

**SUBMITTAL TO THE BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**ITEM: 21.1
(ID # 24241)**

MEETING DATE:

FROM : TLMA-PLANNING:

Tuesday, March 05, 2024

SUBJECT: TRANSPORTATION AND LAND MANAGEMENT AGENCY/PLANNING: Public Hearing on GENERAL PLAN AMENDMENT NO. 210006, CHANGE OF ZONE NO. 2100014, ADOPTION OF ORDINANCE NO. 348.5011, CONDITIONAL USE PERMIT NO. 210121 - Intent to Adopt a Mitigated Negative Declaration – Applicant: The Ridge Wellness Inc. – Fourth Supervisorial District – Garner Valley Zoning Area – REMAP Area Plan – Open Space: Rural – Location: North-east of Highway 74 and south of Apple Canyon Road – 36.11 Gross Acres – Existing Zoning: Light Agricultural 20-acre minimum – REQUEST: General Plan Amendment No. 210006, proposal to amend the land use designation of the subject site from Open Space – Rural to Open Space – Recreation to allow for the development of a guest ranch. Change of Zone No. 2100014, proposal to change the zoning classification of the subject site from Light Agriculture 20 acre minimum to Natural Assets to align the subject site's zoning classification more closely with both the proposed land use designation and the development. Conditional Use Permit No. 210121, proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11 acre lot. Approximately 29,035 sq.ft. of building improvements are to be constructed to facilitate the site activities, 35 employees overseeing the operations that are to occur 24 hours a day/seven days a week. These structures include the following: an administrative building, activity hub with an outdoor lap swimming pool, common dining area, four guest cabin buildings with 30 rooms, six glamping tents, a sound bath building, wellness base camp, wellness sanctuary center, and a greenhouse. Recreational activities include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. Sixty parking spaces are proposed, including three ADA spaces, three EV spaces, and 18 spaces for staff. Minimal other improvements proposed. District 4. [Applicant Fees 100%]

RECOMMENDED MOTION: That the Board of Supervisors:

Continued on page 2

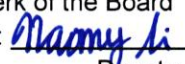
ACTION:Policy


John Hildbrand, Planning Director 2/29/2024

MINUTES OF THE BOARD OF SUPERVISORS

On motion of Supervisor Perez, seconded by Supervisor Washington and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended and Ordinance 348. 5011 is adopted with waiver of the reading.

Ayes: Jeffries, Spiegel, Washington, Perez and Gutierrez
Nays: None
Absent: None
Date: March 5, 2024
xc: Planning, COBCF/AB/DL

Kimberly A. Rector
Clerk of the Board
By: 
Deputy

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

RECOMMENDED MOTION: That the Board of Supervisors:

1. **ADOPT a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 210210**, based on the findings and conclusions provided in the initial study, attached hereto, and the conclusion that the project will not have a significant effect on the environment;
2. **TENTATIVELY APPROVE GENERAL PLAN AMENDMENT NO. 210006** amending the subject site from a General Plan Land Use Designation of Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) based on the findings and conclusions incorporated in the staff report and, subject to the final adoption of the General Plan Amendment Resolution by the Board of Supervisors at a subsequent hearing;
3. **APPROVE CHANGE OF ZONE NO. 2100014** to amend the zoning classification of the Project site from Light Agriculture, 20 acre minimum (A-1-20) to Natural Assets (N-A), based upon the findings and conclusions incorporated in the staff report, and subject to final adoption of a General Plan Amendment Resolution for GPA210006 by the Board of Supervisor at a subsequent hearing;
4. **ADOPT ORDINANCE NO. 348.5011** amending the zoning in the Riverside Extended Mountain Area Plan (REMAP) as shown on Map No. 64.0004, Change of Zone No. 2100014 attached hereto and incorporated herein by reference; and
5. **APPROVE CONDITIONAL USE PERMIT NO. 210121**, subject to the attached Advisory Notification Document, Conditions of Approval, and based upon the findings and conclusions provided in this staff report and subject to approval of the General Plan Amendment Resolution and Zoning Ordinance by the Board of Supervisors.

FINANCIAL DATA	Current Fiscal Year:	Next Fiscal Year:	Total Cost:	Ongoing Cost
COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
NET COUNTY COST	\$ N/A	\$ N/A	\$ N/A	\$ N/A
SOURCE OF FUNDS: Applicant Fees 100%			Budget Adjustment:	No
			For Fiscal Year:	N/A

C.E.O. RECOMMENDATION: Approve

BACKGROUND

Summary

On July 23, 2021, the applicant, Ridge Wellness Inc., submitted Conditional Use Permit No. 210121 (CUP210121) to the County of Riverside for consideration. The applicant is proposing the development of an eco-conscious private guest wellness ranch on a portion of a 36.11-acre

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate operations. These structures include the following: a 782 square foot administrative and storage building; a 912 square foot activity hub with an outdoor lap swimming pool; a 4,899 square foot common area with a kitchen and dining areas; 4 guest cabin buildings, ranging in size from 3,162 square feet to 8,354 square feet, that have a total of 30 rooms; six 300 square foot glamping tents; a 479 square foot sound bath building; a 2,292 square foot wellness base camp with bench seating and a theater screen; a 5,721 square foot wellness sanctuary center that is comprised of a salt cave, steam room, quantum room, colon hydrotherapy room, a cold and hot plunge, and six treatment rooms; and a 927 square foot greenhouse. Recreational activities would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing.

35 employees are on-site at any given time, and operations are to occur 24 hours per a day, 7 days a week. The subject site will retain all the natural vegetation and all the existing large pine trees within its design. There would be 60 standard parking spaces, including three ADA parking spaces, three EV parking spaces, and 18 staff parking spaces, to service operations.

General Plan Consistency

The subject site has an existing General Plan land use designation of Open Space – Rural (OS-RUR). The intent of General Plan Amendment No. 210006 (GPA210006) is to amend the land use designation to Open Space – Recreation (OS-R) to facilitate the development of the proposed Project. As such, GPA210006 is an entitlement amendment, which allows for an amendment of a land use designation within a given General Plan Foundation Component. This is further detailed in the General Plan Amendment Findings below.

The land use designation of OS-R allows for active and passive recreational uses such as parks, trails, campgrounds, athletic fields, golf courses, and off-road vehicle parks. Ancillary structures may be permitted for recreational opportunities; however, the actual building or structure size, siting, and design is determined to be compliant with the intent of the General Plan on a case-by-case basis. The Project would be compliant as it is proposing the development of a guest ranch facility, akin to a campground, with ancillary structures and trails to promote recreational opportunities. Recreational activities would include both active and passive uses, such as swimming, hiking, mountain biking, horseback riding, and rock climbing. This is further detailed in the Land Use Findings below.

Ordinance No. 348 Consistency

The current zone classification for the property is Light Agriculture, 20 acre minimum. The Project is proposing CZ2100014 to the County of Riverside for consideration to change the subject site's zone classification to Natural Assets (N-A). The change of zone proposal would accommodate the various specifications desired for the proposed use, which is akin to a guest ranch that is a permitted use subject to approval of a Conditional Use Permit, as well as bring the subject site into consistency with proposed GPA210006. With approval of the change of

**SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA**

zone, the Project would be subject to the development standards outlined in Article XVb Section 15.201 (Development Standards) of Ordinance No. 348. Staff has reviewed the Project and has determined that it is compliant with the applicable development standards of the N-A zoning classification, which is further detailed in the Development Standards Findings below.

Impact on Residents and Businesses

An Initial Study (IS) and a Mitigated Negative Declaration (MND) have been prepared for this Project in accordance with the California Environmental Quality Act (CEQA). The IS and MND represent the independent judgement of Riverside County. The documents were circulated for public review per the California Environmental Quality Act Statute and Guidelines Section 15105. As of the writing of this staff report, no comment letters in response to the revised IS and MND have been received, and no additional revisions to the Project have been made. All documents supporting the CEQA determination are located on the 12th floor in the planning department, located at 4080 Lemon Street, Riverside, CA 92501. While the IS identifies potentially significant impacts, mitigation measures have been incorporated into the Project to reduce those impacts to a level that is less than significant. Accordingly, the Project, as reviewed and conditioned, will not result in any potentially significant environmental impacts with the incorporation of the mitigation as required under the MND.

Planning Commission Public Hearing

At the Planning Commission public hearing held on January 17, 2024, the Project applicant requested minor updates to the Transportation and Biology conditions of approval to reflect the Initial Study and the proposed development scope more accurately. As these modifications did not substantially modify nor remove any of the conditions of approval brought forward at this hearing, the Commissioners proceeded with making a recommendation on the Project.

On January 17, 2024, the Planning Commission recommended approval of the Project to the Board of Supervisors by a vote of 4-0.

The modifications to the conditions have since been discussed and agreed upon with the applicant, and those updated conditions have been provided in the attached exhibit.

Additional Fiscal Information

All fees are paid by the applicant; there is no General Fund obligation.

ATTACHMENTS:

- A. PLANNING COMMISSION REPORT OF ACTIONS
- B. PLANNING COMMISSION RESOLUTION NO. 2024-001
- C. PLANNING COMMISSION STAFF REPORT
- D. PROJECT EXHIBITS

SUBMITTAL TO THE BOARD OF SUPERVISORS COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA

- E. UPDATED CONDITIONS OF APPROVAL
- F. ORDINANCE NO. 348.5011 for CHANGE OF ZONE NO. 2100014



Jason Farin, Principal Management Analyst 2/27/2024



Aaron Gettis, Chief Deputy County Counsel 2/22/2024



Aaron Gettis, Chief Deputy County Counsel 2/22/2024

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ORDINANCE NO. 348.5011

AN ORDINANCE OF THE COUNTY OF RIVERSIDE


AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and Garner Valley District Zoning Plan Map No. 64, as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, Garner Valley District, Map No. 64.004 Change of Zone Case No. 2100014," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY
OF RIVERSIDE, STATE OF CALIFORNIA

By: 
Chair, Board of Supervisors
Chuck Washington

ATTEST:
KIMBERLY RECTOR
Clerk of the Board

By: 
Deputy

(SEAL)

APPROVED AS TO FORM
February 15, 2024

By: 
AARON C. GETTIS
Chief Deputy County Counsel

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STATE OF CALIFORNIA)
)
COUNTY OF RIVERSIDE) ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on March 05, 2024, the foregoing ordinance consisting of 2 Sections was adopted by the following vote:

AYES: Jeffries, Spiegel, Washington, Perez, and Gutierrez
NAYS: None
ABSENT: None

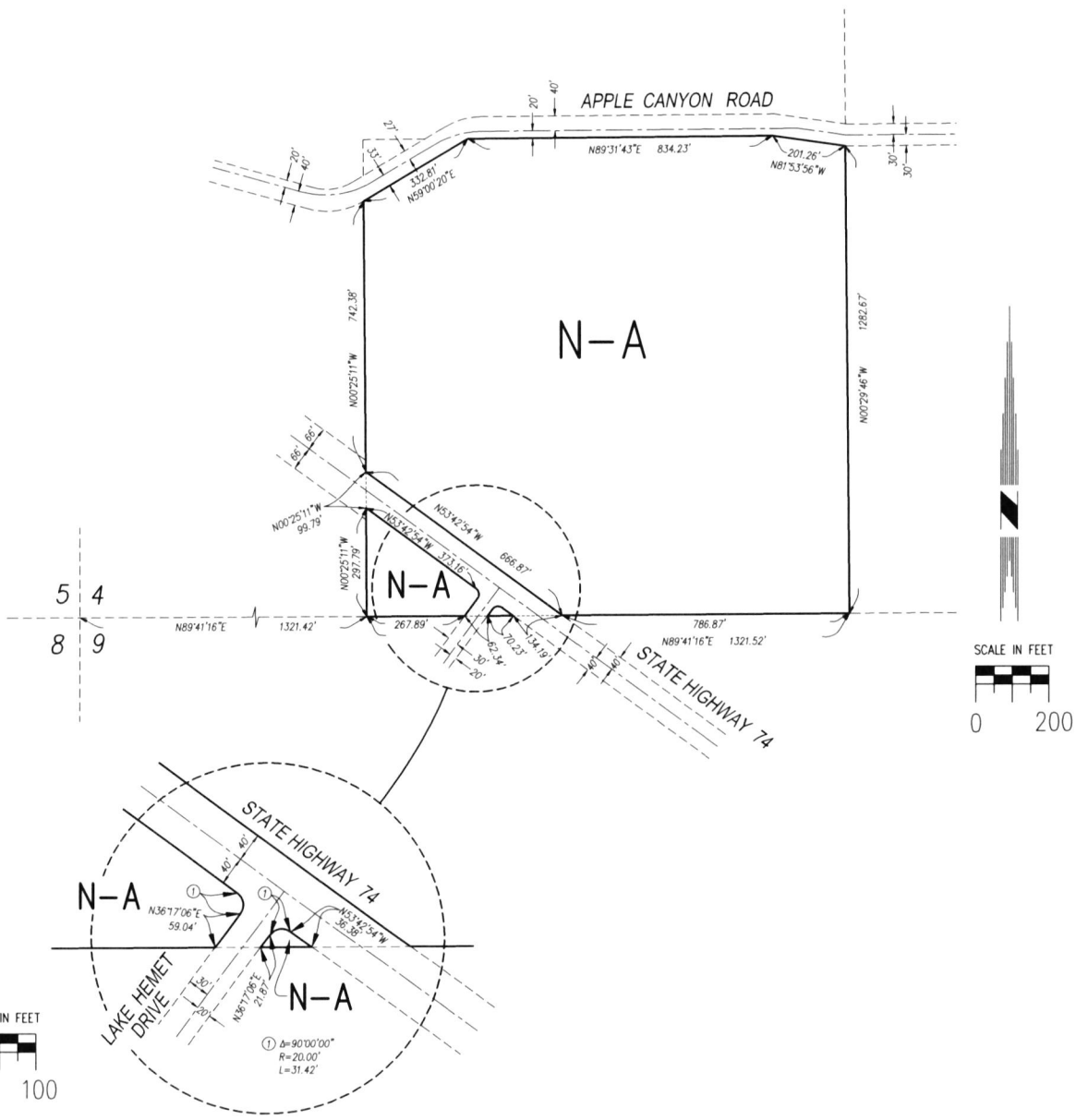
DATE: March 05, 2024

KIMBERLY A. RECTOR
Clerk of the Board

BY: Naomy Li
Deputy

SEAL

SEC. 4, T.6S., R.3E. S.B.B & M.



N-A

NATURAL ASSETS

MAP NO. 64.004

CHANGE OF OFFICIAL ZONING PLAN
 GARNER VALLEY DISTRICT

CHANGE OF ZONE CASE NO. 2100014
 AMENDING ORDINANCE NO. 348
 ADOPTED BY ORDINANCE NO. 348.5011
 DATE: _____
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

APN: 568-070-006, 007, 021



RIVERSIDE COUNTY PLANNING DEPARTMENT

REPORT OF ACTIONS RIVERSIDE COUNTY PLANNING COMMISSION – January 17, 2024 COUNTY ADMINISTRATIVE CENTER 1st Floor, Board Chambers, 4080 Lemon Street, Riverside, CA 92501

1st District
Shade Awad

2nd District
Marissa Gruytch

3rd District
VACANT

4th District
Bill Sanchez
Chair

5th District
Romelio Ruiz
Vice- Chair

CALL TO ORDER: 9:00 a.m.

ROLL CALL: Members Present: Gruytch, Sanchez, Awad,
Members Absent: Ruiz

1.0 CONSENT CALENDAR:

1.1 **AB-General (ABG) No. 23007** – Applicants / Representatives: Jessica Toohey and Derek Barbour (Richland Ventures, Inc.) – Third Supervisorial District – Winchester Area Zoning Area/District – Harvest Valley/Winchester Area Plan – Locations: Named but unimproved right-of-way (Busby, Spiro, Ano Crest and Leon Roads respectively) traversing 13 lots (to be subdivided and reconfigured pursuant to Tract Map No’s. 30976 and 30977) within Planning Areas 49, 50A, 50B, 54, 55 and 56 of the Winchester Hills Specific Plan (No. 293) – REQUEST: A recommendation by the Planning Commission to the Transportation Department, in accordance with County of Riverside policies and procedures, to continue processing ABG No. 23007 for the Conditional General Vacation of existing Busby and Spiro Roads, as well as portions of existing Ano Crest and Leon Roads for purpose of implementing development pursuant to approved Tract Map No’s. 30977 and 30976 – APNs: 466-340-006, 466-340-009 - 015, 466-340-023 - 025, 340-340-027 and 028. Project Planner: Aubrey Finn at (951) 955-6733or afinn@rivco.org.

Planning Commission Action:
Public Hearing: Closed

By a vote of 3-0, the Planning Commission took the following actions:

APPROVED The Transportation Department continue processing ABG23007 road vacations.

1.2 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 37801**– Applicant: Vance Campbell c/o Monroe Properties, LLC – Representative: John Corella c/o Ancore Associates International, Inc – Fourth Supervisorial District – Lower Coachella Valley District – Eastern Coachella Valley Area Plan – Community Development: Mixed Use Area (CD-MUA) – Location: Southeast corner of Airport Boulevard and Monroe Street – 22.16 Net Acres – Zoning: Mixed Use (MU) – Approved Project Description: Schedule “E” subdivision to create seven (7) parcels ranging from 1.13 acres to 6.48 acres for the Vista Santa Rosa Gateway Village. REQUEST: First Extension of Time Request extending the expiration date three (3) years from 12/16/2023 to 12/16/2026. APN(s): 764-070-001 thru 003, 764-080-001, 002, 010, 011 – Project Planner: Rosemary Montoya at (951) 955-0897 or romontoya@rivco.org. Staff submitted memo correcting expiration date to February 9, 2027.

APPROVED Fourth Extension of Time Request for Tentative Parcel Map No. 37801, extending the expiration date to February 9, 2027.

2.0 **GENERAL PLAN AMENDMENT INITIATION PROCEEDINGS:**
NONE

3.0 **PUBLIC HEARINGS – CONTINUED ITEMS:**
NONE

4.0 **PUBLIC HEARINGS – NEW ITEMS:**

4.1 **GENERAL PLAN AMENDMENT NO. 210006, CHANGE OF ZONE NO. 2100014 & CONDITIONAL USE PERMIT NO.**

Planning Commission Action:
Public Hearing: Closed

PLANNING COMMISSION – REPORT OF ACTIONS – January 17, 2024

210121 – Intent to Adopt a Mitigated Negative Declaration

– Applicant: The Ridge Wellness Inc. – Fourth Supervisorial District – Garner Valley Zoning Area – REMAP Area Plan – Open Space: Rural (OS-RUR) – Location: North-east of Highway 74 and south of Apple Canyon Road – 36.11 Gross Acres – Existing Zoning: Light Agricultural 20-acre lot minimum (A-1-20) – REQUEST: General Plan Amendment No. 21000, proposal to amend the land use designation of the subject site from Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) to allow for the development of a guest ranch. Change of Zone No. 2100014, proposal to change the zoning classification of the subject site from Light Agriculture 20 acre minimum (A-1-20) to Natural Assets (N-A) to align the subject site’s zoning classification more closely with both the proposed land use designation and the development. Conditional Use Permit No. 210121, proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 sq ft of building improvements are to be constructed to facilitate the site activities, 35 employees overseeing the operations that are to occur 24 hours a day/seven (7) days a week. These structures include the following: an administrative building, activity hub with an outdoor lap swimming pool, common dining area, four (4) guest cabin buildings with 30 rooms, six (6) glamping tents, a sound bath building, wellness base camp, wellness sanctuary center, and a greenhouse. Recreational activities include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. Sixty parking spaces are proposed, including three (3) ADA spaces, three (3) EV spaces, and 18 spaces for staff. Minimal other improvements proposed. Project Planner: Kathleen Mitchell at 951-955-6836 or email at kmitchell@rivco.org.

By a vote of 3-0, the Planning Commission took the following actions:

Adopted Planning Commission Resolution No 2024-001; and,

By a vote of 3-0, the Planning Commission recommended that the Board of Supervisors take the following actions:

ADOPT a Mitigated Negative Declaration for Environmental Assessment No. 210210; and

TENTATIVELY APPROVE General Plan Amendment No. 210006; and,

TENTATIVELY APPROVE Change of Zone No. 2100014; and,

APPROVE Conditional Use Permit No. 210121, subject to the attached Advisory Notification Document, Conditions of Approval.

5.0 WORKSHOPS:

NONE

6.0 PUBLIC COMMENTS:

None

7.0 DIRECTOR’S REPORT:

8.0 COMMISSIONER’S COMMENTS:

ADJOURNMENT: 9:39

RESOLUTION 2024-001
RECOMMENDING ADOPTION OF
GENERAL PLAN AMENDMENT NO. 210006

WHEREAS, pursuant to the provisions of Government Code Section(s) 65350/65450 et seq., a public hearing was held before the Riverside County Planning Commission in Riverside, California on January 17, 2024, to consider the above-referenced matter; and,

WHEREAS, all the procedures of the California Environmental Quality Act and the Riverside County Additional Procedures to Implement the California Environmental Quality Act have been satisfied and the recommendation to consider adoption of a Mitigated Negative Declaration for Environmental Assessment No. 210210, based on the findings and conclusions provided in the initial study and the conclusion that the project will not have a significant effect on the environment, has been evaluated in accordance with the above-referenced Act and Procedures; and,

WHEREAS, the matter was discussed fully with testimony and documentation presented by the public and affected government agencies; now, therefore,

BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Planning Commission of the County of Riverside, in regular session assembled on January 17, 2024, that it has recommended adoption of a Mitigated Negative Declaration for Environmental Assessment No. 210210, based on the initial study findings, and recommends the following based on the staff report and the findings and conclusions stated therein:

APPROVAL of GENERAL PLAN AMENDMENT NO. 210006.



**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.

4.1

(ID # 23826)

MEETING DATE:

Wednesday, January 17, 2024

SUBJECT: GENERAL PLAN AMENDMENT NO. 210006, CHANGE OF ZONE NO. 2100014 & CONDITIONAL USE PERMIT NO. 210121 – Intent to Adopt a Mitigated Negative Declaration – Applicant: The Ridge Wellness Inc. – Fourth Supervisorial District – Garner Valley Zoning Area – REMAP Area Plan – Open Space: Rural (OS-RUR) – Location: North-east of Highway 74 and south of Apple Canyon Road – 36.11 Gross Acres – Existing Zoning: Light Agricultural 20-acre lot minimum (A-1-20) – REQUEST: General Plan Amendment No. 21000, proposal to amend the land use designation of the subject site from Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) to allow for the development of a guest ranch. Change of Zone No. 2100014, proposal to change the zoning classification of the subject site from Light Agriculture 20 acre minimum (A-1-20) to Natural Assets (N-A) to align the subject site’s zoning classification more closely with both the proposed land use designation and the development. Conditional Use Permit No. 210121, proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11 acre lot. Approximately 29,035 sq ft of building improvements are to be constructed to facilitate the site activities, 35 employees overseeing the operations that are to occur 24 hours a day/seven (7) days a week. These structures include the following: an administrative building, activity hub with an outdoor lap swimming pool, common dining area, four (4) guest cabin buildings with 30 rooms, six (6) glamping tents, a sound bath building, wellness base camp, wellness sanctuary center, and a greenhouse. Recreational activities include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. Sixty parking spaces are proposed, including three (3) ADA spaces, three (3) EV spaces, and 18 spaces for staff. Minimal other improvements proposed. Project Planner: Kathleen Mitchell at 951-955-6836 or email at kmitchell@rivco.org.

PROPOSED PROJECT

Case Number(s):	GPA210006, CZ2100014, CUP210121
Environmental Type:	Mitigated Negative Declaration
Area Plan No.	REMAP
Zoning Area/District:	Garner Valley District
Supervisorial District:	Fourth District
Project Planner:	Kathleen Mitchell
Project APN(s):	568-070-021
Continued From:	


John Hildebrand, Planning Director 12/27/2023

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

PROJECT DESCRIPTION AND LOCATION

General Plan Amendment No. 210006 (GPA210006) is a proposal to amend the Land Use Designation of the subject site from Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) to allow for the development of a guest ranch.

Change of Zone No. 2100014 (CZ2100014) is a proposal to change the zoning classification of the subject site from Light Agriculture, 20 acre minimum (A-1-20) to Natural Assets (N-A). The applicant is requesting a Change of Zone to align the subject site’s zoning classification more closely with both the proposed land use designation and the proposed development.

Conditional Use Permit No. 210121 (CUP210121) is a proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate operations. These structures include the following: an administrative and storage building; an activity hub with an outdoor lap swimming pool; a common area with a kitchen and dining areas; 4 guest cabin buildings with 30 rooms; six glamping tents; a sound bath building; a wellness base camp with bench seating and a theater screen; a wellness sanctuary center that is comprised of a salt cave, steam room, quantum room, colon hydrotherapy room, a cold and hot plunge, and six treatment rooms; and a greenhouse. Recreational activities to occur on-site would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. 35 employees are present at any given time, and operations are to occur 24 hours per a day, 7 days a week. The subject site will retain all the natural vegetation and all the existing large pine trees within its design. 60 parking spaces are proposed to service operations, including 3 ADA spaces, 3 EV spaces, and 18 spaces for staff.

The above is hereinafter referred to in this staff report as the “Project.”

The Project is located within Riverside Extended Mountain Area Plan (REMAP). The Project site is north-east of Highway 74 and south of Apple Canyon Road.

PROJECT RECOMMENDATION

THAT THE PLANNING COMMISSION TAKE THE FOLLOWING ACTIONS:

ADOPT PLANNING COMMISSION RESOLUTION NO. 2024-001 recommending adoption of General Plan Amendment No. 210006 to the Riverside County Board of Supervisors; and

THAT THE PLANNING COMMISSION RECOMMENDS THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

ADOPT a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 210210**, based on the findings and conclusions provided in the initial study, attached hereto, and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVELY APPROVE **GENERAL PLAN AMENDMENT NO. 210006** amending the subject site from a General Plan Land Use Designation of Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) based on the findings and conclusions incorporated in the staff report and, subject to the final adoption of the General Plan Amendment Resolution by the Board of Supervisors; and,

TENTATIVELY APPROVE **CHANGE OF ZONE NO. 2100014** to amend the zoning classification of the Project site from Light Agriculture, 20 acre minimum (A-1-20) to Natural Assets (N-A), based upon the findings and conclusions incorporated in the staff report, and pending final adoption of the Zoning Ordinance and General Plan Amendment Resolution for General Plan Amendment No. 210006 by the Board of Supervisors; and,

APPROVE **CONDITIONAL USE PERMIT NO. 210121**, subject to the attached Advisory Notification Document, Conditions of Approval, and based upon the findings and conclusions provided in this staff report and subject to approval of the General Plan Amendment Resolution and Zoning Ordinance by the Board of Supervisors.

PROJECT DATA

Land Use and Zoning:	
Specific Plan:	N/A
Specific Plan Land Use:	N/A
Existing General Plan Foundation Component:	Open Space (OS)
Proposed General Plan Foundation Component:	N/A
Existing General Plan Land Use Designation:	Rural (RUR)
Proposed General Plan Land Use Designation:	Recreation (R)
Policy / Overlay Area:	N/A
Surrounding General Plan Land Uses	
North:	Open Space – Conservation Habitat (OS-CH), Open Space – Recreation (OS-R)
East:	Open Space – Rural (OS-RUR)

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

South:	Open Space – Rural (OS-RUR), Open Space – Recreation (OS-R)
West:	Open Space – Conservation Habitat (OS-CH)
Existing Zoning Classification:	Light Agriculture, 20 acre minimum (A-1-20)
Proposed Zoning Classification:	Natural Assets (N-A)
Surrounding Zoning Classifications	
North:	Natural Assets, 160 acre minimum (N-A-160)
East:	Light Agriculture, 20 acre minimum (A-1-20)
South:	Natural Assets, 160 acre minimum (N-A-160)
West:	Natural Assets, 160 acre minimum (N-A-160)
Existing Use:	Vacant
Surrounding Uses	
North:	Residential, Campground
East:	Vacant
South:	Vacant
West:	Vacant

Project Details:

<i>Item</i>	<i>Value</i>	<i>Min./Max. Development Standard</i>
Project Site (Acres):	36.11 acres	20 acres
Proposed Development Area (SQFT):	1.36 acres (new building construction) 5.57 acres (all site improvements)	N/A
Building Height (FT):	18 feet	20 feet

Parking:

<i>Type of Use</i>	<i>Building Area/ Staff</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
Hotels & Motels	36 rooms	1 space/room & 2 spaces/manager	38	42
Staff Parking	35 employees	1 space/2 employees	18	18
TOTAL:			56	60

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

Located Within:

City's Sphere of Influence:	No
Community Service Area ("CSA"):	No
Special Flood Hazard Zone:	Yes
Agricultural Preserve:	No
Liquefaction Area:	No
Subsidence Area:	No
Fault Zone:	Yes - San Jacinto Fault Zone
Fire Zone:	Very High – SRA
Mount Palomar Observatory Lighting Zone:	Zone B
WRCMSHCP Criteria Cell:	No
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	No
Airport Influence Area ("AIA"):	No

PROJECT LOCATION MAP

COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT



PROJECT BACKGROUND AND ANALYSIS

Background

Originally, a pre-application review (PAR200045) was submitted for this Project in September of 2020. The applicants of the PAR received comments from various development agencies on October 29, 2020. The review was of a proposal for the development of a guest ranch facility with the same specifications as the currently submitted Project.

On July 23, 2021, the applicant, Ridge Wellness Inc., submitted Conditional Use Permit No. 210121 (CUP210121) to the County of Riverside for consideration. The applicant is proposing the development of an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate operations. These structures include the following: a 782 square foot administrative

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

and storage building; a 912 square foot activity hub with an outdoor lap swimming pool; a 4,899 square foot common area with a kitchen and dining areas; 4 guest cabin buildings, ranging in size from 3,162 square feet to 8,354 square feet, that have a total of 30 rooms; six 300 square foot glamping tents; a 479 square foot sound bath building; a 2,292 square foot wellness base camp with bench seating and a theater screen; a 5,721 square foot wellness sanctuary center that is comprised of a salt cave, steam room, quantum room, colon hydrotherapy room, a cold and hot plunge, and six treatment rooms; and a 927 square foot greenhouse. Recreational activities would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing.

35 employees are on-site at any given time, and operations are to occur 24 hours per a day, 7 days a week. The subject site will retain all the natural vegetation and all the existing large pine trees within its design. There would be 60 standard parking spaces, including three ADA parking spaces, three EV parking spaces, and 18 staff parking spaces, to service operations.

General Plan Consistency

The subject site has an existing General Plan land use designation of Open Space – Rural (OS-RUR). The intent of General Plan Amendment No. 210006 (GPA210006) is to amend the land use designation to Open Space – Recreation (OS-R) to facilitate the development of the proposed Project. As such, GPA210006 is an entitlement amendment, which allows for an amendment of a land use designation within a given General Plan Foundation Component. This is further detailed in the General Plan Amendment Findings below.

The land use designation of OS-R allows for active and passive recreational uses such as parks, trails, campgrounds, athletic fields, golf courses, and off-road vehicle parks. Ancillary structures may be permitted for recreational opportunities; however, the actual building or structure size, siting, and design is determined to be compliant with the intent of the General Plan on a case-by-case basis. The Project would be compliant as it is proposing the development of a guest ranch facility, akin to a campground, with ancillary structures and trails to promote recreational opportunities. Recreational activities would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. This is further detailed in the Land Use Findings below.

Ordinance No. 348 Consistency

The current zone classification for the property is Light Agriculture, 20 acre minimum. The Project is proposing CZ2100014 to the County of Riverside for consideration to change the subject site's zone classification to Natural Assets (N-A). The change of zone proposal would accommodate the various specifications desired for the proposed use, which is akin to a guest

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

ranch that is a permitted use subject to approval of a Conditional Use Permit, as well as bring the subject site into consistency with proposed GPA210006. With approval of the change of zone, the Project would be subject to the development standards outlined in Article XVb Section 15.201 (Development Standards) of Ordinance No. 348. Staff has reviewed the Project and has determined that it is compliant with the applicable development standards of the N-A zoning classification, which is further detailed in the Development Standards Findings below.

ENVIRONMENTAL REVIEW AND ENVIRONMENTAL FINDINGS

An Initial Study (IS) and a Mitigated Negative Declaration (MND) have been prepared for this Project in accordance with the California Environmental Quality Act (CEQA). The IS and MND represent the independent judgement of Riverside County. The documents were circulated for public review per the California Environmental Quality Act Statute and Guidelines Section 15105. As of the writing of this staff report, no comment letters in response to the revised IS and MND have been received, and no additional revisions to the Project have been made. All documents supporting the CEQA determination are located on the 12th floor in the planning department, located at 4080 Lemon Street, Riverside, CA 92501.

While the IS identifies potentially significant impacts, mitigation measures have been incorporated into the Project to reduce those impacts to a level that is less than significant. Accordingly, the Project, as reviewed and conditioned, will not result in any potentially significant environmental impacts with the incorporation of the mitigation as required under the MND.

FINDINGS AND CONCLUSIONS

In order for the County to approve the proposed project, the following findings are required to be made:

Land Use Findings

1. The subject site has a General Plan land use designation of Open Space – Rural (OS-RUR). GPA210006 involves an Entitlement Amendment to change the land use designation to Open Space – Recreation (OS-R). The OS-R land use allows for active and passive recreational uses such as parks, trails, campgrounds, athletic fields, golf courses, and off-road vehicle parks. Ancillary structures may be permitted for recreational opportunities; however, the actual building or structure size, siting, and design is determined to be compliant with the intent of the General Plan on a case-by-case basis. The Project proposes to develop a guest ranch facility, akin to a campground, with ancillary structures and trails to promote recreational opportunities. Approximately 30 acres of the 36.11-acre site will remain

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

in its natural condition as open space, and new, low intensity one-story buildings would be constructed on the eastern 10% of the site. These structures are designed to be visually compatible with the existing forest and agricultural uses on the site, such as having a maximum height of 18 feet and utilizing materials that have earth tone colors. The site development and the structures will also utilize green building materials, solar power, water conservation techniques, such as groundwater recharge basins, porous pavement, drought tolerant landscaping, and water recycling, as appropriate. In review of these proposed ancillary structures, the size, siting, and design have been determined to be compliant with the intent of the General Plan. In addition, a balanced distribution of nature-oriented recreational activities will be present on-site and include both active and passive uses such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing (LU 25.2). For these reasons, the proposed Project would be in compliance with the General Plan Foundational Component and the proposed Land Use Designation.

2. The Project site has a Zoning Classification of Light Agriculture, 20 acre minimum. The Project is proposing CZ2100014 to the County of Riverside for consideration to change the subject site's current zone classification to Natural Assets (N-A). Section 15.200 of Ordinance No. 348 allows for a Guest Ranch to operate in the N-A zone with the approval of a Conditional Use Permit, which is the purpose of this Project. The Change of Zone proposal would accommodate the proposed Project, create one contiguous zone classification on the subject site, and bring the property into consistency with the proposed Land Use Designation. The proposed Project, a guest ranch facility, as designed and conditioned, complies with the applicable standards identified in Section 15.201 (Development Standards) of Ordinance No. 348, as further discussed in the Development Standards section below.
3. The Project site is bordered by properties that are being utilized for purposes that are compatible with the proposed Project's use. The adjacent properties are dedicated to conservation to the north and west, recreation to the north and south, and are vacant to the east. The adjacent properties being utilized for recreational uses, including Lake Hemet, Hurkey Creek Park, and Camp Ronal McDonald, are within the same intensity and types of uses as those of the proposed Project. In addition, as the Project scope is conserving a majority of the site's natural terrain, it will remain compatible with the conservation areas adjacent to the property, as well. Thus, the Project is compatible with the current and future development in the area.

General Plan Amendment Findings

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

The following findings shall be made prior to making recommendation to grant a General Plan Amendment, pursuant to the provisions of the Riverside County General Plan and Zoning Ordinance No. 348 Section 2.4:

The Entitlement/Policy General Plan Amendment is a proposal to amend the land use designation of OS-RUR to OS-R, which will allow for the operation of a Guest Ranch at the Project site.

The first two findings and any one or more of the subsequent findings listed in Section 2.4.C.2 are required for an entitlement/policy amendment:

1. The proposed changes do not involve a change in or conflict with:
 - a. *The Riverside County Vision.* It is the intent of the General Plan to accommodate land use development in accordance with the patterns and distribution of use and density as depicted by the Area Plans to provide a land use mix that can accommodate a range of community types and character (LU 2.1). The subject site currently has a land use designation of Open Space - Rural (OS-RUR), and GPA210006 requests to amend the land use designation to Open Space – Recreation (OS-R). As the subject site is to remain within the Open Space Foundation Component, the property would still be utilized in accordance with the envisioned uses and density of the area under that Foundation. New developments are to be designed to visually enhance the character of the surrounding area, while also pursuing means of energy efficiency and water conservation through construction materials, landscaping, and lot configuration (LU 4.1). The proposed structures have been placed in the north-eastern corner of the lot, as far away from the main roadway along the southern property line as possible. They have been designed to be visually compatible with the existing forest and agricultural uses on the site by limiting the maximum height to 18 feet and utilizing materials that have earth tone colors. In addition, as there are a number of trees and shrubs to serve as additional screening, the Project should not obstruct or degrade the view of surrounding open space, conservation, or agricultural land. The site development and the structures will also utilize green building materials, solar power, water conservation techniques, such as groundwater recharge basins, porous pavement, drought tolerant landscaping, and water recycling. Since the buildings have been placed and designed as they have, this also allows approximately 30 acres of the site to be preserved in its natural condition. As the proposed use relies on the maintenance of this open space to serve its Project scope, it will serve to meet the General Plan goal of preserving unique natural terrain and utilizing such space as an amenity to

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

provide community identity, recreational opportunities, and monetary value to the area (LU 4.1). Along with this, the on-site natural resources, such as the watercourse and the natural vegetation it supports, would be preserved, and utilized to enhance recreational opportunities in the area (LU 9.1 & 9.3). This is simply a sampling of the General Plan Vision Statement topics that the General Plan Amendment is consistent with and not an exhaustive list of topics. There are no other provisions or statements within the Riverside County Vision that the General Plan Amendment is inherently inconsistent with. Therefore, GPA210006 would not conflict with the Riverside County Vision.

- b. *Any General Planning Principle Set forth in General Plan Appendix B.* General Planning Principles have been established for Environmental Protection in Appendix B. Projects should be designed with the aim of preserving significant environmental features wherever possible, including unique natural terrain, drainage ways, and native vegetation (II.A.1). The siting of the proposed structures for the Project has been done with the intent of preserving as much of the existing natural land on the subject site as possible. The buildings comprise 10% of the total lot, leaving 30 acres of the natural terrain and native vegetation undisturbed. In addition, they have been placed in the north-eastern corner of the lot away from the watercourse that flows through the site so there would be no impacts to this environmental feature. Energy efficiency should also be pursued wherever possible through site configuration to capitalize on shading and facilitate solar energy (II.A.4). The proposed structures will utilize green building materials, solar power, water conservation techniques, such as groundwater recharge basins, porous pavement, drought tolerant landscaping, and water recycling to achieve an energy and water efficient operation. Provisions are also established for multi-purpose open space that encompasses the needs for active and passive recreation alongside habitat preservation (II.D.1). Nature-oriented recreational activities will be facilitated that rely on the maintenance of the natural environment on-site. Thus, the development has been proposed to preserve as much of the unique natural terrain and vegetation as possible, as previously discussed. The General Planning Principles established for Community Design in Appendix B further build on the concept of recreational open space as it pursues the development of an ample system of specialized open space and recreational facilities that are pedestrian, bicycle, and/or equestrian oriented (IV.G.1). A balanced distribution of recreational activities will be available on-site to achieve this goal, including both active and passive uses such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. This is simply a sampling of the principles that the proposed General Plan Amendment is consistent with and not an exhaustive list of all consistent

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

Principles. There are no Principles that the General Plan Amendment inherently conflicts with. Therefore, GPA210006 would not conflict with the Riverside County General Planning Principles set forth in General Plan Appendix B.

- c. *Any Foundation Component designation in the General Plan.* The proposed land use designation would be within the same Foundation Component of the General Plan and, therefore, the property would still be utilized in accordance with the envisioned uses and density of the area. Thus, GPA210006 is consistent with the Open Space Foundation.
2. *The proposed amendment would either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.* The purpose of the General Plan is to set direction for land use and development in strategic locations, provide for the development of the economic base, establish a framework of the transportation system, and to preserve extremely valuable natural and cultural resources. As the Open Space Foundation is to be maintained, and the majority of the subject site's land is to be preserved as open space in the development, the Project would not be detrimental to the purposes set by the General Plan. In addition, there are components of the Project that would contribute to the achievement of the purposes set by the General Plan. New recreational opportunities would be brought to the area through the Project, which will ensure preservation of the valuable natural resources on-site that these recreational activities rely on. The Project will also be constructed with features that seek to conserve energy and water, while also utilizing materials and siting that would minimize visual impacts to the surrounding properties. Thus, the development would not obstruct any prominent vistas, views of surrounding open space, habitat, conservation, or agricultural land or result in the creation of an aesthetically offensive site open to public view. Therefore, GPA210006 would not be detrimental to the purposes of the General Plan; rather, it would implement it by strategically planning for land uses in specific locations that are compatible with the present and future logical development of the surrounding area.
3. *Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.* In order to utilize the subject site for recreational opportunities for the public through the development of the Project, a General Plan amendment is necessary. The Open Space – Rural (OS-RUR) land use designation is particularly narrow on potentially permitted uses. While this land use designation may be due to the relatively limited potential for development on the site due to certain constraints due to infrastructure, topography, drainage, and earthquake faults present, the analysis, as presented through this staff report, the project exhibits, technical reports, and initial study, indicate that such development is potential and practical on the site while still preserving the underlying vision for the area as outlined in the prior findings. This change will also allow a use more consistent with the

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

existing uses in the immediate area, including Lake Hemet, Hurkey Creek Recreational Park, and Camp Ronal McDonald. Therefore, while the specific proposed use was not originally anticipated for the area when the General Plan was prepared, it has been shown as feasible and overall consistent with the General Plan that make it necessary now to amend the land use designation to support the specific use and allow the Project to proceed.

Change of Zone

Change of Zone No. 2100014 is a proposal to change the Project site's Zoning Classification from Light Agriculture, 20 acre minimum (A-1-20) to Natural Assets (N-A). The proposed change of zone is in conformity with The Riverside Extended Mountain Area Plan and the County of Riverside General Plan. The proposed N-A zone classification would be consistent with the proposed General Plan Open Space Recreation (OS-R) designation, and would create one contiguous zone for the entire subject site. The OS-R land use allows for active and passive recreational uses such as parks, trails, campgrounds, athletic fields, golf courses, and off-road vehicle parks. Ancillary structures may be permitted for recreational opportunities.

Approval of the Project would not allow for future development that is conflicting, damaging, or detrimental to the residents in the area, as the N-A zone allows similar uses by-right as those granted by the zones surrounding the subject site. The adjacent parcels similarly have zoning classifications of N-A to the north, west, and south, and the parcel to the east has a zone classification of A-1-20. As these properties could develop similar uses, and the proposed Project is within the parameters of what is permitted per the proposed zone, it would not foreseeably result in any changes to the existing environment. Thus, the Project would not foreseeably result in any significant impacts on public health, safety, and general welfare that have otherwise existed with the current use and zone. Since there are no General Plan policies that would inherently conflict with the proposed change of zone, the Project would continue to align with the Riverside County Vision and the planning principles set by the General Plan.

Conditional Use Permit Findings

The following findings shall be made prior to making a recommendation to grant a Conditional Use Permit:

1. *The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. As previously discussed, the proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The Project is not located within a specific plan. The proposed Guest Ranch is designed and conditioned to meet all applicable State law and Riverside County Ordinances.*

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

2. *The overall development of the land shall be designed for the protection of the public health, safety, and general welfare.* As detailed in the Initial Study and Mitigated Negative Declaration prepared for the Project, impacts related to health and safety factors were considered, such as air quality, hazards, and noise. The determination found that the impacts would be less than significant with adherence to the existing regulations and implementation of mitigation measures. In addition, based on the low amount of expected traffic and low intensity of the on-site activities proposed, the Project is not expected to generate substantial noise, traffic, or air quality impacts that would exceed the County's, or other responsible agencies, acceptable standards. Due to the physical distance between the Project site and nearest sensitive receptor (a caretaker's residence approximately 732 feet to the northwest of the proposed development area), the Project would not foreseeably result in any new significant impacts that have otherwise existed previously. The subject site is located within a 100-year flood plain and a fault zone, so additional precautions have been taken to take these hazards into account. For one, the Project will preserve the central and western portions of the site as permanent open space as this is where the flood plain and the fault zone are located. The proposed Project development will utilize low impact development standards intended to preserve the natural topography to the maximum extent possible, while integrating landscaped basin areas and infiltration trenches to prevent impacts that would impede or redirect flows coming offsite. Along with this, per the Fault Study conducted for the Project and subsequent mitigation imposed (060 – Planning-GEO. 1), prior to issuance of any permits the fault setback zone identified in the Fault Study shall be integrated on to the plans and approved at the County Geologist's discretion. In addition, the design of the Project has been reviewed by all applicable Riverside County Departments and agencies, including, but not limited to: Riverside County Transportation, Fire, Environmental Health, Biology, Grading, Building & Safety, and Flood. These departments provide comments and corrections until they have found that their standards have been met, at which point conditions of approval are added to the Project. These conditions are to be addressed prior to grading permit issuance and final, and prior to building permit issuance and final, ensuring that the Project does not adversely impact public health, safety, and general welfare. For these reasons, the proposed Project would be in compliance. For these reasons, the proposed Project would be in compliance.
3. *The proposed use conforms to the logical development of the land and to be compatible with the present and future logical development of the surrounding property.* The subject site is surrounded by parcels being utilized for residential, conservation, and/or recreational uses to the north, east, south, and west. Since the Project is proposing a Guest Ranch while maintaining the majority of the property's natural open space, this use is reasonably in line with the present and future logical development of the area. Approval of this Project would allow for an operation of a use that would be reasonably within the same intensity as those

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

uses surrounding the subject site. Therefore, the Project would be consistent with the current and future development of the surrounding area.

4. *That plan for the proposed use shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof.* The Project scope includes enhancements such as roadway and parking improvements, sidewalks, vehicle and bicycle ingress/egress points, and flood measures pursuant to the Site Plan exhibit. The Project has also been conditioned by all relevant Departments reviewing for these standards and improvements, such as Transportation, Fire, and Landscape, to ensure that all necessary dedications and improvements have been made for this Project to provide for adequate services for the project and to address any impacts from the proposed Project.

Development Standards Findings

The following standards shall apply to all uses and development in the N-A Zone, per Ordinance No. 348:

1. *Minimum lot size shall be 20 acres, with a minimum gross width of 400 feet.* The subject site is approximately 36.11 gross acres, which exceeds the 20-acre minimum. The site has a minimum gross width of 834 feet, which exceeds the 400-foot minimum. Therefore, the Project is in compliance with these standards.
2. *Minimum yard depths shall be 100 feet from the front, 50 feet from the sides, and 50 feet from the rear.* The closest structures to the front yard and eastern side yard property lines are the glamping tents, which stand 100 feet from the front property line and 50 feet from the side property line. The wellness base camp is the closest structure to the western side property line, which is approximately 615 feet from this property line. The closest structure to the rear property line is the existing green house, which is approximately 337 feet from this property line. As these setbacks are being met or exceeded, the Project is in compliance with these standards.
3. *No building shall exceed 20 feet in height.* The tallest proposed structure on-site stands at approximately 18 feet in height, which does not exceed the 20 feet maximum. Therefore, the Project is in compliance.
4. *Automobile storage space shall be provided as required by Section 18.12 of Ordinance No. 348.* Parking standards for uses classified as “Hotels & Motels” are calculated as follows: one space per a room and two spaces per a resident manager. As 30 total rooms and 6

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

glamping tents are proposed, with one resident manager to oversee the boarding accommodations, the Project would be required to provide 38 parking spaces. In addition, one space for every two employees would also be required. As there are 35 staff on-site at maximum operations, the Project would be required to provide 18 spaces. Thus, in total, a minimum of 56 parking spaces, with three ADA spaces and three EV parking spaces would be required. The Project proposes 60 parking stalls, with three ADA spaces and three EV parking spaces. Therefore, the Project is in compliance.

Other Findings:

1. The Project site is not located within a Criteria Cell of the Multi-Species Habitat Conservation Plan, nor is it located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
2. The Project site is not located within an Airport Influence Area (AIA) boundary and is therefore not subject to the Airport Land Use Commission (ALUC) review.
3. Since a General Plan Amendment is a part of the proposed Project scope, it is subject to SB18. Pursuant to SB 18 requirements, Riverside County staff requested a list from the Native American Heritage Commission (NAHC) of Native American Tribes whose historical extent includes the Project site. In compliance with Senate Bill18 (SB18), Riverside County requested a Sacred Lands File search and a consultation list from the NAHC of tribes whose historical extent includes the Project area. Based on the July 23, 2021, list provided by NAHC, notices were sent on July 27, 2021, to eleven Native American Tribal representatives. SB 18 consultations were requested by the Soboba Band of Indians and consultation was deferred by the Quechan Historic Preservation Officer. No response was received from the remainder of the tribes.

In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on August 20, 2021. Consultations were requested by the Rincon Band of Luiseno Indians, the Soboba Band of Mission Indians, the Agua Caliente Band of Cahuilla Indians. No response was received from the Ramona Band, the Pala Band the Morongo Band, the Cahuilla Band of Indians, the Colorado River Indian Tribes, the Santa Rosa Band, or the Pechanga Band of Luiseno Indian's.

Rincon requested to consult in a letter dated August 20, 2021. The cultural report and the conditions of approval were sent to the Rincon Band on December 13, 2021. Consultation was concluded the same day. Agua Caliente requested to consult in an email letter dated September 13, 2021. The cultural report and the conditions of approval were provided to the group on December 13, 2021. A meeting was held on December 21 in which this project

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

was discussed. The tribe agreed with the conditions of approval and consultation was concluded the same day. Soboba requested to consult on the project in an email letter dated August 17, 2021. The project report and the conditions of approval were sent to Soboba on August 17, 2021, and December 13, 2021. A follow up email was sent to Soboba on January 4, 2022, asking for further comments or concerns. No response was received from the group and consultation was concluded on January 18, 2022.

No Tribal Cultural Resources were identified by any of the consulting tribes. The Project has been conditioned to adhere to State Health and Safety Code section 7050.5 if human remains are encountered and by ensuring that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made (Planning-CUL. 1) CEQA requires the Lead Agency to address any unanticipated cultural resources discoveries during Project construction. Therefore, a condition of approval that dictates the procedures to be followed should any unanticipated cultural resources be identified during ground disturbing activities has been placed on this project. (Planning-CUL. 2). Additional mitigations as established by the Initial Study completed for the Project include implementation of a CRIMP, having an archaeological and Native American monitor present on-site, and installation of temporary fencing for the protection of any cultural sites (060-Planning-CUL. 1 - 4).

With the inclusion of these Conditions of Approval/mitigation measures, impacts to any previously unidentified Tribal Cultural Resources would be less than significant.

4. The Project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The Project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
5. The Project site is not located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan (SKRHCP).

Fire Findings

1. The Project site is located within a Cal Fire State Responsibility Area (SRA) and is within a very high fire hazard severity zone. As a part of being within an SRA, the Director of the Department of Forestry and Fire Protection or his/her designee must be notified of applications for building permits, tentative tract/parcel maps, and use permits for construction or development within an SRA. The Fire Chief is authorized and directed to enforce all applicable State fire laws and provisions of this ordinance and to perform such

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT**

duties as directed by the Board of Supervisors. As designated, the Riverside County Assistant Fire Marshall shall have the authority to enforce all applicable State fire laws that the notification requirement of Title 14 has been met. The following additional findings are required to be met and the Project is conditioned to meet:

- a. The Project is not a subdivision, but it has been conditioned by the Riverside County Fire Department regarding fire hazards and public safety. Those measures include commercial fire water protection for fire flow and hydrants/tanks, review of a final fire protection plan, fire alarms and detection, fire department access and knox box, commercial fire sprinklers, and approval of a Hazardous Vegetation & Fuel management plan (080 - Fire – 1 – 8).
- b. Fire protection and suppression services will be available for the Project through the Riverside County Fire Department. The Project is closest to the Riverside County Fire Department Station 53 located approximately 5.4 miles south of the Project site at 59200 Morris Ranch Rd, Mountain Center, CA 92561. Thus, the Project site is adequately served by fire protection services under existing conditions.
- c. The Project meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code and Riverside County Ordinance No. 787 by conditions of approval imposed by the Riverside County Fire Departments review of the proposed Project.

Conclusion

For the reasons discussed above, as well as the information provided in the Initial Study, the findings provided in this staff report, the conditions of approval, and the advisory notification document, the proposed Project conforms to all the requirements of the General Plan, development standards of the N-A zone classification, and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed Project would not be detrimental to the health, safety, or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND COMMUNITY OUTREACH

This Project was advertised in the Press Enterprise Newspaper. Additionally, public hearing notices were mailed to property owners within 2,400 feet of the Project site. As of the writing of this report, Planning Staff has not received written communication/phone calls indicating support or opposition to the proposed Project.

COUNTY OF RIVERSIDE PLANNING DEPARTMENT
STAFF REPORT

Aaron Gettis

Aaron Gettis, Deputy County Counsel

1/2/2024

RESOLUTION 2024-001
RECOMMENDING ADOPTION OF
GENERAL PLAN AMENDMENT NO. 210006

WHEREAS, pursuant to the provisions of Government Code Section(s) 65350/65450 et seq., a public hearing was held before the Riverside County Planning Commission in Riverside, California on January 17, 2024, to consider the above-referenced matter; and,

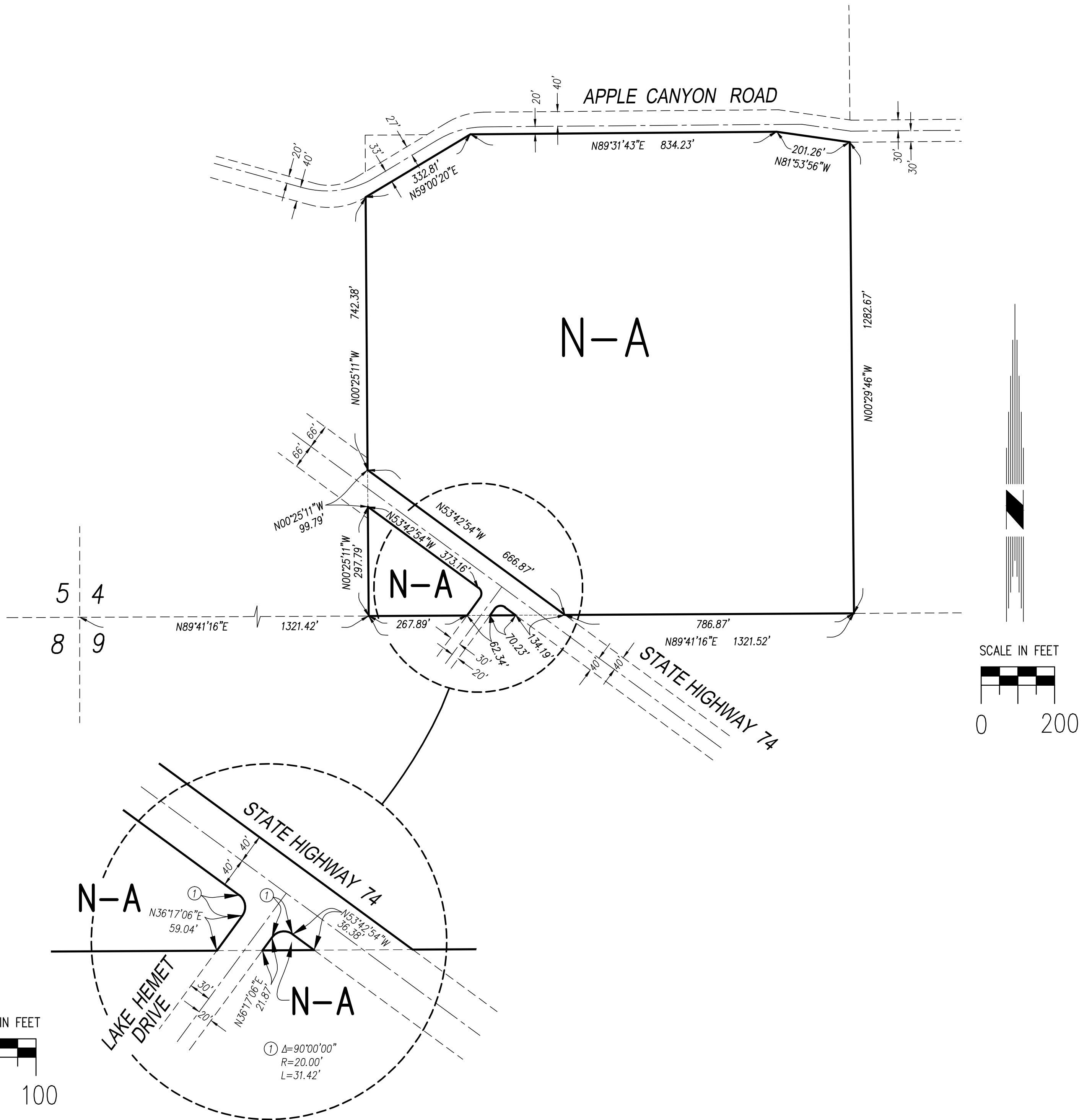
WHEREAS, all the procedures of the California Environmental Quality Act and the Riverside County Additional Procedures to Implement the California Environmental Quality Act have been satisfied and the recommendation to consider adoption of a Mitigated Negative Declaration for Environmental Assessment No. 210210, based on the findings and conclusions provided in the initial study and the conclusion that the project will not have a significant effect on the environment, has been evaluated in accordance with the above-referenced Act and Procedures; and,

WHEREAS, the matter was discussed fully with testimony and documentation presented by the public and affected government agencies; now, therefore,

BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Planning Commission of the County of Riverside, in regular session assembled on January 17, 2024, that it has recommended adoption of a Mitigated Negative Declaration for Environmental Assessment No. 210210, based on the initial study findings, and recommends the following based on the staff report and the findings and conclusions stated therein:

APPROVAL of GENERAL PLAN AMENDMENT NO. 210006.

SEC. 4, T.6S., R.3E. S.B.B & M.



N-A NATURAL ASSETS

MAP NO. _____

**CHANGE OF OFFICIAL ZONING PLAN
GARNER VALLEY
DISTRICT**

CHANGE OF ZONE CASE NO. 2100014

AMENDING ORDINANCE NO. 348

ADOPTED BY ORDINANCE NO. 348. _____

DATE: _____

RIVERSIDE COUNTY BOARD OF SUPERVISORS



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 jhw@cafekonceptsonline.com

LIGHTING DESIGN:
 ARTREC3
 AMSTERDAM 163A, HIPODROMO 06100
 CUAUHTEMOC, CDMX
 +52 15 60707461
 jc@artrec3.com

LANDSCAPE DESIGN:
 HUGO SANCHEZ PAISAJE
 HUGO SANCHEZ
 hugo@paisajehs.mx

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 41635 ENTERPRISE CIRCLE NORTH, SUITE B
 TEMECULA, CA 92590
 LARRY MARKHAM / NANCY LEAMAN
 909 322 8492 / 951 203 0071
 lrm@markhams.com / ncleaman@msn.com

FIRE CONSULTANT:
 FIREWISE - 2000
 760 807 5078
 pete.montgomery@firewise2000.com

CIVIL ENGINEER:
 JLG ENGINEERING & CONSULTING, INC.
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 MURRIETA, CA 92562
 JOE CASTANEDA
 951 304 9552
 joe@jceengineering.com

BOUNDARY / TOPOGRAPHIC SURVEY:
 INLAND AERIAL
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 (951) 687-4252

SPIRO LAND SURVEYING:
 MATTHEW W. SPIRO L.S. 8461
 603 SEAGAZE DR. #113
 OCEANSIDE, CA 92054
 951 334 3174

GEOTECHNICAL ENGINEER/ SEISMIC / PERC. TESTING:
 PETRA GEOSCIENCES
 40880 COUNTY CENTER DR., SUITE M
 TEMECULA, CA 92591
 760 250 9747
 aspen@petra-inc.com

DRY UTILITY CONSULTANT:
 STRATEGIC CONNECTIONS
 140 E. STETSON AVE #219
 HEMET, CA 92343
 951 442 4040
 e.ropez@yahoo.com

SPECIALIZED UTILITY SERVICES:
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 124 NORTH MARKET BLVD
 SACRAMENTO, CA 95834
 MOHAMMAD DANISHYAR
 224 401 9039
 mdanishyar@calnaturalwater.org

WELL:
 HERITAGE WELL
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 ANZA, CA 92539
 951 763 2210
 heritagewellservice@yahoo.com

ATU / SEPTIC SYSTEMS:
 EARTH STRATA GEOTECHNICAL SERVICES
 42184 REMINGTON AVENUE
 TEMECULA, CA 92590
 951 536 5081
 gadalla@earth-strata.com

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 THANG NGUYEN / JUSTIN MARTOS
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 jmartos@agi-geosolutions.com
 949 402 5001

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 78075 MAIN STREET G203 LA QUINTA, CA 92253
 LISA BATTIATTO
 battito@geoconinc.com
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 SEARL BIOLOGICAL SERVICES
 43430 E FLORIDA AVE, #F PMB 291
 HEMET, CA 92544
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 951 938 2028

CULTURAL RESOURCES:
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 A BETTER TREE COMPANY
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URBAN CROSSROADS:
 VMT AQ / GHG TRAFFIC, ENERGY, ACOUSTIC
 1001 DOVE STREET SUITE 260
 NEWPORT BEACH CA 92660
 949- 660-1994

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 matthewfagan@oadrunner.com

AGRICULTURE CONSULTANT:
 CALIFORNIA FARM & GARDEN
 PAIGE HAILLEY
 619 963 5771
 paigh@cafarmandgarden.com

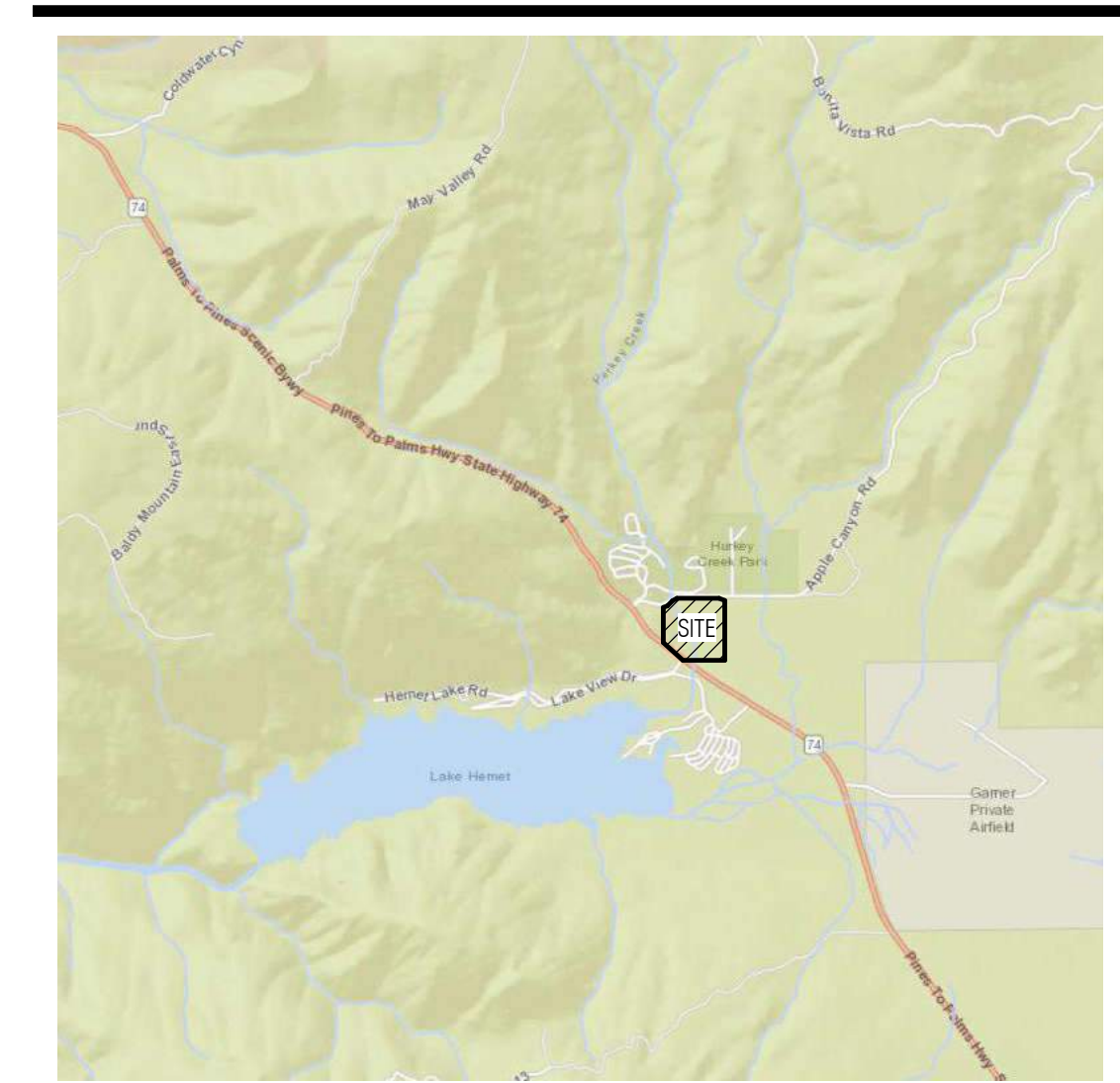
Revision Schedule

No.	Description	Date
1	BLDG REV1	20APR23

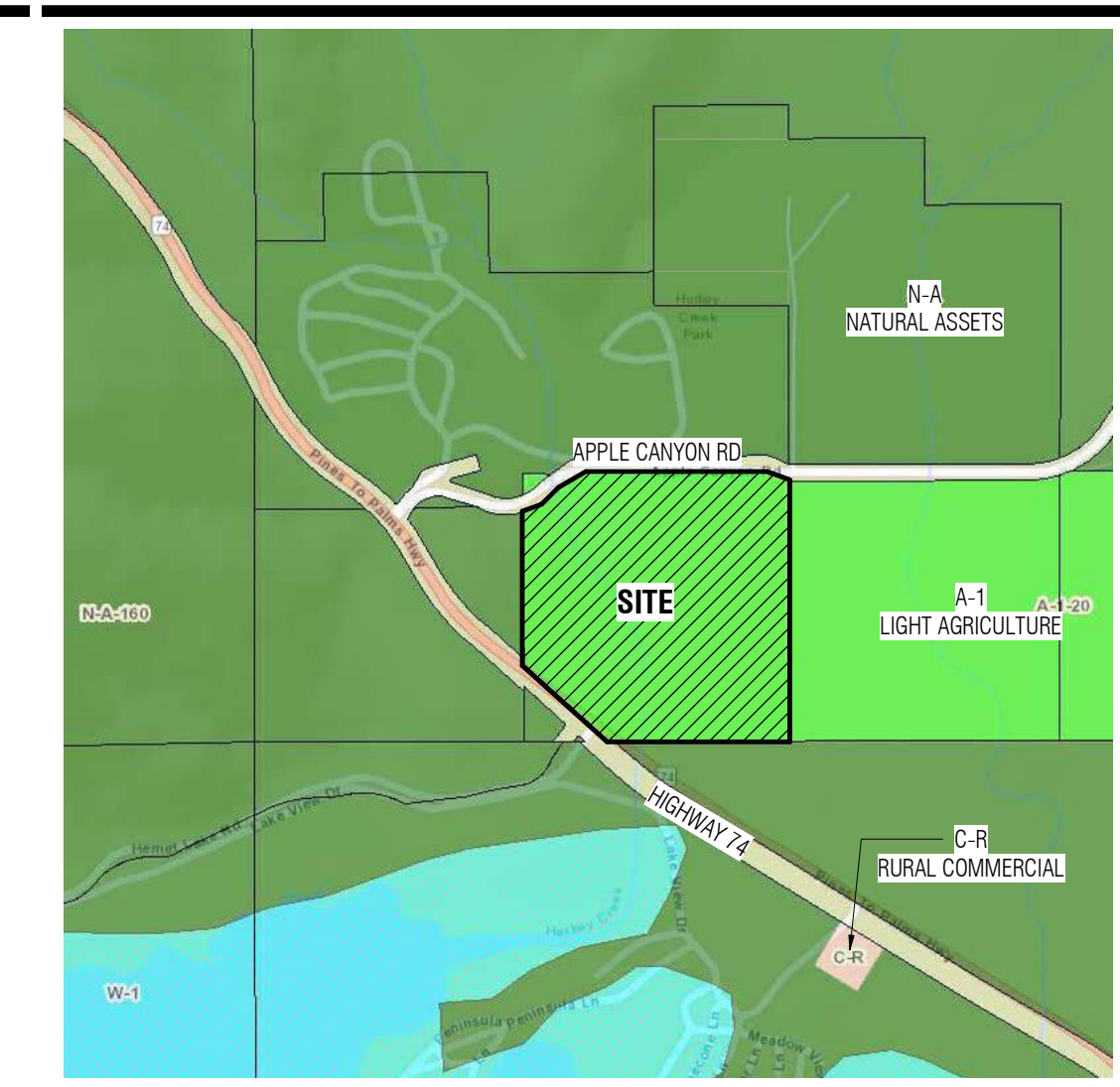
THE RIDGE WELLNESS INC

THE RIDGE
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

VICINITY MAP



ZONING MAP



BUILDING CODE INFORMATION

CONSTRUCTION TYPES: TYPE VA - 1 LEVEL, FULLY SPRINKLERED AND FIRE-RETARDANT TREATED (FRT)

OCCUPANCY:
 R-1, RESIDENTIAL GROUP (CBC 310.2)
 A-2, ASSEMBLY GROUP (CBC 303.3)
 B, BUSINESS GROUP (CBC 304)
 S-2, LOW-HAZARD STORAGE (CBC 311.3)
 U, UTILITY & MISCELLANEOUS GROUP (312.1.1)

MAX ALLOWABLE HEIGHT, STORIES AND AREA BY OCCUPANCY:
 (TYPE VA, CBC TABLE 504.3, BUILDING EQUIPPED THROUGHOUT WITH SPRINKLER SYSTEM PER CBC 903.3.1.1)

OCCUPANCY	HEIGHT	STORIES	AREA
R-1	50'-0"	3 STORIES	48,000 SF
A-2	50'-0"	4 STORIES	72,000 SF
S-2	70'-0"	5 STORIES	84,000 SF

PROPOSED BUILDING HEIGHT: HEIGHT IN FEET = 18'-3"
 STORIES = 1 STORY

PROPOSED BUILDING AREA: GROSS AREA = 31,757 SF (BUILDING & MECH.)

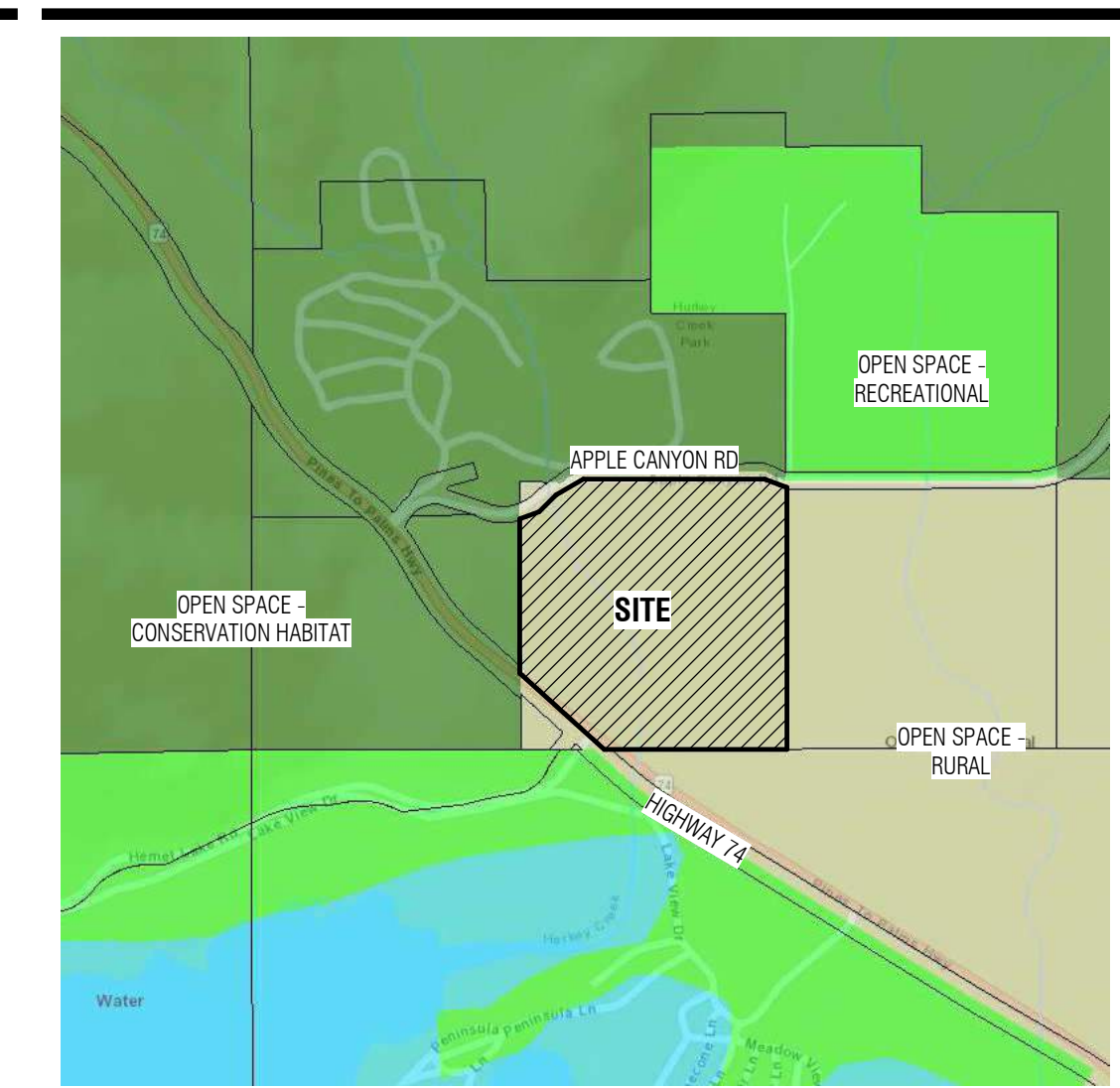
BUILDING CODE ANALYSIS

AREA NAME	OCCUPANCY	CONSTRUCTION TYPE
ACTIVITY HUB	A-2	TYPE VA
ACTIVITY HUB	A-2	TYPE VA
STORAGE	S-2	TYPE VA
ADMIN & STORAGE	B	TYPE VA
ADMIN & STAFF AREAS	B	TYPE VA
STORAGE	S-2	TYPE VA
ARRIVAL & DINING	A-2	TYPE VA
ARRIVAL LOUNGE	A-2	TYPE VA
DINING AREA	A-2	TYPE VA
COMMERCIAL KITCHEN	A-2	TYPE VA
UTILITY ROOM	S-2	TYPE VA
GREENHOUSE		
GREENHOUSE	U	TYPE VA
GUEST CABINS	R-1	TYPE VA
GUEST CABINS	R-1	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA
MANUFACTURED TENTS	R-1	TYPE VA
MANUFACTURED TENTS	R-1	TYPE VA
WELLNESS BASE CAMP	A-2	TYPE VA
WELLNESS BASE CAMP	A-2	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA
WELLNESS CABINS	B	TYPE VA
GUEST CHECK-IN	B	TYPE VA
SOUND DOME	B	TYPE VA
TREATMENT ROOMS	B	TYPE VA
CHANGING ROOMS	B	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA

AERIAL PHOTO



LAND USE MAP



ZONING INFORMATION

PROJECT INFO

PROJECT...	56475 APPLE CANYON RD, IDYLLWILD CA 92549
APN	568-070-021
CURRENT ZONING	A-1-20 (LIGHT AGRICULTURE)
PROPOSED...	N/A (NATURAL ASSETS)
CURRENT LAND...	OPEN SPACE - RURAL
PROPOSED LAN...	OPEN SPACE - RECREATIONAL LAND USE
LOT AREA	36.11 ACRES
FIRE HAZARD...	VERY HIGH
FIRE...	SRA
FAULT ZONE	SAN JACINTO FAULT ZONE

SETBACKS

FRONT	100'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)
SIDE	50'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)
REAR	50'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)

PARKING REQUIREMENTS

GUEST PARKING	PARKING RATE	AREA/QTY	PARKING...
GUEST CABINS (30 TOTAL)	1 SPACE / ROOM + 2 SPACES / RESIDENT...	36 TOTAL ROOMS	38 STALLS
MANUF. TENTS (6 TOTAL)			
STAFF PARKING	1 SPACE / 2 EMPLOYEES	35 STAFF	18 STALLS
TOTAL REQUIRED			56 STALLS*

***NOTE:**
 PROJECT IS SUBJECT TO CONDITIONAL USE PERMIT REVIEW WHICH AIMS TO REDUCE THE NUMBER OF STALLS REQUIRED. THE PROPOSAL IS A PRIVATE GUEST RANCH CLOSED TO THE PUBLIC, WITH STAFF ACCESSING THE PROPERTY IN TIMED SHIFTS. THE FACILITIES ARE CONSIDERED NON-SIMULTANEOUS USE, AND ARE INTENDED FOR THE EXCLUSIVE USE OF THE MAX. 72 GUESTS CAPACITY (2 GUESTS PER EACH ACCOMMODATION), PLUS A MAXIMUM SHIFT CAPACITY OF 35 STAFF AS NOTED IN THE PROJECT DESCRIPTION APPENDIX.

PARKING PROVIDED

GUEST PARKING	PARKING RATE	AREA/QTY	PARKING...
GUEST CABINS (30 TOTAL)	1 SPACE / ROOM + 2 SPACES / RESIDENT...	36 TOTAL ROOMS	38 SPACES
MANUF TENTS (6 TOTAL)			
ADDITIONAL PARKING			1 SPACE
STAFF PARKING	1 SPACE / 2 EMPLOYEES	35 STAFF	18 SPACES
ACCESSIBLE PARKING SPACES	51-75 STALLS = 3 SPACES		3 SPACES
TOTAL			60 SPACES

EV PARKING REQUIREMENTS

TOTAL PARKING PROVIDED	RATE	EV STALLS REQ'D	NOTES
60 STALLS	25-49... 50+ SPACES	2 EV SPACES 1 ADDTL EV SPACE PER EACH 50 STALLS	
TOTAL		3 EV SPACES	PER RIVERSIDE ZO 17-188.045...

BICYCLE PARKING REQUIRED

EMPLOYEE	RATE	SPACES	NOTES
1 FOR EVERY 25 PARKIN...		1 SPACE	
1 FOR EVERY 33 PARKIN...		2...	
TOTAL...		4...	(COR ZO 17-188.060 B.1.c REQ'S MIN...
TOTAL...		4...	
TOTAL...		4...	

***NOTE:**
 BICYCLE PARKING IS PROVIDED ADJACENT TO THE ACTIVITY HUB

SITE COVERAGE SUMMARY

EXISTING AGRICULTURAL AREA	AREA (ACRES)	PERCENT OF GROSS SI...
EXISTING AGRICULTURAL AREA	2.06 ACRES	6%
PARKING, DRIVEWAYS AND VEHICULAR...	2.15 ACRES	6%
BUILDING FOOTPRINT (GROSS COVERED)...	1.36 ACRES	3%
RECREATIONAL & OPEN SPACE AREA	30.65 ACRES	85%
GROSS SITE AREA	36.11 ACRES	100%

PROJECT AREA SUMMARY

ACTIVITY HUB	AREA
BUILDING ACTIVITY HUB	912 SF
COVERED PATIO	1126 SF
ADMIN & STORAGE	
COVERED PATIO	917 SF
BUILDING ADMIN & STAFF AREAS	782 SF

COMMON AREAS

BUILDING COMMON AREAS	4899 SF
COVERED PATIO	3453 SF
MECHANICAL AREA	1076 SF

GUEST CABINS A

BUILDING GUEST CABINS A	3162 SF
COVERED PATIO	2408 SF

GUEST CABINS B&C

BUILDING GUEST CABINS B&C	8354 SF
COVERED PATIO	7133 SF
MECHANICAL AREA	1426 SF

GUEST CABINS D

BUILDING GUEST CABINS D	4726 SF
COVERED PATIO	3670 SF

SOUND BATH

BUILDING SOUND BATH	479 SF
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WELLNESS BASE CAMP

BUILDING WELLNESS BASECAMP	2292 SF
COVERED PATIO	1555 SF
WELLNESS CABINS	
BUILDING WELLNESS CABINS	3429 SF
COVERED PATIO	3158 SF
MECHANICAL AREA	220 SF

PROJECT DESCRIPTION

THE RIDGE WELLNESS PROPOSES AN ECO-CONSCIOUS PRIVATE GUEST RANCH ON 37.11 ACRES LOCATED AT 56475 APPLE CANYON RD IN THE COUNTY OF RIVERSIDE. THE PROJECT SITE WILL RETAIN ALL THE NATURAL VEGETATION AND ALL THE HISTORIC LARGE PINE TREES WITHIN ITS DESIGN.

THE RIDGE WILL BE DESIGNED TO FACILITATE A FULL IMMERSION NATURE EXPERIENCE IN MOUNTAIN CENTER AND THE RANCH WILL OFFER A VARIETY OF SELF-DEVELOPMENT THERAPIES AND RECREATIONAL ACTIVITIES. RECREATIONAL ACTIVITIES SUCH AS NATURE HIKING, MOUNTAIN BIKING, HORSEBACK RIDING, ROCK CLIMBING, WATER BASED ACTIVITIES AT LAKE HEMET, IN ADDITION TO CULTURAL AN ENVIRONMENTAL EDUCATION OF THE AREA WILL BE ALL PART OF THE EXPERIENCE AT THE RANCH.

THE PROJECT PROPOSES TO CONSTRUCT GUEST CABINS, WITH A WELLNESS CENTER, KITCHEN AND DINING ROOM, AND ACTIVITY HUB WITH LAP POOL, LARGE AGRICULTURAL SITE AND FOOD LAB FOR ALL GUESTS TO EXPERIENCE.

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- RIVERSIDE COUNTY MUNICIPAL ORDINANCES

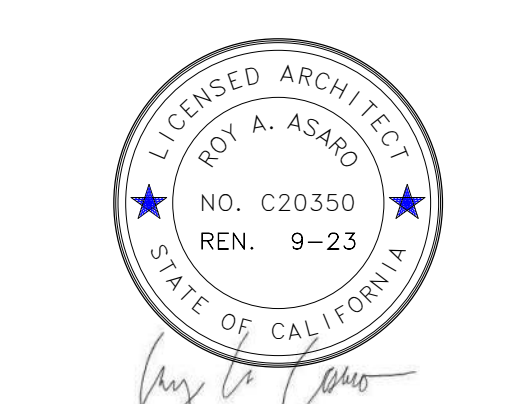
DEFERRED SUBMITTALS / SEPARATE PERMITS

- POOL
- PRIVACY WALLS
- HEALTH DEPARTMENT APPROVAL FOR FOOD PREPARATION / REQUIRED BEFORE A PERMIT CAN BE ISSUED
- GRADING
- TRUSS CALC'S: SHALL INCLUDE LAYOUT SHEETS AND INDIVIDUAL TRUSS ELEVATIONS
- FIRE SPRINKLER SYSTEM
- MECHANICAL EQUIPMENT AS SHOWN ON SHEET M-001

***NOTE:** DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT AND ENGINEER OF RECORD BEFORE SUBMITTAL TO THE BUILDING DEPARTMENT AND SHALL BEAR AN INDICATION OF SUCH REVIEW BEFORE SUBMITTAL TO THE BUILDING DEPARTMENT. DEFERRED SUBMITTALS SHALL BE APPROVED BY THE BUILDING DEPARTMENT BEFORE THE DEFERRED ITEM IS INCORPORATED INTO THE WORK.

1ST SUBMITTAL

COVER SHEET



Project Number	22.003
Date	08/09/23
Drawn By	YF
Checked By	RAA

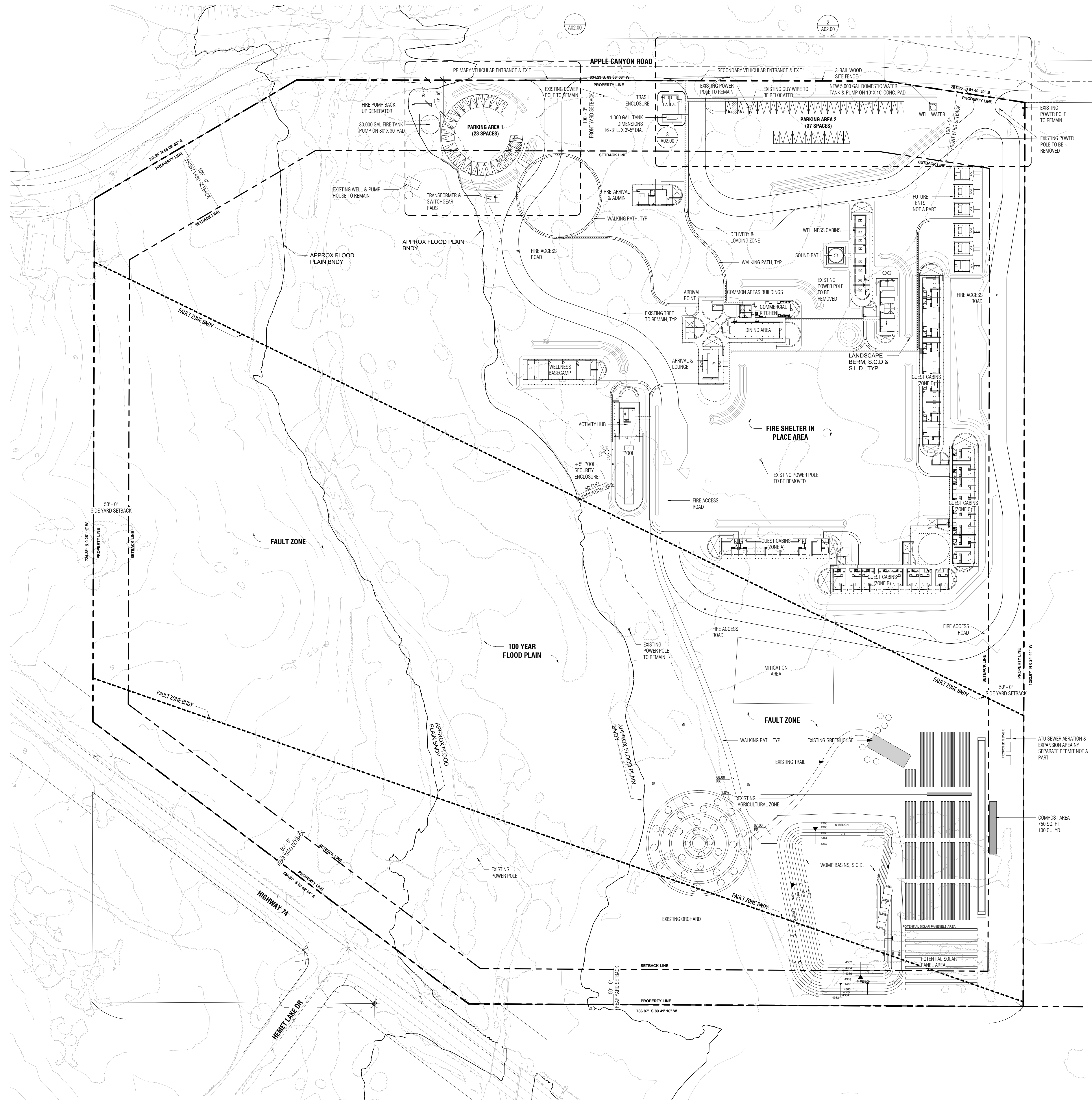
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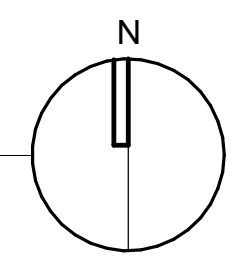
Revision Schedule		
No.	Description	Date
1	BLDG REV1	20APR23

THE RIDGE
WELLNESS INC

THE RIDGE
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



1 MASTER PLAN
1" = 60'-0"



PROJECT AREA SUMMARY		
AREA NAME	AREA	
ACTIVITY HUB		
BUILDING ACTIVITY HUB	912 SF	
COVERED PATIO	1126 SF	
ADMIN & STORAGE		
COVERED PATIO	917 SF	
BUILDING ADMIN & STAFF AREAS	782 SF	
COMMON AREAS		
BUILDING COMMON AREAS	4899 SF	
COVERED PATIO	3463 SF	
MECHANICAL AREA	1076 SF	
GUEST CABINS A		
BUILDING GUEST CABINS A	3162 SF	
COVERED PATIO	2408 SF	
GUEST CABINS B&C		
BUILDING GUEST CABINS B&C	8354 SF	
COVERED PATIO	7133 SF	
MECHANICAL AREA	1426 SF	
GUEST CABINS D		
BUILDING GUEST CABINS D	4726 SF	
COVERED PATIO	3670 SF	
SOUND BATH		
BUILDING SOUND BATH	479 SF	
WELLNESS BASE CAMP		
BUILDING WELLNESS BASECAMP	2292 SF	
COVERED PATIO	1555 SF	
WELLNESS CABINS		
BUILDING WELLNESS CABINS	3429 SF	
COVERED PATIO	3158 SF	
MECHANICAL AREA	220 SF	

1ST SUBMITTAL

MASTER PLAN



Project Number	22.003
Date	08/09/23
Drawn By	RAA
Checked By	RAA

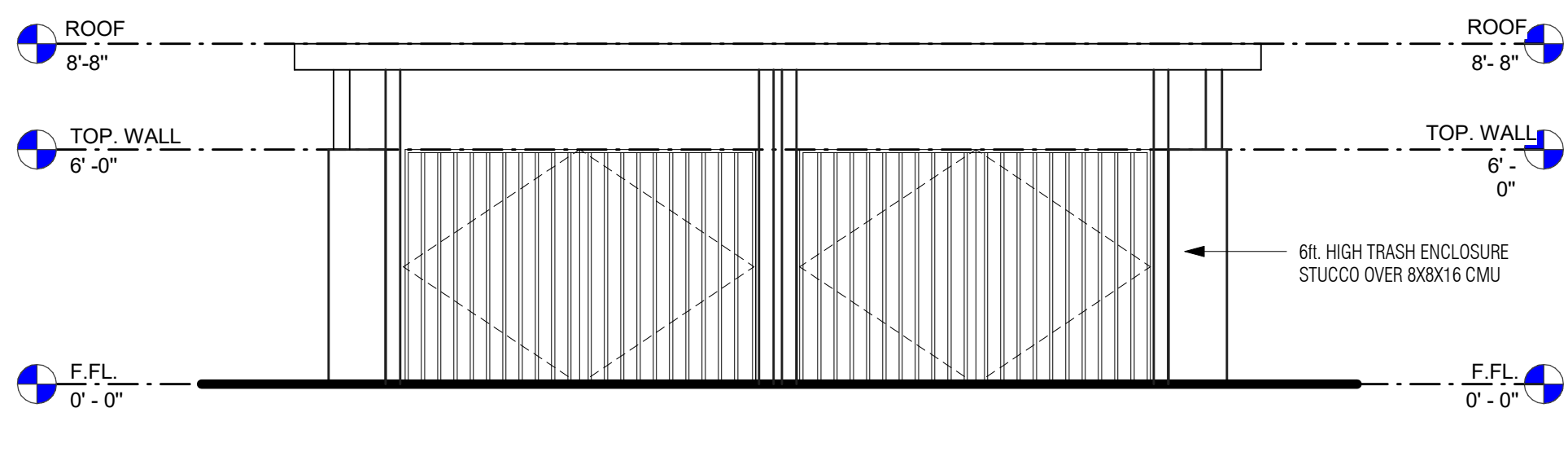
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Scale 1" = 60'-0"

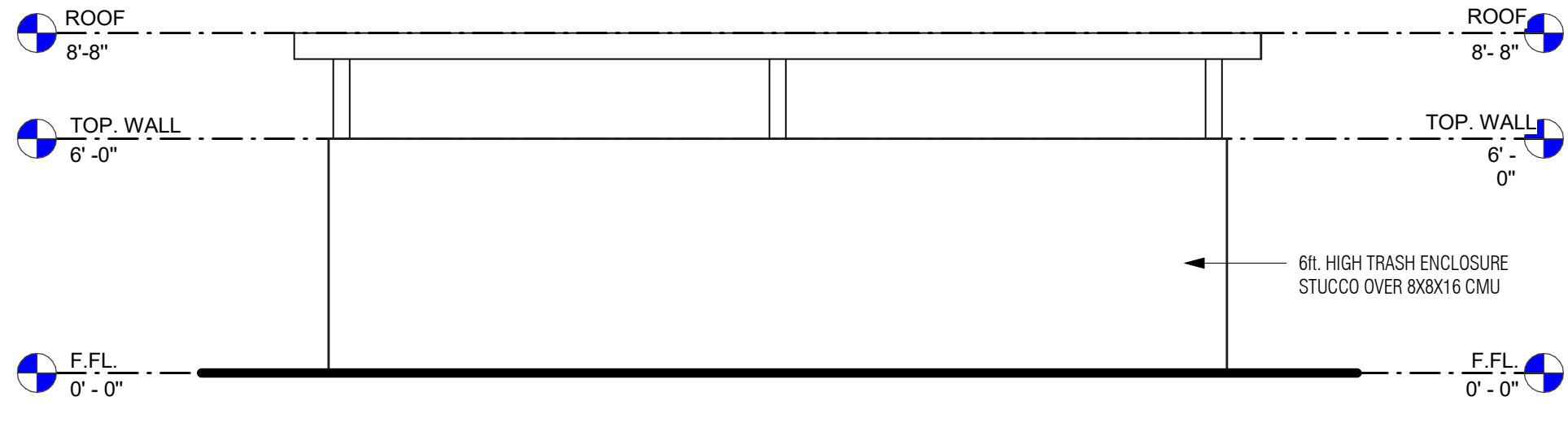
Revision Schedule		
No.	Description	Date
1	BLDG REV1	20APR23

**THE RIDGE
WELLNESS INC**

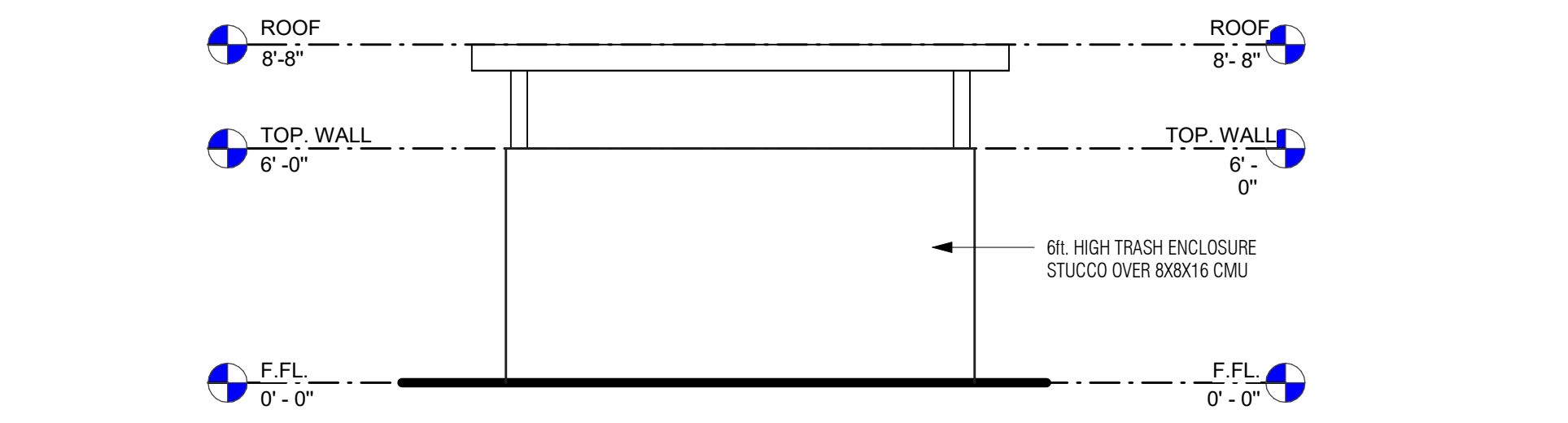
THE RIDGE
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



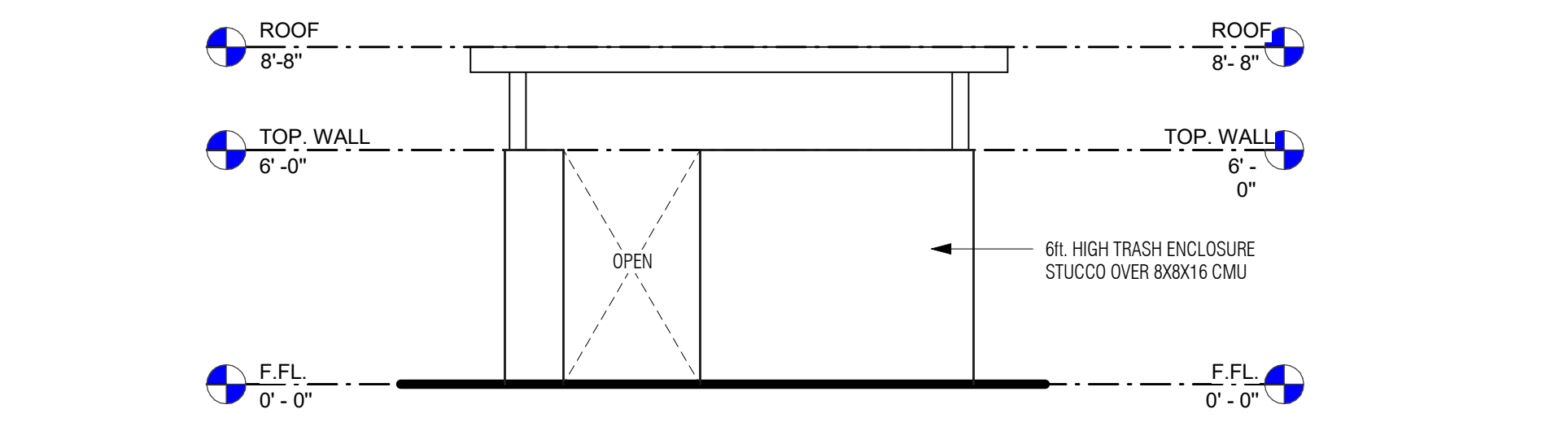
A FRONT ELEVATION
1/4" = 1'-0"



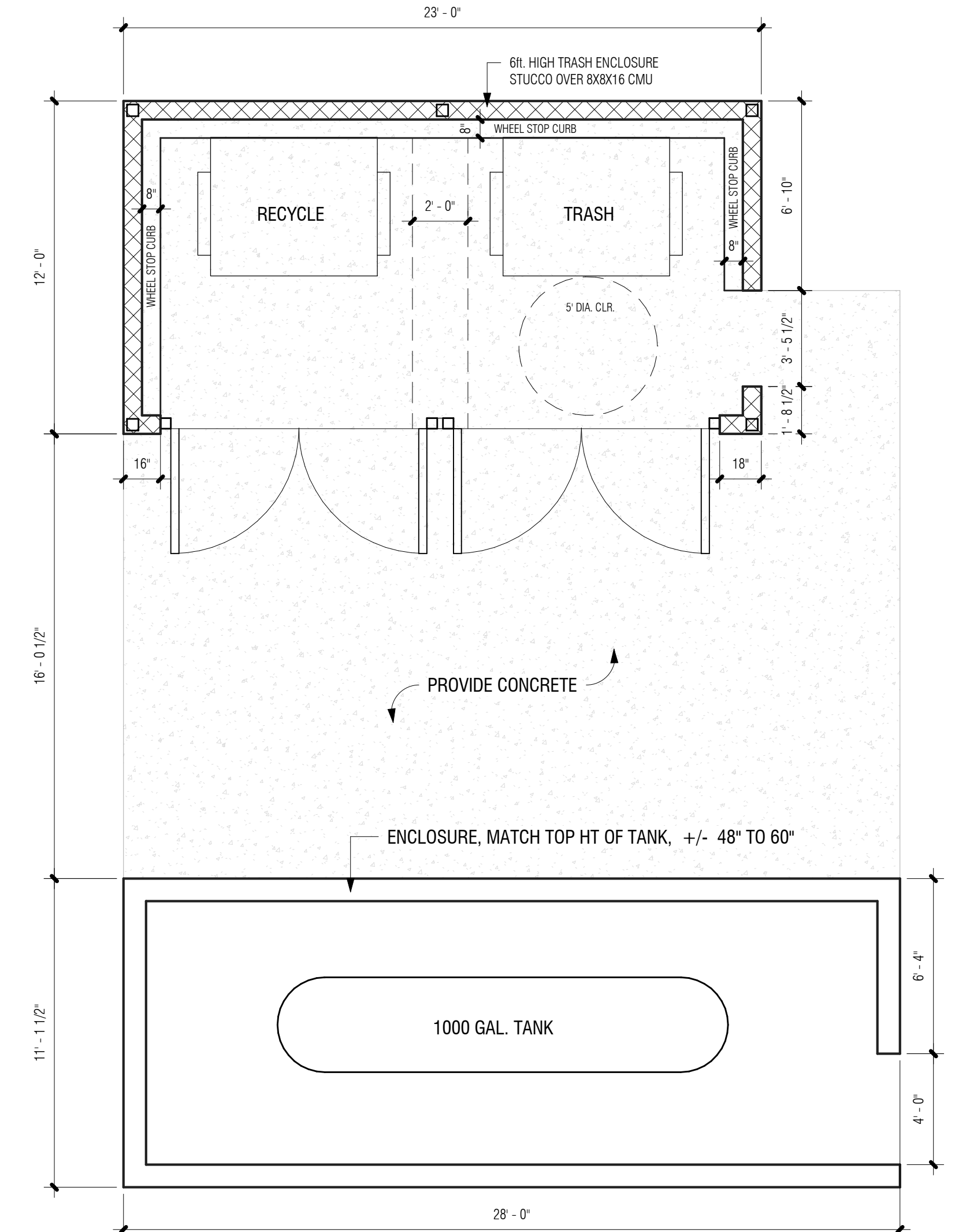
B REAR ELEVATION
1/4" = 1'-0"



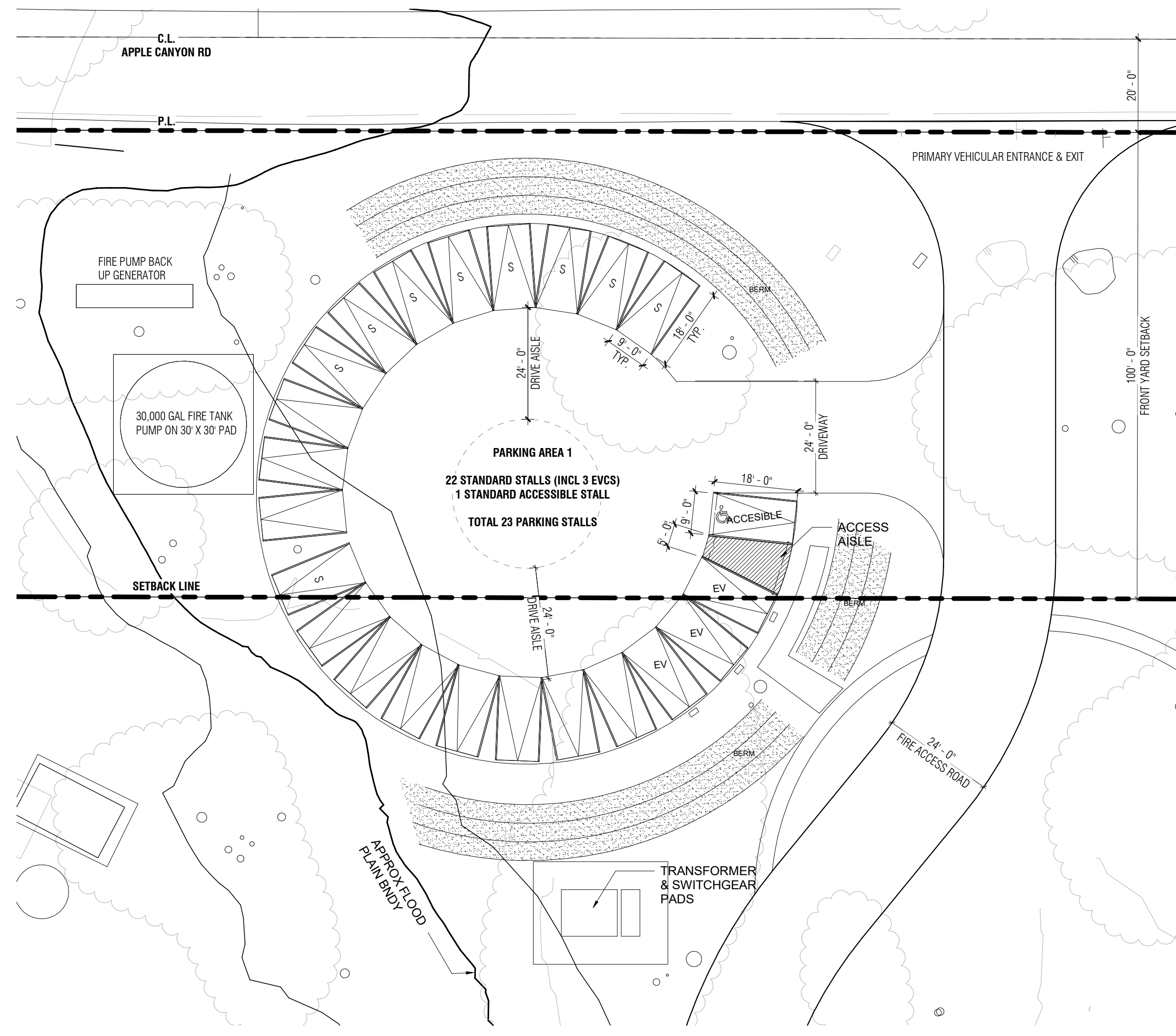
C LEFT ELEVATION
1/4" = 1'-0"



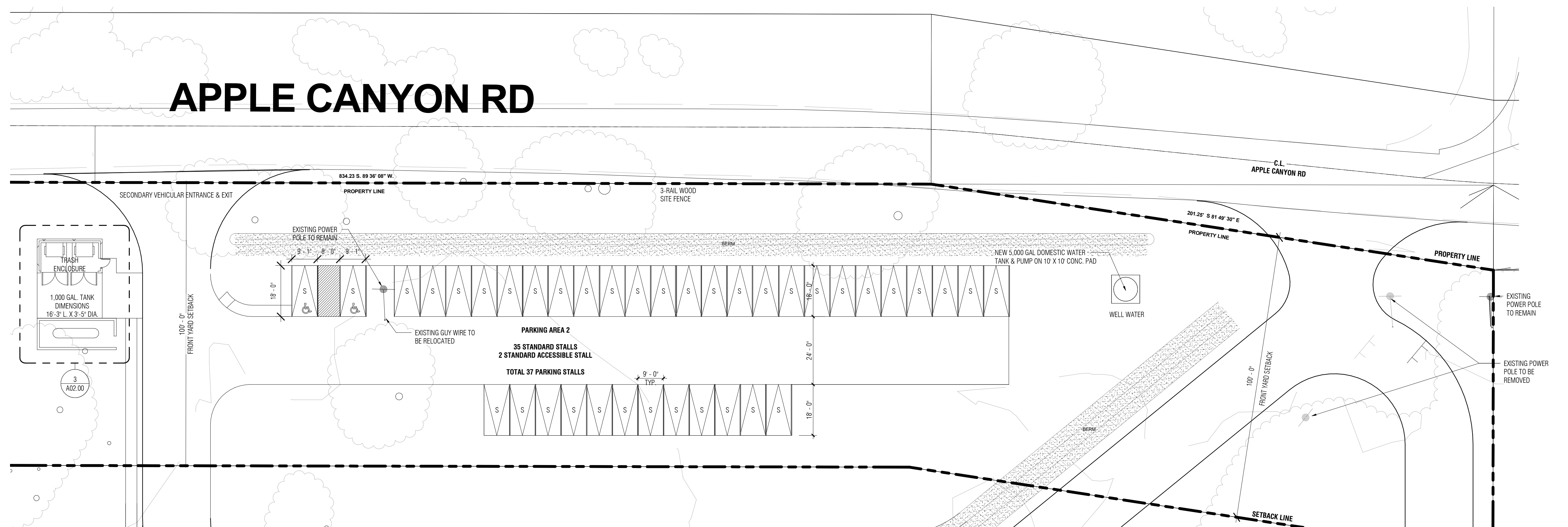
D RIGHT ELEVATION
1/4" = 1'-0"



3 TRASH ENCLOSURE & PROPANE ENCLOSURE
1/4" = 1'-0"



1 ENLARGED SITE PLAN - PRIMARY ENTRANCE & PARKING AREA 1
1" = 20'-0"

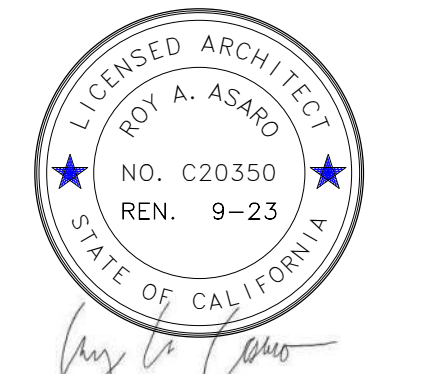


2 ENLARGED SITE PLAN - SECONDARY ENTRANCE & PARKING AREA 2
1" = 20'-0"

- PARKING AND CIRCULATION**
- FIRE APPARATUS ACCESS ROAD (DECOMPOSED GRANITE, 24" PEDESTRIAN CIRCULATION & ACCESSIBLE ROUTE (DECOMPOSED GRANITE PATH, 5' WIDE) VEHICULAR CIRCULATION (DECOMPOSED GRANITE PATH, SEE PLANS)
 - ACCESSIBLE PARKING SPACE
 - ELECTRIC VEHICLE PARKING SPACE
- SITE PLAN LEGEND**
- CONTOUR LINES
 - EXISTING TREE TO REMAIN, SEE LANDSCAPE DRAWINGS
 - 24" HIGH LANDSCAPE BERMS, SEE LANDSCAPE & CIVIL DRAWINGS
 - APPROX FLOOD PLAIN BNDY
 - FAULT ZONE BNDY

1ST SUBMITTAL

**ENLARGED
PARKING AREAS
& TRASH
ENCLOSURE**



Project Number	22.003
Date	08/09/23
Drawn By	RAA
Checked By	RAA

A02.00

Scale As indicated

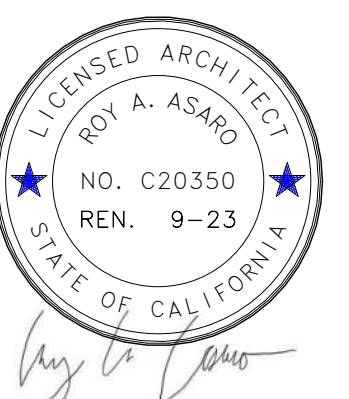
Revision Schedule		
No.	Description	Date

THE RIDGE
WELLNESS INC

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL &
ENLARGED
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AH101.0

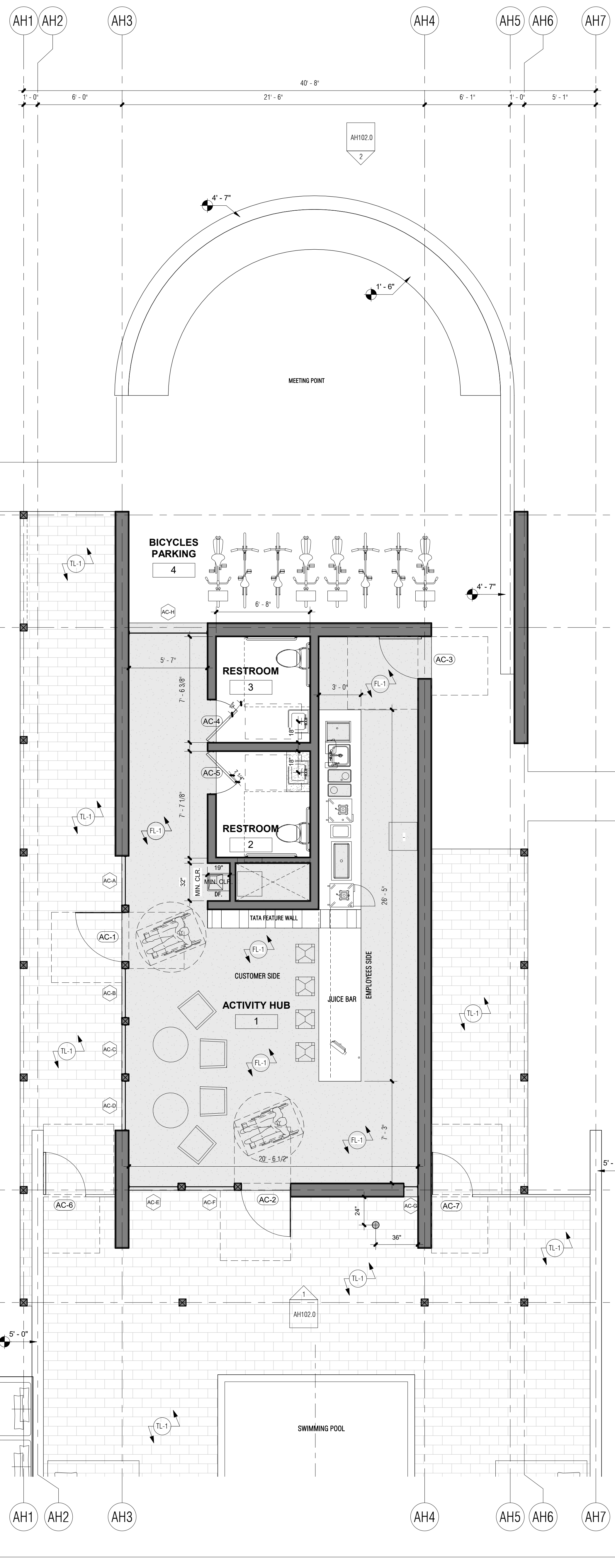
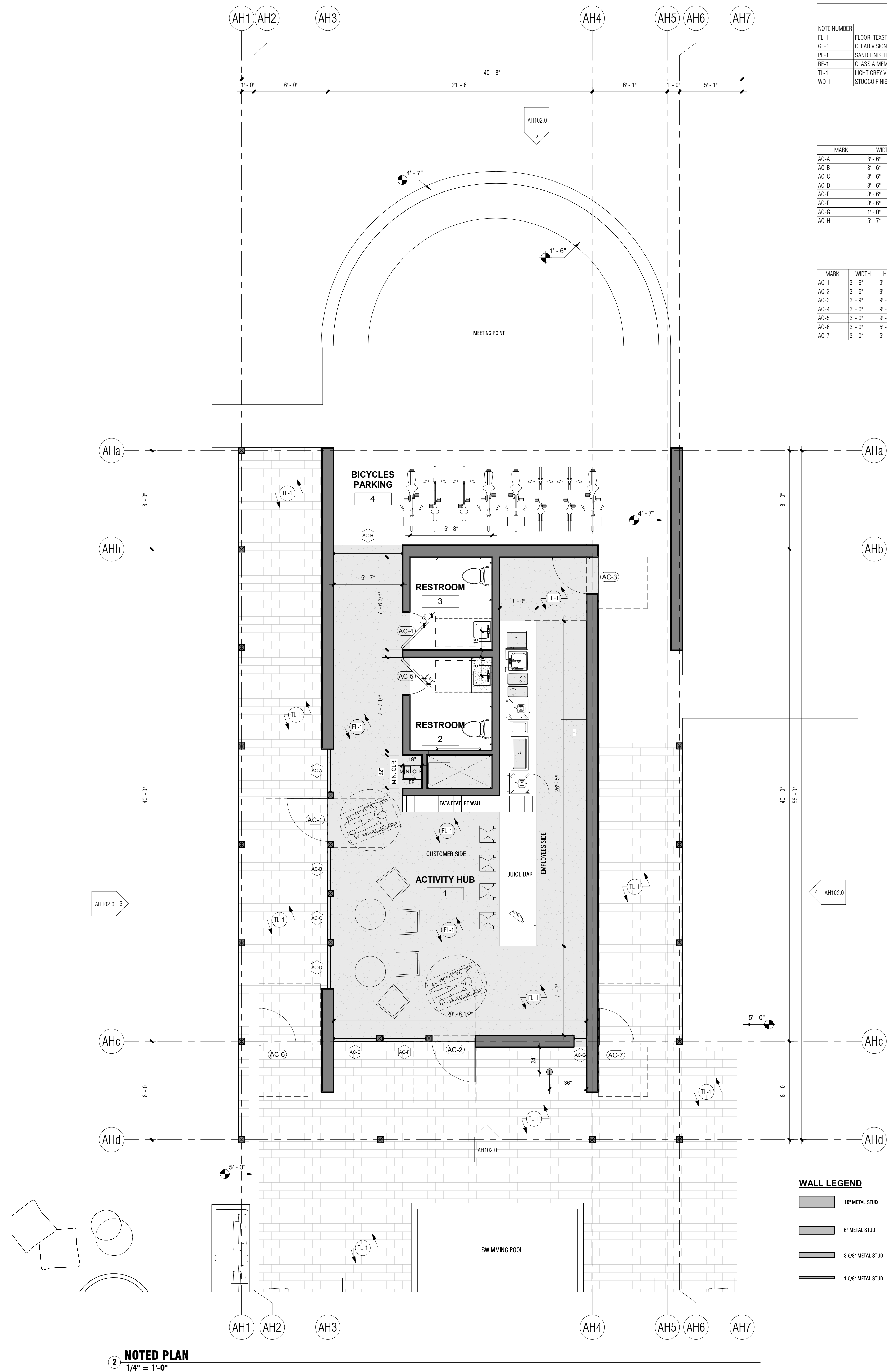
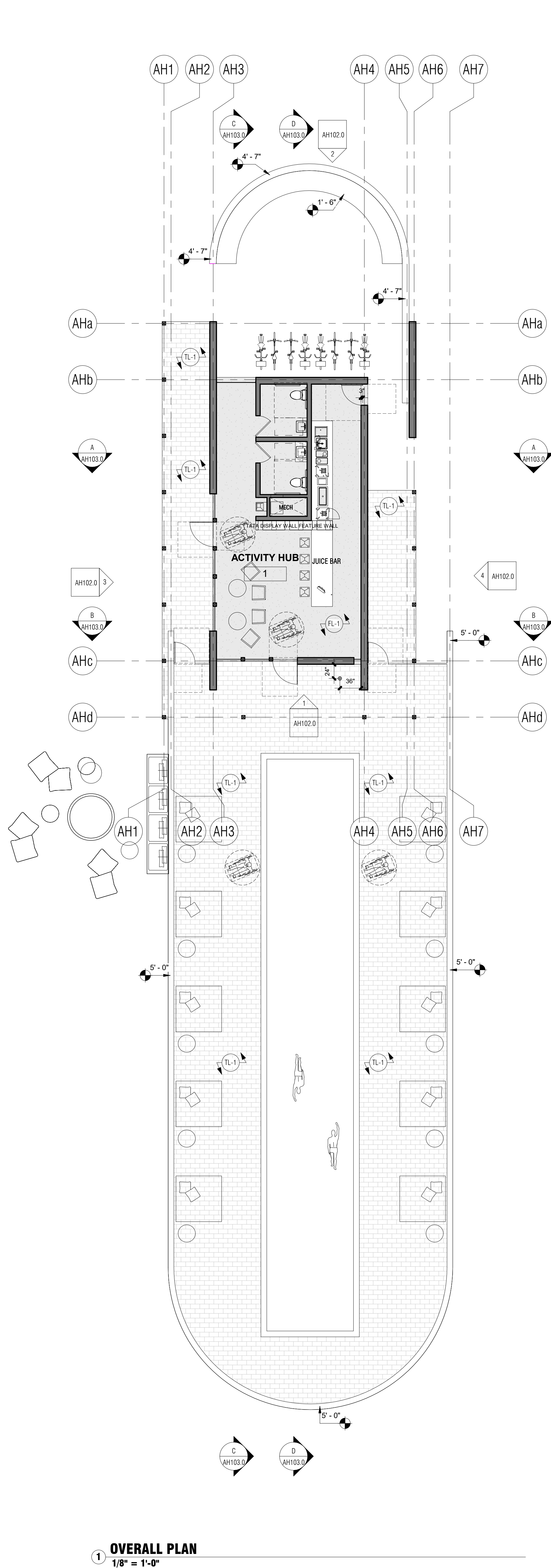
Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
AC-A	3'-6"	9'-0"			
AC-B	3'-6"	9'-0"			
AC-C	3'-6"	9'-0"			
AC-D	3'-6"	9'-0"			
AC-E	3'-6"	9'-0"			
AC-F	3'-6"	9'-0"			
AC-G	1'-0"	9'-0"			
AC-H	5'-7"	9'-0"			

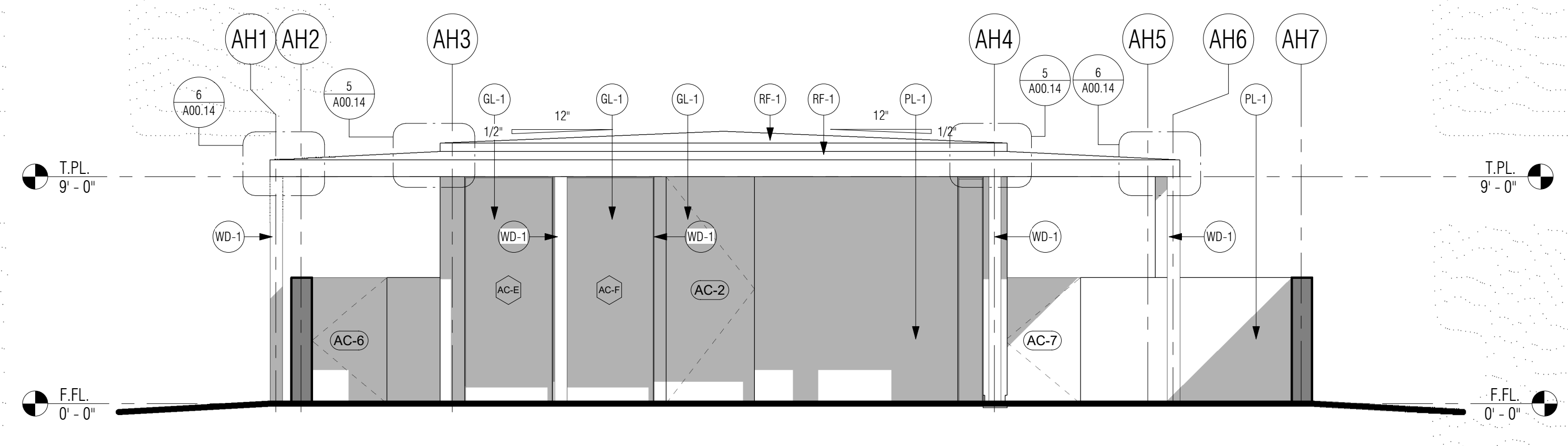
DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE		COMMENTS
AC-1	3'-6"	9'-0"	TYPE B		
AC-2	3'-6"	9'-0"	TYPE B		
AC-3	3'-9"	9'-0"	TYPE B		
AC-4	3'-0"	9'-0"	TYPE C		
AC-5	3'-0"	9'-0"	TYPE C		
AC-6	3'-0"	5'-0"	TYPE M	POOL GATE	
AC-7	3'-0"	5'-0"	TYPE M	POOL GATE	

WALL LEGEND	
	10" METAL STUD
	6" METAL STUD
	3 1/2" METAL STUD
	1 1/2" METAL STUD

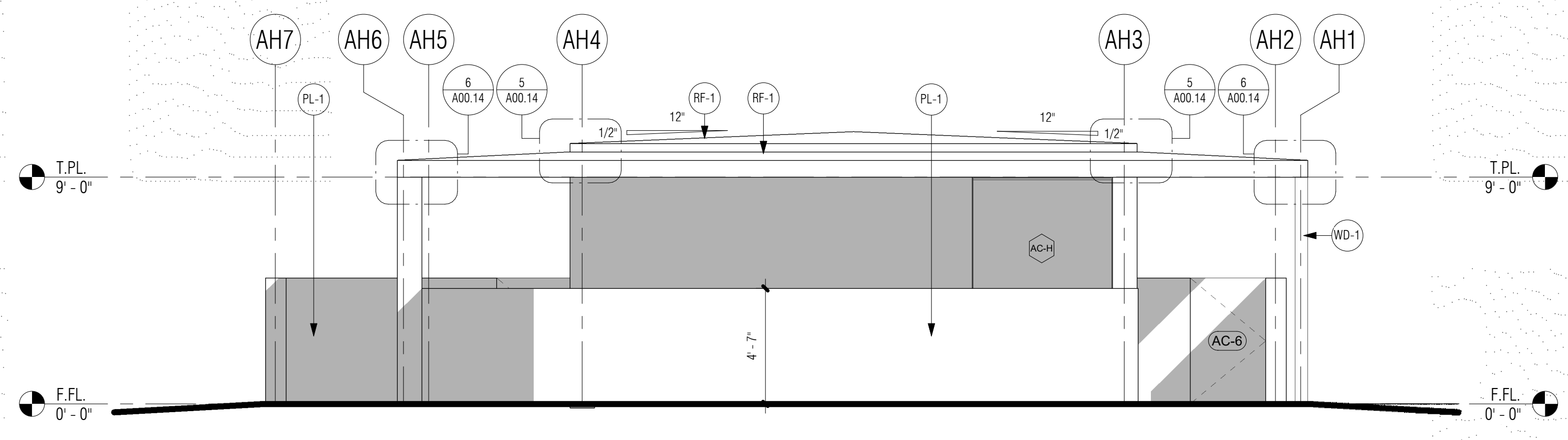


FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

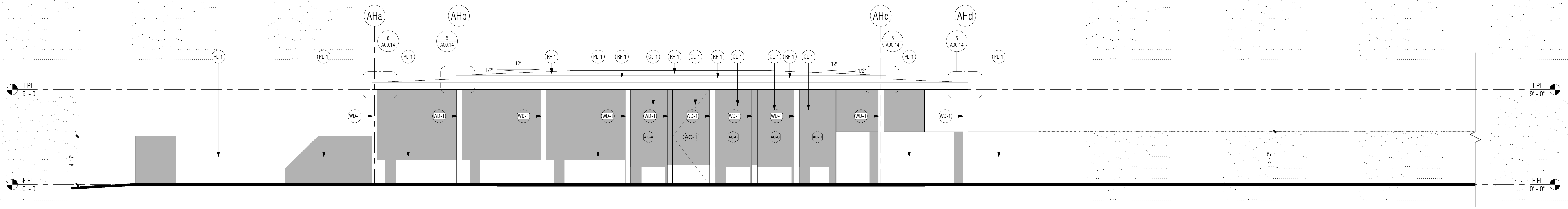
Revision Schedule		
No.	Description	Date



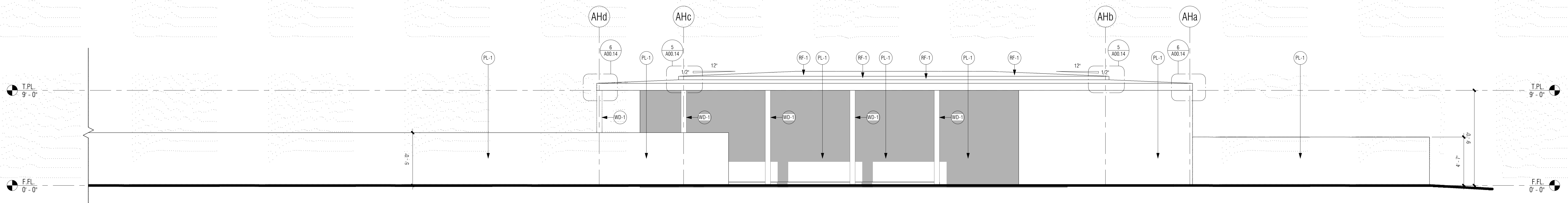
1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



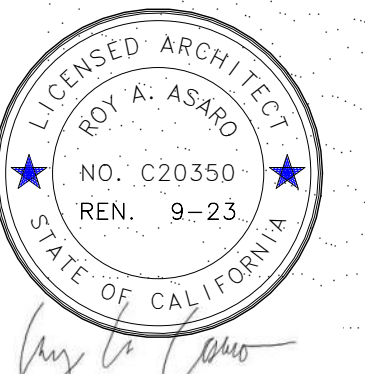
4 EAST ELEVATION
1/4" = 1'-0"

THE RIDGE
WELLNESS INC

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92661

CUP SUBMITTAL

EXTERIOR
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AH102.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
WELLNESS INC

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

SECTIONS &
ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YF & RAA
Checked By	RAA

AH103.0

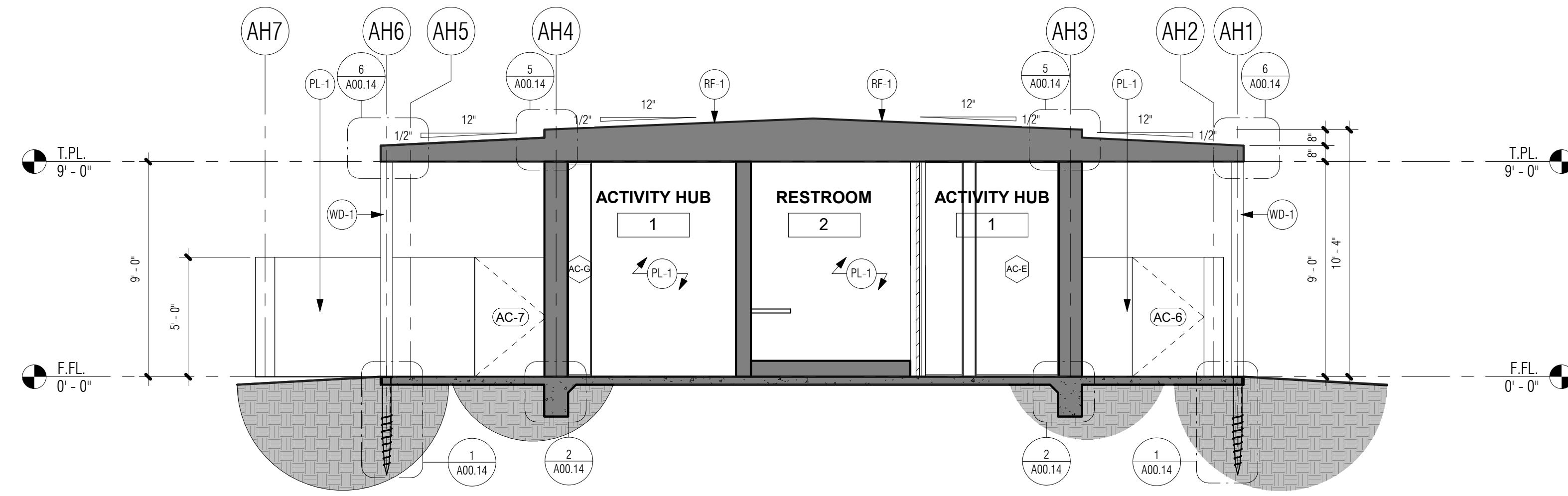
Scale 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER W/INTERAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.

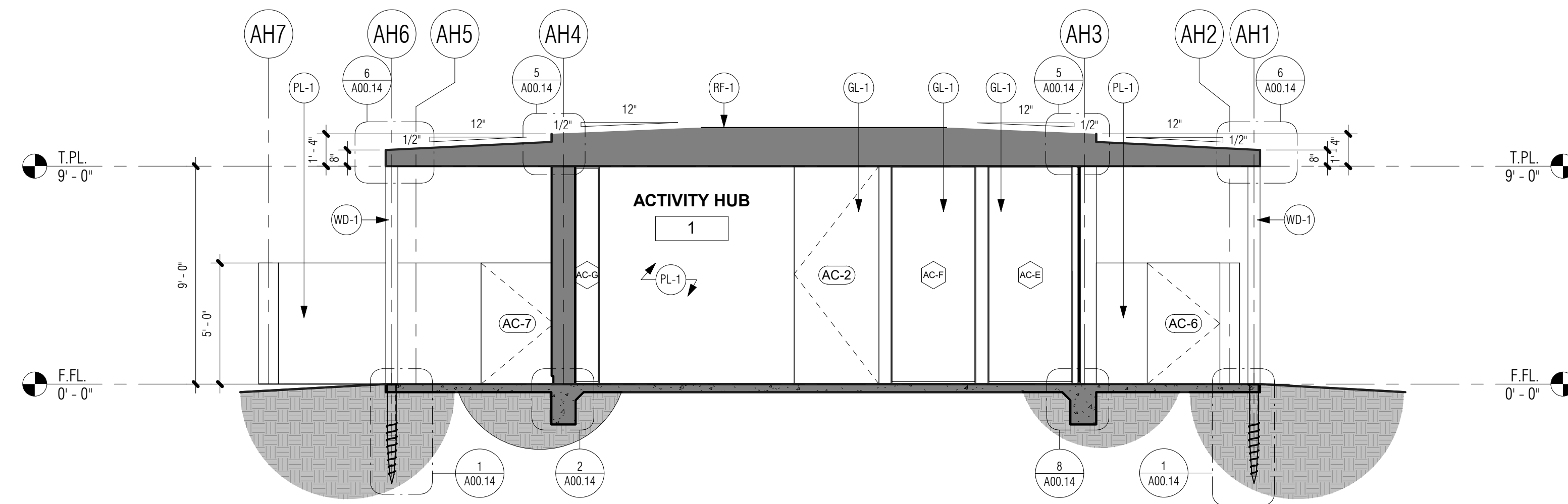
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC-ES REPORT 2093 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

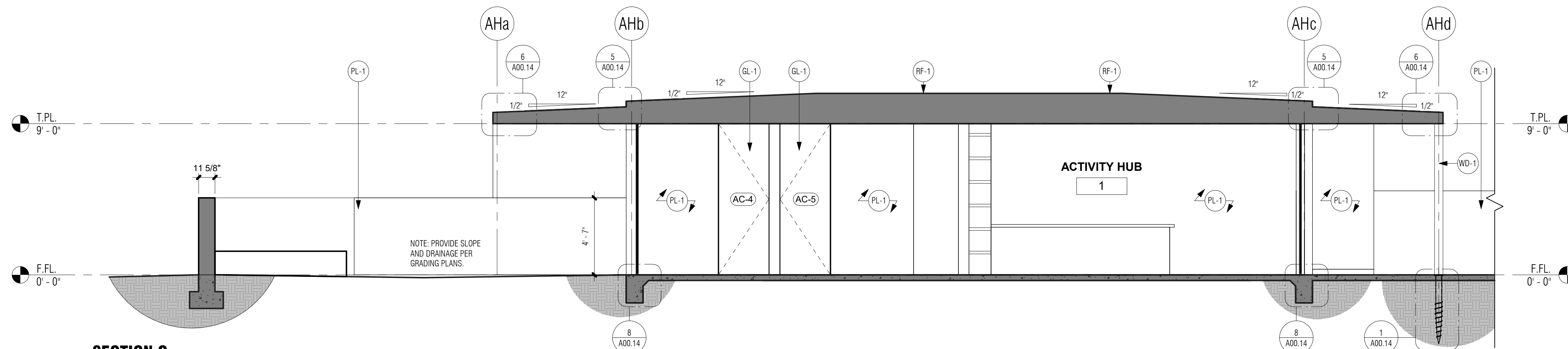
ROOFING NOTES
1/4" = 1'-0"



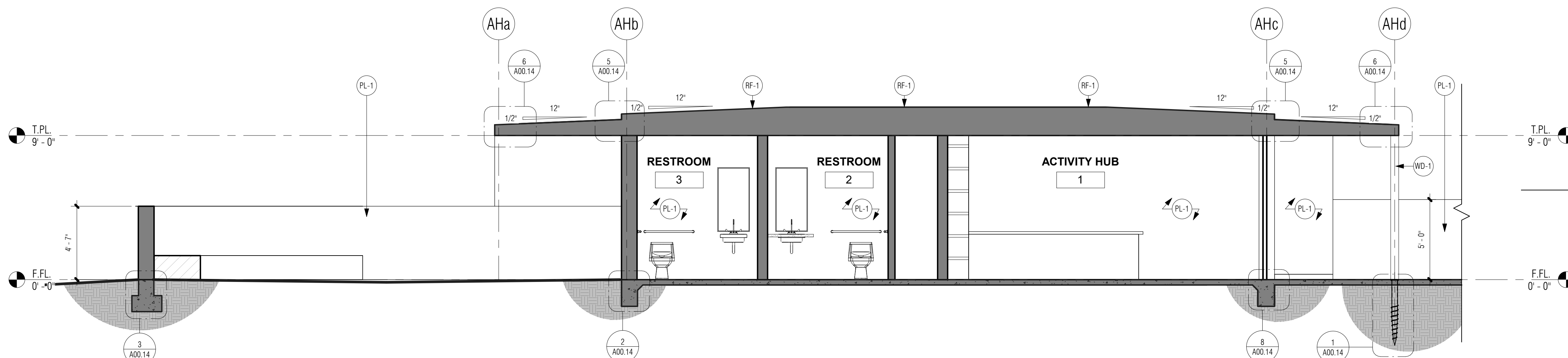
SECTION A
1/4" = 1'-0"



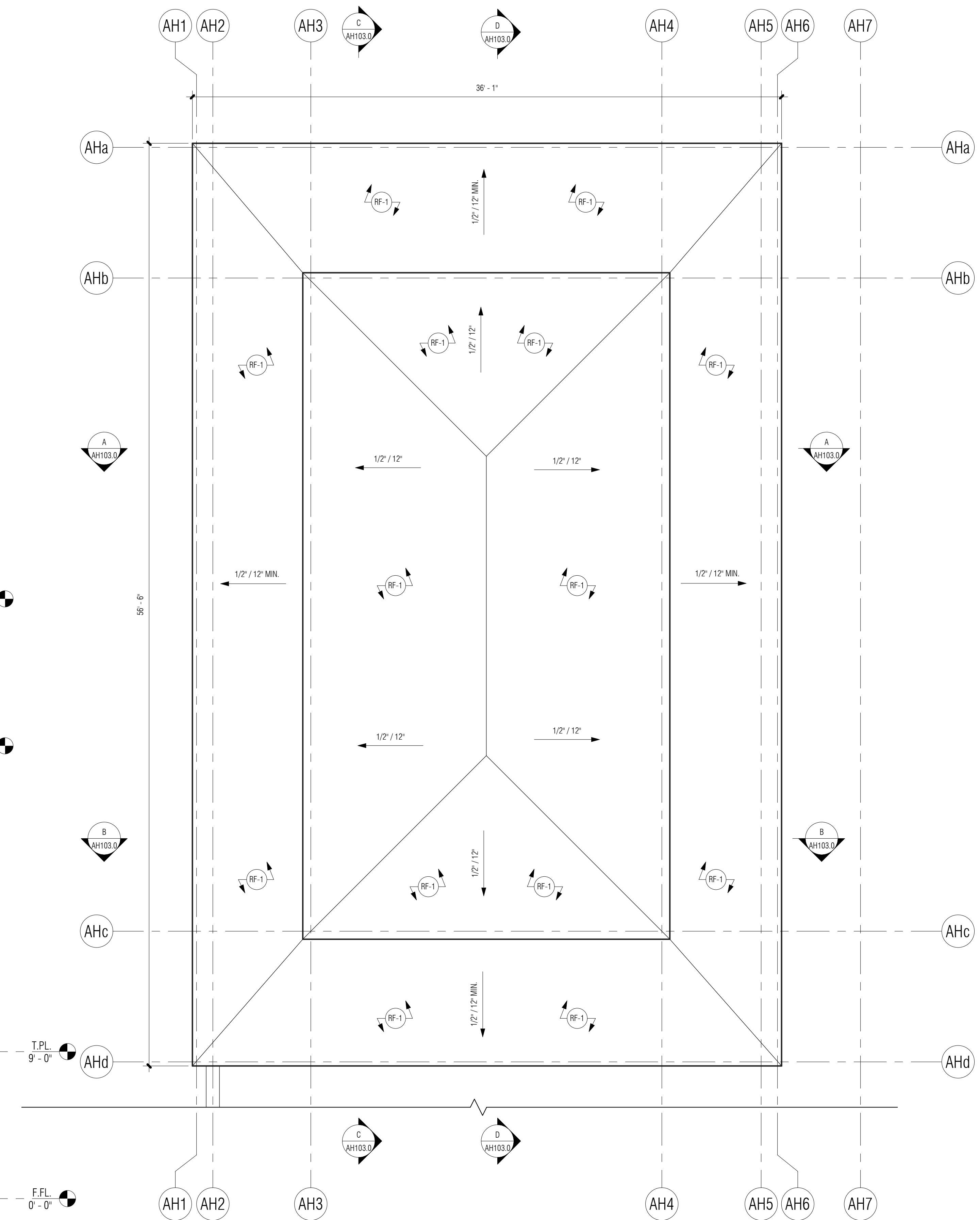
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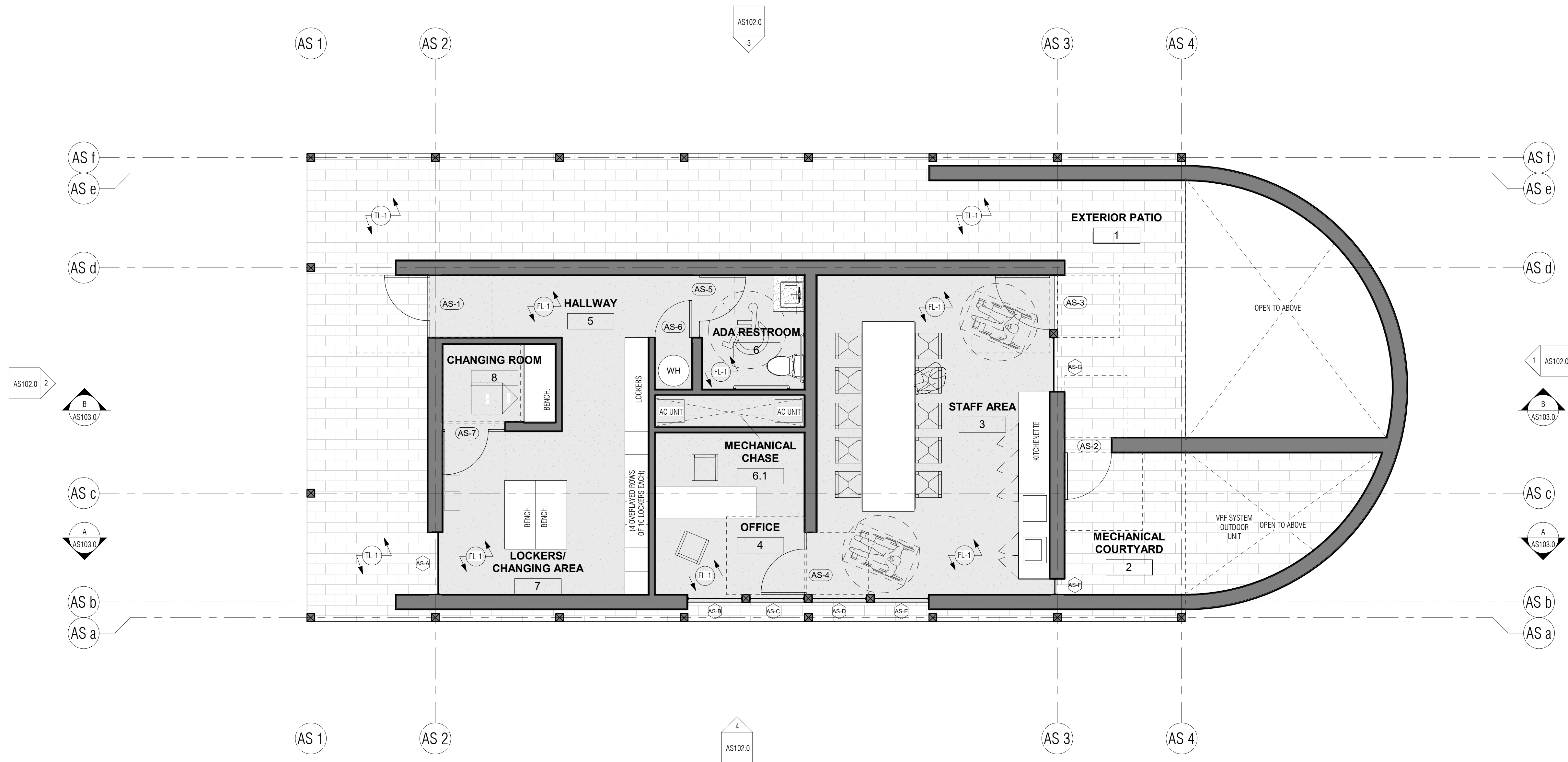
SECTION C
1/4" = 1'-0"



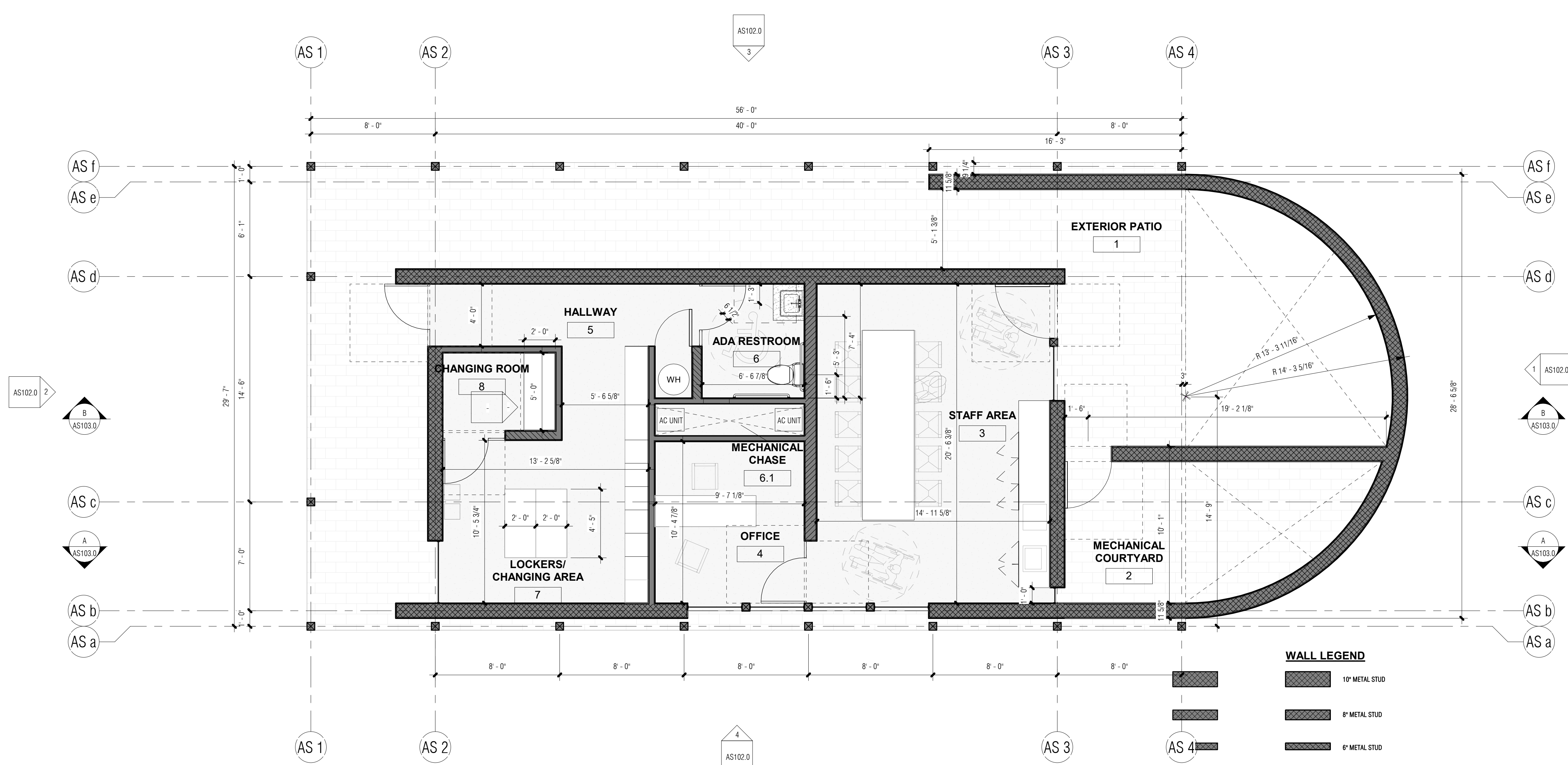
SECTION D
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



2 DIMENSION PLAN
1/4" = 1'-0"

FINISH LEGEND KEYNOTES

NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTSTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RP-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
AS-A	4'-0"	9'-0"			
AS-B	3'-6"	9'-0"			
AS-C	3'-6"	9'-0"			
AS-D	3'-6"	9'-0"			
AS-E	3'-6"	9'-0"			
AS-F	1'-0"	9'-0"			
AS-G	3'-6"	9'-0"			

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
AS-1	4'-0"	9'-0"	TYPE A	
AS-2	3'-0"	9'-0"	TYPE C	
AS-3	3'-6"	9'-0"	TYPE B	
AS-4	4'-0"	9'-0"	TYPE A	
AS-5	4'-0"	8'-0"	TYPE A	
AS-6	2'-4 1/2"	8'-0"	TYPE C	
AS-7	4'-0"	9'-0"	TYPE A	

Revision Schedule

No.	Description	Date

**THE RIDGE
GUEST RANCH**

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

NOTED,
DIMENSION PLAN
AND SCHEDULES



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS101.0

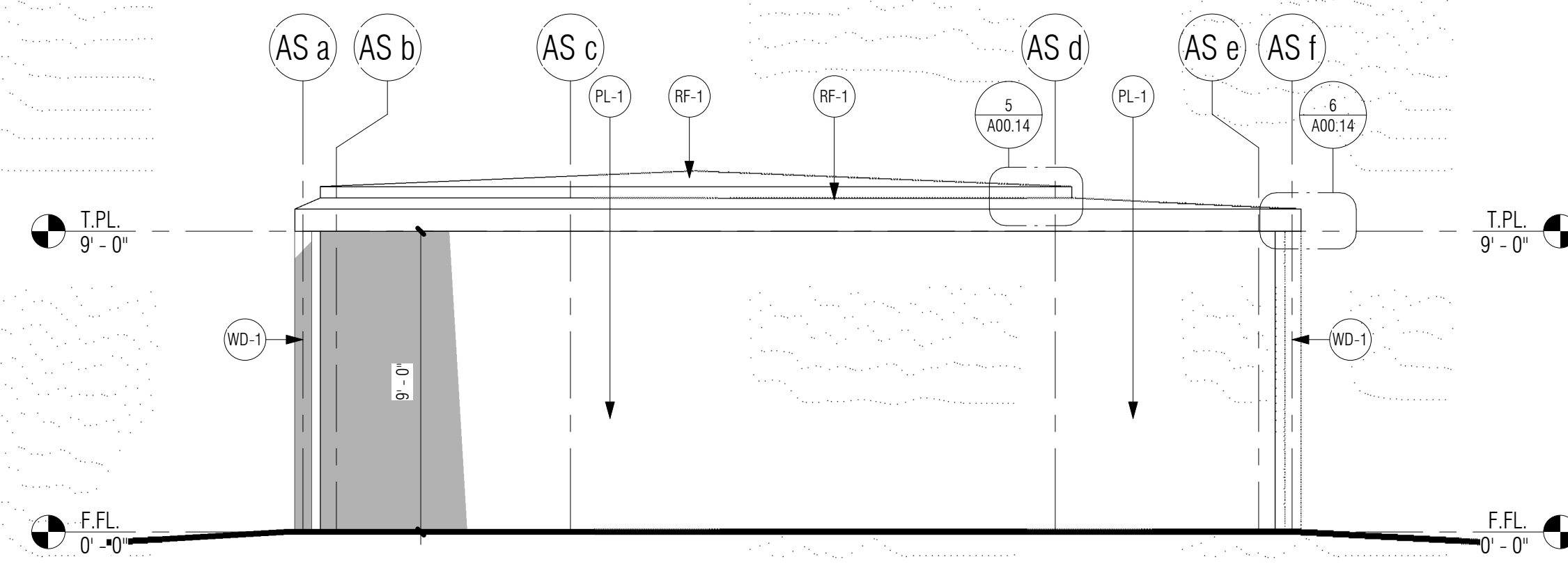
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FINISH LEGEND KEYNOTES

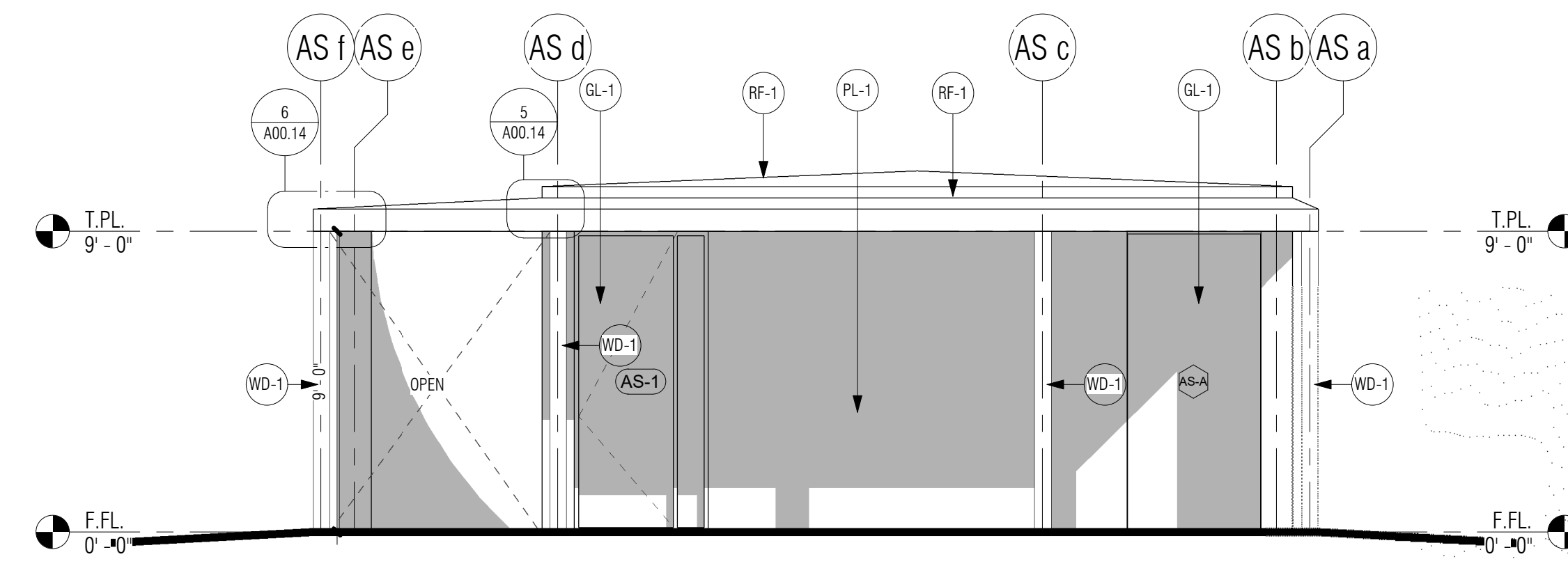
NOTE #	FLOOR, TEXT/STON FINISH	NOTE TEXT
FL-1	FLOOR, TEXT/STON FINISH	
GL-1	CLEAR VISION GLAZING	
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR	
RF-1	CLASS A MEMBRANE ROOF	
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES	
WD-1	STUCCO FINISH TO BE DETERMINED	

Revision Schedule

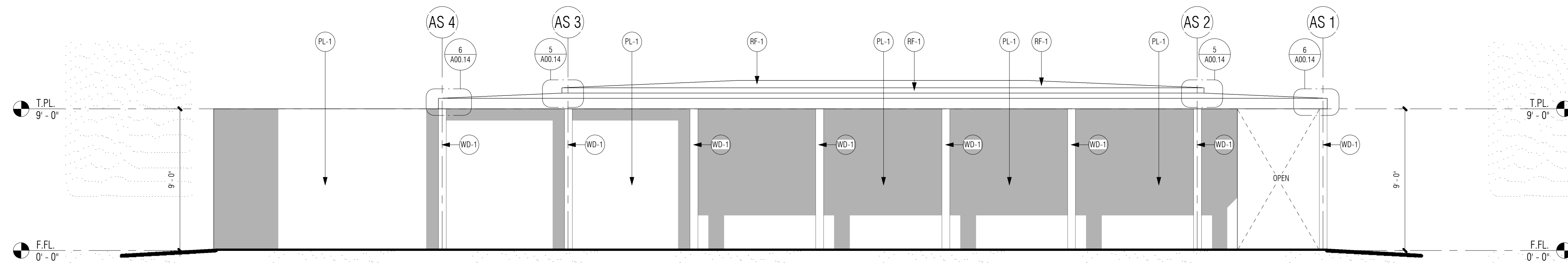
No.	Description	Date



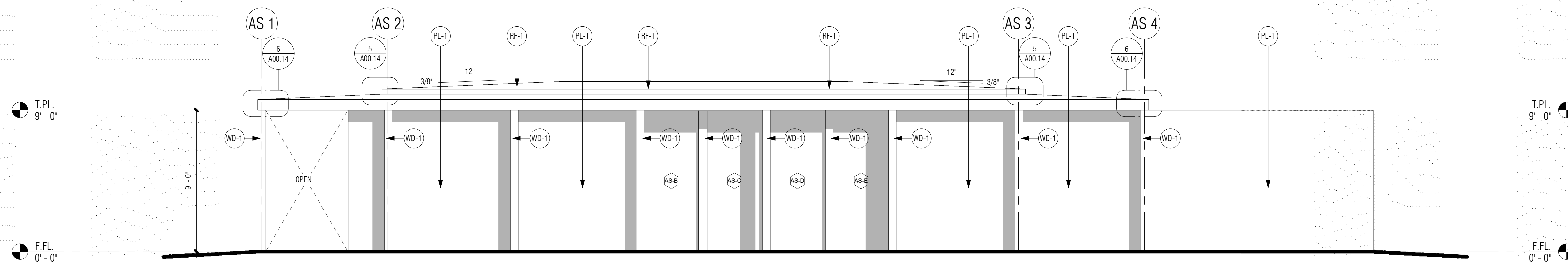
1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



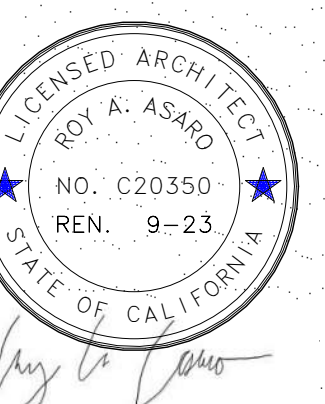
4 SOUTH ELEVATION
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
EXTERIOR
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS102.0

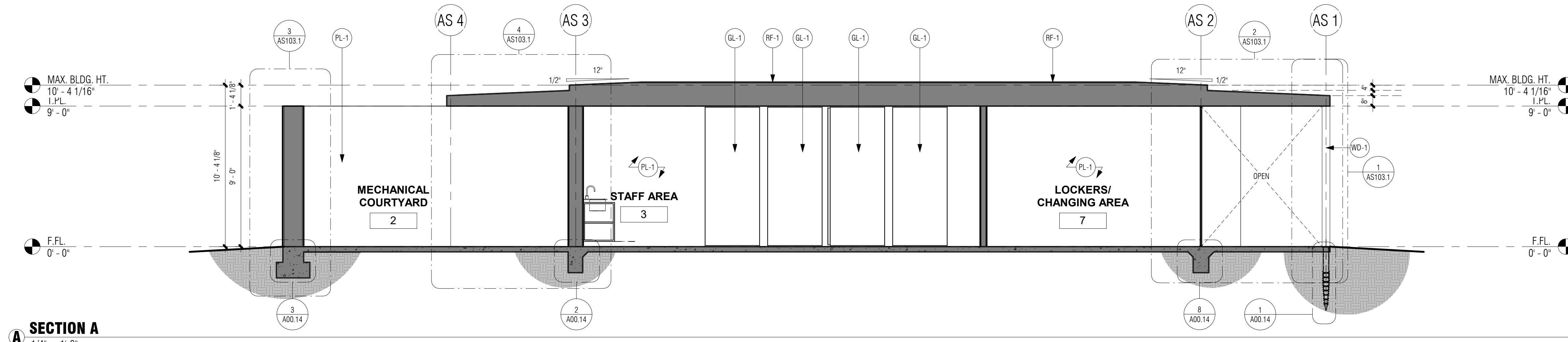
Scale 1/4" = 1'-0"

FINISH LEGEND KEYNOTES

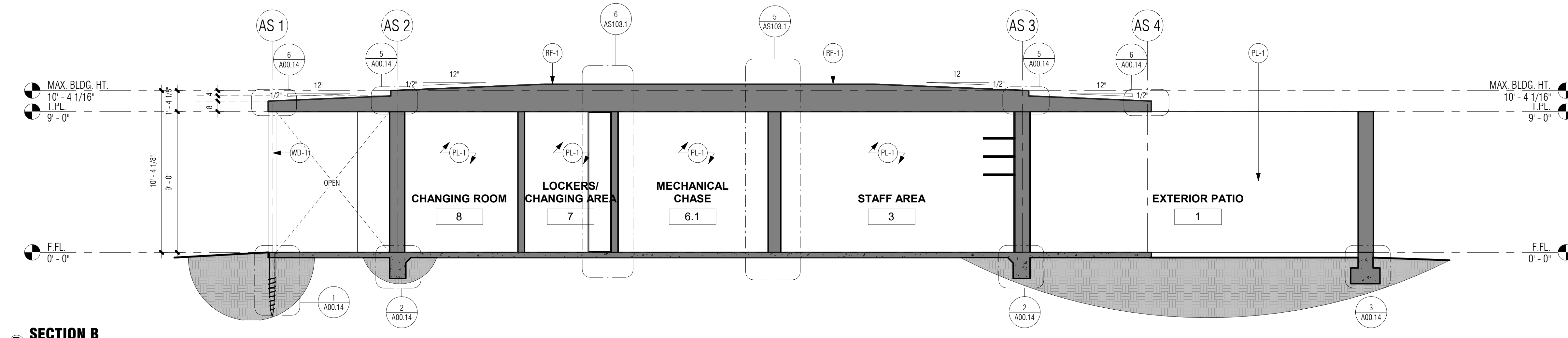
NOTE #	FLOOR, TEXTION FINISH	NOTE TEXT
FL-1	FLOOR, TEXTION FINISH	
GL-1	CLEAR VISION GLAZING	
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR	
RP-1	CLASS A MEMBRANE ROOF	
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES	
WD-1	STUCCO FINISH TO BE DETERMINED	

Revision Schedule

No.	Description	Date



A SECTION A
1/4" = 1'-0"



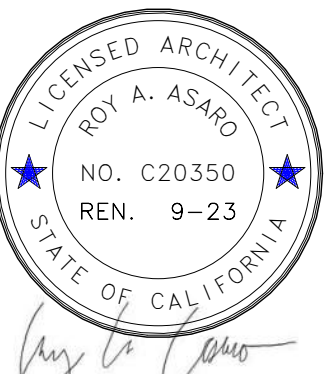
B SECTION B
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

ADMIN. & STAFF
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS103.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

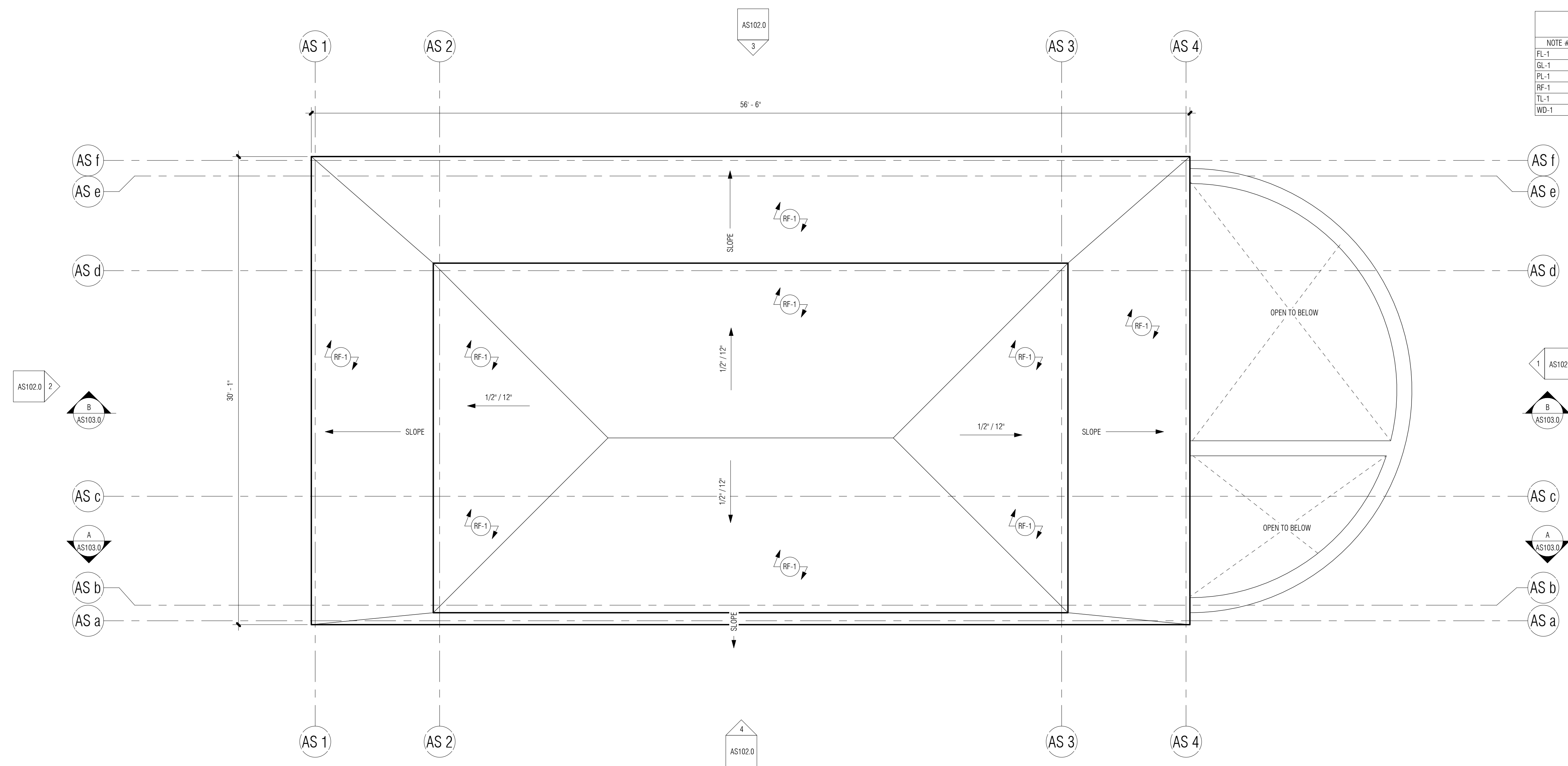
FINISH LEGEND KEYNOTES	
NOTE #	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2083 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

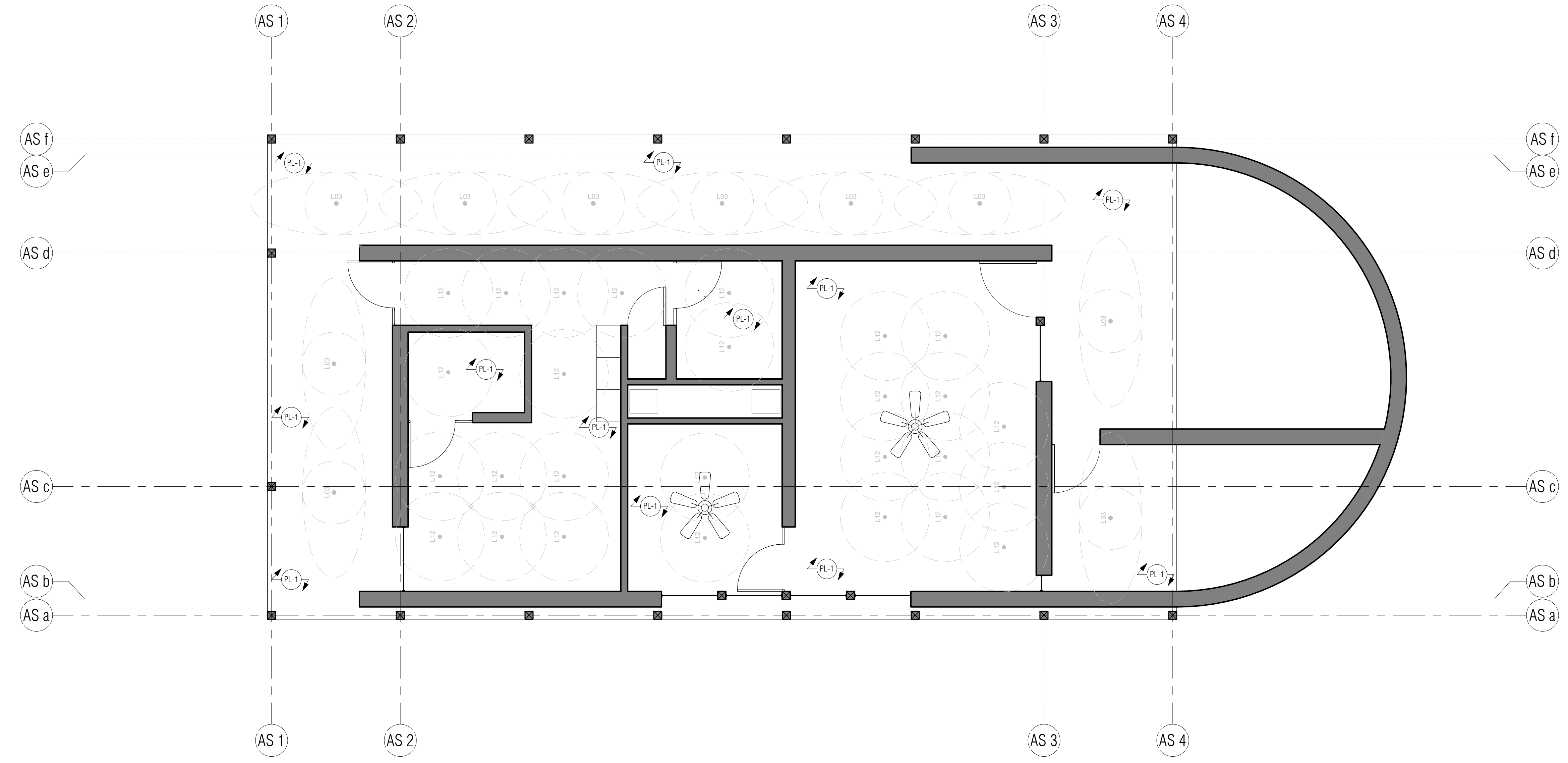
ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.755A.4

ROOFING NOTES

1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



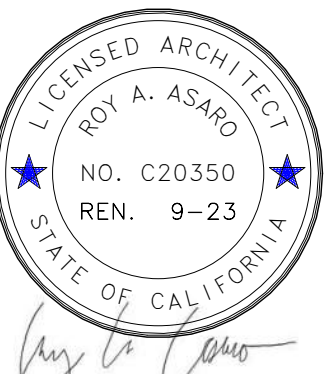
2 REFLECTED CEILING PLAN
1/4" = 1'-0"

**THE RIDGE
GUEST RANCH**

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN &
RCP



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS104.0

Scale 1/4" = 1'-0"

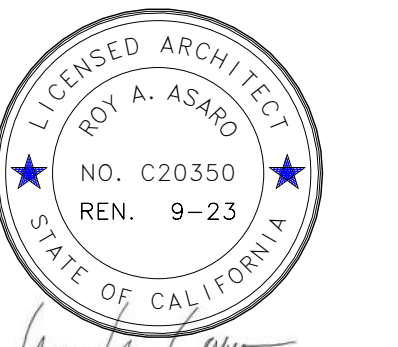
Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

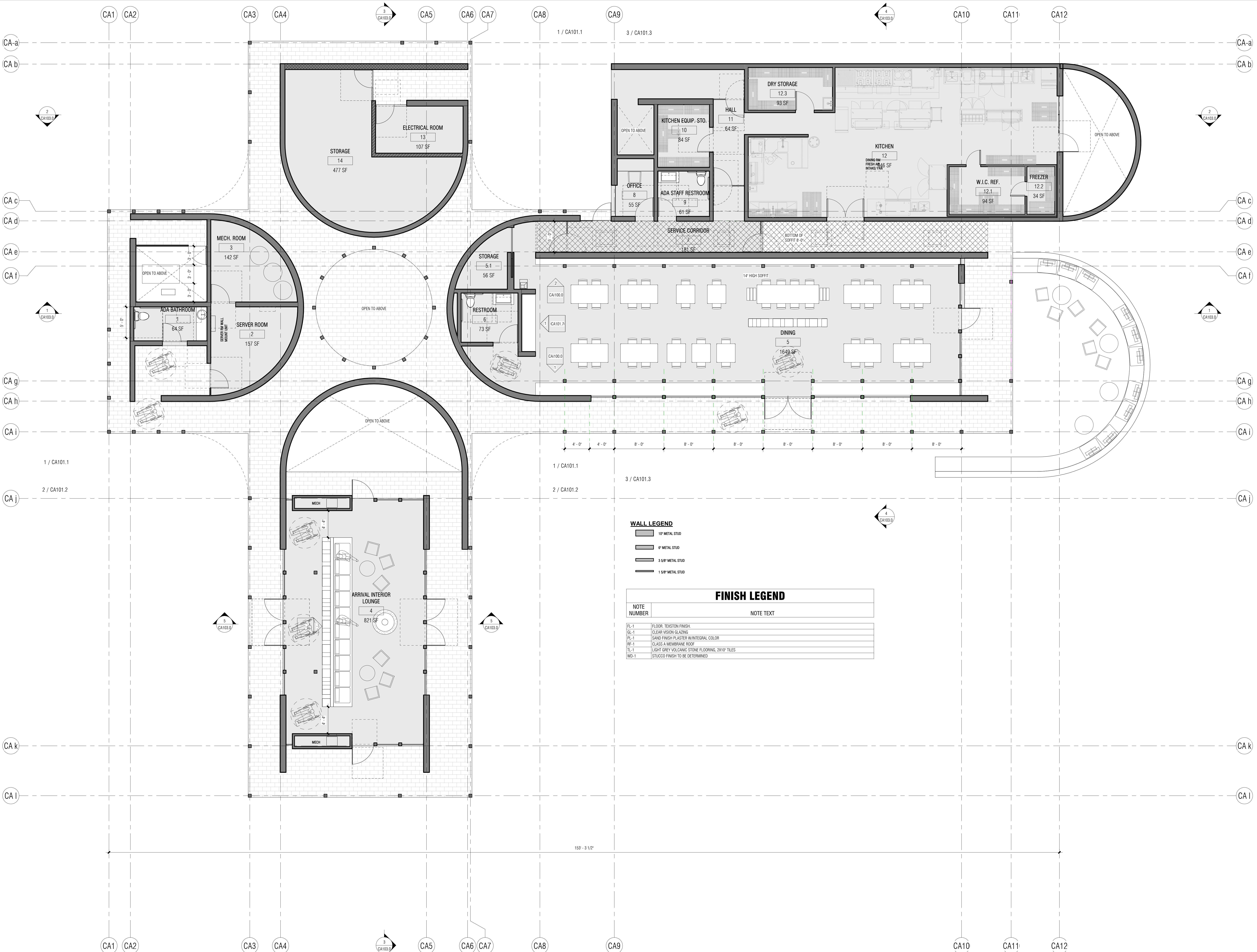
**OVERALL FLOOR
PLAN**



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.0

Scale 3/16" = 1'-0"



1 OVERALL FLOOR PLAN
3/16" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
FL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

WINDOW SCHEDULE						
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS	
CA-B	3'-6"	9'-0"				
CA-BB	1'-0"	9'-0"				
CA-C	3'-6"	9'-0"				
CA-D	3'-6"	9'-0"				
CA-DD	1'-0"	9'-0"				
CA-E	3'-6"	9'-0"				
CA-EE	3'-6"	9'-0"				
CA-F	3'-6"	9'-0"				
CA-G	3'-6"	9'-0"				
CA-H	3'-6"	9'-0"				
CA-J	3'-6"	9'-0"				
CA-L	3'-6"	9'-0"				
CA-M	3'-6"	9'-0"				
CA-N	3'-6"	9'-0"				
CA-P	3'-6"	9'-0"				
CA-Q	3'-6"	9'-0"				
CA-R	7'-6"	9'-0"				
CA-S	7'-6"	9'-0"				
CA-T	7'-6"	9'-0"				
CA-U	7'-6"	9'-0"				
CA-V	7'-6"	9'-0"				
CA-W	2'-1 1/8"	9'-0"				
CA-X	3'-6"	9'-0"				
CA-Y	3'-6"	9'-0"				
CA-Z	1'-0"	9'-0"				
CA-2A	5'-0"	9'-0"				
CA-2B	3'-0"	9'-0"				
CA-2C	3'-0"	9'-0"				

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS		
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-8	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)		
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)		
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-22	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)		

THE RIDGE
GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

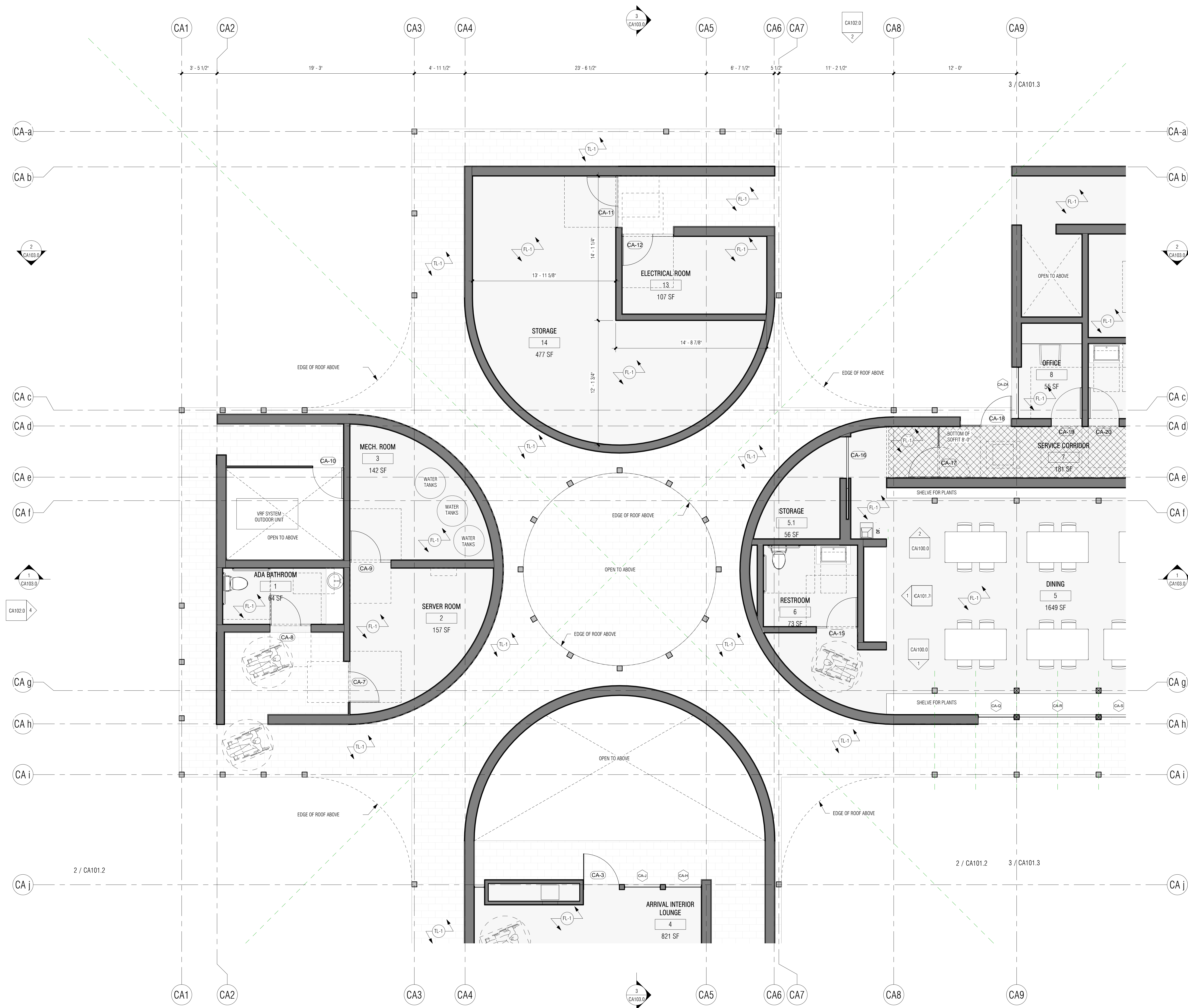
ENLARGED
FLOOR PLAN



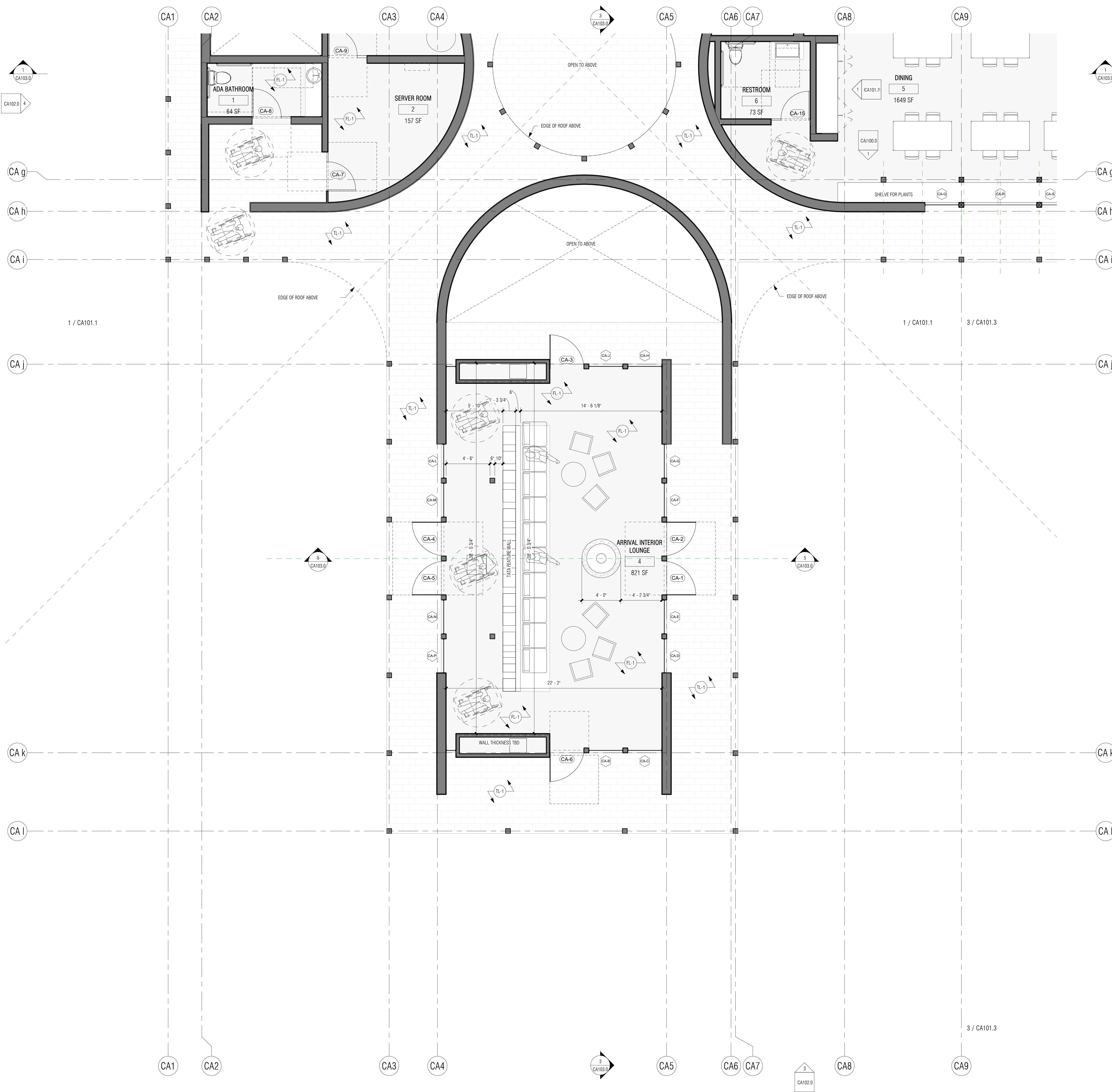
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.1

Scale 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN
1/4" = 1'-0"



FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER, INTEGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.

Revision Schedule		
No.	Description	Date

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
CA-B	3'-6"	9'-0"			
CA-BB	1'-0"	9'-0"			
CA-C	3'-6"	9'-0"			
CA-D	3'-6"	9'-0"			
CA-DD	1'-0"	9'-0"			
CA-E	3'-6"	9'-0"			
CA-EE	3'-6"	9'-0"			
CA-F	3'-6"	9'-0"			
CA-G	3'-6"	9'-0"			
CA-H	3'-6"	9'-0"			
CA-I	3'-6"	9'-0"			
CA-J	3'-6"	9'-0"			
CA-K	7'-6"	9'-0"			
CA-L	7'-6"	9'-0"			
CA-M	3'-6"	9'-0"			
CA-N	3'-6"	9'-0"			
CA-P	3'-6"	9'-0"			
CA-Q	3'-6"	9'-0"			
CA-R	7'-6"	9'-0"			
CA-S	7'-6"	9'-0"			
CA-T	7'-6"	9'-0"			
CA-U	7'-6"	9'-0"			
CA-V	7'-6"	9'-0"			
CA-W	2'-1 1/8"	9'-0"			
CA-X	3'-6"	9'-0"			
CA-Y	3'-6"	9'-0"			
CA-Z	1'-0"	9'-0"			
CA-2A	5'-0"	9'-0"			
CA-2B	3'-0"	9'-0"			
CA-2C	3'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-8	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)	
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)	
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-22	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)	

ROY A. ASARO ARCHITECT, INC.
 Roy A. Asaro principal
 P.O. Box 300576, Escondido, Ca. 92030
 C 760.805.4640 F 760.837.3049
 royasaro@gmail.com

**THE RIDGE
GUEST RANCH**

COMMON AREAS
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL
 ENLARGED FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.2

Scale 1/4" = 1'-0"

2 ENLARGED FLOOR PLAN
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**

COMMON AREAS
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ENLARGED
 FLOOR PLAN

Project Number 22.003

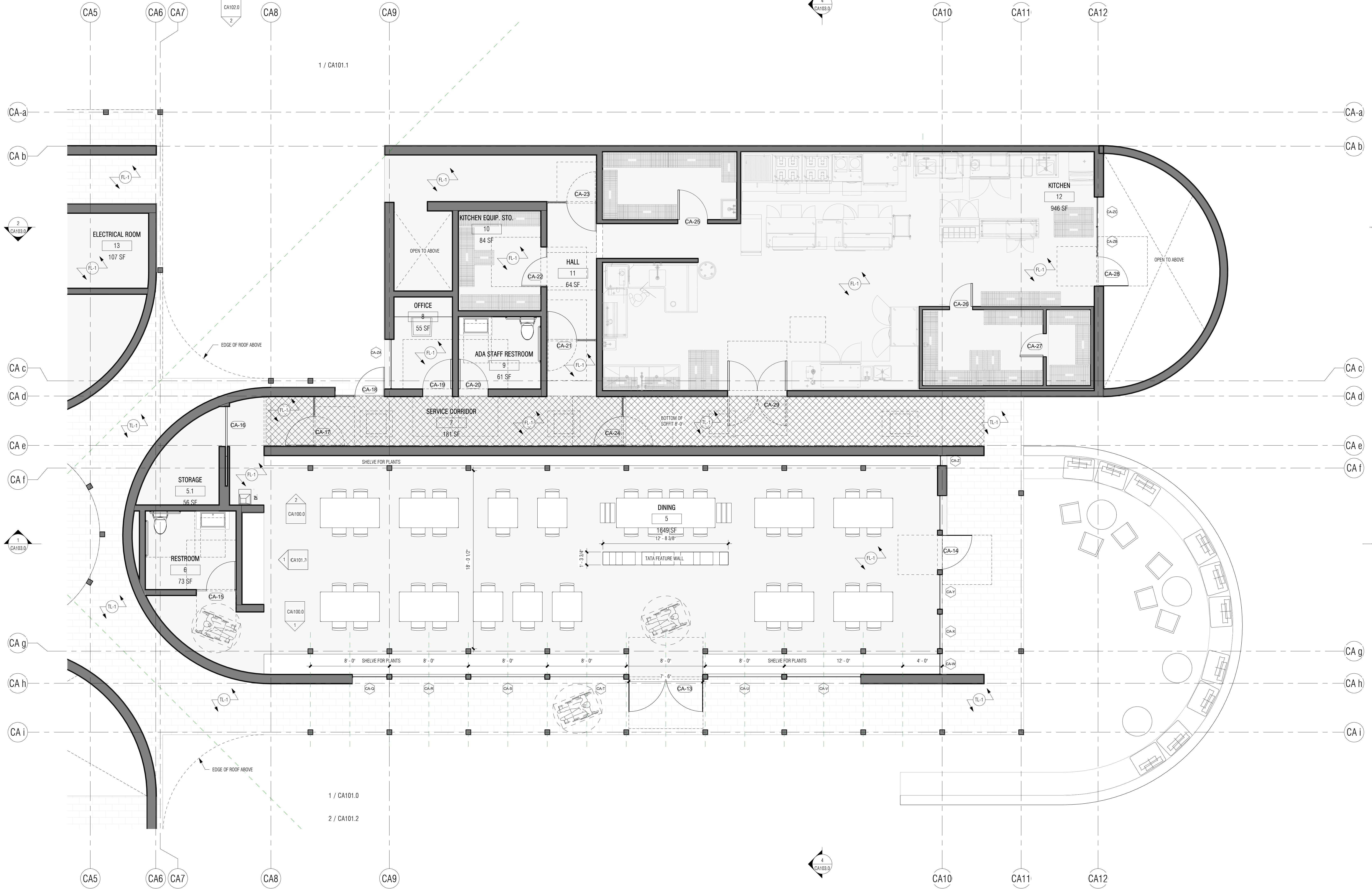
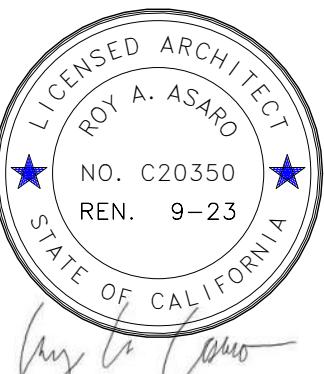
Date 05/17/23

Drawn By YAS

Checked By RAA

CA101.3

Scale 1/4" = 1'-0"



3 ENLARGED FLOOR PLAN
 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/WHITE GROUT
WF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

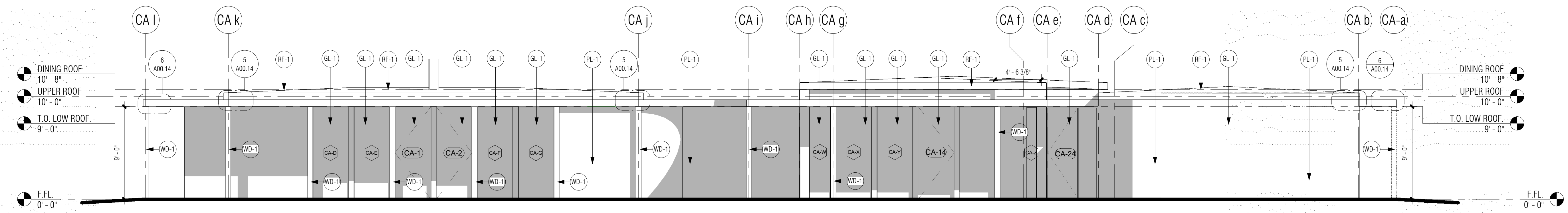
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
CA-B	3'-6"	9'-0"			
CA-BB	1'-0"	9'-0"			
CA-C	3'-6"	9'-0"			
CA-D	3'-6"	9'-0"			
CA-DD	1'-0"	9'-0"			
CA-E	3'-6"	9'-0"			
CA-EE	3'-6"	9'-0"			
CA-F	3'-6"	9'-0"			
CA-G	3'-6"	9'-0"			
CA-H	3'-6"	9'-0"			
CA-J	3'-6"	9'-0"			
CA-L	3'-6"	9'-0"			
CA-M	3'-6"	9'-0"			
CA-N	3'-6"	9'-0"			
CA-P	3'-6"	9'-0"			
CA-Q	3'-6"	9'-0"			
CA-R	7'-6"	9'-0"			
CA-S	7'-6"	9'-0"			
CA-T	7'-6"	9'-0"			
CA-U	7'-6"	9'-0"			
CA-V	7'-6"	9'-0"			
CA-W	2'-1 1/8"	9'-0"			
CA-X	3'-6"	9'-0"			
CA-Y	3'-6"	9'-0"			
CA-Z	1'-0"	9'-0"			
CA-ZA	5'-0"	9'-0"			
CA-ZB	3'-0"	9'-0"			
CA-ZC	3'-0"	9'-0"			

MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE WOOD 36" W/ STAINED WOOD SIDE PANEL 12")
CA-8	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")

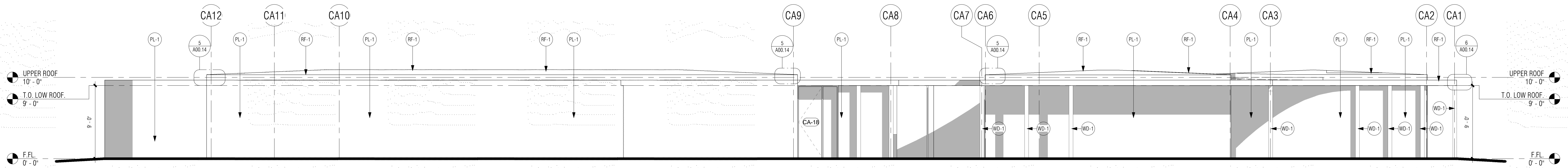
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-22	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)

Revision Schedule		
No.	Description	Date

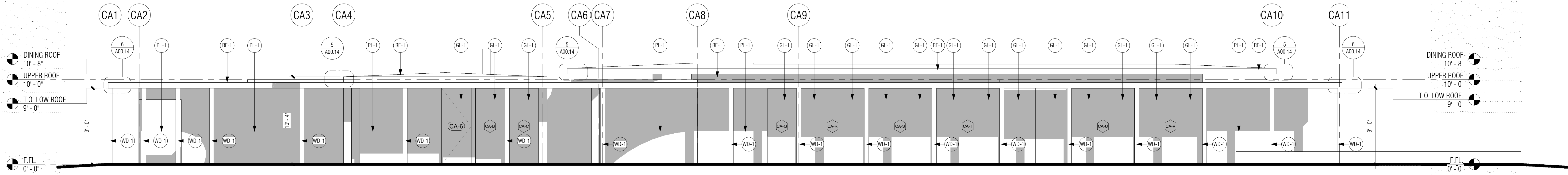
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER, INTEGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.



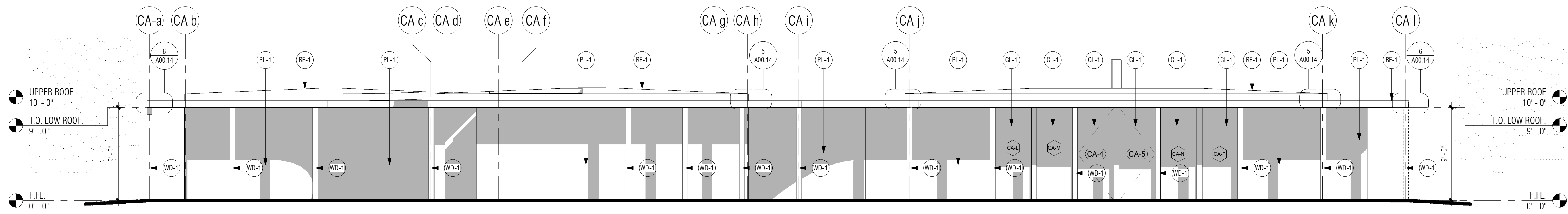
1 EAST EXTERIOR ELEVATION
3/16" = 1'-0"



2 NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"



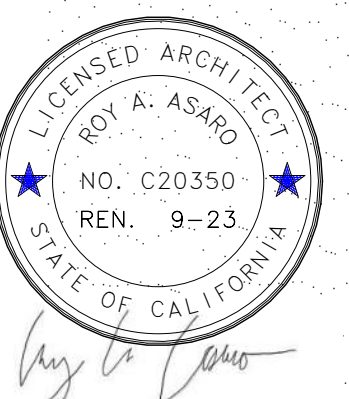
4 WEST EXTERIOR ELEVATION
3/16" = 1'-0"

THE RIDGE
GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL
BUILDING
ELEVATIONS



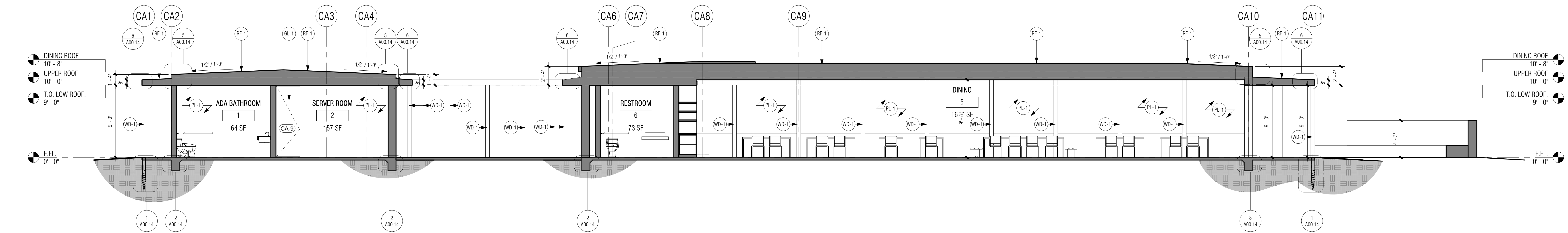
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA102.0

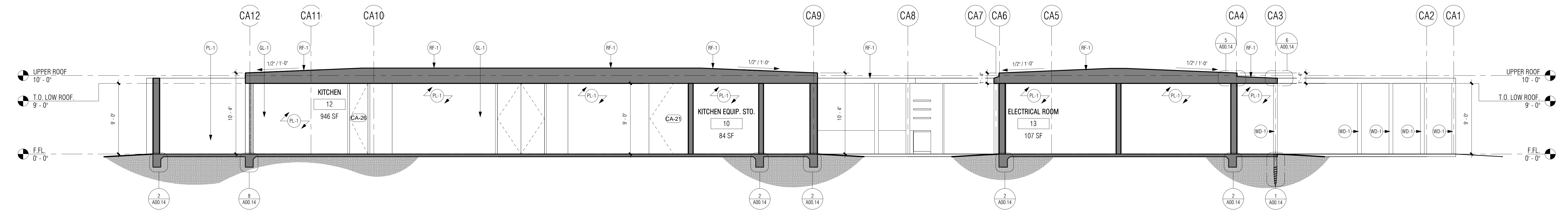
Scale 3/16" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH



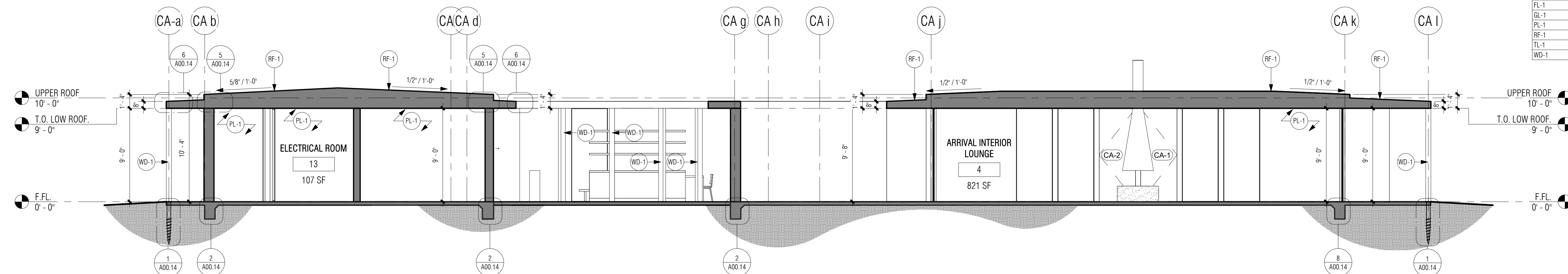
1 SECTION 1
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

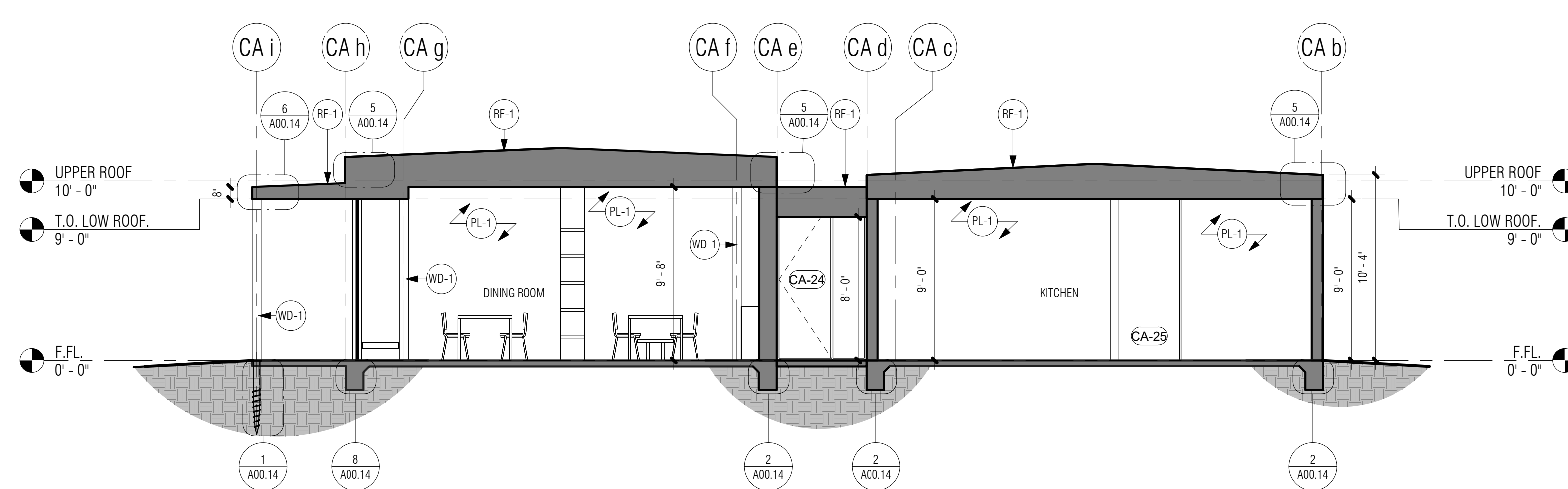
COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



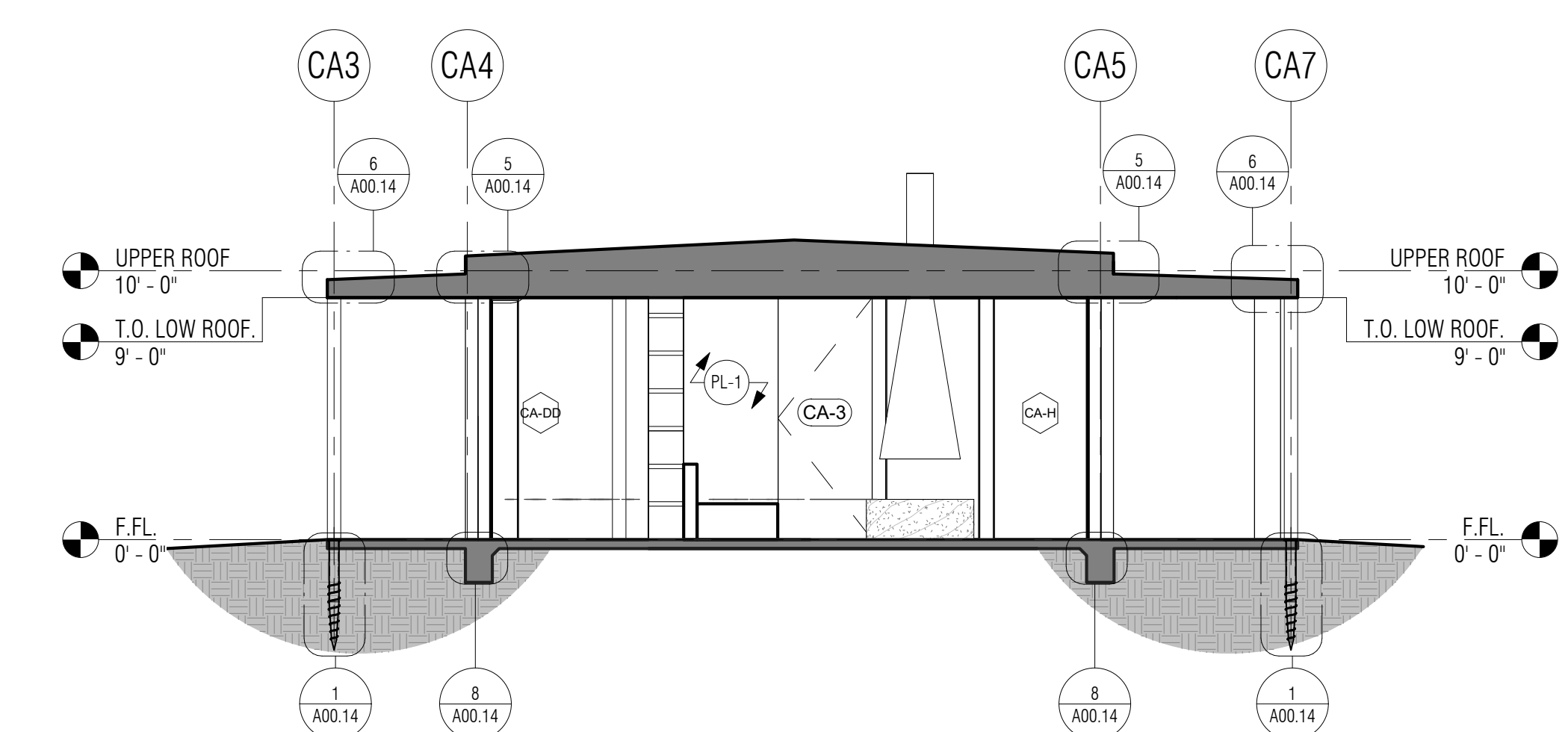
3 SECTION 3
3/16" = 1'-0"

CUP SUBMITTAL

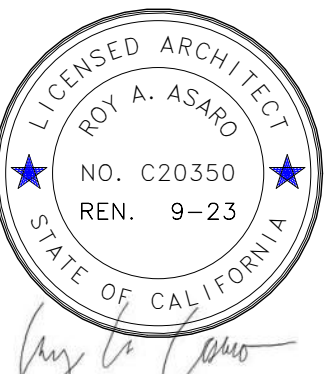
OVERALL
BUILDING
SECTIONS



4 SECTION 4
3/16" = 1'-0"



5 SECTION 5
3/16" = 1'-0"



Project Number	22.003
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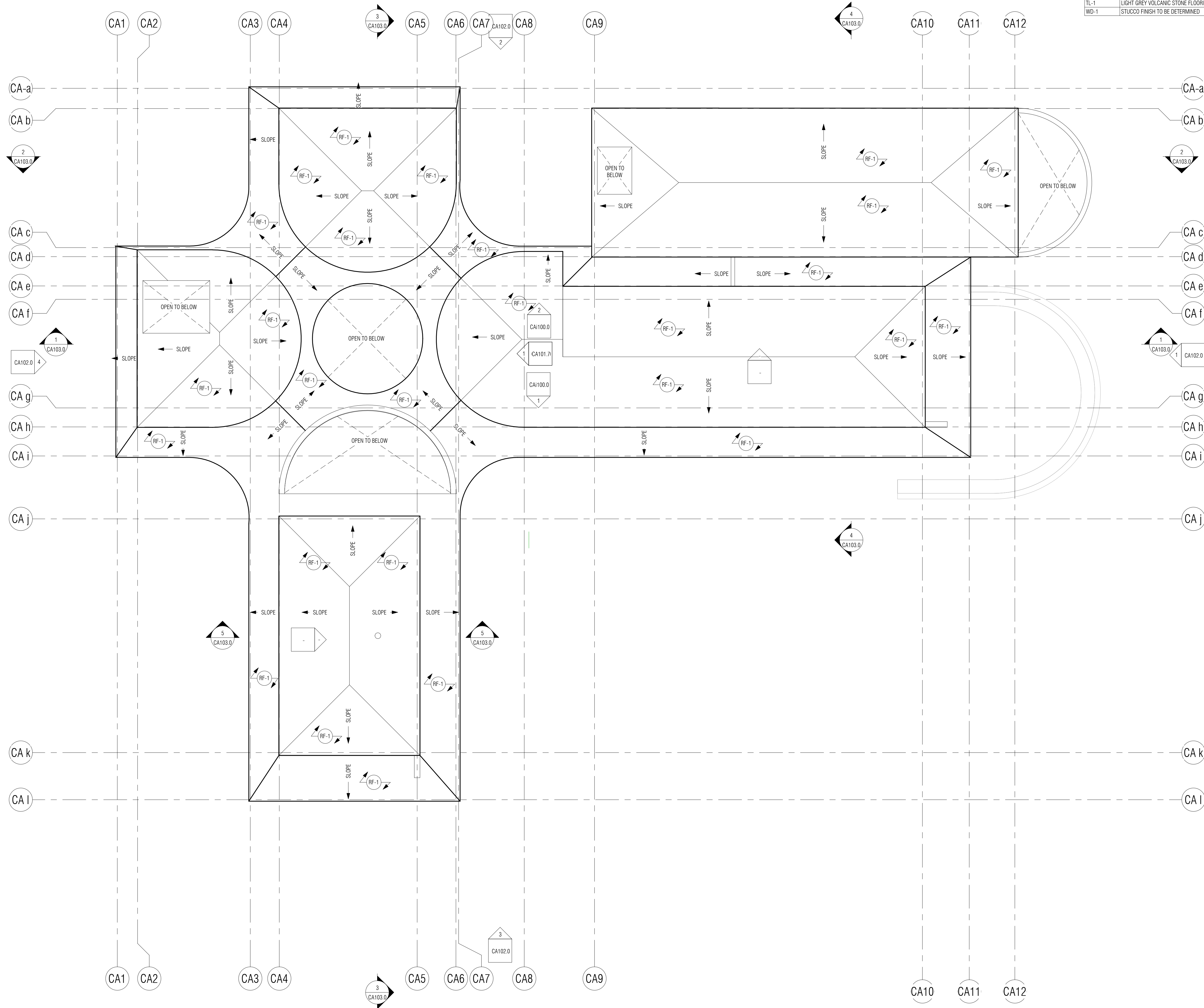
CA103.0

Scale 3/16" = 1'-0"

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date



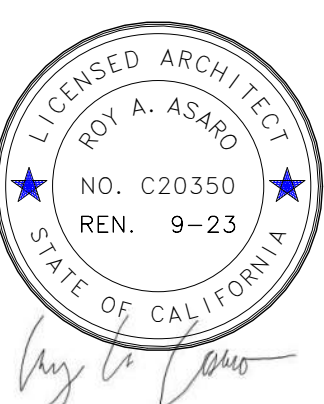
1 OVERALL ROOF PLAN
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL ROOF
PLAN



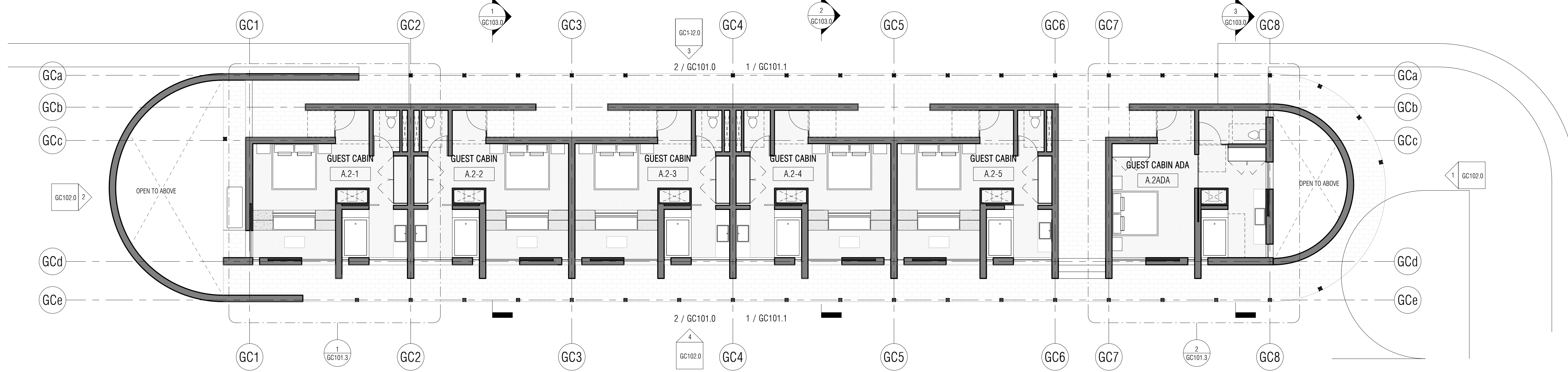
Project Number	22.003
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CA104.0

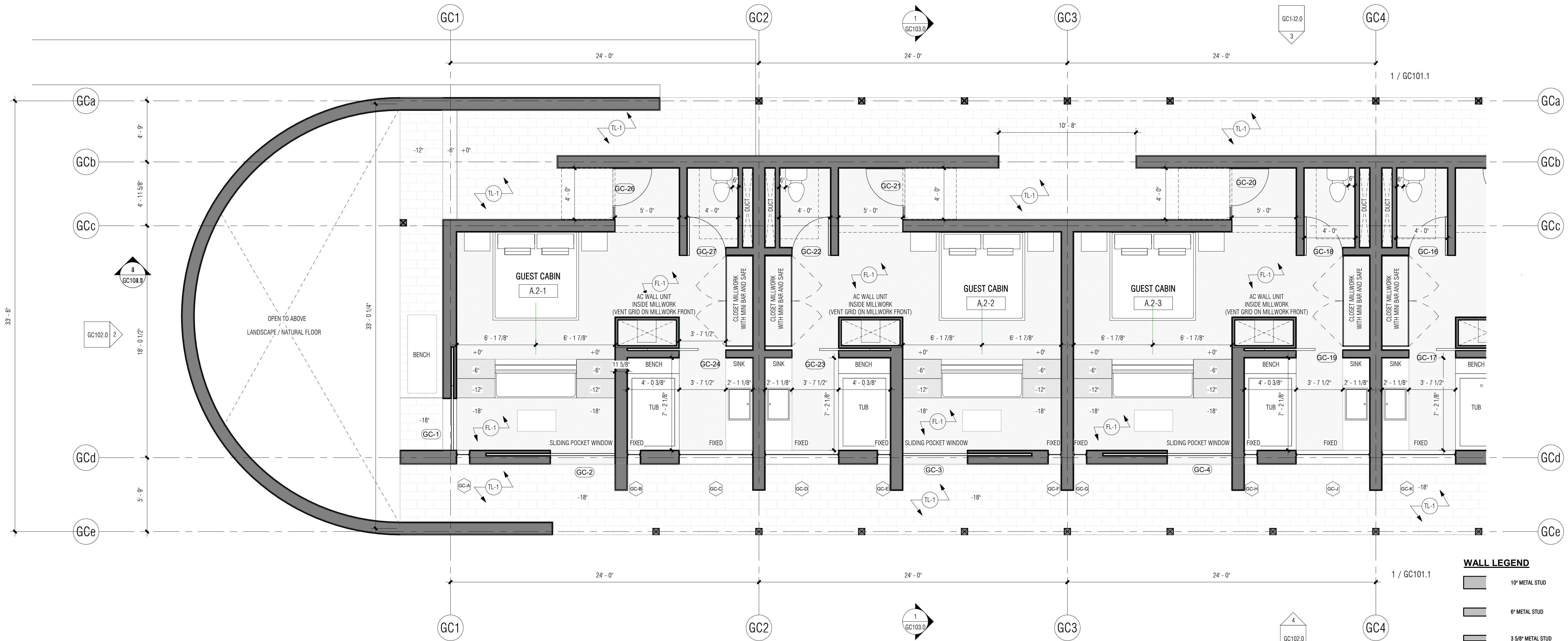
Scale 1/8" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**



1 OVERALL FLOOR PLAN
1/8" = 1'-0"



2 PARTIAL FLOOR PLAN
1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GC-A	1'-0"	9'-0"			
GC-B	1'-0"	9'-0"			
GC-C	5'-8 5/8"	9'-0"			
GC-D	5'-8 5/8"	9'-0"			
GC-E	1'-0"	9'-0"			
GC-F	1'-0"	9'-0"			
GC-G	1'-0"	9'-0"			
GC-H	1'-0"	9'-0"			
GC-J	5'-8 5/8"	9'-0"			
GC-K	5'-8 5/8"	9'-0"			
GC-L	1'-0"	9'-0"			
GC-M	1'-0"	9'-0"			
GC-N	1'-0"	9'-0"			
GC-P	1'-0"	9'-0"			
GC-Q	5'-8 5/8"	9'-0"			
GC-R	1'-0"	9'-0"			
GC-S	1'-0"	9'-0"			
GC-T	2'-0"	9'-0"			
GC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT			COMMENTS
GC-1	4'-0"	9'-0"			TYPE 'E' (GLASS)
GC-2	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-3	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-4	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-5	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-6	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-7	5'-0"	9'-0"			TYPE 'E' (GLASS)
GC-8	4'-0"	9'-0"			TYPE 'E' (GLASS)
GC-9	4'-0"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-10	4'-4 1/4"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-11	5'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-12	4'-0"	9'-0"			TYPE 'E' (SOLID CORE-STAINED WOOD)
GC-13	3'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-14	3'-7 1/2"	9'-0"			TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-15	4'-0"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-16	3'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-17	3'-7 1/2"	9'-0"			TYPE 'E' (SOLID CORE-STAINED WOOD)
GC-18	3'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-19	3'-7 1/2"	9'-0"			TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-20	4'-0"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-21	4'-0"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-22	3'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-23	3'-7 1/2"	9'-0"			TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-24	3'-7 1/2"	9'-0"			TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-26	4'-0"	9'-0"			TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-27	3'-0"	9'-0"			TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-28	3'-7 1/2"	9'-0"			TYPE 'F' (SOLID CORE-STAINED WOOD)

WALL LEGEND	
	12" METAL STUD
	6" METAL STUD
	3 5/8" METAL STUD
	1 5/8" METAL STUD

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL &
PARTIAL FLOOR
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

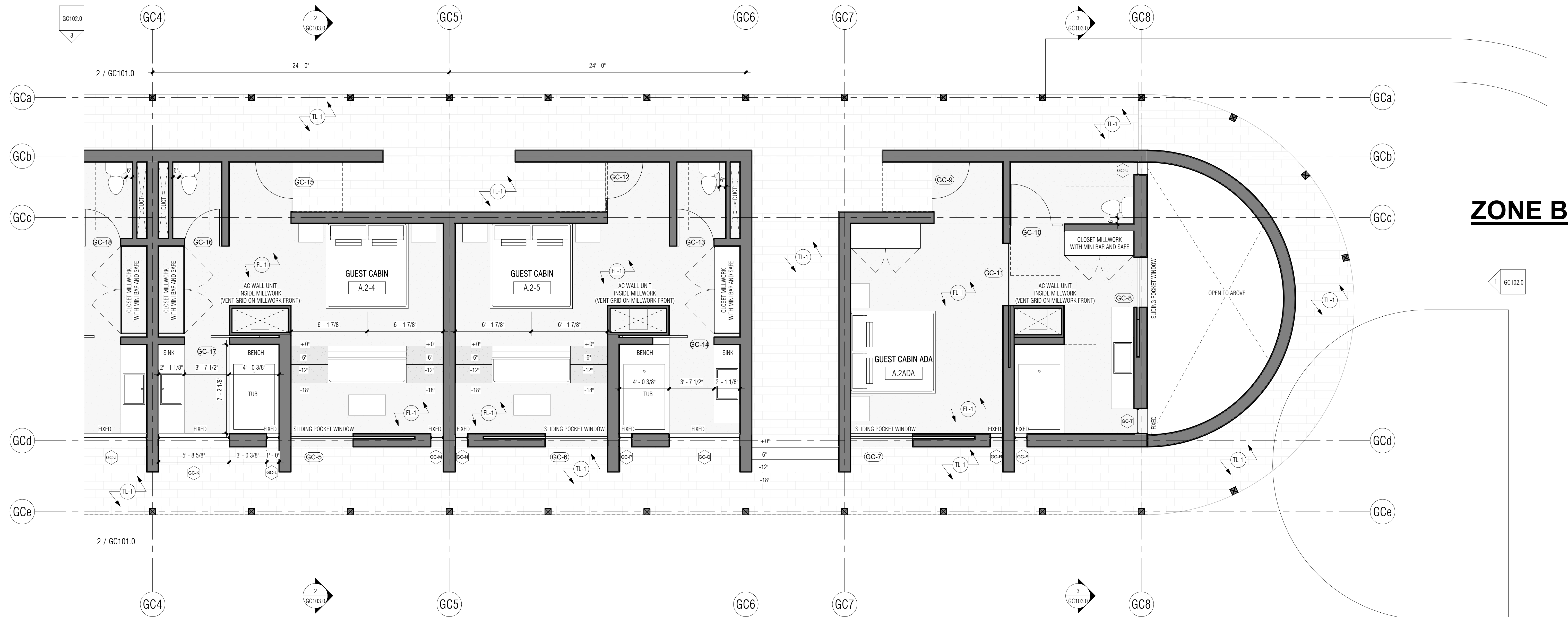
GC101.0

Scale As indicated

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



1 PARTIAL FLOOR PLAN 2
1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GC-A	1'-0"	9'-0"			
GC-B	1'-0"	9'-0"			
GC-C	5'-8 5/8"	9'-0"			
GC-D	5'-8 5/8"	9'-0"			
GC-E	1'-0"	9'-0"			
GC-F	1'-0"	9'-0"			
GC-G	1'-0"	9'-0"			
GC-H	1'-0"	9'-0"			
GC-J	5'-8 5/8"	9'-0"			
GC-K	5'-8 5/8"	9'-0"			
GC-L	1'-0"	9'-0"			
GC-M	1'-0"	9'-0"			
GC-N	1'-0"	9'-0"			
GC-P	1'-0"	9'-0"			
GC-Q	5'-8 5/8"	9'-0"			
GC-R	1'-0"	9'-0"			
GC-S	1'-0"	9'-0"			
GC-T	2'-0"	9'-0"			
GC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	COMMENTS		
GC-1	4'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-2	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-3	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-4	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-5	9'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-6	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-7	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-8	4'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-9	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-10	4'-4 1/4"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-11	5'-0"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD)		
GC-12	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-13	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-14	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-15	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-16	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-17	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-18	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-19	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-20	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-21	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-23	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-24	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-26	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-28	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		

CUP SUBMITTAL

PARTIAL FLOOR
PLAN



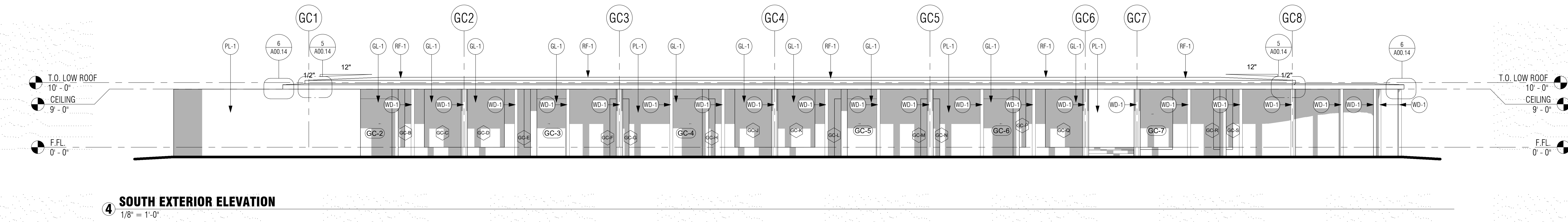
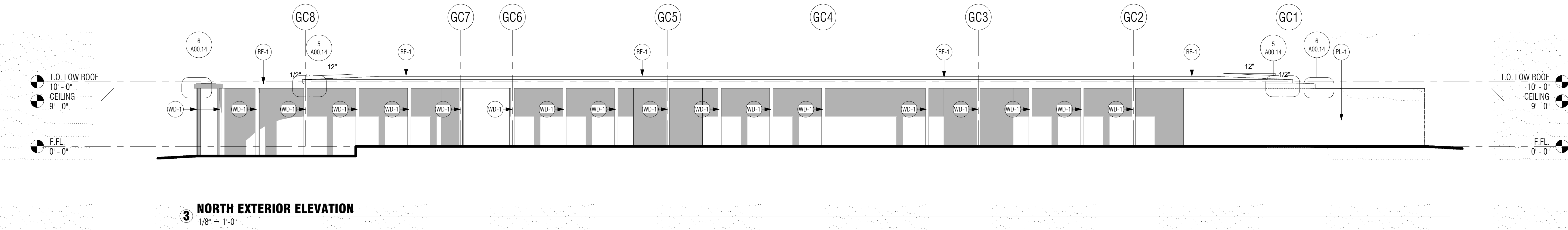
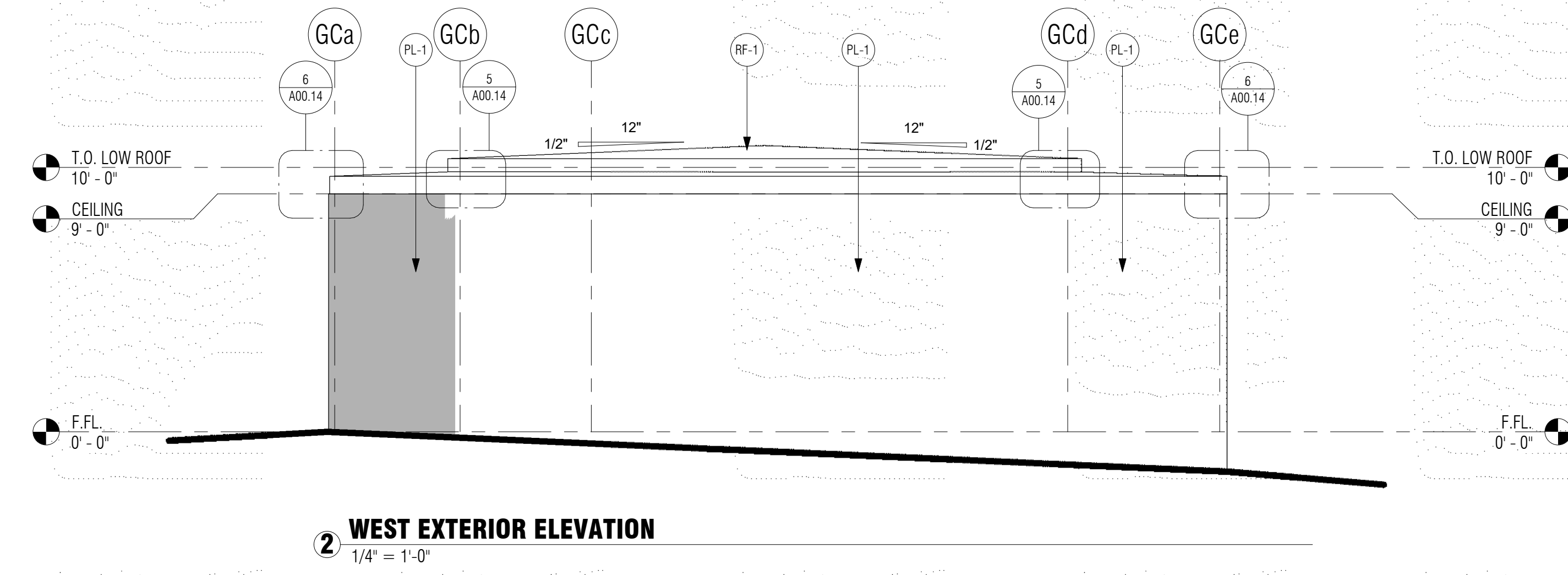
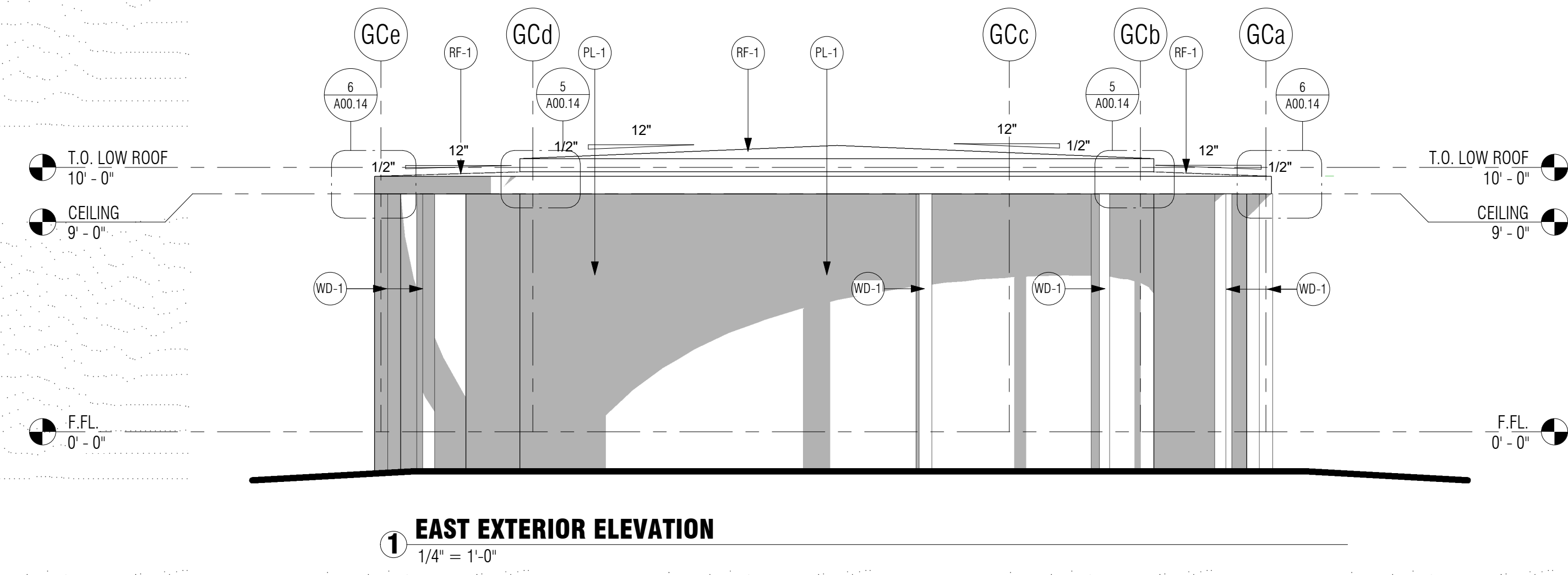
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC101.1

Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

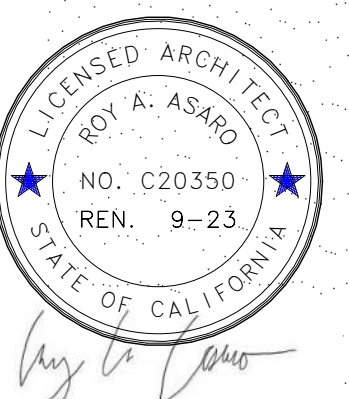


THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

EXTERIOR
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC102.0

Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

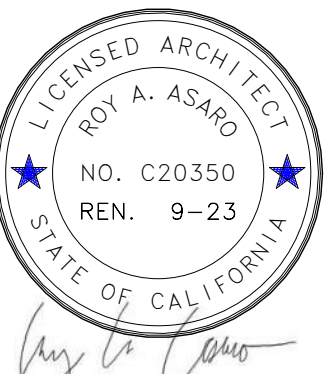
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

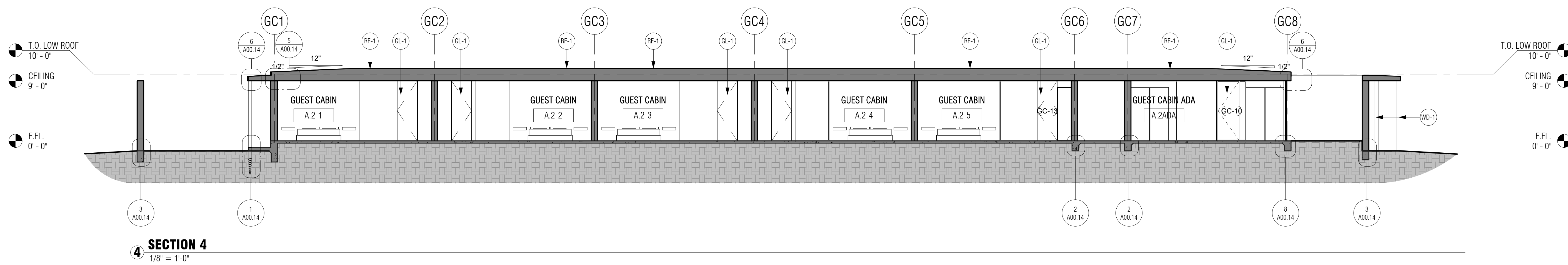
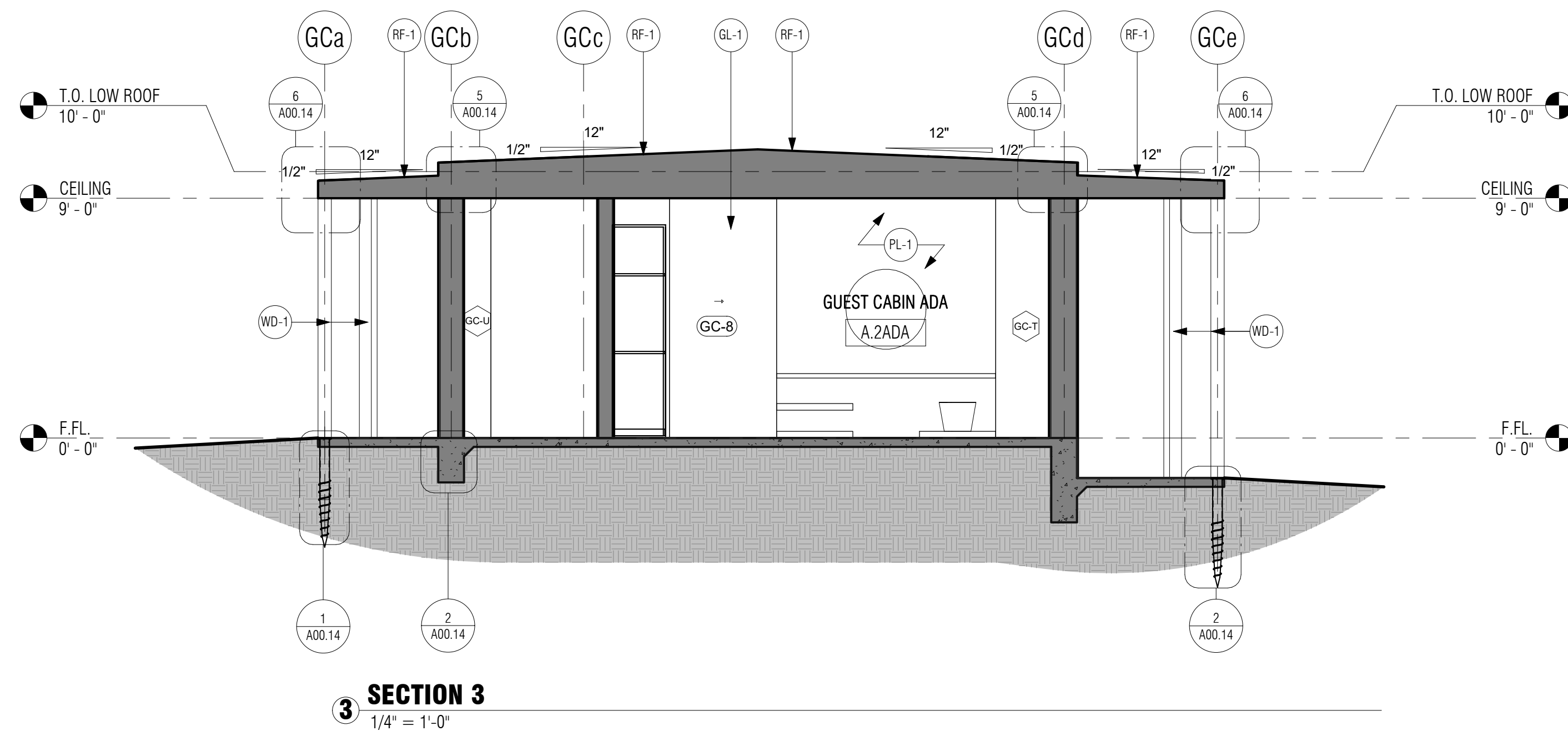
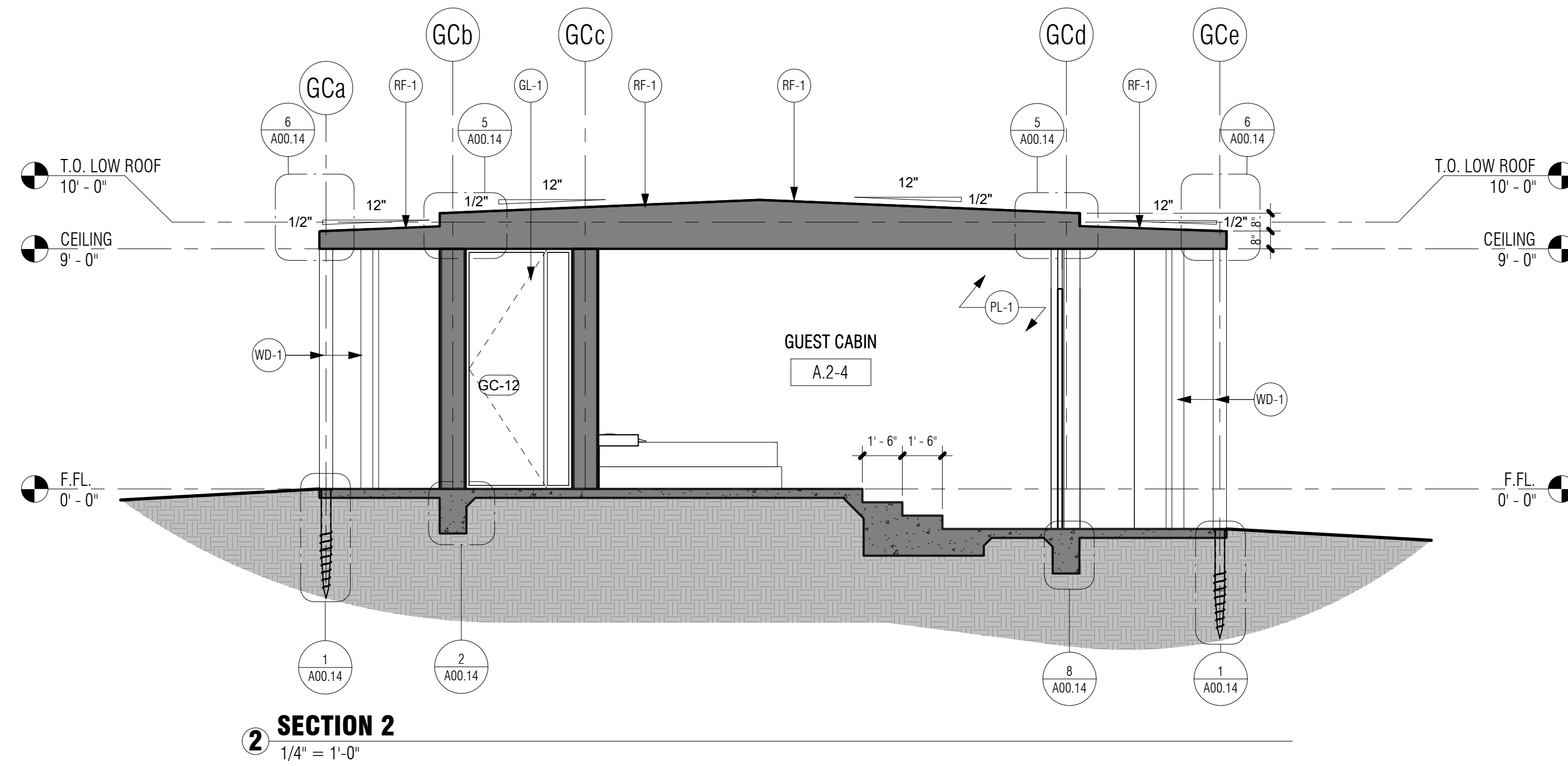
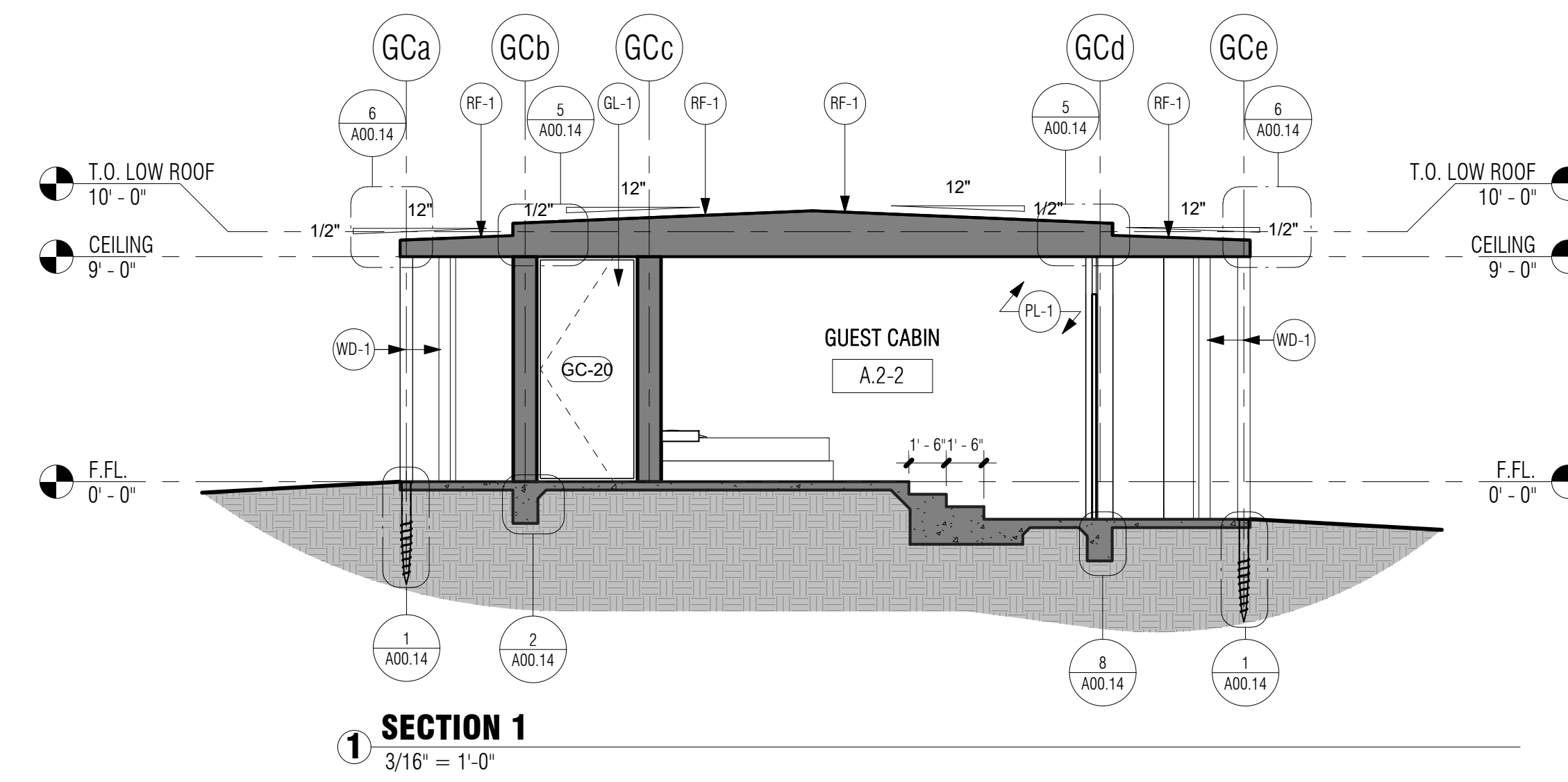
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC103.0

Scale As indicated



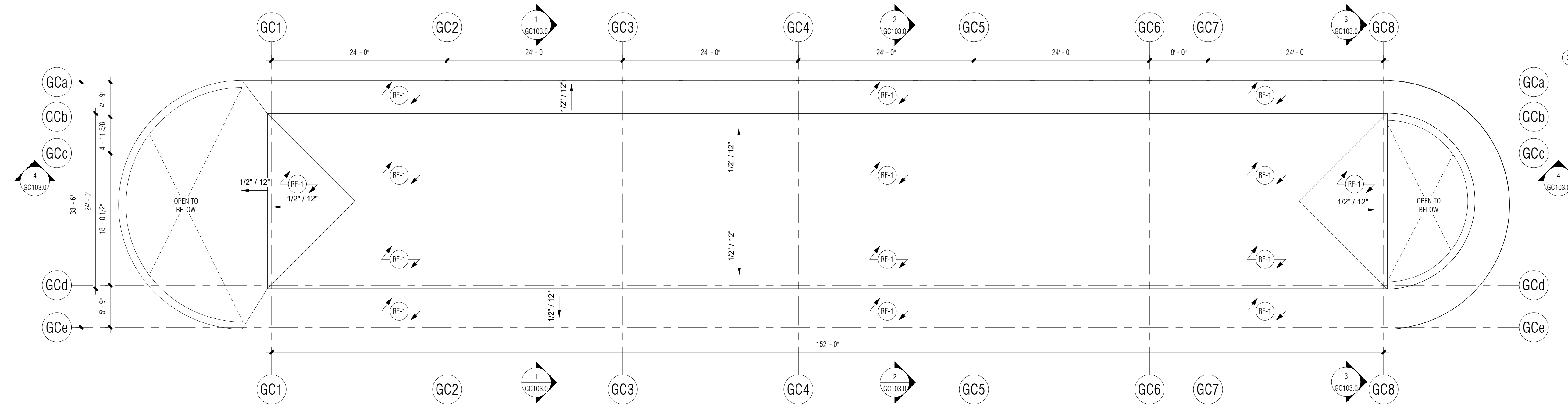
Revision Schedule		
No.	Description	Date

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTURED FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10' TILES
WD-1	STUCCO FINISH TO BE DETERMINED

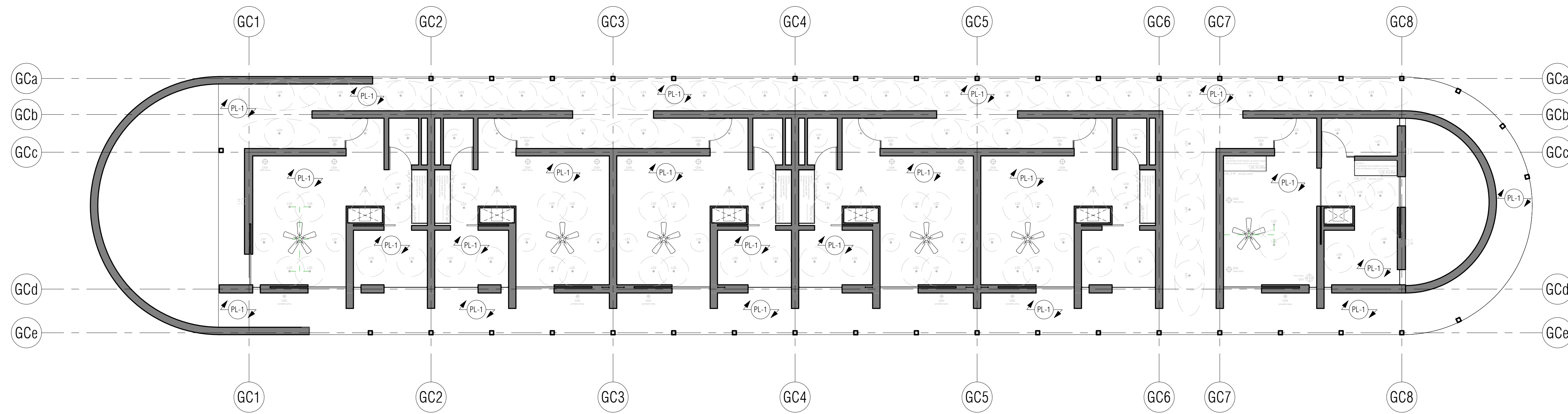
LOW PITCH ROOFING INSTALL OVER GAFFS VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2003 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 22.1.705A.4

3 ROOFING NOTES
1/4" = 1'-0"



1 ROOF PLAN
1/8" = 1'-0"



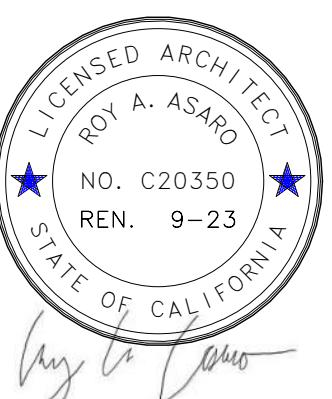
2 REFLECTED CEILING PLAN
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN &
RCP



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC104.0

Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/EGGAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

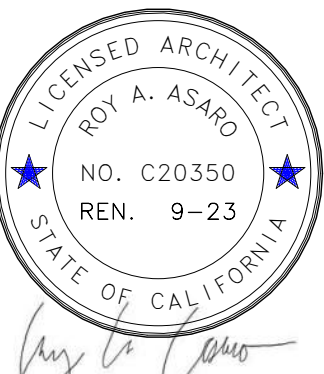
**THE RIDGE
 GUEST RANCH**

GUEST CABINS B & C

56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

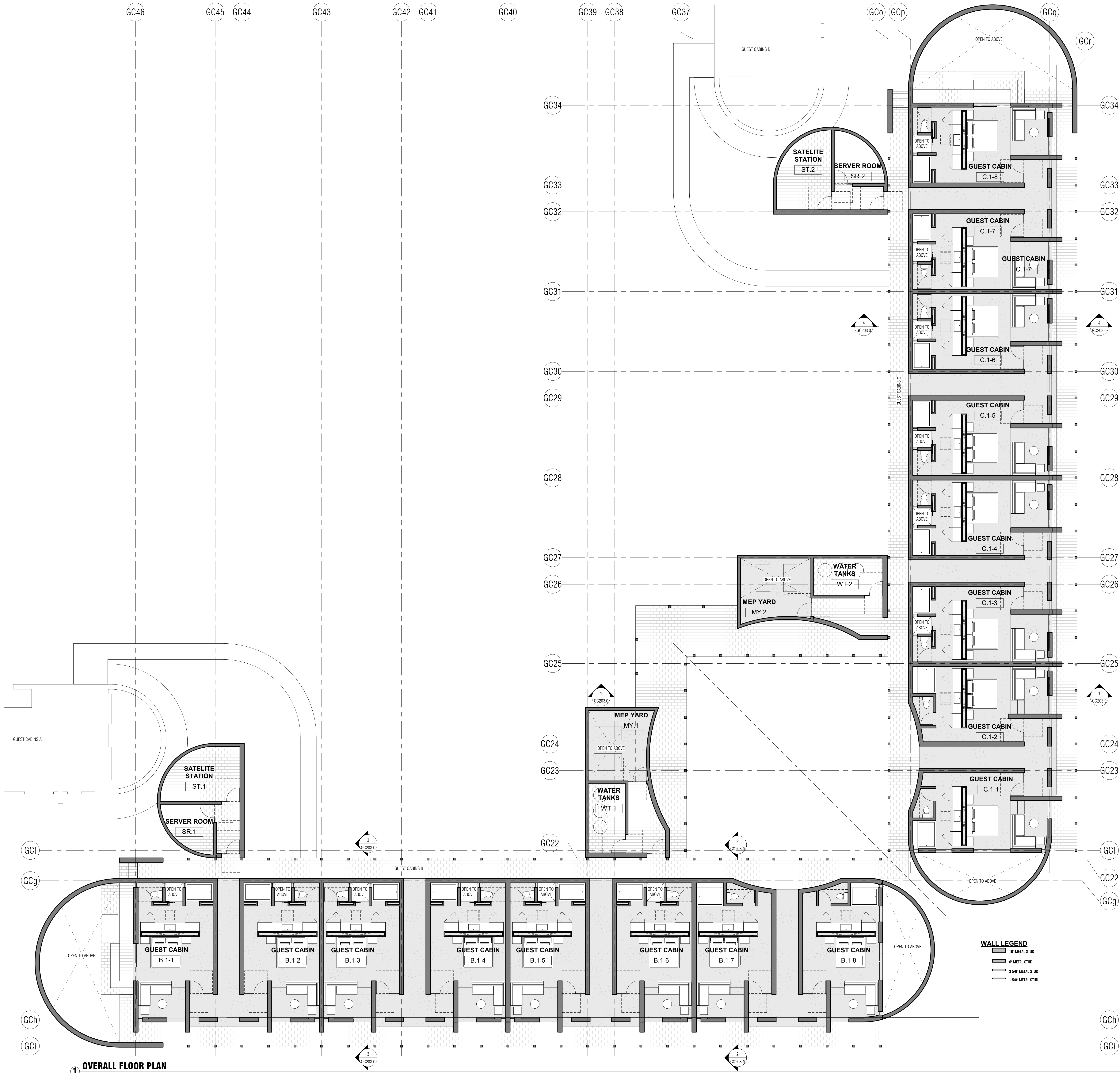
OVERALL FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC201.0

Scale 1/8" = 1'-0"



NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	GLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	5'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-I	1'-0"	10'-6"			
GCB-J	0'-9"	10'-6"			
GCB-K	4'-11"	9'-0"			
GCB-L	4'-11"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCB-A	1'-0"	10'-6"			

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCC-B	3'-0"	9'-0"			
GCC-C	4'-0"	10'-6"			
GCC-D	4'-11"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	1'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
GCC-Z	1'-0"	9'-0"			
GCC-ZA	1'-0"	9'-0"			

MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-23	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-25	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-26	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-29	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-30	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-38	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCC-1	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-18	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-19	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

RA
ROY A. ASARO ARCHITECT, INC.
Roy A. Asaro principal
P.O. Box 300576, Escondido, Ca. 92030
C 760-464-1760 F 760-437-3049
royasaro@gmail.com

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH



GUEST CABINS B & C
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL
PARTIAL FLOOR PLAN

PROJECT NO. C20350
REN. 9-23

Project Number 22.003
Date 05/17/23
Drawn By RAA
Checked By RAA

GC201.1
Scale 1/4" = 1'-0"

1 PARTIAL FLOOR PLAN 1
1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

GUEST CABINS B & C

56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC201.2

Scale 1/4" = 1'-0"

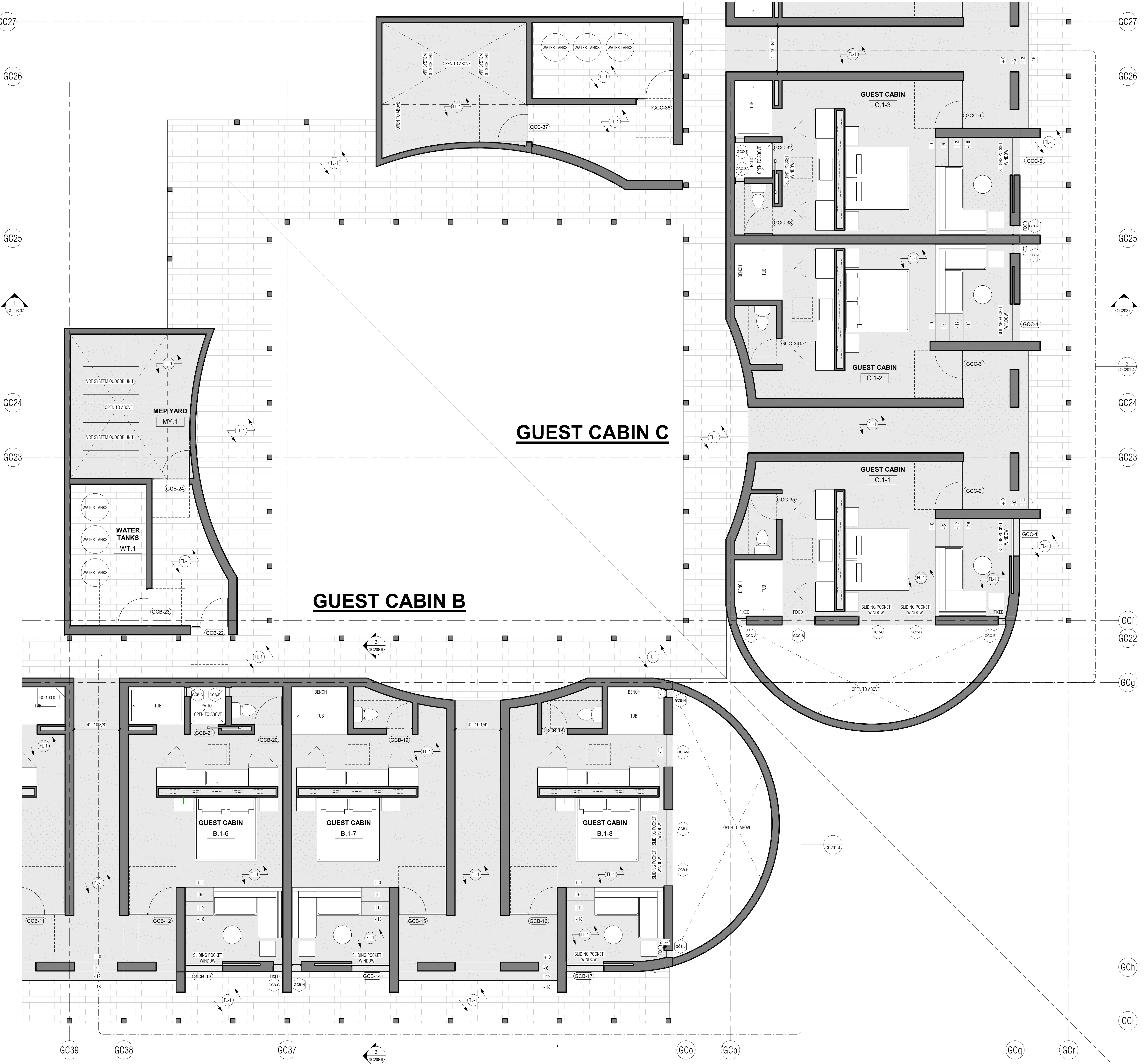
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	GLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE "C" (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCB-22	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-23	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-25	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-26	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-27	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-29	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-30	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-38	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-1	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-18	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-19	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

WINDOW SCHEDULE

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	9'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-J	0'-9"	10'-6"			
GCB-K	4'-1"	9'-0"			
GCB-L	4'-1"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCC-A	1'-0"	10'-6"			
GCC-B	3'-6"	9'-0"			
GCC-C	4'-1"	9'-0"			
GCC-D	4'-1"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	1'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
GCC-Z	1'-0"	9'-0"			
GCC-ZA	1'-0"	9'-0"			



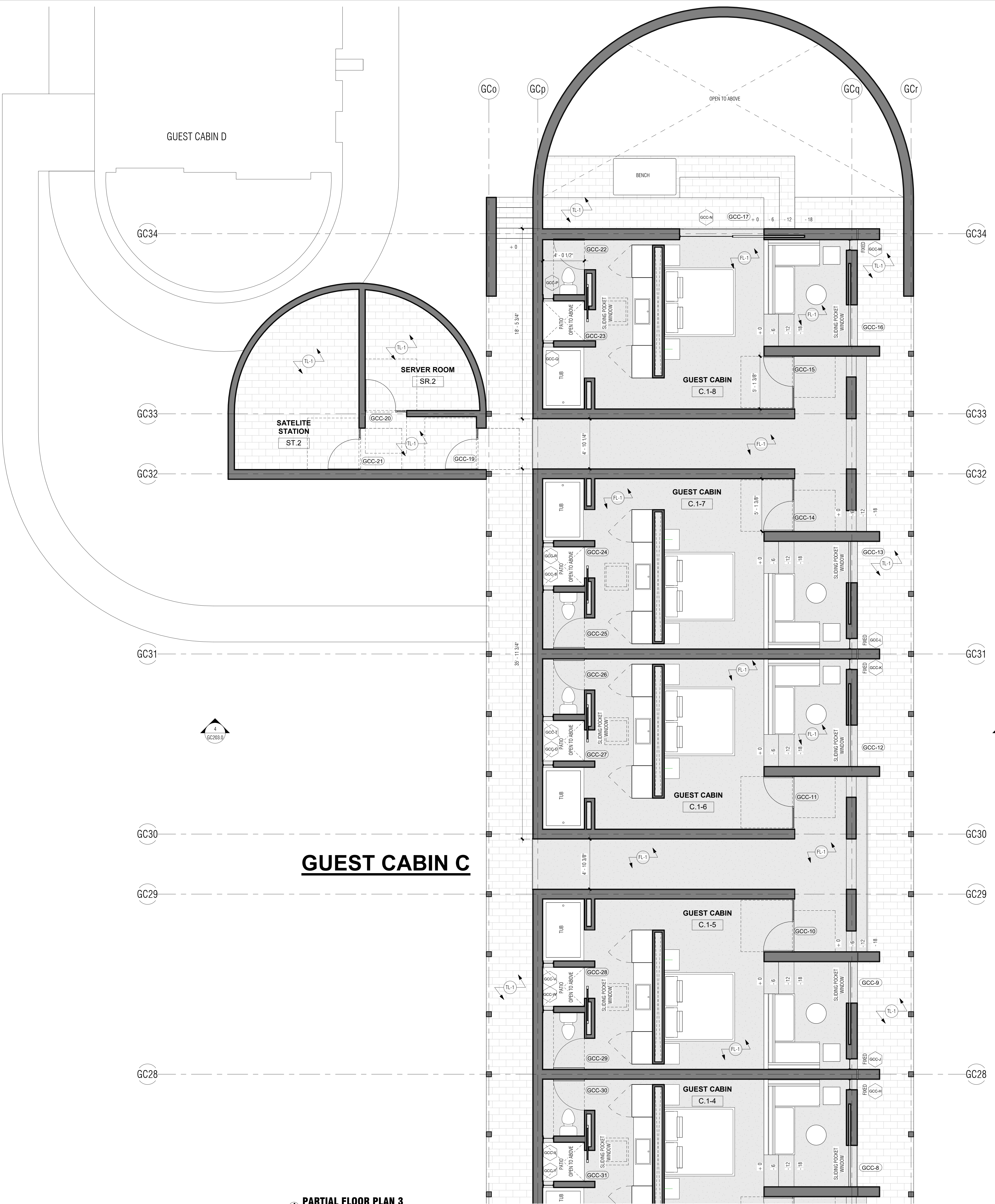
1 PARTIAL FLOOR PLAN 2
1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
WF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-22	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-23	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-25	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-26	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-29	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-30	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-38	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-1	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-18	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-19	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	5'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-I	0'-9"	10'-6"			
GCB-K	4'-1"	9'-0"			
GCB-L	4'-1"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCC-A	1'-0"	10'-6"			
GCC-B	3'-6"	9'-0"			
GCC-C	4'-1"	9'-0"			
GCC-D	4'-1"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	1'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
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GCC-ZA	1'-0"	9'-0"			



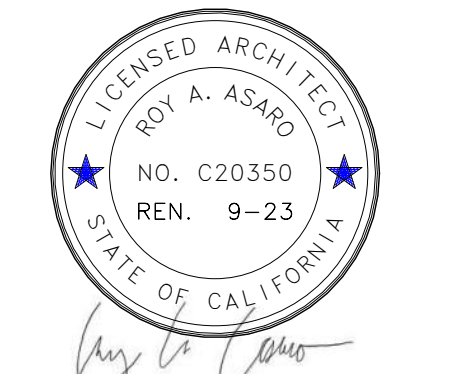
PARTIAL FLOOR PLAN 3
1/4" = 1'-0"

**THE RIDGE
GUEST RANCH**

GUEST CABINS B & C
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL FLOOR
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC201.3

Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR WISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

RA
ROY A. ASARO ARCHITECT, INC.
Roy A. Asaro principal
P.O. Box 300576, Escondido, Ca. 92030
C 760.805.4640 F 760.837.3049
royasaro@gmail.com

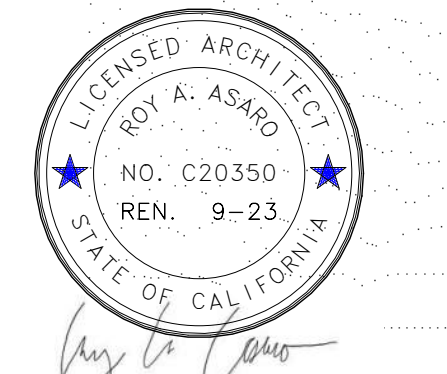
Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

GUEST CABINS B & C
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

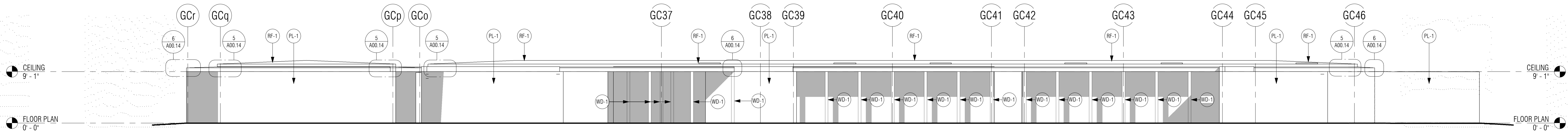
ELEVATIONS



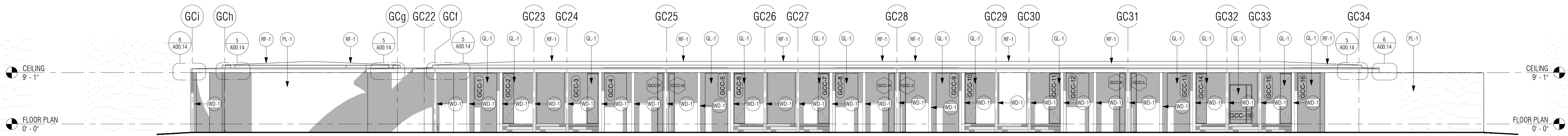
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC202.0

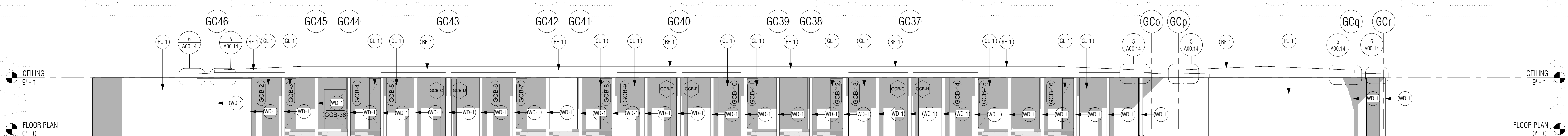
Scale 1/8" = 1'-0"



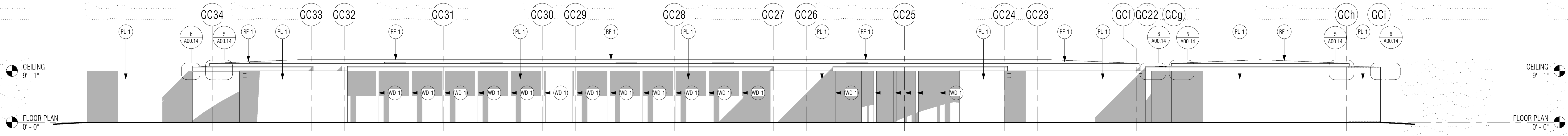
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

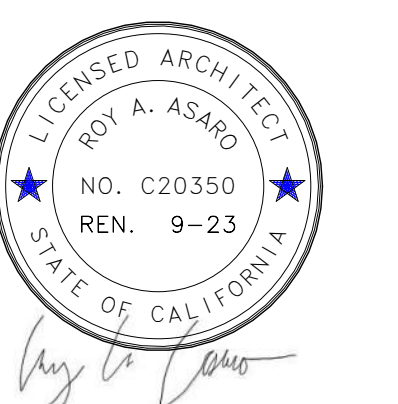
Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**

GUEST CABINS B & C
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

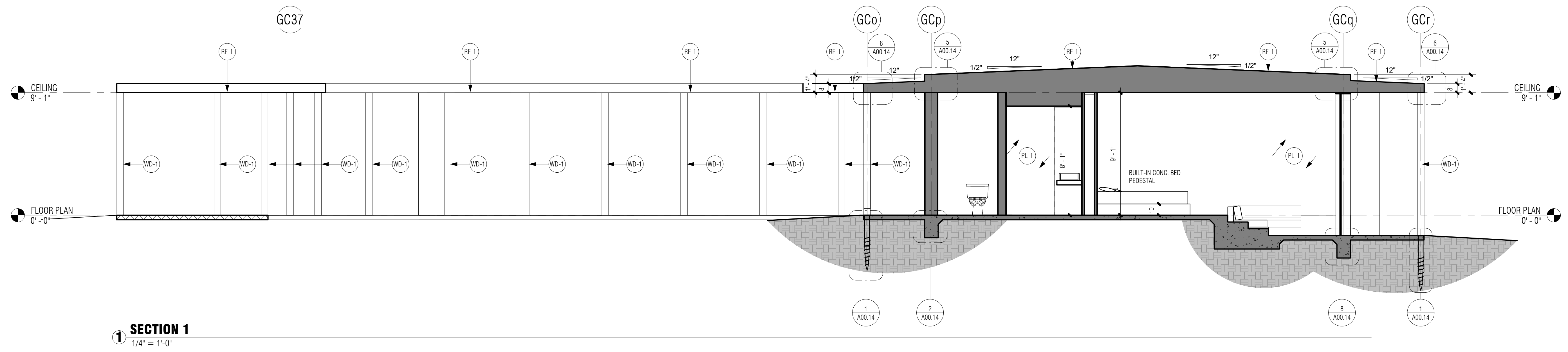
SECTIONS



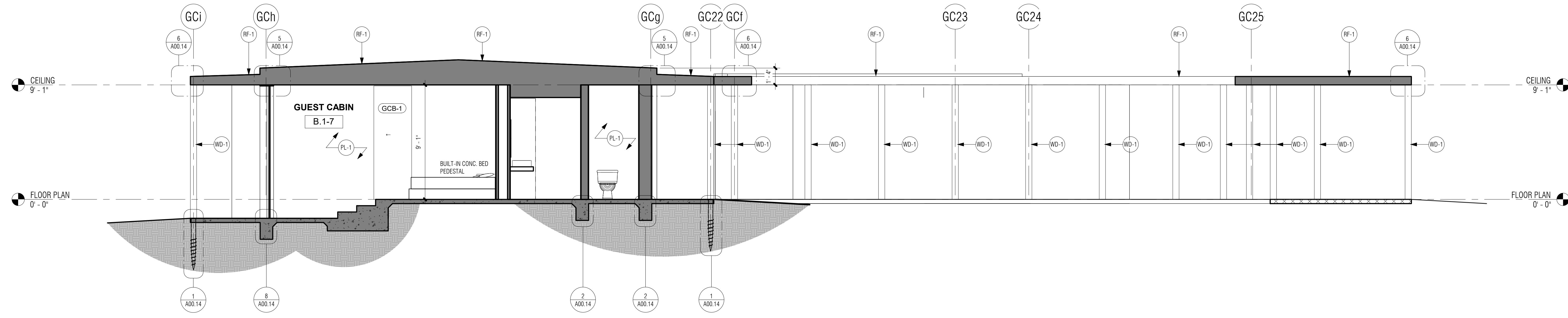
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Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC203.0

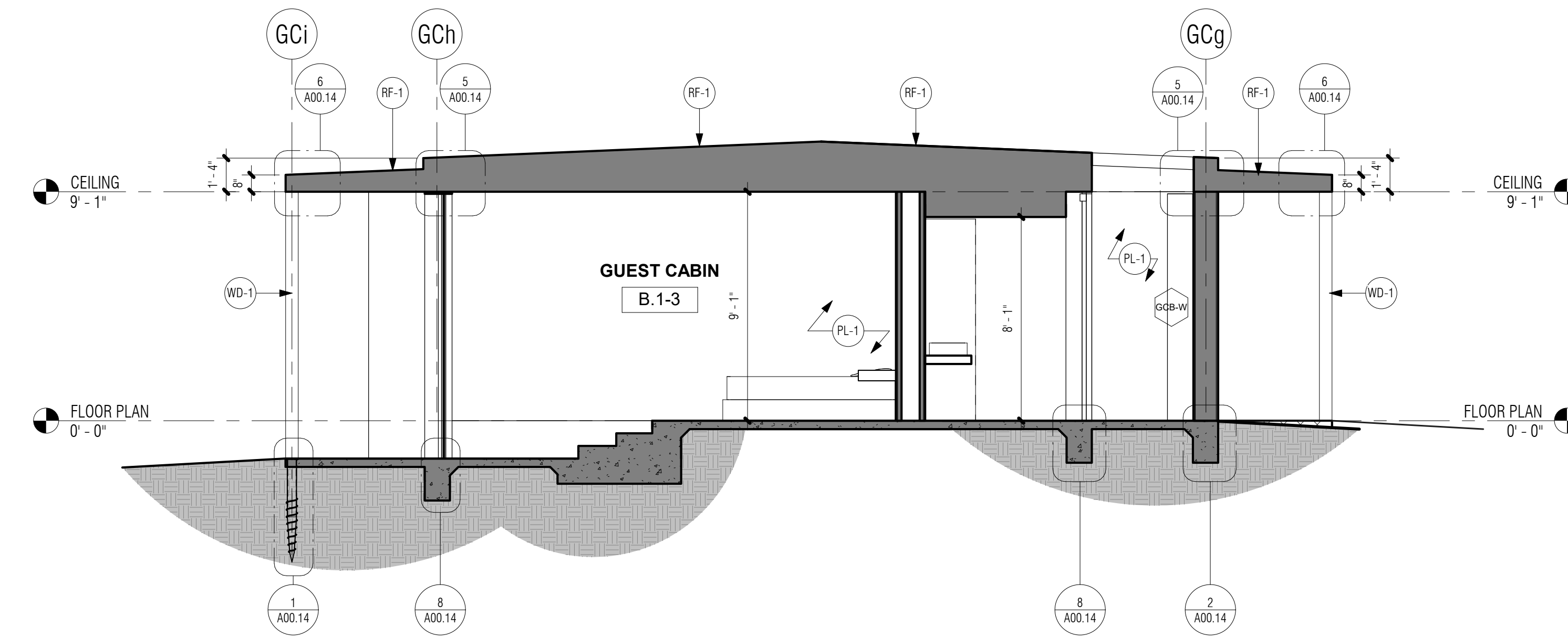
Scale 1/4" = 1'-0"



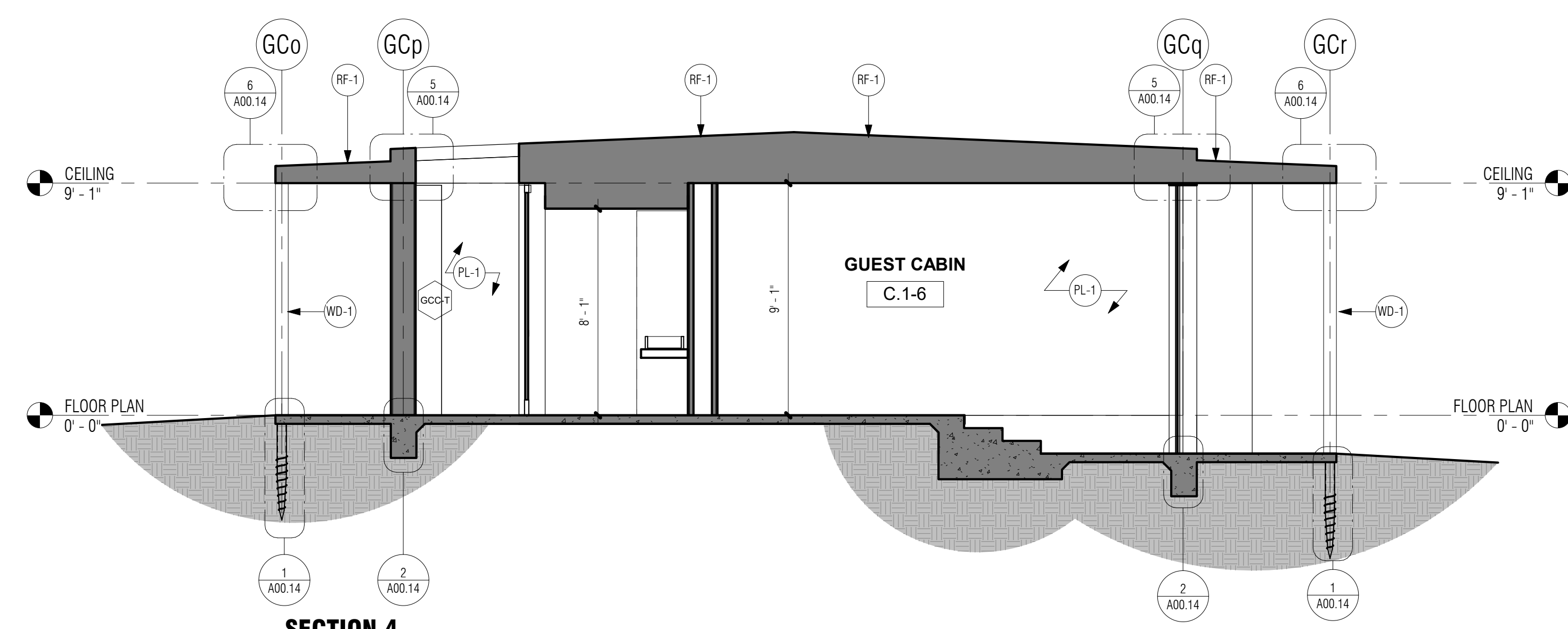
SECTION 1
 1/4" = 1'-0"



SECTION 2
 1/4" = 1'-0"



SECTION 3
 1/4" = 1'-0"



SECTION 4
 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

FINISH LEGEND

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

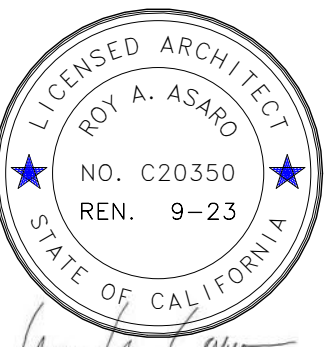
**THE RIDGE
 GUEST RANCH**

GUEST CABINS B & C

56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

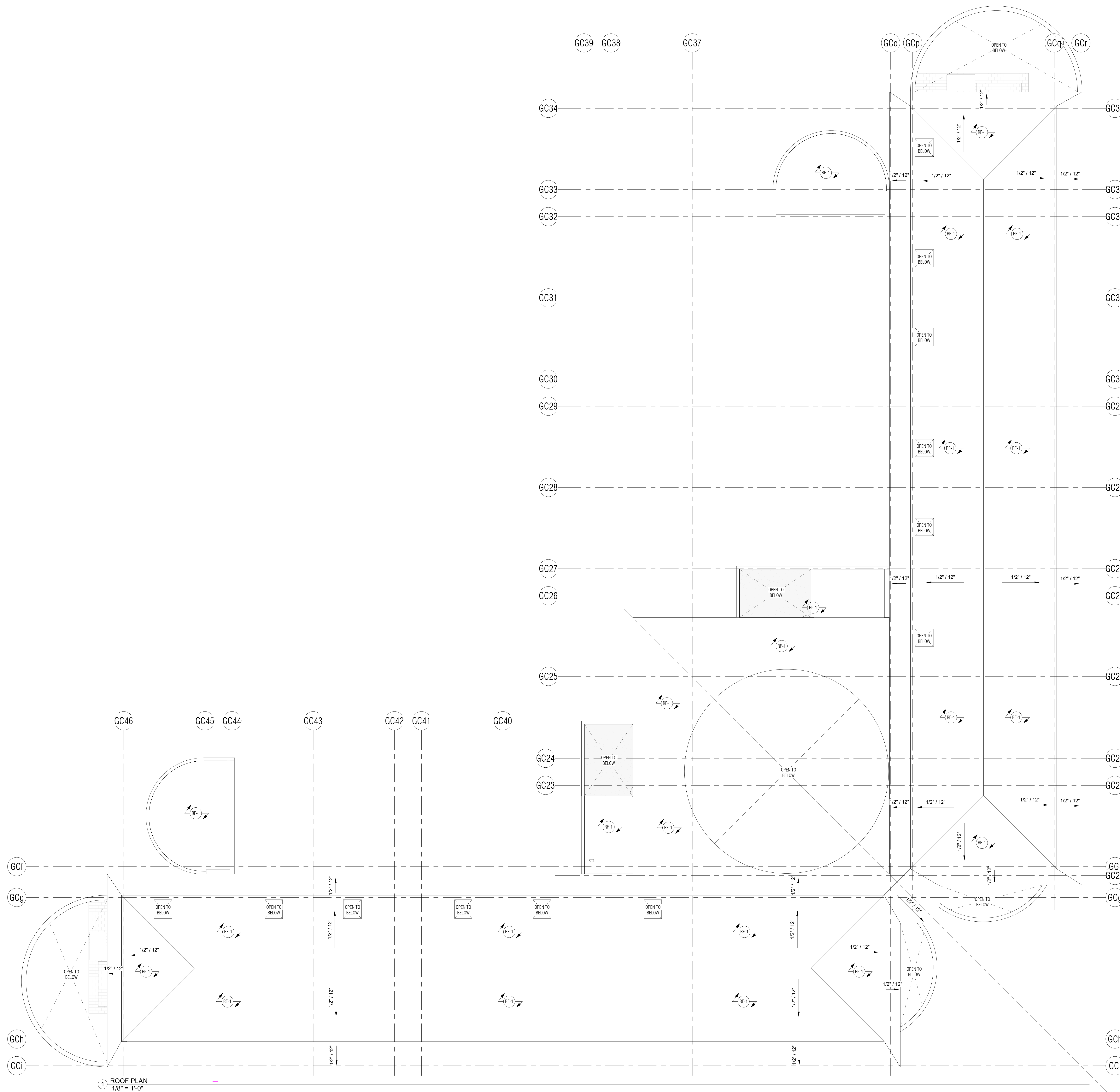
ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	Author
Checked By	Checker

GC204.0

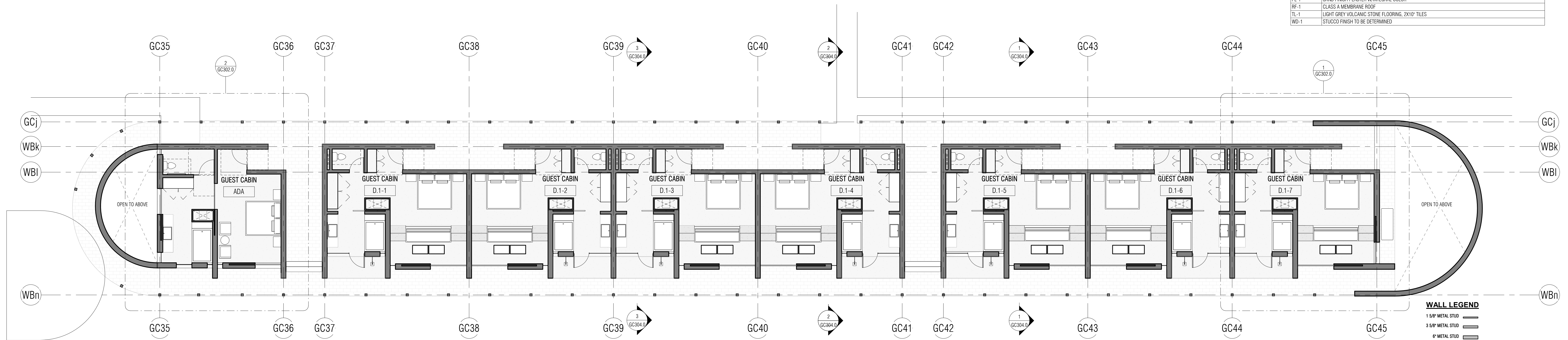
Scale As indicated



1 ROOF PLAN
 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

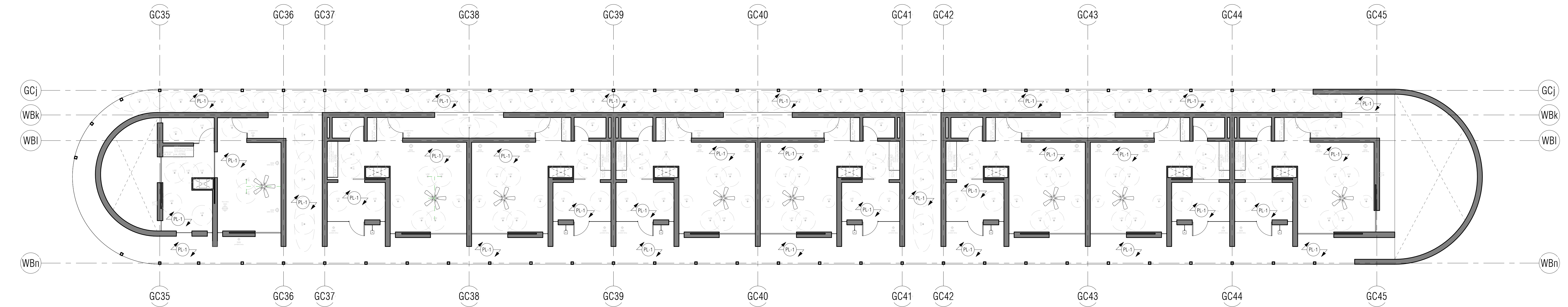


1 FLOOR PLAN
 1/8" = 1'-0"

ZONE D
 ROTATED

THE RIDGE
GUEST RANCH

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561



2 REFLECTED CEILING PLAN
 1/8" = 1'-0"

CUP SUBMITTAL

OVERALL FLOOR
 PLAN & RCP



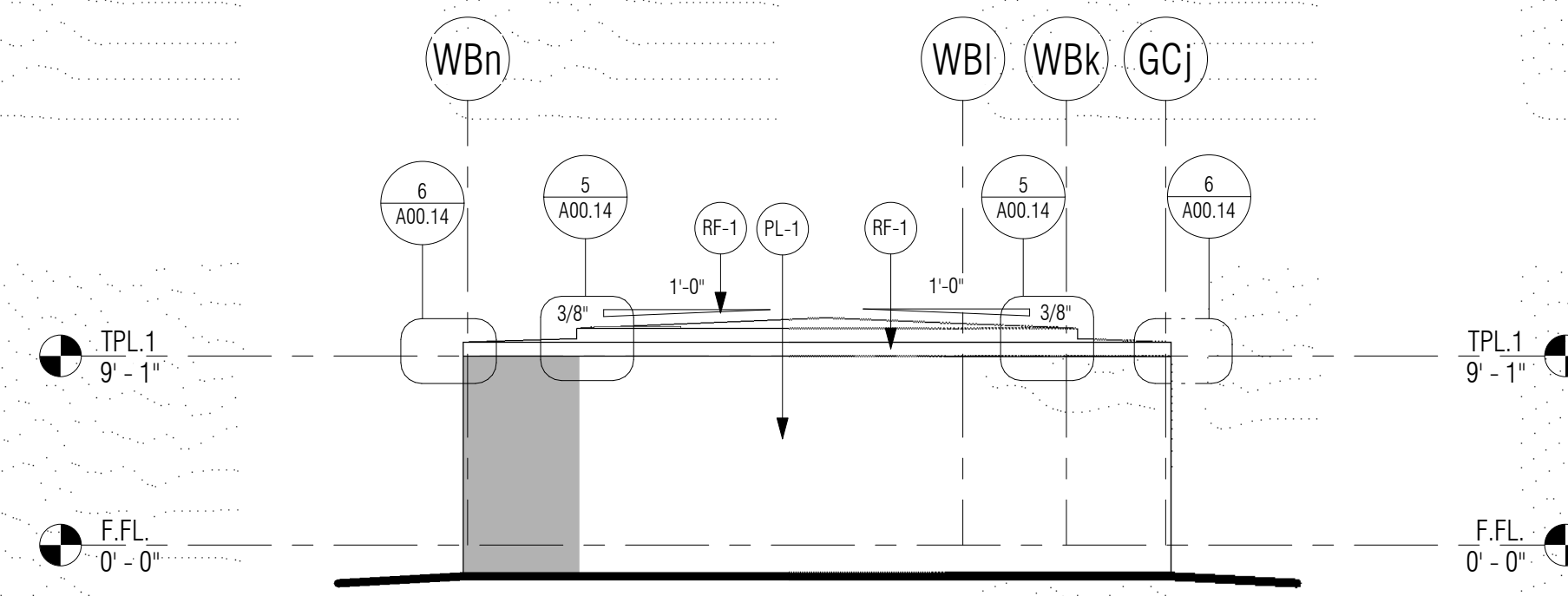
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Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC301.0

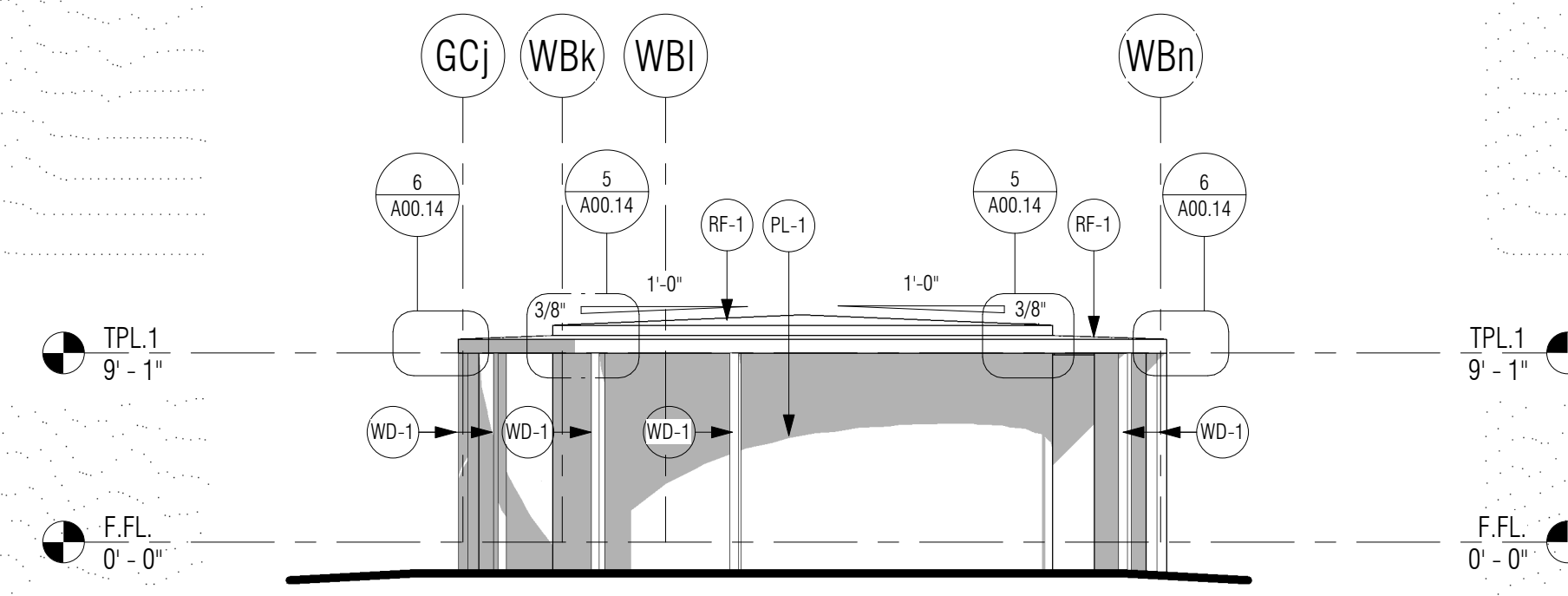
Scale 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TRESTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

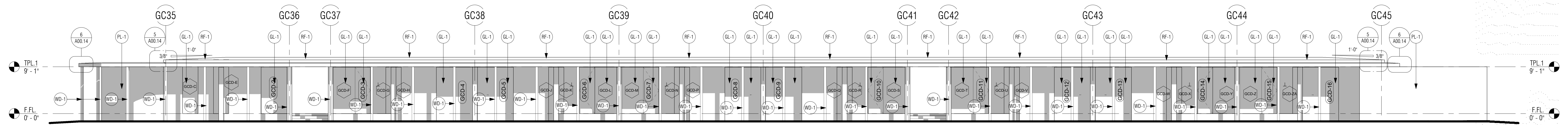
Revision Schedule		
No.	Description	Date



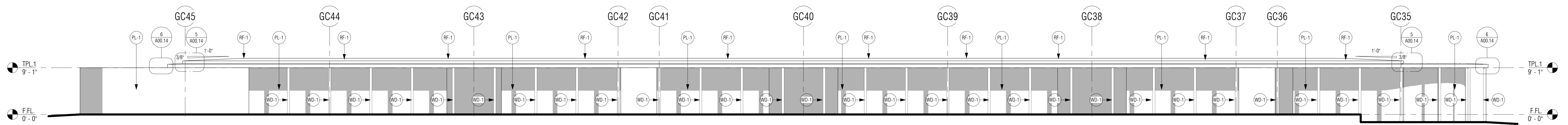
1 NORTH EXTERIOR ELEVATION
 1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
 1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION
 1/8" = 1'-0"



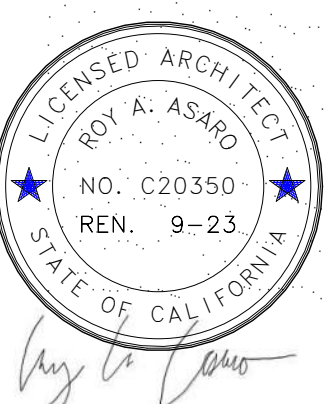
4 WEST EXTERIOR ELEVATION
 1/8" = 1'-0"

THE RIDGE
 GUEST RANCH

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
 ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	ROY
Checked By	RAA

GC303.0

Scale 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABINS D
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

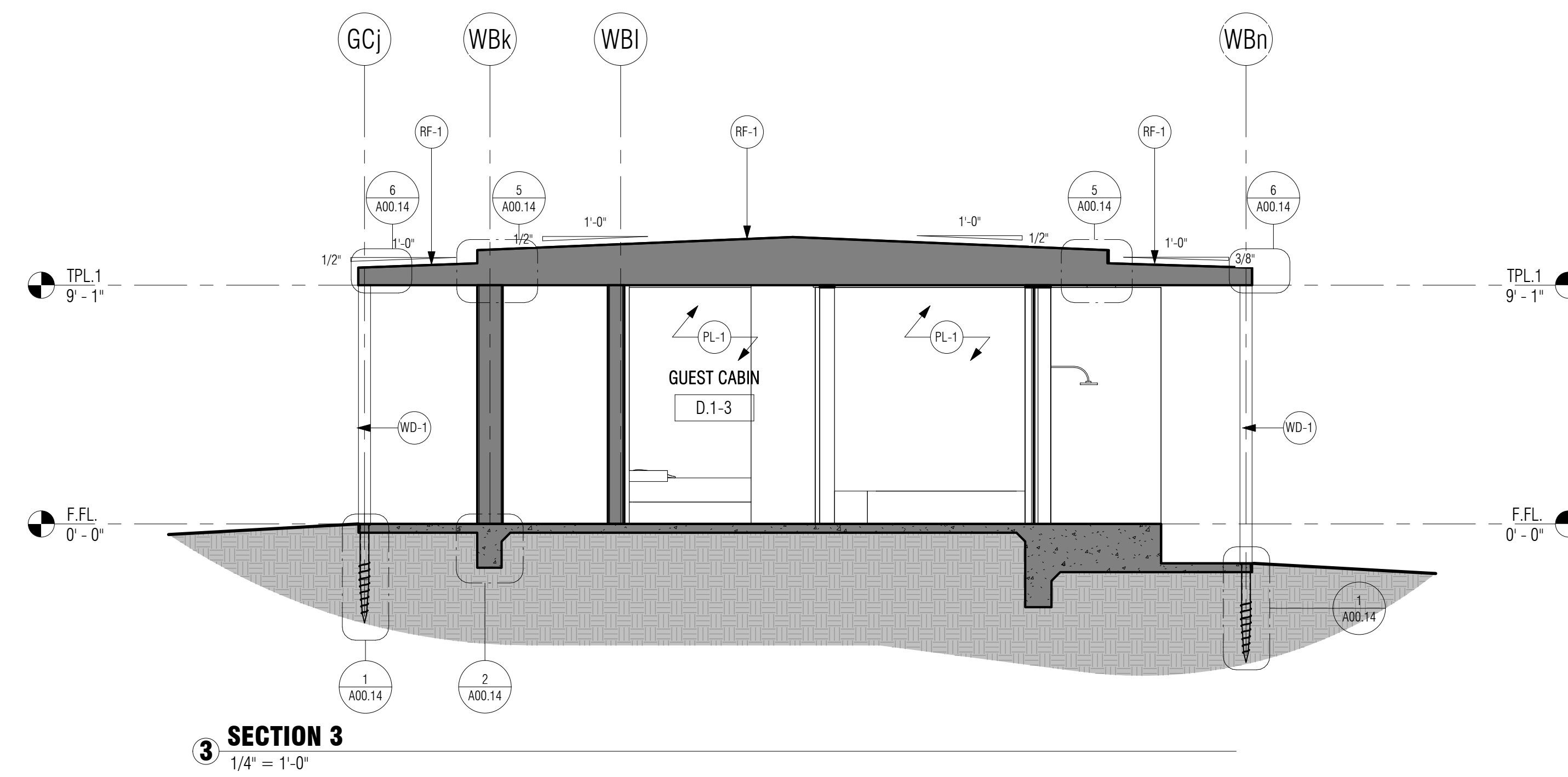
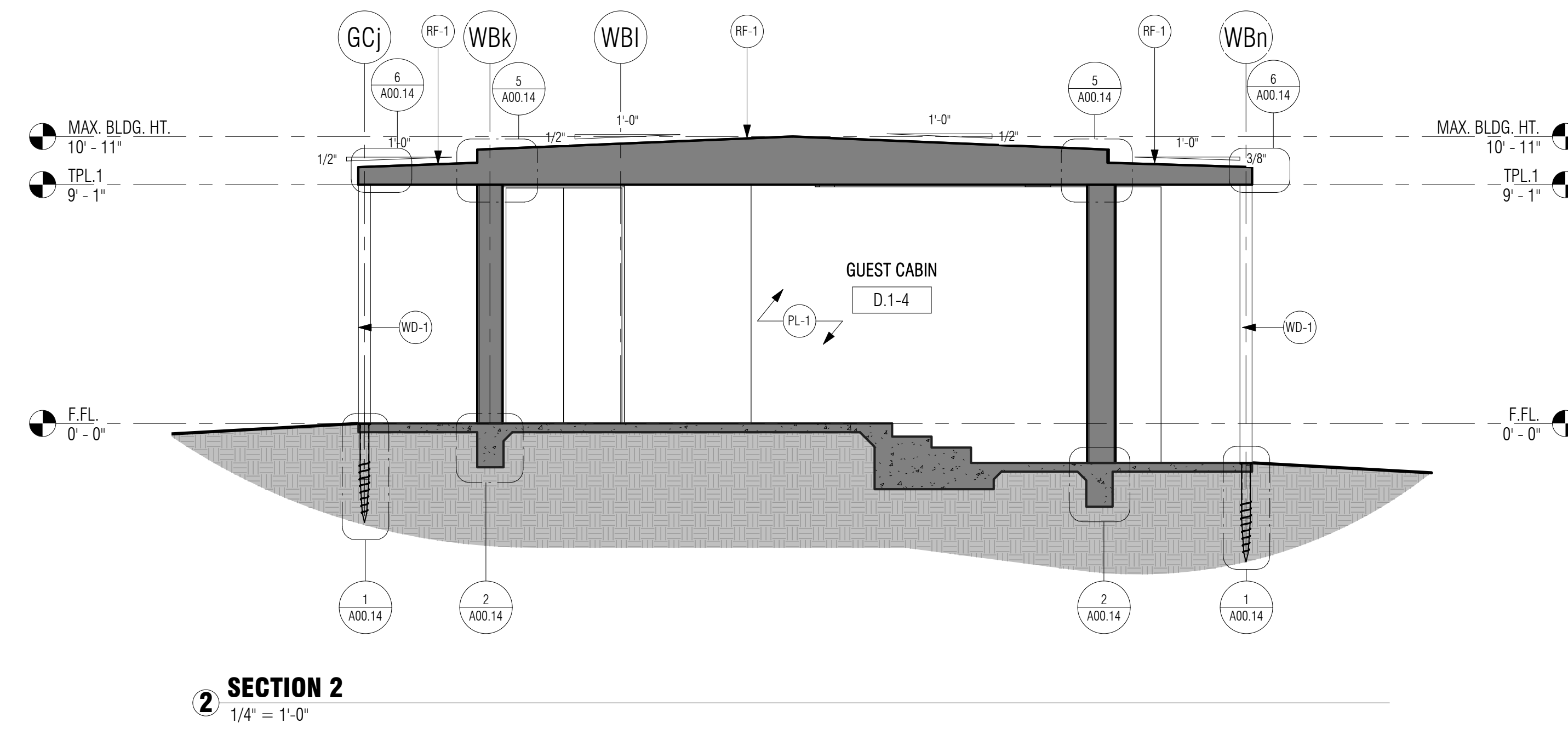
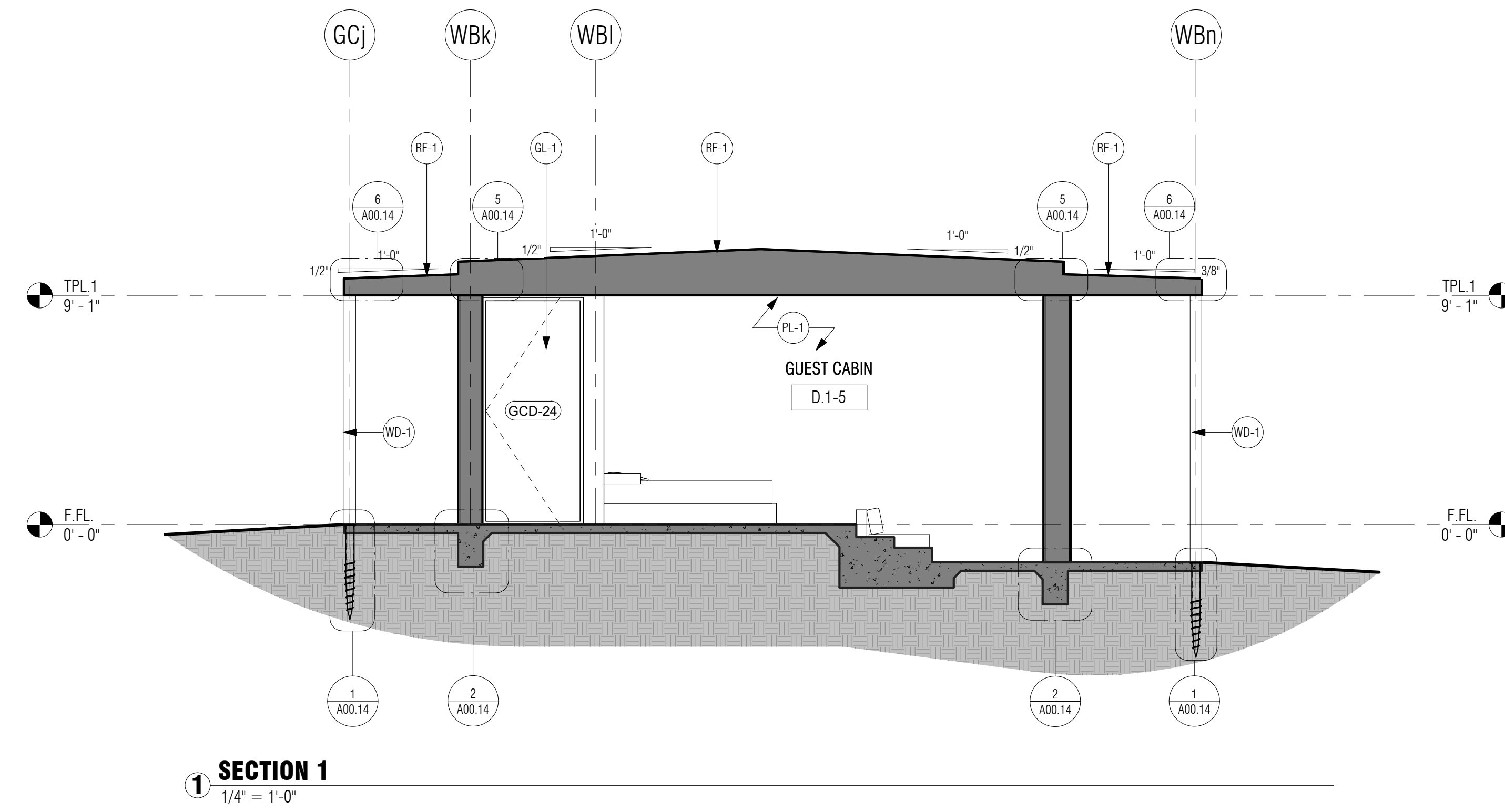
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC304.0

Scale 1/4" = 1'-0"



FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

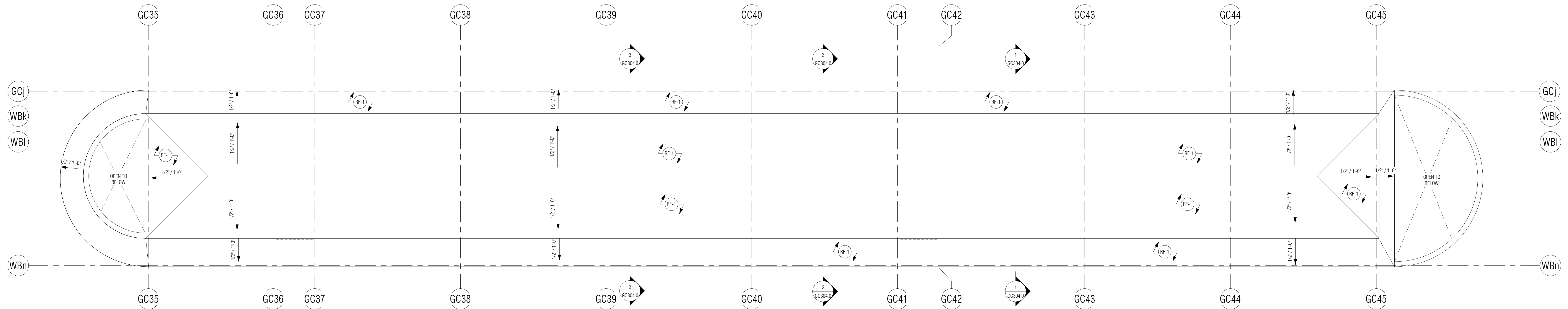
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2883 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH

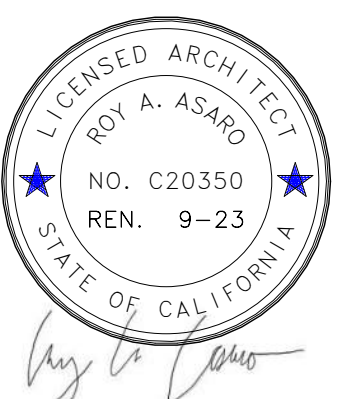


1 ROOF PLAN
 1/8" = 1'-0"

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC305.0

Scale As indicated

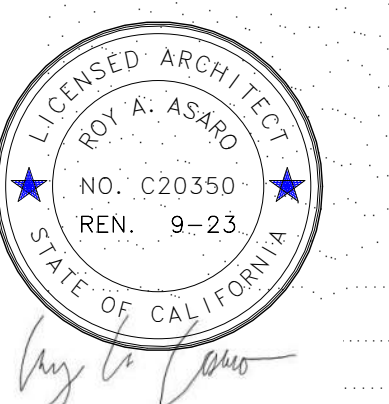
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

SOUND BATH
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

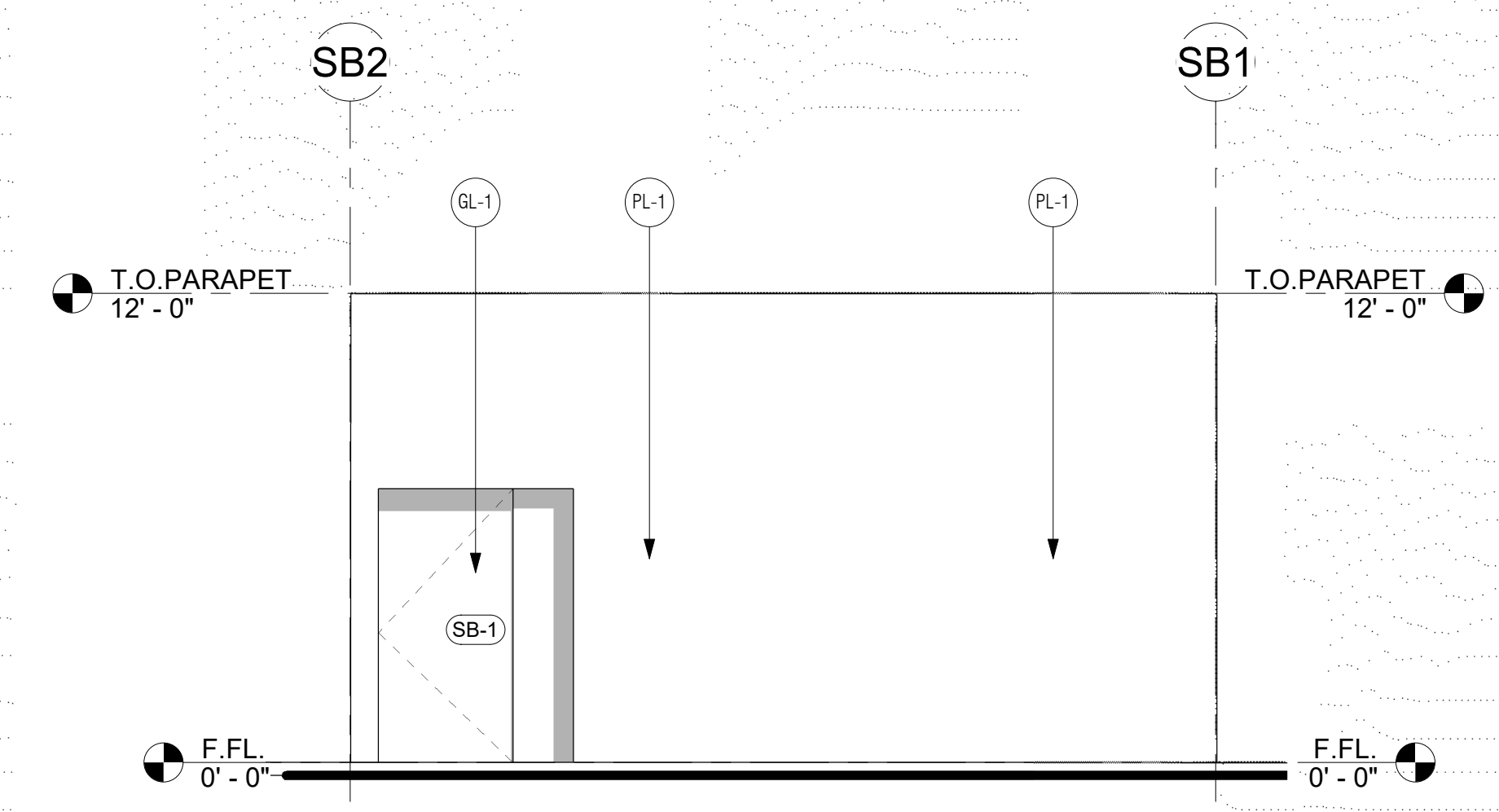
BUILDING
ELEVATIONS
ROOF PLAN &
SECTION



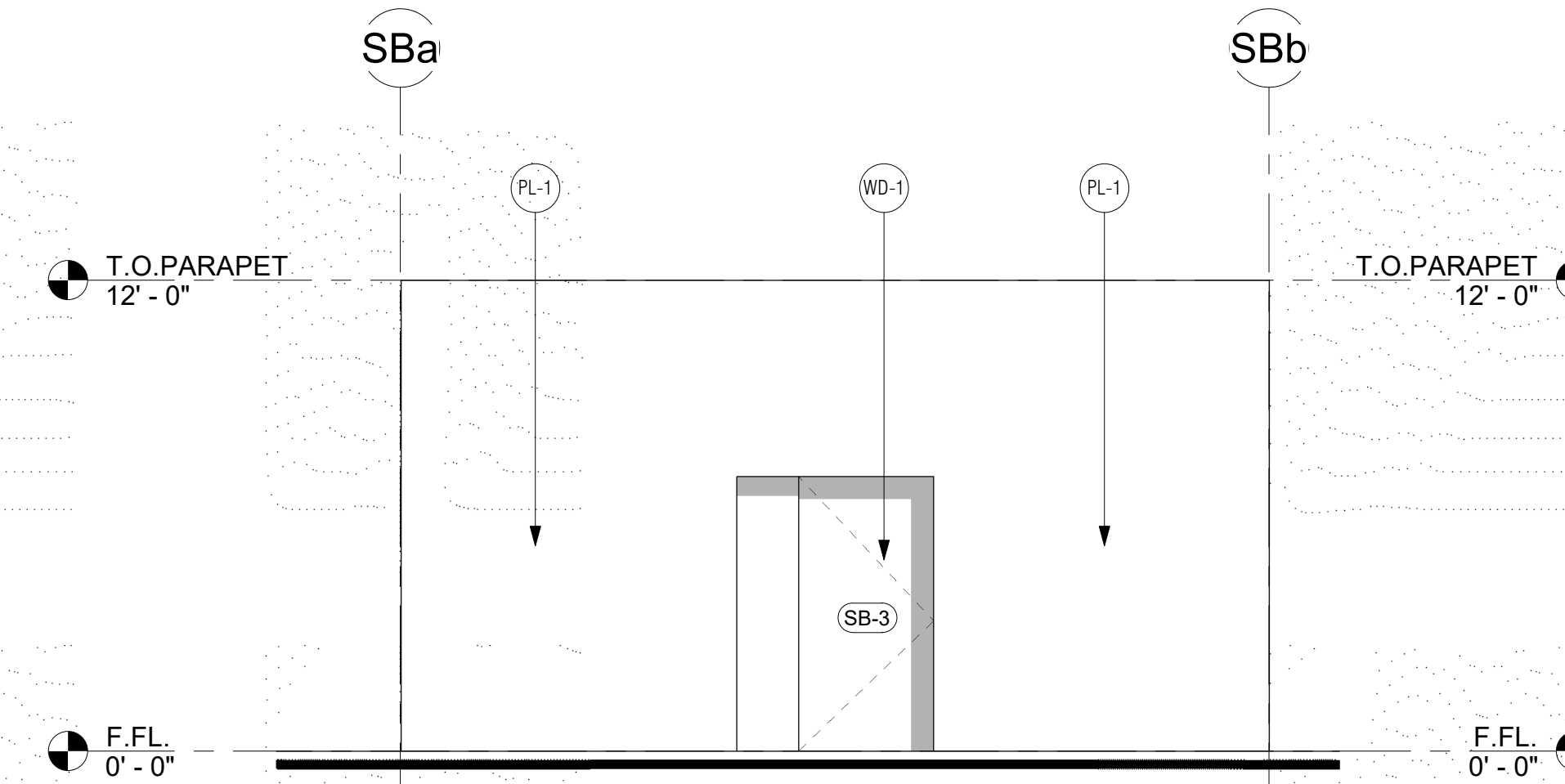
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

SB101.0

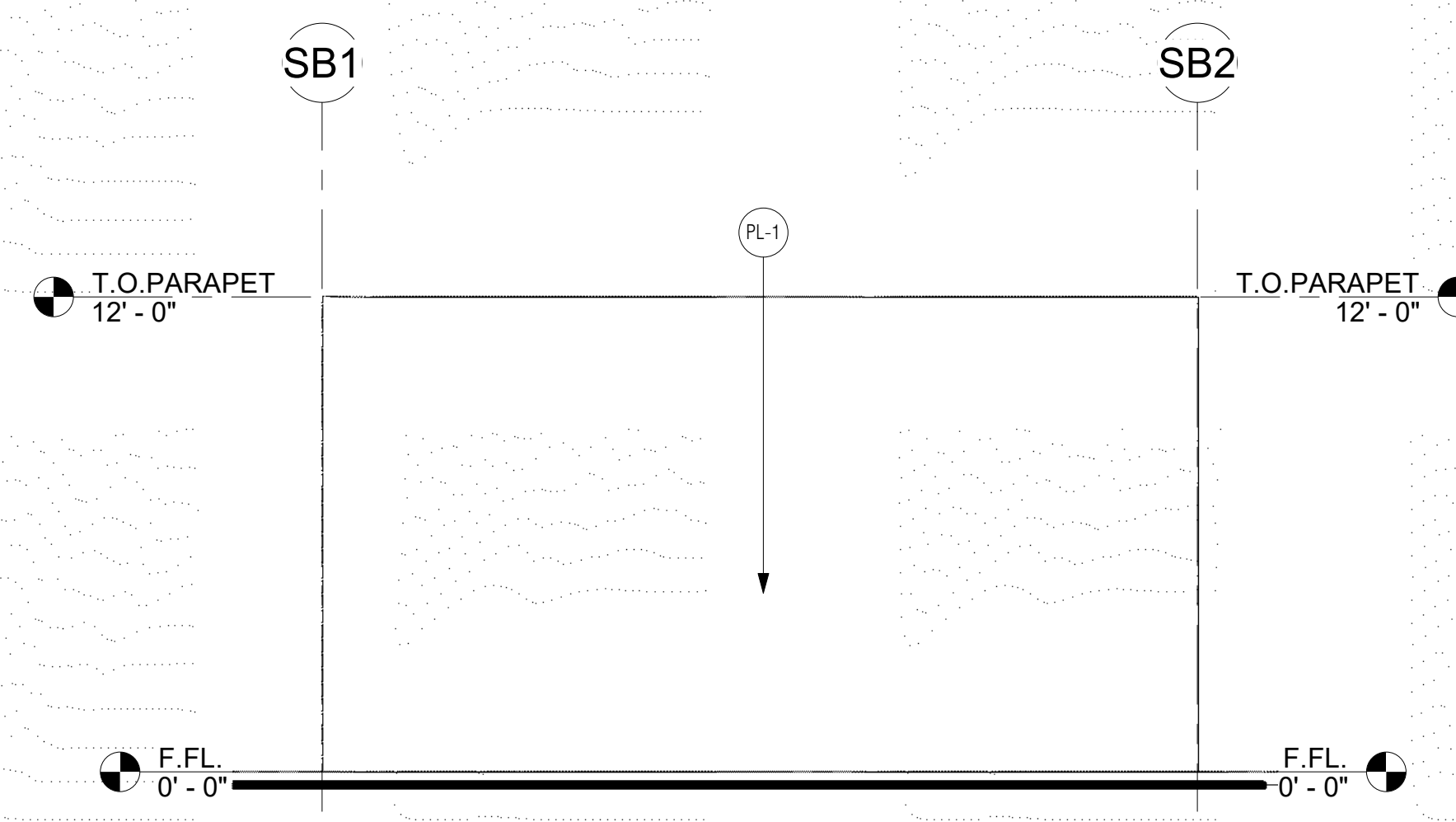
Scale 1/4" = 1'-0"



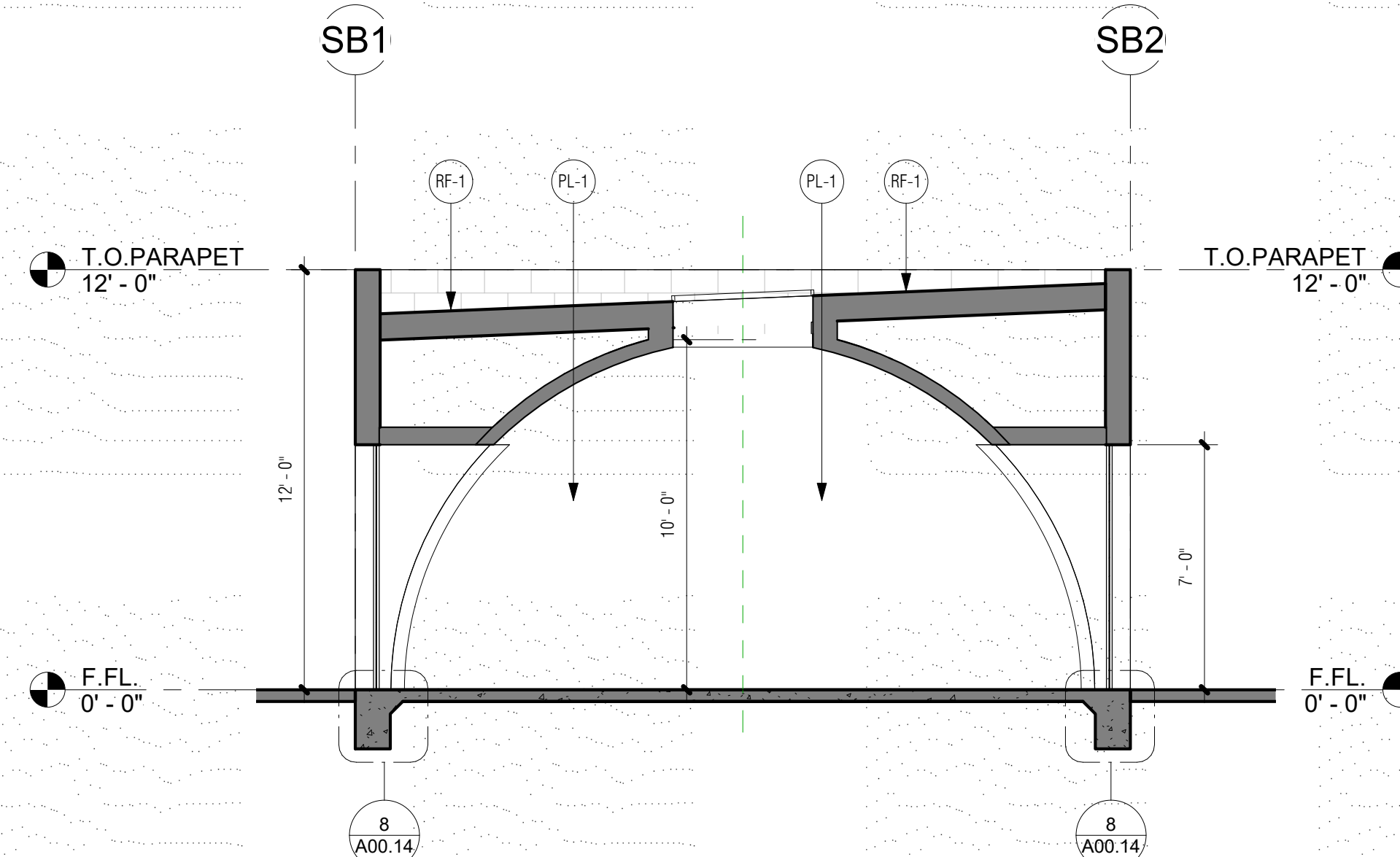
1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



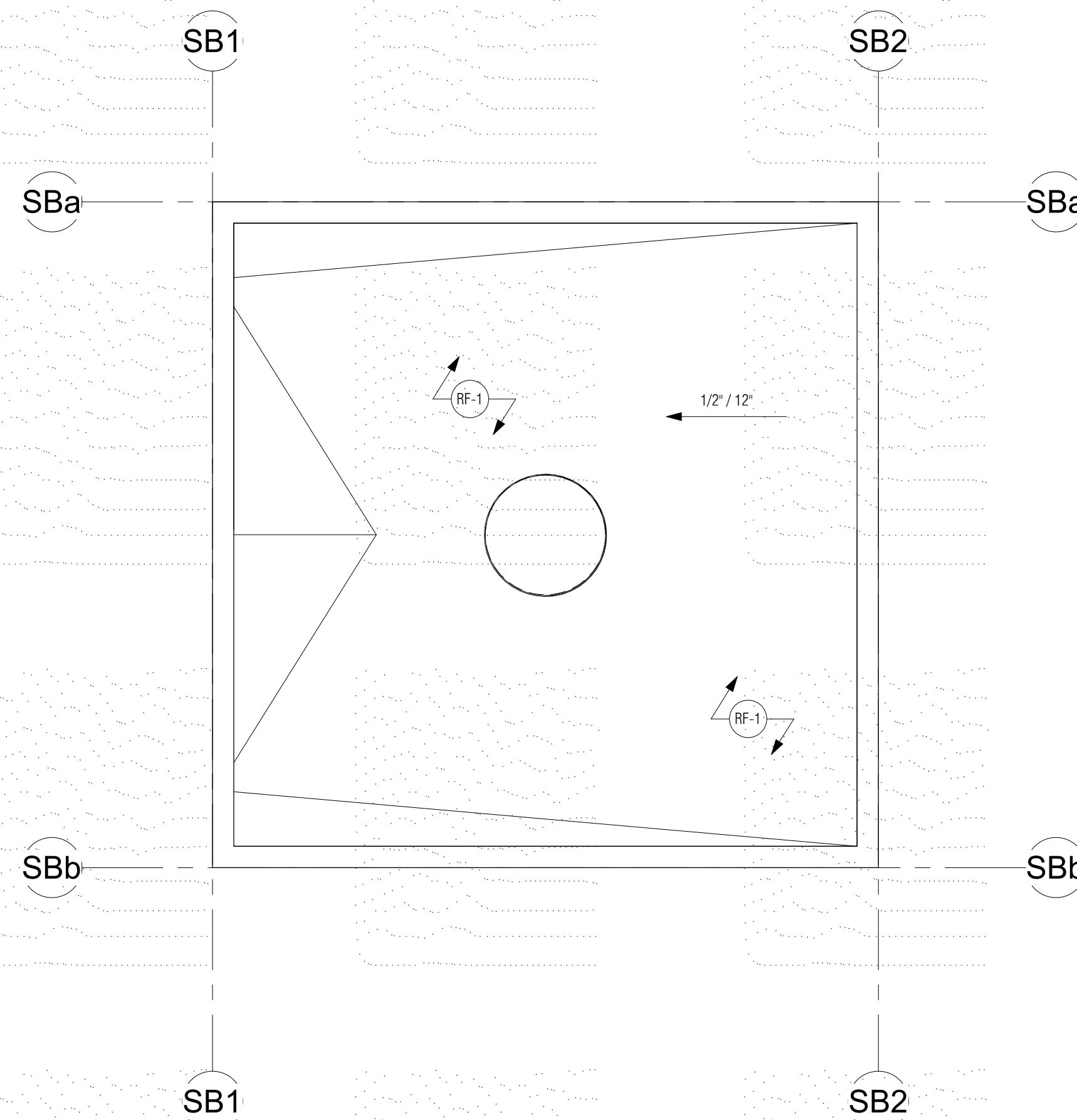
4 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



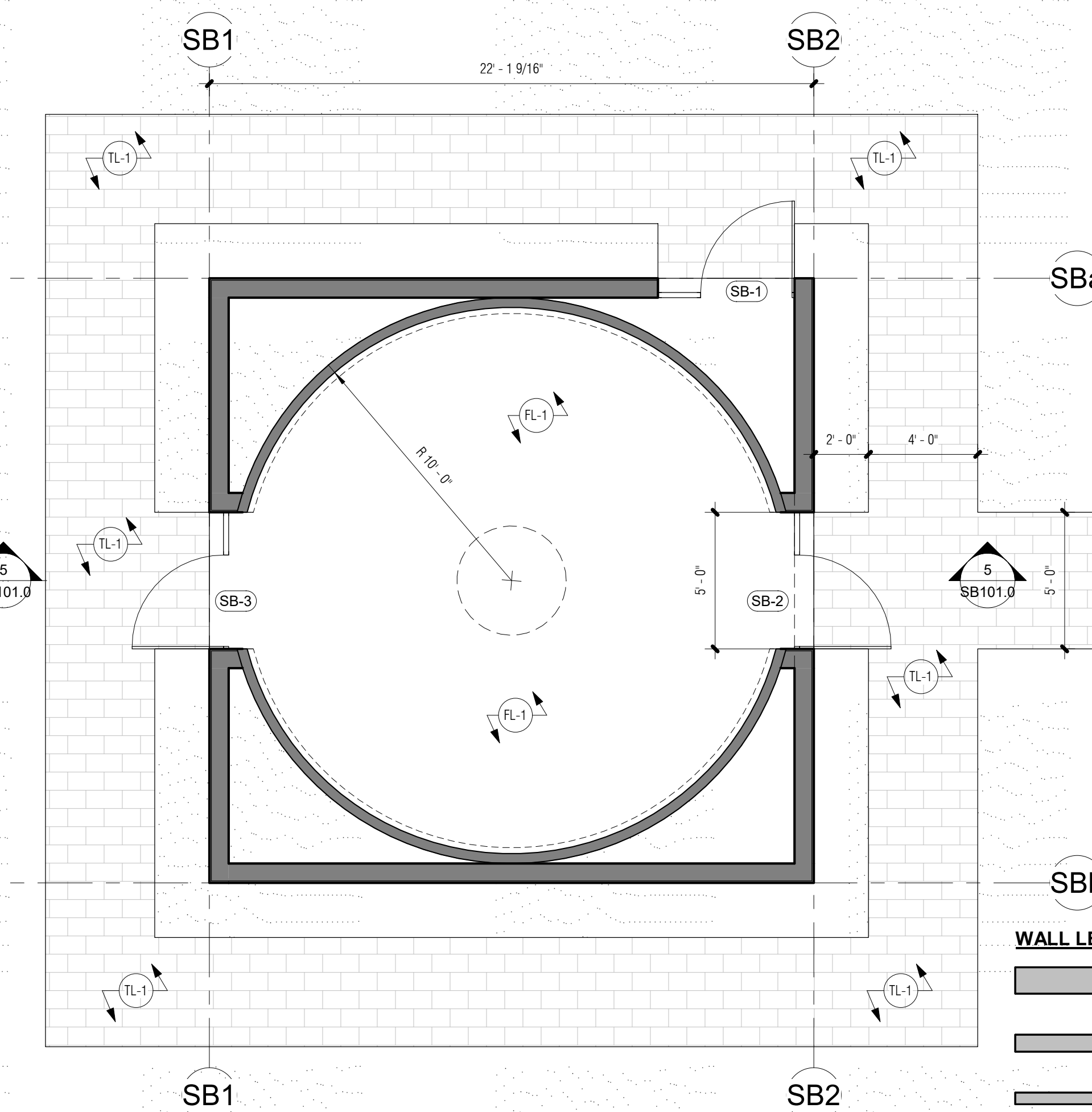
2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



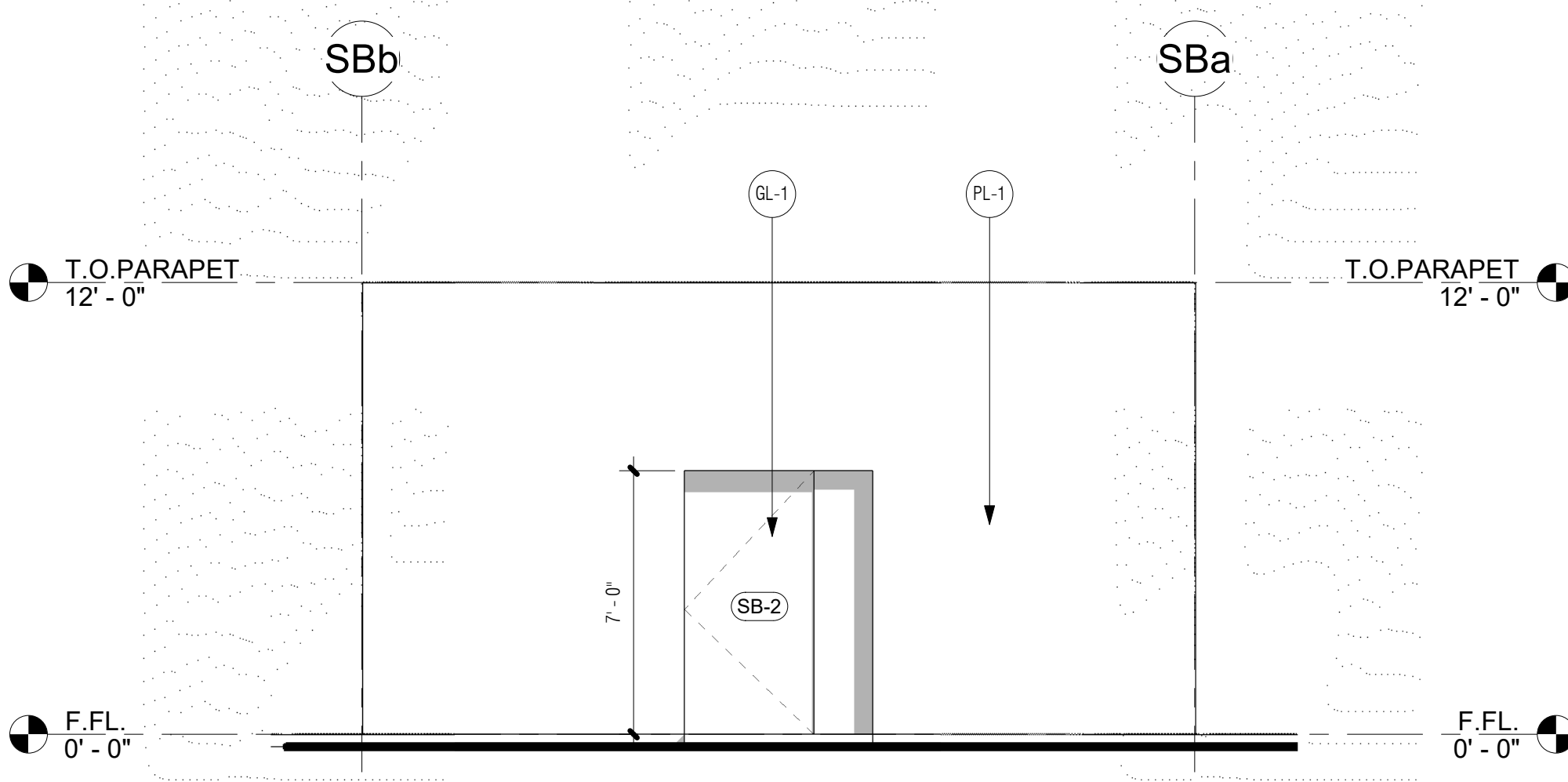
5 Section 1
1/4" = 1'-0"



7 ROOF PLAN
1/4" = 1'-0"



6 FLOOR PLAN
1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

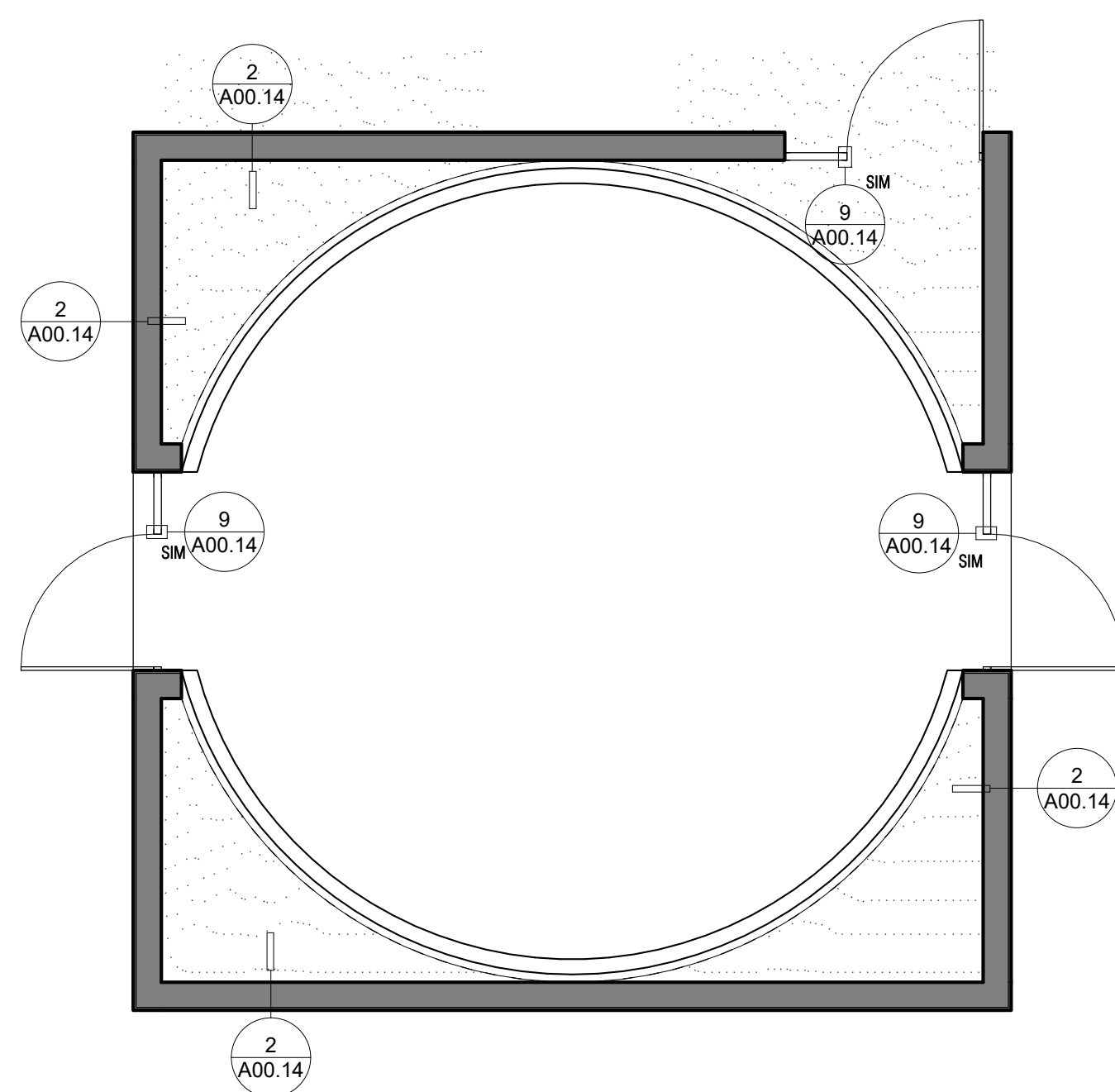
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	CLEAR VISION GLAZING

MARK	WIDTH	HEIGHT	COMMENTS
SB-1	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)
SB-2	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)
SB-3	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)

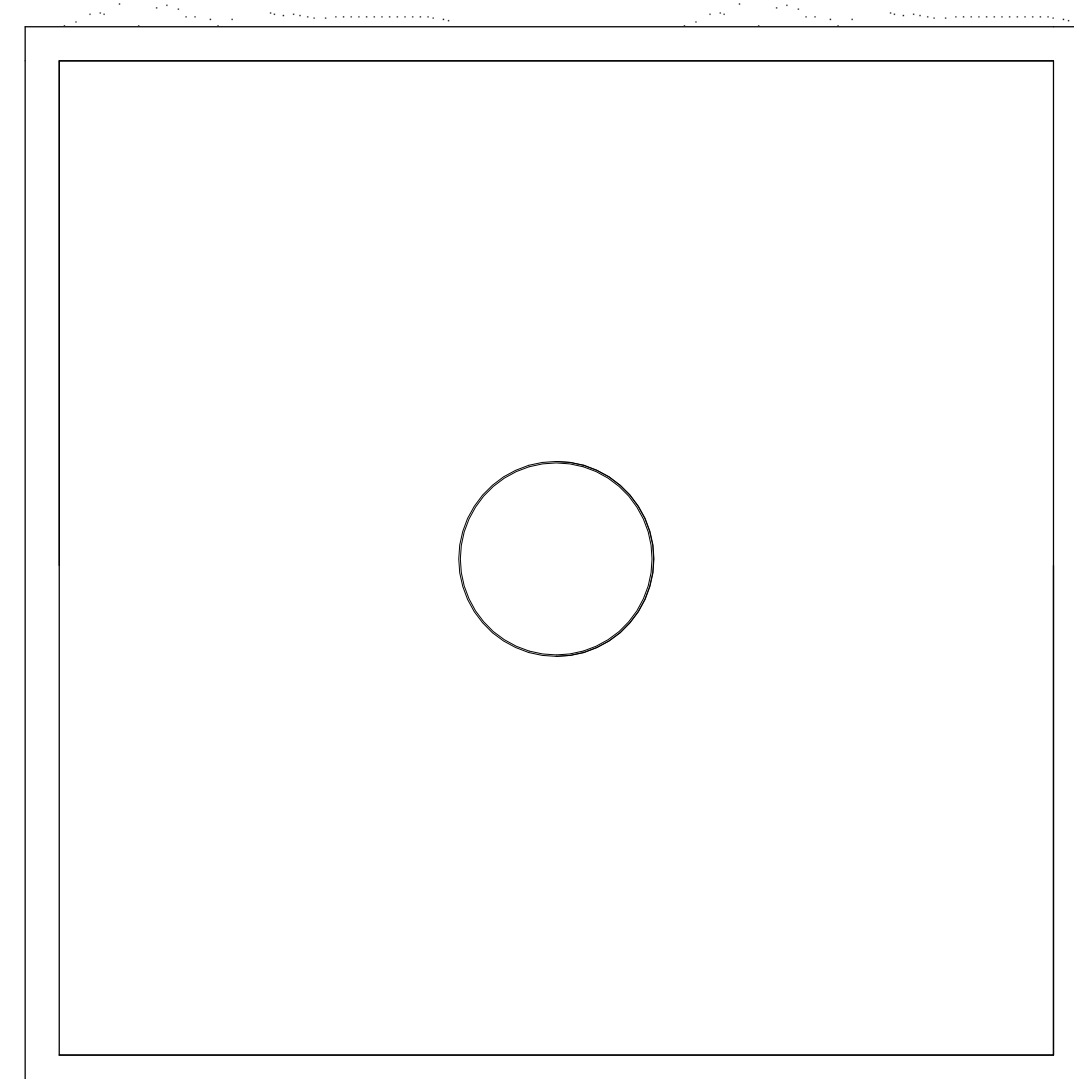
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

8 ROOFING NOTES
1/4" = 1'-0"



9 FLOOR PLAN DETAIL REFERENCE
1/4" = 1'-0"



10 ROOF PLAN DETAIL REFERENCE
1/4" = 1'-0"

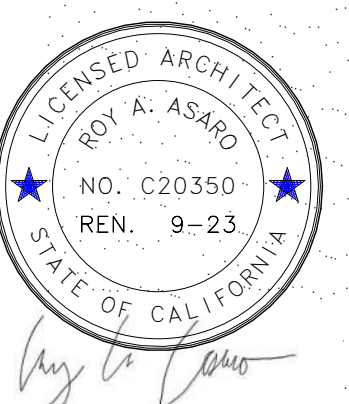
Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**

TENTS
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

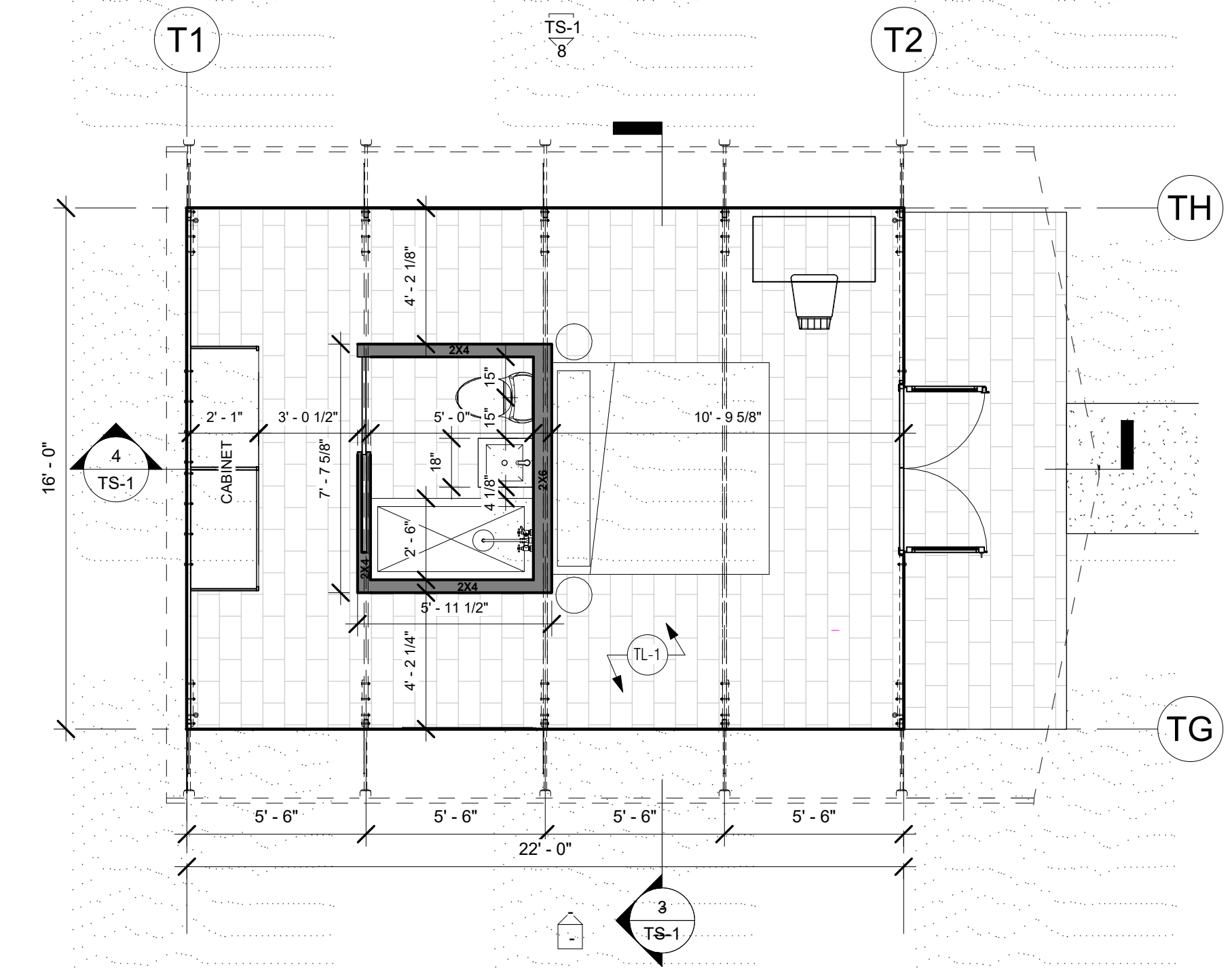
PROPOSED
 TENTS



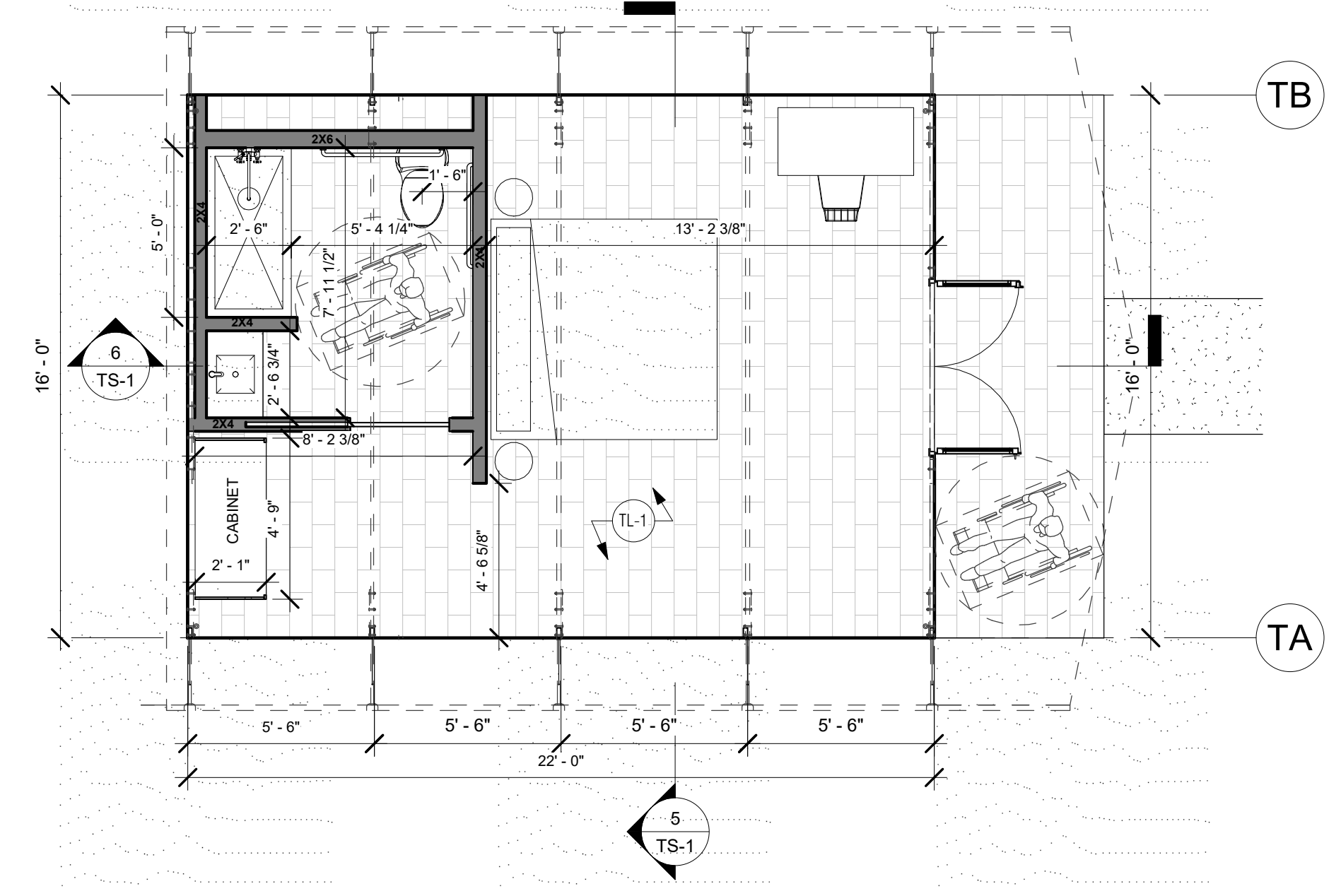
Project Number	CBS - 01
Date	05/17/23
Drawn By	RAA
Checked By	RAA

TS-1

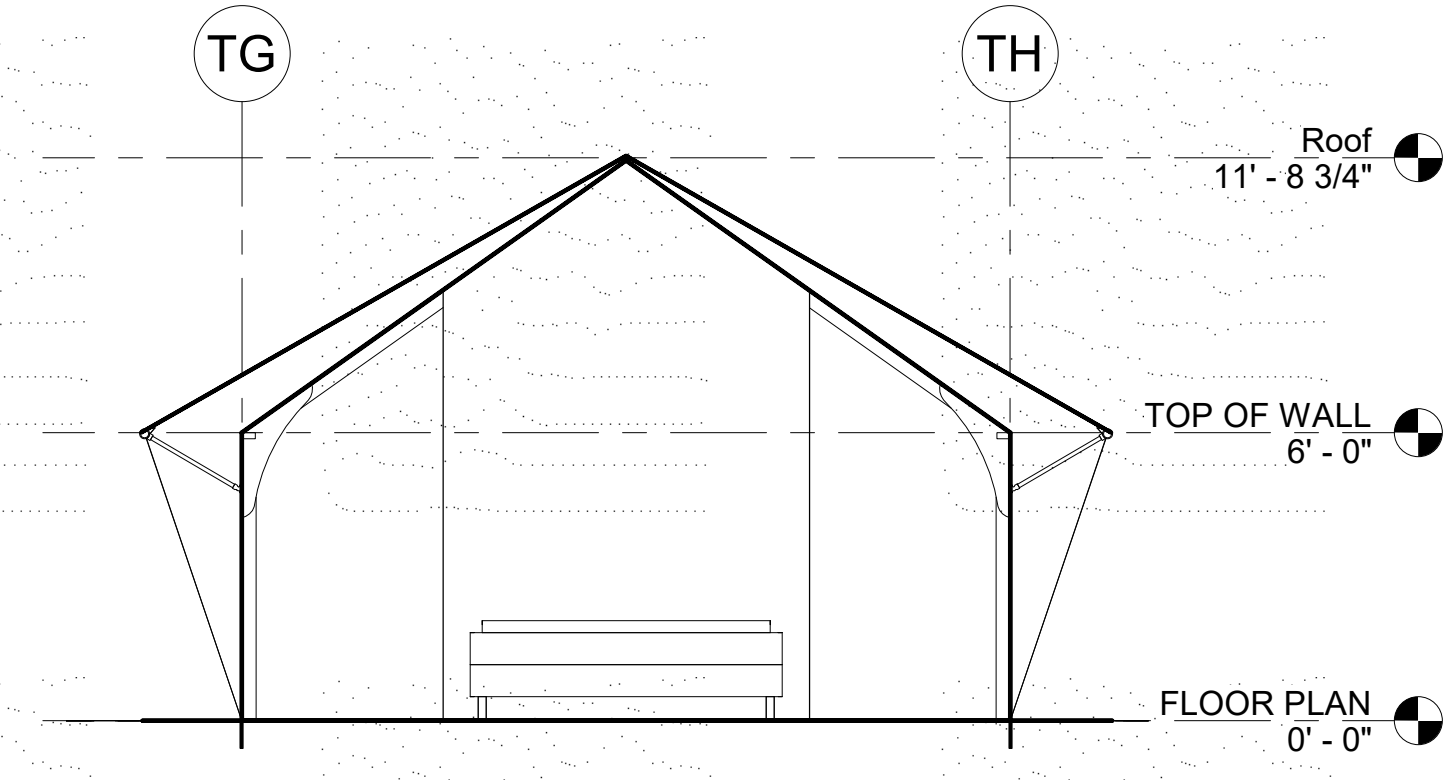
Scale 1/4" = 1'-0"



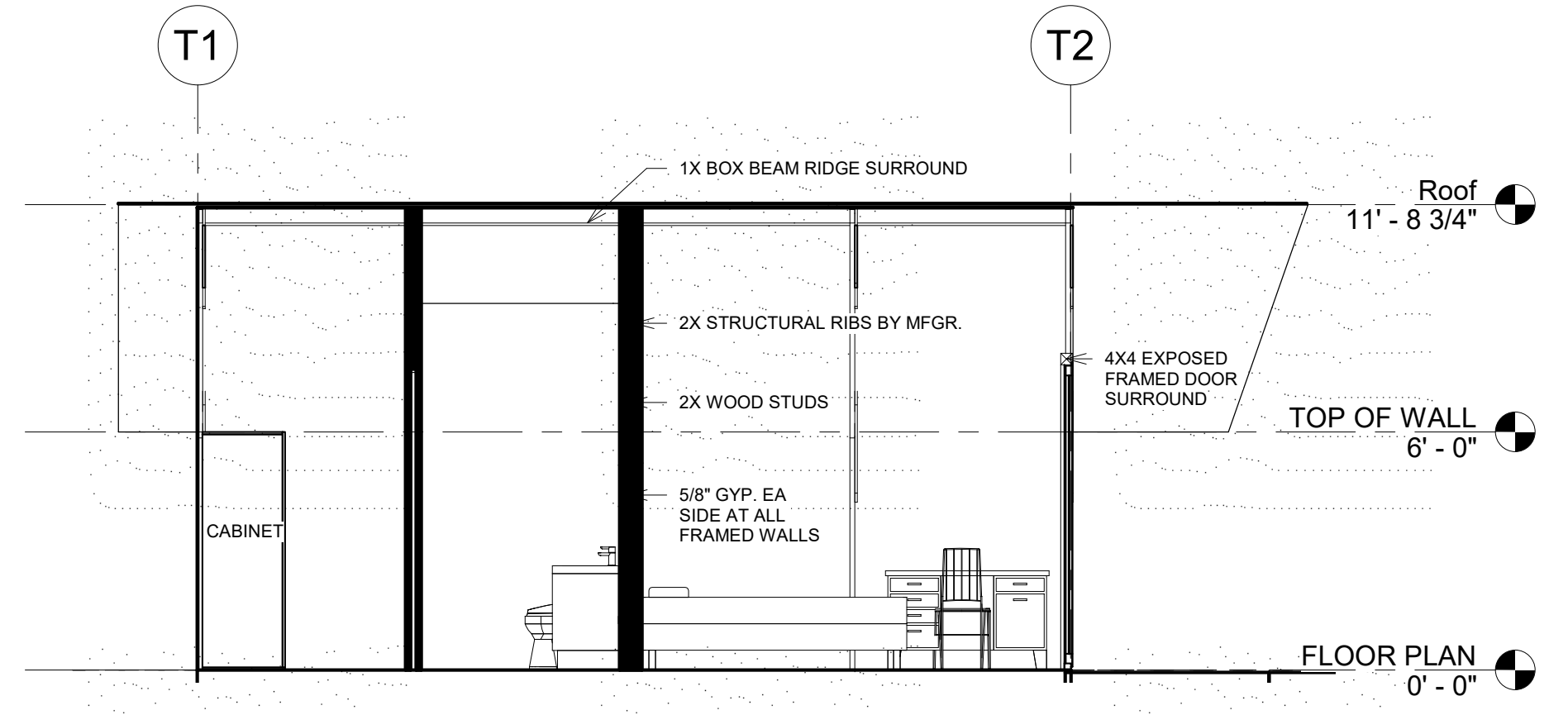
1 TS-1 STANDARD FLOOR PLAN
 1/4" = 1'-0"



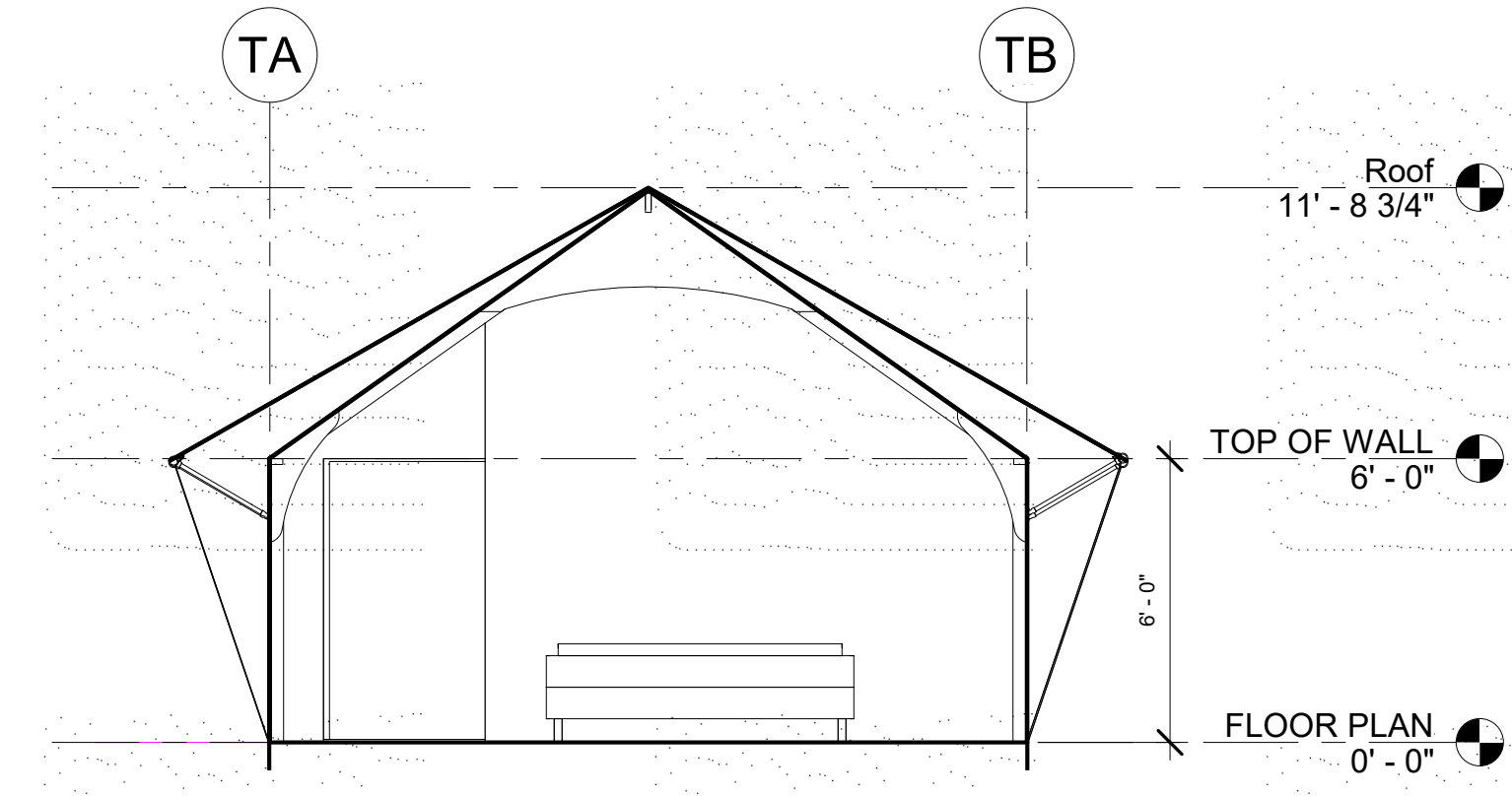
2 TS-1 ADA FLOOR PLAN
 1/4" = 1'-0"



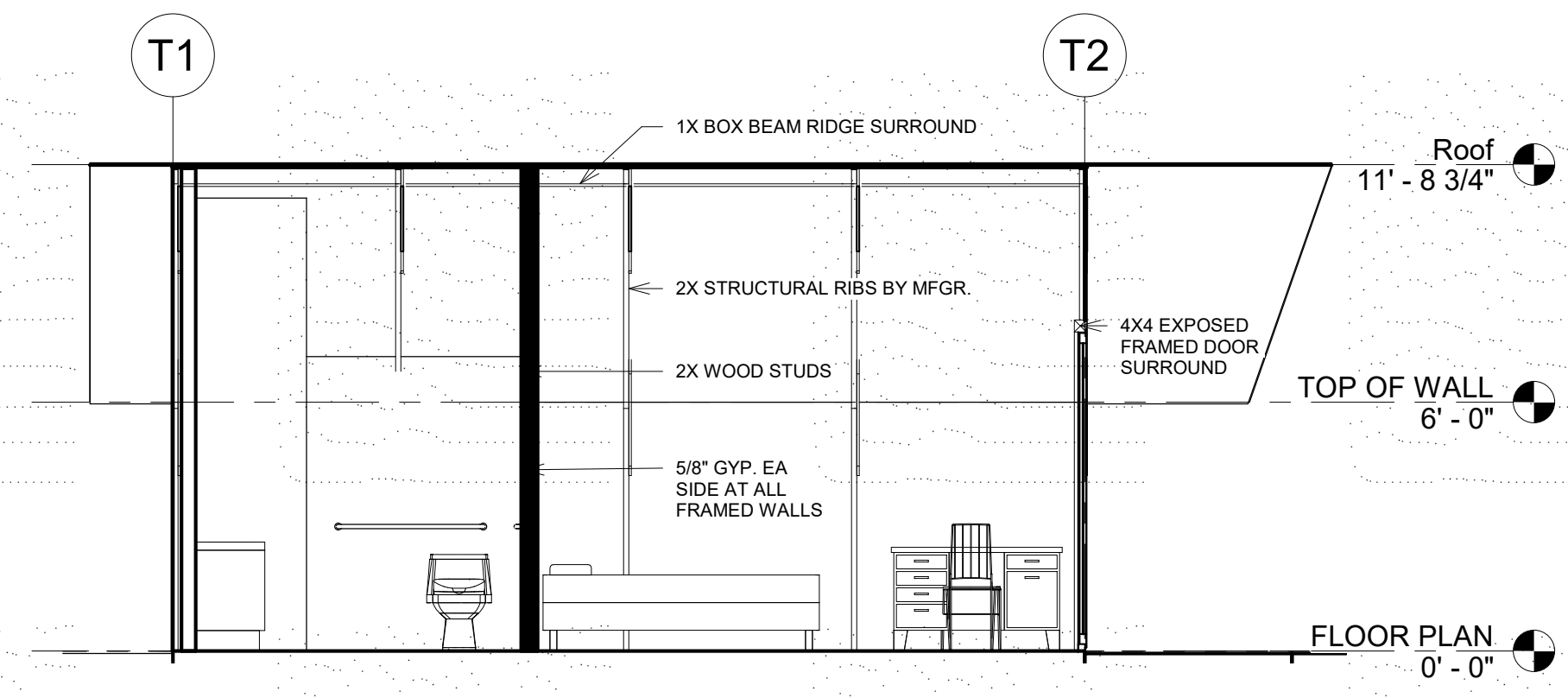
3 TYPICAL TENT SECTION 1
 1/4" = 1'-0"



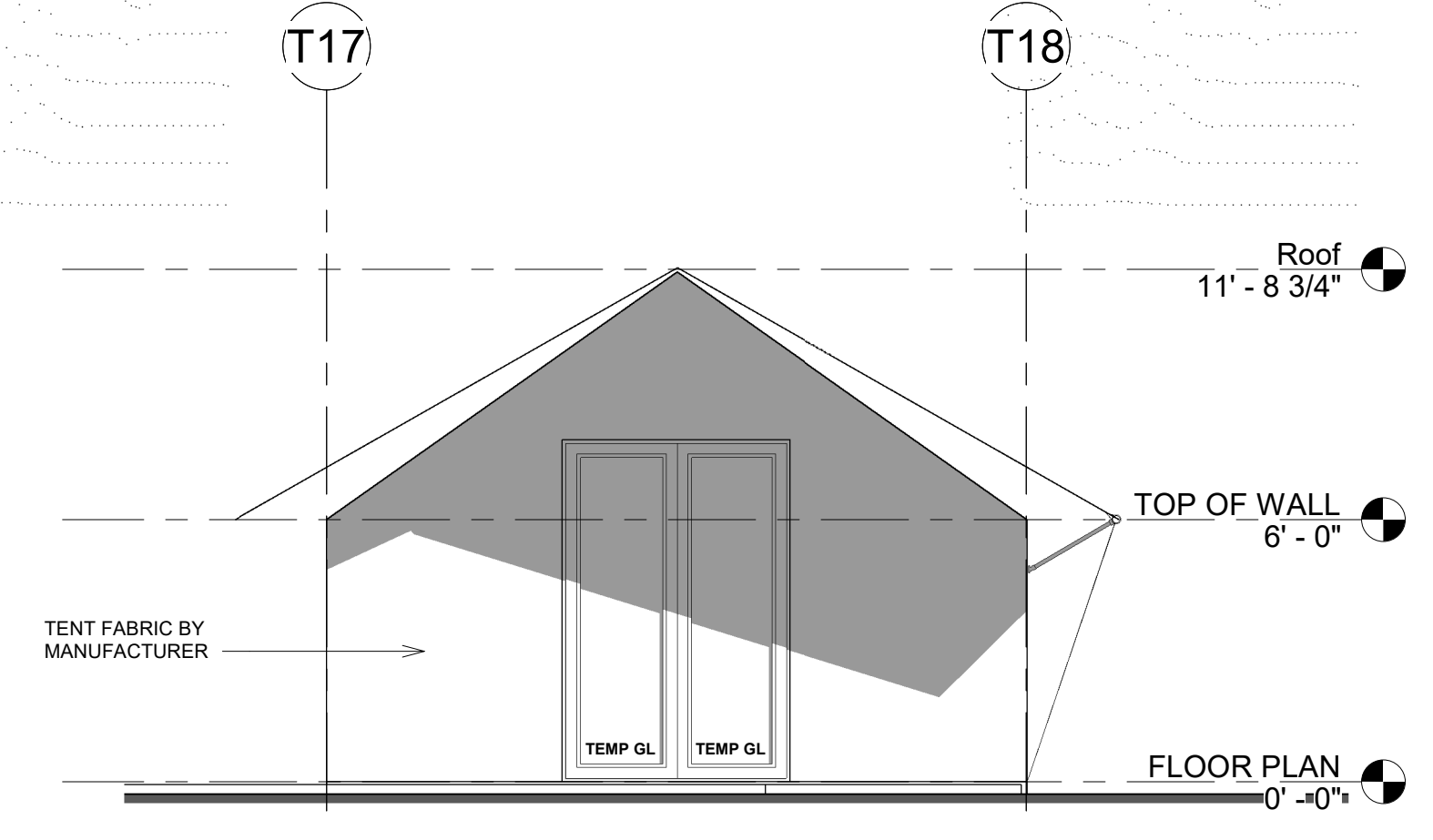
4 TYPICAL TENT SECTION 2
 1/4" = 1'-0"



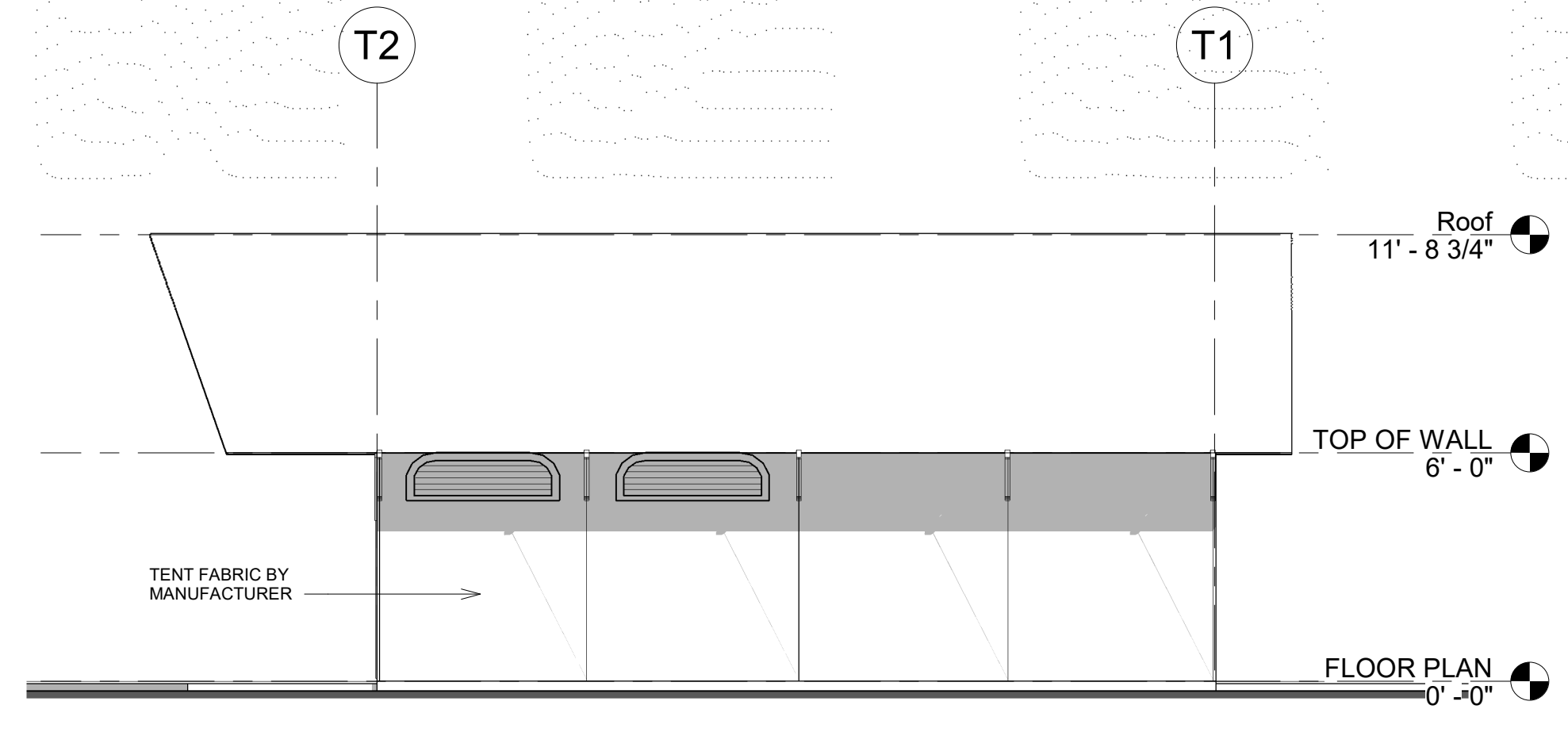
5 ADA TENT SECTION 1
 1/4" = 1'-0"



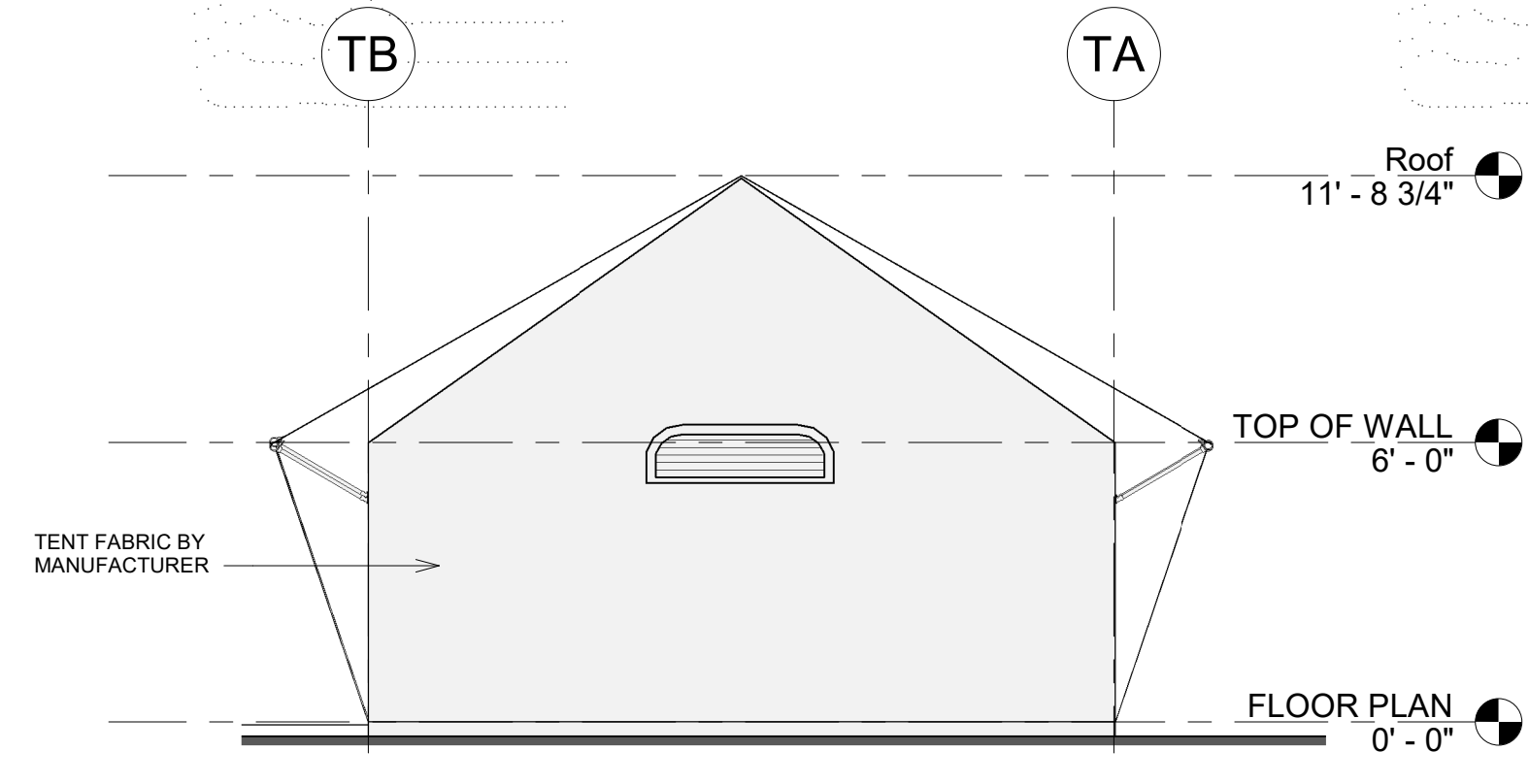
6 ADA TENT SECTION 2
 1/4" = 1'-0"



7 EAST ELEVATION
 1/4" = 1'-0"



8 NORTH ELEVATION
 1/4" = 1'-0"

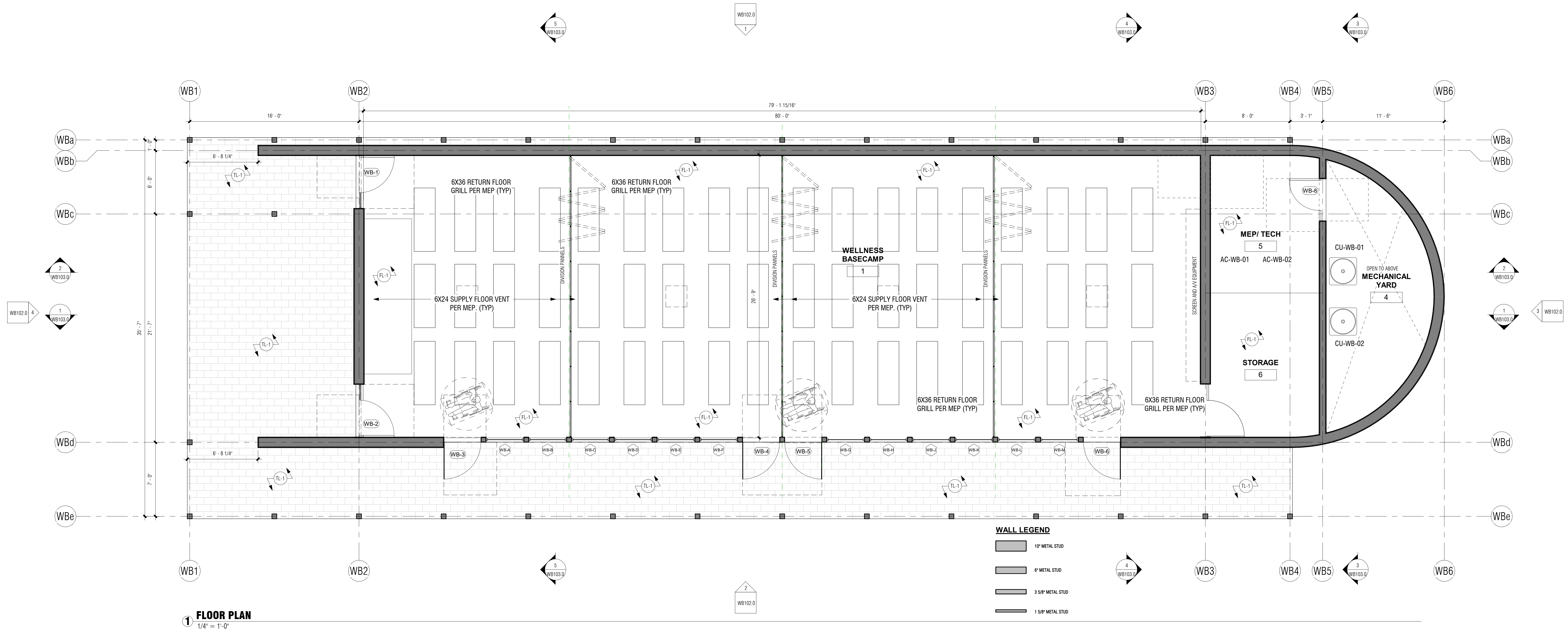


9 WEST ELEVATION
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

[Symbol]	1" METAL STUD
[Symbol]	6" METAL STUD
[Symbol]	3 5/8" METAL STUD
[Symbol]	1 5/8" METAL STUD

FINISH LEGEND

NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR WISON GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WB-A	3'-7"	10'-0"			
WB-B	3'-7"	10'-0"			
WB-C	3'-7"	10'-0"			
WB-D	3'-7"	10'-0"			
WB-E	3'-7"	10'-0"			
WB-F	3'-7"	10'-0"			
WB-G	3'-7"	10'-0"			
WB-H	3'-7"	10'-0"			
WB-J	3'-7"	10'-0"			
WB-K	3'-7"	10'-0"			
WB-L	3'-7"	10'-0"			
WB-M	3'-7"	10'-0"			

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COMMENTS
WB-1	5'-0"	10'-0"	TYPE 'D' (GLASS W/ GLASS SIDELIGHT)
WB-2	5'-0"	10'-0"	TYPE 'D' (GLASS W/ GLASS SIDELIGHT)
WB-3	3'-6 1/4"	10'-0"	TYPE 'B' (GLASS)
WB-4	3'-6 1/4"	10'-0"	TYPE 'B' (GLASS)
WB-5	3'-6 1/4"	10'-0"	TYPE 'B' (GLASS)
WB-6	3'-6 1/4"	10'-0"	TYPE 'B' (GLASS)
WB-8	4'-0"	8'-8"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
WB-9	5'-0"	8'-8"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)

CUP SUBMITTAL

FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

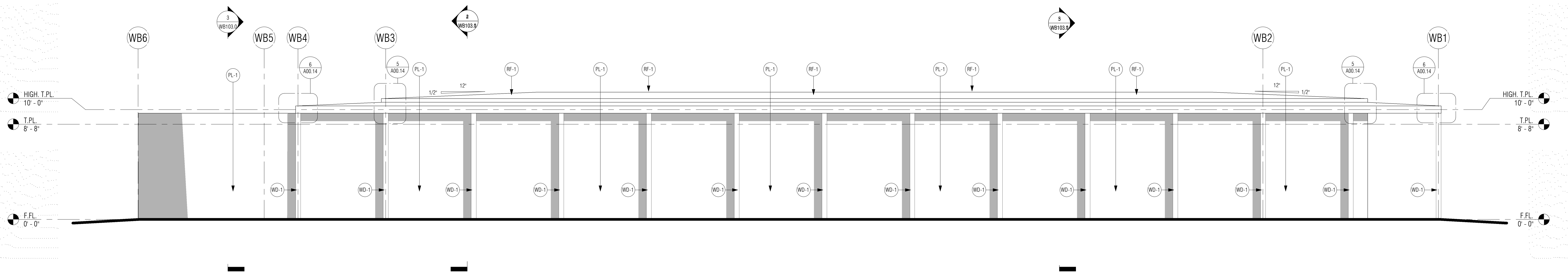
WB101.0

Scale 1/4" = 1'-0"

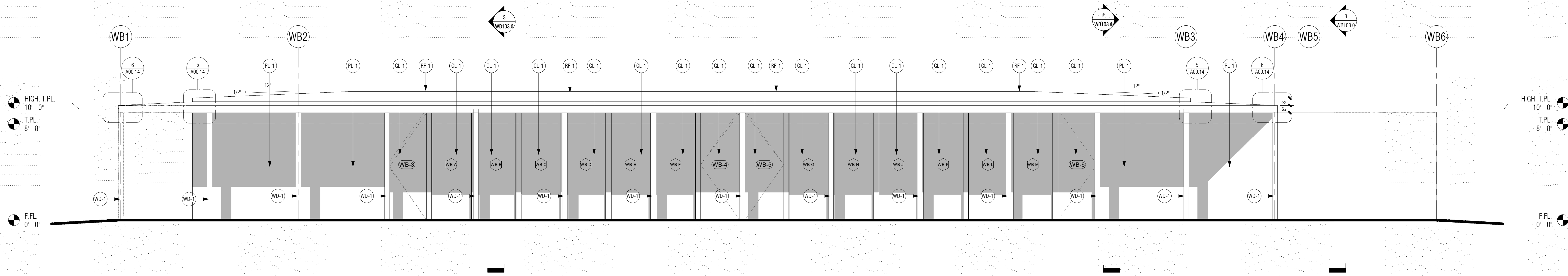
FINISH LEGEND	
NOTE #	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/EGGAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

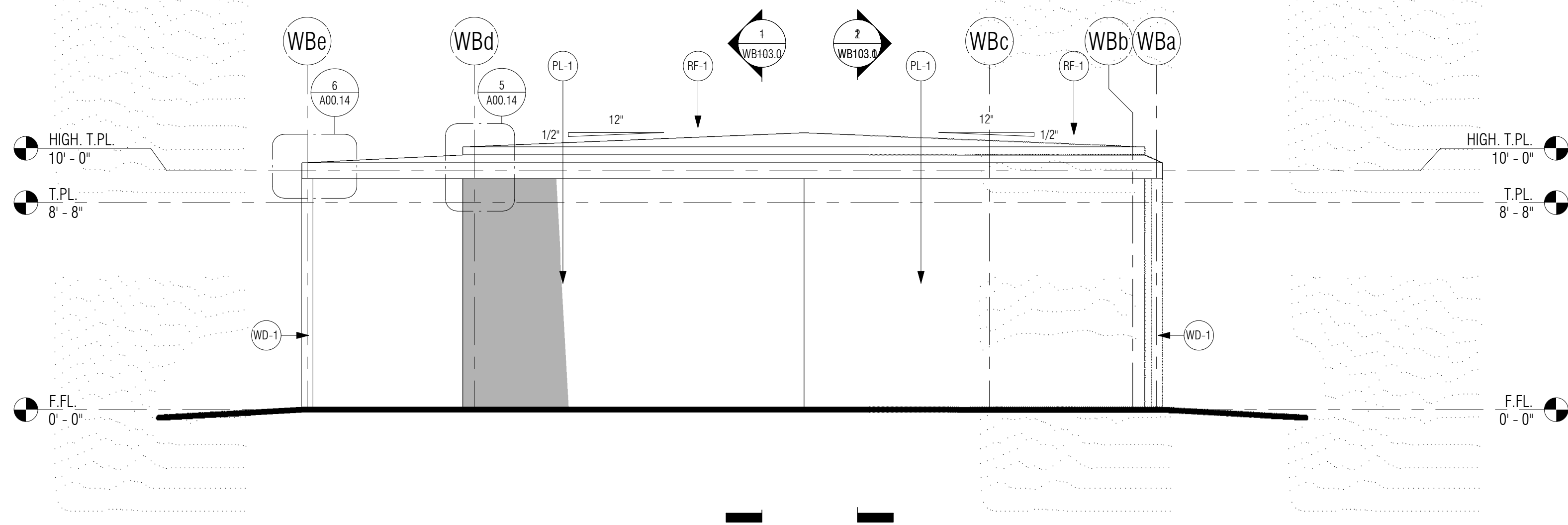
THE RIDGE
GUEST RANCH



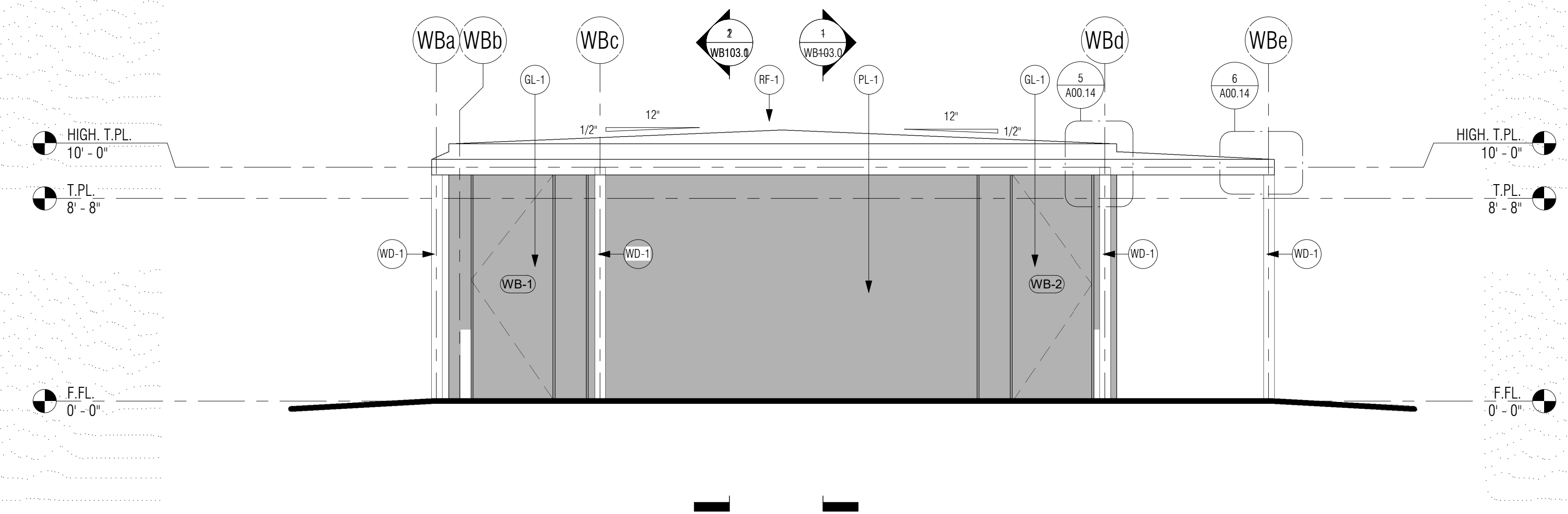
1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



4 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

WB102.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

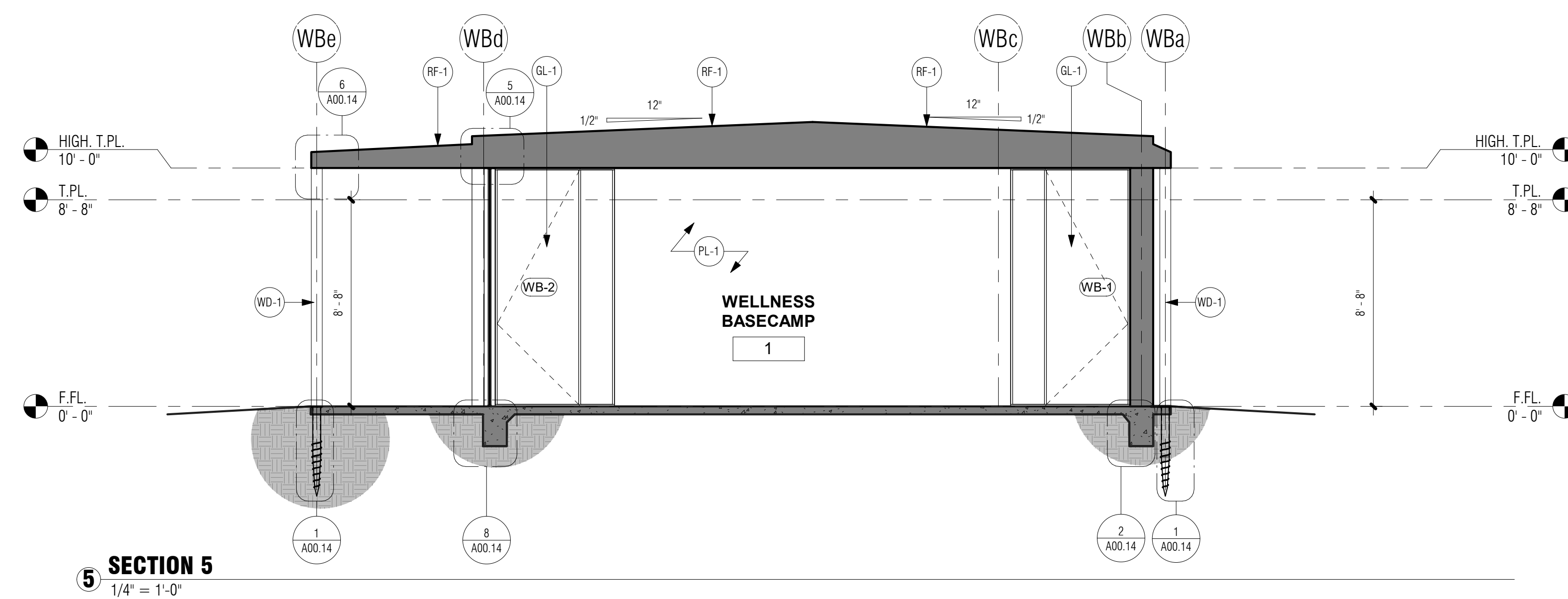
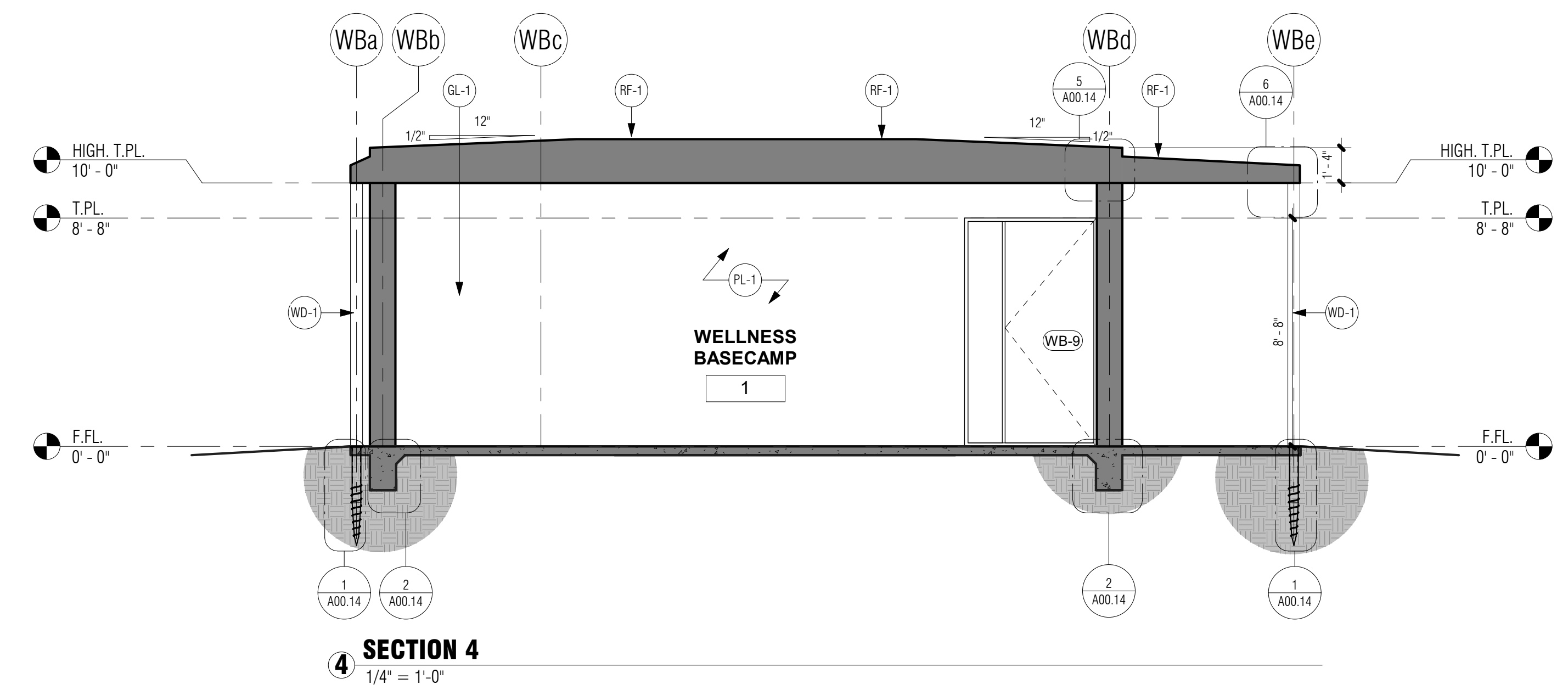
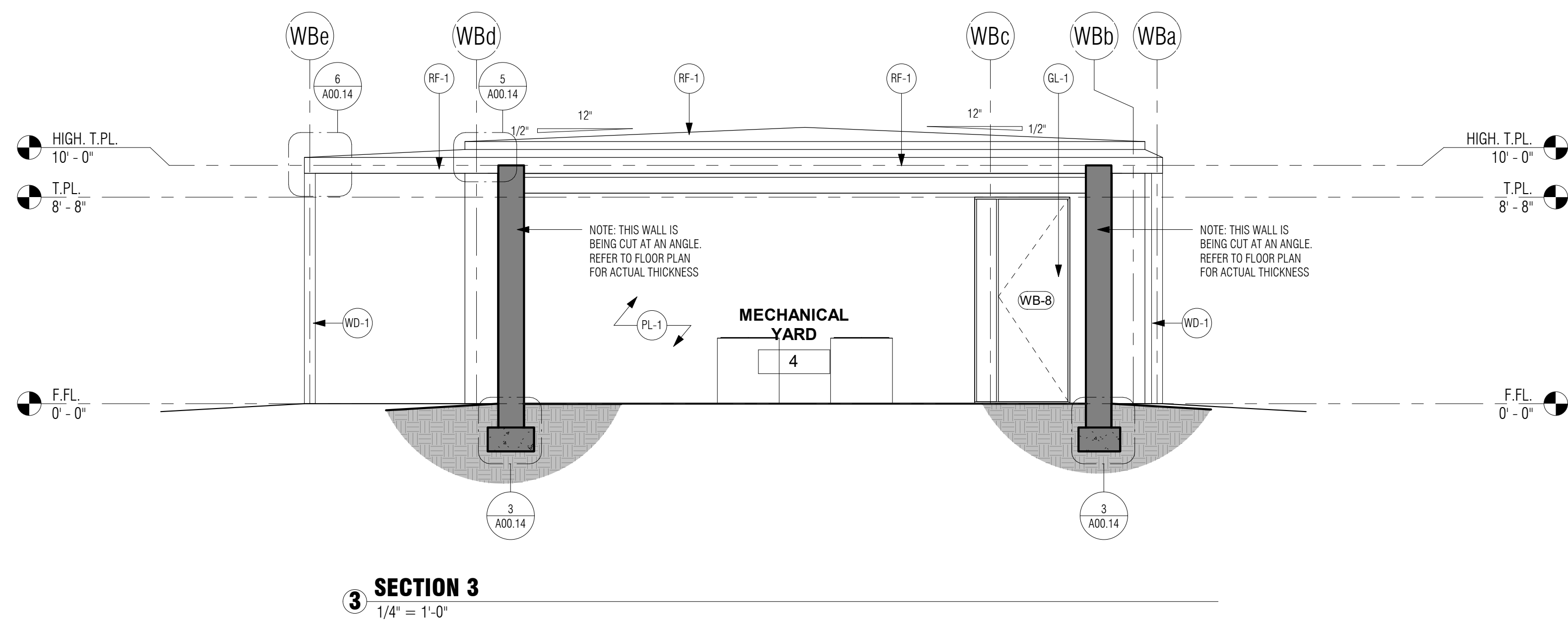
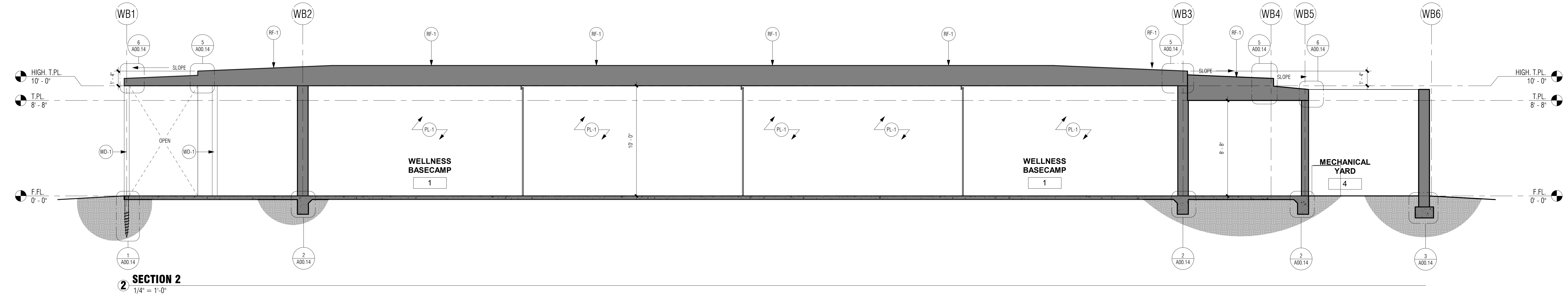
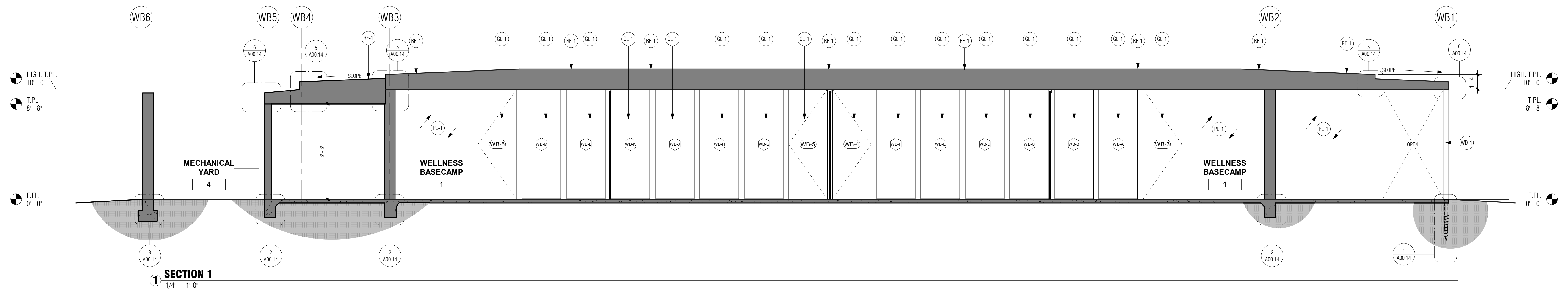
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WB103.0

Scale 1/4" = 1'-0"

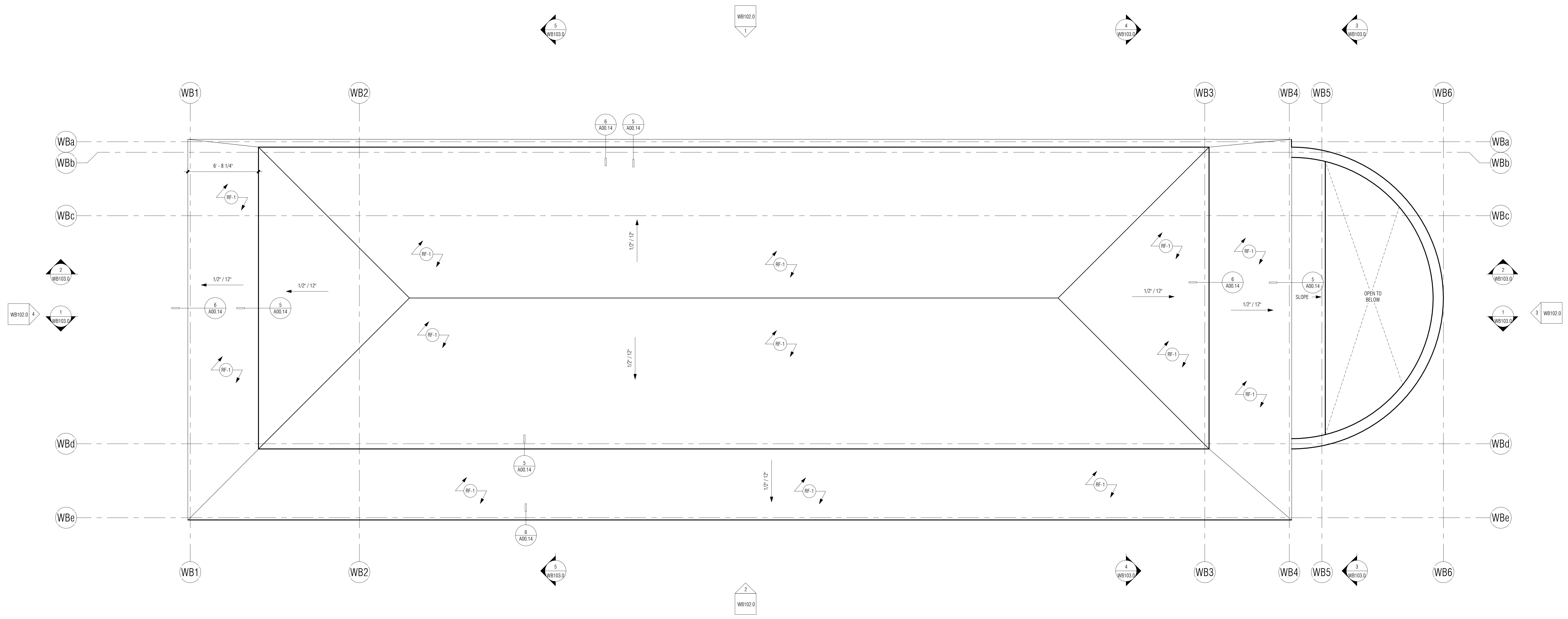


NOTE #	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH

WELLNESS BASECAMP
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561



1 ROOF PLAN
 1/4" = 1'-0"

FINISH LEGEND	
NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WB-1	STUCCO FINISH TO BE DETERMINED

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

CUP SUBMITTAL

ROOF PLAN



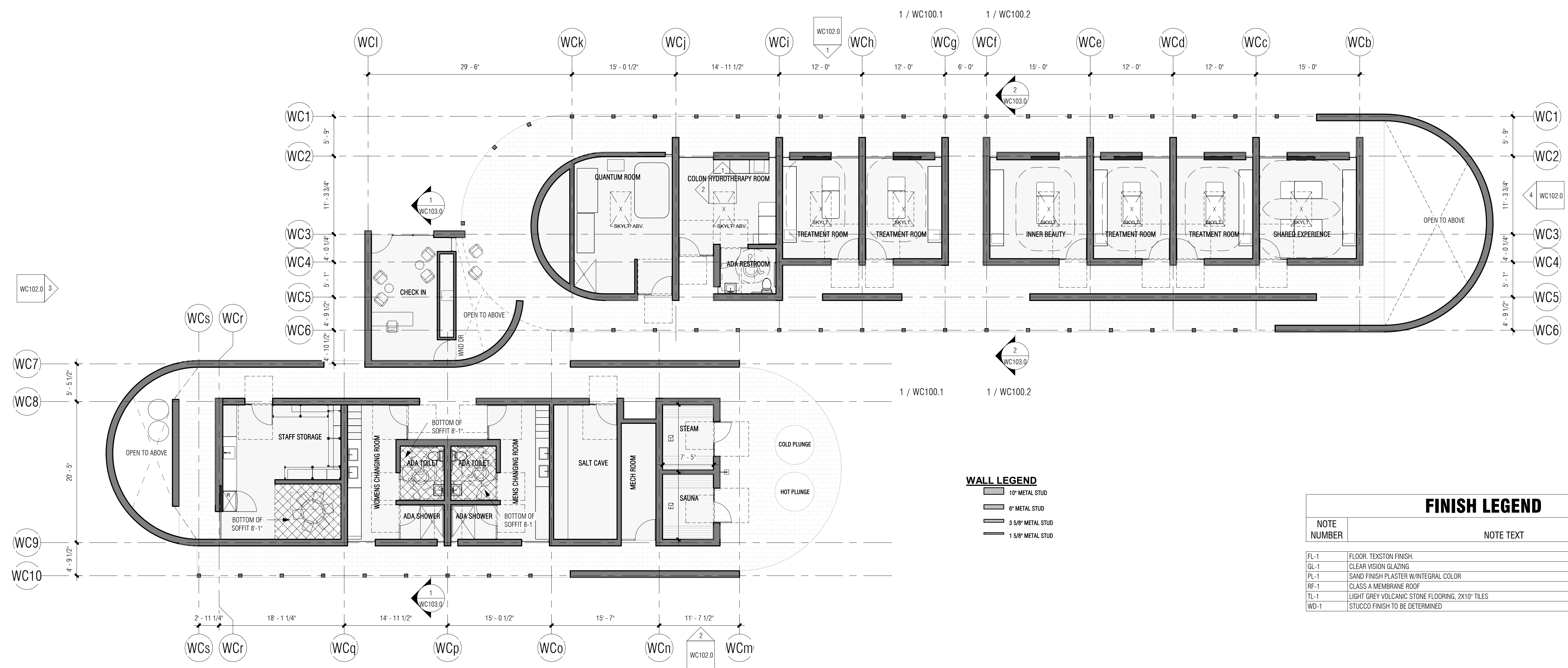
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WB104.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**



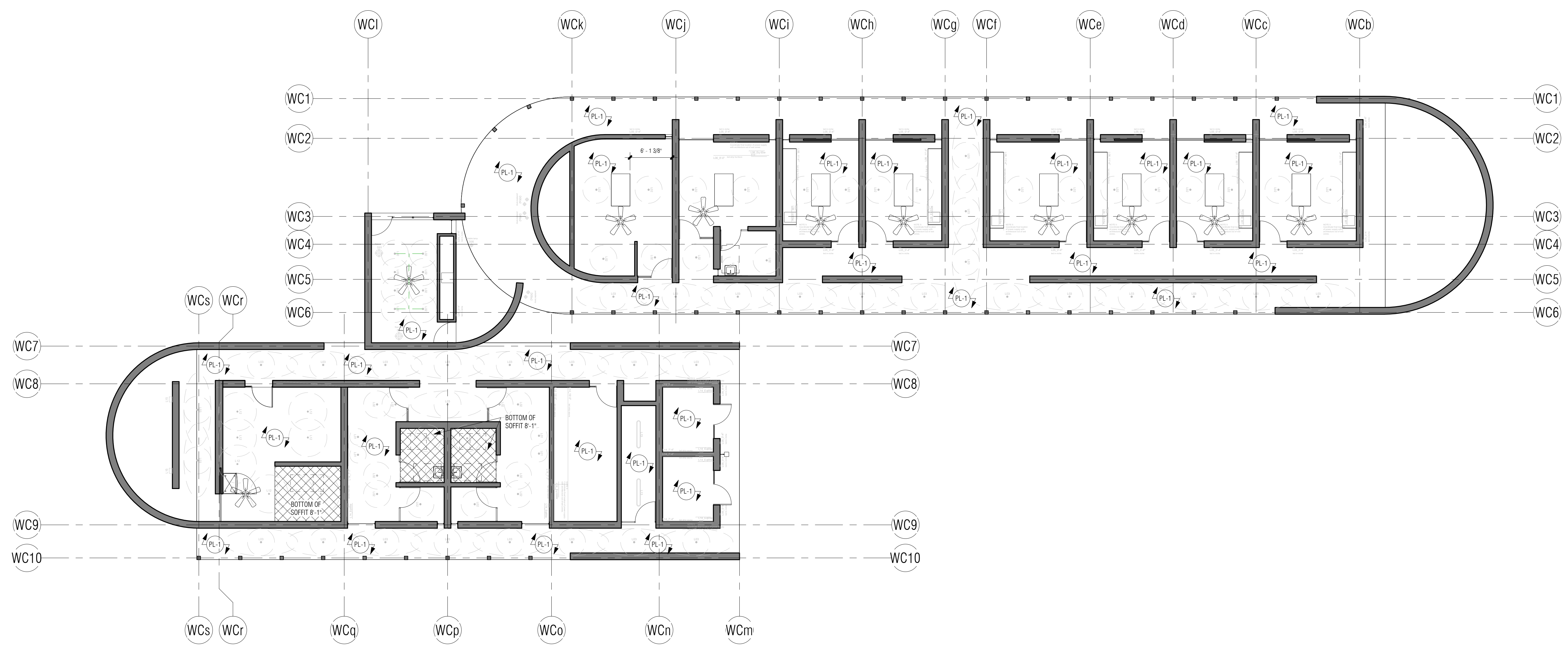
WALL LEGEND

- 10" METAL STUD
- 6" METAL STUD
- 3 5/8" METAL STUD
- 1 5/8" METAL STUD

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

1 OVERALL PLAN
 1/8" = 1'-0"



2 REFLECTED CEILING PLAN
 1/8" = 1'-0"

WELLNESS SANTUARY
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL FLOOR
 PLAN & RCP



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC100.0

Scale 1/8" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL
ENLARGED
FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

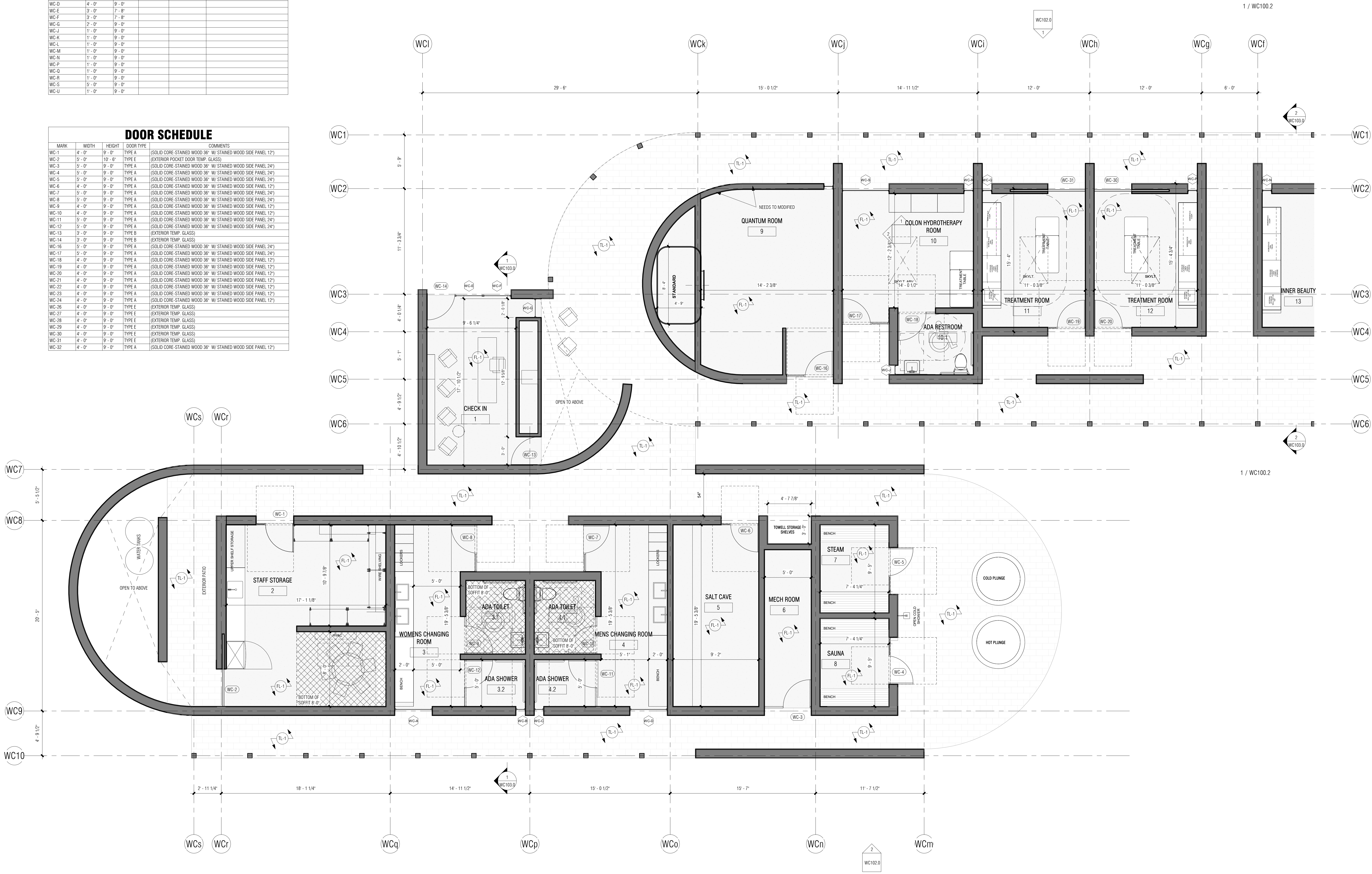
WC100.1

Scale 1/4" = 1'-0"

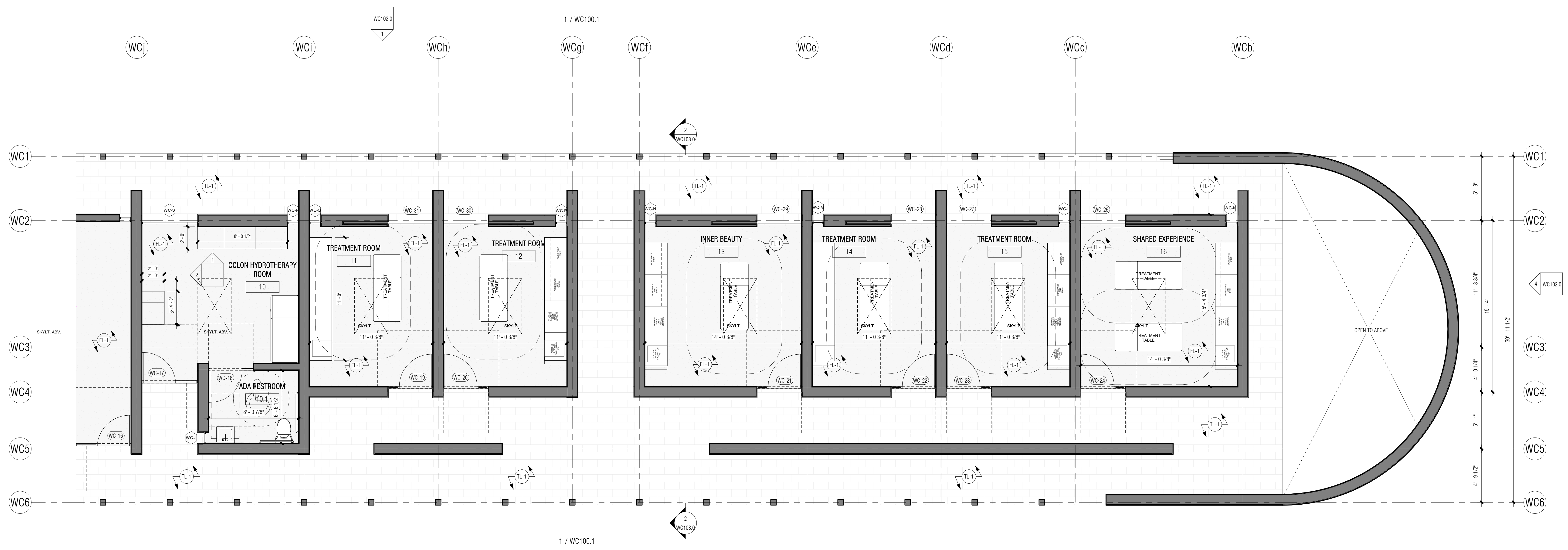
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WC-A	4'-0"	9'-0"			
WC-B	1'-0"	9'-0"			
WC-C	1'-0"	9'-0"			
WC-D	4'-0"	9'-0"			
WC-E	3'-0"	7'-8"			
WC-F	3'-0"	7'-8"			
WC-G	2'-0"	9'-0"			
WC-H	1'-0"	9'-0"			
WC-I	1'-0"	9'-0"			
WC-J	1'-0"	9'-0"			
WC-K	1'-0"	9'-0"			
WC-L	1'-0"	9'-0"			
WC-M	1'-0"	9'-0"			
WC-N	1'-0"	9'-0"			
WC-O	1'-0"	9'-0"			
WC-P	1'-0"	9'-0"			
WC-Q	1'-0"	9'-0"			
WC-R	1'-0"	9'-0"			
WC-S	9'-0"	9'-0"			
WC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
WC-1	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-2	5'-0"	10'-6"	TYPE E	(EXTERIOR ROCKET DOOR TEMP. GLASS)	
WC-3	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-4	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-5	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-6	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-7	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-8	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-9	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-10	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-11	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-12	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-13	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-14	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-15	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-16	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-17	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-18	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-19	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-20	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-21	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-22	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-23	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-24	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-25	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-26	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-27	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-28	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-29	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-30	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-31	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-32	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	



Revision Schedule		
No.	Description	Date



1 ENLARGED FLOOR PLAN - NORTH
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WC-A	4'-0"	9'-0"			
WC-B	1'-0"	9'-0"			
WC-C	1'-0"	9'-0"			
WC-D	4'-0"	9'-0"			
WC-E	3'-0"	7'-8"			
WC-F	3'-0"	7'-8"			
WC-G	2'-0"	9'-0"			
WC-J	1'-0"	9'-0"			
WC-K	1'-0"	9'-0"			
WC-L	1'-0"	9'-0"			
WC-M	1'-0"	9'-0"			
WC-N	1'-0"	9'-0"			
WC-P	1'-0"	9'-0"			
WC-Q	1'-0"	9'-0"			
WC-R	1'-0"	9'-0"			
WC-S	5'-0"	9'-0"			
WC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
WC-1	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-2	5'-0"	10'-0"	TYPE E	(EXTERIOR POCKET DOOR TEMP. GLASS)	
WC-3	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-4	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-5	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-6	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-7	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-8	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-9	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-10	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-11	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-12	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-13	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-14	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-16	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-17	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-18	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
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WC-20	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
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WC-22	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-23	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-24	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-26	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-27	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-28	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-29	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-30	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-31	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-32	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	

CUP SUBMITTAL

PARTIAL
ENLARGED
FLOOR PLAN



Project Number 22.003

Date 05/17/23

Drawn By YAS

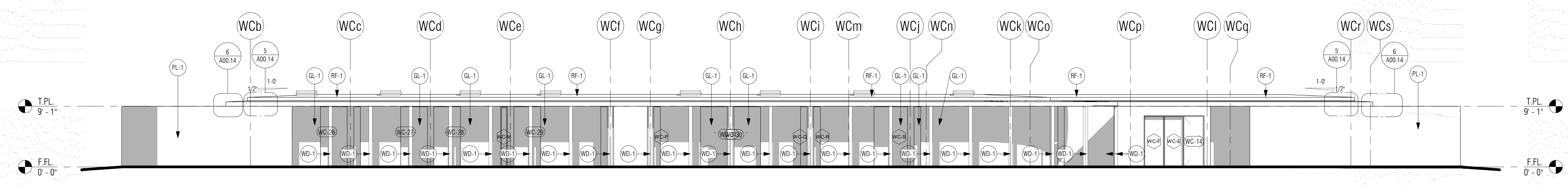
Checked By RAA

WC100.2

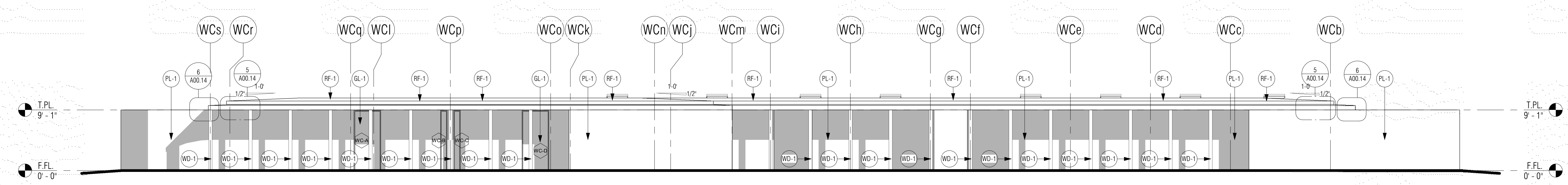
Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

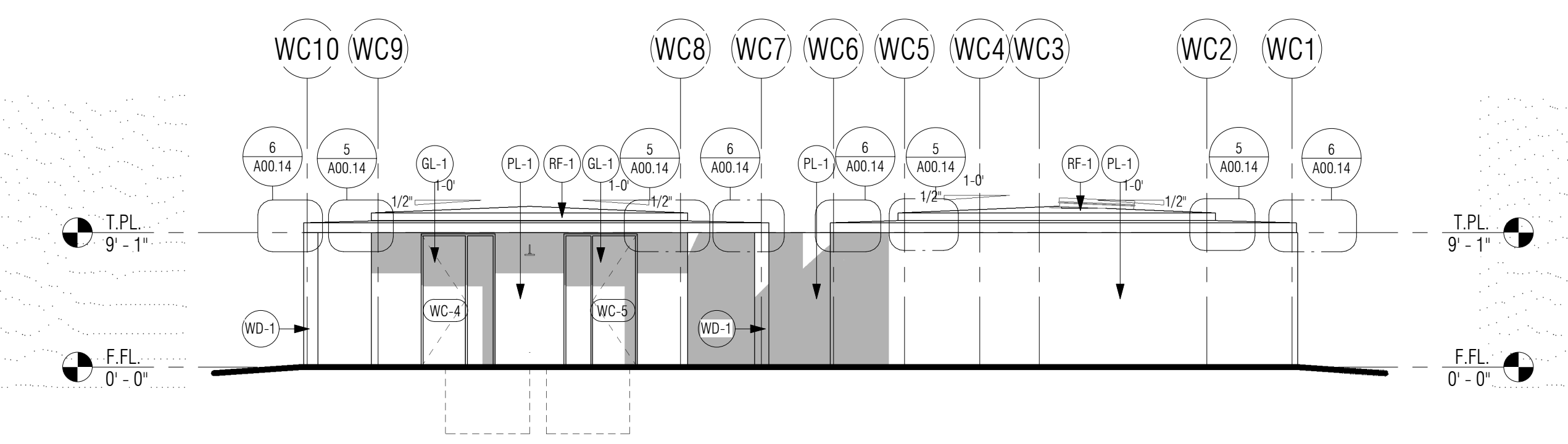
Revision Schedule		
No.	Description	Date



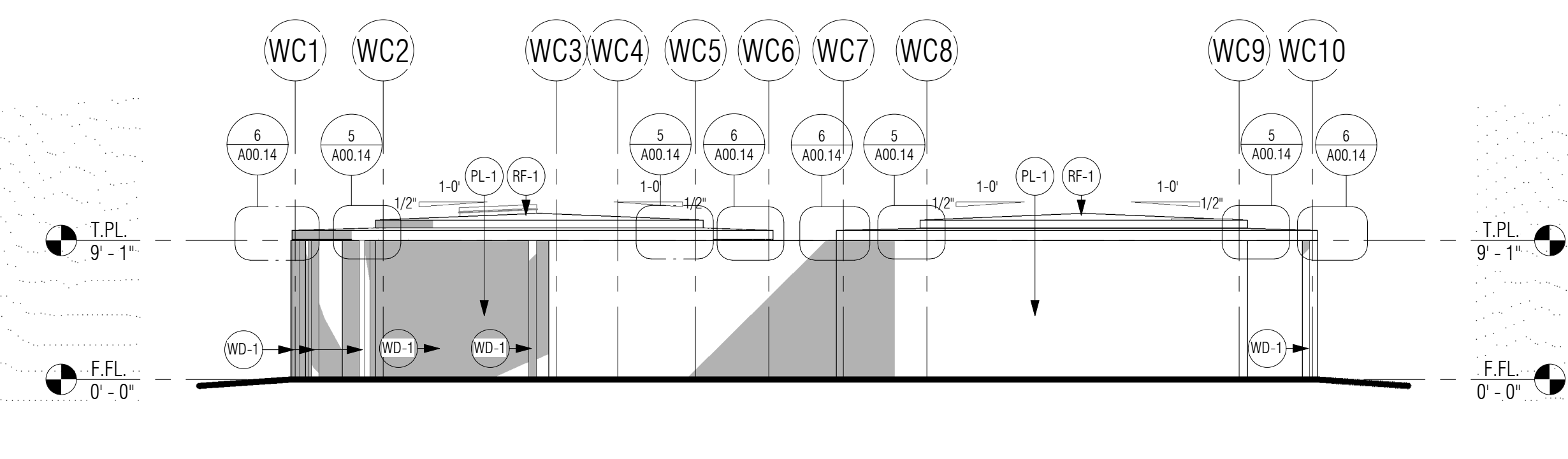
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



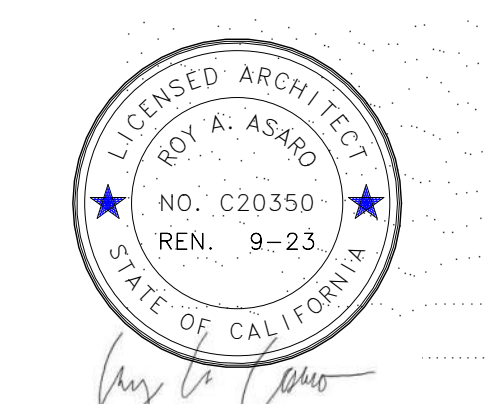
3 SOUTH ELEVATION
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS/RAA
Checked By	RAA

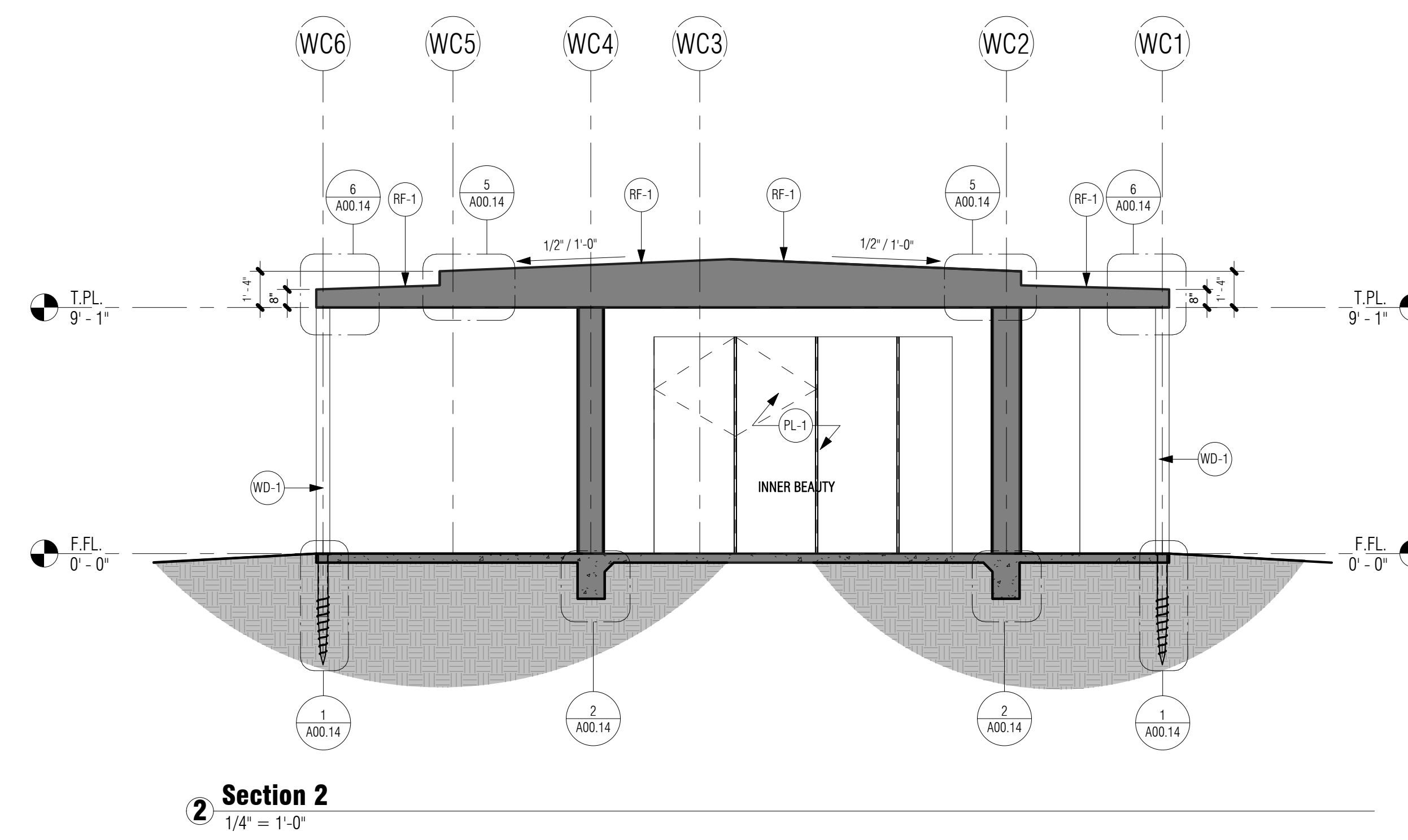
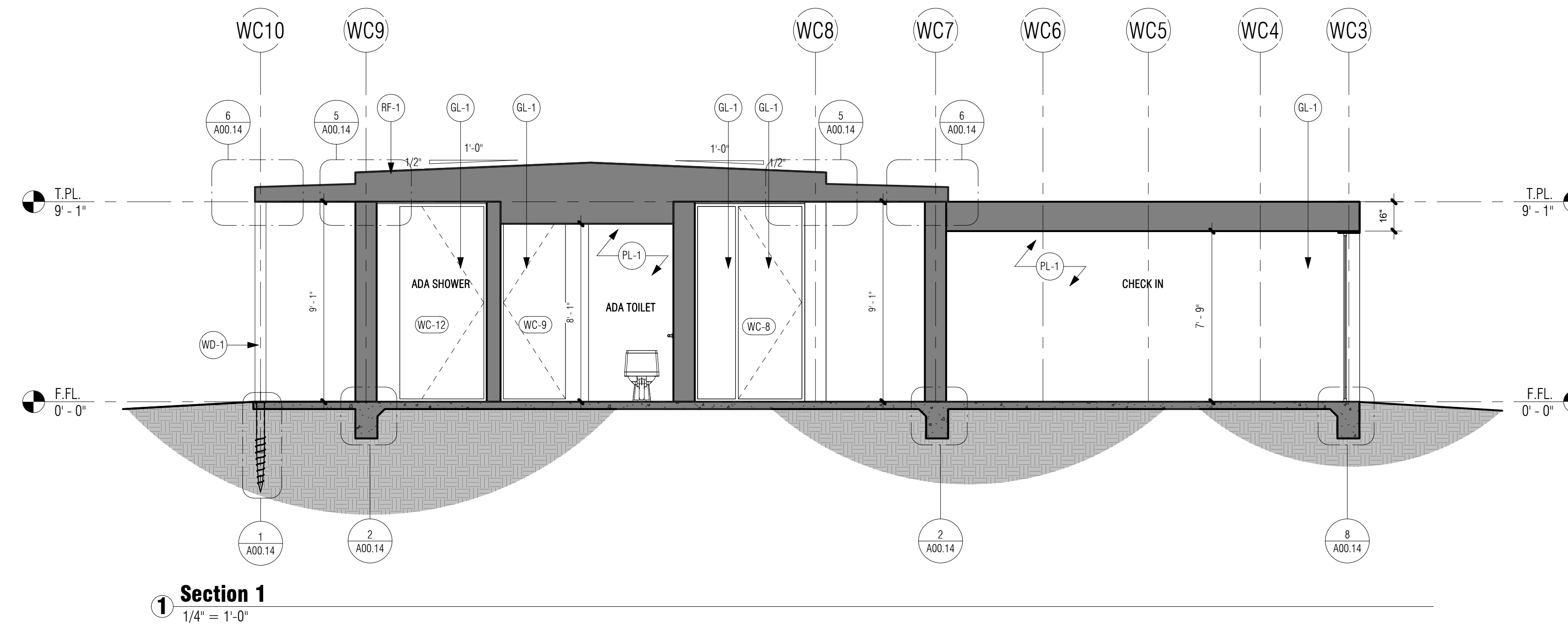
WC102.0

Scale 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER, WHITEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

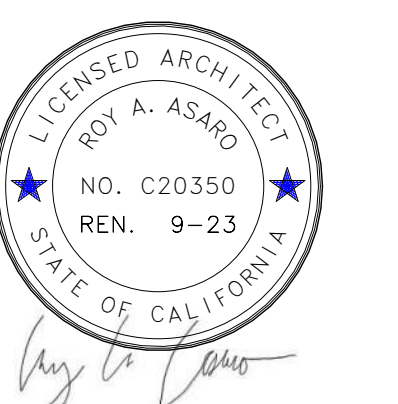
THE RIDGE
 GUEST RANCH



WELLNESS SANTUARY
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC103.0

Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

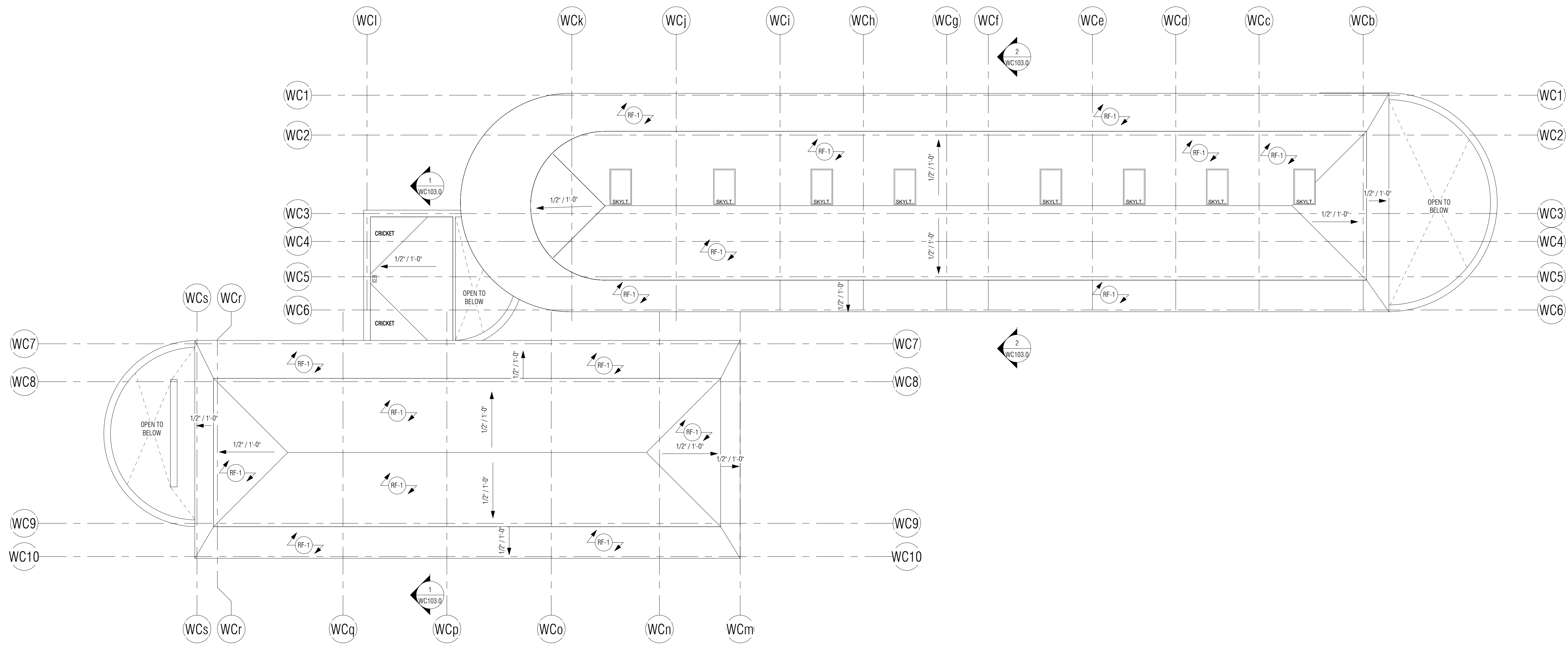
Revision Schedule		
No.	Description	Date

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1705A.4

2 ROOFING NOTES
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

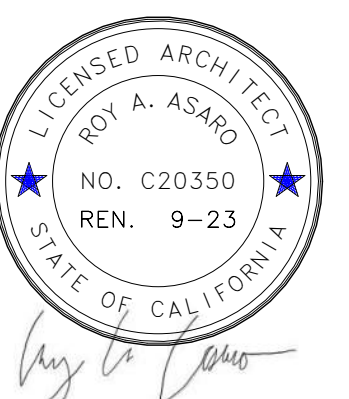


1 ROOF PLAN
1/8" = 1'-0"

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN

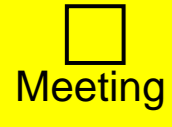


Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC104.0

Scale As indicated

CASE: CUP210121
EXHIBIT: 3D Rendering
DATE: 9/14/2023
PLANNER: Kathleen Mitchell



Meeting



Comment Agenda



Final

LEGEND

BROWN - BUILDING & SAFETY GRADING DIVISION COMMENTS

PURPLE - PLANNING DEPARTMENT COMMENTS

GREEN - ENVIRONMENTAL PROGRAMS DEPARTMENT COMMENTS

LIGHT ORANGE - TRANSPORTATION DEPARTMENT COMMENTS

BLUE - FLOOD CONTROL DISTRICT COMMENTS

LIGHT GREEN - REGIONAL PARKS & OPEN SPACE DISTRICT COMMENTS

RED - FIRE DEPARTMENT COMMENTS

YELLOW - ENVIRONMENTAL HEALTH DEPARTMENT COMMENTS

LIGHT BLUE - BUILDING & SAFETY PLAN CHECK COMMENTS

ORANGE - WASTE MANAGEMENT DEPARTMENT COMMENTS

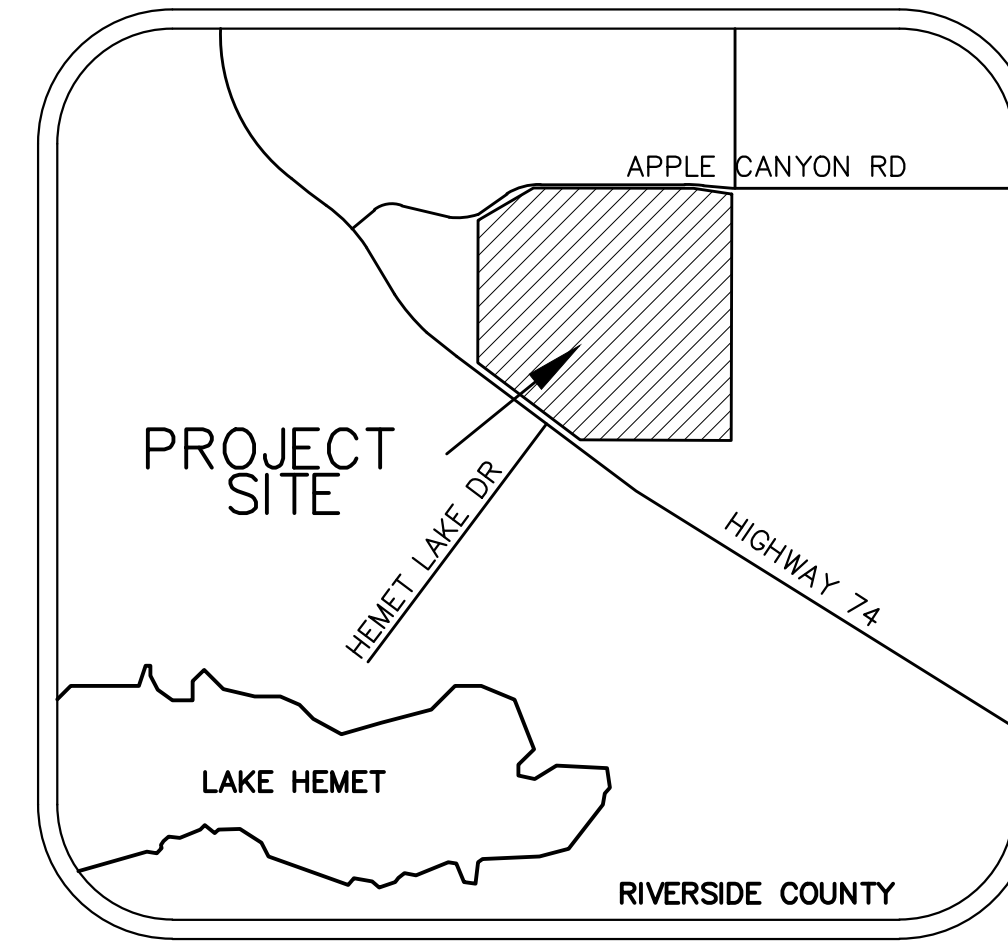




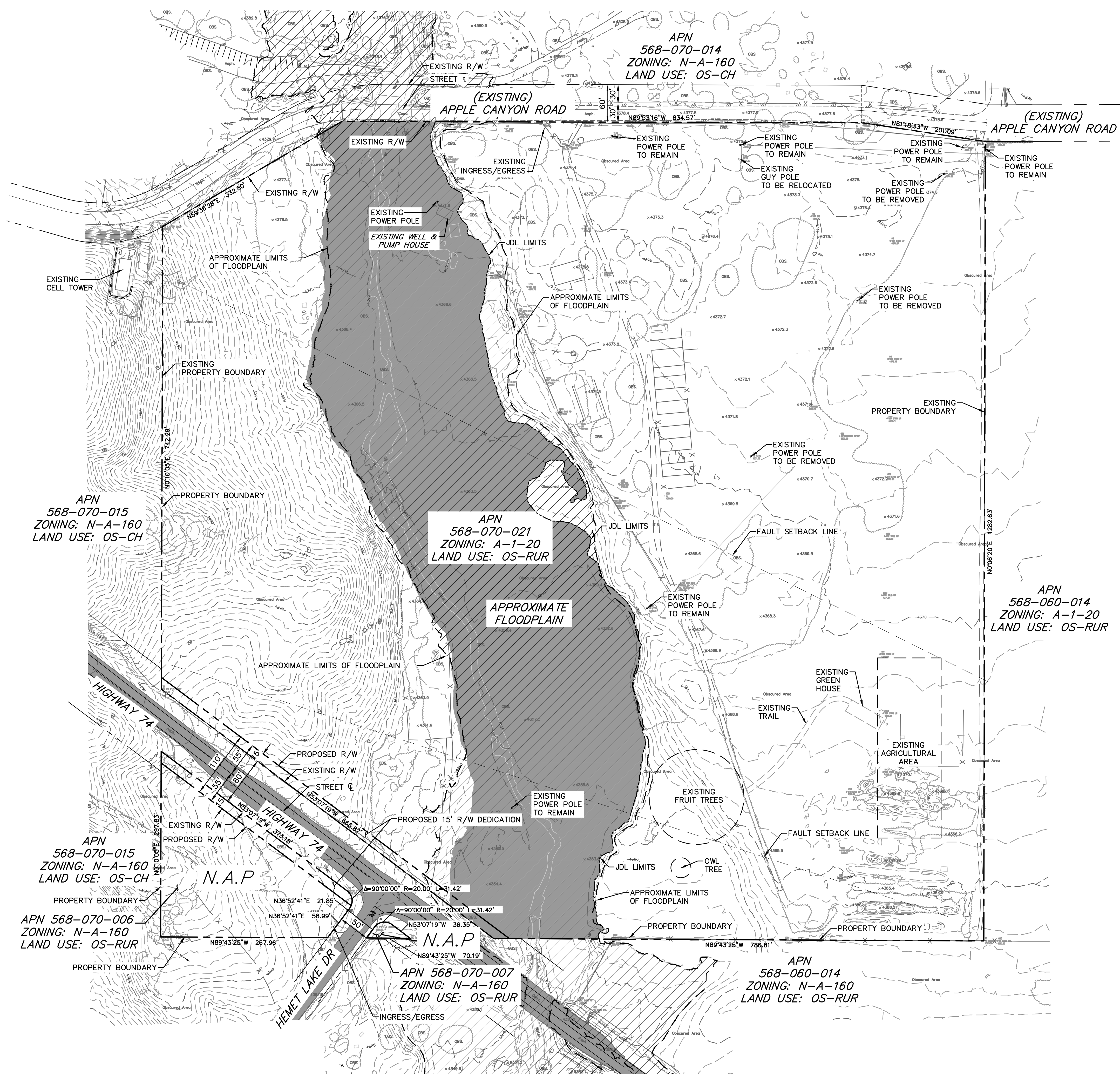


THE RIDGE GUEST RANCH C.U.P. 21-0121

56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA
SECTION 4, TOWNSHIP 6 SOUTH, RANGE 3 EAST, COUNTY OF RIVERSIDE



VICINITY MAP
NO SCALE



PROJECT DESCRIPTION

THE RIDGE WELLNESS PROPOSES AN ECO-CONSCIOUS PRIVATE GUEST RANCH ON 36.11 ACRES (APN 568-070-021) LOCATED AT 56475 APPLE CANYON ROAD, MOUNTAIN CENTER IN THE COUNTY OF RIVERSIDE. THE PROJECT SITE WILL RETAIN ALL THE NATURAL VEGETATION AND ALL THE EXISTING LARGE PINE TREES WITHIN ITS DESIGNS.

THE RIDGE WILL BE DESIGNED TO FACILITATE A FULL IMMERSION NATURE EXPERIENCE IN MOUNTAIN CENTER. THE RANCH WILL OFFER A VARIETY OF SELF-DEVELOPMENT THERAPIES AND EXTENSIVE RECREATIONAL ACTIVITIES. IN ADDITION, GUESTS WILL BE ABLE TO PARTICIPATE IN CULTURAL AND ENVIRONMENTAL EDUCATIONAL ACTIVITIES AS PART OF THE EXPERIENCE AT THE RANCH.

THE PROJECT PROPOSES TO CONSTRUCT GUEST CABINS AND GUEST TENTS, WELLNESS CABINS, WELLNESS BASECAMP, ACTIVITY HUB WITH LAP POOL, DINING AREA, AND HEALTH-FOCUSED COMMERCIAL KITCHEN. EXISTING LARGE AGRICULTURAL SITE AND WORKING GREENHOUSE, APIARY AND FRUIT TREES WILL CONTRIBUTE TO A FULLY SUSTAINABLE FACILITY FOR GUESTS TO USE AND ENJOY WITHIN THE NATURAL SETTING OF THE PROPERTY.

PLEASE REVIEW OUR DETAILED PROJECT DESCRIPTION & RECREATIONAL ACTIVITIES EXHIBIT FOR A FULL SUMMARY OF THE THIS UNIQUE SUSTAINABLE PROJECT.

ENGINEER/REPRESENTATIVE

JLC ENGINEERING & CONSULTING, INC.
41660 IVY STREET, SUITE D
MURRIETA, CALIFORNIA 92562
(951)-304-9552

OWNER/APPLICANT

THE RIDGE WELLNESS INC.
6487 CAVALLERI ROAD, APT 429
MALIBU, CA 90265
ATT: CAROLINE LEGRAND, PRESIDENT
PHONE: (310) 666-3623
EMAIL: LEGRAND.CAROLINE366@GOOGLEMAIL.COM

SCHOOL DISTRICTS

HEMET UNIFIED

UTILITIES:

- CABLE T.V.: DIRECT TV
1-(855)-842-4388
- ELECTRIC: ANZA ELECTRIC COOPERATIVE, INC
1-(951)-763-4333
- GAS: PROPANE
- SEWER: ATU SEPTIC ON SITE
- WATER: WELL ON SITE
- TELEPHONE: FRONTIER
1-(800)-921-8101
- INTERNET: FRONTIER
1-(800)-921-8101

LAND AREA

568-070-021: 36.11 AC GROSS, 8.00 AC NET
568-070-006: 1.32 AC GROSS, 1.19 AC NET, N.A.P.
568-070-007: 0.10 AC GROSS, 0.07 AC NET, N.A.P.

TOPOGRAPHY

INLAND AERIAL SURVEYS, INC.
7117 ARLINGTON AVENUE SUITE A
RIVERSIDE, CA 92503
PHONE: (951) 687-4252
DATED: 07-13-2020

LEGAL DISCRPTION

THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 6 SOUTH, RANGE 3 EAST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY.

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN STATE HIGHWAY 74, LAKE HEMET DRIVE AND APPLE CANYON ROAD;

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED NOVEMBER 8, 1955 IN BOOK 1817 PAGE 296 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

GENERAL NOTES:

- ASSESSORS PARCEL NO.: 568-070-021
- CURRENT ZONING: A-1-20 (LIGHT AGRICULTURE).
- PROPOSED ZONING: N-A (NATURAL ASSETS)
- SURROUNDING ZONING: 4B.GEN. PLAN
NORTH - N-A-160, OS-CH
SOUTH - N-A-160, OS-RUR
WEST - A-1-20, OS-RUR
EAST - A-1-20, OS-CH
- GENERAL PLAN LAND USE: NOT IN A GENERAL PLAN POLICY OVERLAY AREA.
- EXISTING GENERAL PLAN LAND USE: OS-RUR (OPEN SPACE-RURAL)
- PROPOSED GENERAL PLAN LAND USE: OS-REC (OPEN SPACE-RECREATION)
- SUBSURFACE A.T.U. DISPOSAL PROPOSED.
- PROJECT IS LOCATED IN AREA OF HIGH LIQUEFACTION AND SUSCEPTIBLE TO SUBSIDENCE.
- PROJECT IS LOCATED IN A HIGH FIRE HAZARD STATE RESPONSIBILITY AREA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, CCS83, ZONE 6, BASED LOCALLY ON CONTROL STATIONS "DSSC" AND "P584", NAD 83 (NSRS2011) AS SHOWN HEREON. ALL BEARINGS SHOWN ON THIS MAP ARE GRID. QUOTED BEARINGS AND DISTANCES FROM REFERENCE MAPS OR DEEDS ARE AS SHOWN PER THAT RECORD REFERENCE. ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES, MAY BE OBTAINED BY MULTIPLYING THE GROUND DISTANCE BY A COMBINATION FACTOR OF 0.999767615. CALCULATIONS ARE MADE AT POINT #1 WITH COORDINATES OF N:2189110.605, E:6431632.718, USING AN ELEVATION OF 4367.894 FEET. THE CONVERGENCE ANGLE AT POINT #1 IS -00°14'05.51".

PROJECT BENCHMARK

RIVERSIDE COUNTY BM #1-30
ELEVATION = 4444.129' (NGVD 29)

NORTHWEST ALONG HIGHWAY 74 TOWARD MOUNTAIN CENTER TO THE "T" INTERSECTION OF MCCALL PARK ROAD AND HIGHWAY 74. 220.0 FEET NORTH OF THE INTERSECTION ALONG MCCALL PARK ROAD. 12.0 FEET EAST OF THE CENTERLINE OF MCCALL PARK ROAD. NEAR AN ANGLE POINT IN A FENCE LINE.

EARTHWORK QUANTITY ESTIMATE

RAW CUT: 5,000 CY RAW FILL: 5,000 CY

SHEET INDEX

- TITLE SHEET-EXISTING SITE
- PROPOSED SITE PLAN
- PROPOSED SITE PLAN
- PROPOSED SITE GRADING AND UTILITY PLAN
- PROPOSED SITE GRADING AND UTILITY PLAN

WASTE DISPOSAL SYSTEM

ONSITE ATU SEPTIC SYSTEM

ONSITE WATER NOTE

WATER FOR DOMESTIC, IRRIGATION, AND FIRE USES SHALL BE PROVIDED BY ONSITE WELLS.

ROY A ASARO ARCHITECT, INC ARCHITECT OF RECORD
P.O. BOX 30576 ESCONDIDO, CA 92030
T: 760-405-4640, royasaro@gmail.com

MANUEL CERVANTES ESTUDIO - DESIGN ARCHITECT
PASO DE LAS PALMAS, 500 S 170 PRD COL, LOMAS DE CHAPALEPEC, CDMA P.52 1.55.5201.3508
T: +52 (1) 55 5201 3508, manuel@manuelcervantes.com.mx

JACK STARLIN - STRUCTURAL ENGINEER
197 WOODLAND PARKWAY #410, SAN MARCOS, 920269

ALPHA - MEP ENGINEER
2706 E. ORANGE GROVE AVE., ORANGE, CA 92667

HUGO SANCHEZ PAISAJE - LANDSCAPE ARCHITECT
hugo@paisajehs.mx

JLC ENGINEERING - CIVIL ENGINEER, HYDROLOGY
41660 IVY STREET, SUITE A, MURRIETA, CA 92562 P:951-304-9552
T: 951-304-3568, JLC_CASTEMODA_jlc@jlcengineering.com

FIREWIS 2000 - FIRE CONSULTANT
T: 760-807-6078, PETER.BENTON@FIREWIS.COM
peter.montgomery@firewis2000.com

GEOCON WEST - PHASE 1 ENVIRONMENTAL
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T: 951-905-2028, www.searlbio.com

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T: 760-815-1691, jkeller@jean.com

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T: 951-763-2210, heritagewell@service.com

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URBAN CROSSROADS - VMT STUDY AD GHG
1001 DRIEVE STREET SUITE 260 NEWPORT BEACH CA 92660
T: 949-660-1994

MARKHAM DEVELOPMENT STRATEGIES, LLC
41625 ENTERPRISE CIRCLE NORTH, SUITE B TEMECULA, CA 92590
LARRY MARKHAM, T: 909-322-8462, lrm@markhams.com

THE RIDGE
56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA 92549

PROJECT NO: C.U.P. 21-0121

#	DESCRIPTION	DATE
1	Revision to Architecture, Grading and Agricultural area	10/12/22
2	Revision to Grading and Agricultural area	05/01/23
3	Revision to entries, trash enclosure location, sight distance, proposed riprap slope protection limits and Apple Canyon Road street section.	07/29/23

C.U.P. 21-0121

SCALE: 1 inch = 50 ft.

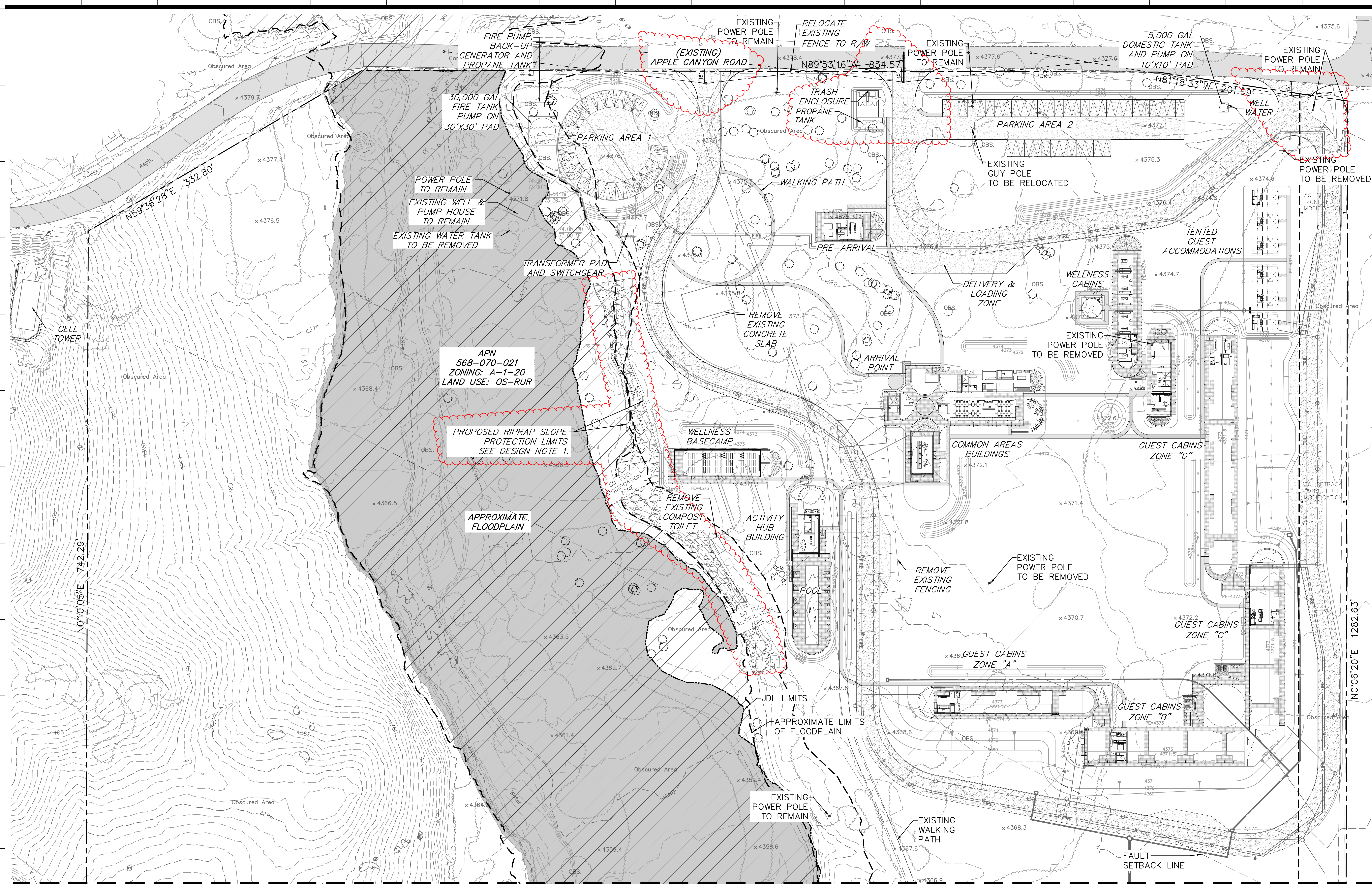
NORTH

TITLE SHEET-EXISTING SITE

C01.00

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREOF. IN THE EVENT OF DISCREPANCIES AFTER COUNTY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE COUNTY.

WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR GRADING PERMIT HAS BEEN ISSUED.



MATCH LINE SEE SHEET 3

ALL PARKING AREAS SHALL BE DEFINED BY RAILROAD TIE BUMPERS IN PLACE OF CONCRETE CURBS

VEGETATED BERM LOCATION AND SIZE ARE FOR EARTHWORK CALCULATION PURPOSES ONLY REFER TO LANDSCAPE PLANS FOR FINAL BERM DESIGN AND LOCATION.

DESIGN NOTES:
 1. THE DESIGN PROVIDED IDENTIFIES THE POTENTIAL LIMITS OF RIPRAP SLOPE PROTECTION. THE FINAL LIMITS OF RIPRAP SLOPE PROTECTION WILL BE DETERMINED DURING FINAL ENGINEERING. SEE DESIGN NOTE 2.
 2. IN LIEU OF RIPRAP SLOPE PROTECTION, AN LATERAL-EROSION HAZARD ANALYSIS MAY BE PERFORMED, DURING FINAL ENGINEERING, TO DETERMINE IF SUFFICIENT BUILDING SETBACK IS PROVIDED FROM THE FLOODPLAIN LIMITS. IF SUFFICIENT BUILDING SETBACK IS PROVIDED THE NEED FOR RIPRAP SLOPE PROTECTION WILL NOT BE REQUIRED.

- ROY A ASARO ARCHITECT, INC ARCHITECT OF RECORD
 P.O. BOX 30576 ESCONDIDO, CA 92038
 T: 760-405-4640 royasaro@gmail.com
- MANUEL CERVANTES ESTUDIO - DESIGN ARCHITECT
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 T: +52 (1) 55 5201 3508 manuel@manuelcervantes.com.mx
- JACK STARLIN - STRUCTURAL ENGINEER
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- ALPHA - MEP ENGINEER
 2706 E. ORANGE GROVE AVE. ORANGE, CA 92667
- HUGO SANCHEZ PAISAJE - LANDSCAPE ARCHITECT
 hugo@paisajehs.mx
- JLC ENGINEERING - CIVIL ENGINEER, HYDROLOGY
 41660 117 STREET, STE A, MURFRETTA, CA 92562 P: 951.304.9552
 T: 951-304-3568 JOE CASTENEDA, joe@jlcengineering.com
- FIREWISE 2000 - FIRE CONSULTANT
 T: 760-807-0378 PETE BARTHOLOMEW;
 pete.montgomery@firewise2000.com
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 41571 CORNING PLACE #101, MURFRETTA, CA 92562
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 TIM SEARL, matt@sprolandsurveying.com
- DR JEAN KELLER - CULTURAL RESOURCES
 1042 N. EL CAMINO REAL, SUITE B-244 ENCINITAS, CA 92024
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- STRATEGIC CONNECTIONS- DRY UTILITIES
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- PETRA GEOSCIENCES - GEO/SEISMIC
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- HERITAGE WELL - WELL
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 T: 951-763-2210 heritagewellservice.com
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 T: 951-265-5428 matthewfagan@roadrunner.com
- URBAN CROSSROADS - VMT STUDY AQ GHG
 1001 DUNE STREET SUITE 260 NEWPORT BEACH CA 92660
 T: 949-660-1994
- MARKHAM DEVELOPMENT STRATEGIES, LLC
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 LARRY MARKHAM, T: 909-322-8482 lrm@markhams.com

THE RIDGE
 56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA 92549

PROJECT NO: C.U.P. 21-0121

#	DESCRIPTION	DATE
1	Revision to Architecture, Grading and Agricultural area	10/12/22
2	Revision to Grading and Agricultural area	05/01/23
3	Revision to entries, trash enclosure location, sight distance, proposed riprap slope protection limits and Apple Canyon Road street section.	07/29/23

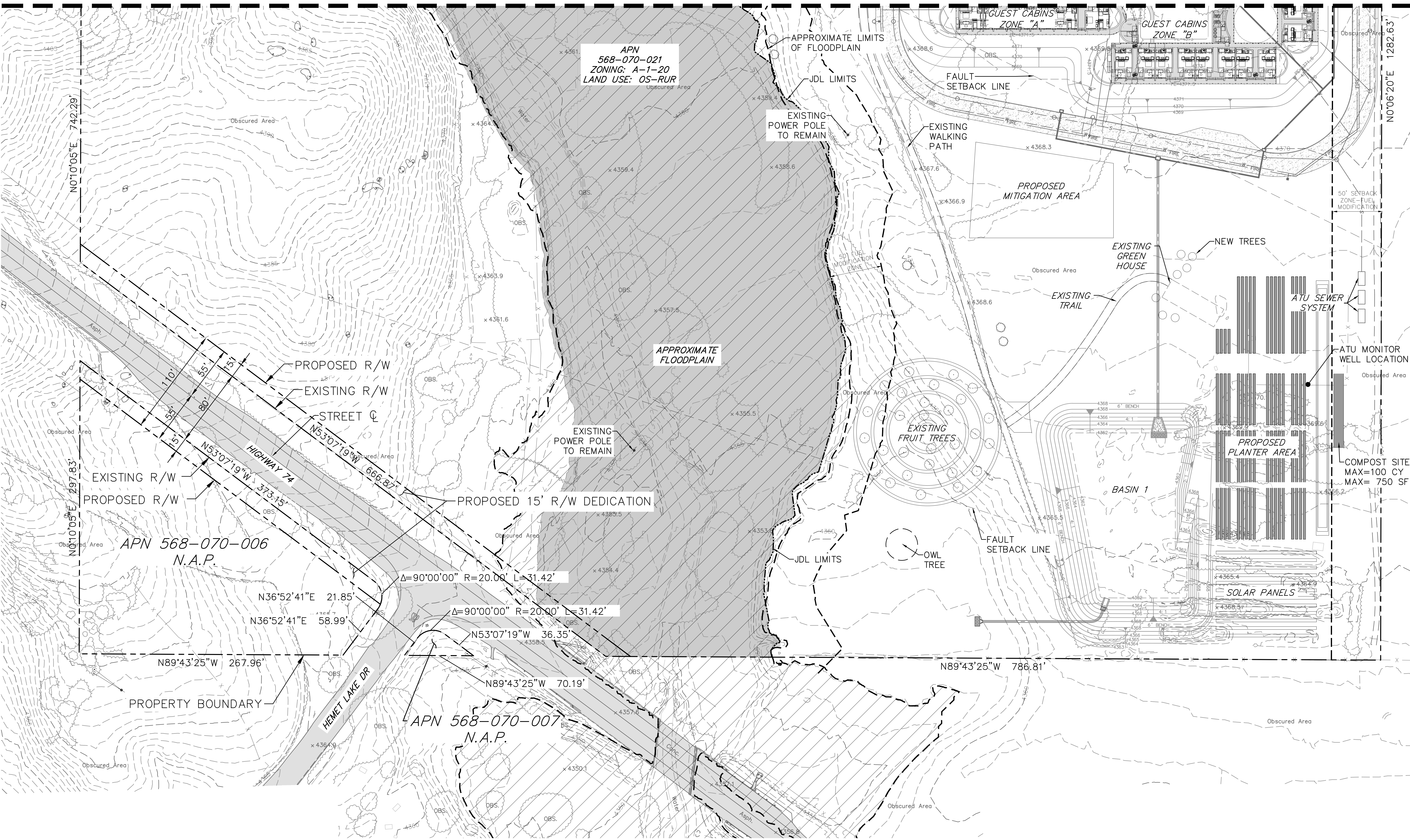
C.U.P. 21-0121

SCALE: 1 inch = 40 ft.

PROPOSED SITE PLAN

C02.00

MATCH LINE SEE SHEET 2



- ROY A ASARO ARCHITECT, INC ARCHITECT OF RECORD
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 T: +52 (1) 55 5201 3508, manuel@manuelcervantes.com.mx
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- HUGO SANCHEZ PAISAJE - LANDSCAPE ARCHITECT
 hugo@paisajehs.mx
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 peters.montgomery@firewise2000.com
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THE RIDGE
 56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA
 92549

PROJECT NO: C.U.P. 21-0121

#	DESCRIPTION	DATE
1	Revision to Architecture, Grading and	10/12/22
2	Agricultural area	05/01/23
3	Revision to Grading and Agricultural area	07/29/23
4	Revision to entries, trash enclosure location,	07/29/23
5	sight distance, proposed riprap slope protection	
6	limits and Apple Canyon Road street section.	

VEGETATED BERM LOCATION AND SIZE ARE FOR
 EARTHWORK CALCULATION PURPOSES ONLY REFER
 TO LANDSCAPE PLANS FOR FINAL BERM DESIGN
 AND LOCATION.

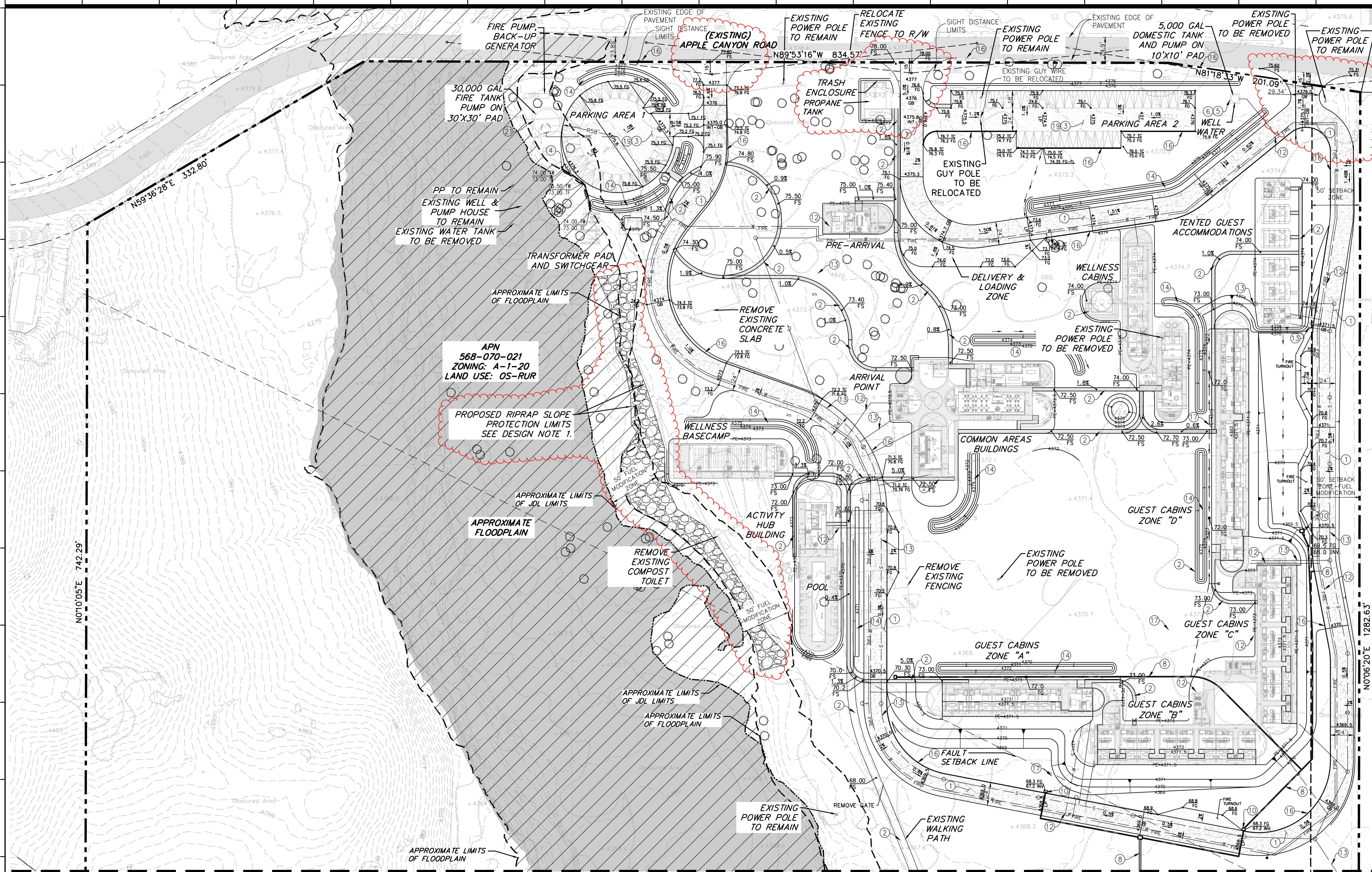
ALL PARKING AREAS SHALL BE DEFINED BY
 RAILROAD TIE BUMPERS IN PLACE OF CONCRETE
 CURBS

C.U.P. 21-0121

SCALE: 1 inch = 40 ft.

PROPOSED SITE PLAN

C03.00



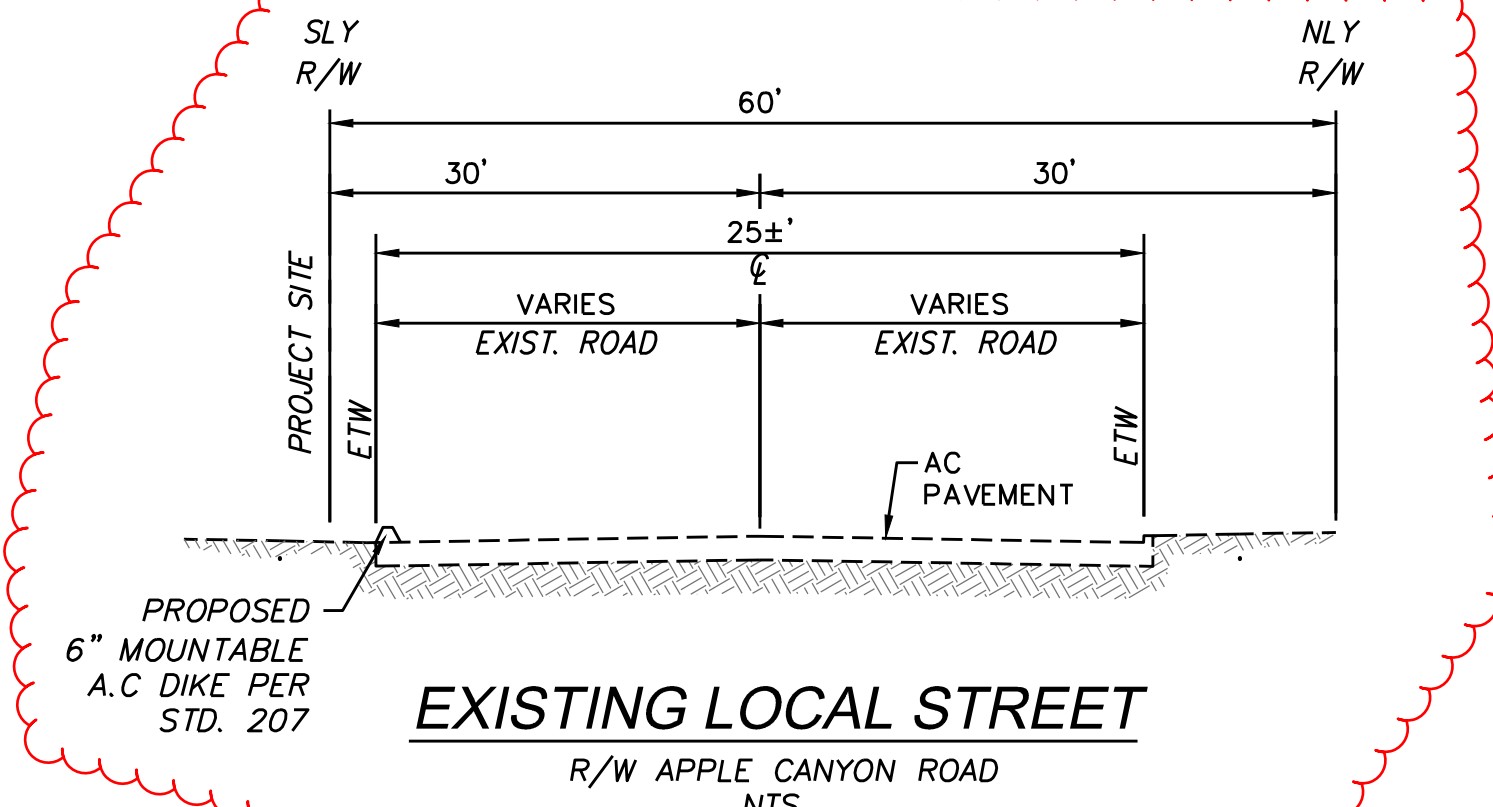
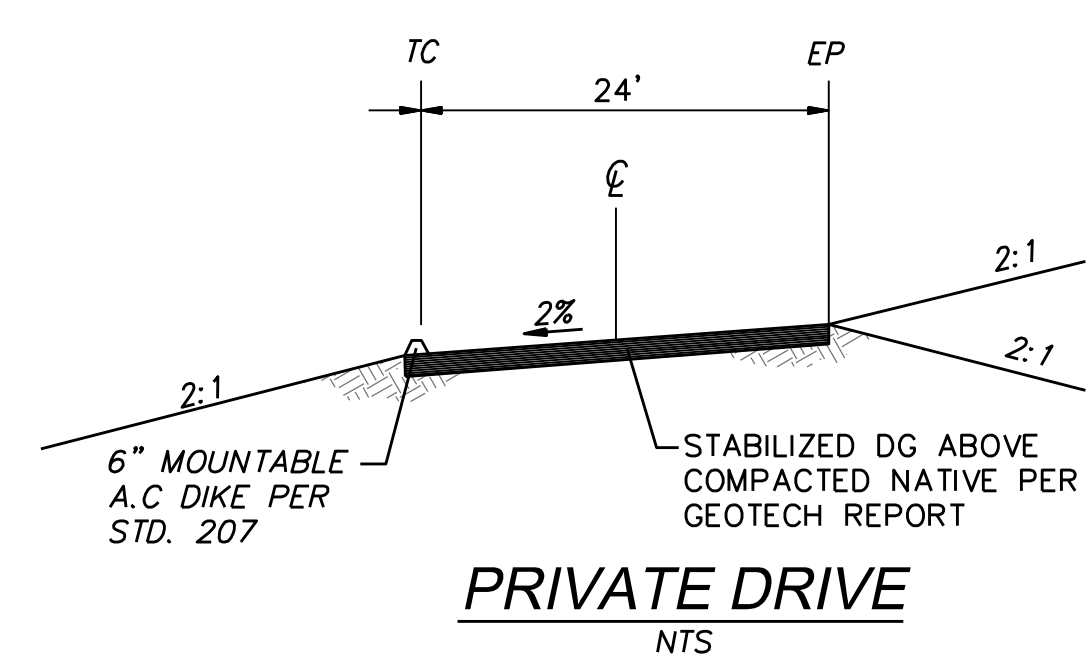
APN 568-070-021
ZONING: A-1-20
LAND USE: 05-RUR

PROPOSED RIPRAP SLOPE PROTECTION LIMITS SEE DESIGN NOTE 1.

N0°10'05"E 742.29'

N0°06'20"E 1282.63'

MATCH LINE SEE SHEET 5



LEGEND

○ EXISTING PINE TREE

DESIGN NOTES:
1. THE DESIGN PROVIDED IDENTIFIES THE POTENTIAL LIMITS OF RIPRAP SLOPE PROTECTION. THE FINAL LIMITS OF RIPRAP SLOPE PROTECTION WILL BE DETERMINED DURING FINAL ENGINEERING. SEE DESIGN NOTE 2.
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CONSTRUCTION NOTES

- STABILIZED DG DRIVE AISLE ABOVE COMPACTED NATIVE PER GEOTECH REPORT.
- STABILIZED DG PEDESTRIAN ACCESSIBLE WALKWAYS ABOVE COMPACTED NATIVE PER GEOTECH REPORT
- STABILIZED DG PARKING AREA ABOVE COMPACTED NATIVE PER GEOTECH REPORT
- PROPOSED RETAINING WALL.
- PROPOSED 5,000 GAL. WATER TANK FOR DOMESTIC USE.
- PROPOSED WATER WELL FOR DOMESTIC USE.
- BIORETENTION SOIL MEDIA SECTION PER WOMP. GUIDANCE MANUAL. 18" OF ENGINEERED SOIL MEDIA OVER A MINIMUM 12" OF GRAVEL WITH 6" PERFORATED DRAIN PIPE.
- PROPOSED 12" HDPE SD.
- PROPOSED CALTRANS D73B G1 INLET.
- PROPOSED PVC C900 WATER.
- PROPOSED SDR 35 SEWER.
- VEGETATED BERMS PER LANDSCAPE PLANS.
- PROPOSED 6" MOUNTABLE A.C. DIKE PER STD. 207
- 6" PVC DRAIN WITH INLETS.
- NA
- ALL PARKING AREAS ARE STANDARD 9'X18' SPACES.
- PROPOSED 30,000 GAL. WATER TANK FOR AGGICULTURAL FIRE USE.

ALL PARKING AREAS SHALL BE DEFINED BY RAILROAD TIE BUMPERS IN PLACE OF CONCRETE CURBS

VEGETATED BERM LOCATION AND SIZE ARE FOR EARTHWORK CALCULATION PURPOSES ONLY REFER TO LANDSCAPE PLANS FOR FINAL BERM DESIGN AND LOCATION.

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PROJECT NO: C.U.P. 21-0121

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C.U.P. 21-0121

SCALE: 1 inch = 40 ft.

PROPOSED SITE GRADING AND UTILITY PLAN

C04.00

NORTH

RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA210006 CZ2100014 CUP210121

VICINITY/POLICY AREAS

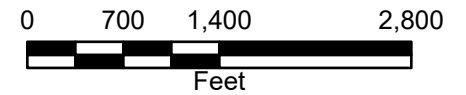
Supervisor: Perez
District 4

Date Drawn: 11/16/2023
Vicinity Map



Zoning District: Garner Valley

Author: Karen Jordan



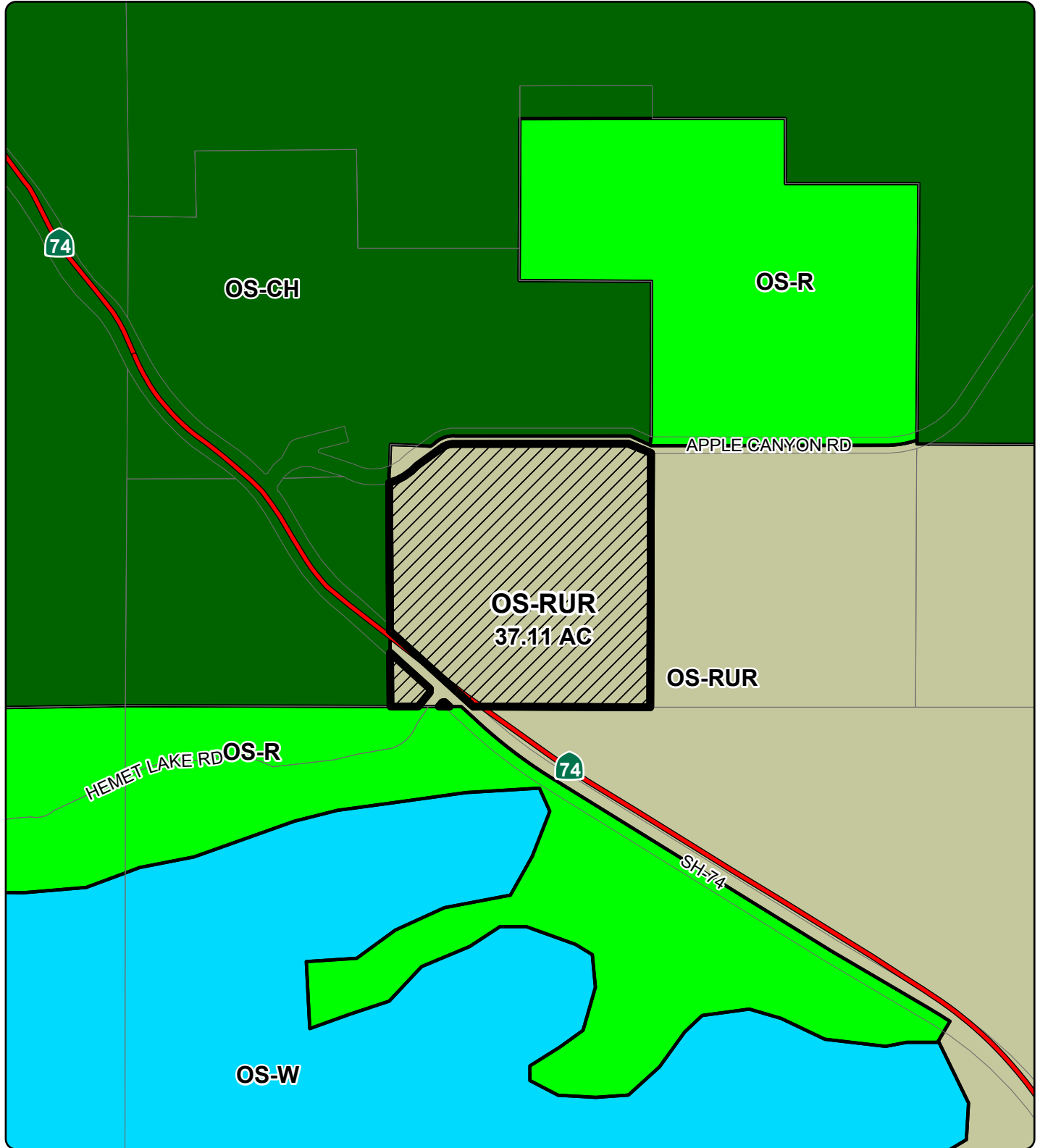
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rctlma.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA210006 CZ2100014 CUP210121

Supervisor: Perez
District 4

Date Drawn: 11/16/2023
Exhibit 5

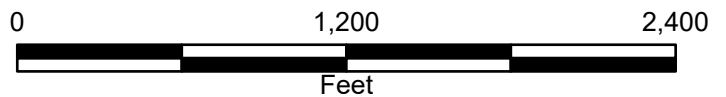
EXISTING GENERAL PLAN



Zoning District: Garner Valley

Author: Karen Jordan

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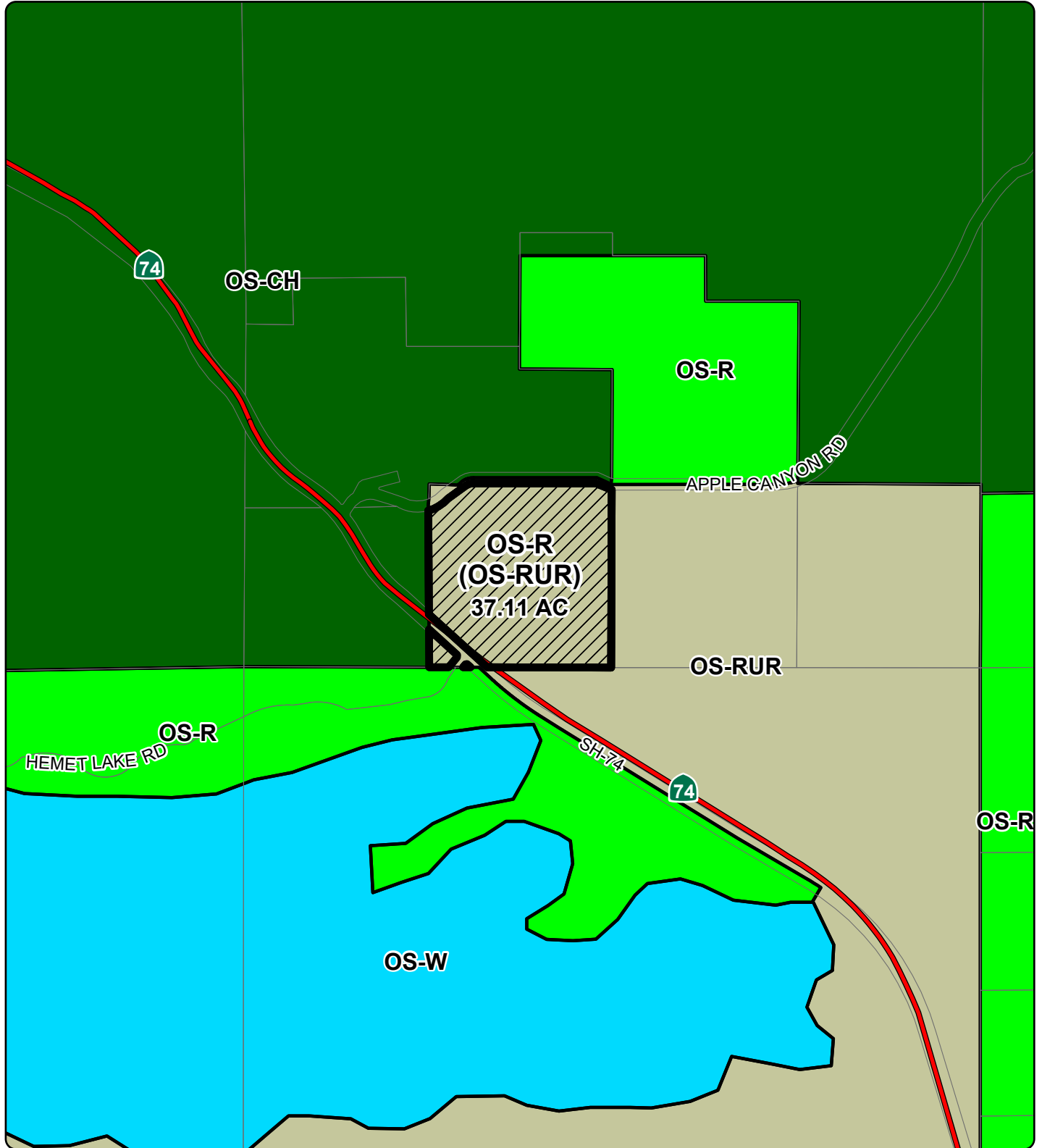


RIVERSIDE COUNTY PLANNING DEPARTMENT

Supervisor: Perez
District 4

GPA210006 CZ2100014 CUP210121
PROPOSED GENERAL PLAN

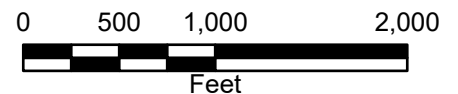
Date Drawn: 11/16/2023
Exhibit 6



Zoning District: Garner Valley

Author: Karen Jordan

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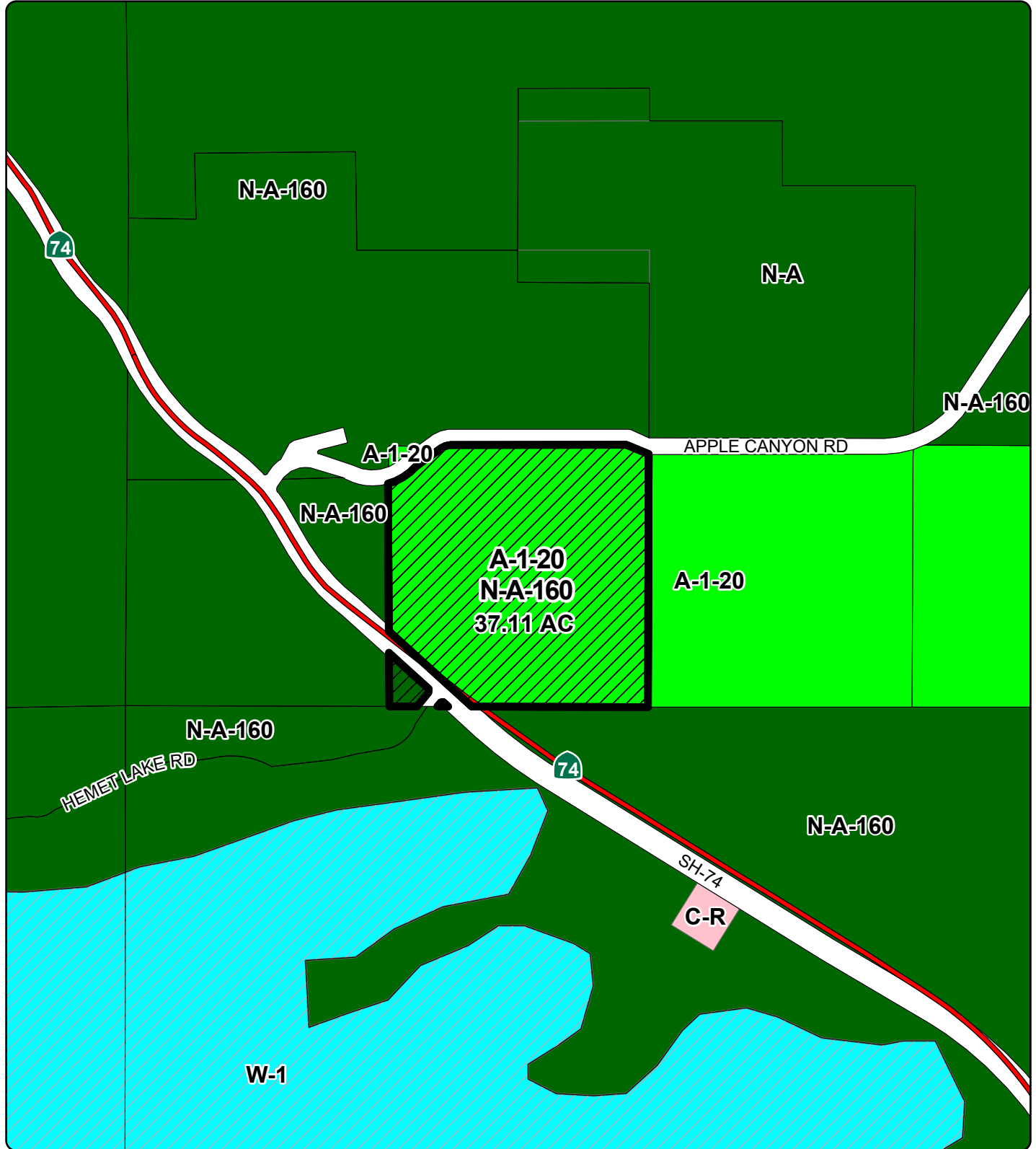


RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA210006 CZ2100014 CUP210121

Supervisor: Washington
District 3

Date Drawn: 11/16/2023
Exhibit 2

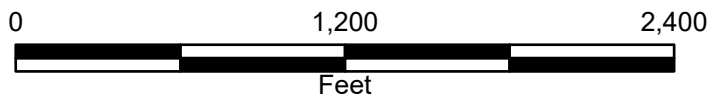
EXISTING ZONING



Zoning District: Garner Valley

Author: Karen Jordan

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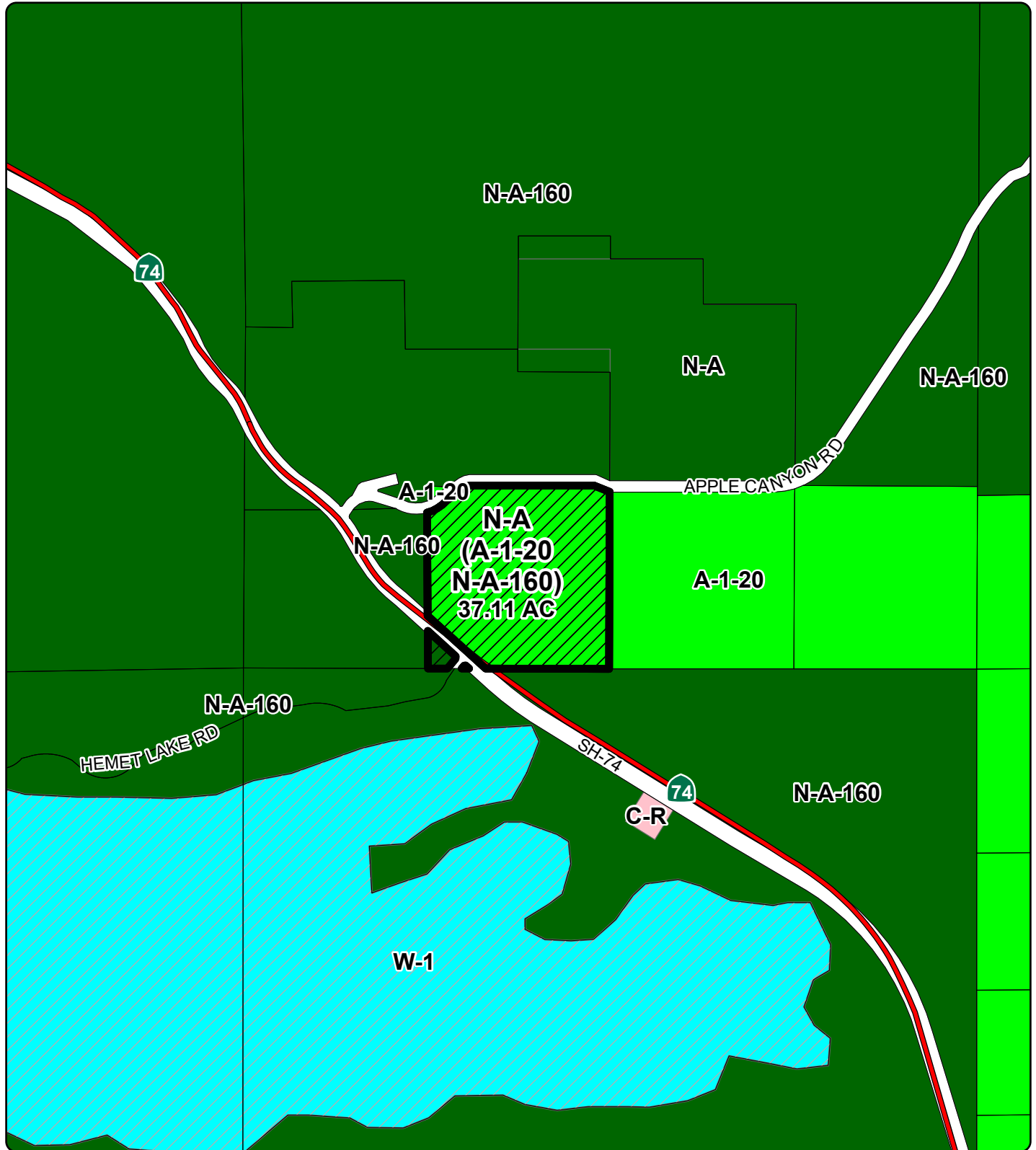


RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA210006 CZ2100014 CUP210121

Supervisor: Perez
District 4

Date Drawn: 11/16/2023
Exhibit 3

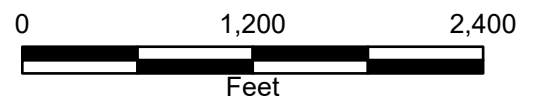
PROPOSED ZONING



Zoning District: Garner Valley

Author: Karen Jordan

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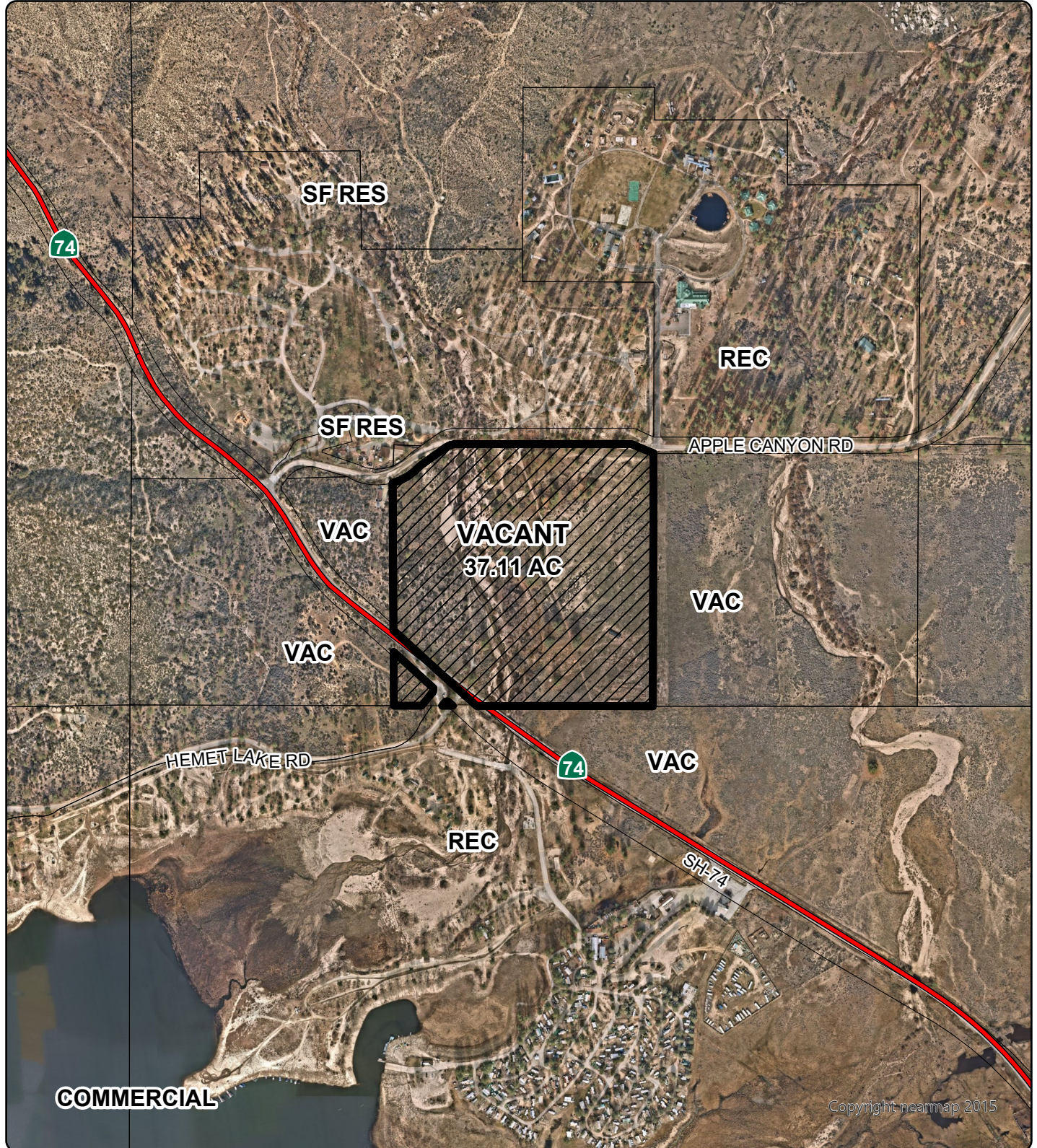


RIVERSIDE COUNTY PLANNING DEPARTMENT
GPA210006 CZ2100014 CUP210121

Supervisor: Perez
District 4

Date Drawn: 11/16/2023
Exhibit 1

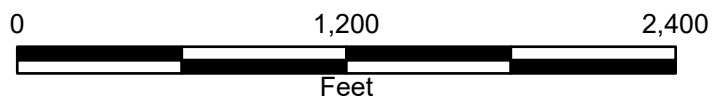
LAND USE



Zoning District: Garner Valley

Author: Adam Grim

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RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

General Plan Amendment No. 210006, Change of Zone No. 2100014, & Conditional Use Permit No. 210121

Project Title/Case Numbers

Kathleen Mitchell
County Contact Person

951-955-6836
Phone Number

SCH2023120566

State Clearinghouse Number (if submitted to the State Clearinghouse)

The Ridge Wellness Inc.
Project Applicant

6487 Cavalleri Road Unit, Apt. 429, Malibu, CA, 90265
Address

North-east of Highway 74 and south of Apple Canyon Road
Project Location


General Plan Amendment No. 210006 is a proposal to amend the Land Use Designation of the subject site from Open Space – Rural (OS-RUR) to Open Space – Recreation (OS-R) to allow for the development of a guest ranch. **Change of Zone No. 2100014** is a proposal to change the zoning classification of the subject site from Light Agriculture, 20 acre minimum (A-1-20) to Natural Assets (N-A) to align the subject site's zoning classification more closely with both the proposed land use designation and the development. **Conditional Use Permit No. 210121** is a proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate the site activities, with 35 employees overseeing the operations that are to occur 24 hours per a day, 7 days a week. These structures include the following: an administrative building; an activity hub with an outdoor lap swimming pool; a common dining area; 4 guest cabin buildings with 30 rooms; six glamping tents; a sound bath building; a wellness base camp; a wellness sanctuary center; and a greenhouse. Recreational activities include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. 60 parking spaces are proposed, including 3 ADA spaces, 3 EV spaces, and 18 spaces for staff. Minimal other improvements are proposed so that the existing natural vegetation can be retained.

Project Description

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on January 17, 2024, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment with the incorporation of the mitigation as required under the MND
2. An Environmental Assessment was prepared for the project pursuant to the provisions of the California Environmental Quality Act and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.



Signature

Urban Regional Planner IV
Title

12/26/2023
Date

Date Received for Filing and Posting at OPR: _____

Please charge deposit fee case#: CUP210121

FOR COUNTY CLERK'S USE ONLY

Initial Study/ Mitigated Negative Declaration

for

The Ridge Guest Ranch General Plan Amendment No. 210006; Change of Zone No. 2100014; and Conditional Use Permit No. 210121

Lead Agency:

County of Riverside

4080 Lemon Street, 12th Floor

Riverside, CA 92502

Point of Contact: Kathleen Mitchell, Urban Planner III

951.955.6836

Applicant:

The Ridge Wellness, Inc.

6487 Cavalleri Road, # 429

Malibu, CA 90265

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November 2023

TABLE OF CONTENTS

I.	Project Information	1
II.	Applicable General Plan and Zoning Regulations	9
III.	Environmental Factors Potentially Affected	14
IV.	Determination	15
V.	Environmental Issues Assessment	16
	<i>Aesthetics</i>	16
	1. Scenic Resources	16
	2. Mt. Palomar Observatory	20
	3. Other Lighting Issues	21
	<i>Agriculture & Forest Resources</i>	22
	4. Agriculture.....	22
	5. Forest.....	26
	<i>Air Quality</i>	27
	6. Air Quality Impacts	27
	<i>Biological Resources</i>	39
	7. Wildlife & Vegetation	39
	<i>Cultural Resources</i>	57
	8. Historic Resources	57
	9. Archaeological Resources.....	60
	<i>Energy</i>	66
	10. Energy Impacts	66
	<i>Geology and Soils</i>	70
	11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	70
	12. Liquefaction Potential Zone	76
	13. Ground-shaking Zone.....	77
	14. Landslide Risk.....	79
	15. Ground Subsidence	80
	16. Other Geologic Hazards	82
	17. Slopes	83
	18. Soils	85
	19. Wind Erosion and Blowsand from Project either on or off site	88
	<i>Greenhouse Gas Emissions</i>	88
	20. Greenhouse Gas Emissions.....	88
	<i>Hazards and Hazardous Materials</i>	91
	21. Hazards and Hazardous Materials	91
	22. Airports	100
	<i>Hydrology and Water Quality</i>	101
	23. Water Quality Impacts	101
	<i>Land Use and Planning</i>	116
	24. Land Use.....	116
	<i>Mineral Resources</i>	118
	25. Mineral Resources	118
	<i>Noise</i>	119
	26. Airport Noise	119
	27. Noise Effects by the Project	120
	<i>Paleontological Resources</i>	128
	28. Paleontological Resources	128
	<i>Population and Housing</i>	129

29. Housing.....	129
Public Services	130
30. Fire Services	130
31. Sheriff Services	135
32. Schools	135
33. Libraries	136
34. Health Services	137
Recreation	138
35. Parks and Recreation.....	138
36. Recreational Trails	139
Transportation	140
37. Transportation.....	140
38. Bike Trails	145
Tribal Cultural Resources	146
39. Tribal Cultural Resources.....	146
Utilities and Service Systems	148
40. Water	148
41. Sewer.....	153
42. Solid Waste.....	154
43. Utilities	157
Wildfire	160
44. Wildfire Impacts.....	160
Mandatory Findings of Significance	168
VI. Earlier Analysis	170
VII. Authorities Cited	170
VIII. Sources Cited	170

Figures

Figure 1 <i>Regional Location Map</i>	3
Figure 2 <i>Vicinity Map</i>	4
Figure 3 <i>Conceptual Site Plan</i>	5
Figure 4 <i>Aerial Photo</i>	8
Figure 5 <i>General Plan Land Use Designations</i>	12
Figure 6 <i>Zoning Classifications</i>	13
Figure 1-1 <i>Project Rendering</i>	18
Figure 7-1 <i>Local Vegetation</i>	42
Figure 7-2 <i>Hurkey Creek Riparian/Riverine Limits</i>	47
Figure 7-3 <i>NEPS Assessment Results</i>	48
Figure 11-1 <i>San Jacinto Fault Zone</i>	73
Figure 11-2 <i>Local Faults</i>	74
Figure 11-3 <i>Onsite Seismic Setback Zone</i>	75
Figure 21-1 <i>GeoTracker Site</i>	98
Figure 21-2 <i>EnviroStor Site</i>	99
Figure 23-1 <i>Proposed Condition Hydrology Map</i>	107
Figure 23-2 <i>WQMP Site Plan</i>	110

Figure 27-1 <i>Noise and Sensitive Receptors</i>	127
Figure 30-1 <i>Fuel modification Plan Map</i>	134
Figure 44-1 <i>Topographic Map</i>	165

Tables

Table 1 <i>Project Characteristics</i>	2
Table 2 <i>Land Use and Zoning Designations</i>	7
Table 4-1 <i>Land Use and Zoning Designations of the Project Area</i>	24
Table 6-1 <i>South Coast Air Basin Attainment Status</i>	30
Table 6-2 <i>Construction Equipment Assumptions Phase</i>	31
Table 6-3 <i>SCAQMD Regional Significance Thresholds</i>	32
Table 6-4 <i>Regional Construction Emissions</i>	33
Table 6-5 <i>Regional Operational Emissions</i>	34
Table 6-6 <i>SCAQMD Localized Significance Thresholds (LST)</i>	35
Table 6-7 <i>Localized Construction Emissions</i>	35
Table 6-8 <i>Localized Operational Emissions</i>	37
Table 7-1 <i>Local Vegetation</i>	41
Table 7-2 <i>Narrow Endemic Plant Assessment</i>	46
Table 20-1 <i>Project Greenhouse Gas Emissions</i>	90
Table 23-1 <i>Downstream Receiving Waters</i>	103
Table 23-2 <i>Project Hydrology Conditions</i>	105
Table 24-1 <i>Land Use and Zoning Designations</i>	117
Table 27-1 <i>Typical Construction Vibration Impacts</i>	128

APPENDICES

(provided electronically)

- Appendix A:** *Map My County*
- Appendix B:** *Ridge Ranch Air Quality and Greenhouse Gas Assessment, prepared by Urban Crossroads, 11-19-2021*
- Appendix C:** *Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis, The Ridge Wellness, Inc., Mountain Center, Riverside County, California, CUP 210121; GPA 210006; CZ 2100014, Assessor's Parcel Numbers 568-070-006, -007 and -021, prepared by Searl Biological Services, 12-17-2021*
- Appendix D:** *A Phase I Cultural Resources Assessment of Conditional Use Permit No. 210121, General Plan Amendment No. 210006, Change of Zone No. 2100014, +37.96 Acres of Land in Mountain Center, Riverside County, California, prepared by Jean A. Keller, Ph.D., 12-2021*

- Appendix E1:** *Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022
- Appendix E2:** *Report of Active Faulting, The Ridge Wellness Center, Approximately 36-acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California*, prepared by Petra Geosciences, 10-12-2020
- Appendix E3:** *Geotechnical Review and Supplemental Analyses, Ridge Wellness Center*, prepared by Sladden Engineering, 5-18-2023
- Appendix F:** *Phase I Environmental Site Assessment, Assessor's Parcel Numbers (APNs) 568-070-006, -007 and -021, 56475 Apple Canyon Road, Mountain Center, Riverside County, California 92561*, prepared by Geo Tek, Inc., 6-16-2020
- Appendix G1:** *Ridge Wellness Center Water System, Preliminary Technical Report*, prepared by Specialized Utilities Services Program, 4-24-2023
- Appendix G2:** *Well Inspection Report*, prepared by Heritage Well Service, 4-8-2021
- Appendix G3:** *Well Sampling Analytical Report*, prepared by Babcock Laboratories, Inc., 8-3-2021
- Appendix G4:** *Project-Specific Water Quality Management Plan (WQMP), The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023
- Appendix G5:** *Preliminary Hydrology and Hydraulics Report for The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023
- Appendix H:** *The Ridge Guest Ranch Fire Protection Plan, APN 568-070-021*, prepared by Firewise 2000, LLC, 6-12-2023
- Appendix I:** *Ridge Ranch Trip Generation and Vehicle Miles Traveled (VMT) Screening Evaluation*, prepared by Urban Crossroads, 8-26-2021
- Appendix J:** Site Photos, prepared by Matthew Fagan Consulting Services, Inc., 6-2022
- Appendix K:** Project Plans, 5-2023
- Appendix L:** ATS System Design, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022
- Appendix M:** OWTS Report, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021

Commonly Used Abbreviations and Acronyms

AAQS	Ambient Air Quality Standards
AB	Assembly Bill
AC	Acre
ACOE	U.S. Army Corps of Engineers
ADP	Area Drainage Plans
ADT	Average Daily Traffic
ALUC	Airport Land Use Commission
ALUCP	Airport Land Use Compatibility Plan
AMSL	Above Mean Sea Level
APN	Assessor's Parcel Number
AQ/GHG	Air Quality/Green House Gas
AQMP	Air Quality Management Plans
ARB	Air Resources Board
Basin	South Coast Air Basin
BMPs	Best Management Practices
BUOW	Burrowing Owl
CAAQS	California Ambient Air Quality Standards
CalARP	California Accidental Release Prevention Program
CalEEMod™	California Emissions Estimator Model™
Cal/EPA	California Environmental Protection Agency
CalFire	Riverside County Fire Department
CALGreen	California Green Building Standards Code
Cal/OSHA	California Occupational Safety and Health Administration
CAP	Climate Action Plan
CAPCOA	California Air Pollution Control Officers Association
CARB	California Air Resources Board
CBC	California Building Code
CCR	California Code of Regulations
CDFW	California Department of Fish and Wildlife
CEC	California Energy Commission
CEQA	California Environmental Quality Act
CUP	Conditional Use Permit
CZ	Change of Zone
dB	Decibel
dBA	A-Weighted Decibel
dBA CNEL	A-weighted decibel Community Noise Equivalent Level
dBA Leq	A-weighted decibel equivalent noise level
EAP	Existing Plus Ambient Growth Plus Project
EAPC	Existing Plus Ambient Growth Plus Project Plus Cumulative

FEMA	Federal Emergency Management Act
FIRM	Flood Insurance Rate Map
FMMP	Farmland Mapping & Monitoring Program
GHG	Greenhouse Gas
GP	General Plan
GPA	General Plan Amendment
GPEIR	General Plan Environmental Impact Report
HCM	Highway Capacity Manual
HCOC	Hydrologic Conditions of Concern
HCP	Habitat Conservation Plan
HOV	High-Occupancy Vehicle
HRA	Health Risk Assessment
LOS	Level of Service
LST	Localized Significance Thresholds
MLD	Most Likely Descendent
MM	Mitigation Measure
MSHCP	Western Riverside County Multiple Species Habitat Conservation Plan
MTCO _{2e}	Metric Tons of Carbon Dioxide Equivalent
N ₂ O	Nitrous Oxide
NAAQS	National Ambient Air Quality Standards
NAHC	Native American Heritage Commission
NEPA	National Environmental Policy Act
NEPSSA	Narrow Endemic Plants Survey Area
NO ₂	Nitrogen Dioxide
NOA	Naturally Occurring Asbestos
NO _x	Oxides of Nitrogen
NPDES	National Pollution Discharge Elimination System
O ₃	Ozone
Pb	Lead
PFCs	Perfluorocarbons
PHS	Preliminary Hydrology Study
PM	Afternoon
PM _{2.5}	Fine Particulate Matter
PM ₁₀	Respirable Particulate Matter
Ppb	Parts Per Billion
Ppm	Parts Per Million
PPV	Peak Particle Velocity
PRC	Public Resources Code
PVC	Polyvinyl Chloride
PV	Photovoltaic

RCFC&WCD	Riverside County Flood Control and Water Conservation District
RCFD	Riverside County Fire Department
RCIP	Riverside County Integrated Project
RCSD	Riverside County Sheriff's Department
RCTC	Riverside County Transportation Commission
RTA	Riverside Transit Authority
RTP	Regional Transportation Plan
RTP/SCS	Regional Transportation Plan/Sustainable Communities Strategy
RV	Recreational Vehicle
RWQCB	Regional Water Quality Control Board
SARWQCB	Santa Ana Regional Water Quality Control Board
SB	Senate Bill
SCAB	South Coast Air Basin
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SO ₂	Sulphur Dioxide
SO _x	Sulphur Oxides
SoCAB	South Coast Air Basin
Sq. Ft.	Square Feet
TAC	Toxic Air Contaminant
USFWS	United States Fish and Wildlife Service
USGS	U.S. Geological Survey
VMT	Vehicle Miles Traveled
VOC	Volatile Organic Compound
VPD	Vehicles Per Day
WQMP	Water Quality Management Plan

Environmental Assessment (CEQ / EA) Number: CEQ210210

Project Case Type (s) and Number(s): General Plan Amendment (GPA) 210006; Change of Zone (CZ) 2100014; and Conditional Use Permit (CUP) 210121 “The Ridge Guest Ranch”

Lead Agency Name: Riverside County Planning Department

Address: P.O. Box 1409, Riverside, CA 92502-1409

Contact Person: Kathleen Mitchell, Urban Planner III

Telephone Number: 951-955-6836

Applicant’s Name: The Ridge Wellness, Inc., Caroline Legrand

Applicant’s Address: 6487 Cavalleri Road, # 429, Malibu, CA 90265

I. PROJECT INFORMATION

Project Description:

Location

The Ridge Guest Ranch property is located at 56475 Apple Canyon Road in Mountain Center, an unincorporated community in southwest Riverside County. The site is located off of Highway 74, the Pines to Palms Highway, south of the town of Idyllwild, southeast of the City of Hemet, and northeast of Lake Hemet (see **Figure 1, Regional Location** and **Figure 2, Vicinity Map**). The site occupies approximately 36.11 acres also known as Assessor Parcel Number (APN) 568-070-021.

Characteristics

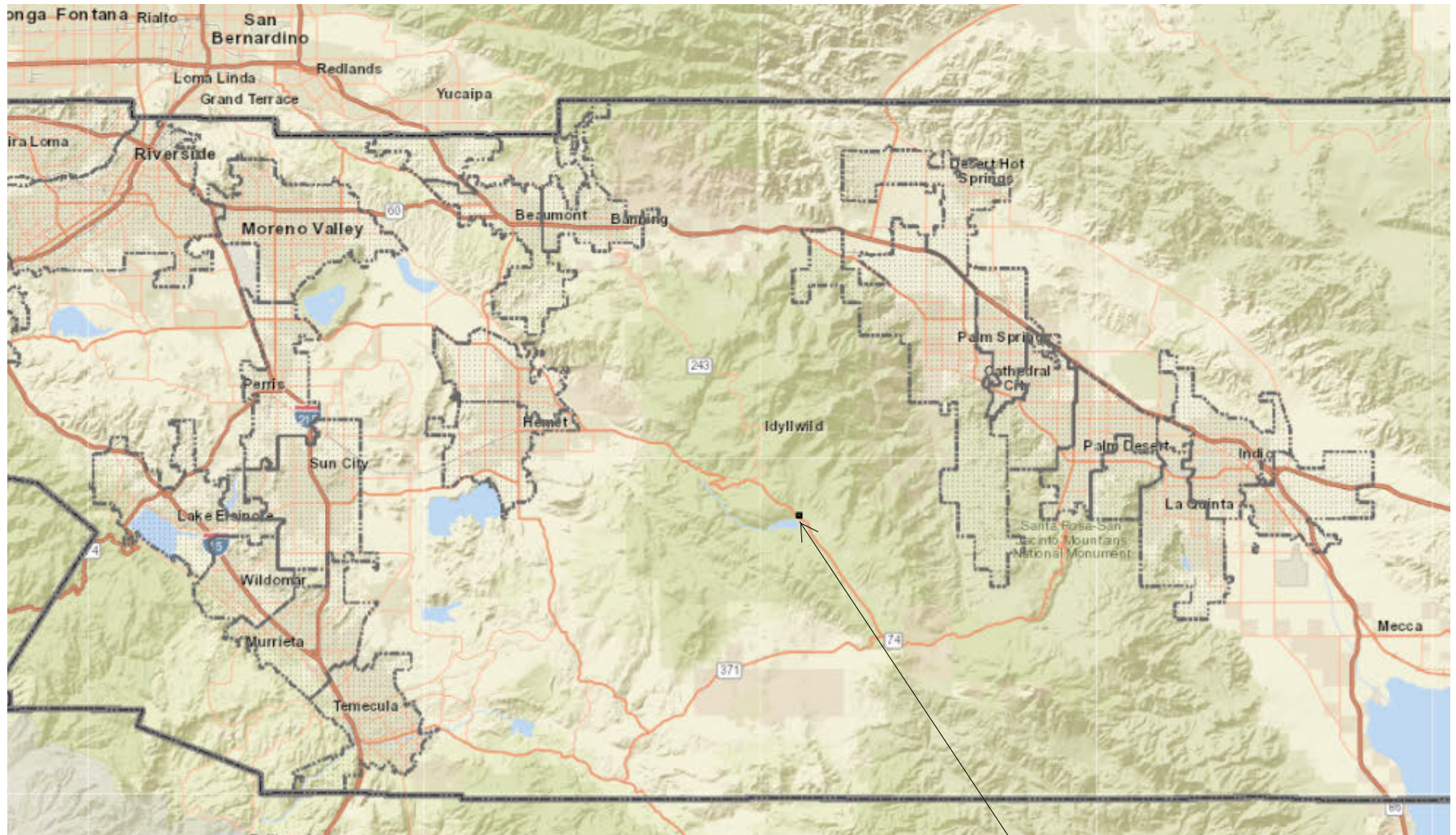
The Ridge Guest Ranch Project proposes to construct a wellness and immersive nature camp with a variety of recreational activities on the property. The various Project improvements and land uses on the site are outlined in **Table 1, Project Characteristics**. A maximum of 10% of the site will support buildings, parking, driveways, and other improved areas while the remaining 90% of the site will remain as agriculture and recreational open space. All of the buildings will be one story with a maximum height of 18 feet 3 inches. The Project will provide a total of 60 parking spaces for staff (18 spaces) and guests (42 spaces) plus 3 spaces for electric vehicle (EV) charging. The Ranch will have 51 total employees with a maximum of 35 employees onsite at any one time, and 36 guest cabins which could accommodate up to 2 persons each. This equals a worst-case estimate of 107 persons on the site at maximum occupancy. **Figure 3, Conceptual Site Plan**, shows the approximate layout and relationship of proposed uses on the Project site.

**Table 1
Project Characteristics**

Use/Improvement	Acres	Percent of Site	Square Feet	Description
Developed Areas/Buildings				
Guest Cabins and Tents (Zones A-C)	--	--	19,646	30 cabins & 6 “glamping” tents
Common Area Buildings (arrival and dining)	--	--	5,986	Lounge, kitchen, utility room, & dining room (48 seats)
Wellness Cabins	--	--	3,154	Wellness and healing programs
Activity Hub Building	--	--	902	Includes outdoor pool
Wellness Basecamp Building	--	--	2,566	Main indoor guest activity building
Administration/Storage Building	--	--	970	Includes storage
<i>Sub-Total Buildings*</i>	<i>0.67</i>	<i>1.8%</i>	<i>29,035*</i>	
Areas around buildings	0.69	--	--	Mainly in the central and northern portions of the site
Parking and Circulation	2.15	--	--	
<i>Sub-Total Developed Areas</i>	<i>3.51</i>	<i>9.7%</i>	<i>29,035</i>	
Open Space Uses				
Existing Agriculture	2.06	--	--	Southeast portion of site
Recreation/Open Space	30.65	--	--	All portions of the site except the northeast corner
<i>Sub-Total Open Space</i>	<i>32.71</i>	<i>90.3%</i>	--	
TOTAL	36.11	100%	29,035*	0.19 FAR

Source: Project Plans (**Appendix K**) FAR = floor area ratio of the building area (0.67 ac) to total developed area (3.51 acres)* does not include greenhouses, only refers to occupied structures

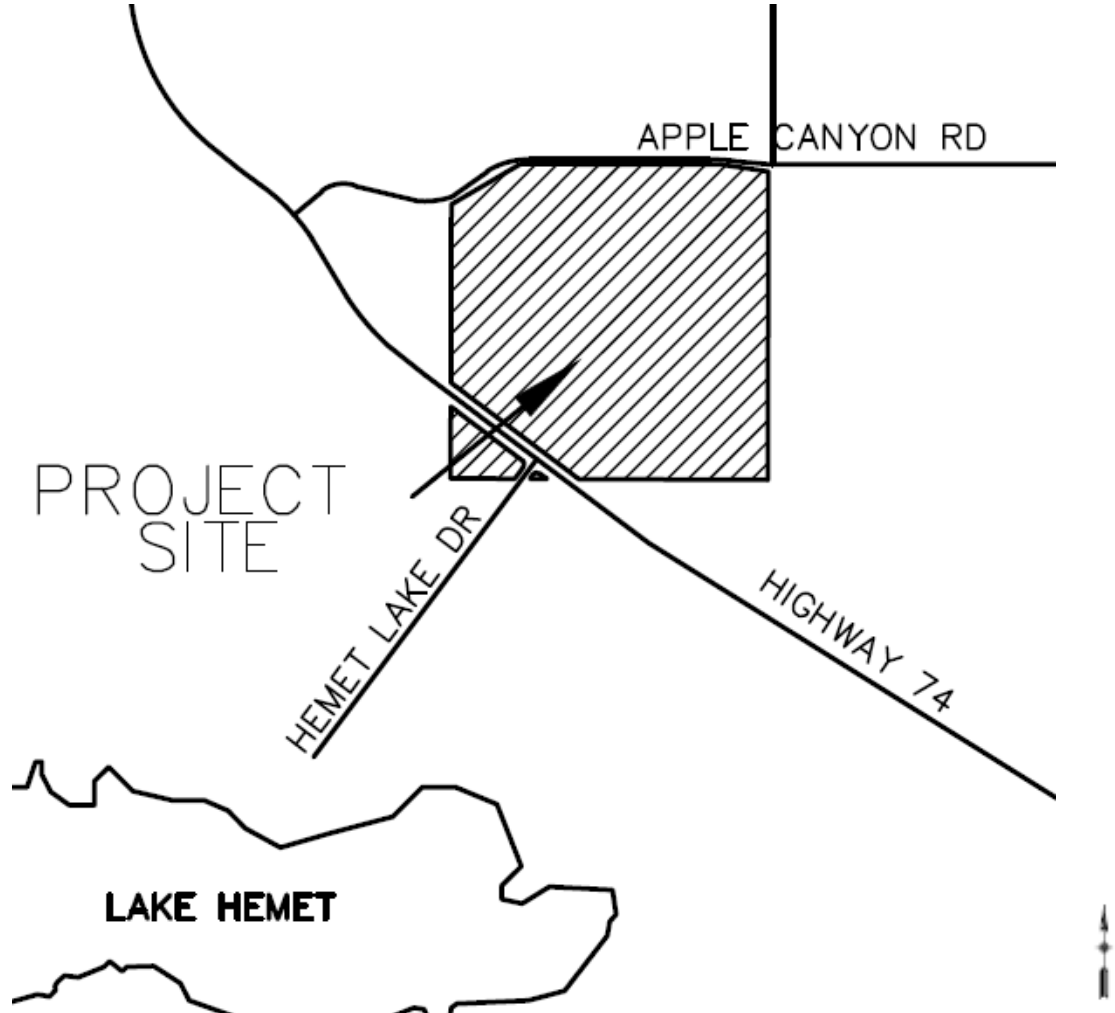
FIGURE 1
Regional Location Map



Source: Map My County https://gis.countyofriverside.us/Html5Viewer/?viewer=MMC_Public

SITE

FIGURE 2
Vicinity Map



Source: Project Plans (**Appendix K**)

In the application materials, the Project is described as follows:

The Ridge Guest Ranch proposes an eco-conscious private guest ranch on 36.11 acres. The project site will retain all the natural vegetation and all the historic large pine trees within its design. The Ridge will be designed to facilitate a full immersion nature experience in Mountain Center and the Ranch will offer a variety of self-development therapies and recreational activities such as natural hiking, mountain biking, horseback riding, rock climbing, water-based activities at Lake Hemet, in addition to cultural and environmental education of the area will be all part of the experience at the Ranch. The project proposes to construct guest cabins and manufactured guest tents, with a wellness center, kitchen and dining room, and activity hub and lap pool, and a large agricultural site and food lab for all guests to experience.

The applicant indicates that the consumption of alcohol and tobacco products will be strictly prohibited on the site.

Phasing

The Ranch is expected to be constructed in one phase with site preparation and construction taking approximately one year. It is possible the facility may open with some lesser number of cabins, but the Project will be built out as funds are available and there is need for expanded facilities.

Grading

Grading is expected to be balanced onsite with 20,500 cubic yards of cut and fill. Earthwork will be in the eastern portion of the site for the proposed buildings and improvements, while the Hurkey Creek channel and the land west of the creek will remain as permanent open space with no grading or improvements.

Circulation/Access/Parking

The Project will take access from Apple Canyon Road along the north side of the site. Regional access is via Highway 74, Pines to Palms Highway, from the west. The Project proposes a roller compacted decomposed granite access road around the eastern portion of the site planned for the developed uses (i.e., cabins, buildings, parking, etc.).

Employee parking calculations are based upon one (1) parking stall per two employees (35 employees max. per shift = 18 spaces). Due to the remoteness of the site, employee carpooling will be highly encouraged. Guest parking calculations are based upon 1 parking stall per cabin/tent space (42 cabins/tents = 42 spaces). Total parking onsite will be 60 spaces.

Existing/Proposed General Plan and Zoning Designations

The current General Plan land use designation of the site is Open Space – Rural and it is currently zoned Light Agriculture 20-acre minimum parcels (A-1-20). The Project proposes to change the land use designation to Open Space – Recreation and change the zoning classification to Natural Assets (N-A). It should be noted that the proposed GPA and CZ also apply to APNs 568-070-006 and -007, but for the purposes of the analysis in this Initial Study, the Project site is only located on APN 568-070-021. This may also account for minor discrepancies in acreages between various technical reports when describing the Project site.

Surrounding land uses are all related to light agriculture or resource conservation. The zoning and land use designations of the site and surrounding area are delineated in **Table 2, Land Use and Zoning Designations**. The proposed wellness ranch is consistent with the existing onsite zoning and General

Plan land use designations. The proposed Project is also consistent and compatible with surrounding land uses which are shown in **Figure 4, Aerial Photo**.

**Table 2
Land Use and Zoning Designations**

Location/ Direction	General Plan Land Use Designation	County Zoning	Existing Land Uses
<u>Project Site</u> Existing Proposed	Open Space – Rural Open Space – Recreation	Light Agriculture (A-1-20) Natural Assets (N-A)	Agriculture & Vacant
North	Open Space – Conservation Habitat	Natural Assets (N-A-160)	Hurkey Creek Park and Camp Ronald McDonald
South	Open Space – Rural Open Space – Recreation	Natural Assets (N-A-160)	Lake Hemet and Vacant Land
East	Open Space - Rural	Light Agriculture (A-1-20)	Vacant Land (USFS)
West	Open Space – Conservation Habitat	Natural Assets (N-A-160)	Vacant Land (USFS)

Sources: Map My County, REMAP land use mapping, GoogleEarth, Project Plans (**Appendix K**)

FIGURE 4
Aerial Photo



Source: Map My County https://gis.countyofrivside.us/Html5Viewer/?viewer=MMC_Public

A. Type of Project: Site Specific ; Countywide ; Community ; Policy .

Total Project Area:

Residential Acres: N/A	Lots: N/A	Units: N/A	Projected No. of Residents: N/A
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other (Institutional): Approx. 36.11 acres	Lots: 1	Sq. Ft. of Bldg. Area: Existing 0 / New Construction 35,924	Est. No. of Employees: 51

A. Assessor’s Parcel No(s): APN No. 568-070-021

B. Street References: 56475 Apple Canyon Road in Mountain Center, just east of Highway 74 (Pines to Palms Highway)

C. Section, Township & Range Description or reference/attach a Legal Description: Section 4, Township 6 South, Range 3 East

D. Brief description of the existing environmental setting of the Project site and its surroundings:

The Project site is located in the San Jacinto Mountains just east of Highway 74 and south of the town of Idyllwild in Riverside County. The topography of the site varies substantially from 4,445 feet above mean sea level (AMSL) along the northern boundary down to 4,334 feet AMSL along the southern boundary. The entire region is seismically active due to a number of active regional earthquake faults and a splay of the active San Jacinto Fault passes through the western portion of the site in a northwest-southeast direction. The central portion of the site is dominated by Hurkey Creek which encloses a 100-year flood plain in the central portion of the site which flows in a northwest-southeast direction. Runoff on the site generally flows toward the south.

Due to its elevation, relatively remote location, and rural/open space land uses, the Project area experiences relatively good air quality except during hot summer months when inversion conditions sometimes occur. The Project area is moderately wooded and supports a variety of native vegetation, including dozens of pine trees of various sizes, as well as native wildlife including small to large mammals and some listed species. The site is close to Lake Hemet which supports a variety of native plant and animal species as well. The San Jacinto and Santa Rosa Mountains have been utilized by Native Americans for thousands of years, the most notable being the Santa Rosa Band of Cahuilla Indians which is a federally recognized tribe of Cahuilla Indians. Area soils are relatively granitic in nature and somewhat sandy and well drained.

Area land uses are summarized in **Table 2** but are generally agricultural, open space/vacant land, or related to activities at Lake Hemet, Hurkey Creek Park, and Camp Ronald McDonald just north of the site. Public services and utilities are provided by the County and number of private companies. The Project area is in a Very High Fire Hazard Zone and is within a State Responsibility Area for fire protection.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use:** The Project site has a General Plan land use designation of Open Space – Rural and the Project proposes to change the designation to Open Space – Recreation. The Project also proposes to change the existing zoning of Light Agriculture (A-1-20) to Natural Assets (N-A). The proposed use will be consistent with the Riverside Extended Mountain

Area Plan (REMAP) and other applicable land use policies within the General Plan. In particular, Policies LU 2.1, LU 4.2, LU 7.1-LU 7.8, LU 9.1, LU 12.1, LU 14.1, LU 14.3, LU 14.4, LU 18.2, LU 20.1, and LU 21.1 are implemented by this Project.

2. **Circulation:** Adequate circulation facilities exist to serve the Project. The proposed Project meets with all other applicable circulation policies of the General Plan. In particular, Policies C 2.1, C 20.1, and C 20.5 are implemented by this Project.
3. **Multi-purpose Open Space:** The Project is adjacent to open space/forest lands managed by the U.S. Forest Service. Hurkey Creek and the onsite land west of the creek do support habitat for listed or otherwise sensitive species, riparian/riverine resources, a natural drainage but no wetlands or vernal pools, and does support important biological resources under the MSHCP. The Project will preserve the central and western portions of the site (i.e., Hurkey Creek and the fault zone) of the site as permanent open space. The proposed Project meets with all other applicable Multipurpose Open Space element policies. Policies OS 2.1, OS 3.7, OS 5.1-5.7, OS 7.4, OS 7.5, OS 8.1, OS 9.3, OS 9.6, OS 16.1, OS 17.1, OS 18.1, OS 19.3, OS 20.2, and OS 22.1-22.5 have been implemented in this Project.
4. **Safety:** The bed and banks of Hurkey Creek define the 100-year flood plain which crosses the center of the site from north to south. The developed areas of the proposed Project will not be located within a flood plain. The western portion of the site, west and south of Hurkey Creek, is in an identified earthquake fault zone. The site is not in a subsidence susceptible area, has a low risk of liquefaction, but is in a very high fire area. The proposed Project has allowed for sufficient provision of emergency response services to the Project through the Project design and payment of development impact fees. The proposed Project meets with all other applicable Safety Element policies. Policies S 2.1, S 3.3, S 3.4, S 4.1, and S 4.7 are implemented through the Project.
5. **Noise:** The Project proposes very low intensity recreational activities that are not expected to result in generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the general plan or noise ordinance, or applicable standards of other agencies. There are no sensitive receptors to the east, south or west of the site. While the closest sensitive receptor (caretaker's residence) is located approximately 125 feet north of the western boundary of the site, it is located approximately 732 feet from the planned area of disturbance on the site (i.e., northeast portion east of the creek). The Project meets all other applicable Noise Element Policies. Due to its low intensity and rural setting, policies N 2.3 and N 13.1 are implemented by this Project.
6. **Housing:** Although there will be temporary guests and staff staying on the site, the proposed Project will not create any permanent housing, so this does not apply.
7. **Air Quality:** The proposed Project is a relatively low intensity institutional use and has been conditioned to control any fugitive dust during grading and construction activities. The proposed Project meets all other applicable Air Quality element policies. In particular, policies AQ 2.2, AQ 2.3, and AQ 5.4 are implemented by the Project.
8. **Healthy Communities:** The Project will emphasize an eco-friendly lifestyle and sustainability and will support limited onsite agricultural activities. It meets all applicable policies of the Healthy Communities Element of the General Plan. This Project is relatively unique in its use of land and its facilities; however, policies HC 2.1, 2.2, HC 4.1, and HC 11.1 are applicable to the Project.

a) Environmental Justice Summary: The Project site is not located in an environmental justice community.

B. General Plan Area Plan(s): Riverside Extended Mountain Area Plan (REMAP)

C. Foundation Component(s): Rural

D. Land Use Designation(s): Existing: Open Space – Rural / Proposed: Open Space – Recreation

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: None

G. Adjacent and Surrounding:

1. **General Plan Area Plan(s):** REMAP

2. **Foundation Component(s):** Rural

3. **Land Use Designation(s):**

North: Open Space – Conservation Habitat

South: Open Space – Rural and Open Space - Recreation

East: Open Space – Rural

West: Open Space – Conservation Habitat

Reference **Figure 5, General Plan Land Use Designations**

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** None

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Light Agriculture (A-1-20)

J. Proposed Zoning, if any: Natural Assets (N-A)

K. Adjacent and Surrounding Zoning:

North: Natural Assets (N-A-160)

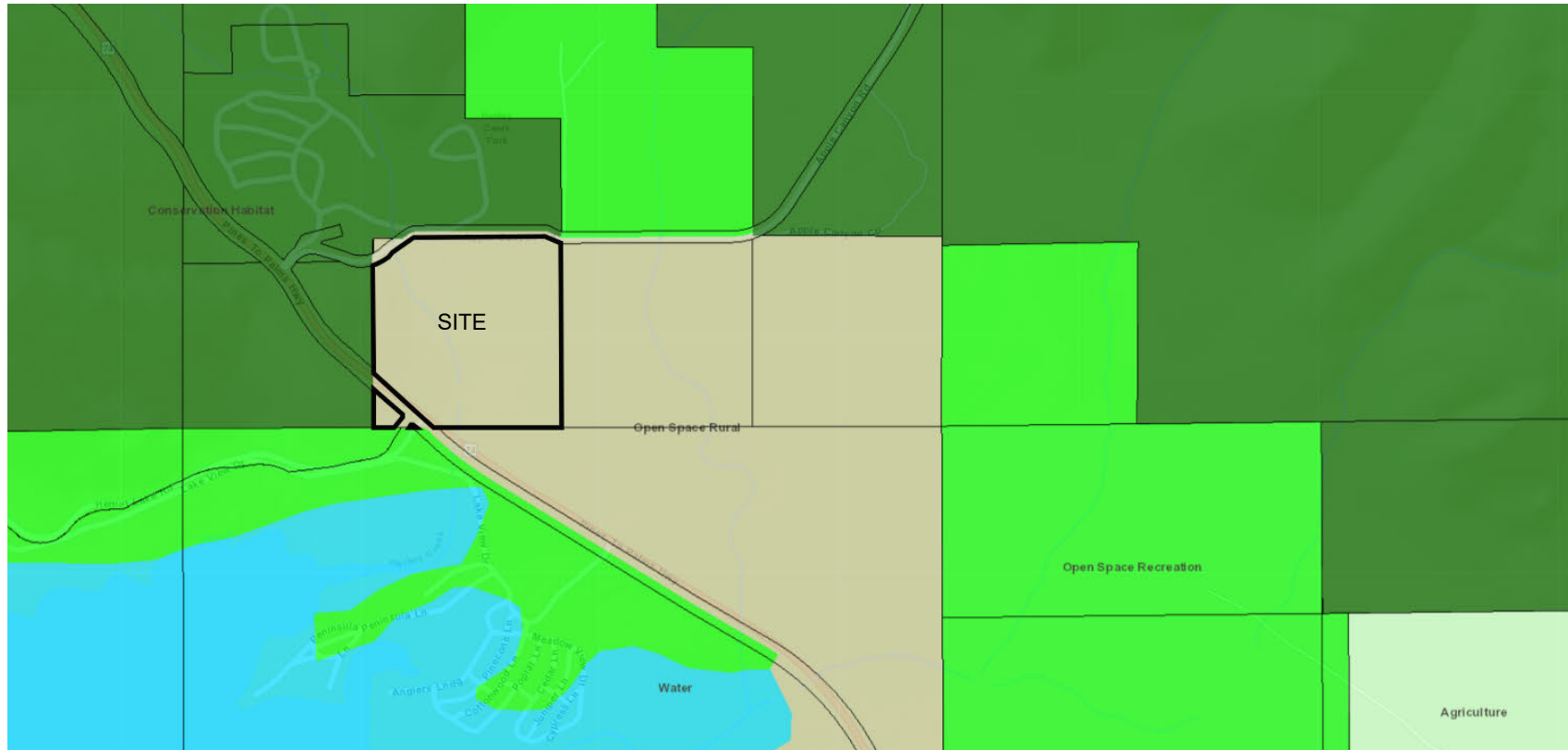
South: Natural Assets (N-A-160)

East: Light Agriculture (A-1-20)

West: Natural Assets (N-A-160)

Reference **Figure 6, Zoning Classifications**

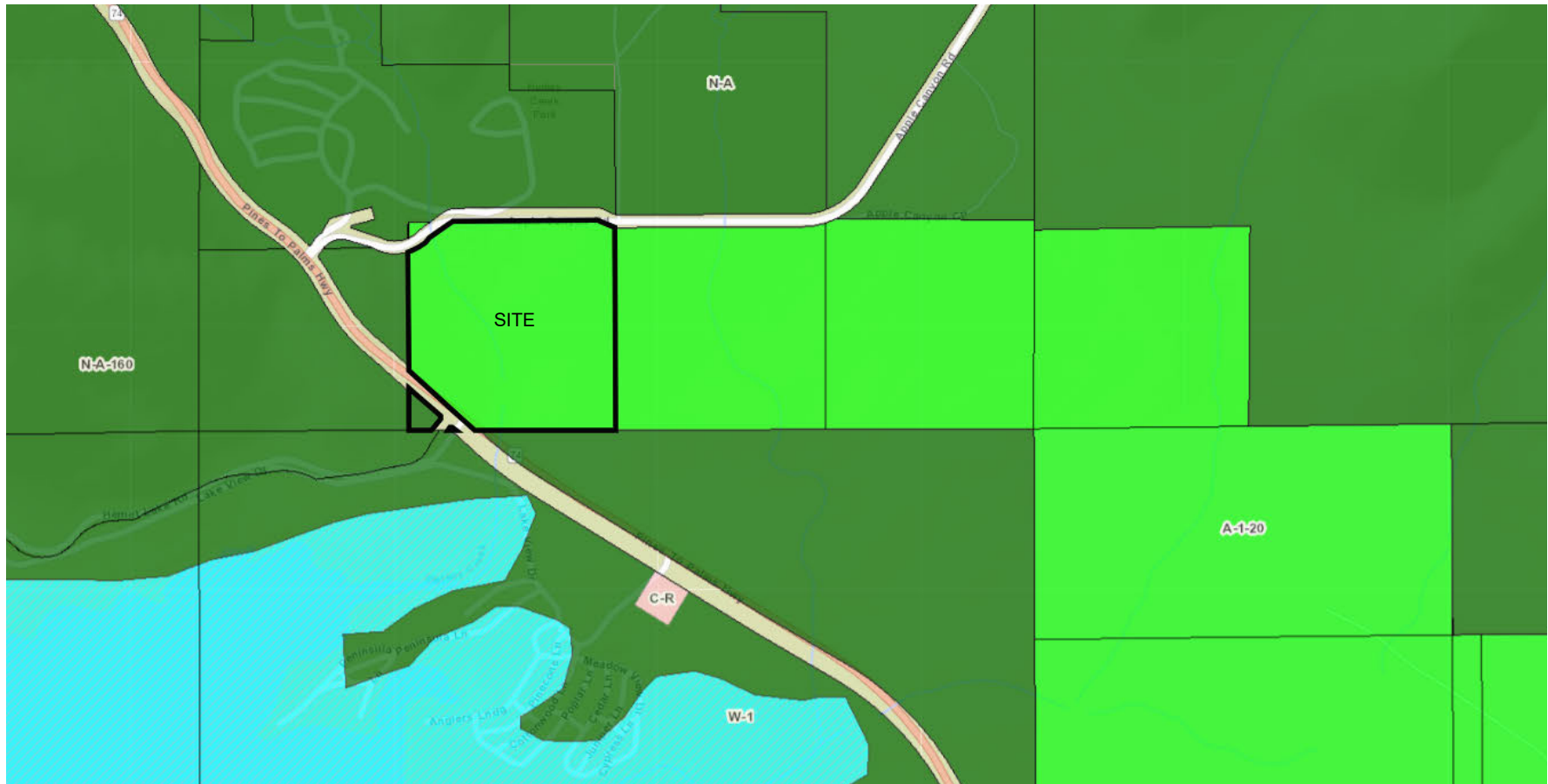
FIGURE 5
General Plan Land Use Designations



Source: Map My County https://gis.countyofriverside.us/Html5Viewer/?viewer=MMC_Public



FIGURE 6
Existing Zoning Classifications



Source: Map My County https://gis.countyofriverside.us/Html5Viewer/?viewer=MMC_Public

A-1: Light Agriculture
C-R: Rural Commercial
N-A: Natural Assets
W-1: Watercourse, Watershed and Conservation Areas

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (X) would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” or “Less Than Significant with Mitigation Incorporated” as indicated by the checklist on the following pages.

- | | | |
|----------------------------------------------------------|-------------------------------------------------------------------|------------------------------------------------------------------------|
| <input type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Tribal Cultural Resources |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input checked="" type="checkbox"/> Wildfire |
| <input type="checkbox"/> Energy | <input type="checkbox"/> Paleontological Resources | <input checked="" type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input checked="" type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED	
<input type="checkbox"/>	I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/>	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED	
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/>	I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
<input type="checkbox"/>	I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
<input type="checkbox"/>	I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a SUBSEQUENT ENVIRONMENTAL IMPACT REPORT is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

Date

Kathleen Mitchell, Urban Planner III

For: John Hildebrand
Planning Director

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the Project:				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the Project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A); Figure 5, General Plan Land Use Designations*, included in Section I of this IS; Riverside County General Plan, Riverside Extended Mountain Area Plan (REMAP) –Figure 8, *REMAP Scenic Highways*; *Caltrans Scenic Highways website*, 2022; Project Plans (**Appendix K**); Site Photos (**Appendix J**); **Figure 3, Conceptual Site Plan** and **Figure 4, Aerial Photo** (located in Section I of this IS); and Google Earth website 2022.

Findings of Fact:

Aesthetics generally refer to the identification of visual resources, the quality of one’s view, and/or the overall visual perception of the environment. The issue of light and glare is related to both the creation of daytime glare due to the reflection of the sun (such as on glass surfaces) and/or an increase in nighttime ambient lighting levels (such as from building lights, streetlights, and vehicle headlights).

The Project site is located within the Riverside Extended Mountain Area Plan (REMAP), one of nineteen (19) planning areas within the County of Riverside’s General Plan. The REMAP is situated in the southwest portion of Riverside County in the San Jacinto Mountains adjacent to SR-74 (the “Pines to Palms Highway”) approximately 3.3 miles southeast of the community of Mountain Center and 4.6 (air) miles southeast of the town of Idyllwild. SR-74 the principal access route to the Project

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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area. The surrounding area is mountainous and contains largely vacant land with scattered developed uses. The area is dominated by open space features including surrounding forest lands and Hemet Lake located 0.4-mile southwest of the Project site.

The REMAP Land Use Plan has been adopted to maintain the predominantly rural, agricultural, and open space character of the mountain communities and areas in the San Jacinto and Santa Rosa Mountains within Riverside County.

The Project site and much of the surrounding forested land is designated as Open Space-Rural with light agriculture or natural assets zoning. The remaining areas are designated for either Open Space-Recreation or Open Space-Conservation Habitat with Lake Hemet located less than half a mile southwest of the site.

- a) *Would the Project have a substantial effect upon a scenic highway corridor within which it is located?*

Less Than Significant Impact

The Project site is located in western Riverside County within the Riverside Extended Mountain Area Plan (REMAP). According to REMAP Figure 8, Scenic Highways, SR-74 in the region of the Project site is a state designated Scenic Highway (called the Pines to Palms Highway) as well as a National Forest Scenic Byway. According to the Caltrans “Scenic Highways” program website¹, SR-74 is a state-designated scenic highway but for some reason is not on the State “List of Officially Designated County Scenic Highways”.

The Project site is located adjacent to SR-74 along its southwest boundary and the proposed buildings and related improvements of the Project will be approximately 700 feet northeast of SR-74 with a “frontage” distance of 667 feet based on the Record of Survey for the property. At the posted speed limit of 40 miles per hour, the Project site would be visible for approximately 12 seconds to travelers along SR-74.

The Project proposes a very low intensity guest ranch or camp, with one-story cabins, tents, and other buildings which are designed to be visually compatible with the existing forest and agricultural uses on the site (i.e., maximum height 18 feet and all earth tone colors). The Project proposes to preserve essentially all of the existing pine trees which are mainly in the northern portion of the site. The Project will provide only eco-friendly nature-oriented recreational and educational activities on the site for its guests. The Project site plan (see the previous **Figure 3, Conceptual Site Plan**, shows the buildings and related improvements that will be located in the northeast portion of the site, separated from SR-74 by approximately 700 feet and perpendicular to either direction of travel on the highway which will help minimize any visual intrusion by the camp on SR-74. An artist’s rendering of the proposed Project on the site is shown in **Figure 1-1, Project Rendering**. In addition, direct views of the site from the highway will be blocked by large trees along the east bank of Hurkey Creek which is between the highway and the proposed buildings.

Based on the above information, the Project will not substantially or adversely alter views along this portion of SR-74, a designated scenic route through this area. Due to the nature and scale of the Project, impacts will be less than significant, and no mitigation is required.

¹ <https://dot.ca.gov/programs/design/lap-landscape-architecture-and-community-livability/lap-liv-i-scenic-highways>

FIGURE 1-1
Project Rendering



Source: Project Plans (**Appendix K**)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b) *Would the Project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?*

Less Than Significant Impact

The Project site is located in an unincorporated rural community of southwest Riverside County identified in the *Map My County* known as Mountain Center. The site is also approximately five (5) miles southeast of the town of Idyllwild in the San Jacinto Mountains. The property is just northeast of SR-74, a state-designated scenic highway, and Hemet Lake. The Project site contains native vegetation including dozens of tall pine trees, the (seasonal²) Hurkey Creek, and varying topography typical of the mountain community in this area. The site slopes down from the north toward SR-74 along the southwest boundary of the site.

As outlined in Threshold 1.a above, the Project proposes a very low intensity development guest ranch or camp with one-story cabins, tents, and other buildings which will be designed to be visually compatible with the existing forest and natural drainage on the site (i.e., maximum height 18 feet and all earth tone colors). The Project proposes to preserve essentially all of the existing pine trees which are mainly in the northern portion of the site. The Project will provide only eco-friendly nature-oriented recreational and educational activities on the site. The previous **Figure 3, Conceptual Site Plan**, shows the buildings and related improvements will be located in the northeast portion of the site. An artist’s rendering of the Project on the site is shown in **Figure 1-1, Project Rendering**. Direct views of the site from the highway will be blocked by large trees along the east bank and a ridge on the west bank of Hurkey Creek and views from other uses to the north will be partially blocked by the large number of trees between the planned buildings and Apple Canyon Road which forms the north boundary of the site.

Approximately 30 of the 36-acre site will remain in its natural condition, including Hurkey Creek and the sloping land between the creek and SR-74. Since the east bank of the creek supports a large number of trees and shrubs, views of the site from the highway will be very limited. Per **Table 1**, the Project as proposed would introduce new low intensity one-story buildings on the eastern 10% of the site while the remaining 90% of the site will remain as natural open space.

Due to its isolated location, topography, and vegetation, the proposed Project would not obstruct any prominent vistas, views of surrounding open space, habitat, conservation, or agricultural land or result in the creation of an aesthetically offensive site open to public view.

Based on the above information, the Project will not have a significant environmental impact to aesthetics. Therefore, implementation of the proposed Project would not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view. Any impacts would be less than significant, and no mitigation is required.

- c) *In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the Project conflict with applicable zoning and other regulations governing scenic quality?*

² <https://reserve.rivcoparks.org/hurkey-creek/camping>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Less Than Significant Impact

As outlined in Thresholds 1.a and 1.b above, the Project site is located in a non-urbanized area that is part of the San Jacinto Mountains and adjacent to SR-74, a state-designated Scenic Highway (i.e., Pines to Palms Highway). The area is considered scenic, and the Project proposes a guest ranch with low intensity one-story buildings which is intended to be compatible with the outdoor natural setting.

Since the Project proposes one-story buildings, cabins, and tents, there are few improved uses in the surrounding area, and the site is relatively isolated from public view, the Project will have a less than significant impact to the existing visual character and its surroundings. Based upon the information provided in Thresholds 1.a through 1.c, the Project will have a less than significant impact on the existing visual character or quality of public views of the site and its surroundings, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source(s): *Map My County (Appendix A); REMAP, Figure 5, REMAP Mt. Palomar Nighttime Lighting Policy Area; and Ordinance No. 655 (An Ordinance of the County of Riverside Regulating Light Pollution).*

Findings of Fact:

a) *Would the Project interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?*

Less Than Significant Impact

According to the *REMAP (Figure 5, REMAP Mt. Palomar Nighttime Lighting Policy Area)*; the Project site is located within Zone B of the designated Special Lighting Area that surrounds the Mt. Palomar Observatory. At its closest point, the Project site is approximately 21½ miles north from the Observatory.

The following policy is contained in the *REMAP*:

- **REMAP 8.1:** Adhere to the lighting requirements of Riverside County Ordinance No. 655 for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

Ordinance No. 655 was adopted by the County Board of Supervisors on June 7, 1988 and went into effect on July 7, 1988. The intent of Ordinance No. 655 is to restrict the permitted use of certain light fixtures emitting into the night sky undesirable light rays which have a detrimental effect on

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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astronomical observation and research at the Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definitions, general design requirements, requirements for lamp source, and shielding, prohibitions and exceptions.

Proposed outdoor lighting sources will be minimal given the Project's natural and environmental orientation. However, parking lot lights and building mounted lights for safety will adhere to Ordinance No. 655 which is a standard condition of approval; it is not considered unique mitigation pursuant to CEQA, as it applies to all development projects uniformly. Based on the above information, the Project will not have a significant environmental impact on aesthetics in terms of lighting. With the Project design and conformance to Ordinance No. 655, any impacts associated with implementation of the Project would be less than significant and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A)*; SJVAP, Figure 5, *REMAP Mt. Palomar Nighttime Lighting Policy Area*; Ordinance No. 655; and Ordinance No. 915 (An Ordinance of the County of Riverside Regulating Outdoor Lighting); and **Figure 4, Aerial Photo**, provided in Section I of this IS.

Findings of Fact:

a) *Would the Project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?*

Less Than Significant Impact

Light sources at the Project site are intended to be minimal but include some security lighting for buildings and parking areas previously described herein.

New sources of light and glare associated with construction activities on the property may occur. These additional artificial light sources are typically associated with nighttime security lighting since all exterior construction activities are limited to daylight hours in the County. In addition, workers, either arriving to the site before dawn, or leaving the site after dusk, may generate additional construction-related light sources. The amount and intensity of light anticipated from these construction sources would be modest as the lighting needed will be solely for visibility or for security of the site during the nighttime hours. Additionally, these impacts will be temporary, of short-duration, and will cease when Project construction is completed.

The proposed Project would result in a modest amount of new sources of light and glare (building mounted lights) in addition to the new ranch or camp-related uses. Once operational, the Project

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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would be required to comply with Ordinance No. 655 and Ordinance No. 915, which restricts lighting hours, types, and techniques of lighting and requires the use of low-pressure sodium fixtures and hooded fixtures to prevent spillover light or glare.

Ordinance No. 915 requires all outdoor luminaires to be located, adequately shielded, and directed such that no direct light falls outside the parcel of origin onto the public right-of-way. Ordinance No. 915 also prohibits blinking, flashing and rotating outdoor luminaires, with a few exceptions.

Based on the above information, the Project will have no environmental impact to aesthetics. The Project would be required to comply with the County of Riverside conditions of approval that requires lighting restrictions. These are typically standard conditions of approval and are not considered unique mitigation pursuant to CEQA. With conformance to Ordinance No. 655 and Ordinance No. 915, any impacts associated with implementation of the Project would be less than significant, and no mitigation is required.

b) *Would the Project expose residential property to unacceptable light levels?*

Less Than Significant Impact

The area in general is characterized by hilly and mountainous terrain in all directions with SR-74 along the southwest boundary of the site. Much of the surrounding land is forested and vacant or classified as various kinds of open space (recreation, habitat, etc.). There are no residences in the immediate vicinity of the site, and the closest full-time inhabited structures are caretaker cabins at the Lake Hemet Campground approximately 1,000 feet to the southwest, at Camp Ronald McDonald over 732 feet to the north, and a single-family residence located approximately 1,000 feet west of the planned Project developments on the north side of Apple Canyon Road. The Project is an eco-friendly nature-oriented guest ranch or camp and so is expected to have minimal lighting that would affect nearby neighbors.

As discussed in Threshold 2.a., construction impacts will be temporary, of short-duration, and will cease when Project construction is completed. Once a certificate of occupancy has been issued, conformance with Ordinance No. 655, and Ordinance No. 915, will ensure that any impacts are expected to be less than significant from implementation of the Project.

Based on the above information, the Project will not have a significant environmental impact to aesthetics. Therefore, there are no potential Project-specific impacts that could expose residential property to unacceptable light levels. Impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

AGRICULTURE & FOREST RESOURCES Would the Project:

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A); Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis, prepared by Searl Biological Consulting, 12-17-2021 (Appendix C); Project Plans (Appendix K); Riverside County General Plan Figure OS-2 "Agricultural Resources"; California Department of Conservation, Farmland Mapping and Monitoring Program (DOC-FMMP) website; Google Earth website; Soil Survey of Western Riverside Area, California, prepared by the U.S. Soil Conservation Service (now the Natural Resources Conservation Service), 1971; United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey; and Ordinance No. 625 (An Ordinance of the County of Riverside Providing a Nuisance Defense for Certain Agricultural Activities, Operations, and Facilities and Providing Public Notification Thereof).*

Findings of Fact:

- a) *Would the Project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?*

Less Than Significant Impact

According to the State Department of Conservation-Farmland Mapping and Monitoring Program (DOC-FMMP) website, the "Important Farmland Finder" website, and *Map My County*, the Project site has not been mapped by the State DOC, and thus is not officially designated as "Farmland". However, the land immediately north of the site, across Apple Canyon Road, is classified as Unique Farmland but is not actively being farmed at this time. No other designated Farmland has been mapped on the surrounding lands by the DOC. Additionally, most of the Project site and surrounding lands have open space rural, open space recreation, and open space conservation habitat land use designations in the County's Riverside Extended Mountains Area Plan (REMAP). The Project site and the land east of the site are zoned Light Agriculture (A-1-20), but it does not appear these lands is or has been used for any agricultural production now or in the recent past. A change of zone to Natural Assets (N-A) is proposed which will not affect the number of agricultural uses on the site.

According to the United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey (United States Department of Agriculture Natural Resources

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Conservation Service, 2021), the Project site is underlain by two main soil series as described below:

- **Oak glen-rush families complex, 2 to 15 percent slopes:** A well-drained complex with alluvium parent material. The depth to the restrictive feature and water table is more than 80 inches. Approximately 80 percent of the site is underlain by this soil found in the flatter areas and natural drainage channel on the site.
- **Oak Glen-Morical, very deep families complex, 2 to 30 percent slopes:** A well- drained complex with alluvium parent material. The depth to the water table is more than 80 inches. Approximately 20 percent of the site is underlain by this soil found in the steeper (southwest) portion on the site.

The NRCS considers “prime” agricultural soils to be those that have an agricultural suitability of Class I or II when irrigated. The onsite soil groups have agricultural suitability ratings of Class III-IV so neither are considered “prime” agricultural soils by the NRCS (SCS 1971).

Implementation of the proposed Project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. While there are Unique Farmlands north of the site, they will not be affected by the proposed Project so its impacts will be less than significant, and no mitigation is required.

b) Would the Project conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

Less Than Significant Impact

The current General Plan Land Use Designation for the Project site is Open Space Rural while the existing zoning designation for the site is Light Agriculture – 20-acre minimum lot size (A-1-20). The proposed zoning for the entire site is Natural Assets (N-A). The zoning and General Plan land use designations for lands within the Project area are shown in **Table 4-1, Land Use and Zoning Designations of the Project Area**. The land east of the Project site is also zoned Light Agriculture (A-1-10), but it does not appear the land is being used for any agricultural production, at this time.

**Table 4-1
Land Use and Zoning Designations of the Project Area**

Location/ Direction	General Plan Land Use Designation	County Zoning	Existing Land Uses
Project Site Existing Proposed	Open Space – Rural Open Space – Recreation	Light Agriculture (A-1-20) Natural Assets (N-A)	Agriculture & Vacant Guest Ranch
North	Open Space – Conservation Habitat	Natural Assets (N-A-160)	Hurkey Creek Park and Camp Ronald McDonald
South	Open Space – Rural Open Space – Recreation	Natural Assets (N-A-160)	Lake Hemet and Vacant Land
East	Open Space - Rural	Light Agriculture (A-1-20)	Vacant Land
West	Open Space – Conservation Habitat	Natural Assets (N-A-160)	Vacant Land

Sources: Map My County, REMAP land use mapping, GoogleEarth, Project Plans (**Appendix K**)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Project applicant has already planted 100 fruit trees in the eastern portion of the site in the area of the site plan designated for agriculture. The Project application materials indicate the following regarding agriculture:

“Sustainability at its core, an important aspect of the ranch is to be agriculturally focus and to use 2 acres of the existing agriculture area to tend to permaculture. The vegan and health focused menu has been created with the cycle of the seasons in mind. We have worked with the local community (Idyllwild Nursery Gardens) to get the land ready and tilled for its first harvest which occurred this August. We planted 100 fruit trees in May, creating the meditation maze near the sacred Owl Tree. The plan is to also welcome a local beekeeper onsite next Spring. The Ridge’s intention is to provide farm to table organic food to its guests. The agricultural is considered as an important educational aspect of the project.

The site’s compost station will be located nearby and seen as well as an educational part of the project.

We will be coordinating with the Agriculture Degree Program at College of the Desert to create a paid internship that allows students to practice on-site skills. Palm Desert offers many locations for students to work with ornamental plants and turfgrass, but it is limited in its opportunities to learn about sustainable farming. The Ridge would be a haven where students can get hands-on experience composting, growing produce from seeds and working in connection with the land. Mountain Center’s mild climate offers a unique chance to learn about plants that are much more challenging to grow in Palm Desert.”

According to the application materials, the Project proposes to install and operate a number of agricultural and related activities on the site, but it is not anticipated these activities will have a substantial effect on agricultural production at the County level. The proposed Natural Assets (N-A) zoning would allow the guest ranch to be permitted since it would be similar in character and intensity to other uses permitted in the zone. The proposed facilities will be consistent with the proposed zoning and General Plan land use designations for the site. However, it is clear agricultural activities will be supported on the site as the Project is implemented. Therefore, implementation of the proposed Project will not conflict with existing agricultural zoning or agricultural use. Impacts will be less than significant, and no mitigation is required.

The Project site is not subject to a Williamson Act contract, and it is not within a Riverside County Agriculture Preserve. No impacts will occur.

- c) *Would the Project cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 “Right-to-Farm”)?*

Less Than Significant Impact

As discussed under Threshold 4.b above, the land adjacent to the Project to the east is zoned Light Agriculture (A-1-20) but it does not appear the land is being used for any agricultural production at this time. The Project would increase human activity on the site which would result in incremental increases in area traffic, noise, etc., but there are no active agricultural properties within 300 feet of the Project site. Also as discussed under Threshold 4.b, the Project will have an agricultural orientation and have a number of low intensity agricultural activities onsite.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based on the analysis above, the Project would introduce some low intensity activities (i.e., non-agricultural uses) within 300 feet of agriculturally zoned property to the east as they relate to Ordinance No. 625 (“Right-to-Farm”). However, the nature of the proposed use indicates that any impacts would be less than significant, and no mitigation is required.

d) *Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?*

Less Than Significant Impact

As discussed under Thresholds 4.b and 4.c, the Project proposes to develop new structures and repurpose the site into a Guest Ranch but with a number of supporting low intensity agricultural-related activities. The Project would increase human activity on the site which would result in incremental increases in area traffic, noise, etc.

There are no farms or active farmland in the surrounding area so it is unlikely that implementation of the proposed Project will involve changes in the existing environment which could result in conversion of farmland to non-agricultural use. Any impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County (Appendix A); Figure 4, Aerial Photo*, provided in Section I of this IS; California Department of Forestry and Fire Protection (CALFIRE), Fire and Resource Assessment Program (FRAP) website; and Google Maps.

Findings of Fact:

a) *Would the Project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?*

No Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Public Resources Code Section 12220(g) identifies forest land as:

“Land that can support 10-percent native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits.”

The Project site does contain a number of pine trees, mainly in the northern section of the site and along the eastern bank of Hurkey Creek. In addition, the Project site is adjacent to land managed by the U.S. Forest Service (USFS) and within the San Bernardino National Forest to the north and east. The area is somewhat mountainous and is generally considered to be forest land. However, the Project site and surrounding properties are not currently defined, zoned, managed, or used for forest land as identified in Public Resources Code Section 12220(g) in that trees have not been and are not planned to be harvested from this site or immediate surrounding area. In addition, the CALFIRE Fire and Resource Assessment Program (FRAP) website mapping does not indicate the Project area contains any identified or specific forest resources although it is adjacent to USFS land. Therefore, no impacts will occur from Project development, and no mitigation is required.

b) *Would the Project result in the loss of forest land or conversion of forest land to non-forest use?*

No Impact

As discussed in Threshold 5.a, the USFS manages lands to the north and east of the site as part of the San Bernardino National Forest. However, there are no active timber harvesting or forest-related management activities presently occurring on or adjacent to the Project site. Therefore, the Project will not result in any loss of forest land or conversion of forest land to non-forest use. No impacts will occur from Project development, and no mitigation is required.

c) *Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?*

No Impact

As discussed in Thresholds 5.a and 5.b, the Project site and surrounding areas do contain trees, but the area is not being managed or harvested as part of any identified forest resources or plan. Therefore, the Project would not result in any changes in the existing environment which could result in conversion of forest land to non-forest use. Therefore, no impacts will occur from Project development, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

AIR QUALITY Would the Project:

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
attainment under an applicable federal or state ambient air quality standard?				
c) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Ranch Air Quality and Greenhouse Gas Assessment, County of Riverside, prepared by Urban Crossroads, 11-19-2021 (AQ/GHG Study, Appendix B).*

Note: Any tables or figures in this section are from the *AQ/GHG Study*, unless otherwise noted.

Findings of Fact:

a) *Would the Project conflict with or obstruct implementation of the applicable air quality plan?*

Less Than Significant Impact

CEQA requires a discussion of any inconsistencies between a proposed Project and applicable General Plans and Regional Plans (CEQA Guidelines Section 15125). The regional plan that applies to the proposed Project includes the South Coast Air Quality Management District’s (SCAQMD) - Air Quality Management Plan (AQMP). Therefore, this section discusses any potential inconsistencies between the proposed Project and the referenced AQMP.

The purpose of this discussion is to set forth the issues regarding consistency with the assumptions and objectives of the AQMP and to analyze whether the proposed Project would interfere with the region’s ability to comply with Federal and State air quality standards. If the decision-makers determine that the proposed Project is inconsistent, the lead agency may consider project modifications or inclusion of mitigation measures to eliminate the inconsistency.

The SCAQMD CEQA Handbook states:

"New or amended General Plan Elements (including land use zoning and density amendments), Specific Plans, and significant Projects must be analyzed for consistency with the AQMP".

Strict consistency with all aspects of the AQMP is usually not required. A project should be considered consistent with the AQMP if it furthers one or more policies and does not obstruct other policies.

The SCAQMD CEQA Handbook identifies two key indicators of consistency:

1. Whether the project will result in an increase in the frequency or severity of existing air quality violations or cause or contribute to new violations or delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP; and
2. Whether the project will exceed the assumptions in the AQMP in 2016 or increments based on the year of project buildout and phase.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Criterion 1 - Increase in the Frequency or Severity of Violations

The results of the short-term construction emission levels and long-term operational emission levels show that the Project would not result in significant impacts based on the SCAQMD regional and local thresholds of significance. Therefore, the proposed Project would not contribute to the exceedance of an air pollutant concentration standard and is found to be consistent with the AQMP for the first criterion.

Criterion 2 - Exceed Assumptions in the AQMP

Consistency with the AQMP assumptions is determined by performing an analysis of the proposed Project with the assumptions in the AQMP. The emphasis of this criterion is to ensure that the analyses conducted for the proposed Project are based on the same forecasts as the AQMP.

The 2016-2040 Regional Transportation/Sustainable Communities Strategy, prepared by the Southern California Association of Governments (SCAG) in 2016, includes chapters on the following issues:

- Challenges in a Changing Region;
- Creating a plan for our future; and
- The Road to Greater Mobility and Sustainable Growth.

These chapters currently respond directly to federal and state requirements placed on SCAG. Local governments are required to use these as the basis of their plans for purposes of consistency with applicable regional plans under CEQA.

The Project will provide a “recreation and education-based healing ranch with 36 guest accommodations with the main goal of providing guests the opportunity to reconnect with nature”. The Project would construct 30 guest rooms and 6 guest tents with up to 31,331 square feet of new one-story buildings including a common area building with a lounge, kitchen and dining area, a greenhouse, an activity hub center, a wellness “basecamp” facility, and an administration and storage building. The site is designated for open space and agricultural uses but the low scale development (i.e., one-story buildings) and low intensity of uses on the site indicates that any increase in the amount of operational emissions, beyond what was previously anticipated for the site, is considered less than significant, as outlined in the regional and local emissions analysis in Threshold 6.b. As a result, the Project will not significantly increase emissions compared to what is currently allowed and projected in the AQMP for this region. Therefore, the Project is found to be consistent with the AQMP for the second criterion.

Based on the analysis above, the Project will not conflict with, or obstruct implementation of the applicable air quality plan. Any impacts will be less than significant, and no mitigation is required.

b) Would the Project result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard?

Less Than Significant Impact

The Project site is located in the South Coast Air Basin. It is noted, state and federal air quality

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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standards are often exceeded in many parts of the SCAB. **Table 6-1, South Coast Air Basin Attainment Status**, lists the attainment status for the criteria pollutants in the South Coast Air Basin (SCAB).

**Table 6-1
South Coast Air Basin Attainment Status¹**

Pollutant	State Status	National Status
Ozone	Nonattainment	Nonattainment (Extreme) ²
Carbon monoxide	Attainment	Attainment (Maintenance)
Nitrogen dioxide	Attainment	Attainment (Maintenance)
PM ₁₀	Nonattainment	Attainment (Maintenance)
PM _{2.5}	Nonattainment	Nonattainment
Lead	Attainment	Nonattainment (Partial) ³

¹ Taken from California Air Resources Board <http://www.arb.ca.gov/desig/adm/adm.htm>

² 8-Hour Ozone

³ Partial Nonattainment designation – Los Angeles County portion of Basin only

A discussion of the Project’s potential short-term construction impacts, and long-term operational impacts is provided below.

Construction Emissions

The following section analyzes the proposed Project’s short-term construction emissions for the criteria pollutants. Due to the low amount and intensity of uses proposed, construction is anticipated to take approximately one year and could begin as early as spring 2023. As worst-case assumption, the *AQ/GHG Study* assumed the entire site would be graded but, due to the low intensity one-story proposed buildings, grading is actually expected to be minimal and balanced onsite. It should be noted the air quality study was prepared in 2021 when the Project was first contemplated so the *AQ/GHG Study* used the 2020.4.0 version of the California Emissions Estimator Model (CalEEMod) which was the most current at that time. The parameters used to estimate construction emissions, such as the type of equipment, worker and vendor trips and trip lengths, etc. utilize the CalEEMod defaults. The CalEEMod default construction equipment list is shown in **Table 6-2, Construction Equipment Assumptions Phase**.

Potentially Significant Impact Less than Significant with Mitigation Incorporated Less Than Significant Impact No Impact

**Table 6-2
Construction Equipment Assumptions Phase¹**

Phase	Equipment	Amount	Hours Per Day ¹	Soil Disturbance Rate (Acres/8hr-Day) ²	Equipment Daily Disturbance Footprint (Acres)	Total Phase Daily Disturbance Footprint (Acres)
Site Preparation	Rubber Tired Dozers	3	8	0.5	1.5	2.0
	Tractors/Loaders/Backhoes	4	8	0.5	2.0	
Grading	Excavators	2	8	0.0	0.0	2.0
	Graders	1	8	0.5	0.5	
	Rubber Tired Dozers	1	8	0.5	0.5	
	Scrapers	2	8	1.0	2.0	
	Tractors/Loaders/Backhoes	2	8	0.5	1.0	
Building Construction	Cranes	1	7	0.0	0.0	1.3
	Forklifts	3	8	0.0	0.0	
	Generator Sets	1	8	0.0	0.0	
	Tractors/Loaders/Backhoes	3	7	0.5	1.3	
	Welders	1	8	0.0	0.0	
Paving	Pavers	2	8	0.0	0.0	0.0
	Paving Equipment	2	8	0.0	0.0	
	Rollers	2	8	0.0	0.0	
Architectural Coating	Air Compressors	1	6	0.0	0.0	0.0

¹ CalEEMod Defaults.

² Soil disturbance rates are based on the SCAQMD Fact Sheet for Applying CalEEMod to Localized Significance Thresholds.

The quantity of fugitive dust estimated by CalEEMod is based on the pieces of equipment used during and grading. CalEEMod estimates the worst-case fugitive dust impacts will occur during the grading phase. The maximum daily disturbance footprint would be 5.0 acres per 8-hour day with all equipment in use.

Air Quality Regional Significance Thresholds

The SCAQMD has established air quality emissions thresholds for criteria air pollutants for the purposes of determining whether a project may have a significant effect on the environment per Section 15002(g) of the State CEQA Guidelines. By complying with the thresholds of significance,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the Project would be in compliance with the SCAQMD Air Quality Management Plan (AQMP) and the federal and state air quality standards.

Table 6-3, SCAQMD Regional Significance Thresholds, lists the air quality significance thresholds for the six criteria air pollutants analyzed in this section. Lead is not included as part of this analysis as the Project is not expected to emit lead in any significant measurable quantity.

**Table 6-3
SCAQMD Regional Significance Thresholds**

Pollutant	Construction (lbs./day)	Operation (lbs./day)
NO _x	100	55
VOC	75	55
PM ₁₀	150	150
PM _{2.5}	55	55
SO _x	150	150
CO	550	550

Regional Air Quality Impacts from Construction

Regional air quality emissions include both on-site and off-site emissions associated with construction of the Project. Regional daily emissions of criteria pollutants are compared to the SCAQMD regional thresholds of significance. The Project must follow all standard SCAQMD rules and requirements with regards to fugitive dust control, as well as other construction-related emissions. Implementation of these standard requirements is considered regulatory compliance and not unique mitigation under CEQA.

Table 6-4, Regional Construction Emissions shows that the Project’s daily construction emissions will be below the applicable SCAQMD regional air quality standards and thresholds of significance. As a result, the Project would not contribute substantially to an existing or projected air quality violation. Furthermore, by complying with the SCAQMD standards, the Project would not contribute to a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table 6-4
Regional Construction Emissions**

Maximum Daily Emissions (lbs./day) ¹						
Project Emissions	VOC	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
Maximum ¹	11.67	87.04	78.17	0.21	30.40	17.29
SCAQMD Threshold	75.0	100.0	550.0	150.0	150.0	55.0
Exceeds Threshold (?)	No	No	No	No	No	No

¹ Maximum daily emissions during summer or winter; includes both on-site and off-site Project emissions.

As shown in **Table 6-4**, regional construction daily emissions of criteria pollutants are expected to be below the allowable thresholds of significance for all criteria pollutants. Therefore, Project impacts would be less than significant.

Operational Emissions

Operational emissions occur over the life of the Project and are considered “long-term” sources of emissions. Operational emissions include both direct and indirect sources (mobile source emissions, energy source emissions, areas source emissions and other source emissions). Operational activities associated with the proposed Project will result in emissions of volatile organic compounds (VOC), nitrogen oxide (NO_x), carbon (CO), oxides of sulfur (SO_x), respirable particulate matter (PM₁₀), and fine particulate matter (PM_{2.5}). Operational emissions would be expected from the following primary sources:

- Mobile Source Emissions;
- Area Source Emissions; and
- Energy Source Emissions.

Mobile source emissions are from motor vehicles and are the largest single long-term source of air pollutants from the operation of the Project. Emissions are also generated from *area sources* such as the consumption of natural gas for heating and architectural coatings (painting). *Energy source emissions* typically occur off-site at a power plant and are considered an indirect source of emissions.

Long-term operational air pollutant impacts from the Project are shown in **Table 6-5, Regional Operational Emissions**.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table 6-5
Regional Operational Emissions**

Maximum Daily Emissions (lbs./day) ¹						
Project Emissions	VOC	NO _x	CO	SO ₂	PM ₁₀	PM _{2.5}
Maximum ¹	1.79	1.86	9.03	0.02	1.83	0.53
SCAQMD Threshold	55.0	55.0	550.0	150.0	150.0	55.0
Exceeds Threshold (?)	No	No	No	No	No	No

¹ Maximum daily emissions during summer or winter from area, energy, and mobile sources.

The maximum daily emissions analyzed in **Table 6-5** include both on-site and off-site Project emissions. The Project's daily operational emissions will be below the applicable SCAQMD regional air quality standards and thresholds of significance, and the Project would not contribute substantially to an existing or projected air quality violation.

With adherence to standard County conditions and compliance with applicable SCAQMD rules, the Project will not result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard. Implementation of these standard requirements is considered regulatory compliance and not unique mitigation under CEQA. Any impacts will be less than significant, and no mitigation is required.

c) *Would the Project expose sensitive receptors, which are located within one (1) mile of the Project site, to substantial pollutant concentrations?*

Less Than Significant Impact

Localized Construction Analysis Modeling Parameters

CalEEMod calculates construction emissions based on the number of equipment hours and the maximum daily disturbance activity possible for each piece of equipment. The following Project parameters were assumed in order to compare CalEEMod reported emissions against the localized significance threshold lookup tables:

- The off-road equipment list (including type of equipment, horsepower, and hours of operation) assumed for the day of construction activity with maximum emissions.
- The maximum number of acres disturbed on the peak day.
- Any emission control devices added onto off-road equipment.
- Specific dust suppression techniques used on the day of construction activity with maximum emissions.

Air quality emissions were analyzed using the SCAQMD's Mass Rate Localized Significant Threshold (LST) Look-up Tables. **Table 6-6, SCAQMD Localized Significance Thresholds (LST)**, lists the Localized Significance Thresholds (LST) used to determine whether a project may generate significant adverse localized air quality impacts. LSTs represent the maximum emissions from a project that are not expected to cause or contribute to an exceedance of the most stringent

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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applicable federal or state ambient air quality standard. LSTs are developed based on the ambient concentrations of four applicable air pollutants for source receptor area (SRA) 28 – Hemet/San Jacinto Valley.

The nearest existing sensitive receptor is a single-family caretaker residence 732 feet to the northwest of the proposed development area. In addition, the maximum amount of land that would be graded in a day would be 2 acres. Therefore, the Project is assumed to grade 2 acres per day with the minimum distance to the nearest sensitive receptor to be 200 meters and the closest sensitive receptor to the site is actually 732 feet which is farther or more conservative than the 200-meter (656 feet) threshold. **Table 6-7, Localized Construction Emissions**, illustrates the construction related localized emissions and compares the results to SCAQMD LST thresholds.

**Table 6-6
SCAQMD Localized Significance Thresholds¹ (LST)**

Pollutant	Construction (lbs./day)	Operational (lbs./day)
NO _x	521.0	521.0
CO	6,399.0	6,399.0
PM ₁₀	75.0	18.0
PM _{2.5}	23.0	6.0

¹ SCAQMD Mass Rate Localized Significance Thresholds for 2-acre site in SRA-28 at 200 meters.

**Table 6-7
Localized Construction Emissions**

Maximum Daily Emissions (lbs./day) ¹				
Activity	NO _x	CO	PM ₁₀	PM _{2.5}
On-site Emissions	87.04	78.17	30.40	17.29
SCAQMD Construction Threshold ²	521.0	6,399.0	75.0	23.0
Exceeds Threshold (?)	No	No	No	No

¹ Maximum daily emissions during summer or winter.

² Reference LST thresholds are from 2006-2008 SCAQMD Mass rate Localized Significant Thresholds for construction and operation. Source Receptor Area 28 (Hemet/San Jacinto Valley), 5-acre site, receptor distance 25 meters.

As shown in **Table 6-7**, the emissions will be below the SCAQMD thresholds of significance for localized construction emissions. The Project must follow all SCAQMD rules and requirements with regards to fugitive dust control, as well as other construction-related emissions. Implementation of these standard requirements is considered regulatory compliance and not unique mitigation under CEQA. Therefore, the Project's short-term construction impacts on localized air resources are less than significant and no mitigation is required.

Diesel Particulate Matter – Construction

The greatest potential for toxic air contaminant emissions from the Project would be related to diesel particulate matter (DPM) emissions associated with heavy diesel equipment used during

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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construction. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of “individual cancer risk”. “Individual Cancer Risk” is the likelihood that a person exposed to concentrations of toxic air contaminants over a 30-year lifetime will contract cancer, based on the use of standard risk-assessment methodology.

As shown in **Table 6-5, Regional Construction Emissions**, and in **Table 6-7, Localized Construction Emissions**, construction-based particulate matter (PM) emissions (including diesel exhaust emissions) do not exceed regional or local thresholds. Given the short-term construction schedule, the proposed Project’s construction activity is not expected to be a long-term (i.e., 30 years) substantial source of toxic air contaminant emissions and corresponding individual cancer risk and a health risk assessment is not warranted.

In September 2000, the CARB adopted the Diesel Risk Reduction Plan, which recommends several control measures to reduce the risks associated with DPM. The key elements of the Plan are to clean up existing engines through engine retrofit emission control devices, to adopt stringent standards for new diesel engines, to lower the sulfur content of diesel fuel, and implement advanced technology emission control devices on diesel engines.

The Project must follow County standard conditions and applicable SCAQMD rules and requirements which will help minimize fugitive dust, DPM, and other construction-related emissions. Implementation of these standard requirements is considered regulatory compliance and not unique mitigation under CEQA. Any impacts would be less than significant, and no mitigation is required.

Asbestos - Construction

Asbestos is a mineral fiber that has been used commonly in a variety of building construction materials for insulation and as a fire-retardant. When asbestos-containing materials are damaged or disturbed by repair, remodeling or demolition activities, microscopic fibers become airborne and can be inhaled into the lungs, where they can cause significant health problems. No structures are proposed to be demolished as part of the proposed Project.

Based on the California Division of Mines and Geology General Location Guide for Ultramafic Rocks in California - Areas More Likely to Contain Naturally Occurring Asbestos, naturally occurring asbestos, found in serpentine and ultramafic rock, has not been shown to occur within in the vicinity of the Project site. Therefore, the potential risk for naturally occurring asbestos (NOA) during Project construction is small. However, in the event NOA is found on the site, the Project will be required to comply with the National Emission Standards for Hazardous Air Pollutants (NESHAP) standards. An Asbestos NESHAP Notification Form shall be completed and submitted to the CARB immediately upon discovery of the contaminant.

The Project site is vacant and contains no buildings so there is no potential for human-related asbestos-containing materials (ACMs) to be present. Therefore, any impacts will be less than significant, and no mitigation is required.

Construction Traffic

Construction traffic is evaluated with regards to air pollutant emissions. Construction traffic is expected to be heaviest during the grading phase of the Project, but earthwork is expected to be balanced onsite (see Grading under the Project Description). As shown in **Table 6-5**, compliance

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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with County and SCAQMD requirements will reduce potential emissions associated with on-site and off-site construction traffic to below the applicable thresholds as set forth by the State of California and the SCAQMD.

Localized Operational Emissions

Project-related air emissions from on-site sources such as architectural coatings, landscaping equipment, on-site usage of natural gas (propane) appliances as well as the operation of vehicles on-site may have the potential to exceed the State and Federal air quality standards in the Project vicinity, even though these pollutant emissions may not be significant enough to create a regional impact to the Air Basin. The nearest sensitive receptor is 732 feet to the northwest of the proposed development area on the site.

According to SCAQMD LST methodology, LSTs would apply to the operational phase of a project if the Project includes stationary sources or attracts mobile sources such as heavy-duty trucks that may spend long periods queuing and idling at the site such as industrial warehouse/transfer facilities. The proposed Project is a low intensity “institutional” type use which does not include such on-site emissions sources, and due the lack of stationary source emissions, a long-term localized significance threshold analysis is not typically required for this type of development project. However, **Table 6-8, Localized Operational Emissions** shows the localized operational emissions and compares the results to SCAQMD LST thresholds of significance.

**Table 6-8
Localized Operational Emissions**

Maximum Daily Emissions (lbs./day) ¹				
LST Pollutants	NOx	CO	PM ₁₀	PM _{2.5}
On-site Emissions ¹	1.86	9.03	1.83	0.53
SCAQMD Operation Threshold ²	521.0	6,399.0	18.0	6.0
Exceeds Threshold (?)	No	No	No	No

¹ Maximum daily emissions during summer or winter.

² Mobile source emissions include on-site vehicle emissions only (such as vehicle idling and circulating in the parking lot). It is estimated that approximately 5% of mobile emissions will occur on the Project site.

³ Reference: 2006-2008 SCAQMD Mass Rate Localized Significant Thresholds for construction and operation Table C-1 through C-6; SRA 28, Hemet/San Jacinto Valley disturbance area of 2acres and receptor distance of 200 meters.

As shown in **Table 6-8**, emissions will be below the SCAQMD thresholds of significance for localized operational emissions. The Project will result in less than significant localized operational emissions impacts.

Health Impacts

The Project is not expected to generate significant levels of NOx that would persist over the life of the Project and exceed the maximum daily emissions limits set by SCAQMD. By exceeding the SCAQMD regional threshold, the impact is considered cumulatively significant and would contribute to ozone formation, a criteria pollutant for which SCAQMD is nonattainment. While the project would not solely result in the exceedance of an AAQS, potential adverse health impacts associated with increased exposure to pollutant concentrations may occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NO_x includes a group of highly reactive gases known as the oxides of nitrogen, and while all of these gases are harmful to human health and the environment, of the greatest concern is Nitrogen Dioxide (NO₂). NO₂ is typically used as the indicator for the larger group of NO_x.

Breathing air with a high concentration of NO₂ can irritate airways in the human respiratory system. Such exposures over short periods can aggravate respiratory diseases, particularly asthma, leading to respiratory symptoms (such as coughing, wheezing or difficulty breathing), hospital admissions and visits to emergency rooms. Longer exposures to elevated concentrations of NO₂ may contribute to the development of asthma and potentially increase susceptibility to respiratory infections. People with asthma, as well as children and the elderly are generally at greater risk for the health effects of NO₂. NO_x also reacts with ammonia, moisture, and other compounds to form small particles that can penetrate deeply into sensitive parts of the lungs.

In addition, NO_x reacts with volatile organic compounds to form ground-level ozone. Breathing ground-level ozone can result in a number of health effects that are observed in broad segments of the population. Some of these effects include induction of respiratory symptoms, decrements in lung function, and inflammation of airways. Respiratory symptoms from ozone exposure can include coughing, throat irritation, pain, burning, or discomfort in the chest when taking a deep breath, chest tightness, wheezing, or shortness of breath. In addition to these effects, evidence from observational studies strongly indicates that higher daily ozone concentrations are associated with increased asthma attacks, increased hospital admissions, increased daily mortality, and other markers of morbidity.

SCAQMD, as cited in the Brief of Amicus Curiae to the Supreme Court of California in the Friant Ranch Case, (April 6, 2015), states that, with regards to analysis of air quality related health impacts, EIRs must generally quantify a project's pollutant emissions, but in some cases, it is not feasible to correlate these emissions to specific, quantifiable health impacts (e.g., premature mortality; hospital emissions).

Therefore, given the current limitations of quantifying health risks from NO_x, a quantifiable risk assessment has not been performed.

Conclusion

Based on the analysis above, with adherence to County standard conditions of approval and applicable SCAQMD Rules, the proposed Project will not expose sensitive receptors to substantial pollutant concentrations either during construction or operation. Any impacts will be less than significant, and no mitigation is required.

d) Would the Project result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

Less Than Significant Impact

According to the CEQA Air Quality Handbook, land uses associated with odor complaints include agricultural operations, wastewater treatment plants, landfills, and certain industrial operations (such as manufacturing uses that produce chemicals, paper, etc.). Odors are typically associated with industrial projects involving the use of chemicals, solvents, petroleum products, and other

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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strong-smelling elements used in manufacturing processes, as well as sewage treatment facilities and landfills.

Heavy-duty equipment in the Project area during construction will emit odors; however, the construction activity would cease to occur after individual construction is completed. The Project is required to comply with Rule 402 during construction, which states that a person shall not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property. Rule 402 shall be implemented as a standard condition and is not considered unique mitigation under CEQA. Any construction odors will be less than significant.

Land uses that commonly receive odor complaints include agricultural uses (farming and livestock), chemical plants, composting operations, dairies, fiberglass molding facilities, food processing plants, landfills, refineries, rail yards, and wastewater treatment plants. The Project is located within a rural community and any odors emitting agricultural activities would be limited and consistent with the surrounding uses and environment. The Project does not propose any land uses that would typically be associated with significant odor emissions.

The Project will be required to comply with standard building code requirements related to exhaust ventilation, as well as comply with SCAQMD Rule 402 which states that a person may not discharge from any source whatsoever such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property. Project related odors are not expected to meet the criteria of being a nuisance. Any operational impacts will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

BIOLOGICAL RESOURCES Would the Project:

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Preliminary Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis, The Ridge Wellness, Inc., Mountain Center, prepared by Searl Biological, 12-17-2021 (MSHCP Analysis, Appendix C); and Ordinance No. 810.2 (An Ordinance of the County of Riverside Amending Ordinance No. 810 to Establish the Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee).*

Note: Any tables or figures in this section are from the *MSHCP Analysis* unless otherwise noted.

Findings of Fact:

- a) *Would the Project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?*

Less Than Significant with Mitigation Incorporated

The Project proposes to amend the site’s land use designation from Open Space: Rural (OS: RUR) to Open Space: Recreation (OS: R) and change its zoning classification of A-1-20 to Natural Assets (N-A). The Project proposes the operation of an eco-conscious private guest ranch on approximately 36 gross acres with guest cabins and guest tents, wellness cabins, wellness basecamp, activity hub and lap pool, dining area, health focused commercial kitchen, working greenhouse, apiary and fruit trees will contribute to a fully sustainable facility for guests to use and enjoy within the natural setting of the property. According to **Table 1** in this IS/MND, approximately 32.6 acres of the site (almost 90 percent) will remain as natural open space. The Project will retain all the natural vegetation and all the existing large pine trees on the site. The ranch will offer a variety of self-development therapies and recreational activities. Recreational activities available to the guests will include but not limited to hiking, mountain biking, horseback riding, rock climbing, and water activities at Lake Hemet. In addition, guests will be able to participate in cultural and environmental educational activities as part of the experience at the ranch.

The Project site is located in Garner Valley in unincorporated Riverside County, approximately 3.5 miles southeast of Mountain Center and approximately 5.3 miles south of the town of Idyllwild. The

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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site address is 56475 Apple Canyon Road, east of the Pines to Palms Highway 74 (Hwy 74) and Apple Canyon Road intersection. The site is located immediately south of the County-operated Hurkey Creek Park and Hurkey Creek crosses the center portion of the Project site in a north-south direction.

The Project site supports a number of native and non-native vegetation associations, as shown in **Table 7-1, Local Vegetation** and **Figure 7-1, Local Vegetation**. Approximately 16.6 acres or 44 percent of the site is covered by disturbed land, bare ground or ruderal land (weedy with non-native grasses) and the remaining 21.4 acres or 56 percent of the site supports the following native plant associations:

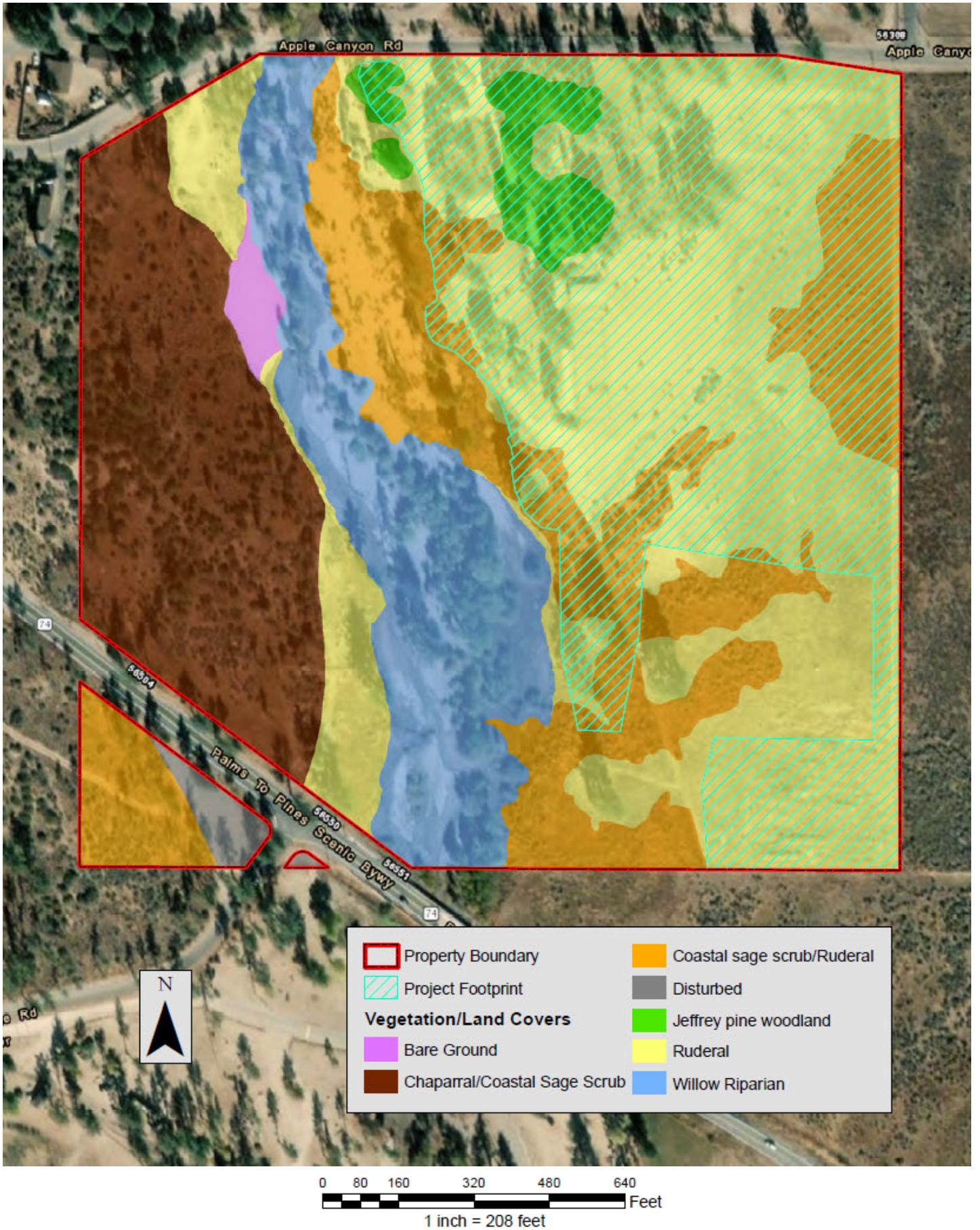
- **Chaparral/Coastal Sage Scrub:** This community is present in the western portion of the Property and consisted primarily of a mix of pointleaf manzanita (*Arctostaphylos pungens*) and Great Basin sage (*Artemisia tridentata*).
- **Coastal Sage Scrub/Ruderal:** This community is a mix of Great Basin sage and cheat grass (*Bromus tectorum*). The understory consisted of dense non-native annual grasses and forbs with cheat grass dominant, and associate species. Species include both native plants as well as introduced non-native species.
- **Jeffrey Pine Woodland:** Jeffrey pine woodland consisted of areas where three or more Jeffrey pines were present with an interconnect canopy. This was present in the northern portion of the Property. Numerous Jeffrey pines were present throughout the Property but were scattered and typically occurred as a single tree or two trees. Also, numerous snag Jeffrey pines were also present and were more common near Hurkey Creek. The understory primarily consisted of bastard sage, Great Basin sage, cheat grass, and scarlet bugler.
- **Willow Riparian:** This riparian community was present along Hurkey Creek with arroyo willow (*Salix lasiolepis*), red willow (*Salix laevigata*), and arroyo/red willow hybrids dominant. Narrow-leaved willow (*Salix exigua*) is also common throughout this area. Much of the willow associated with the bed and bank of Hurkey Creek was in recovery due to recent storm flows that appeared to have washed out much of the perennial vegetation.

**Table 7-1
Local Vegetation**

Vegetation/ Land Cover	Total Site	Disturbed by Project	Remaining Undisturbed
Ruderal/Disturbed ¹	16.62	11.70	4.92
Chaparral/Coastal Sage Scrub	6.41	0.00	6.41
Coastal Sage Scrub/Ruderal	8.34	3.21	5.13
Jeffrey Pine Woodland	1.11	1.00	0.11
Willow Riparian (Hurkey Creek)	5.49	0.00	5.49
TOTAL	37.97	15.91	22.06
Percent	100%	41.90	58.10

¹ includes bare ground (see Figure 7-1)

**FIGURE 7-1
Local Vegetation**



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Project site is within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) which is a comprehensive, multi-jurisdictional Habitat Conservation Plan focusing on conservation of species and their associated habitats in Western Riverside County. An *MSHCP Analysis* was prepared to determine if the proposed Project is consistent with the goals and objectives of the MSHCP and what, if any, measures the Project would need to implement to achieve that consistency.

The site is located in the southeastern portion of the Riverside Extended Mountain Area Plan (REMAP) which extends east outside the boundary of the MSHCP. However, the Project site is within the MSHCP boundary. The site is not located within any MSHCP Sub Unit or a Criteria Cell, and therefore, was not targeted for Additional Reserve Lands (ARL) within the MSHCP. Further, a Reserve Assembly Analysis was not required for the Project since Criteria Cell 5275 is the nearest to the Project site approximately 5.7 miles to the southwest. Regardless, the MSHCP does require the potential for any vernal pool or riparian/riverine area to also be evaluated, as well as any focused survey requirements. One onsite feature, Hurkey Creek, meets the criteria of an MSHCP Section 6.1.2 Riparian/Riverine Area, but the Project will avoid impacts to this area. Finally, the site is located within an assessment area for Native Endemic Plant Species (NEPS).

The following sub-sections discuss the portions/requirements of the MSHCP applicable to the proposed Project.

Covered Roads and Facilities

According to the MSHCP, the Project site and immediate surrounding area do not entail the construction of, or improvements to, a Covered Public Access Facility.

MSHCP Reserve Assembly Analysis

The MSHCP is a criteria-based plan developed by the County and resource agencies to protect listed, sensitive, or otherwise important biological species and their habitats within this portion of the County. A Conceptual Reserve Design was developed for each County Area Plan based on vegetation, species occurrence, and other criteria. Quarter-section “criteria cells” of 160 acres each were identified based on important resources. The cells were either aggregated into a Criteria Cell Group or retained as individual Criteria Cells based upon the level of conservation they provided. Criteria Cells have identification numbers, and each Criteria Cell Group has a letter code. The MSHCP identifies specific conservation criteria for each Criteria Cell or Criteria Cell Group to provide an explicit description of the areas to be targeted for conservation. Consistent with the MSHCP, the *MSHCP Analysis* determined that a Reserve Assembly Analysis was not needed because the site does not impact any Criteria Cells and thus no Additional Reserve Land (ARL) is involved. Therefore, the development portion of the Project site does not need to be preserved within the ARL to comply with the MSHCP. For additional information, see Section 3 of the *MSHCP Analysis*.

Public Quasi-Public (PQP) Lands

Though the Project is located immediately south and east of U.S. Forest Service (USFS) land, it will not directly or indirectly impact those PQP Lands. The Project will avoid development in the western half of the Property, including Hurkey Creek, and the PQP Lands to the north include Hurkey Creek Park which is regularly used by people for camping and recreation.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Riparian/Riverine/Vernal Pool Resources (MSHCP Section 6.1.2)

This section of the MSHCP requires a habitat assessment for Riparian/Riverine Areas, Vernal Pools, three fairy shrimp species; 1) Riverside fairy shrimp (*Streptocephalus woottoni*) (RFS), 2) vernal pool fairy shrimp (*Branchinecta lynchi*)(VPFS), and 3) Santa Rosa Plateau fairy shrimp (*Lindleriella santarosae*)(SRPFS), and three bird species; 1) Least Bell’s Vireo (*Vireo bellii pusillus*)(LBV), 2) Southwestern Willow Flycatcher (*Empidonax traillii extimus*) (SWF), and 3) Yellow-billed Cuckoo (*Coccyzus americanus*)(YBC). If the assessment identifies suitable habitat for any of the six-species associated with Riparian/Riverine Areas and Vernal Pools listed above, and the proposed project design does not incorporate avoidance of the identified habitat, focused surveys are required, and avoidance and minimization measures must be implemented in accordance with the MSHCP’s species-specific objectives for these species.

Riparian/Riverine Resources. The *MSHCP Analysis* determined that only one onsite feature, Hurkey Creek, meets the criteria of a Riparian/Riverine Area. The channel contains 8.09 acres of land within the “bed and banks” of the creek, 5.49 acres of riparian habitat with its associated tree canopy, and 0.79 acres within the “Ordinary High Water Mark” (OHWM) of the creek. Hurkey Creek is a large, perennial tributary that discharges into Lake Hemet to the southwest. The creek’s headwaters are located approximately 5.5 miles north of the site near Tahquitz Peak. In 2019, the west-facing slope of the San Jacinto Mountains experienced high volume rain events and the resulting flows caused closure of Hwy 74 for over a year. These flows caused the onsite bed and bank to extend all the way to its 100-year floodplain limits. The creek flows from north to south across the western-central portion of the site. It enters the site via an at-grade “Arizona” crossing on Apple Canyon Road and exits the site before flowing under a bridge at Hwy 74. The riparian community associated with the creek consisted of various species of willow and is shown in **Figure 7-2, Hurkey Creek Riparian/Riverine Limits**. The creek provides suitable habitat for all three MSHCP-listed bird species; LBV, SWF, and YBC. The Project proposes to avoid any impacts to this riparian/riverine feature on the site so any direct impacts to these species will be avoided. To permanently protect this habitat area and the species it supports or may support in the future, **Mitigation Measure MM-BIO-1** is required.

The *MSHCP Analysis* indicated that, if impacts could occur to Hurkey Creek, then focused surveys for LBV, SWF, and YBC should be conducted. The Project proposes to preserve Hurkey Creek so no focused surveys are necessary. However, to preclude any indirect impacts to these species during construction, **Mitigation Measure MM-BIO-5** (nesting bird survey) will be modified to preclude construction within 300 feet of the riparian area during the nesting season for these species (April-August).

Vernal Pools. These areas are depressions where a hard-underground layer prevents rainwater from draining downward into the subsoils. When rain fills the pools in the winter and spring, the water collects and remains in the depressions. In the springtime, the water gradually evaporates away, until the pools become completely dry in the summer and fall. Vernal pools tend to have an impermeable layer that results in ponded water. The soil texture (i.e., the amount of sand, silt, and clay particles) typically contains higher amounts of fine silts and clays with lower percolation rates. Pools that retain water for a sufficient length of time will develop hydric cells. Hydric cells form when the soil is saturated from flooding for extended periods of time and anaerobic conditions (i.e., lacking oxygen or air) develop. The *MSHCP Analysis* reported that none of these conditions (i.e., no depressions, hydric soils, etc.) were observed on the site and all soils are mapped as sandy/loams

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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that do not retain water. Therefore, no impacts will occur due to the lack of these resources on the Project site.

Fairy Shrimp. In areas with stock ponds, ephemeral pools, and other water features are present, the MSHCP requires an assessment of potential habitat for Riverside, vernal pools, and Santa Rosa fairy shrimp. The *MSHCP Analysis* found no suitable habitat for fairy shrimp on the Project site (i.e., similar to the vernal pool assessment, no features were detected that would support fairy shrimp). The onsite soils consist entirely of sandy loams, and no evidence of seasonal ponding was detected. Fairy shrimp require seasonal ponding to complete their life cycle, so these areas do not provide suitable fairy shrimp habitat.

Riparian Birds. The *MSHCP Analysis* included an assessment of suitable habitat for least Bell's vireo, southwestern willow flycatcher, and yellow-billed cuckoo to determine if these riparian bird species were present on the site. Hurkey Creek was determined to contain 5.49 acres of suitable habitat for these species. However, the *MSHCP Analysis* concluded the Project would have no impacts on riparian birds since the entire onsite drainage will be avoided and have permanent protection under the recommended **Mitigation Measure MM-BIO-1**.

The *MSHCP Analysis* indicated that, if impacts could occur to Hurkey Creek, then focused surveys for LBV, SWF, and YBC should be conducted. The Project proposes to preserve Hurkey Creek, so no focused surveys are necessary. However, to preclude any indirect impacts to these species during construction, **Mitigation Measure MM-BIO-5** (nesting bird survey) has been expanded to preclude construction within 300 feet of the riparian area during the nesting season for these species (April-August).

Protection of Narrow Endemic Plant Species (NEPS)(MSHCP Section 6.1.3)

The MSHCP specifically covers 63 rare plant species through the implementation of the species-specific objectives outlined by the MSHCP. The NEPS are those species that information regarding the distribution and presence throughout western Riverside County was considered insufficient to ensure their long-term conservation. Therefore, the MSHCP established 10 NEPS "survey areas" based on historic records, soils, and habitats where these 14-plant species could potentially occur. All public and private projects located within any of these survey areas must, in the least, conduct a habitat assessment. If suitable habitat is determined to be present, then focused surveys must be performed.

The entire Project site is located in NEPS Assessment Area No. 6, which targets three NEPS as described in **Table 7-2, Narrow Endemic Plant Assessment**. The site was determined to have structurally suitable habitat and warranted the need for focused surveys for the three targeted NEPS; Johnston's rockcress was not detected on or near the Project site; Munz's mariposa-lily was detected offsite near the southwest portion of the site; and San Jacinto Mountains bedstraw was detected in the northern and western portions of the site. **Figure 7-3, NEPS Assessment Results**, shows the detection locations. More information about Munz's mariposa-lily and San Jacinto Mountains bedstraw is provided below:

Munz's mariposa-lily was detected offsite in the middle of a dirt road/trail (a total of 13 plants). More of the plants were also observed offsite to the northwest of the site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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San Jacinto Mountains bedstraw was detected at three onsite locations. The majority of the 97 plants were present at two locations in the western portion of the site (i.e., west of Hurkey Creek). Both of these areas (total 6.42 acres) have granitic soil with scattered granite boulders and chaparral vegetation that represents long-term suitable habitat for the species. The third location was approximately 16 square feet along the northern property boundary near a recent active flow area of Hurkey Creek and bounded on the north by Apple Canyon Road. Only seven plants were detected at this location which the *MSHCP Analysis* determined does not represent long-term suitable habitat for the species.

**Table 7-2
Narrow Endemic Plant Assessment**

Species	Regulatory Status ¹	Soils and Habitat	Blooming Period	Notes
Johnston's rockcress (<i>Boechea johnstonii</i>)	NFSS CRPR 1B.2	Rocky areas, gravelly soils. Often on eroded clay. Chaparral and lower montane coniferous forest.	Mainly February to March but can bloom through June	Can occur with Munz's mariposa lily
Munz's mariposa-lily (<i>Calochortus palmeri</i> var. <i>munzii</i>)	NFSS CRPR 1B.2	Fine granitic loam and sandy clay. Chaparral, lower montane coniferous forest, meadows and seeps, yellow- pine woodlands.	April to July	Can occur in both wetland and uplands
San Jacinto Mountains bedstraw (<i>Galium angustifolium</i> subsp. <i>jacinticum</i>)	NFSS CRPR 1B.3	No known soil associations. Chaparral and lower montane coniferous forest.	May to August	Often growing at the base of chaparral/sage scrub shrubs.

1 NFSS = No federal or state listing status

California Rare Plant Ranking (CRPR)

1B - Plants Rare, Threatened, or Endangered in California and Elsewhere
Threat Rank

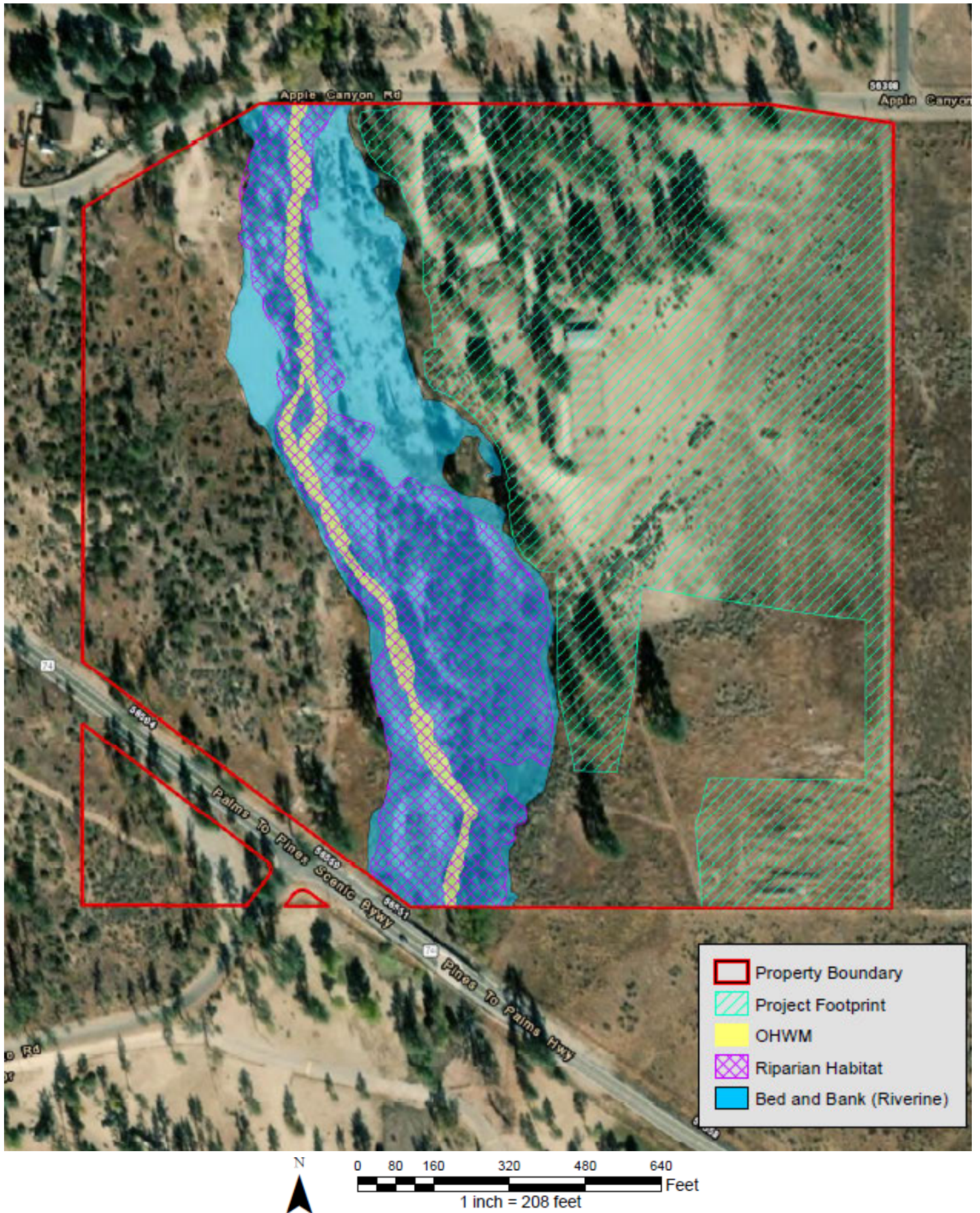
0.2-Fairly threatened in California (moderate degree/immediacy of threat)

0.3-Not very threatened in California (low degree/immediacy of threats or no current threats known)

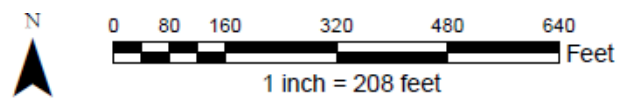
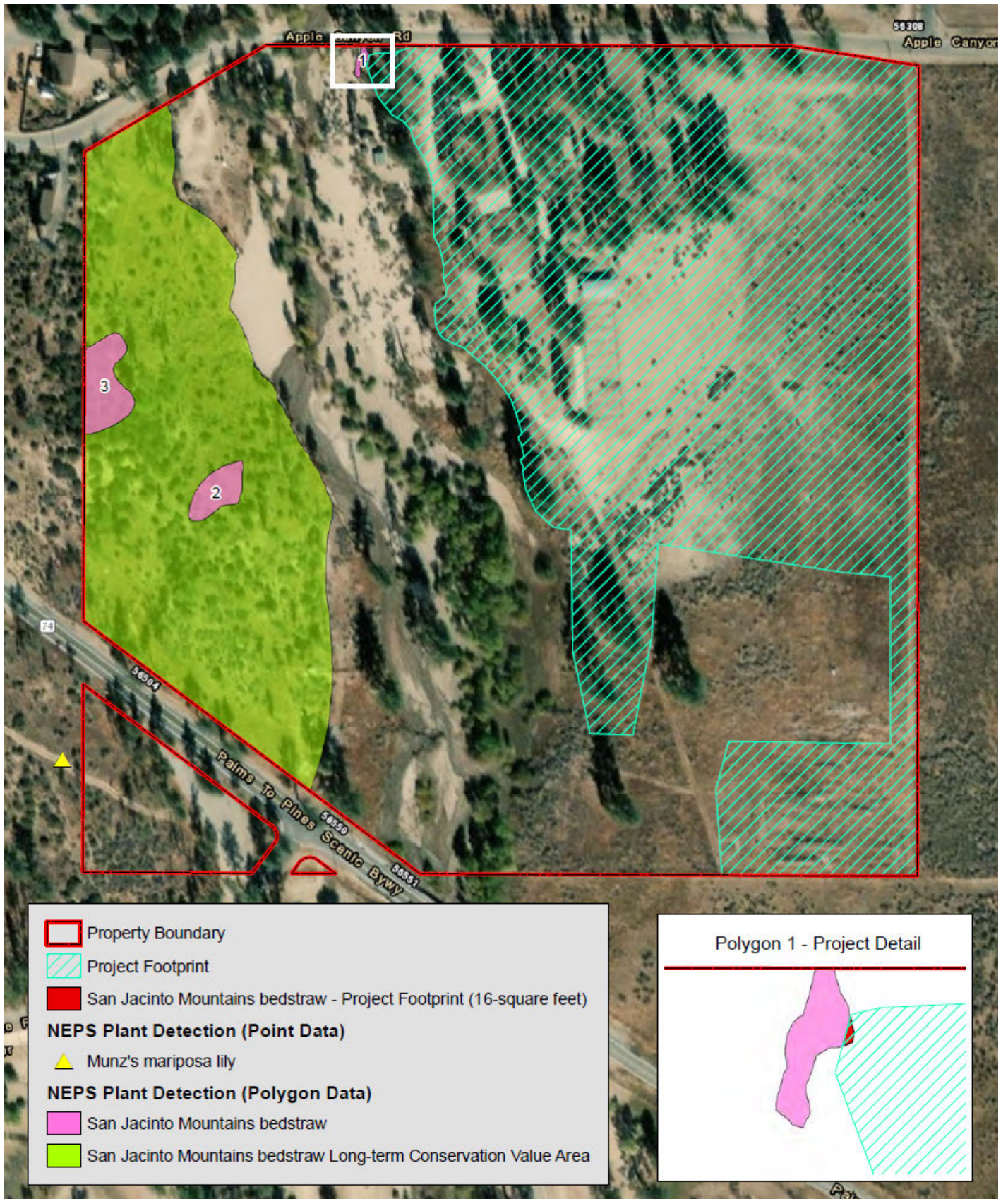
The *MSHCP Analysis* indicated that Project construction will impact only the very small area along Apple Canyon Road where seven San Jacinto Mountains bedstraw plants were detected. It indicated the chaparral habitat in the western portion of the site provided long-term conservation value for the plant. The area identified provides 6.42-acres of habitat that is directly connected to the PQP Lands of the USFS to the west. To preclude impacts to this species, this habitat area should be protected/preserved with no human activities allowed.

To provide this protection, **Mitigation Measure MM-BIO-1** will place a "no impact/avoidance area" deed restriction over this area so it can provide long-term conservation value habitat for San Jacinto Mountains bedstraw plants. With implementation of the deed restriction, the Project is consistent with MSHCP Section 6.1.3.

FIGURE 7-2
Hurkey Creek Riparian/Riverine Limits



**FIGURE 7-3
NEPS Assessment Results**



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Urban/Wildlands Interface (MSHCP Section 6.1.4)

The MSHCP recommends guidelines to minimize potential “edge effects” resulting from locating development projects near an MSHCP Reserve Assembly or MSHCP conserved resources. Measures, such as buffers and/or barriers, are typically put in place to control drainage, toxics, lighting, noise, and invasives (Invasives are plants that are both non-native and able to establish on many sites, grow quickly, and spread to the point of disrupting plant communities or ecosystems). The following 6.1.4 Guidelines will be implemented to minimize edge effects to Hurkey Creek and nearby PQP Lands.

- Drainage: The Project will implement the applicable BMPs described below in Section 10.0. Any runoff originating from the Site after Project completion will be diverted and collected in three proposed bioretention basins thus preventing any low-flow, untreated water from entering Hurkey Creek. The site plan (Appendix A of the *MSHCP Analysis*) details the design and connectivity of the three basins. Additionally, the functionality of the three basins is detailed further in the applicant’s Water Quality Management Plan (WQMP).
- Toxics: The Project is not proposing the production of potential Toxics; however, the Project will implement the applicable runoff BMPs described below.
- Lighting: Any Project lighting installed near the Development/Hurkey Creek boundary shall be shielded or directed to not shine directly into the MSHCP Section 6.1.2 Riparian/Riverine Area.
- Noise: The Project is not expected to produce any amount of noise that would be considered an impact to wildlife utilizing the MSHCP Section 6.1.2 Riparian/Riverine Area.
- Invasives: Any Project landscaping should avoid those listed in Table 6-2 of the MSHCP which is also provided in Appendix F of the *MSHCP Analysis*. Further, the Project should be landscaped with the appropriate native species using the existing native plants as a baseline for the plant palette (e.g., Jeffrey pine, Great Basin sage, scarlet bugler, etc.).
- Barriers: According to the site plan attached in Appendix A of the *MSHCP Analysis*, the Project is proposing a retaining wall at three locations near, but outside, of the MSHCP Section 6.1.2 Riparian/Riverine Area to eliminate the need for additional grading. The remaining areas along Hurkey Creek will remain open without fencing to not impede or interfere with wildlife movement or use of the area; therefore, signs will be installed informing patrons that the creek is an “Environmentally Sensitive Area” and “Do Not Enter.” (See **Mitigation Measure MM-BIO-2**). The habitat of Hurkey Creek could serve as an educational opportunity for patrons of the future Guest Ranch through passive, unobtrusive use such as kiosks with information on the flora and fauna present, bird watching, etc.
- Grading/Land Development: No grading or land development will extend into the MSHCP Section 6.1.2 Riparian/Riverine Area. Additionally, fuel modification/weed abatement activities are not permitted in designated avoidance areas. BMPs, such as orange construction fencing, will be used to clearly define the Project footprint area and will be confirmed by a qualified biological monitor prior to and during construction/grading activities (see **Mitigation Measure MM-BIO-3**).

With implementation of these recommended mitigation measures and the Project as designed, potential impacts related to edge effects and urban/wildlands interface will be reduced to less than significant levels.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Additional Survey Needs and Procedures (MSHCP Section 6.3.2)

Amphibians. The MSHCP covers 146 species of plants and animals of which 40 species have specific survey requirements. The Property was not located within a designated assessment area for Criteria Area Plant Species (CAPS). However, the entire Property was located within a MSHCP-designated assessment area for Southern Mountain Yellow-legged Frog (*Rana muscosa*)(RAMU).

Hurkey Creek was perennial and so was determined to support structurally suitable habitat for RAMU. However, the habitat was of low suitability due to the long-standing anthropogenic uses of the area such as cattle grazing/rangelands, agriculture, major roadways, campgrounds/recreation, and Lake Hemet. The *MSHCP Analysis* determined the creek contained 1.15 acres of suitable but low quality RAMU habitat. Three focused surveys were performed and RAMU was not detected in any of the surveys. It should be noted that Hurkey Creek within the boundaries of the Project site will be preserved, and no construction or operational activities will be allowed within the bed and bank area of the creek. Therefore, the Project will have no impacts on RAMU, and no mitigation is required.

Burrowing Owl. The Project site is not located within a designated assessment area for Burrowing Owl, so there will be no impact and no mitigation is required.

Mammals. The Project site was not located within a designated assessment area for Mammals, so there will be no impact and no mitigation is required.

Information on Other Species

Delhi Sands Flower Loving Fly. The Project site is not located within an area with Delhi sands, so there will be no impact and no mitigation is required.

Species Not Adequately Conserved. MSHCP *Table 9-3 Requirements to be Met for 28 Species Prior to Including Those Species on the List of Covered Species Adequately Conserved* is a list of “28 Covered Species [that] will be considered to be adequately conserved when certain conservation requirements are met as identified in the species-specific conservation objectives for those species.”

Beautiful Hulsea

The *MSHCP Analysis* detected approximately 150 beautiful hulsea (*Hulsea vestita* subsp. *callicarpha*) in the northern portion of the Project site during the NEPS focused survey previously described. This plant primarily occurred in the understory of Jeffrey pine woodland on sandy/loam soils with a few small granitic boulders exposed at ground level. The Project could impact a portion of the population on the site based on the Project’s proposed development area. However, according to the RCA’s *Status of Covered Species Not Adequately Conserved (Table 9-3 Species)* table, the following Species-Specific Conservation Objective has been met:

In order for this species to become a Covered Species Adequately Conserved, the following conservation must be demonstrated: Within the MSHCP Conservation Area, confirm 16 localities (locality in this sense is not smaller than one quarter section) with no fewer than 50 individuals each (unless a smaller population has been demonstrated to be self-sustaining).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Therefore, beautiful hulsea is considered adequately covered by the MSHCP and the Project is consistent with the objectives for this covered species of the MSHCP.

Additional Regulatory-Status Species Requiring Special Consideration

Three additional rare plant species not covered by the MSHCP were detected over the course of spring and summer surveys and the Project will avoid impacts to two out of the three: golden-rayed pentachaeta (*Pentachaeta aurea* subsp. *aurea*) and white-margined oxytheca (*Sidotheca emarginata*). There will be no impacts because they are located in the western portion of the site that will be preserved as open space.

The third species, chaparral sand-verbena (*Abronia villosa* var. *aurita*), will be impacted by the Project. To reduce this impact, seeds will need to be collected and dispersed within suitable habitat areas on the Property that will be avoided by Project construction and operation. A monitoring plan will also need to be implemented for three years to re-establish a viable population on the site. These actions are incorporated into **Mitigation Measure MM-BIO-4**. With implementation of that measure, potential impacts to the chaparral sand verbena will be reduced to a less than significant level under CEQA.

Nesting Birds

The Migratory Bird Treaty Act of 1918 (MBTA) created the following:

“Establishment of a Federal prohibition, unless permitted by regulations, to “pursue, hunt, take, capture, kill, attempt to take, capture or kill, possess, offer for sale, sell, offer to purchase, purchase, deliver for shipment, ship, cause to be shipped, deliver for transportation, transport, cause to be transported, carry, or cause to be carried by any means whatever, receive for shipment, transportation or carriage, or export, at any time, or in any manner, any migratory bird, included in the terms of this Convention . . . for the protection of migratory birds . . . or any part, nest, or egg of any such bird.”

Further, the California Fish and Game Code (CFGF) states the following:

CFGF 3503: *“It is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird, except as otherwise provided by this code or any regulation made pursuant thereto.”*

CFGF 3503.5: *“It is unlawful to take, possess, or destroy any birds in the orders Falconiformes or Strigiformes (birds-of-prey) or to take, possess, or destroy the nest or eggs of any such bird except as otherwise provided by this code or any regulation adopted pursuant thereto.”*

If Project construction activities occur during the established bird nesting season (i.e., January 1 – August 31 for raptors and hummingbirds; February 1 – August 31 for all other birds), then a pre-construction nesting bird survey must be conducted prior to and within three days of construction activities. The biologist shall have the authority to establish no disturbance buffers with the distances determined by factors such as species, tolerance of disturbance, nest status, etc. If nesting bird surveys result in the need for a biological monitor to be present during construction activities, then one shall be present full-time to monitor construction activities to ensure no direct or indirect impacts occur to potential nest success. The biologist shall have the authority to suspend construction activities if potential impacts are observed. These actions are incorporated into **Mitigation Measure**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MM-BIO-5. With its implementation, potential impacts to nesting birds will be reduced to less than significant levels.

MSHCP Conservation Goals

In addition to evaluating various specific MSHCP requirements (see above), the *MSHCP Analysis* evaluated the underlying designation of the Project site and surrounding area to meet the overall conservation goals and structure of the MSHCP. However, the Project site is not located within an MSHCP Sub Unit so the Project does not need to comply with any MSHCP Conservation Goals.

MSHCP Mitigation Fee

Section 6 of the MSHCP requires:

“Payment of the mitigation fee and compliance with the requirements of Section 6.0 are intended to provide full mitigation under the California Environmental Quality Act (CEQA), National Environmental Policy Act (NEPA), Federal Endangered Species Act, and California Endangered Species Act for impacts to the species and habitats covered by the MSHCP pursuant to agreements with the U.S. Fish and Wildlife Service, the California Department of Fish and Wildlife and/or any other appropriate participating regulatory agencies and as set forth in the Implementing Agreement for the MSHCP.”

The MSHCP Mitigation Fee has been established to provide mitigation for biological impacts from projects within the MSHCP area. This is not considered unique mitigation under CEQA.

Summary of Impacts. In conclusion, the proposed Project is consistent with all applicable sections of the MSHCP. Adherence to standard conditions and implementation of **Mitigation Measures MM-BIO-1** through **MM-BIO-5** will ensure both short- and long-term consistency with the MSHCP. Thus, the proposed Project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan (i.e., impacts are less than significant with mitigation).

b) Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

Less Than Significant with Mitigation Incorporated

The *MSHCP Analysis* evaluated all of the listed and sensitive species of plants and animals covered by the MSHCP that could potentially be impacted by the proposed Project as discussed in Threshold 7.a. While some of these species have been observed in the surrounding area in the past, the Project site does not contain or support any of these species due to its historical and ongoing level of disturbance and human activity.

In addition to species covered by the MSHCP, nesting bird species are protected by California Fish and Game Code Sections 3503 and 3503.5 and by the Migratory Bird Treaty Act (MBTA) of 1918 (16 USC 703-711), which make it unlawful to take, possess, or needlessly destroy the nest or eggs of any migratory bird or bird of prey. The MBTA created the following:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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“Establishment of a Federal prohibition, unless permitted by regulations, to “pursue, hunt, take, capture, kill, attempt to take, capture or kill, possess, offer for sale, sell, offer to purchase, purchase, deliver for shipment, ship, cause to be shipped, deliver for transportation, transport, cause to be transported, carry, or cause to be carried by any means whatever, receive for shipment, transportation or carriage, or export, at any time, or in any manner, any migratory bird, included in the terms of this Convention . . . for the protection of migratory birds . . . or any part, nest, or egg of any such bird.” Further, the California Fish and Game Code (CFGC) states the following: CFGC 3503: “It is unlawful to take, possess, or needlessly destroy the nest or eggs of any bird, except as otherwise provided by this code or any regulation made pursuant thereto.” CFGC 3503.5: “It is unlawful to take, possess, or destroy any birds in the orders Falconiformes or Strigiformes (birds-of-prey) or to take, possess, or destroy the nest or eggs of any such bird except as otherwise provided by this code or any regulation adopted pursuant thereto.”

The Project site, and areas in the immediate vicinity, contains trees, shrubs, and grasslands that provide suitable nesting habitat for a number of migratory bird species known to nest in the Project area. Impacts to nesting bird species must be avoided at all times. The period from approximately January 1 to August 31 is the expected breeding season for bird species occurring in the Project area. Under **Mitigation Measure MM-BIO-4**, if Project activity or vegetation removal must be initiated during the breeding season, a qualified biologist will check for nesting birds within three days prior to such activity. If active bird nests are found, avoidance buffers will need to be established and observed. With the implementation of **Mitigation Measure MM-BIO-5** impacts to nesting birds will be less than significant.

In summary, implementation of the proposed Project would not have a substantial adverse effect, either directly or through habitat modifications, on any endangered or threatened species as discussed in Threshold 7.a. above and the following Thresholds 7.c., 7.d, and 7.e. With the incorporation of **Mitigation Measures MM-BIO-1** through **MM-BIO-5**, potential impacts to listed species will be reduced to less than significant levels. The Project will be required to pay applicable MSHCP Mitigation Fees pursuant to Ordinance No. 810.2. These are standard fees and are not considered unique mitigation under CEQA. Any impacts will be reduced to less than significant levels.

c) *Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?*

Less Than Significant with Mitigation Incorporated

Discussion is referenced in Threshold 7.a, 7.d, 7.e., and 7.f. Based on this data, the Project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Wildlife Service. Mitigation related to nesting birds (**MM-BIO-5**), as well as standard conditions for payments of the applicable MSHCP fee will ensure all impacts remain at less than significant levels.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- d) *Would the Project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?*

Less Than Significant with Mitigation Incorporated

Under the MSHCP, the proposed Project or surrounding area do not contain any Cores or Constrained Linkages. In addition, preserving the Hurkey Creek drainage onsite will help protect any wildlife movement that does occur through this area. Based on the results of the *MSHCP Analysis*, the site contains no native wildlife nursery sites, and the site itself is not identified as being part of or functions as a migratory wildlife corridor for any fish or wildlife species.

As discussed in Threshold 7.b, nesting bird species are protected by California Fish and Game Code Sections 3503 and 3503.5 and by the MBTA of 1918 (16 USC 703-711), which makes it unlawful to take, possess, or needlessly destroy the nest or eggs of any migratory bird or bird of prey. A number of resident and migratory birds utilize the general Project area that contains trees, shrubs, and grasslands that may provide potential suitable nesting habitat for migratory bird species.

Impacts to nesting bird species must be avoided at all times. The period from approximately January 1 to August 31 is the expected breeding season for bird species occurring in the Project area, including raptors. Under **Mitigation Measure MM-BIO-5**, if Project activity or vegetation removal is initiated during the breeding season, a qualified biologist should check for nesting birds within three days prior to such activity. With the implementation of **Mitigation Measure MM-BIO-5**, potential impacts to nesting birds will be less than significant.

- e) *Would the Project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?*

Less Than Significant Impact

As discussed in Threshold 7.a, the *MSHCP Analysis* determined that only one onsite feature, Hurkey Creek, meets the criteria of a Riparian/Riverine Area. The channel contains 8.09 acres of land within the “bed and banks” of the creek, 5.49 acres of riparian habitat with its associated tree canopy, and 0.79 acres within the OHWM of the creek. Hurkey Creek is a large, perennial tributary that discharges into Lake Hemet to the southwest. The creek’s headwaters are located approximately 5.5 miles north of the site near Tahquitz Peak. In 2019, the west-facing slope of the San Jacinto Mountains experienced high volume rain events and the resulting flows caused closure of Hwy 74 for over a year. These flows caused the onsite bed and bank to extend all the way to its 100-year floodplain limits.

The creek flows from north to south across the western-central portion of the site. It enters the site via an at-grade “Arizona” crossing on Apple Canyon Road and exits the site before flowing under a bridge at Hwy 74. The riparian community associated with the creek consisted of various species of willow and is shown in the previous **Figure 7-2**. The creek provides suitable habitat for all three MSHCP-listed bird species; LBV, SWF, and YBC. The Project proposes to set aside the creek as permanent open space so this riparian/riverine feature so there will be no direct impacts on these species. To permanently protect this habitat area and the species it supports or may support in the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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future, **Mitigation Measure MM-BIO-1** is recommended. The *MSHCP Analysis* also determined the site contained no wetland or vernal pool habitat.

With the proposed preservation of Hurkey Creek, the Project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations of the California Department of Fish and Game or U. S. Fish and Wildlife Service. Impacts will be less than significant, and no mitigation is required.

f) *Would the Project have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?*

No Impact

The *MSHCP Analysis* found that the Project site contains no habitat meeting the criteria of a wetlands or vernal pool. Therefore, no impacts to vernal pools will occur with Project implementation. In addition, no suitable habitat for fairy shrimp was detected on the Project site. Therefore, the Project will not have a substantial adverse effect on State or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means. No impacts will occur, and no mitigation is required.

g) *Would the Project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?*

Less Than Significant Impact

The Project site contains dozens of native Jeffrey pine trees, but the Project as designed will not require the removal of onsite trees.

The provisions of County Ordinance No. 559 would not apply since the Project site is not above 5,000 feet in elevation. No other tree preservation or other local policy or ordinance relative to biological resources apply to the Project site.

Therefore, the proposed Project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Impacts will be less than significant with the implementation of the Project as proposed.

Mitigation Measures:

The following measures were identified during the discussion of Project impacts on biological resources under Thresholds 7.a through 7.g.

MM-BIO-1 Deed Restricted Areas. Prior to issuance of a grading permit, the applicant shall place a “no impact/avoidance area” deed restriction over the following two areas on the site that were identified in the *MSHCP Analysis Report* dated 12/17/21 or any subsequent approved report:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- (a) MSHCP Section 6.1.2 Riparian/Riverine Area. The 5.49 acres of Hurkey Creek identified in the MSHCP Report as riparian/riverine habitat shall be preserved/protected.
- (b) MSHCP Section 6.1.3 Narrow Endemic Plant Species. The 6.42 acres of onsite habitat for the San Jacinto Mountains bedstraw located west of Hurkey Creek, as outlined in the MSHCP Report, shall be preserved preserved/protected.

The deed restriction will demonstrate that these areas will be avoided, and no impacts will occur to them from clearing, grading, construction, development, or any ongoing operation of the proposed Project. The deed restriction will be finalized as a condition of Project approval by the County. The deed restriction shall not preclude necessary maintenance, repair, or restoration due to emergency or natural conditions that degrade the biological value of these areas. Any maintenance activities in these areas will be at the discretion of the County Planning Department in consultation with the Riverside Conservation Authority.

MM-BIO-2 Signage. Prior to issuance of a Certificate of Occupancy, the Project applicant shall install signs along the east bank of Hurkey Creek every 200 feet informing patrons that the creek is an “Environmentally Sensitive Area” and “Do Not Enter.” This measure shall be implemented to the satisfaction of the County Planning Department.

MM-BIO-3 Biological Monitor. Prior to the start of any Project construction, the applicant shall retain a qualified biological consultant to monitor all activities. The Project Biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the Project footprint. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with the Riverside Conservation Authority.

MM-BIO-4 Chaparral Sand-Verbena Protection. Prior to issuance of a grading permit, a qualified botanist shall be retained to collect seeds of the chaparral sand-verbena and disperse them into suitable habitat areas on the site that will not be subject to Project construction or operation. A three-year monitoring plan shall be developed and implemented to re-establish a long-term viable population of the species on the site. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with the Riverside Conservation Authority and other botanical experts as appropriate. All costs of this program, including any necessary consultation, will be funded completely by the Project applicant/operator.

MM-BIO-5 Nesting Bird Survey. If Project-related grading or construction occurs during the nesting season (i.e., January 1 – August 31 for raptors and hummingbirds; February 1 – August 31 for all other birds), a pre-construction nesting bird survey shall be conducted within a maximum of three (3) days prior to the start of onsite equipment mobilization and staging, clearing, grubbing, vegetation removal, or grading, whichever occurs first. This survey shall be conducted by a qualified biologist holding a Memorandum of Understanding (MOU) with Riverside County. The findings shall be submitted to the County of Riverside Planning Department for review and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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approval prior to issuance of any ground disturbing activity.

Surveys shall be conducted in proposed work areas, staging and storage areas, and soil, equipment, and material stockpile areas. For passerines and small raptors, surveys shall be conducted within a 250-foot radius surrounding the work area (in areas where access is feasible). For larger raptors, the survey area shall encompass a 500-foot radius. Surveys shall be conducted during weather conditions suited to maximize the observation of possible nests and shall concentrate on areas of suitable habitat. If a lapse in project-related work of five (5) days or longer occurs, an additional nest survey shall be required before work can be reinitiated. If nests are encountered during any preconstruction survey, a qualified biologist shall determine if it may be feasible for construction to continue as planned without impacting the success of the nest, depending on conditions specific to each nest and the relative location and rate of construction activities.

If the qualified biologist determines construction activities have potential to adversely affect a nest, the biologist shall immediately inform the construction manager to halt construction activities within minimum exclusion buffer of 50 feet for songbird nests, and 200 to 500 feet for raptor nests, depending on species and location. Active nest(s) within the Project site shall be monitored by a qualified biologist during construction if work is occurring directly adjacent to the established no-work buffer. Construction activities within the no-work buffer may proceed after a qualified biologist determines the nest is no longer active due to natural causes (e.g., young have fledged, predation, or other non-human causes of nest failure).

If nesting bird surveys result in the need for a biological monitor to be present during construction activities, then one shall be present full-time to monitor construction activities to ensure no direct or indirect impacts occur to potential nest success. The biologist shall have the authority to suspend construction activities if potential impacts are observed.

In addition, the Project proposes to preserve Hurkey Creek so no focused surveys for Least Bell's Vireo, Southwestern Willow Flycatcher, or Yellow-Bellied Cuckoo are necessary. However, construction within 300 feet of the riparian area will be precluded during the nesting season for these species (April-August) to preclude any indirect impacts to these species.

Monitoring: Provide results of nesting bird survey to County of Riverside for review and approval.

CULTURAL RESOURCES Would the Project:

8. Historic Resources	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Alter or destroy a historic site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source(s): Phase I Cultural Resources Assessment of Conditional Use Permit No. 210121, prepared by Jean Keller, 12-2021 (CRA, **Appendix D**); Public Resources Code (PRC) §5020.1(j); and 14 California Code of Regulations §15064.5(a)(1)-(3).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) *Would the Project alter or destroy a historic site?*

Less Than Significant Impact with Mitigation Incorporated

A complete Phase I Cultural Resources Assessment (CRA) was performed on the entire Project site by Jean Keller, Ph.D. in December 2021. The CRA included a Sacred Lands file search through the Native American Heritage Commission, an archival records search, and two pedestrian walkovers of the site by a qualified archaeologist. The CRA included a review of an archaeological records search at the Eastern Information Center (EIC) at the University of California at Riverside in order to assess previous archaeological studies and identify any previously recorded sites within the Project boundaries, or in the immediate vicinity. The EIC records search indicated that 24 previous cultural resource studies have been conducted within one mile of the Project in the past, including five involving portions of the Project site. Eleven sites are of pre-contact (i.e., Native American origin before contact with European explorers or historic (Native American), eleven are of post-contact origin, and two are comprised of both Native American and post-contact “historical” components. The predominant cultural resources recorded at the Native American sites are bedrock milling features related to seasonal resource procurement and processing. Post-contact or “historical-era” cultural resources are primarily associated with State Route 74 and associated roadway features, as well as two large campground facilities located immediately north of the Project site (Hurkey Creek Campground and Park).

In 2008-09, an archaeological survey conducted for the Hurkey Creek Bridge Replacement Project (RI-10453) discovered and recorded a multi-component site containing both pre- and post-contact resources designated as CA-RIV-9236H. A portion of this resource site is located near but not on the southwestern corner of the Project property, both north and south of SR 74. The pre-contact component of this resource site comprised of a total of five bedrock milling features, two to the north and three to the south of SR 74, containing a total of eight mortars. Dark ashy colored soil that potentially represented the presence of a subsurface cultural deposit, a tightly clustered quartzite lithic scatter with a quartzite core, and two rogue pieces of milky quartz debris were also recorded. No formal pre-contact artifacts were observed but the post-contact “historical” component contained a small cluster of metal can fragments, amethyst-colored and cobalt-colored glass, and pieces of white glazeware. An updated Department of Parks and Recreation form for CA-RIV-9236/H was prepared and submitted to the EIC (see **Appendix D**).

According to the State CEQA Guidelines, a resource that meets one or most listing criteria of the California Register of Historic Resources (CRHR) can be considered historically significant. A resource may be listed in the CRHR if it meets any of the following criteria:

- (1) Is associated with events that have made a significant contribution to the broad patterns of California history and cultural heritage.
- (2) Is associated with the lives of persons important in our past.
- (3) Embodies the distinctive character of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- (4) Has yielded, or may be likely to yield, information important in prehistory or history.

After a detailed review of all onsite facilities and resources by an archaeologist, the CRA determined that all the post-contact “historic-period” sites and related materials do not meet any of the four

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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CRHR criteria and thus do not meet CEQA’s definition of “historical resources”. Therefore, potential Project impacts on these resources will not constitute “a substantial adverse change in the significance of a historical resource” or “a significant effect on the environment” (PRC §21084.1).

Development of the site under the Project proposes to leave the entire onsite portion of Hurkey Creek and the onsite land west of the creek to Highway 74 at permanent open space. Due to the presence of biological resources, Section 7.a of this Initial Study recommended **Mitigation Measure MM-BIO-1** which will place the creek and the onsite lands to the west in a permanent “no impact/avoidance area” deed restriction prior to any grading on the site (i.e., east of the creek). Therefore, the portions of the site that also contain cultural resources will be permanently preserved as open space by implementation of this measure. Therefore, potential impacts to historical resources will be less than significant and no additional mitigation is required (i.e., other than **MM-BIO-1**).

After a detailed review of all onsite facilities and resources, the CRA determined that all the historic-period sites and related materials do not meet any of the four CRHR criteria and thus do not meet CEQA’s definition of “historical resources”. Therefore, potential Project impacts on these resources will not constitute “a substantial adverse change in the significance of a historical resource” or “a significant effect on the environment” (PRC §21084.1). Therefore, any impacts will be less than significant with mitigation incorporated.

b) Would the Project cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5?

Less Than Significant Impact with Mitigation Incorporated

According to Public Resources Code (PRC) §5020.1(j), “‘historical resource’ includes, but is not limited to, any object, building, site, area, place, record, or manuscript which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.”

More specifically, the State CEQA Guidelines state that the term “historical resources” applies to any such resources listed in or determined to be eligible for listing in the California Register of Historical Resources, included in a local register of historical resources, or determined to be historically significant by the lead agency (Title 14 CCR §15064.5(a)(1)-(3)). Regarding the proper criteria for the evaluation of historical significance, the State CEQA Guidelines mandate that “generally a resource shall be considered by the lead agency to be ‘historically significant’ if the resource meets the criteria for listing on the California Register of Historical Resources” (Title 14 CCR §15064.5(a)(3)). A resource may be listed in the California Register if it meets any of the four criteria previously outlined in Threshold 8.a.

As outlined in Threshold 8.a, the cultural resources identified within or adjacent to the “Project area” as defined in the CRA do not satisfy any of the criteria for a historic resource as defined in Section 15064.5 of the State CEQA Guidelines. In addition, the Project site itself is not listed with the State Office of Historic Preservation or the National Register of Historic Places.

However, based on input provided by the Rincon Band of Luiseno Indians, the Soboba Band of Mission Indians, the Agua Caliente Band of Cahuilla Indians regarding general prehistorical events in the area, there is a potential for unanticipated cultural resources at this site. Based on this

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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possibility and the prehistoric sensitivity of the area, and to ensure impacts to potential unanticipated resources, monitoring during grading will be performed. With adherence to conditions of approval, the Project will not cause a substantial adverse change in the significance of a historical resource, pursuant to California Code of Regulations, Section 15064.5. Any impacts will be less than significant with mitigation incorporated.

Mitigation: See MM-BIO-1.

Monitoring: Provide Deed Restriction.

9. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Alter or destroy an archaeological site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Phase I Cultural Resources Assessment of Conditional Use Permit No. 210121, prepared by Jean Keller, 12-2021 (CRA, **Appendix D**); Public Resources Code (PRC) §5020.1(j); Health and Safety Code § 7050.5; and 14 California Code of Regulations §15064.5(a)(1)-(3).

Findings of Fact:

a) *Would the Project alter or destroy an archaeological site?*

Less Than Significant Impact

As documented in the CRA, the Native American Heritage Commission determined the Sacred Lands File search results were negative. Responses to Project scoping letters were received from the Quechan Tribe of the Fort Yuma Reservation and from the Agua Caliente Band of Cahuilla Indians. The Quechan Historic Preservation Office stated that they have no comments on the project and defers to more local Tribes, supporting their decisions. According to the Agua Caliente Band of Cahuilla Indians (ACBCI), the Project area is not located within the boundaries of their reservation, but it is within the Tribe’s Traditional Use Area. For this reason, they requested the following:

- A cultural resources inventory of the project area be conducted by a qualified archaeologist prior to any development activities in the area;
- A copy of the records search with associated survey reports and site records from the information center; and
- Copies of cultural resource documentation (report and site records) generated in connection with this Project.

In addition, the ACBCI requested the presence of an approved Cultural Resource Monitor(s) during any ground disturbing activities including archaeological testing and surveys (see “Standard Conditions of Approval” or COAs below). Should buried cultural deposits be encountered, the Monitor may request that destructive construction halt and the Monitor shall notify a Qualified Archaeologist (Secretary of the Interior’s Standards and Guidelines) to investigate and, if necessary,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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prepare a mitigation plan for submission to the State Historic Preservation Office. No information has been obtained through Native American consultation that the subject property is culturally or spiritually significant and no Traditional Cultural Properties that currently serve religious or other community practices are known to exist within the project boundaries. During the current cultural resources evaluation, no artifacts or remains were identified or recovered that could be reasonably associated with such practices.

Five cultural resources of pre-contact (i.e., Native American) origin were identified during the *CRA* field survey which were all comprised of bedrock milling features. Two previously recorded resource locations (CA-RIV-9236H Features 4 & 5) are in the southwestern corner of the Project site that is designated as permanent open space under the Project plan. Feature 4 is comprised of one conical mortar and one saucer mortar, while Feature 5 is comprised of one saucer mortar. Features 1 and 2 of CA-RIV-9236H were originally recorded in 2009 as being located near the southwestern corner of the Project site in an open space. However, the resource site record is problematic in that feature descriptions and locations are inconsistent. The *CRA* concluded the current field survey located what is actually Feature 2 (but was recorded as Feature 1) but could not relocate what was originally recorded as Feature 2. The actual Feature 2 is comprised of one conical and one saucer mortar and the recorded Feature 2 was comprised of three conical mortars. In addition, although the site record states that the site was comprised of five bedrock milling features, locational data for only four were provided with a fifth location being a small prehistoric lithic scatter. Further, although a historical component comprised of metal, glass, and ceramic fragments was described, locational information was not provided. The sparse lithic scatter and historical artifacts recorded as part of CA-RIV-9236H could not be relocated during the current *CRA* field survey conducted by a qualified archaeologist.

Two previously unrecorded bedrock milling features were also located within the boundaries of the Project site during the *CRA* field survey. These features are not considered to be part of CA-RIV-9236H and were assigned Primary numbers P-33-029123 and P-33-029124 by the Eastern Information Center. Site P-33-029123 is comprised of one conical mortar and one saucer mortar on a ground-level granitic outcrop, while P-33-029124 is comprised of two milling slicks on a ground-level granitic outcrop. These sites are located in an open space area west of Hurkey Creek that will not be developed as part of the proposed Project.

Based on CEQA criteria, archaeological sites CA-RIV-9236H, P-33-029123, and P-33-029124 would be considered “non-unique archaeological resources.” Bedrock milling sites are the most common resources in the vicinity of the Project site and are typical and numerous throughout Riverside County (i.e., tens of thousands recorded). Unless bedrock milling features have an associated cultural deposit that permits dating of the features and potentially provides information about other site activities, they are considered to have limited data potential and are not considered eligible for listing on the CRHR or the National Register of Historic Places (NRHP). As such, according to the State CEQA Guidelines, a “non-unique archaeological resource” need be given no further consideration, other than the simple recording of its existence by the Lead Agency. Unless Phase II Testing has been conducted for a bedrock milling site, it is not possible at this time to determine whether an associated subsurface cultural deposit exists at these locations. Until testing has been conducted, there is an assumption that a “non-unique archaeological resource” may possibly be determined significant and potentially be eligible for listing on the CRHR or NRHP.

In consideration of the above summary, it is clear that the proposed Project site is located in an area that is highly sensitive in terms of archaeological and historical resources (i.e., pre- and post-contact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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resources). The three resource sites located within the boundaries of the proposed Project are considered “non-unique archaeological resources” according to CEQA criteria and all are within a designated open space area that is not part of the proposed Project development (see **Mitigation Measure MM-BIO-1**). Therefore, no further research or mitigation is recommended for these sites at this time.

In addition, archaeological sites are located on the Project site and two large multi-component sites representing both the pre-contact and post-contact periods are located immediately north of the Project site. Therefore, the CRA recommended that a Riverside County qualified archaeologist and Native American monitor actively monitor all on-site and off-site ground disturbing activities associated with development of the proposed Project including, but not limited to, grubbing, tree removal, vegetation clearance, trenching, excavation, bedrock removal, and grading. Should any cultural resources be discovered during the course of earthmoving activities anywhere on the subject property, said activities should be halted or diverted until the qualified archaeologist and tribal monitor can evaluate the resources, make a determination of their significance with concurrence of the Riverside County Archaeologist, and recommend appropriate treatment measures to mitigate impacts to the resources from the Project, if found to be significant (see COAs below).

If human remains are encountered unexpectedly during implementation of the project, compliance with State Health and Safety Code Section 7050.5 is required, with no further disturbances to the land until the County Coroner has made the necessary findings as to origin and disposition pursuant to PRC Section 5097.98 (see COAs below).

The CRA identified the presence of cultural resources (which includes archaeological resources) within or adjacent to the Project area. None of these resources meet the criteria for listing in the California Register of Historic Places. However, archeological monitoring, Native American monitoring, disposition of human remains, and procedures if unanticipated resources are found during ground-disturbing activity are addressed by the County’s Conditions of Approval outlined below. With implementation of County standard COAs, potential Project impacts to cultural resources will be less than significant and no mitigation is required.

b) Would the Project cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5?

Less Than Significant Impact

As discussed in Threshold 9.a, it has been determined that there are no significant archaeological resources as defined in California Code of Regulations, Section 15064.5. However, in the event unanticipated resources are identified, the County’s COAs (see below) are required in the event an unanticipated resource is identified during ground disturbing activities. Any Project impacts that could cause a substantial adverse change in the significance of an archaeological resource, pursuant to California Code of Regulations, Section 15064.5 will be less than significant with implementation of County standard COAs and no mitigation required.

c) Would the Project disturb any human remains, including those interred outside of formal cemeteries?

Less Than Significant Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based on input provided by the consulting Native American tribes, there is a potential for human remains to be present in the Project area.

In order to reduce potentially significant impacts to previously unknown human remains that may be unexpectedly discovered during Project implementation, County conditions of approval and State Law requires that in the unlikely event that human remains are uncovered the contractor is required to halt work in the immediate area of the find and to notify the County Coroner, in accordance with Health and Safety Code § 7050.5, who must then determine whether the remains are of forensic interest. If the Coroner, with the aid of a supervising archaeologist, determines that the remains are or appear to be of a Native American, he/she must contact the Native American Heritage Commission for further investigations and proper recovery of such remains, if necessary.

Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "most likely descendant". The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

To further ensure compliance with the above-referenced state laws, the Project will implement the County's Standard Conditions of Approval. With implementation of County COAs, any Project impacts that could disturb any human remains, including those interred outside of formal cemeteries, will be less than significant and no mitigation is required.

Standard Conditions of Approval:

Human Remains. If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5. Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

Unanticipated Resources. The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the applicant shall call the County Archaeologist immediately

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

CRMP/Archaeological Monitor. Prior to issuance of grading permits: The applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program (CRMP). A Cultural Resource Monitoring Plan shall be developed in coordination with the consulting tribe(s) that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural, tribal cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this project. A fully executed copy of the contract and a digitally-signed copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval. Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring.

ECS Sheet (Cultural). Prior to final map approval the developer/ applicant shall provide evidence to the Riverside County Planning Department that an Environmental Constraints Sheet has been included in the Grading Plans. This sheet shall indicate the presence of environmentally constrained area(s) and the requirements for avoidance of CA-RIV-9236, P-33-029123, and P-33-029124.

Native American Monitor Required. Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s). In conjunction with the Archaeological Monitor(s), the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources. The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition. This agreement shall not modify any condition of approval or mitigation measure.

Temporary Fencing (Cultural). Temporary fencing shall be required for the protection of any cultural site(s) located within 100' of grading activities. Prior to commencement of grading or brushing, the project archaeologist shall confirm the site boundaries and determine an adequate buffer for protection of the site(s). The applicant shall direct the installation of fencing under the supervision of the project archaeologist and Native American Monitor. The fencing can be removed only after grading operations have been completed.

Artifact Disposition. In the event cultural resources are identified during ground disturbing activities, the landowner(s) shall relinquish ownership of all cultural resources and provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been handled through the following methods. Any artifacts identified and collected during construction grading activities are not to leave the project area and shall remain onsite in a secure location until final disposition. Historic Resources All historic archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid. Prehistoric and/or Tribal Cultural Resources One of the following treatments shall be applied.

1. Preservation In-place, if feasible is the preferred option. Preservation in place means avoiding the resources, leaving them in the place where they were found with no development affecting the integrity of the resources.
2. Reburial of the resources on the Project property. The measures for reburial shall be culturally appropriate as determined through consultation with the consulting Tribe(s) and include, at least, the following: Measures to protect the reburial area from any future impacts in perpetuity. Reburial shall not occur until all required cataloguing (including a complete photographic record) and analysis have been completed on the cultural resources, with the exception that sacred and ceremonial items, burial

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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goods, and Native American human remains are excluded. No cataloguing, analysis, or other studies may occur on human remains grave goods, and sacred and ceremonial items. Any reburial processes shall be culturally appropriate and approved by the consulting tribe(s). Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request. Human Remains Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains and any associated items as provided in Public Resources Code Section 5097.98.

Phase IV Monitoring Report. Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Management Plan.

COA Monitoring: A copy of all agreements between the Project developer and the appropriate Band of Luiseño Indians shall be provided to the County for retention. Field inspections by County Staff shall verify that all aspects of the agreement are being implemented by the developer, professional monitor and Tribal monitors, during ground disturbing activities. Any cultural resources reports produced as a result of Project monitoring shall be provided to the County within 60 days of completion. All reports and field notes shall be retained in the Project file. The Planning Department will also monitor any potential changes to the Project and their impacts on prehistoric resources.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

ENERGY Would the Project:

10. Energy Impacts

a) Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during Project construction or operation?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Ranch Air Quality and Greenhouse Gas Assessment*, prepared by Urban Crossroads, 11-19-2021 (*AQ/GHG Analysis, Appendix B*); and *Ridge Ranch Trip Generation and Vehicle Miles Travelled (VMT) Screening*, prepared by Urban Crossroads, 8-26-2021 (*TG/VMT Analysis, Appendix I*).

Note: Any tables or figures in this section are from the *AQ/GHG Analysis* or the *TG/VMT Analysis*, unless otherwise noted.

Findings of Fact:

- a) *Would the Project result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during Project construction or operation?*

Less Than Significant Impact

Background Information

There are many different types and sources of energy produced and consumed in the United States. The U.S. Energy Information Administration (EIA) categorizes energy by primary and secondary sources, renewable and nonrenewable sources, and by the different types of fossil fuels. Primary energy is captured directly from natural resources and includes fossil fuels, nuclear energy, and renewable sources of energy. Electricity is a secondary energy source that results from the transformation of primary energy sources. A renewable energy source includes solar energy from the sun, geothermal energy from heat inside the earth, wind energy, biomass from plants, and hydropower from flowing water. Nonrenewable energy sources include petroleum products, hydrocarbon gas liquids, natural gas, coal, and nuclear energy.

Fossil fuels are non-renewable resources formed by organic matter over millions of years and include oil, coal and natural gas. The EIA defines the five energy consuming sectors within the United States as follows:

- **Industrial Sector:** Includes facilities and equipment used for manufacturing, agriculture, mining, and construction.
- **Transportation Sector:** Includes vehicles that transport people or goods, such as cars, trucks, buses, motorcycles, trains, aircraft, boats, barges, and ships.
- **Residential Sector:** Includes homes and apartments.
- **Commercial Sector:** Includes offices, malls, stores, schools, hospitals, hotels, warehouses, restaurants, and places of worship and public assembly.
- **Electric Power Sector:** Consumes primary energy to generate most of the electricity the other four sectors consume.

Energy sources are measured in different physical units: liquid fuels are measured in barrels or gallons, natural gas in cubic feet, coal in short tons, and electricity in kilowatts and kilowatt-hours. In the United States, British thermal units (Btu), a measure of heat energy, is commonly used for comparing different types of energy to each other.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project Energy Consumption

The three (3) main types of energy expected to be consumed by the Project include electricity, natural gas, and petroleum products in the form of gasoline and diesel fuel. Energy usage for the proposed Project is calculated based on the *TG/VMT Analysis* and the *AQ/GHG Analysis*. The California Emissions Estimator Model Version 2021.4 (CalEEMod) is used to calculate energy usage from Project construction and operational activities. In the application materials, the Project is described as follows:

The Ridge Guest Ranch proposes an eco-conscious private guest ranch. The project site will retain all the natural vegetation and all the historic large pine trees within its design. The Ridge will be designed to facilitate a full immersion nature experience in Mountain Center and the Ranch will offer a variety of self-development therapies and recreational activities such as natural hiking, mountain biking, horseback riding, rock climbing, water-based activities at Lake Hemet, in addition to cultural and environmental education of the area will be all part of the experience at the Ranch. The project proposes to construct guest cabins and manufactured guest tents, with a wellness center, kitchen and dining room, and activity hub and lap pool, and a large agricultural site and food lab for all guests to experience.

The structures themselves will be designed to maintain the environmental character in which they are located. The Ridge will pursue energy efficiency through thoughtful architecture and building orientation and incorporate, among other things, green building materials, solar power, water conservation techniques such as groundwater recharge basins, use of porous pavement, drought tolerant landscaping and water recycling as appropriate. The majority of the land will remain undeveloped and in its current natural element.

Therefore, the Project is expected to be extremely energy conscious and will minimize its use of electricity, natural gas (propane), and water.

Electricity Consumption

The Project will use electricity for many different operational activities including, but not limited to, building ventilation and cooling, cooking in the kitchen, lighting, appliances, electronics, mechanical equipment, electric vehicle charging, and parking lot lighting. Indirect electricity usage will also be required to supply, distribute, and treat water although wastewater will be accommodated by an alternative to a septic system called an Aerobic Treatment Unit (ATU) which does not use electricity. Electricity will be provided to the site by the Anza Electric Co-Op and possibly a private solar system in the future. If private solar equipment is installed in the future, it would help reduce the Project’s consumption of electrical energy from the regional grid during the day. However, the consumption of electricity estimated below assumes no onsite solar equipment. Therefore, the *AQ/GHG Analysis* estimates the Project will consume 546,726 kilowatt hours (kWh) or 1,865.4 million British thermal units (Btu)³ per year of electricity as a “worst case” assumption.

Temporary electricity usage for construction activities may include lighting, electric equipment and mobile office uses, however, CalEEMod does not calculate electricity usage during construction. Electricity usage during construction is expected to be short-term and relatively minor compared to the operational demand, and therefore electricity usage during construction is not counted in this analysis.

³ Assumes 1 kWh = 3,412 Btu

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Propane Consumption

The Project is expected to use propane for pool heating and the emergency power generator while cooking and kitchen appliances will be electric. The Project is not anticipated to have piped natural gas supplied to the site. All propane used by the Project is expected to be imported and stored on-site via on-site storage tanks. Propane is not expected to be used during construction in any significant quantities and is not included in the overall calculation of the Project’s propane consumption. It should be noted that the CalEEMod does not provide for propane consumption, but it is generally considered equivalent to consumption of natural gas. Therefore, for the purpose of this analysis, it is assumed that the Project uses the same amount BTUs for propane consumption as is reported for natural gas in CalEEMod. The *AQ/GHG Analysis* estimates the Project will consume 1,863 cubic feet or 186,294 million Btu⁴ per year of propane per year.

Petroleum Consumption

The Project’s energy consumption from petroleum products is primarily associated with transportation related activities. This includes gasoline and diesel fuel used for auto and truck trips and off-road equipment during construction and operation and off-road equipment usage during construction.

Construction

Construction of the Project is estimated (worst-case) to last approximately one year and consist of site preparation, grading, building construction, and architectural coating phases. The site will not have paved roads, but vehicles will instead use roller compressed decomposed granite roadways. Construction activities will consume energy in the form of motor vehicle fuel (gasoline and diesel) for off-road construction equipment and on-road vehicle trips. Vehicle trips include workers and vendors traveling to and from the job site. Based on the construction equipment scheduling shown in the *AQ/GHG Analysis*, and the relatively rural location of the site, it is estimated that both on- and off-road construction activities will consume approximately 150,000 gallons of diesel fuel and 200,000 gallons of gasoline which is equivalent to 44,756 million Btu of total energy⁵ for construction.

Operation

The Project is expected to consume energy from auto and truck trips generated by the proposed land uses, as described in the *TG/VMT Analysis* and the *AQ/GHG Analysis*. Operational vehicle trips are associated with workers, customers and vendors/non-workers (i.e., delivery, service, maintenance vehicles, etc.) traveling to and from the site. The *TG/VMT Analysis* indicates Project operation will generate 799,988 vehicle miles travelled (VMT) each year. Assuming a composite fuel efficiency of 18.5 miles per gallon, operation of the Project will annually consume approximately 43,143 gallons of gasoline or diesel fuel. This equals 5,927 million Btu of total energy⁶ for vehicle operations of the Project.

⁴ Assumes 1 cubic foot of gas = 1,000 Btu

⁵ assuming 1 gallon of gasoline fuel = 120,429 Btu and 1 gallon of diesel fuel = 137,381 Btu

⁶ 1 gallon of gasoline fuel = 120,429 Btu and 1 gallon of diesel fuel = 137,381 Btu so estimate assumes diesel fuel as worst case

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Total Project Energy Consumption

The previous sections estimate the Project’s total energy consumption will be 238,842 million Btu for both construction (one-time) and operation (annual) activities. Total Project energy consumption includes electricity, propane, and petroleum usage during construction and operation. The Project will be required to comply with the mandatory requirements of California’s Building Energy Efficiency Standards (Title 24, Part 6) and Green Building Standards (CALGreen, Title 24, Part 11). California’s building energy efficiency standards are some of the strictest in the nation and the Project’s compliance with California’s building code will ensure that wasteful, inefficient or unnecessary consumption of energy is minimized. The building standards code is designed to reduce the amount of energy needed to heat or cool a building, reduce energy usage for lighting and appliances and promote usage of energy from renewable sources. Impacts will be less than significant, and no mitigation is required.

b) *Would the Project conflict with or obstruct a State or Local plan for renewable energy or energy efficiency?*

Less Than Significant Impact

The Project will purchase electricity through the Anza Electric Co-Op which is subject to the requirements of California Senate Bill 100 (SB 100). SB 100 is the most stringent and current energy legislation in California, requiring that renewable energy resources and zero-carbon resources supply 100% of retail sales of electricity to California end-use customers and 100% of electricity procured to serve all state agencies by December 31, 2045.

The Project will further comply with the mandatory requirements of California’s Green Building and Building Energy Efficiency standards that promote renewable energy and energy efficiency; refer to Threshold 10.a. In addition, one of the main goals of the Project is to introduce and involve the participants in an eco-friendly and environmentally conscious lifestyle, so the Project will strongly emphasize energy conservation in its activities. Therefore, the Project will not conflict with or obstruct a State or local plan for renewable energy or energy efficiency. Impacts are considered less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

GEOLOGY AND SOILS Would the Project directly or indirectly:

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County, prepared by Petra Geosciences, Inc., 10-5-2022 (Geo Investigation, Appendix E1); Report of Active Faulting, The Ridge Wellness*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Center, Lake Hemet Area, Riverside County, prepared by Petra Geosciences, Inc. 10-12-2020 (*Fault Study, Appendix E2*); and Riverside County General Plan, Chapter 6, Safety Element, Figure S-2 *Earthquake Fault Study Zones*.

Note: Any tables or figures in this section are from the *Geo Investigation* or the *Fault Study*, unless otherwise noted.

Findings of Fact:

- a) *Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?*

Less Than Significant Impact with Mitigation Incorporated

The Project proposes a “wellness” or guest ranch with 36 lodging facilities (both buildings and tents), a kitchen, administration/storage building, various activity buildings, and other site improvements. The new buildings are proposed in the eastern portion of the site and will be constructed mainly of wood with concrete floor slabs on grade. Site improvements include retaining walls up to 6 feet high, access drives and parking stalls, a swimming pool and restroom building, exterior concrete walkways and patios, fence/screen walls, courtyards, planter areas, greenhouses, and landscaping. Other proposed improvements include a stormwater management system and above-ground domestic water tanks. Sewage will be managed through various onsite treatment systems. In addition, an electrical transformer pad and switchgear will be needed.

San Jacinto Mountains are part of the Transverse Ranges Geomorphic Province of California which is characterized by east–west trending mountains and valleys, making them “transverse” to the northwest–southeast orientation of most of California's coastal mountains. The Project site is located within an elongated valley in the San Jacinto Mountains which is a fault block of granitic rocks squeezed between the San Jacinto fault system on the west and the San Andreas fault system on the east. These two regional faults are very active and capable of producing major earthquakes of Richter Magnitude 7.2. The last massive quake struck the southern segment of the San Andreas-San Jacinto fault complex more than 200 years ago. Due to the complex geologic and seismic conditions in this area, both a *Geo Investigation* and a *Fault Study* were prepared for the Project site.

The San Jacinto Fault runs in a northwest-southeast direction through the Project area, as shown in **Figure 11-1, San Jacinto Fault Zone**. Almost the entire site is within the San Jacinto Fault Zone, as shown on the General Plan, Chapter 6, Safety Element, Figure S-2 *Earthquake Fault Study Zones*. This fault is considered active and is covered by the State Alquist-Priolo Act.

The General Plan and state law require a fault study be prepared when structures are proposed on or near faults so they can be accurately delineated, and buildings located out of the fault zone. The *Geo Investigation* indicates two localized faults, the Hot Springs fault (Anza segment, which is a splay of the San Jacinto Fault) and the Thomas Mountain fault are located on and in the immediate vicinity of the Project site. These faults involve the central and southern portions of the site, as shown in **Figure 11-2, Local Faults**. The Hot Springs Creek Fault alignment is parallel to and within the San Jacinto Fault Zone (northeast-southwest), while the Thomas Mountain Fault appears to intersect the Hot Springs Creek Fault at an oblique angle just west of the Project site. Therefore, both of the faults are considered to be “on” or beneath the Project site.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The *Fault Study* presented evidence that the Hot Springs fault offsets granitic bedrock at depths of 45 to 50 feet on or near the Project site. The granitic alluvium (soil) above the granite bedrock is relatively young and the geotechnical/fault testing on the site could not determine if underlying soils showed offset from recent seismic activity (i.e., a fault is considered “active” if it shows movement within recent “Holocene” time or the last 11,000 years). To err on the side of caution, the *Geo Investigation* and the *Fault Study* concluded the two fault structures beneath the central and southern portions of the Project site should be considered active, their surface expressions should likewise be considered active, and a habitable building restriction zone should be established on the site to provide a safe setback for Project buildings from the fault zone. The *Geo Investigation* and the *Fault Study* recommended a building restriction or setback zone that extends 50 feet beyond the possible fault zone, as shown in **Figure 11-3, Onsite Seismic Setback Zone**. The mapping reflects detailed locational information in the *Fault Study* and *Geo Investigation* as to the specific location of the setback zone.

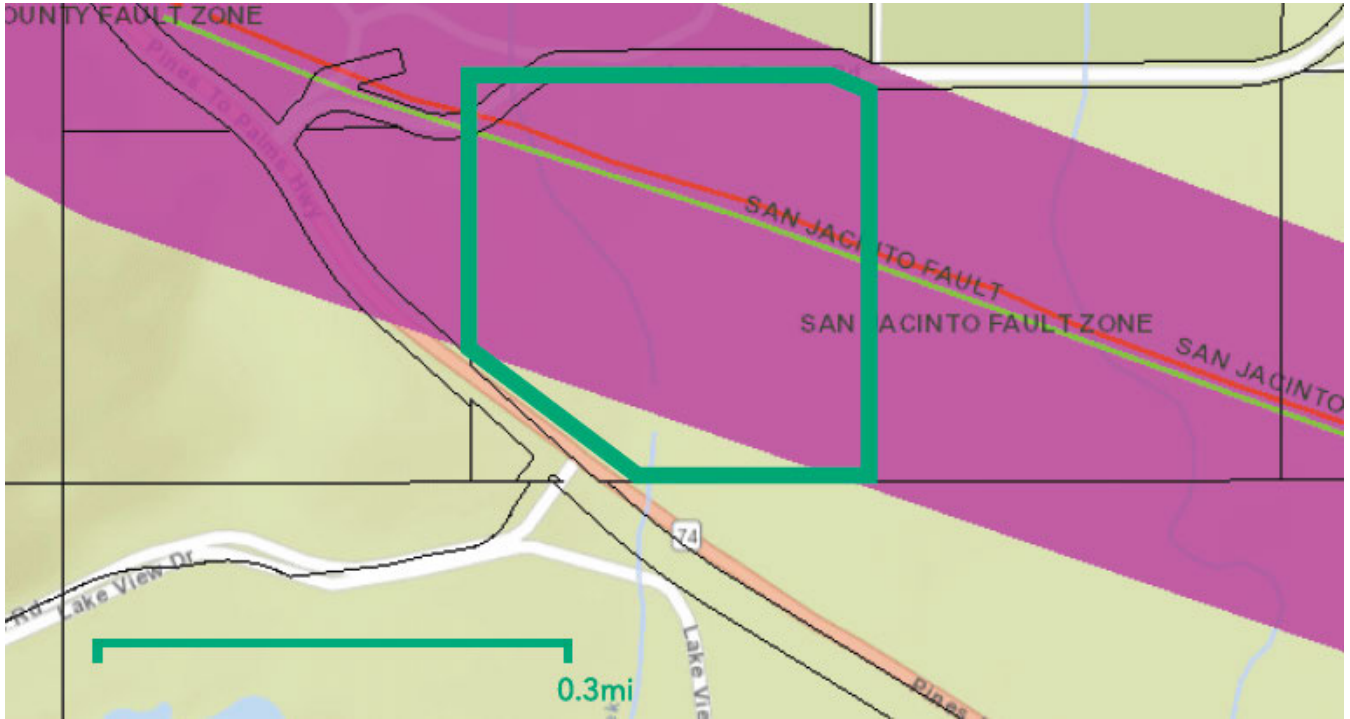
The Project proposes a guest ranch on the site with low intensity activities and buildings (i.e., one-story). The proposed Project buildings are all located outside of the proposed building setback zone. **Mitigation Measure MM-GEO-1** is recommended to assure that Project buildings are constructed outside of the designated seismic setback zone recommended by the Project *Geo Investigation* and *Fault Study*. With implementation of the recommended mitigation, potential impacts of the Project related to ground rupture from fault activity are reduced to less than significant levels.

Mitigation:

MM-GEO-1 Seismic Setback Zone. Prior to the issuance of any grading or building permits, the project developer shall have the fault setback zone identified in the Project *Fault Study* (Petra 2020) shown on all appropriate Project plans to be submitted to the County for review and approval. The determination of which plans must show the setback is at the discretion of the County based on its development review requirements. The limits and boundaries of the setback zone are based on the locational data provided in the *Fault Study*. Prior to the issuance of any permit, the developer must demonstrate that no habitable structure(s) covered by the permit is/are within the identified seismic setback zone. This measure shall be implemented to the satisfaction of the County Geologist.

Monitoring: Building plans will reflect the seismic setback zone which will be verified by County staff prior to issuance of any permits.

**FIGURE11-1
San Jacinto Fault Zone**

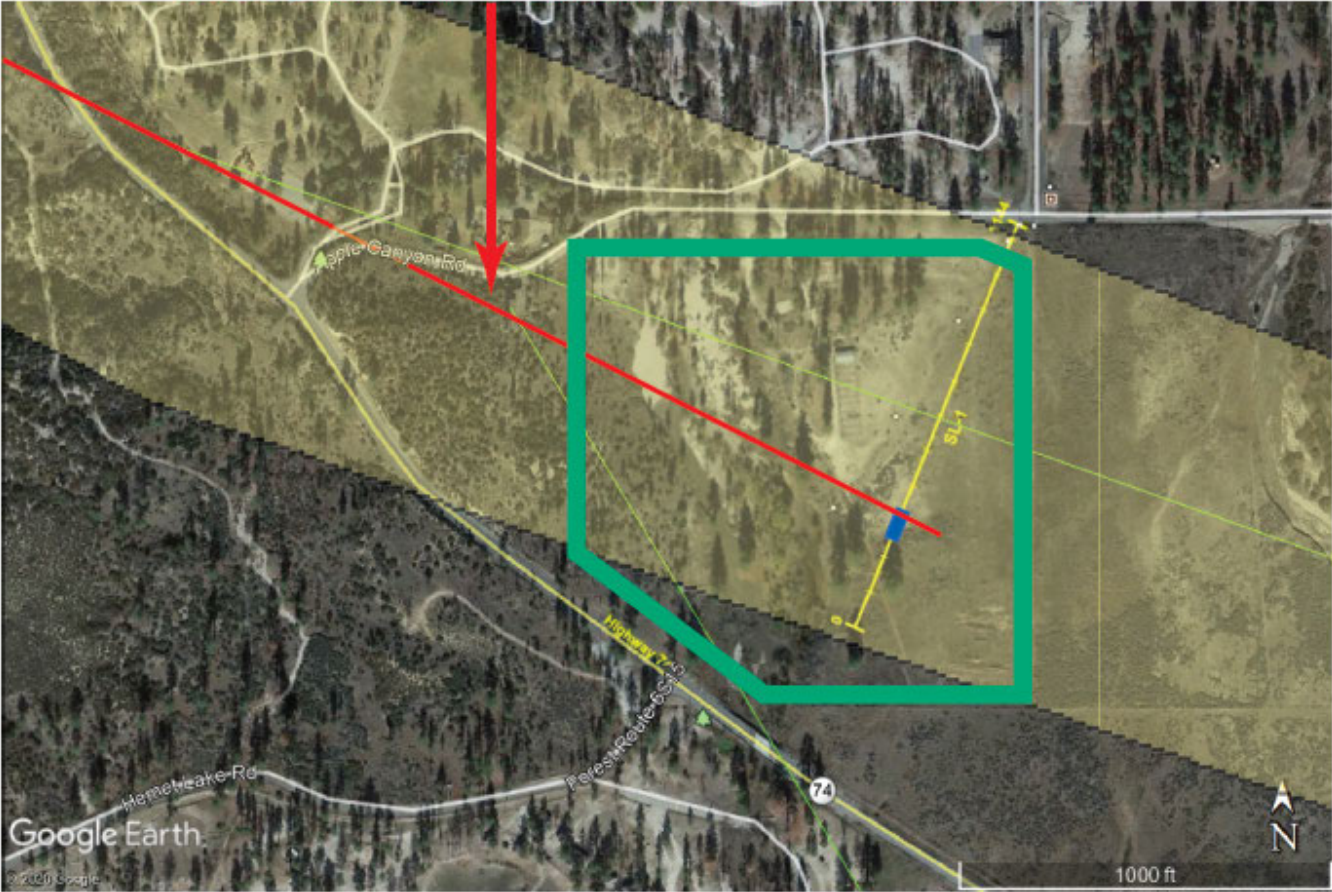


LIMITS OF THE RIDGE PROJECT

Source: Fault Study (**Appendix E2**)

**FIGURE11-2
Local Faults**

PROJECTION OF UNDEFLECTED HOT SPRINGS FAULT



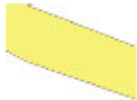
POTENTIAL FAULT ZONE IDENTIFIED IN SEISMIC LINE



LIMITS OF THE RIDGE PROJECT



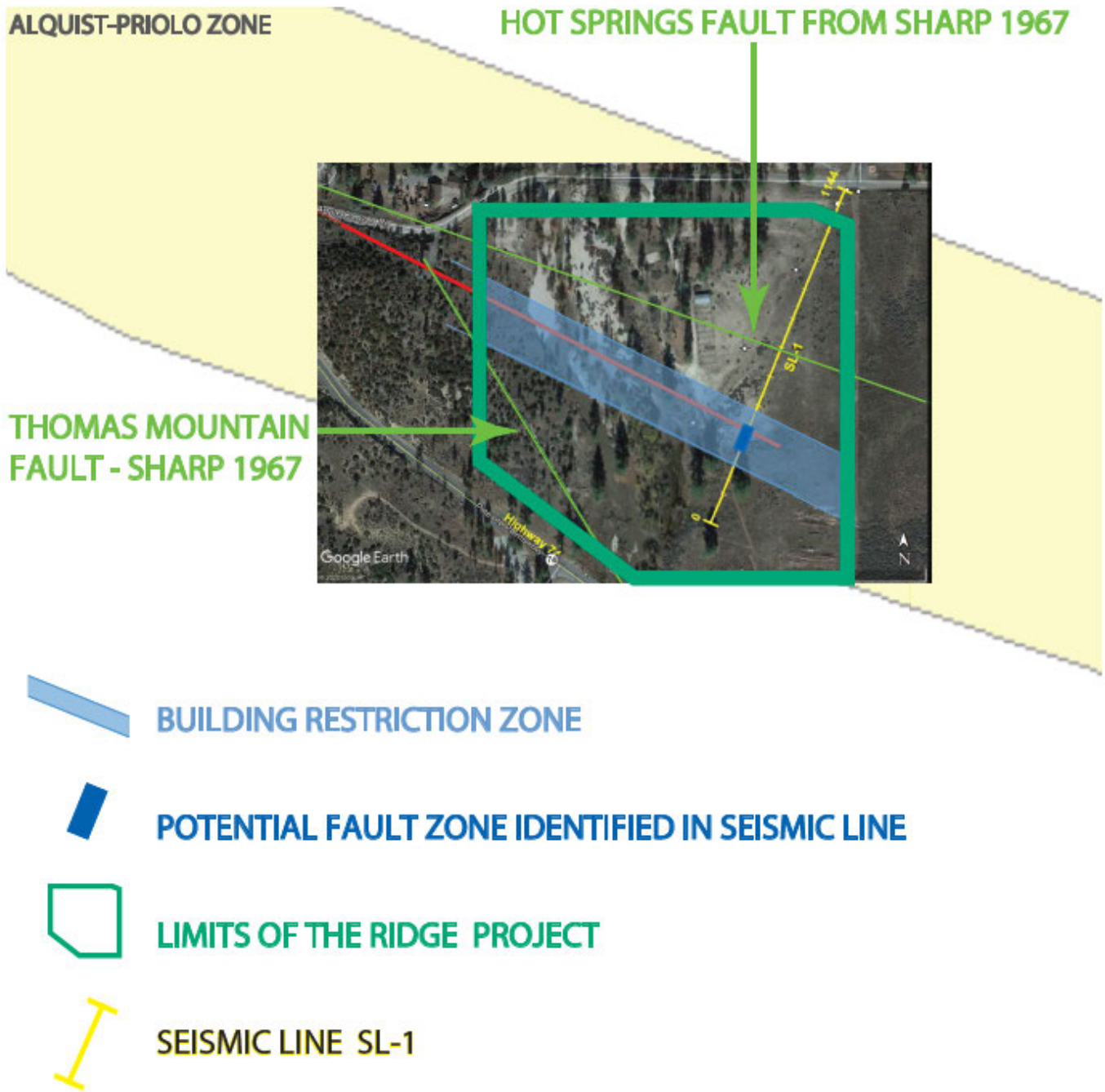
SEISMIC LINE SL-1



ALQUIST-PRIOLO ZONE

Source: Fault Study (Appendix E2)

**FIGURE11-3
Onsite Seismic Setback Zone**



Source: Fault Study (**Appendix E2**)

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County, prepared by Petra Geosciences, Inc., 10-5-2022 (Geo Investigation, Appendix E1); Geotechnical Review and Supplemental Analyses, Ridge Wellness Center, prepared by Sladden Engineering, 5-18-2023 (SE Report, Appendix E3); Riverside County General Plan, Chapter 6, Safety Element, Figure S-3 Generalized Liquefaction; and County of Riverside, Ordinance No. 457.*

Findings of Fact:

a) *Be subject to seismic-related ground failure, including liquefaction?*

Less Than Significant Impact with Mitigation Incorporated

The Project proposes a number of buildings with concrete pads in the eastern portion of the site that may be subject to liquefaction, differential settlement, and lateral spreading due to regional and local geologic conditions. Liquefaction commonly occurs when three conditions are present on-site simultaneously:

- (1) Relatively loose, cohesionless (sandy) soil;
- (2) High groundwater; and
- (3) Earthquake-generated seismic waves.

The presence of these conditions may cause a loss of shear strength and, in many cases, the settlement of subsurface soils, and the risk is proportional to the magnitude of the affecting earthquake. The site is not located within a County-designed Liquefaction Hazard Zone per Riverside County General Plan, Chapter 6, Safety Element, Figure S-3 *Generalized Liquefaction*. However, a subsurface exploration of the Project site was conducted as part of the *Geo Investigation* which found shallow groundwater (from 7.6 to 12.5 feet below the ground surface) and granitic sandy soils beneath the site. These soils overlie weathered granitic bedrock which was encountered at depth of 8 to 40 feet. In addition, Threshold 11 indicates there are fault structures beneath the site including a splay of the San Jacinto Fault which is a major regional fault that can produce large magnitude earthquakes. Therefore, the local potential for liquefaction on the Project site is considered to be high based on the presence of shallow groundwater, sandy soils, and the potential for moderate to large earthquakes in the area. Liquefaction is a type of seismically induced ground failure but there are other causes of such failures which were also addressed in the *Geo Investigation* such as the presence of two active fault structures beneath the Project site (see Threshold 11).

Current California Building Code (CBC) requirements pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that the proposed Project site structures are constructed pursuant to applicable seismic design criteria for the region. CBC requirements are applicable to all development; therefore, they are considered regulatory compliance and not unique mitigation for CEQA implementation purposes. In addition, the proposed Project site will comply with the *Geo Investigation*. This is also a standard condition and is not considered mitigation for CEQA implementation purposes.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The *Geo Investigation* indicated that the goal of liquefaction mitigation is to “provide a foundation system that can withstand the expected movement without causing such structural damage so as to pose a life-safety hazard such as structural collapse from excessive lateral drift”. The *Geo Investigation* recommended a “ground improvement program” to minimize potential impacts from liquefaction. However, the results of the *Geo Investigation* relative to liquefaction, differential settlement, and lateral spreading were peer reviewed by Sladden Engineering (SE) in May 2023 to assure the County and applicant that the most appropriate project design features were being included to protect the Project from these geotechnical/soils constraints. The *SE Report* concluded that the potential seismic settlement impacts would be adequately mitigated with remedial grading and appropriate foundation design recommended in the *Geo Investigation* (minus the ground improvement plan originally recommended. The specific recommendations of the SE Report Project grading will still include compaction of onsite soils during grading as well as other specific procedures during ground preparation, earthwork/excavation, fill placement, cut and fill slopes, shrinkage and subsidence, use of oversized materials (e.g., boulders), and options for footing and foundation design. The County also has a standard Condition of Approval (COA) that requires project design to comply with the approved seismic and geotechnical studies prepared for the Project (in this case, the *Geo Investigation* and the *SE Report*). Compliance with COAs is considered regulatory compliance and not unique mitigation under CEQA.

With adherence to current CBC standards, the Project geotechnical studies, County standard seismic conditions, and implementation of **Mitigation Measure MM-GEO-2**, any potential impacts to the Project from seismic-related ground failure, including liquefaction, differential settlement, and lateral spreading will be reduced to less than significant levels.

Mitigation:

MM-GEO-2 Remedial Grading. The *SE Report* recommended remedial grading as the most effective seismic settlement mitigation method for the Project. To provide firm and uniform foundation bearing conditions and to mitigate potential liquefaction related seismic settlements, the primary foundation bearing soil shall be over-excavated and recompacted. Over-excavation shall extend to a minimum depth of 5 feet below existing grade or 5 feet below the bottom of the proposed building footing elevations, whichever is deeper. Once adequate removals have been verified, the exposed native soil shall be moisture conditioned to near optimum moisture content and compacted to at least 90 percent relative compaction. Geo-grid reinforcements shall also be placed within the excavation bottom to provide additional seismic settlement mitigation. The previously removed material shall then be placed in thin lifts at near optimum moisture content and compacted to at least 90 percent relative compaction compacted engineered fill. Removals shall extend at least 10 feet laterally beyond the building limits. This measure shall be implemented to the satisfaction of the County Geologist and County Engineer or their designees.

Monitoring: The County Geologist will require monitoring of the proposed remedial grading program prior to the issuance of a Certificate of Occupancy for the Project.

13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (*Geo Investigation, Appendix E1*); *Report of Active Faulting, The Ridge Wellness Center, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc. 10-12-2020 (*Fault Study, Appendix E2*); *Geotechnical Review and Supplemental Analyses, Ridge Wellness Center*, prepared by Sladden Engineering, 5-18-2023 (*SE Report, Appendix E3*); Riverside County General Plan Figure S-4 “Earthquake-Induced Slope Instability Map;” and Ordinance No. 457.

Findings of Fact:

a) *Be subject to strong seismic ground shaking?*

Less Than Significant Impact with Mitigation Incorporated

As discussed in Thresholds 11 and 12, the Project site and surrounding area are underlain by earthquake faults including the regionally significant San Jacinto Fault which is capable of creating a Magnitude 8.1 earthquake. The *Geo Investigation* concluded the site and proposed buildings have a relatively high seismic risk (2022 CBC Class II per Table 1604.5). It also concluded the site had “stiff” soils (CBC Site Class D). The *Geo Investigation* concluded the site could be subject to “strong” seismic shaking of 0.639 g or approximately two-thirds the force of gravity expressed horizontally⁷.

California Building Code (CBC) requirements pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that the proposed Project site structures are constructed pursuant to applicable seismic design criteria for the region. Current CBC requirements are applicable to all development; therefore, they are considered regulatory compliance and not unique mitigation for CEQA implementation purposes. In addition, the proposed Project site will comply with the *Geo Investigation*. This is also a standard condition and is not considered mitigation for CEQA implementation purposes.

Due to the presence of active mapped faults across the Project site, there is a potential for surface rupture and a moderate to high amount of seismic shaking expected.

Although the Project site is not located within an area mapped by Riverside County as having a potential for liquefaction, the *Geo Investigation* found a high localized potential for liquefaction due to onsite geologic conditions. To alleviate the high onsite potential for liquefaction and seismically induced settlement, the *Geo Investigation* recommended implementation of a “ground improvement program”. However, the results of the *Geo Investigation* relative to liquefaction, differential settlement, and lateral spreading were peer reviewed by Sladden Engineering (SE) in May 2023 to assure the County and applicant that the most appropriate project design features were being included to protect the Project from these geotechnical/soils constraints. The *SE Report* concluded that the potential seismic settlement impacts would be adequately mitigated with remedial grading and appropriate foundation design recommended in the *Geo Investigation* (minus the ground improvement plan originally recommended).

The recommendations of the SE Report are incorporated into **Mitigation Measure MM-GEO-2**. Project grading will still include compaction of onsite soils during grading as well as other specific

⁷ S1 - Mapped Spectral Response Acceleration Long Period (1.0 second) per Table 4, Petra Geosciences 2022

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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procedures during ground preparation, earthwork/excavation, fill placement, cut and fill slopes, shrinkage and subsidence, use of oversized materials (e.g., boulders), and options for footing and foundation design. The County also has a standard Condition of Approval (COA) that requires project design to comply with the approved seismic and geotechnical studies prepared for the Project (in this case, the *Geo Investigation* and the *SE Report*). Compliance with COAs is considered regulatory compliance and not unique mitigation under CEQA.

With adherence to current CBC standards, County standard seismic conditions, the approved Project geotechnical reports, and implementation of **Mitigation Measure MM-GEO-2**, any potential impacts to the Project from strong seismic ground shaking will be reduced to less than significant levels.

Mitigation:

MM-GEO-2 Remedial Grading. The *SE Report* recommended remedial grading as the most effective seismic settlement mitigation method for the Project. To provide firm and uniform foundation bearing conditions and to mitigate potential liquefaction related seismic settlements, the primary foundation bearing soil shall be over-excavated and recompacted. Over-excavation shall extend to a minimum depth of 5 feet below existing grade or 5 feet below the bottom of the proposed building footing elevations, whichever is deeper. Once adequate removals have been verified, the exposed native soil shall be moisture conditioned to near optimum moisture content and compacted to at least 90 percent relative compaction. Geo-grid reinforcements shall also be placed within the excavation bottom to provide additional seismic settlement mitigation. The previously removed material shall then be placed in thin lifts at near optimum moisture content and compacted to at least 90 percent relative compaction compacted engineered fill. Removals shall extend at least 10 feet laterally beyond the building limits. This measure shall be implemented to the satisfaction of the County Geologist and County Engineer or their designees.

Monitoring: The County Geologist will require monitoring of the proposed remedial grading program prior to the issuance of a Certificate of Occupancy for the Project.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (*Geo Investigation, Appendix E1*); and Riverside County General Plan, Chapter 6, Safety Element, Figure S-5 *Regions Underlain by Steep Slope*.

Findings of Fact:

a) *Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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No Impact

According to the *Geo Investigation*, the site is not located within a State- or County-designed Landslide Hazard Zone. The *Geo Investigation* indicates the site gently slopes to the south-southwest and other than the creek bed does not contain any significant topographic features. Therefore, the site does not represent a rockfall or landslide hazard to the Project. Based on available information, the Project site’s proposed development plan will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards. There will be no impacts and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence?

Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (*Geo Investigation, Appendix E1*); *Geotechnical Review and Supplemental Analyses, Ridge Wellness Center*, prepared by Sladden Engineering, 5-18-2023 (*SE Report, Appendix E3*); Riverside County General Plan, Chapter 6, Safety Element, Figure S-7 *Documented Subsidence Areas Map*; and Ordinance No. 457.

Findings of Fact:

a) *Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence?*

Less Than Significant with Mitigation Incorporated

Subsidence refers to the sudden sinking or gradual downward settling and compaction of soil and other surface material with little or no horizontal motion. It may be caused by a variety of human and natural activities, including earthquakes.

Subsidence typically occurs throughout a susceptible valley. In addition, differential displacement and fissures occur at or near the valley margin, and along faults. In the County of Riverside, the worst damage to structures as a result of regional subsidence may be expected at the valley margins. Alluvial valley regions are especially susceptible.

Liquefaction is a type of seismically induced ground failure or subsidence. The three requirements for liquefaction to occur include seismic shaking, poorly consolidated cohesionless sands, and groundwater. Liquefaction results in a substantial loss of shear strength in loose, saturated, cohesionless soils subjected to earthquake induced ground shaking. Potential impacts from liquefaction include loss of bearing capacity, liquefaction related settlement, lateral movements, and surface manifestation in the form of sand boils.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The potential for design level earthquake induced liquefaction and lateral spreading to occur beneath the proposed structures on the Project site is considered to be high (see Threshold 12).

Current California Building Code (CBC) requirements pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that the proposed Project site structures are constructed pursuant to applicable seismic design criteria for the region. CBC requirements are applicable to all development; therefore, they are considered regulatory compliance and not unique mitigation for CEQA implementation purposes. In addition, the proposed Project site will comply with the *Geo Investigation* regarding unstable geological conditions or soil materials. This is also a standard condition and is not considered mitigation for CEQA implementation purposes.

As outlined in Threshold 12, the *Geo Investigation* recommended a “ground improvement program” to minimize potential impacts from liquefaction. However, the results of the *Geo Investigation* relative to liquefaction, differential settlement, and lateral spreading were peer reviewed by Sladden Engineering (SE) in May 2023 to assure the County and applicant that the most appropriate project design features were being included to protect the Project from these geotechnical/soils constraints. The *SE Report* concluded that the potential seismic settlement impacts would be adequately mitigated with remedial grading and appropriate foundation design recommended in the *Geo Investigation* (minus the ground improvement plan originally recommended).

The recommendations of the *SE Report* are incorporated into **Mitigation Measure MM-GEO-2**. Project grading will still include compaction of onsite soils during grading as well as other specific procedures during ground preparation and earthwork/excavation. Such guidelines and restrictions address all potential onsite risks or conditions regarding unstable geology or soil units, including subsidence.

With adherence to current CBC standards, County standard seismic conditions, and implementation of **Mitigation Measure MM-GEO-2**, any potential impacts to the Project from being located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence, will be reduced to less than significant levels.

Mitigation:

MM-GEO-2 Remedial Grading. The *SE Report* recommended remedial grading as the most effective seismic settlement mitigation method for the Project. To provide firm and uniform foundation bearing conditions and to mitigate potential liquefaction related seismic settlements, the primary foundation bearing soil shall be over-excavated and recompacted. Over-excavation shall extend to a minimum depth of 5 feet below existing grade or 5 feet below the bottom of the proposed building footing elevations, whichever is deeper. Once adequate removals have been verified, the exposed native soil shall be moisture conditioned to near optimum moisture content and compacted to at least 90 percent relative compaction. Geo-grid reinforcements shall also be placed within the excavation bottom to provide additional seismic settlement mitigation. The previously removed material shall then be placed in thin lifts at near optimum moisture content and compacted to at least 90 percent relative compaction compacted engineered fill. Removals shall extend at least 10 feet laterally beyond the building limits. This measure shall be implemented to the satisfaction of the County Geologist and County Engineer or their designees.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: The County Geologist will require monitoring of the proposed remedial grading program prior to the issuance of a Certificate of Occupancy for the Project.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source(s): *Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (*Geo Investigation, Appendix E1*); Google Maps; and **Figure 3, Aerial Photo**, provided in Section I of this IS.

Findings of Fact:

a) *Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?*

No Impact

Seismically induced flooding is normally associated with a tsunami (seismic sea wave), a seiche (i.e., a wave-like oscillation of surface water in an enclosed basin that may be initiated by a strong earthquake) or failure of a major reservoir or retention system up gradient of the site. As a result of the site being at an elevation of more than 4,000 feet above mean sea level and being more than 50 miles inland from the nearest coastline of the Pacific Ocean, the potential for seismically induced flooding due to a tsunami is considered remote. The likelihood of induced flooding due to a seiche overcoming a dam’s freeboard is considered remote. In addition, there is no major reservoir or water impoundment up gradient of the Project site would be compromised to a point of failure, resulting in inundation of the site. The only large body of water in the Project area is Lake Hemet which is 1,500 feet southwest of the site but it is 30 feet lower in elevation so it could not result in flooding or inundation of the Project site. The site slopes gently down to the southwest but the only topographic relief onsite is Hurkey Creek which flows through the center of the site from north to south. In addition, the bed and banks of Hurkey Creek now contain the 100-year flood limits of the creek so the risks of mudflows or inundation from the creek onto the rest of the site is considered minimal.

Based on the above, implementation of the Project would not be subject to geologic hazards, such as tsunami, or seiche.

There are no volcanic hazards in proximity of the Project site. Any mudflows associated with a volcanic hazard are not applicable to the Project.

The Project site is not subject to geologic hazards, such as seiche, mudflow, or volcanic hazard. There will be no impacts and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A); Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (*Geo Investigation, Appendix E1*); *Project Plans (Appendix K)*; *ATS System Design*, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022 (**Appendix L**); *OWTS Report*, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021 (**Appendix M**); and Ordinance No. 457.

Findings of Fact:

a) *Change topography or ground surface relief features?*

Less Than Significant Impact

The Project site generally slopes to the south and southwest but contains no significant topographical features except for Hurkey Creek which bisects the site in a north to south direction. The Project proposes a “wellness” ranch with a number of new wooden buildings and supporting structures including tents. The new buildings are proposed in the eastern portion of the site and will be constructed mainly of wood with concrete floor slabs on grade. The topography of the site varies from 4,445 feet above mean sea level (AMSL) along the northern boundary down to 4,334 feet AMSL along the southern boundary. There are no natural, cut, or fill slopes onsite in excess of 10 feet in height or steeper than 2:1 (horizontal: vertical).

The Project plans indicate new buildings and improvements will not require the construction of cut or fill slopes greater than 10 feet in height or steeper than 2:1 (horizontal:vertical). The *Geo Investigation* evaluated the proposed buildings and improvements and determined the proposed no unusual contour or slope changes on the site. The investigation included recommendations on creating cut and fill slopes consistent with County grading procedures. The proposed Project site will be required to comply with the *Geo Investigation* - this is also a County standard condition of approval and is not considered unique mitigation under CEQA.

In addition, current CBC requirements pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes or from geologic or soil constraints. CBC requirements are applicable to all development. Therefore, they are also considered regulatory compliance and not unique mitigation for CEQA implementation purposes.

The Project will result in only minor changes to the topography and surface relief features in the eastern portion of the site. These minor changes will be required in order to accommodate the Project buildings and improvements. In addition, the surrounding lands except to the north are vacant with no structures in the vicinity of the Project site except for Highway 74 along the southwest boundary of the property. The developed land uses north of the site are of similar low intensity (i.e., Camp Ronald McDonald, Hurkey Creek Campground, and Hurkey Creek Park).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As designed and with regulatory compliance, the changes to the topography and ground surface relief features will be in keeping with the existing physical improvements adjacent to the Project site. Therefore, any impacts are less than significant, and no mitigation is required.

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

Less Than Significant Impact

As indicated in Threshold 17.a, no cut or fill slopes greater than 2:1 or higher than 10 feet are being proposed in conjunction with the proposed Project.

Current CBC requirements (as implemented through County Ordinance No. 457) pertaining to new development and construction will minimize the potential for structural failure or loss of life due to geological constraints by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. In addition, the Project will be required to comply with the *Geo Investigation* and the report’s various recommendations.

The County of Riverside Building and Safety Department has standard conditions that apply to manufactured slopes which require the Project applicant to plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance No. 457 and the current CBC. With regulatory compliance, impacts will be less than significant, and no mitigation is required.

c) Result in grading that affects or negates subsurface sewage disposal systems?

Less Than Significant Impact

The Project site is currently vacant and is not served by either piped sewer or subsurface septic systems. The Percolation Testing and Onsite Wastewater Treatment System (OWTS) Investigation indicated portions of the site have shallow groundwater, on the order of 7 to 10 feet below ground surface in some areas. As a result of the shallow groundwater, the use of a typical conventional septic system with leach field is not feasible.

The Project will utilize an Aerobic Treatment System (ATS) with shallow near surface GeoFlow drip lines for its sewage disposal which will be located in the eastern portion of the site. This is mainly due to the presence of shallow groundwater. Please note that the area of the shallow subsurface GeoFlow drip lines is delineated on the project plans. These areas will remain native and undisturbed.

The plans and related data of the proposed ATS system have already been submitted and approved by Riverside County Department of Environmental Health (DEH). DEH has determined this system would be able to provide adequate wastewater service to the proposed Project, including day/weekend events and other special activities. The ATS system has been designed to remain under the 10,000 gallons per day (gpd) threshold which would allow this system to remain under the regulation of the County rather than the regional board. Effluent from this system will be dispersed in the garden area using GeoFlow drip irrigation. There will be no direct effluent discharges to the creek and all system components will be located at a minimum of 100 feet from

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the identified 100-year flood zone on the site. This system will meet the design requirements of the Uniform Plumbing Code and County DEH. The ATS system is sized to have an average daily flow of 8,900 gpd as shown in the calculations section of the ATS System Design documentation.

The County of Riverside Building and Safety Department has standard conditions that will prevent impacts on existing or proposed septic systems. These are considered regulatory compliance and not project unique mitigation. No portion of the proposed Project will result in grading that affects or negates subsurface sewage disposal systems. Impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2022), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (**Geo Investigation, Appendix E1**); *ATS System Design*, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022 (**Appendix L**); *OWTS Report*, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021 (**Appendix M**); United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey (United States Department of Agriculture Natural Resources Conservation Service, 2022); *Preliminary Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis, The Ridge Wellness, Inc., Mountain Center*, prepared by Searl Biological, 12-17-2021 (**MSHCP Analysis, Appendix C**); and Ordinance No. 457.

Findings of Fact:

a) *Result in substantial soil erosion or the loss of topsoil?*

Less Than Significant Impact

According to the Natural Resources Conservation Service (NRCS), the Project site is underlain by two soil associations as generally described below, and there are no hydric, clay, or saline-alkali soils series on the site:

- **Oak glen-rush families complex, 2 to 15 percent slopes (OmD):** A well-drained complex with alluvium parent material. The depth to the restrictive feature and water table is more than 80-inches. The frequency of ponding, according to the NRCS, is none. Approximately

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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80 percent of the site is underlain by these soils.

- **Oak Glen-Morical, very deep families complex, 2 to 30 percent slopes (SoDE):** A well-drained complex with alluvium parent material. The depth to the restrictive feature and water table is more than 80-inches. These soils would have no frequency of ponding according to the NRCS. Approximately 20 percent of the site is underlain by these soils.

These soils are relatively sandy and granitic in nature and lack thickness due to shallow underlying bedrock (also granitic in nature). These soils are subject to moderate erosion from water and wind, depending on the velocity of the eroding force (i.e., how much water is flowing and how fast it is flowing or how fast the wind is blowing). The onsite soil data from the NRCS is supported by the onsite subsurface exploration that was conducted as part of the *Geo Investigation* in 2022.

It should be noted Hurkey Creek crosses the center of the site flowing from north to south. The creek’s headwaters are located approximately 5.5 miles north of the site near Tahquitz Peak. In 2019, the west-facing slope of the San Jacinto Mountains experienced high volume rain events and the resulting flows caused closure of Hwy 74 for over a year. These flows caused the onsite bed and bank of Hurkey Creek to extend all the way to its 100-year floodplain limits. Other than the creekbed, the rest of the site is relatively flat and surface runoff generally flows toward the creek then offsite to the south. There is evidence of historical erosion in and along the creek bed but not generally in the flatter portions of the site away from the creek.

Site grading will create the potential for the proposed Project to result in soil erosion or the loss of topsoil, mainly in the eastern portion of the site. The County of Riverside Building and Safety Department has standard conditions, as they apply to manufactured slopes. In addition, wind erosion will be minimized through mandated soil stabilization measures by South Coast Air Quality Management District (SCAQMD) Rule 403 (Fugitive Dust), such as daily watering.

Lastly, water erosion will be prevented through the County’s standard, mandated, erosion control practices required pursuant to the 2022 CBC, and the National Pollution Discharge Elimination System (NPDES), such as silt fencing, fiber rolls, or sandbags. Once the proposed buildings and other improvements are in place and maintained, there should be little or no ongoing erosion as a result of the Project.

Based upon the required compliance with established regulations and County ordinances, impacts related to soil erosion will be less than significant, and no mitigation is required.

- b) *Be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2022), creating substantial direct or indirect risks to life or property?*

Less Than Significant Impact

Preliminary laboratory test results as part of the *Geo Investigation* indicate that the soils onsite exhibit expansion indices that are less than 20. As indicated in Section 1803.5.3 of the 2022 CBC, these soils are considered non-expansive and can be used for foundations but not backfilling (p. 26-27 and 33, Petra 2022). Consistent with Ordinance No. 457, each building pad will be evaluated for its expansive potential and foundation design parameters will be incorporated.

CBC requirements (as implemented through Ordinance No. 457) pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. Current CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. The Project will also be required to implement the recommendations of the Geo Investigation. This is also considered regulatory compliance and not unique mitigation.

Once graded per the *Geo Investigation*, the Project would not be located on expansive soil, as defined in Section 1803.5.3 of the California Building Code (2022), creating substantial risks to life or property; with adherence to listed regulations and County ordinances, impacts would remain less than significant level and no mitigation is required.

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Less Than Significant Impact

The NRCS indicates the Project site is underlain by two soil associations which are generally granitic and sandy in nature. In addition, the *Geo Investigation* determined that portions of the site have shallow groundwater, on the order of 7 to 10 feet below ground surface in some areas. The Project will utilize an Aerobic Treatment System (ATS) with shallow near surface GeoFlow drip lines for its sewage disposal which will be located in the eastern portion of the site. This is mainly due to the presence of shallow groundwater. The area of the shallow subsurface GeoFlow drip lines is delineated on the project plans. These areas will remain native and undisturbed.

The plans and related data of the proposed ATS system have already been submitted and approved by Riverside County Department of Environmental Health (DEH). DEH has determined this system would be able to provide adequate wastewater service to the proposed Project, including day/weekend events and other special activities. The ATS system has been designed to remain under the 10,000 gallons per day (gpd) threshold which would allow this system to remain under the regulation of the County rather than the regional board. Effluent from this system will be dispersed in the garden area using GeoFlow drip irrigation. There will be no direct effluent discharges to the creek and all system components will be located at a minimum of 100 feet from the identified 100-year flood zone on the site. This system will meet the design requirements of the Uniform Plumbing Code and County DEH. The ATS system is sized to have an average daily flow of 8,900 gpd as shown in the calculations section of the ATS System Design documentation.

The advanced on-site wastewater treatment must meet National Sanitation Foundation (NSF) performance standards of 40 and 245. All pretreatment equipment must be certified by the NSF as well as the County’s Health Department permitting. All of these requirements are covered by conditions of approval which is considered regulatory compliance and not unique mitigation under CEQA. Therefore, impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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19. Wind Erosion and Blowsand from Project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source(s): *Map My County (Appendix A)*; previous Riverside County General Plan Figure S-8 “Wind Erosion Susceptibility Map;” Ordinance No. 484 (An Ordinance of the County of Riverside for the Control of Blowing Sand); and Ordinance No. 457.

Findings of Fact:

a) *Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?*

Less Than Significant Impact

The proposed Project site is located in an area of “Moderate Wind Erosion” rating. Implementation of the proposed Project may be impacted by or result in an increase in wind erosion either on or off site. However, the site is not in an area identified as a “Blowsand” area according to the previous County General Plan Safety Element Figure S-8 (the most current Safety Element from 2021 no longer contains a wind hazards map).

All grading shall conform to the California Building Code, Ordinance No. 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department. This is a standard condition for the County of Riverside and is not considered mitigation for CEQA implementation purposes.

The Project will be required to implement a Storm Water Pollution Prevention Plan (SWPPP) to address wind erosion and blow sand as well as potential water erosion during the construction process. The SWPPP is required by the California Regional Water Quality Board and the NPDES General Permit Number R8-2010-0033 (County MS4 Permit) for the Santa Ana River Watershed. As part of the SWPPP, the Project will implement construction BMPs per the California Stormwater Quality Association Construction BMP Handbook that are used to control wind erosion and blow sand, as well as stormwater runoff. This is a standard condition for the County of Riverside as well as compliance with required state regulations and is not considered mitigation for CEQA implementation purposes.

With the inclusion of these standard conditions, any impacts from implementation of the proposed Project related to an increase in wind erosion and blowsand, either on- or off-site, will remain less than significant and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

GREENHOUSE GAS EMISSIONS Would the Project:

20. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Ranch Air Quality and Greenhouse Gas Assessment*, prepared by Urban Crossroads, 11-19-2021 (AQ/GHG Study, **Appendix B**); County of Riverside, Climate Action Plan Update, November 2019.

Note: Any tables or figures in this section are from the *AQ/GHG Study*, unless otherwise noted.

Findings of Fact:

a) *Would the Project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?*

Less Than Significant Impact

Following the State’s adoption of Assembly Bill 32 (AB 32) in 2006, the California Air Resources Board (ARB) developed a climate change scoping plan that included directives for local governments to reduce GHG emissions associated with land use 15 percent below baseline levels by 2020. The passage of AB 32, the California Global Warming Solutions Act of 2006, marked a watershed moment in California’s history. By requiring in law, a sharp reduction of greenhouse gas (GHG) emissions, California set the stage for its transition to a sustainable, low carbon future. AB 32 is the first program in the country to take a comprehensive, long-term approach to addressing climate change, and does so in a way that aims to improve the environment and natural resources while maintaining a robust economy.

The County adopted its first Climate Action Plan (CAP) in 2015 that included GHG inventories of community-wide and municipal sources using the baseline data for the year 2008. The 2015 CAP included the GHG reduction target of 15 percent below 2008 levels by 2020. The inventory baseline year 2008, was established as a starting point against which other inventories may be compared and targets may be set and was the earliest year with a full emissions inventory. As recommended in the AB 32 Scoping Plan, the County had set a target to reduce emissions back to 1990 levels by the year 2020. Based on the County’s socio-economic growth projections per the 2015 General Plan Update, this target was calculated as a 15 percent decrease from 2008 levels by 2020 and was determined sufficient for the County to meet the AB 32 target. The CAP Update sets a target to reduce community-wide GHG emission emissions by 15 percent from 2008 levels by 2020, 49 percent by 2030, and 83 percent by 2050. The California Air Resources Board (CARB) Scoping Plan outlines the reduction strategies designed to meet the State-wide reduction goal of AB 32.

The implementation mechanisms for the CAP/CAP Update are the Screening Tables for New Development. The Screening Tables allow new development projects a streamlined option for complying with CEQA requirements for addressing GHG emissions. Additionally, Riverside County’s Climate Action Plan details policies to reduce emissions from municipal and community-wide sources, including emissions from existing buildings and new development.

Projects have the option of preparing a project-specific technical analysis to quantify and mitigate GHG emissions. A threshold level above 3,000 metric tons of carbon dioxide equivalent (MTCO_{2e})

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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per year will be used to identify projects that require the use of Screening Tables or a project-specific technical analysis to quantify and mitigate project emissions. The screening tables are setup similar to a checklist, with points allocated to certain elements that reduce greenhouse gas emissions. If a project garners 100 points (by including enough GHG reducing elements), then the project is consistent with Riverside County’s plan for reducing emissions.

Construction Greenhouse Gas Emissions

Greenhouse gas emissions are estimated for on-site and off-site construction activity using CalEEMod 2020.4.0 which was the most current version when the study was prepared. **Table 20-1, Project Greenhouse Gas Emissions**, shows that construction greenhouse gas emissions, including equipment and worker vehicle emissions, would be 84.47 MTCO₂e when averaged over 30 years. Those emissions are then added to the long-term operational emissions pursuant to SCAQMD recommendations.

Operational Greenhouse Gas Emissions

Greenhouse gas emissions for the proposed Project were estimated for on-site and off-site operational activity using CalEEMod. Greenhouse gas emissions from mobile sources, area sources and energy sources are shown in **Table 20-1**.

**Table 20-1
Project Greenhouse Gas Emissions**

Emission Source	GHG Emissions (MTCO ₂ e/yr.) ¹
Mobile Source	289.59
Energy Source	197.46
Area Source	<0.01
Water	85.94
Waste	11.42
Construction (30-year amortization)	84.47
Total Annual Emissions	668.88
Riverside County CAP Screening Threshold	3,000
Exceed CAP Threshold?	No

¹ MTCO₂e/yr. = metric tons of carbon dioxide equivalents per year.

The analysis first compares the Project’s GHG emissions to the SCAQMD’s Tier 3 approach, which limits GHG emissions to 3,000 MTCO₂e. As shown in **Table 20-1**, Project GHG emissions are expected to be 668.88 MTCO₂e/year which is well below the County’s 3,000 MTCO₂e threshold based on the unmitigated business as usual scenario. Therefore, the proposed Project will not

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment. Any impacts will be less than significant, and no mitigation is required.

b) *Would the Project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?*

Less Than Significant Impact

The Riverside County CAP has been adopted to ensure the County meets the State-wide policies for reducing GHG emissions, as required by the California Global Warming Solutions Act (AB 32).

A threshold level above 3,000 MTCO₂e per year is used to identify projects that require the use of Screening Tables or a project-specific technical analysis to quantify and mitigate project emissions. The Screening Tables allow new development projects a streamlined option for complying with CEQA requirements for addressing GHG emissions. The screening tables are setup similar to a checklist, with points allocated to certain elements that reduce greenhouse gas emissions. If a project garners 100 points, then the project is considered to be consistent with Riverside County’s plan (and the broader state-wide policies) for reducing GHG emissions.

As shown in **Table 20-1**, the proposed Project is expected to generate 668.88 MTCO₂e which is much less than 3,000 MTCO₂e per year. Therefore, the Project would be in compliance with the CAP and no additional mitigation would be necessary.

The Project will also be required to comply with the mandatory requirements of Title 24 part 11 of the California Building Standards Code (CALGreen) and Title 24 Part 6 Building Efficiency Standards to further reduce energy usage and GHG emissions. CALGreen and building code compliance are standard County conditions and considered to be regulatory compliance and not unique mitigation under CEQA.

Therefore, with regulatory compliance the proposed Project will not conflict with an applicable plan, policy or regulation for the purpose of reducing the emissions of greenhouse gases and the impact is considered less than significant and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

HAZARDS AND HAZARDOUS MATERIALS Would the Project:

21. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County (Appendix A); Phase I Environmental Site Assessment*, prepared by GeoTek, Inc., 6-16-2020 (*Phase I ESA, Appendix F*); Mountain Communities Evacuation Routes Map; Project Plans (**Appendix K**); Hemet Unified School District website; GEOTRACKER website; *The Ridge Guest Ranch Fire Protection Plan, APN 568-070-021*, prepared by Firewise 2000, LLC, 6-12-2023 (*FPP, Appendix H*); and The Department of Toxic Substances Control EnviroStor website.

Findings of Fact:

- a) *Would the Project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?*

Less Than Significant Impact

The proposed Project could result in a significant hazard to the public if the Project includes the routine transport, use, or disposal of hazardous materials or places housing near a facility which routinely transports, uses, or disposes of hazardous materials.

The Project site is located in an unincorporated mountainous area of central Riverside County identified in the *Map My County* as approximately 3 miles southeast of the community of Mountain Center, and approximately 1/3 of a mile northeast of Hemet Lake. The Project site is mostly surrounded by large expanses of vacant lands that are designated as Open Space – Recreation (OS-REC), Open Space – Water (OS-W), Open Space Rural (OS-R), and Open Space - Conservation Habitat (CH) land use designations.

The Project proposes to repurpose a former agricultural property to accommodate The Ridge Guest Ranch.

The proposed Project does not place “for sale” or “for lease/rent” housing near any hazardous materials facilities. However, the Project does propose a facility that would provide 30 guest rooms, 6 tents, and 3 wellness cabins; there will be guests and staff on-site.

The routine use, transport, or disposal of hazardous materials is most typical of industrial uses that require hazardous materials for manufacturing operations. The proposed Project does not propose or facilitate any activity involving significant use, routine transport, or disposal of hazardous substances as part of the proposed use.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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During construction, there would be a minor level of transport, use, and disposal of hazardous materials and wastes that are typical of construction projects. This would include fuels and lubricants for construction machinery, coating materials, etc. Routine construction control measures and best management practices for hazardous materials storage, application, waste disposal, accident prevention and clean-up, etc. would be sufficient to reduce potential impacts to a less than significant level.

With regard to Project operation, widely used hazardous materials commonly used at camps or guest ranch facilities with administrative/custodial functions may include cleaners, pesticides, and food waste. The remnants of these and other products are disposed of as household hazardous waste that are prohibited or discouraged from being disposed of at local landfills.

Regular operation and cleaning of these uses would not result in significant impacts involving use, storage, transport or disposal of hazardous wastes and substances. Use of common household hazardous materials and their disposal does not present a substantial health risk to the community. The Project would not generate significant impacts associated with the routine transport and use of hazardous materials or wastes, and no mitigation is required.

- b) *Would the Project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?*

Less Than Significant Impact

The *Phase I ESA* did not reveal evidence of any recognized environmental conditions (RECs) or concerns in connection with the Project site.

During construction, there is a potential for accidental release of petroleum products from vehicles and equipment that would pose a significant hazard to people and the environment. Impacts may occur during construction; however, with the incorporation of standard conditions, such as the SWPPP, any impacts will remain less than significant. These standard conditions are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes.

Hazardous materials anticipated during operations are anticipated to be those most commonly associated with camp or guest ranch facilities (with administrative and custodial functions), which include cleaning products, petroleum products, etc. These types of hazardous materials are not potentially hazardous to large numbers of people, especially at the scale they would be stored and used in conjunction with the Project’s proposed use.

Some use of potentially hazardous materials, such as cleaning agents, may be used onsite but it is not expected that maintenance of the drainage facilities and ornamental landscaped areas will require hazardous chemicals. The use of such materials will be in accordance with state and federal regulations pertaining to their use. Therefore, no phase of the Project would create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Any impacts would be less than significant, and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) *Would the Project impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?*

Less Than Significant with Mitigation Incorporated

The Project is within a High Fire Area, and in a potential flood hazard zone. Highway 74 is a main pathway for this portion of the San Jacinto wilderness, and thus serves as the evacuation route, southerly to Garner Valley and northerly to Idyllwild/Hemet. Therefore, given the Project site’s location off of Highway 74 and Hemet Lake Drive, there is a potential to interfere with an emergency response or evacuation plan during construction. It should be noted that the Project does not take direct access of Highway 74, but via Apple Canyon Road. Other than new driveway access points, the Project will not expand or make any improvements to Apple Canyon Road or Highway 74 as part of the Project construction. Therefore, access to the established evacuation route will be improved, not diminished, as part of the Project. Since the Project takes access off of Apple Canyon Road, it is not anticipated that construction activities will impact Highway 74.

Control of access would ensure emergency access to the site and Project area during construction through the submittal and approval of a traffic control plan (TCP). The TCP is designed to lessen and abate any construction circulation impacts. This is a standard condition applicable to all development; therefore, it is not considered mitigation for CEQA implementation purposes.

The Project will introduce additional persons into the area which has high fire risks. Therefore, a Fire Protection Plan (*FPP*) was prepared to evaluate the proposed guest ranch to ensure it will not expose people or structures to significant fire risks or hazards. The *FPP* takes into account the property’s location, topography, geology, combustible vegetation (fuel types), climatic conditions and fire history. It also considers fire flow and its water supply, access, structure ignitability and fire resistive building materials, fire protection systems and equipment, impacts to existing emergency services, defensible space, and vegetation management.

The *FPP* proposes fuel modification requirements to effectively reduce the potential exposure of people and structures onsite from a significant risk of loss, injury, or death from wildland fires. The *FPP* recommends implementation and maintenance of the following four (4) Fuel Treatment Zones as described in the 2019 California Fire Code, each with their own characteristics, required landscaping, and required maintenance:

- **Fuel Treatment Zone 1**, the Immediate Zone, is the area from the exterior wall surface of the building extending 5-feet on a horizontal plane. The intent of Zone 1 is to create a landscape absent of all combustible materials. This zone includes the level graded area under and around all decks and requires the most stringent wildland fire fuel reduction and maintenance. This area shall be kept clear of combustibles, plant-based landscaping mulch, and all large shrubs and trees. It may have a few nonwoody plants, generally confined to pots or containers, that are low growing. Plants that grow in water are also a good choice. No plants shall be grown beneath windows or adjacent to doorways. The soil surface may be bare ground or covered with hardscape features such as pavers, gravel, concrete, rock, or other non-combustible material. Water features and statuary developed from non-combustible materials are also a good choice for this zone.
- **Fuel Treatment Zone 2** – Owner Maintained Intermediate Zone, is commonly called the defensible space zone for fire suppression forces and protects structures from radiant and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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convective heat. Zone 2 consists of the area from 5'-50' from the exterior wall surface extending out in a horizontal plane. Within the zone, flammable native vegetation shall be removed and replanted with drought tolerant, fire resistive, irrigated, plantings as approved by the Riverside County FD. (see Appendix A). Firewood shall not be stacked under tree canopy and stored at least 10 feet from property lines. Zone 2 fuel treatments are measured from the exterior walls of the structure or from the most distal point of a combustible projection, an attached accessory structure, or an accessory structure within 10 feet of a habitable structure. It provides the best protection against the high radiant heat produced by a wildfire and a generally cleared area in which fire suppression forces can operate during wildfire events.

- **Fuel Treatment Zone 3A** - the Extended Zone, is the area beyond Zone 2, from 50'-100' in a horizontal plane. All highly combustible native vegetation is excluded within the zone. Zone 3A may be partially, or non-irrigated, depending upon the plant species selected for planting. Irrigation shall not be required for natural slopes when there is a danger of slope failure. The goal within Zone 3A is the reduction or selective clearing of existing native vegetation and dense chaparral by 50% and the planting and maintenance of only approved species.
- **Fuel Treatment Zone 3B** – Bio-retention Basin - Owner Maintained, is located on the southeastern corner of the property, west of the planned solar farm and planter areas. This area, as part of the Water Quality Management Plan, has been designed to reduce storm water and soil runoff from the site. The basin will be planted with native plants materials and maintained to the required maintenance and landscaping standards listed for Zone 3A. Within Zone 3B will be thinning zones beginning at the edge of Zone 2 and including all natural and manufactured slopes. The specified intent is to achieve and maintain an overall 50% reduction in the canopy and removal of 100% of the dead and dying plant material following the growth cycle of the vegetation. Removal of prohibited and invasive species is permitted. The Project owner(s) is responsible for the maintenance of the area to Zone 3B standards as needed.

The *FPP* also includes supplemental fuel treatment zones for the onsite roadways, setback areas from the adjacent U.S. Forest Service land, Hurkey Creek setback zone, permanent markers for each zone, and a Shelter-In-Place (SIP) location and plan for how onsite sheltering will be implemented if needed. The *FPP* lists construction practices and materials to minimize fire risk, specifications for the onsite water systems (domestic and fire) including two onsite wells (one of them new with this Project), and three water storage tanks. three (3) Ignition Zones as described in the current California Fire Code:

With implementation of the *FPP* as a type of emergency response plan (see **Mitigation Measure MM-FIRE-1**), the Project will not result in a significant risk to persons or property on the Project site from wildfire.

The Project would not impair implementation of, or physically interfere with an adopted emergency response plan or an emergency evacuation plan. Impacts would be less than significant with implementation of the recommended mitigation.

- d) *Would the Project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter (1/4) mile of an existing or proposed school?*

No Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Project area is served by the Hemet Unified School District (HUSD). The schools that serve the Project area are as follows:

- Hamilton Elementary School (grades K-8) located at 57550 Mitchell Rd., in the unincorporated community of Anza approximately 15.3 miles (driving distance) south of the site;
- Hamilton High School (grades 9-12) located at 57430 Mitchell Rd., in the unincorporated community of Anza approximately 15.3 miles (driving distance) south of the site.

There are no existing or proposed schools located within one-quarter mile of the Project site. There are public facilities in the surrounding area where young children may be present at various times of the year (i.e., Hemet Lake Campground, Hurkey Creek Campground, and Ronald McDonald Campground). However, the Project is not expected to emit or result in the release of any hazardous materials into the environment which could affect these children (see also discussion in Threshold 21(a)). The nature of the Project is such that non-hazardous materials are expected to be used to the extent possible for activities on this site.

Based on this information, implementation of the Project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. There would be no impact, and no mitigation is required.

- e) *Would the Project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?*

No Impact

The California State Waterboards GEOTRACKER site provides information regarding Leaking Underground Storage Tanks, Other Cleanup Sites, Land Disposal Sites, Military Sites, Waste Discharge Requirement (WDR) Sites, Permitted Underground Storage Tank (UST) Facilities, Monitoring Wells, Department of Toxic Substances Control (DTSC) Cleanup Sites and DTSC Hazardous Waste Permit Sites.

According to the GEOTRACKER site, there are no active or open cases involving Leaking Underground Storage Tanks, Other Cleanup Sites, Land Disposal Sites, Military Sites, WDR Sites, Permitted UST Facilities, Monitoring Wells, DTSC Cleanup Sites and DTSC Hazardous Waste Permit Sites on the proposed Project site, or within two (2) miles of the Project site. Detailed information is shown on **Figure 21-1, Geotracker Site**.

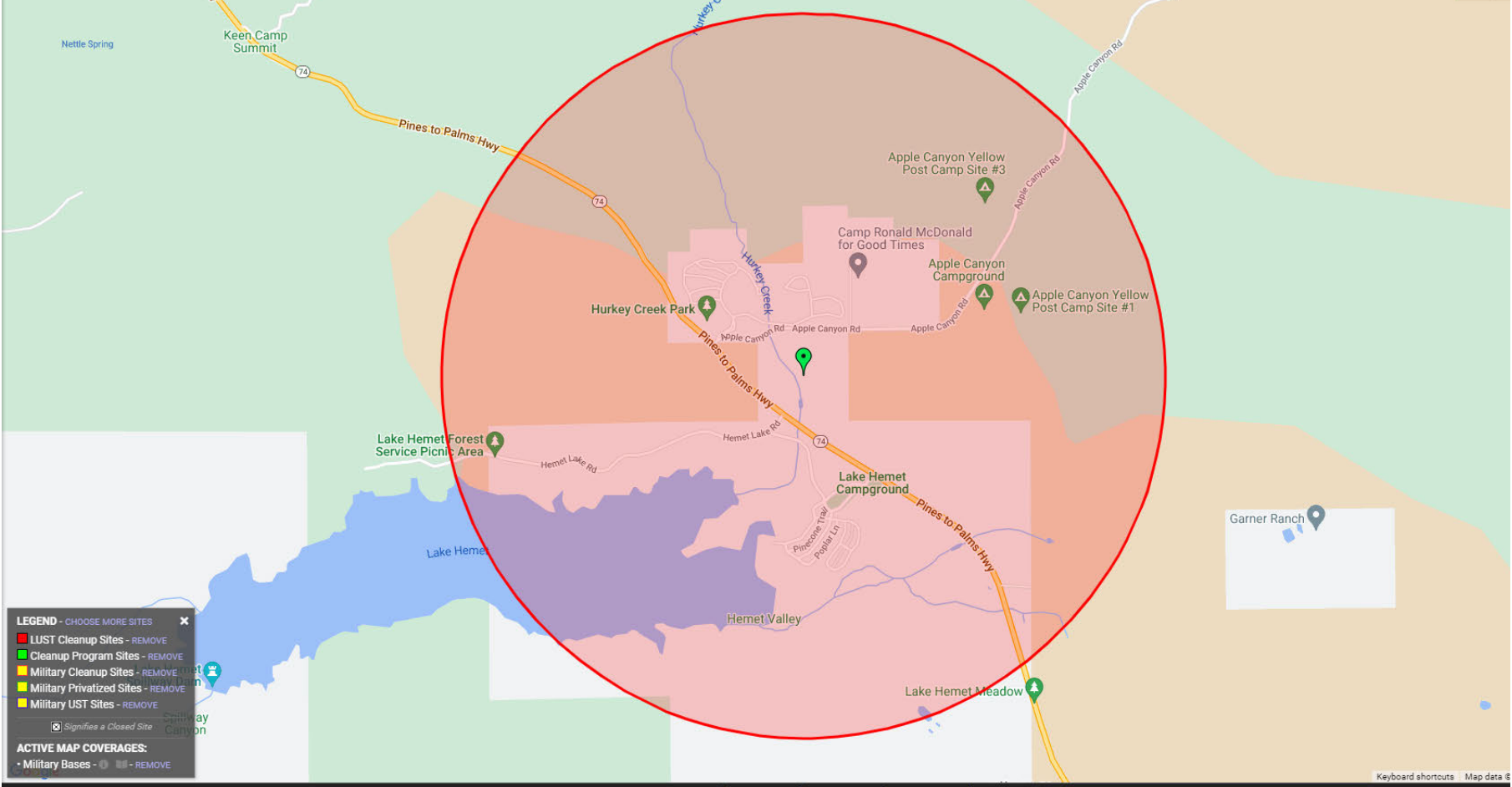
Likewise, the DTSC's EnviroStor site does not show any active Hazardous Waste and Substances Sites located within a 2-mile radius of the proposed Project site. This information was verified at the web-link cited in the sources, and shown on **Figure 21-2, EnviroStor Site**.

These conclusions are supported by the information contained in the *Phase I ESA*. The Project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based upon the available data, there is no evidence to support that hazardous wastes or contamination would be present on the Project site and, therefore, would not create a significant hazard to the public or the environment. There would be no impact, and no mitigation is required.

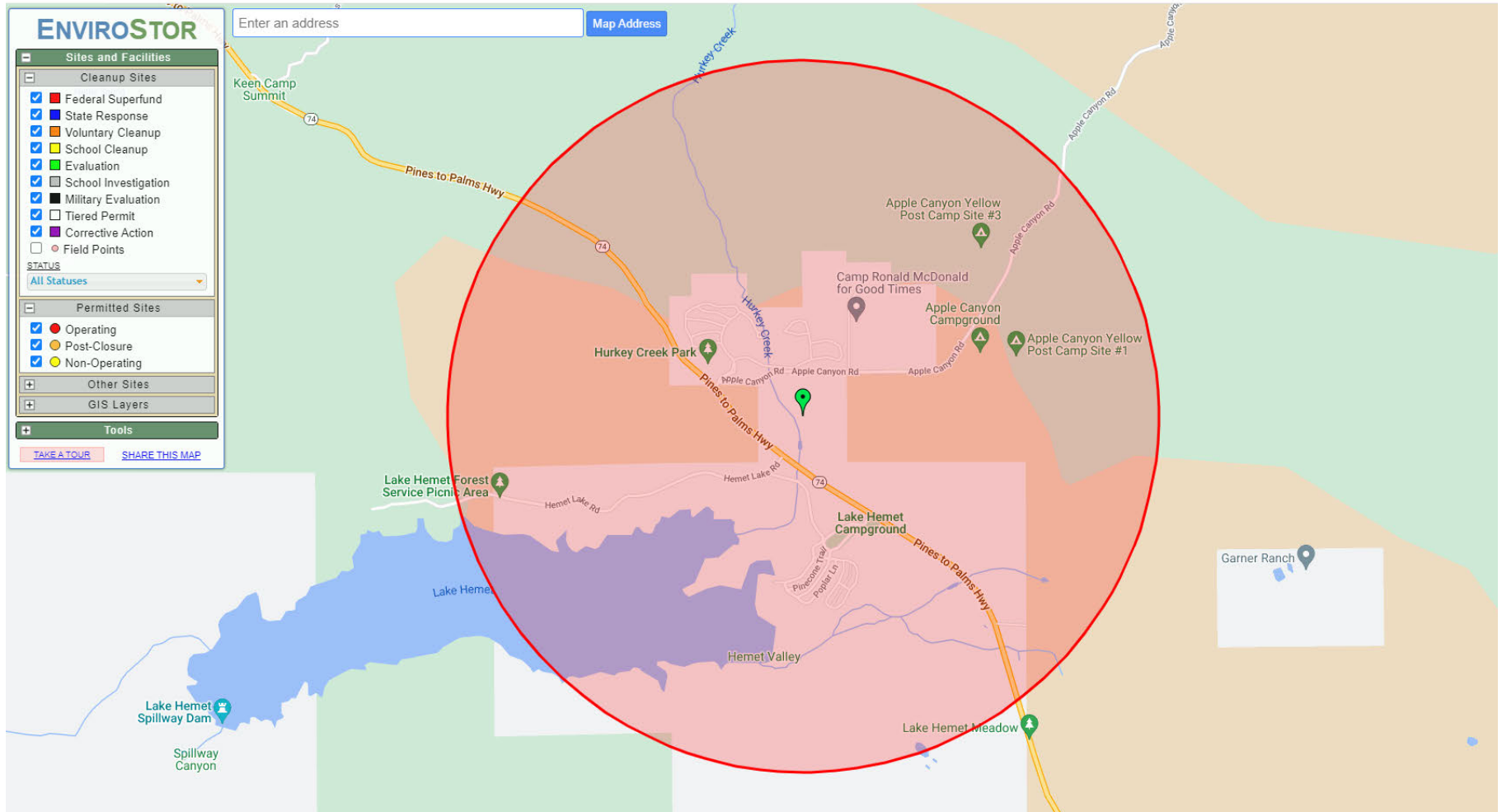
**FIGURE 21-1
GeoTracker Site**




Source: GeoTracker <http://geotracker.waterboards.ca.gov/map/?CMD=runreport&myaddress=39750+De+Portola+Rd%2C+Temecula%2C+CA+92592>

 SITE

**FIGURE 21-2
Envirostor Site**



Source: Envirostor <https://www.envirostor.dtsc.ca.gov/public/map/?myaddress=39750+De+Portola+Rd%2C+Temecula%2C+CA+92592>

 SITE

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation:

MM-FIRE-1 Fire Protection Plan. Prior to issuance of a certificate of occupancy, the applicant shall demonstrate the facility has implemented all recommendations of the *Fire Protection Plan (FPP)* prepared for the Project by Firewise 2000, LLC dated 6-12-2023 or subsequent County-approved version. The *FPP* includes but is not limited to the creation of four onsite Fuel Treatment Zones for fuel management, a shelter in place plan for guests and employees if necessary, during a wildfire event, non-treatment areas, construction material restrictions, and water system requirements. The *FPP* shall be implemented to the satisfaction of the County Fire Marshal.

Monitoring: To be monitored through the Certificate of Occupancy Permit Process and site inspections by Riverside County Building and Safety Department and the County Fire Marshal shall be included in the Mitigation Monitoring and Reporting Program for the Project to assure its implementation.

22. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County (Appendix A)*; Riverside County General Plan Figure S-20 “Airport Locations; AirNav.com website; and Google Earth.

Findings of Fact:

a) *Would the Project result in an inconsistency with an Airport Master Plan?*

No Impact

The Project site is not located in an area which is governed by an airport master plan. The closest airport is Palm Springs International Airport which is located approximately thirteen and a half (13.5) miles northeast of the Project site. It should be noted that the Garner Private Airfield is approximately 1/2 mile to the east of the Project, but it has been abandoned and is no longer in operation. Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. There would be no impact, and no mitigation is required.

b) *Would the Project require review by the Airport Land Use Commission?*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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No Impact

Please reference the discussion in Threshold 22.a. The Project site is not located in an area which is governed by an airport land use plan; therefore, review by an airport land use commission is not required. This criterion is not applicable to the Project. There would be no impact, and no mitigation is required.

- c) *For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the Project area?*

No Impact

Please reference the discussion in Threshold 22.a. The Project site is not located in an area which is governed by an airport master plan. Therefore, this criterion is not applicable to the Project. There would be no impact, and no mitigation is required.

- d) *For a project within the vicinity of a private airstrip, or heliport, would the Project result in a safety hazard for people residing or working in the Project area?*

No Impact

The closest private airstrip is the Lake Riverside Airport which is located approximately 12 miles southwest of the Project site; the closest heliport is at the Hemet Valley Hospital located approximately 17.5 miles northwest of the Project site. These distances are out of the immediate vicinity of the Project Site.

Therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area from a private airstrip, or heliport. There would be no impact, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

HYDROLOGY AND WATER QUALITY Would the Project:

23. Water Quality Impacts

a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the Project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in substantial erosion or siltation on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to Project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Revised Planning Level Geotechnical Assessment, The Ridge, Lake Hemet Area, Riverside County*, prepared by Petra Geosciences, Inc., 10-5-2022 (**Appendix E1**); *Ridge Wellness Center Water System, Preliminary Technical Report*, prepared by Specialized Utilities Services Program, 4-24-2023 (**Appendix G1**); *Well Inspection Report*, prepared by Heritage Well Service, 4-8-2021 (**Appendix G2**); *Well Sampling Analytical Report*, prepared by Babcock Laboratories, Inc., 8-3-2021 (**Appendix G3**); *Project-Specific Water Quality Management Plan (WQMP), The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023 (**Appendix G4**); *Preliminary Hydrology and Hydraulics Report for The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023 (**Appendix G5**); FEMA FIRM website, Firmette mapping; **Figure 5, Landscape Plan**, provided in Section I of this IS; Ordinance No. 458 (An Ordinance of the County of Riverside Regulating Special Flood Hazard Areas and Implementing the National Flood Insurance Program); Ordinance No. 754 (As Amended through 754.2; An Ordinance of the County of Riverside Amending Ordinance No. 754 Establishing Stormwater/Urban Runoff Management and Discharge Controls); Riverside County General Plan, Safety Element, Figure 4 *Flood Hazard Zone*, and Figure 5 *Dam Hazard Inundation*; Riverside County General Plan, Riverside Extended Mountain Area Plan, Figure 10, *REMAP Flood Hazard Zone*; Project Plans (**Appendix K**); ATS System Design, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022 (**Appendix L**); OWTS Report, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021 (**Appendix M**); and Map My County (**Appendix A**).

Note: Any tables or figures in this section are from the *WQMP* and/or *Hydrology Study*, unless otherwise noted.

Findings of Fact:

a) *Would the Project violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?*

Less Than Significant Impact

The federal Clean Water Act (CWA) establishes the framework for regulating municipal storm water discharges (construction and operational impacts) via the National Pollutant Discharge Elimination

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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System (NPDES) program. A project would have an impact on surface water quality if discharges associated with the project would create pollution, contamination, or nuisance as defined in Water Code Section 13050, or that cause regulatory standards to be violated as defined in the applicable NPDES storm water permit or Water Quality Control Plan for a receiving water body.

For the purpose of this specific issue, a significant impact could occur if the Project would discharge water that does not meet the quality standards of the agencies which regulate surface water quality and water discharge into storm water drainage systems. Significant impacts could also occur if the Project does not comply with all applicable regulations with regard to surface water quality as governed by the State Water Resources Control Board (SWRCB). These regulations include preparation of a Water Quality Management Plan (WQMP) to reduce potential post-construction water quality impacts.

According to the *WQMP*, the Project site is located in the Santa Ana River Watershed within the Hemet Lake Hydrological Sub-area which is in turn part of the San Jacinto Valley Hydrological Sub-Area with a size of approximately 36.1 gross acres. **Table 23-1, Downstream Receiving Waters**, shows the receiving water bodies that are downstream of the Project site. The table also shows their federal CWA Section 303(d) listed impairments in terms of water quality, as well as their designated beneficial uses such as agriculture (AGR), municipal water supply (MUN), groundwater recharge (GWR), power generation (POW), contact and non-contact recreation (REC1 and REC2), cold freshwater habitat (COLD), warm freshwater habitat (WARM), fish spawning habitat (SPWN), wildlife habitat (WILD), and habitat for listed or sensitive species (RARE). The *WQMP* concludes the Project will require coverage by the Statewide Construction General Permit to adequately protect area water quality. All new development in the County is required to comply with provisions of the NPDES program, including Waste Discharge Requirements (WDR) and MS4 Order No. R8-2010-0033, NPDES Permit No. CAS618033, as enforced by the Santa Ana Regional Water Quality Control Board.

**Table 23-1
Downstream Receiving Waters**

Receiving Waters	EPA Approved 303(d) List Impairments	Designated Beneficial Uses
Hurkey Creek	Not Applicable	MUN, AGR, GWR, REC-1, REC-2, WARM, WILD
Lake Hemet	Not Applicable	MUN, AGR, GWR, POW, REC-1, REC-2, WARM, COLD, WILD, SPWN
San Jacinto River	Escherichia coli (E. coli), Fecal Coliform, Nitrate, Dissolved Oxygen, Toxicity, Turbidity	AGR, GWR, REC-1, REC-2, WARM, WILD
Canyon Lake (Railroad Canyon Reservoir)	Nutrients	MUN, AGR, GWR, REC1, REC2, COMM, WARM, WILD
Lake Elsinore	DDT, Nutrients, Organic Enrichment/Low Dissolved Oxygen, PCB, Toxicity	GWR, REC1, REC2, COMM, WARM, WILD, RARE

The Project site is located on the south side of Apple Canyon Road just east of Highway 74 in the San Jacinto Mountains. Elevations onsite vary from 4,445 feet above mean sea level (AMSL) along the northern boundary down to 4,334 feet AMSL along the southern boundary. The Project proposes the construction and operation of an eco-conscious private guest ranch with guest cabins and guest

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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tents, wellness cabins, wellness basecamp, activity hub and lap pool, dining area, health focused commercial kitchen, working greenhouse, apiary and fruit trees will contribute to a fully sustainable facility for guests to use and enjoy within the natural setting of the property.

The ranch Project will offer a variety of self-development therapies and recreational activities. Recreational activities available to the guests will include but are not limited to hiking, mountain biking, horseback riding, rock climbing, and water activities at Lake Hemet. In addition, guests will be able to participate in outdoor cultural and environmental educational activities as part of the experience at the ranch. Onsite improvements include guest cabins and tents, administration and other support and activity buildings, pervious parking areas, landscaping, and Class II base roadway for fire access. The development will preserve the existing onsite drainage pattern by ultimately draining stormwater runoff toward Hurkey Creek.

Approximately 36.1 acres of the site (almost 90 percent) will remain as natural open space. The Project will retain all the natural vegetation and all the existing large pine trees on the site. The 36.1-acre site currently has 100% pervious surfaces (0% impervious) and the Project proposes to create 3.5 acres of impervious surfaces in the eastern portion of the site as part of the guest ranch facilities. Therefore, development of the Project will increase the impervious surfaces on the site to 9.9% (3.5 acres divided by 36.1 acres). The onsite drainage conditions depicted on **Figure 23-1, Proposed Condition Hydrology Map**. The proposed Project development will utilize low impact development standards intended to preserve the natural topography of the Project site to the maximum extent possible and a combination of the landscaped areas and infiltration trenches are included in the Project design. It should be noted the *Hydro Study* and *WQMP* both used a slightly larger site area for drainage considerations (37.37 acres). The development Project is for 36.11 acres and the difference in acreage was the inclusion of a small amount of adjacent property that will remain vacant but contributes runoff to the Project site.

Hurkey Creek crosses the center of the site flowing from north to south. The creek’s headwaters are located approximately 5.5 miles north of the site near Tahquitz Peak. In 2019, the west-facing slope of the San Jacinto Mountains experienced high volume rain events and the resulting flows caused closure of Hwy 74 for over a year. These flows caused the onsite bed and bank of Hurkey Creek to extend all the way to its 100-year floodplain limits. Other than the creekbed, the rest of the site is relatively flat and surface runoff generally flows toward the creek then offsite to the south into Lake Hemet. There is evidence of historical erosion in and along the creek bed but not generally in the flatter portions of the site away from the creek.

According to the Project *WQMP*, the site is divided into four drainage management areas (DMA 1-4). Runoff from DMAs 1, 2 and 4 will be handled by Water Quality Basin 1 while DMA 3 is actually self-retaining and will not require an improved facility. **Table 23-2, Project Hydrology Conditions**, shows the post-development conditions for the site as well as the storage of the proposed detention basin per the Project *Hydrology Study* and *WQMP*.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table 23-2
Project Hydrology Conditions**

Drainage Area A (DMAs 1,2, & 4)	2-Year, 24-Hour Runoff (Q) cubic feet/second (cfs)	10-Year, 24-Hour Runoff (Q) cubic feet/second (cfs)
Pre-Development	0.5	1.4
Post-Development	1.8	3.0
Difference	+1.3	+1.6

Drainage Management Areas	Area (acres)	Design Capture Volume	Proposed Basin Storage
1, 2, 4	12.89	12,155.7 cf	12,200 cf (Basin 1)
3	24.48	RSR	NA
Total	37.37	12,155.7 cf	12,200 cf (Basin 1)

Sources: Page 4, Hydrology Study and Table D.3, WQMP

cf = cubic feet RSR = Receiving Self-Retaining (no improved basin needed)

As shown in **Table 23-2**, the Project proposes one basin to protect water quality. DMA 3 is a self-retaining area while Basin 1 is a bioretention basin which will treat runoff from DMAs 1, 2, and 4. Basin 1 is slightly oversized (per **Table 23-2**) to prevent offsite hydromodification during the 2-year, 24-hour storm event. The *Hydrology Study* concludes this capacity is consistent with the Riverside County Flood Control and Water Conservation District (RCFCWCD) methodology based on the calculated difference in runoff hydrograph volume between the undeveloped and developed conditions (015-Flood Increased Runoff Criteria) for rural areas. Since the basin’s capacity is slightly greater than the design capture volume, there will be no increase in offsite runoff from the site as a result of Project development.

Since the Project involves more than one acre of ground disturbance, it is subject to NPDES permit requirements for the preparation and implementation of a project-specific Storm Water Pollution Prevention Plan (SWPPP). Adherence to NPDES permit requirements and the measures established in the SWPPP are routine actions conditioned by the County and will ensure applicable water quality standards are appropriately maintained during construction of the proposed Project.

The proposed Project has been reviewed and conditioned by the County Building Department and the County Transportation Department to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES. These are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes.

The Project will utilize an Aerobic Treatment System (ATS) with shallow near surface GeoFlow drip lines for its sewage disposal which will be located in the eastern portion of the site. This is mainly due to the presence of shallow groundwater. The area of the shallow subsurface GeoFlow drip lines is delineated on the project plans. These areas will remain native and undisturbed.

The plans and related data of the proposed ATS system have already been submitted and approved by Riverside County Department of Environmental Health (DEH). DEH has determined this system would be able to provide adequate wastewater service to the proposed Project, including day/weekend events and other special activities. The ATS system has been designed to remain under the 10,000 gallons per day (gpd) threshold which would allow this system to remain under the regulation of the County rather than the regional board. Effluent from this system will be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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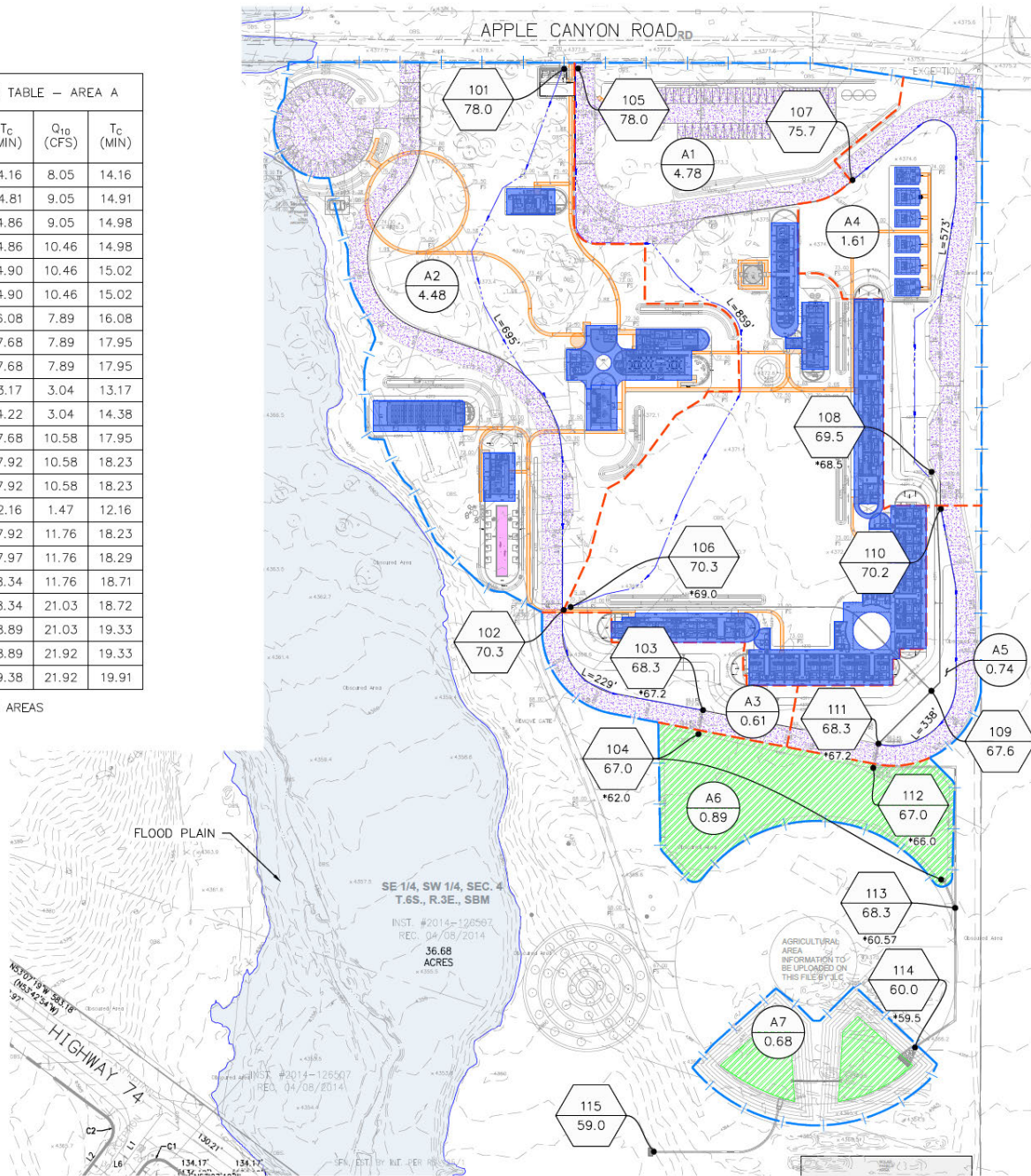
dispersed in the garden area using GeoFlow drip irrigation. There will be no direct effluent discharges to the creek and all system components will be located at a minimum of 100 feet from the identified 100-year flood zone on the site. This system will meet the design requirements of the Uniform Plumbing Code and County DEH. The ATS system is sized to have an average daily flow of 8,900 gpd as shown in the calculations section of the ATS System Design documentation. There will be no impacts from this potential source of surface or groundwater contamination.

For the reasons outlined above, implementation of the proposed Project will not violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality. Any impacts will be less than significant, and no mitigation is required.

**FIGURE 23-1
Proposed Condition Hydrology Map**

HYDROLOGY SUMMARY TABLE – AREA A				
NODES	Q ₁₀₀ (CFS)	T _c (MIN)	Q ₁₀ (CFS)	T _c (MIN)
101-102	14.48	14.16	8.05	14.16
102-103	16.31	14.81	9.05	14.91
103-104	16.31	14.86	9.05	14.98
104-104	19.01	14.86	10.46	14.98
104-113	19.01	14.90	10.46	15.02
*113-113	19.01	14.90	10.46	15.02
105-106	14.22	16.08	7.89	16.08
106-109	14.22	17.68	7.89	17.95
*109-109	14.22	17.68	7.89	17.95
107-108	5.45	13.17	3.04	13.17
108-109	5.45	14.22	3.04	14.38
*108-109	19.05	17.68	10.58	17.95
109-111	19.05	17.92	10.58	18.23
*111-111	19.05	17.92	10.58	18.23
110-111	2.64	12.16	1.47	12.16
*110-111	21.19	17.92	11.76	18.23
111-112	21.19	17.97	11.76	18.29
112-113	21.19	18.34	11.76	18.71
*112-113	38.14	18.34	21.03	18.72
113-114	38.14	18.89	21.03	19.33
114-114	39.88	18.89	21.92	19.33
114-115	39.88	19.38	21.92	19.91

* DENOTES CONFLUENCE AREAS



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) *Would the Project substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the Project may impede sustainable groundwater management of the basin?*

Less Than Significant Impact

The 36.1-acre site currently has 100% pervious surfaces (0% impervious) so at present essentially all the precipitation that falls on the Project site percolates back into the ground and into the local groundwater supply. The Project proposes to create 3.5 acres of impervious surfaces in the eastern portion of the site as part of the guest ranch facilities. Therefore, development of the Project will increase the impervious surfaces on approximately 10% of the site (3.5 acres divided by 36.1 acres) which may incrementally decrease runoff that would otherwise percolate back into the local groundwater. However, the *WQMP* indicates the Project will have a water quality basin that will allow percolation of a portion of the site runoff to percolate back into the ground. In addition, approximately 90 percent of the site will remain in its natural condition which will minimize the potential reduction in onsite runoff back into the local groundwater (see **Figure 23-2, *WQMP Site Plan***).

The Project site currently has an agricultural well onsite. To serve the new facilities, the new well will have to be reviewed and permitted by the County Department of Environmental Health and the State.

It should be noted the Project will have low intensity activities and low scale buildings (i.e., one-story) and is intended to be econ-friendly and environmentally conscious so it will be specifically designed to conserve water (i.e., low impact development or LID). The Project buildings will also be required to meet the County’s LID ordinance and state water conservation goals. Except in the northeast portion of the site proposed for Project development, the site will remain in its existing natural condition, including Hurkey Creek. Driveways and access roadways will be constructed of roller-compacted decomposed granite (DG) to the minimum widths required and on-site parking is being designed utilizing DG with the exception of ADA spaces which will be paved. DG walkways are being limited to those areas in the vicinity of the proposed ranch buildings. Where feasible, the runoff from the building roof areas will be directed to landscaped areas prior to entering the on-site storm drain system. Impervious areas have been designed to drain to localized landscaping and natural areas that have been designed as infiltration areas. Landscaping is designed per landscaped architectural plans consistent with County standards. The *WQMP* indicated the site has seasonally high groundwater so infiltration BMPs were not feasible in this location. However, the *WQMP* includes one bioretention basin with a volume of 12,200 cubic feet (cf) which exceeds the calculated design capture volume of 12,155.7 cf. This basin will collect runoff from the developed portion of the site and help reduce sediment and other potential pollutants to protect the water quality of the adjacent Hurkey Creek and downstream Lake Hemet.

As outlined above, no component of the proposed Project will substantially deplete or divert groundwater supplies. The Project design, as depicted on the Project plans and Project-specific *WQMP*, will allow for runoff in the developed portion of the site to infiltrate back into the ground and allow for groundwater recharge. This will help to offset any potential effects on groundwater recharge from impervious elements of the proposed Project.

Therefore, implementation of the proposed Project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Impacts are considered less than significant, and no mitigation is required.

FIGURE 23-2 WQMP Site Plan










DESIGN NOTES:

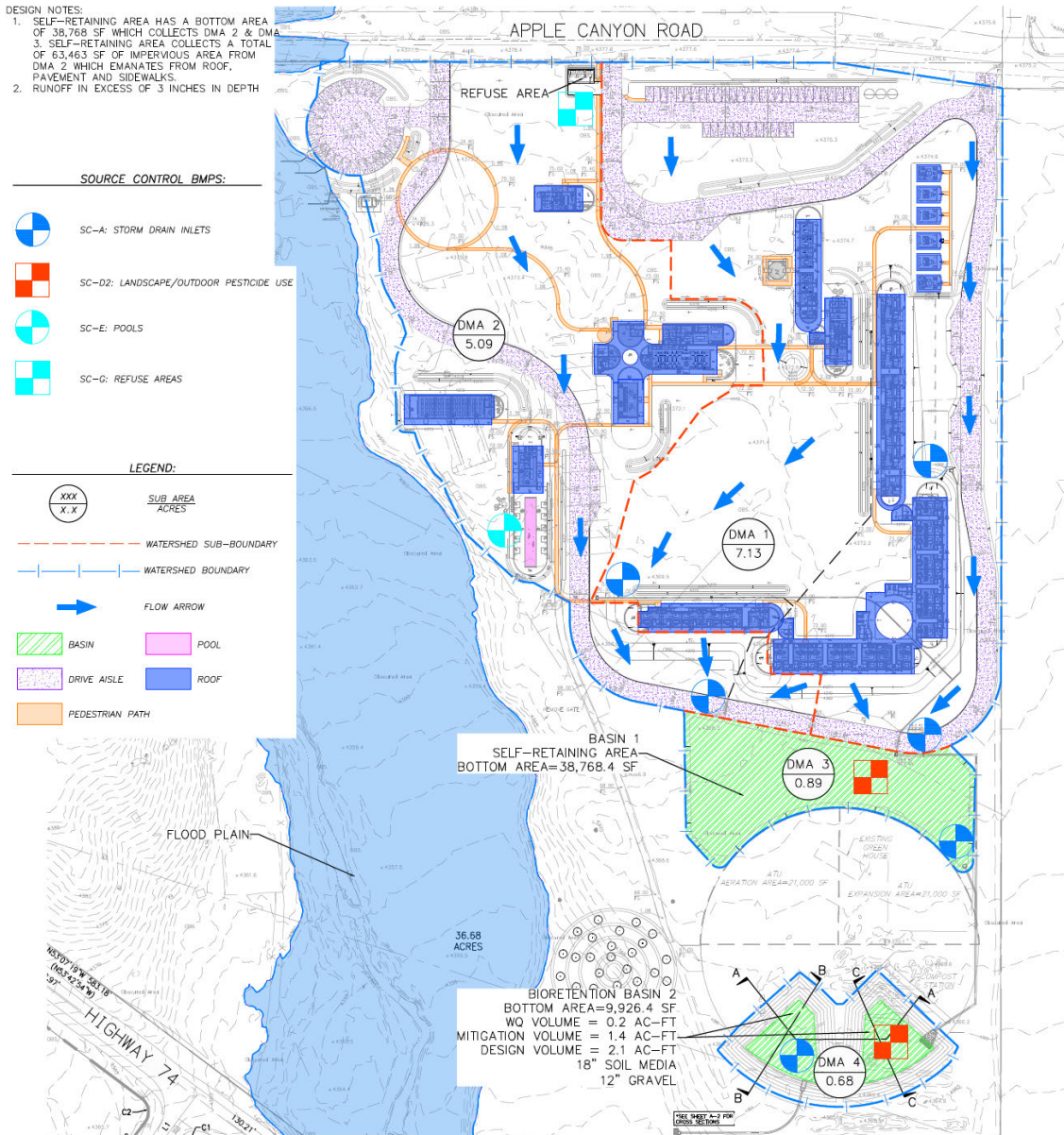
1. SELF-RETAINING AREA HAS A BOTTOM AREA OF 38,768 SF WHICH COLLECTS DMA 2 & DMA 3.
2. SELF-RETAINING AREA COLLECTS A TOTAL OF 63,463 SF OF IMPERVIOUS AREA FROM DMA 2 WHICH EMANATES FROM ROOF, PAVEMENT AND SIDEWALKS.
3. RUNOFF IN EXCESS OF 3 INCHES IN DEPTH

SOURCE CONTROL BMPs:

-  SC-A: STORM DRAIN INLETS
-  SC-D: LANDSCAPE/OUTDOOR PESTICIDE USE
-  SC-E: POOLS
-  SC-G: REFUSE AREAS

LEGEND:

-  SUB AREA ACRES
-  WATERSHED SUB-BOUNDARY
-  WATERSHED BOUNDARY
-  FLOW ARROW
-  BASIN
-  POOL
-  DRIVE AISLE
-  ROOF
-  PEDESTRIAN PATH



BASIN 1
SELF-RETAINING AREA
BOTTOM AREA=38,768.4 SF

BASIN 2
BIORETENTION BASIN
BOTTOM AREA=9,926.4 SF
WQ VOLUME = 0.2 AC-FT
MITIGATION VOLUME = 1.4 AC-FT
DESIGN VOLUME = 2.1 AC-FT
18" SOIL MEDIA
12" GRAVEL

NOTE:
WQ VOLUME = 7175 CF = 0.2 AC-FT

DMA AREA SUMMARY TABLE						
DMA	ROOF TOP AREA (SF)	SIDEWALK (SF)	ROAD	TOTAL IMPERVIOUS AREA (AC)	TOTAL AREA (AC)	IMPERVIOUS PERCENT
1	39,509.00	4,116.00	45,864.00	2.05	7.13	0.29%
2	17,725.00	15,042.00	30,696.00	1.46	5.09	0.29%
3	0.00	0.00	0.00	0.00	0.89	0.00%
4	0.00	0.00	0.00	0.00	0.68	0.00%

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- c) *Would the Project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces?*

Less Than Significant Impact

Please refer to the hydrology discussion set forth under Threshold 23.a. Hurkey Creek crosses the center of the site flowing from north to south. Other than the creekbed, the rest of the site is relatively flat and surface runoff generally flows toward the creek then offsite to the south into Lake Hemet. The Project proposes the construction and operation of an eco-conscious private guest ranch with guest cabins and guest tents, wellness cabins, wellness basecamp, activity hub and lap pool, dining area, health focused commercial kitchen, apiary and fruit trees will contribute to a fully sustainable facility for guests to use and enjoy within the natural setting of the property. Approximately 33 acres of the site (almost 90 percent) will remain as natural open space, including Hurkey Creek.

The *Hydrology Study* also examined potential impacts related to Hurkey Creek. Its watershed area is approximately 7,000 acres and has a peak flow rate of 6,074 cubic feet per second (cfs). The creek was also evaluated relative to the County’s increased runoff criteria and Ordinance No. 458. The *Hydrology Study* concluded that Hurkey Creek is an adequate outlet for Project runoff due to the magnitude of the watershed area and peak flow rate. Therefore, the County runoff criteria were not applied and impacts to the creek are not anticipated from development of the Project.

The proposed Project development will utilize low impact development standards intended to preserve the natural topography of the Project site to the maximum extent possible and a combination of the landscaped areas and a bio infiltration basin are included in the Project design. The proposed Project drainage and water quality systems meet the requirements and criteria established by the Riverside County Flood Control and Water Conservation District (RCFCWCD) and will include flood control protection by providing the necessary Best Management Practices to treat the runoff generated by the Project in a manner that meet the requirements outlined in the Water Quality Management Plan Guidance Document.

The previous **Table 23-2, Project Hydrology Conditions**, shows the post-development conditions for the site as well as the storage of the proposed detention basin per the *Hydrology Study*. As set forth in the *Hydrology Study*, the existing detention basin has adequate capacity to convey the expected 10-year return frequency, 24-hour duration event peak flow from the Project site consistent with the RCFCWCD methodology based on the calculated difference in runoff hydrograph volume between the undeveloped and developed conditions (015-Flood Increased Runoff Criteria). Therefore, the post-Project drainage pattern will remain essentially the same as in the pre-Project condition.

The proposed Project has been reviewed and conditioned by the County Building Department and the County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES. These are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes.

The Project will not substantially alter the existing north to south drainage pattern of the site or area, including Hurkey Creek, by the alteration of the course of a stream or river or through the addition of impervious surfaces. Any impacts will be less than significant, and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) *Would the Project result in substantial erosion or siltation on-site or off-site?*

Less Than Significant Impact

Refer also to Thresholds 18.a and 19.a pertaining to the potential for erosion to occur with Project implementation. The Project will introduce impervious surfaces onto 3.5 acres (10%) in the eastern portion of the site while the remaining 90% of the site will remain in its natural condition. Onsite soils are relatively sandy and granitic in nature and lack thickness due to shallow underlying bedrock (also granitic in nature). These soils are subject to moderate erosion from water and wind, depending on the velocity of the eroding force (i.e., how much water is flowing and how fast it is flowing or how fast the wind is blowing). The onsite soil data from the Natural Resources Conservation Service is supported by the onsite subsurface exploration that was conducted as part of the *Geo Investigation* in 2022.

Existing and proposed drainage conditions are summarized under Threshold 23.c. Furthermore, as stated in Threshold 23.c, the post-Project drainage pattern will remain essentially the same as in the pre-Project condition, including no modifications to Hurkey Creek. Implementation of the Project as proposed would not result in substantial erosion on-site or off-site. Runoff will be directed to onsite landscaping features and other pervious areas and eventually reach an onsite infiltration basin, as shown on the Project Site Plan.

Since the Project involves more than one acre of ground disturbance, it is subject to NPDES permit requirements for the preparation and implementation of a Project-specific SWPPP. Adherence to NPDES permit requirements and the measures established in the SWPPP are routine actions conditioned by the County and will ensure applicable water quality standards are appropriately maintained during construction of the proposed Project.

The proposed Project has been reviewed and conditioned by the County Building Department and the County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES. These are standards conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes.

Therefore, the Project will result in substantial erosion or siltation on-site or off-site. Any impacts will be less than significant, and no mitigation is required.

e) *Would the Project substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site?*

Less Than Significant Impact

A detailed description of the post-Project drainage conditions is presented in Thresholds 23.a and 23.b. Onsite improvements include guest cabins and tents, administration and other support and activity buildings, pervious parking areas, landscaping, and Class II base roadway for fire access. The development will preserve the existing onsite drainage pattern by ultimately draining stormwater runoff toward Hurkey Creek.

According to the Project *WQMP*, the site is divided into four drainage management areas (DMA 1-4). Runoff from DMAs 1, 2 and 4 will be treated by Water Quality Basin 1 while DMA 3 is actually

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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self-retaining and will not need an improved facility. The 36.1-acre site currently has 100% pervious surfaces (0% impervious) and the Project proposes to create 3.5 acres of impervious surfaces in the eastern portion of the site as part of the guest ranch facilities. Therefore, development of the Project will increase the impervious surfaces on the site to 10% (3.5 acres divided by 36.1 acres).

The Project will increase runoff from the site by introducing impervious surfaces so the *WQMP* demonstrates that one detention basin (labeled Basin 1 in the *WQMP*) can control this increased runoff. Since the Basin's capacity will be slightly greater than the design capture volume, there will be no increase in offsite runoff from the site as a result of Project development.

Finally, the *Hydrology Study* concludes the existing detention basin is designed to accommodate the 10-year return frequency, 24-hour duration event peak flow from the Project site consistent with the RCFCWCD methodology based on the calculated difference in runoff hydrograph volume between the undeveloped and developed conditions (015-Flood Increased Runoff Criteria).

The hydraulics of Hurkey Creek have been modeled using the Hydrologic Engineering Center - River Analysis System (HEC-RAS) used by the developed by the U.S. Army Corps of Engineers (USACE). This software identified a 100-year flood zone limit within the bed and banks of Hurkey Creek, but no improvements of the Project will be located within that zone. The proposed Project development will utilize low impact development standards intended to preserve the natural topography of the Project site to the maximum extent possible and a combination of the landscaped areas and infiltration trenches are included in the Project design. Approximately 90% of the site will remain as undisturbed open space.

The *Hydrology Study* and *WQMP* demonstrate that the overall drainage patterns are preserved in the proposed condition by matching existing condition discharge points, dispersing impervious area flows to permeable areas, and includes infiltration areas to mitigate increases in peak storm runoff quantities.

These elements mitigate the proposed increases in the imperviousness over the existing conditions while allowing for the installation of all the proposed impervious elements. Using this type of treatment control plan, the Project design has minimized the proposed impervious area footprint as much as feasible without sacrificing design and use elements.

Therefore, the Project will not substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-site or off-site. Any impacts from implementation of the Project will be less than significant, and no mitigation is required.

- f) *Would the Project create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? **Less Than Significant Impact***

A detailed description of the post-Project drainage condition is included in Thresholds 23.a and 23.b. **Figure 23-2, *WQMP Site Plan***, provided in Threshold 23.b, identifies the proposed on-site drainage basins for the Project site.

The Project *WQMP* details four (4) DMAs in conjunction with the proposed Project development. The Project proposes a drive aisle with an asphalt dike along the interior edge to collect runoff from the Project site. Additionally, local storm drain facilities are proposed to collect and route runoff

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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within the Project site as shown in the *Hydrology Study*. The drainage facilities have been proposed in order to protect the Project from flooding and meet the requirements of County Ordinance No. 458. The areas upstream and downstream of the site are rural and mountainous and present little potential for polluted runoff to adversely affect the Project site or properties immediately downstream, including Lake Hemet. According to the Project *Hydrology Study*, the existing site does not retain any stormwater in the existing condition. In the developed condition, the runoff will be detained in a basin designed to accommodate the 10-year return frequency, 24-hour duration event peak flow from the Project site consistent with the RCFCWCD methodology based on the calculated difference in runoff hydrograph volume between the undeveloped and developed conditions (015-Flood Increased Runoff Criteria). Therefore, the post-Project drainage pattern will remain essentially the same as in the pre-Project condition, and Project implementation would not result in an increase in the volume or rate of runoff from the Project site over its undeveloped condition.

The proposed Project has been reviewed and conditioned by the County Building Department and County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES. The incorporation of BMP's during construction and operation would ensure that the Project does not result in substantial additional sources of polluted runoff.

These are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that would create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff, would be less than significant, and no mitigation is required.

g) *Would the Project impede or redirect flood flows?*

Less Than Significant Impact

Based on a review of the FEMA Flood Rate Insurance Map (FIRM), Panel No. 06065C2170G, the Project site and surrounding areas are all located in FEMA Flood Zone "D" which are areas of undetermined flood hazard". It should also be noted the hydraulics of Hurkey Creek have been modeled using the Hydrologic Engineering Center - River Analysis System (HEC-RAS) used by the developed by the U.S. Army Corps of Engineers (USACE). This software identified a 100-year flood zone limit within the bed and banks of Hurkey Creek, but no improvements of the Project will be located within that zone. The post-Project drainage plan has been designed such that the Project would not impede or redirect flows coming offsite from the north or along Hurkey Creek per the Project *Hydrology Study* and *Grading Plan*. Therefore, impacts will be less than significant, and no mitigation is required.

h) *In flood hazard, tsunami, or seiche zones, risk the release of pollutants due to Project inundation?*

Less Than Significant Impact

As outlined in Threshold 23.g, the FEMA Flood Rate Insurance Map (FIRM), Panel No. 06065C2170G indicates the Project site and surrounding properties are located in Zone D, which corresponds to areas of undetermined flood hazard". The Project grading plan shows that the northeast portion of the site planned for Project development is outside of the 100-year flood plain established for Hurkey Creek to comply with FEMA flood zone requirements.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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This information is consistent with County General Plan Safety Element Figure 4 (Flood Hazard Zone) and Figure 10 (Flood Hazard Zone) of the County’s Riverside Extended Mountain Area Plan (REMAP) which shows the Project site is not within the Special Flood Hazard Area or Dam Inundation Area (County General Plan Safety Element Figure 5 Dam Hazard Inundation). The Project site is located approximately 1.9 miles northeast and 30 feet higher in elevation (i.e., upstream) than the Lake Hemet spillway which is at the southwest corner of the lake.

It is noted that Map My County states that the Project site is outside of the flood plain but that a “flood plain review may be required.”

The Project site is located over 40 miles northeast of the nearest coastline (Pacific Ocean); therefore, the risk associated with tsunamis is negligible.

The Project site is located adjacent to a body of water (i.e., Lake Hemet) but at a higher elevation, so a seiche, which is a run-up of water within a lake or embayment triggered by fault or landslide induced ground displacement, would not impact the Project site. Therefore, the risk associated with a seiche is negligible.

In summary, the Project site development area is not located within a flood hazard, tsunami, or seiche zone or risk the release of pollutants due to Project inundation. Any impacts would be less than significant, and no mitigation is required.

i) Would the Project conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

Less Than Significant Impact

The Project *WQMP* has been prepared specifically to comply with the requirements of Riverside County Ordinance No. 754 (Riverside County Water Quality Ordinance) which includes the requirement for the preparation and implementation of a project-specific *WQMP*.

As discussed in Threshold 23.a, the Project site is located in the Santa Ana Region Watershed and the San Jacinto Valley and Hemet Lake Hydrological Sub-Areas with a size of approximately 36.1 acres. With adherence to, and implementation of the conclusions and recommendations set forth in the Project *WQMP*, Project site development will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan. Any impacts would be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE/PLANNING Would the Project:				
24. Land Use				
a) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A)*; Riverside County General Plan - REMAP; **Figure 4, Conceptual Site Plan**, provided in Section I of this Initial Study; and Project Plans (**Appendix K**).

Findings of Fact:

- a) *Would the Project cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?*

Less Than Significant Impact

The Project site is located in the Riverside Extended Mountain Area Plan (REMAP), one of nineteen (19) planning areas within the County of Riverside’s General Plan. As set forth in *Map My County*, the REMAP, and **Figure 4, Conceptual Site Plan**, the Project site’s underlying General Plan land use designation is Open Space – Rural (OS-RUR) but is proposed to be modified to Open Space-Recreation (OS-R). The Project site is currently zoned Light Agricultural – 20-acre minimum lot size (A-1-20) but is proposed to be modified to Natural Assets (N-A). Surrounding zoning to the north, south, and west are N-A, and A-1-10 to the east. Surrounding zoning and land use to the east are Rural Residential and Open Space Rural, respectively. Surrounding land use designations to the north and west is Conservation Habitat, Open Space Rural to the east, and Open Space – Recreation to the southeast and northeast. The zoning and land use designations of the site and surrounding area are delineated in **Table 24-1, Land Use and Zoning Designations**. The site plan of the proposed facilities is consistent with the proposed onsite General Plan land use designations and zoning. In addition, the proposed uses are also consistent and compatible with surrounding zoning and land use designations.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table 24-1
Land Use and Zoning Designations**

Location/ Direction	General Plan Land Use Designation	County Zoning
Project Site	Open Space Rural (OS-RUR) <i>existing</i> Open Space – Recreation (OS-R) <i>proposed</i>	Light Agricultural, 20 acre minimum lot size (A-1-20) <i>existing</i> Natural Assets (N-A) <i>proposed</i>
North	Open Space - Conservation Habitat (OS-CH) Open Space – Recreation (OS-R)	N-A
South	OS-R and OS-RUR	N-A
East	OS-RUR	A-1-20
West	OS-CH	Natural Assets, 160 acre minimum lot size (N-A-160)

Source: Map My County https://gis1.countyofriverside.us/Html5Viewer/index.html?viewer=MMC_Public

For the Project, “Guest Ranch” would be the closest permitted uses allowed in the N-A zone. Therefore, the proposed facilities are consistent with the proposed zoning classification and General Plan land use designation for the site. In addition, they are of low intensity and would be compatible with surrounding zoning classifications and General Plan land use designations (e.g., Open Space Recreation, Open Space Rural, and Conservation Habitat). Therefore, the Project’s proposed development plan is consistent with the proposed zoning classification of the Project site and is compatible with the surrounding area’s zoning. The Project site is also not located within a specific plan area.

The Project, as designed, meets the proposed N-A standards of development in terms of heights, setbacks, lot coverage, parking and landscaping.

Based on the above information, the Project will not cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect. Impacts will be less than significant, and no mitigation is required.

b) Would the Project disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?

No Impact

The Project is consistent with the existing General Plan land use designations, proposed zoning and developed uses. There are no identified low-income or minority communities on or in the vicinity of the Project site, therefore, this issue is not applicable.

The area surrounding the Project site is largely mountainous land at present with campgrounds to the north, northeast, northwest, and south. The site takes access off of a rural road so activities on this site would not divide or disrupt any existing neighborhoods.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Based on this information, the proposed Project would not disrupt or divide the physical arrangement of an established community (including a low-income or minority community). There will be no impact and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

MINERAL RESOURCES Would the Project:				
25. Mineral Resources				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County (Appendix A); Riverside County General Plan, Multipurpose Open Space Element, Figure OS-6, Mineral Resource Zones; mindat.org website; United States Geological Service (USGS) website; California State Mining and Geology Board (CSMGB) website; California Geological Survey (CGS) website; and Google Maps.*

Findings of Fact:

a) *Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?*

No Impact

The California State Mining and Geology Board (SMGB) has established Mineral Resources Zones (MRZ) using the following classifications:

- MRZ-1: Areas where the available geologic information indicates no significant mineral deposits or a minimal likelihood of significant mineral deposits.
- MRZ-2a: Areas where the available geologic information indicates that there are significant mineral deposits.
- MRZ-2b: Areas where the available geologic information indicates that there is a likelihood of significant mineral deposits.
- MRZ-3a: Areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined.
- MRZ-4: Areas where there is not enough information available to determine the presence or absence of mineral deposits.

As shown on *General Plan Multipurpose Open Space Element, Figure OS-6, "Mineral Resource Zones,"* the Project site is within a large portion of the County that has not been studied or designated relative to mineral resource zones ("unstudied"). In addition, the Project site and surrounding areas have not been and are not being used for mining. Therefore, the Project is not

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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expected to result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. No impacts will occur, and no mitigation is required.

- b) *Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?*

No Impact

As stated in Threshold 25.a, the Project site and surrounding areas have not been studied or designated as mineral resource zones (“unstudied”) and the area is not designated for mineral resource extraction in the County’s General Plan or the Riverside Extended Mountain Area Plan (REMAP). In addition, the Project site and surrounding areas have not been used for mining in the past or at present. Therefore, implementation of the proposed Project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. No impacts will occur, and no mitigation is required.

- c) *Potentially expose people or property to hazards from proposed, existing, or abandoned quarries or mines?*

No Impact

Based on aerial photography, it was observed that the Project is not located on, or adjacent to, an existing or abandoned quarry or mine. According to the USGS, CSMGB, and CGS websites, there are no mines or mining claims within 10 miles surrounding the Project site.

Therefore, implementation of the proposed Project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines. No impacts will occur, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

NOISE Would the Project result in:

26. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?

b) For a project located within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?

Source(s): *Map My County (Appendix A); Riverside County General Plan Figure S-20 “Airport Locations,” County of Riverside Airport Facilities Map; Figure 3, Aerial Photo, provided in Section I of this IS; and Google Maps.*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) *For a project located within an airport land use plan or, where such a plan has not been adopted, within two (2) miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?*

No Impact

The Project site is not located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport. The closest airport is the Hemet-Ryan Airport which is located 20 miles west-northwest of the Project site (reference **Figure 3, Aerial Photo**, provided in Section I of this IS). Therefore, implementation of the proposed Project would not expose people residing or working in the Project area to excessive noise levels. There will be no impacts and no mitigation is required.

- b) *For a project located within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?*

No Impact

Based on a review of an aerial photo of the Project site and its immediate environs (reference **Figure 3, Aerial Photo**, provided in Section I of this IS), the proposed Project is not located within the vicinity of a private airstrip or heliport. The closest private airstrip is the Lake Riverside Airport which is located approximately 12 miles southwest of the Project site and the closest heliport is at the Hemet Valley Hospital located approximately 17.5 miles northwest of the Project site. Therefore, implementation of the proposed Project would not expose people residing or working in the Project area to excessive noise levels. No impacts will occur, and no mitigation is required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

27. Noise Effects by the Project

a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source(s): Riverside County General Plan, Table N-1 (“Land Use Compatibility for Community Noise Exposure”); *Ridge Ranch Trip Generation and Vehicle Miles Travelled (VMT) Screening Evaluation*, prepared by Urban Crossroads, 8-21-2021 (*TG/VMT Memo, Appendix I*); and Project Plans (**Appendix K**).

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) *Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan, noise ordinance, or applicable standards of other agencies?*

Less Than Significant Impact

Noise Characteristics

Sound is mechanical energy transmitted by pressure waves in a compressible medium such as air. Noise is generally defined as unwanted sound. Sound is characterized by various parameters which describe the rate of oscillation of sound waves, the distance between successive troughs or crests, the speed of propagation, and the pressure level or energy content of a given sound wave. In particular, the sound pressure level has become the most common descriptor used to characterize the loudness of an ambient sound level. The unit of sound pressure ratio to the faintest sound detectable by a keen human ear is called a decibel (dB).

Because sound or noise can vary in intensity by over one million times within the range of human hearing, decibels are on a logarithmic loudness scale similar to the Richter Scale used for earthquake magnitude. Since the human ear is not as equally sensitive to all sound frequencies within the entire spectrum, noise levels at maximum human sensitivity are factored more heavily into sound descriptions in a process called “A-weighting” written as “dBA.” Any further reference to decibels written as “dB” should be understood to be A-weighted values.

Time variations in noise exposure are typically expressed in terms of a steady-state energy level equal to the energy content of the time varying period (called Leq), or, alternately, as a statistical description of the sound pressure level that is exceeded over some fraction of a given observation period. Finally, because community receptors are more sensitive to unwanted noise intrusion during the evening and at night, State law requires that, for planning purposes, an artificial dB increment be added to quiet time noise levels in a 24-hour noise descriptor called the Community Noise Equivalent Level (CNEL). In some jurisdictions, the day-night level (called “Ldn”) is used for noise exposure planning. Ldn is almost equivalent to CNEL.

CNEL or Ldn-based standards apply to noise sources whose noise generation is preempted from local control (such as from on-road vehicles, trains, airplanes, etc.). Since local jurisdictions cannot regulate the noise generator, they exercise land use planning authority on the receiving property. Uses that are amenable to local control are generally considered “stationary sources.” Local jurisdictions generally regulate the level of noise that one use may impose upon another.

One noise source associated with land use intensification governed by local regulation is noise from construction activities. Per Riverside County Ordinance No. 847, the following noise restrictions apply to the proposed Project:

- Whenever a construction site is within one-quarter (1/4) mile⁸ of an occupied residence(s), no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May.

⁸ Closest receptor is 732 feet to the northwest, so this condition is met

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project Noise Setting

The Project site is located within the San Jacinto Mountains northeast of Lake Hemet within the Riverside Extended Mountain Area Plan (REMAP) under the County’s General Plan. Existing land uses surrounding the proposed Project site include vacant rural lands to the east, south, and west, with forest-oriented open space/recreational uses to the north (e.g., Hurkey Creek Campground, Hurkey Creek Park, and Camp Ronald McDonald). The proposed guest ranch is consistent with the REMAP and the proposed Natural Assets (N-A) zoning will be consistent with existing surrounding zoning including N-A and Light Agriculture (A-1 and A-1-20). The Project proposes a General Plan land use designation of Open Space – Recreation which is consistent with other surrounding land use designations including Open Space – Rural (OS-RUR), Open Space - Recreation (OS – REC), and Open Space – Conservation Habitat OS-CH). The site and surrounding area are typical of rural mountain communities with a majority of vacant forestland and scattered low intensity uses. The major sources of noise in the area are traffic along Highway 74 to the west and lesser volumes of traffic along Apple Canyon Road along the northern boundary of the site. There is also occasional noise from outdoor activities at the aforementioned recreational uses, especially during the summer when there are more campers.

The site is currently vacant with no residents or visitors. The Project proposes 36 cabins which are expected to house up to 2 guests per cabin, plus 35 employees per shift, which equals a worst-case estimate of 107 persons on the site at maximum occupancy.

Riverside County Noise Standards

For noise sources generated on private property (such as the proposed Project), the appropriate noise standards, as contained in the Riverside County Noise Element indicates the normally acceptable noise level (i.e., Community Noise Equivalent Level or CNEL) for residential properties is less than 60 dBA. Similarly, the County’s Stationary Source Noise Standards for residential uses are 65 dB Lmax from 7:00 a.m. to 10:00 pm, and to 45 dB Lmax from 10:00 p.m. to 7 a.m. However, it should be noted these are only preferred standards and the final decisions is made by the Riverside County Planning Department and Office of Public Health based on the County’s General Plan Policy N-2.3 Stationary Source Land Use Noise Standards. In addition, County Ordinance No. 847 establishes a maximum noise standard of 45 dBA (Lmax) at any time for rural land uses such as those surrounding the Project site (i.e., all Open Space designation with Rural, Recreation, and Rural Residential and Rural Mountainous zones).

Construction Noise Impacts

Temporary construction noise impacts vary markedly because the noise strength of construction equipment ranges widely as a function of the equipment used and its activity level. Short-term construction noise impacts tend to occur in discrete phases dominated initially by earth-moving sources, then by foundation pouring and roadway grading, and finally for finish construction.

The earth-moving sources are seen to be the noisiest with equipment noise ranging up to about 90 dB (A) at 50 feet from the source. Spherically radiating point sources of noise emissions are atmospherically attenuated by a factor of 6 dB per doubling of distance, or about 20 dB in 500 feet of propagation. The loudest earth-moving noise sources will therefore sometimes be detectable above the local background beyond 1,000 feet from the construction area. An impact radius of 1,000 feet or more assumes a clear line-of-sight and no other machinery or equipment

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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noise that would mask project construction noise. With buildings and other topographical barriers interrupting line-of-sight conditions, the potential “noise envelope” around individual construction sites is reduced. Construction noise impacts are, therefore, somewhat less than that predicted under idealized input conditions.

Based on typical construction activities, the Project is expected to generate noise levels which could range up to 80 dBA at 50 feet from the equipment during grading and concrete pouring which are generally the loudest activities when constructing the types of structured proposed by the Project. It is estimated construction will require 6-8 months to complete and the closest “sensitive receptor” to the Project site is a single-family residence on the north side of Apple Canyon Road approximately 125 north of the northwest corner of the site but 732 feet northwest of the proposed Project development area. Therefore, using the typical thresholds for construction noise derived from the National Institute of Occupational Safety and Health of an 85 dBA Leq 8 hrs standard, the project would be less than significant for construction noise.

There are no specific performance standards that apply to construction, but these short-term noise impacts are typically minimized by time restrictions placed on grading permits. Per Riverside County Ordinance No. 847, the following noise restrictions apply to the proposed Project:

- Whenever a construction site is within one-quarter (1/4) mile⁹ of an occupied residence(s), no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May.

The County may also implement other standard conditions of approval regarding construction noise including equipment mufflers, staging area locations, etc. These are standard conditions and are not considered unique mitigation under CEQA. Implementation of these conditions will help ensure that noise impacts from Project construction will remain at less than significant levels and will help minimize annoyance in the surrounding community. These conditions will apply to all Project-related construction activities. Therefore, construction impacts will be less than significant.

Operation Noise Impacts

Implementation of the Project involves operation of new institutional uses (i.e., Guest Ranch) and the main sources of noise would include onsite vehicular traffic noise circulating around the northeast portion of the site where the buildings are located, parking lot activities, HVAC equipment, pool equipment, general outdoor recreational activities. However, the Project is not expected to significantly increase overall ambient noise levels due to its low intensity of planned activities. Due to the physical distance between the Project site and nearest sensitive receptor (a caretaker’s residence approximately 732 linear feet to the northwest of the proposed development area and 1,061 feet from any proposed outdoor activities), the Project is not expected to generate significant operational noise at the adjacent property line compared to County noise standards. The Project *TG/VMT Memo* estimates the Project will generate fewer than 500 daily vehicle trips which is well below the County’s threshold of 100 peak hour trips.

⁹ Closest receptor is 732 feet to the northwest, so this condition is met

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Therefore, more detailed level of service (LOS) and VMT analyses are not required (see also Threshold 37.b regarding VMT impacts).

Based on the low amount of expected traffic and low intensity onsite activities proposed (e.g., therapy, yoga, hiking, swimming, nature watching, etc.), the Project is not expected to generate substantial noise that would exceed the County’s normally acceptable noise standards and will not exceed the County’s Noise/Land Use Compatibility normally acceptable CNEL for residential land use. As a result, Project activities are expected to generate less than 3 dBA increase in overall ambient noise levels in the surrounding area. The purpose of the Ridge Guest Ranch is to provide a center to learn to relax, detox, eat healthy, and commune/connect with the natural beauty of the surrounding environment without the sound and distractions of the everyday world. The following is a list of uses/activities to help further describe potential noise factors, or lack thereof. Please also reference **Figure 27-1, Noise and Sensitive Receptors**.

1. The Ridge Guest Ranch proposes 36 units, with a maximum of 2 guests per unit, for a total of 72 guests, and a maximum of 35 staff members per largest shift.
2. Guest units have no televisions or telephones; use of cell phones allowed only in guest rooms.
3. No electronic devices are allowed to be used during wellness sessions.
4. No outdoor public address system proposed.
5. No outdoor amplified music proposed.
6. Guests will need to make a reservation to participate in all wellness activities, to ensure an appropriate number of participants.
7. All yoga meditation classes will be provided in a quiet area in wellness base camp or under the Owl Tree to offer time to rest, detox, and cleanse. No electronic devices allowed during sessions. (Reference **Figure 27-1**).
8. Indoor/enclosed sound bath offers the guests a deeply immersive, full body listening experience, powerful therapeutic and restorative meditative process using sound bowls. (Reference **Figure 27-1**).
9. There are two outdoor gathering areas, the lap pool for lap swimming only and pool area has 30 lounge chairs for resting after sessions and swimming, and the activity hub, with 40 seats for guests. (Reference **Figure 27-1**).
10. Only one outdoor propane firepit is proposed at the pool with seats for 6-8 guests. No wood burning campfires are allowed on site as this is very high-fire area. (Reference **Figure 27-1**).
11. Onsite activities may include archery, cornