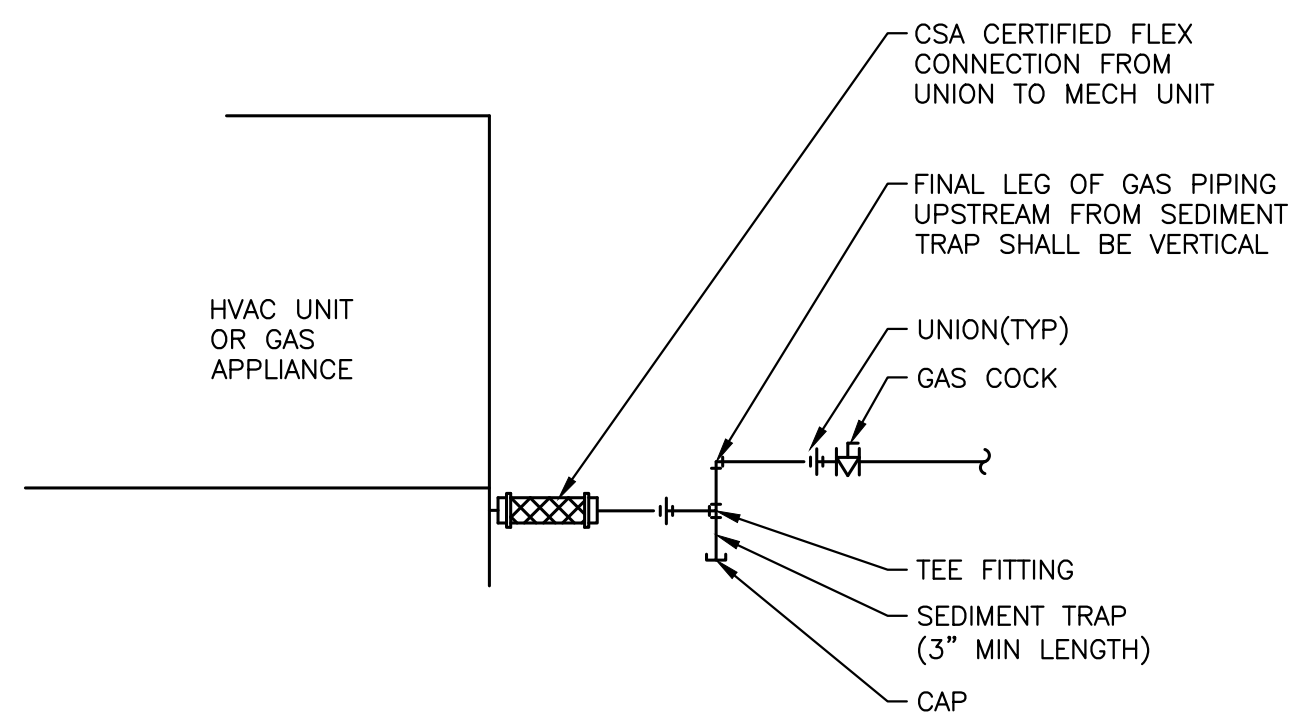
WATER HAMMER ARRESTOR DETAIL

SCALE NONE 5



CLEANOUT DETAILS

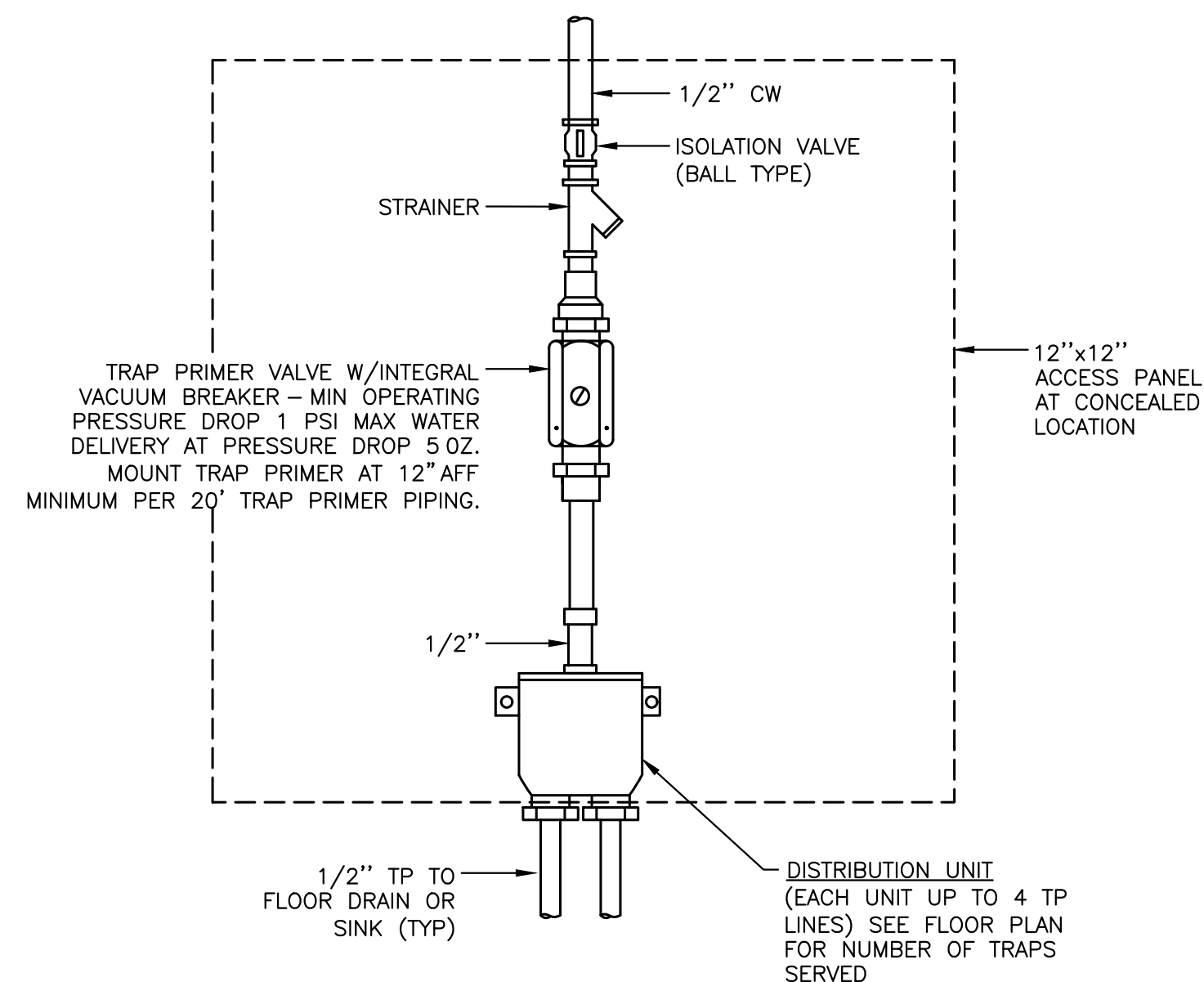
SCALE NONE 2



NOTE: SEDIMENT TRAP NOT REQUIRED FOR APPLIANCES WITH INTERNAL SEDIMENT TRAP, RANGES, CLOTHES DRYERS, FIREPLACES OR OUTDOOR GRILLES.

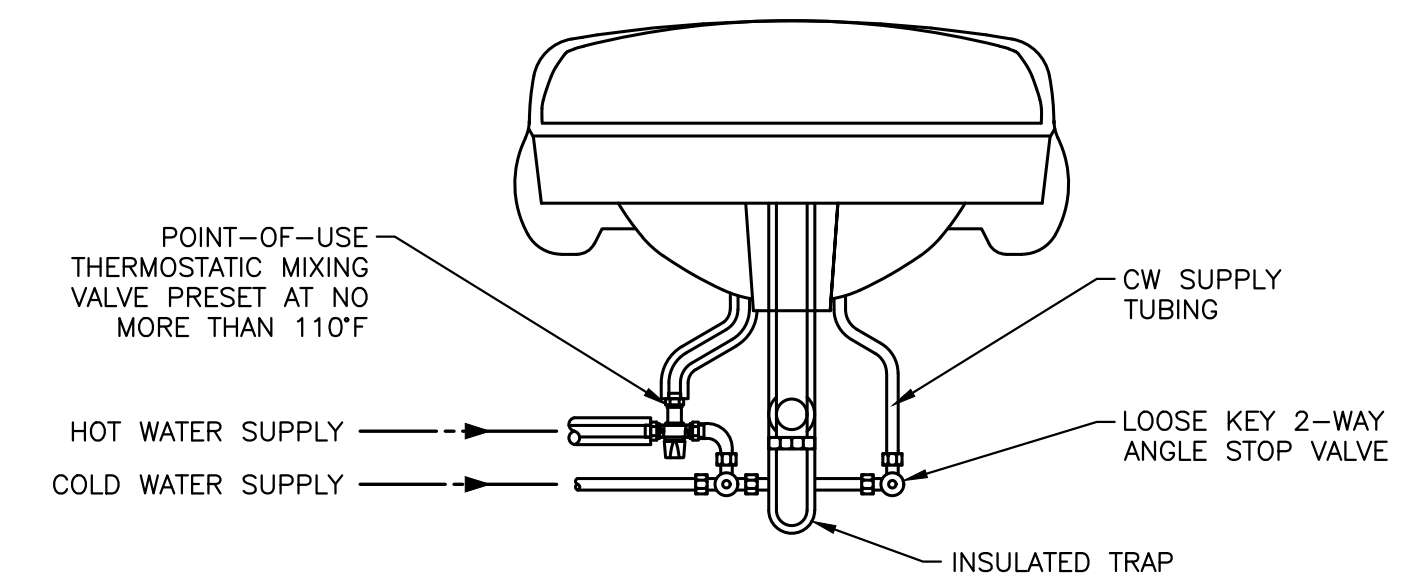
GAS CONNECTION DETAIL

SCALE NONE 9



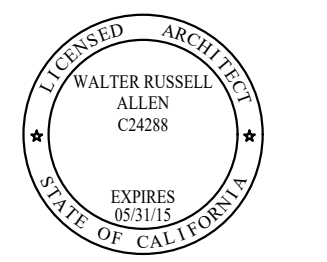
TRAP PRIMER DETAIL

SCALE NONE 6



POINT-OF-USE TMV DETAIL

SCALE NONE 3



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Checked	SO
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TEMECULA, CA 92591

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**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.
Assistant CEO/TLMA Director



09/12/23, 10:17 am

PP23819R01

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for PP23819R01. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of Plot Plan No. 23819 Revision No. 1 and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 2 AND - Project Description & Operational Limits

Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen.

The Project is located within the Southwest Area Plan and is a part of the Temecula Valley Wine Country Policy Area – Winery District. The Project site is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road.

Advisory Notification. 3 AND - Design Guidelines

Compliance with applicable Design Guidelines:

- Temecula Valley Wine Country (Adopted 3/11/2014)

Advisory Notification. 4 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT(S):

Exhibit A: Site Plan, dated November 12, 2022

Exhibit B: Floor Plans & Elevations, dated November 12, 2022

Advisory Notification. 5 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Federal, State & Local Regulation Compliance (cont.)

- National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)
2. Compliance with applicable State Regulations, including, but not limited to:
- The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)
3. Compliance with applicable County Regulations, including, but not limited to:
- Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 484 (Control of Blowing Sand)
 - Ord. No. 625 (Right to Farm)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
4. Mitigation Fee Ordinances
- Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

Advisory Notification. 6 AND - Hold Harmless

The applicant/permittee or any successor in interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN NO. 23819 REVISION NO. 1 or its associated environmental documentation; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void, or annul any other decision made by the COUNTY concerning the PLOT PLAN NO. 23819 REVISION NO. 1, including, but not limited to, decisions made in response to California Public Records Act requests; and

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 6 AND - Hold Harmless (cont.)

(a) and (b) above are hereinafter collectively referred to as "LITIGATION."

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such LITIGATION or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such LITIGATION, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

Advisory Notification. 7 AND - Winery Development Standards

The following standards shall apply to all wineries as stated in Ordinance No. 348 Section 14.95(D):

1. A total of seventy-five percent (75%) of the net project area shall be planted in vineyards prior to issuance of certificate of occupancy or final inspection, whichever occurs first. Fifty percent (50%) of the vineyard requirement shall be planted prior to issuance of building permit for the winery.
2. To achieve the seventy-five (75%) percent requirement, fifteen percent (15%) of the net project area may include the planting of olive trees and the remaining sixty percent (60%) of the net project area shall be planted in vineyards.
3. The seventy-five (75%) planting requirement shall not include water features, natural or man-made lakes or the planting of grapevines in parking lots but may include planting in the road right of way as may be approved by the Director of Transportation or his designee.
4. Vineyards used to meet the above planting requirement shall have a minimum average density of 450 vines per acre. Olive trees used to meet the above planting requirement shall have a minimum average.

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 7 AND - Winery Development Standards (cont.)

density of 100 olive trees per acre.

5. The seventy-five (75%) planting requirement shall be maintained for the life of the permit.
6. No amplified sound shall be permitted outdoors unless an exception to Ordinance No. 847 has been applied for and approved.
7. Prior to obtaining a Certificate of Occupancy, a winery operator shall obtain all applicable permits or licenses required by the California Department of Beverage Control.
8. A minimum of seventy-five percent (75%) of the grapes utilized in wine production and retail wine sales shall be grown in Riverside County, except during the following:
 - a. When the Board of Supervisors declares an Agricultural Emergency for the Temecula Valley Wine Country Area. The declaration shall be for a specific period of time and any winery within the Temecula Valley Wine Country Area Policy Area may take advantage of the exemption.
 - b. The first two years from the plot plan's or conditional use permit's effective date.
9. For winery entitlements and revised entitlements approved after the effective date of Ordinance No. 348.4818, at least fifty percent (50%) of the wine sold by a winery shall be produced on the winery site. This development standard does not apply to wineries approved and operating under an existing valid entitlement before the effective date of Ordinance No. 348.4818. Any change or expansion by these wineries requiring a revised entitlement shall be consistent with this development standard.
10. A Class I Winery shall be less than 1,501 square feet in size.
11. Class II, III and IV Wineries shall be at least fifteen hundred (1,500) square feet in size and shall produce at least three thousand five hundred (3,500) gallons of wine annually as determined by the County Agricultural Commissioner.
12. Prior to the issuance of a building permit for any incidental commercial uses, the winery shall be constructed.
13. Prior to the issuance of a certificate of occupancy for any incidental commercial uses, the winery shall be operational.
14. Buildings and structures shall be designed in a rural, equestrian, or wine country theme consistent with the Temecula Valley Wine Country Design Guidelines.
15. Automobile parking spaces shall comply with Section 18.12 of Ordinance No. 348 and shall be consistent with the rural standards of the Temecula Valley Wine Country Policy Area of the Riverside County General Plan and the Temecula Valley Wine Country Design Guidelines.

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 7 AND - Winery Development Standards (cont.)

16. Loading, trash, and service areas shall be screened by structures or landscaping and shall be located and designed in such a manner as to minimize noise and odor impacts to adjacent properties.

17. Outside storage areas shall be screened from view by structures or landscaping.

18. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of thirteen hundred twenty feet (1,320').

BS-Grade

BS-Grade. 1 0010-BS-Grade-USE - 2:1 MAX SLOPE RATIO

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

BS-Grade. 2 0010-BS-Grade-USE - CRIB/RETAIN'G WALLS

Cribwall (retaining) walls shall be designed by a qualified professional who shall provide the following information for review and approval - this shall be in addition to standard retaining wall data normally required. The plans shall clearly show: soil preparation and compaction requirements to be accomplished prior to footing-first course installation, method/requirement of footing-first course installation, properties of materials to be used (i.e. Fc=2500 p.s.i.). Additionally special inspection by the manufacturer/dealer and a registered special inspector will be required.

BS-Grade. 3 0010-BS-Grade-USE - DISTURBS NEED G/PMT

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any topsoil disturbances related to construction grading.

BS-Grade. 4 0010-BS-Grade-USE - DRAINAGE & TERRACING

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

BS-Grade. 5 0010-BS-Grade-USE - DUST CONTROL

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

BS-Grade. 6 0010-BS-Grade-USE - GENERAL INTRODUCTION

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

BS-Grade. 7 0010-BS-Grade-USE - LOT TO LOT DRN ESMT

ADVISORY NOTIFICATION DOCUMENT

E Health

E Health. 5 DEH-Sewer Connect (cont.)

met with EMWD as well as all other applicable agencies.

Fire

Fire. 1 0010-Fire-USE-#23-MIN REQ FIRE FLOW

Minimum required fire flow shall be 1500 GPM for a 2-hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2007 CBC and Building(s) having a fire sprinkler system.

Fire. 2 0010-Fire-USE-#25-GATE ENTRANCES

Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38-foot turning radius shall be used.

Fire. 3 0010-Fire-USE-#31-ON/OFF NOT LOOPED HYD

A combination of on-site and off-site super fire hydrant(s) (6"x4"x 2-2-1/2") will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

Fire. 4 0010-Fire-USE-#50-BLUE DOT REFLECTOR

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

Fire. 5 0010-Fire-USE-#84-TANK PERMITS

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

Fire. 6 0010-Fire-USE-#88A-AUTO/MAN GATES

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

Flood

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 **Flood Hazard Report (cont.)**

Flood. 1 **Flood Hazard Report**

FLOOD HAZARD REPORT: 10/17/2022

BB ID: 134-177-425

Plot Plan No. 23819 R1 is a proposal to remove an existing deli in order to construct a full-scale kitchen operation. The kitchen will be located within the existing barrel storage space (barrel storage space to be removed). The site (Miramonte Winery) is located in the Rancho California area north of Rancho California Road, south of La Serena Road, east of Butterfield Stage Road and west of Calle Contento Road.

The site was reviewed under the original PP 23819 and PP 23819 S1, the drainage and the water quality issues were addressed in plan check for the Plot Plan. All the conditions under the original Plot Plan are still applicable. Since this revision does not create new impervious area, the District does not object to this proposal.

This project is not associated with any existing any existing or proposed District maintained facilities, therefore the Transportation Department will have the responsibility to process the review and approval of any hydrology or drainage studies including the preliminary and final Water Quality Management Plan (WQMP).

Any questions pertaining to this project may be directed to Kelly O'Sullivan at 951-955-8851 or kosulliv@rivco.org.

Planning

Planning. 1 **0010-Planning-USE - BUSINESS LICENSING**

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

Planning. 2 **0010-Planning-USE - CAUSES FOR REVOCATION**

In the event the use hereby permitted under this permit,

a) is found to be in violation of the terms and conditions of this permit,

b) is found to have been obtained by fraud or perjured testimony, or

c) is found to be detrimental to the public health, safety, or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

Planning. 3 **0010-Planning-USE - CEASED OPERATIONS**

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 8 0010-Planning-USE - GEO02164 (cont.)

- 2.The potential for fault surface rupture on the site is considered very low.
- 3.The likelihood of liquefaction occurring within the bedrock formation on site or within soil near the vicinity of the proposed expansion area is considered to be very low.
- 4.The potential for seismically induced landsliding is considered very low.
- 5.Seismically induced flooding due to seiches is considered low.
- 6.The possibility for seismically induced tsunamis to impact the site is considered nil.

GEO02164 recommended:

- 1.All vegetation, including roots, should be removed from areas to be graded and not used in fills.
- 2.All colluvium, alluvium and weathered bedrock in areas to receive fill and cut areas to support structures must be removed to competent bedrock. For purposes of this report, competent bedrock is defined as unweathered Pauba Formation Bedrock free of porous material.

GEO No. 2164 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO No. 2164 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

Planning. 9 0010-Planning-USE - HOURS OF OPERATION

Use of the facilities approved under this plot plan shall be limited in order to reduce conflict with adjacent residential land uses. Hours will be limited to 9:00 AM to 6:00 PM, Monday through Thursday and 9:00 AM to 10:00 PM, Friday, Saturday, and Sunday.

Planning. 10 0010-Planning-USE - LC LANDSCAPE REQUIREMENT

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly landscaping and a weather-based irrigation controller(s) as defined by County Ordinance No. 859;
- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become

ADVISORY NOTIFICATION DOCUMENT

Planning-CUL

Planning-CUL. 1 Human Remains

If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Planning-CUL. 2 Unanticipated Resources

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continuous monitoring of all future site grading activities as necessary.

Transportation

Transportation. 1 0010-Transportation-USE - COUNTY WEBSITE

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Website: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

Transportation. 2 0010-Transportation-USE - NO ADD'L ON-SITE R-O-W

No additional on-site right-of-way shall be required on Rancho California Road and Reid Court since adequate right-of-way exists, per PM82/3 and PM1/30-33.

Transportation. 3 0010-Transportation-USE - STD INTRO 3(ORD 460/461)

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 3 0010-Transportation-USE - STD INTRO 3(ORD 460/461) (cont.)

accordance with Ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

Transportation. 4 0010-Transportation-USE - TRAFFIC MANAGEMENT PLAN

The following Traffic Management Plan was prepared by applicant/engineer for PP 23819.

1. Introduction: The purpose of this Traffic Management Plan is to describe the potential impact to traffic on Rancho California Road due to regular and special activities at MiraMonte Winery. The winery was established in the early 1980s and has been in operation ever since. The original Owner failed to obtain Plot Plan Approval for his tasting venue. The current Owner wishes to document and legitimize activities that have been ongoing since before he purchased the property.

2. Project Description / Location: The address of this property is 33410 Rancho California Road, which is approximately one mile east of Butterfield Stage Road and about three quarters of a mile west of Calle Contento. The project is on 11.85 gross acres, comprising two parcels. The westerly parcel is planted with a vineyard and has an existing 6,595 sq.ft production winery and retail tasting room. Approximately 5,863 sq.ft of new construction is proposed, including new accessible restrooms (283 sq.ft), but primarily covered walkways, and trellised exterior decks (5,555 s.f.).

The Owner has recently purchased the adjacent parcel to the east and is in the process of incorporating it into the existing property through a parcel merger (PM #1807). This brings the land area into compliance with the current CV zone minimum. The proposed Plot Plan 23819 includes the planting of the easterly portion of the property so that almost 77% of the total acreage is planted as vineyard.

3. Ingress/Egress: The project takes access from the north side of Rancho California Road. The street is currently paved to a width of approximately thirty feet. Access to this site is provided by a twenty-four ft. wide driveway, which connects directly to Rancho California Road.

The driveway connection to Rancho California Road will include a left turn pocket and A.C. pavement transition to taper between the existing paved roadway, and the proposed driveway, in accordance with the following design parameters:

-- Edge of pavement returns shall be a 35-foot radius;

-- Ingress and Egress to and from the driveway onto the opposite side of the travel lane shall be provided by an existing continuous center lane for exclusive use of left turning vehicles;

-- Provide acceleration/deceleration lanes per County Std. 803.

4. Parking: Onsite parking is in accordance with Riverside County Ordinance 348, Section 18.12. For daily

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 4 0010-Transportation-USE - TRAFFIC MANAGEMENT PLAN (cont.)

parking, seventy-eight spaces are required. Thirty-nine standard spaces (including two H/C spaces) are proposed. There are four designated limousine spaces, and ten overflow parallel spaces along the widened lower portion of the driveway. In addition to these paved spaces, there are nineteen available on the designated mulching pad and ten more along the north vineyard access road. For certain events this latter area may be utilized as a bus parking area. In total there are eight-two auto spaces, including the four limousine spaces.

For special events, where up to one hundred fifty guests and twelve employees may be expected, there is adequate parking on-site. Figuring two guests and two employees per car, eighty-one spaces are required. As stated above, without even considering bus or limousine capacities, we have counted eighty-two parking spaces.

5. Hours of Operation / Employees: The winery is operated by Celebration Cellars, Cane Vanderhoof, director of operations. In addition to Mr. Vanderhoof, there may be up to 12 employees working at the winery, depending upon the season. In non-harvest, non-production periods, there probably will be less than half that. For special events, there may be up to twelve paid workers, including parking attendants and caterers.

Hours of customer contact will be from 11 AM to 6 PM Monday through Thursday, and 11 AM to 12 PM Friday, Saturday, and Sunday.

The Owner intends to continue hosting live music indoors from 7 PM to 10 PM Fridays, Saturdays, and Sundays. Routinely, at 10 o'clock, live performances and wine tasting will terminate.

6. Special Events: MiraMonte Winery intends to host occasional wine related events. These will be dependent upon the season and winery production schedule. Among these will be quarterly wineclub appreciation events, catered dinners, and private tastings for Valley tour groups. In addition to these regularly scheduled MiraMonte events, private and corporate groups may wish to schedule private and/or holiday parties.

Between the regularly scheduled MiraMonte special events and the private/corporate events, there is a potential for up to three events a month. For these various events, the attendance may be from about fifteen individuals to a maximum of one hundred fifty.

7. Signage: Small, lit "entry 500 feet" signs will be placed near the southwesterly corner of the property and the southeasterly corner. A monument sign will be located near the entry gate, just north of the regional trail easement. "MiraMonte Winery" will be painted above the east doors and lit from below.

Small, softly lit indicator signs designating limo and bus parking will be located in the appropriate spots. Standard Accessibility signs will be placed in the appropriate locations throughout the property.

A "stop" sign will be placed on the access driveway where the driveway meets with Rancho California Road. Sufficient "No Parking" signs shall be placed along Rancho California Road to deter visitors from parking on the street.

Transportation. 5 0010-Transportation-USE - TS/EXEMPT

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 5

0010-Transportation-USE - TS/EXEMPT (cont.)

Plan: PP23819R01

Parcel: 943110007

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 0060-BS-Grade-USE - LOT TO LOT DRAINAGE Not Satisfied

A recorded drainage easement is required for lot to lot drainage.

060 - BS-Grade. 2 0060-BS-Grade-USE IMPORT/EXPORT Not Satisfied

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety department. If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval. Additionally, if the movement of import/export occurs using county roads, review, and approval of the haul routes by the Transportation Department will be required.

060 - BS-Grade. 3 0060-BS-Grade-USE-G1.4 NPDES/SWPPP Not Satisfied

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 341-5455.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

060 - BS-Grade. 4 0060-BS-Grade-USE-G2.14OFFSITE GDG ONUS Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

060 - BS-Grade. 5 0060-BS-Grade-USE-G2.15NOTRD OFFSITE LTR Not Satisfied

A notarized letter of permission, from the affected property owners or easement holders, is required for any proposed off-site grading.

060 - BS-Grade. 6 0060-BS-Grade-USE-G2.4GEOTECH/SOILS RPTS Not Satisfied

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit.

All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.

*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

Plan: PP23819R01

Parcel: 943110007

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 7 0060-BS-Grade-USE-G2.7DRNAGE DESIGN Q100 Not Satisfied

All grading and drainage shall be designed in accordance with Riverside County Flood Control & Water Conservation District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

Additionally, the Building and Safety Department's conditional approval of this application includes an expectation that the conceptual grading plan reviewed and approved for it complies or can comply with any WQMP (water Quality Management Plan) required by Riverside County Flood Control & Water Conservation District.

Flood

060 - Flood. 1 Mitcharge - Use Not Satisfied

This project is located within the limits of the Murrieta Creek- Temecula Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. Fees shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Drainage fees shall be paid directly to the District. Personal or corporate checks will not be accepted for payment.

Planning

060 - Planning. 1 0060-Planning-USE - FEE STATUS Not Satisfied

Prior to the issuance of grading permits for Plot Plan No. 23819, the Planning Department shall determine the status of the deposit-based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR Not Satisfied

This site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. Hence:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1. The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2. The project paleontologist retained shall review the approved development plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a

Plan: PP23819R01

Parcel: 943110007

60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR (cont.) Not Satisfied
Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

A. The project paleontologist shall participate in a pre-construction project meeting with development staff and construction operations to ensure an understanding of any mitigation measures required during construction, as applicable.

B. Paleontological monitoring of earthmoving activities will be conducted on an as-needed basis by the project paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The project paleontologist or his/her assign will have the authority to reduce monitoring once he/she determines the probability of encountering fossils has dropped below an acceptable level.

C. If the project paleontologist finds fossil remains, earthmoving activities will be diverted temporarily around the fossil site until the remains have been evaluated and recovered. Earthmoving will be allowed to proceed through the site when the project paleontologist determines the fossils have been recovered and/or the site mitigated to the extent necessary.

D. If fossil remains are encountered by earthmoving activities when the project paleontologist is not onsite, these activities will be diverted around the fossil site and the project paleontologist called to the site immediately to recover the remains.

E. If fossil remains are found, fossiliferous rock will be recovered from the fossil site and processed to allow for the recovery of smaller fossil remains. Test samples may be recovered from other sampling sites in the rock unit if appropriate.

F. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators.

* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

G. A qualified paleontologist shall prepare a report of findings made during all site grading activity with an appended itemized list of fossil specimens recovered during grading (if any). This report shall be submitted to the County Geologist for review and approval prior to building final inspection as described elsewhere in this conditions set.

Plan: PP23819R01

Parcel: 943110007

60. Prior To Grading Permit Issuance

Planning

060 - Planning. 2 0060-Planning-USE - PALEO PRIMP & MONITOR (cont.) Not Satisfied

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist, Professional Engineer, etc.), as appropriate. Two wet-signed original copies of the report shall be submitted directly to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office.

060 - Planning. 3 0060-Planning-USE - PARCEL MERGR REQD (1) Not Satisfied

Prior to the issuance of a grading permit, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 943-110-007 and 943-110-008. The proposed parcel shall comply with the development standards of the Citrus Vineyard (C/V) zone.

060 - Planning. 4 0060-Planning-USE - SKR FEE CONDITION Not Satisfied

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which requires the payment of the appropriate fee set forth in that ordinance.

060 - Planning. 5 Gen - If Additional Grading to be Proposed Not Satisfied

If additional grading to the site is proposed, a grading permit must be submitted to the Building & Safety Department for review and approval. The Planning Department must also review the grading plans for compliance against approved entitlements. If any changes, additions, or expansions are to result from the grading, Planning will evaluate if additional entitlements are needed prior to grading permit issuance.

Regional Parks and Open Space

060 - Regional Parks and 0060-Regional Parks and Open Space-USE- TRAIL MAP Not Satisfied

Prior to the issuance of grading permits, the applicant shall submit a draft trail easement with exhibits to the Regional Park & Open-Space District for a 20-foot trail located outside of the proposed road ROW on Rancho California Road. The exhibits shall show the boundary of easement and trail shown in a graded condition. Should the application have any questions it is to contact Marc Brewer Sr. Park Planner at 951-955-4316.

Transportation

060 - Transportation. 1 0060-Transportation-USE - TRANSPORTATION Not Satisfied

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 0080-BS-Grade-USE* -G3.1NO B/PMT W/O G/PMT Not Satisfied

Prior to issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Grading Division of the Building and Safety Department.

Plan: PP23819R01

Parcel: 943110007

80. Prior To Building Permit Issuance

E Health

080 - E Health. 1 0080-E Health-USE - RWQCB OK Not Satisfied

A clearance letter from the appropriate California Regional Water Quality Control Board is required to address the estimated daily and peak wasteflows of the proposed project.

080 - E Health. 2 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code. Submit to DEH-DES-Murrieta 951.461.0284

080 - E Health. 3 Sewer Will Serve Not Satisfied

Established sewer from EMWD is required from the sewer agency serving the project.

080 - E Health. 4 Water Will Serve Not Satisfied

Established water from Rancho California Water District is required from the appropriate water agency.

Fire

080 - Fire. 1 0080-Fire-USE-#17A-BLDG PLAN CHECK \$ Not Satisfied

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

080 - Fire. 2 0080-Fire-USE-#4-WATER PLANS Not Satisfied

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

Flood

080 - Flood. 1 Mitcharge - Use Not Satisfied

This project is located within the limits of the Murrieta Creek- Temecula Valley Area Drainage Plan (ADP). The County Board of Supervisors has adopted this ADP to establish a drainage fee within the plan area pursuant to Ordinance No. 460 Section 10.25.

This project may require earlier construction of downstream ADP facilities. Therefore, the District recommends that this project be required to pay a flood mitigation fee. The mitigation charge for this project shall be equal to the prevailing ADP fee rate multiplied by the area of the new development. The charge is payable to the Flood Control District and shall be paid after final approval of the staff report/conditions of approval by the Board of Supervisors and prior to issuance of permits. Personal or corporate checks will not be accepted for payment.

Planning

080 - Planning. 1 0080-Planning-USE - AGENCY CLEARANCE Not Satisfied

Plan: PP23819R01

Parcel: 943110007

80. Prior To Building Permit Issuance

Planning

080 - Planning. 1 0080-Planning-USE - AGENCY CLEARANCE (cont.) Not Satisfied

A clearance letter from Waste Management shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated December 12, 2008.

080 - Planning. 2 0080-Planning-USE - CONFORM TO ELEVATIONS Not Satisfied

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on the APPROVED EXHIBIT.

080 - Planning. 3 0080-Planning-USE - CONFORM TO FLOOR PLANS Not Satisfied

Floor plans shall be in substantial conformance with that shown on the APPROVED EXHIBITS.

080 - Planning. 4 0080-Planning-USE - FEE STATUS Not Satisfied

Prior to issuance of building permits for Plot Plan No. 23819 & Revision No. 1 to Plot Plan No. 23819, the Planning Department shall determine the status of the deposit-based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

080 - Planning. 5 0080-Planning-USE - LC LANDSCAPE PLOT PLAN Not Satisfied

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2) Weather based controllers and necessary components to eliminate water waste;
- 3) A copy of the "stamped" approved grading plans; and,
- 4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;

Plan: PP23819R01

Parcel: 943110007

80. Prior To Building Permit Issuance

Planning

080 - Planning. 5 0080-Planning-USE - LC LANDSCAPE PLOT PLAN (cont.) Not Satisfied

6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

2) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

080 - Planning. 6 0080-Planning-USE - LIGHTING PLANS Not Satisfied

All implementing projects shall provide a lighting plan for the project area prior to approval. This plan shall include the location of onsite buildings and structures, the location of existing buildings and structures within surrounding properties, the distance between existing buildings and structures and proposed light sources, and other details of the proposed lighting (i.e., type, size, wattage, lumens, shielding type, etc.) during each phase of project development.

080 - Planning. 7 0080-Planning-USE - ROOF EQUIPMENT SHIELDING Not Satisfied

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval and as shown on the APPROVED EXHIBIT plans for all buildings.

080 - Planning. 8 0080-Planning-USE - SCHOOL MITIGATION Not Satisfied

Impacts to the Temecula Valley Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 9 0080-Planning-USE - SIGNS Not Satisfied

Prior to building permit issuance all "lit signs" referred to in the traffic management plan, dated July 14, 2009, shall be submitted to the Planning Department for review and approval.

080 - Planning. 10 If Additional Construction Proposed Not Satisfied

Plan: PP23819R01

Parcel: 943110007

80. Prior To Building Permit Issuance

Planning

080 - Planning. 10 If Additional Construction Proposed (cont.) Not Satisfied

If additional construction to the site is proposed, a construction permit must be submitted to the Building & Safety Department for review and approval. The Planning Department must also review the construction plans for compliance against approved entitlements. If any changes, additions, or expansions are to result from the construction, Planning will evaluate if additional entitlements are needed prior to grading permit issuance.

080 - Planning. 11 VINEYARD PLANTING INSPECTION Not Satisfied

Prior to building permit issuance, and in accordance with Ordinance 348 Section 14.95 D. 1, fifty percent (50%) of the planted vineyard planting shall be planted prior to issuance of building permit for the winery. The permit holder shall contact the Land Use Division or Planning Department to request an inspection. The County field representative shall conduct a site visit inspection to verify that vineyard planting has occurred in accordance with the approved vineyard planting plan. Once verified, the representative shall satisfy the condition of approval referring to the need for fifty percent (50%) vineyard planting. If the total seventy-five percent (75%) vineyard planting area is planted prior to building permit issuance, the County field representative can clear this condition of approval and the condition of approval for prior to final inspection for verification of vineyard planted area of a total of seventy-five percent (75%). Vineyard planting shall conform to the approved vineyard planting plan exhibit for the approved project.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 0090-BS-Grade-USE*G4.3PAVING INSPECTIONS Not Satisfied

The developer/applicant shall be responsible for obtaining the paving inspections required by Ordinance 457.

E Health

090 - E Health. 1 0090-E Health-USE - HAZMAT BUS PLAN Not Satisfied

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

090 - E Health. 2 0090-E Health-USE - HAZMAT CONTACT Not Satisfied

Contact the Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

090 - E Health. 3 0090-E Health-USE - HAZMAT REVIEW Not Satisfied

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

090 - E Health. 4 E Health Clearance Not Satisfied

Prior to building permit final, clearance must be obtained from the Department of Environmental Health.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Fire

090 - Fire. 1 0090-Fire-USE-#12A-SPRINKLER SYSTEM Not Satisfied

Install a complete fire sprinkler system per NFPA 13 2002 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout.

090 - Fire. 2 0090-Fire-USE-#27-EXTINGUISHERS Not Satisfied

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

090 - Fire. 3 0090-Fire-USE-#36-HOOD DUCTS Not Satisfied

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical components and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

090 - Fire. 4 0090-Fire-USE-#45-FIRE LANES Not Satisfied

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

Planning

090 - Planning. 1 0090-Planning-USE - ACCESSIBLE PARKING Not Satisfied

A minimum of four (4) accessible parking spaces for persons with disabilities shall be provided. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 1 0090-Planning-USE - ACCESSIBLE PARKING (cont.) Not Satisfied
stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

090 - Planning. 2 0090-Planning-USE - EXISTING STRUCTURES Not Satisfied

All existing buildings, structures and uses on the entire property shall conform to all the applicable requirements of Ordinance No. 348 and Ordinance No. 457, and the conditions of this permit.

090 - Planning. 3 0090-Planning-USE - LC COMPLY W/ LNDSCP/ IRR Not Satisfied

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

090 - Planning. 4 0090-Planning-USE - LC LNDSCP INSPECT DEPOST Not Satisfied

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment Inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

090 - Planning. 5 0090-Planning-USE - ORD 810 FEE (2) Not Satisfied

Prior to the issuance of a certificate of occupancy, or building permit final inspection, or prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance.

090 - Planning. 6 0090-Planning-USE - ORD NO. 659 (DIF) Not Satisfied

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance.

090 - Planning. 7 0090-Planning-USE - PALEO MONITORING REPORT Not Satisfied

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 7 0090-Planning-USE - PALEO MONITORING REPORT Not Satisfied
PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

090 - Planning. 8 0090-Planning-USE - PARKING PAVING MATERIAL Not Satisfied

A minimum of 82 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced to current standards as approved by the Department of Building and Safety.

090 - Planning. 9 0090-Planning-USE - ROOF EQUIPMENT SHIELDING Not Satisfied

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

090 - Planning. 10 0090-Planning-USE - SIGNS Not Satisfied

Prior to building permit final, all "lit signs" referred to in the traffic management plan dated July 14, 2009, shall be submitted to the Planning Department for review and approval.

090 - Planning. 11 0090-Planning-USE - TRASH ENCLOSURES Not Satisfied

One (1) trash enclosure which is adequate to enclose a minimum of one (1) bin shall be located as shown on the APPROVED EXHIBIT A and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and shall include landscaping screening and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

090 - Planning. 12 0090-Planning-USE - UTILITIES UNDERGROUND Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

090 - Planning. 13 0090-Planning-USE - VINEYARD PLANTING Not Satisfied

Prior to building permit final inspection, seventy-five percent (75%) of the net lot area (7.9 acres) shall be planted in vineyards.*

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Planning

090 - Planning. 13 0090-Planning-USE - VINEYARD PLANTING (cont.) Not Satisfied

*EXCEPTION: Retaining walls, septic systems, and all permits related to the restroom can receive building permit final inspection (all other permits cannot be finalized until 75% vineyard planting is achieved).

090 - Planning. 14 0090-Planning-USE - WALL & FENCE LOCATIONS Not Satisfied

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT.

090 - Planning. 15 ABC Licensing Not Satisfied

Prior to obtaining a Certificate of Occupancy, a winery operator shall obtain all applicable permits or licenses required by the California Department of Beverage Control and provide proof of license to the Riverside County Planning Department for permit clearance.

Transportation

090 - Transportation. 1 0090-Transportation-USE - EXISTING MAINTAINED Not Satisfied

Rancho California Road is a paved County maintained road designated as a Mountain Arterial highway and shall be improved with AC pavement tapering for acceleration and deceleration transition lane and join existing AC pavement at the driveway(s) as determined by the Director of Transportation Department.

1. At the driveway the edge of pavement return shall be 35' radius.
2. Acceleration and deceleration lane shall be per County Standard No. 803 or/and as determined by the Director of Transportation.

090 - Transportation. 2 0090-Transportation-USE - IMP PLANS Not Satisfied

Improvement plans for the required improvements must be prepared.

1. Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department (Website: www.rctlma.org/trans/land_dev_plan_check_guidelines.html).
2. If you do not prepare the improvement plans per the policies and guidelines, it may cause a delay in the processing of your plans.

090 - Transportation. 3 0090-Transportation-USE - SIGNING & STRIPING Not Satisfied

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

090 - Transportation. 4 0090-Transportation-USE - UTILITY INSTALL Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

Plan: PP23819R01

Parcel: 943110007

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 4 0090-Transportation-USE - UTILITY INSTALL (cont.) Not Satisfied

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

090 - Transportation. 5 0090-Transportation-USE - UTILITY PLAN Not Satisfied

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

090 - Transportation. 6 0090-Transportation-USE - WRCOG TUMF Not Satisfied

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

RECEIVED RIVERSIDE COUNTY
CLERK/BOARD OF SUPERVISORS

2023 NOV -8 AM 10:35

CLERK OF THE BOARD

4080 LEMON STREET, 1ST FLOOR.

POST OFFICE BOX 1147

RIVERSIDE, CA 92502-1147



State of California - Department of Fish and Wildlife
2023 ENVIRONMENTAL DOCUMENT FILING FEE
CASH RECEIPT

DFW 753.5a (REV. 01/01/23) Previously DFG 753.5a

RECEIVED RIVERSIDE COUNTY
 CLERK BOARD OF SUPERVISORS

2023 NOV -8 AM 10:35

RECEIPT NUMBER: 23-277771
STATE CLEARINGHOUSE NUMBER (If applicable)

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY.

LEAD AGENCY CLERK OF THE BOARD OF SUPERVISORS	LEAD AGENCY EMAIL COB@RIVCO.ORG	DATE 10/04/2023
COUNTY/STATE AGENCY OF FILING RIVERSIDE		DOCUMENT NUMBER E-202301067

PROJECT TITLE
PPT23819, CZ2300005, ORD348.5003

PROJECT APPLICANT NAME CLERK OF THE BOARD OF SUPERVISORS	PROJECT APPLICANT EMAIL COB@RIVCO.ORG	PHONE NUMBER (951) 955-1069
PROJECT APPLICANT ADDRESS 4080 LEMON ST. 1ST FLOOR,	CITY RIVERSIDE	STATE CALI
		ZIP CODE 92501

PROJECT APPLICANT (Check appropriate box)

Local Public Agency School District Other Special District State Agency Private Entity

CHECK APPLICABLE FEES:

<input type="checkbox"/> Environmental Impact Report (EIR)	\$3,839.25	\$ _____
<input type="checkbox"/> Mitigated/Negative Declaration (MND)(ND)	\$2,764.00	\$ _____
<input type="checkbox"/> Certified Regulatory Program (CRP) document - payment due directly to CDFW	\$1,305.25	\$ _____
<input type="checkbox"/> Exempt from fee		
<input type="checkbox"/> Notice of Exemption (attach)		
<input type="checkbox"/> CDFW No Effect Determination (attach)		
<input type="checkbox"/> Fee previously paid (attach previously issued cash receipt copy)		
<hr/>		
<input type="checkbox"/> Water Right Application or Petition Fee (State Water Resources Control Board only)	\$850.00	\$ _____
<input type="checkbox"/> County documentary handling fee		\$ _____ \$0.00
<input type="checkbox"/> Other		\$ _____

PAYMENT METHOD:

Cash Credit Check Other

TOTAL RECEIVED \$ _____ \$0.00

SIGNATURE X	AGENCY OF FILING PRINTED NAME AND TITLE Deputy Irma Rodriguez
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Lead Agency: CLERK OF THE BOARD OF SUPERVISORS
ATTN: KATHLEEN MITCHELL, PROJECT PLANNER
Address: 4080 LEMON STREET 1ST FLOOR
P.O. BOX 1147
RIVERSIDE, CA 92502-1147

FILED / POSTED

County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder

E-202301067
10/04/2023 05:00 PM Fee: \$ 0.00
Page 1 of 2

Removed: 11/6/2023 By: J. Rodriguez Deputy



Project Title

PPT23819, CZ2300005, ORD348.5003

Filing Type

- Environmental Impact Report
- Mitigated/Negative Declaration
- Notice of Exemption
- Other: NOTICE OF PUBLIC HEARING

Notes

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON A PLOT PLAN, CHANGE OF ZONE AND ADOPTION OF ORDINANCE IN THE SOUTHWEST AREA PLAN, THIRD SUPERVISORIAL DISTRICT

NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on **Tuesday, October 31, 2023 at 10:00 A.M.** or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve **Plot Plan No. 23819- Revision No. 1, Change of Zone No. 2300005 and Adoption of Ordinance No. 348.5003:** Change of Zone No. 2300005 proposes to change the zoning classification of the subject site from Citrus Vineyard (C/V) to Wine Country-Winery Existing (WC-WE). The applicant is requesting a Change of Zone to bring the subject site into compliance with the standards of the Temecula Valley Wine Country Policy Area – Winery District that the subject site is within. Plot Plan No. 23819 Revision No. 1 is a request to classify an existing winery as a Class III winery that is comprised of a 1,233 square foot tasting room, 4,849 square foot deck area, 600 square foot office space, 1,500 square foot barrel room, 1,500 square foot receiving room, and 74 parking spaces. The Project scope also includes minor modifications to accommodate an additional use, which includes the conversion of the 1,500 square foot barrel room into a commercial kitchen. – APN 943-110-020. This proposed project is located north of Rancho California Road, east of La Serena, and west of Calle Contento Road in the Third Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors **FIND** that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), **APPROVE PLOT PLAN NO. 23819 REVISION NO. 1, APPROVE CHANGE OF ZONE NO. 2300005 and ADOPT ORDINANCE NO. 348.5003.**

On September 20, 2023, the Planning Commission approved staff recommendation to the Board of Supervisors by a vote of 4-0. The Planning Department meeting documents for the proposed project may be viewed online under the Planning Commission hearing date on the Public Hearing page of the Planning Department website: <https://planning.rctlma.org/Public-Hearings>.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT KATHLEEN MITCHELL, PROJECT PLANNER, AT (951)955-6836 OR EMAIL KMITCHELL@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1069, at least 72 hours prior to hearing.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: October 4, 2023

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant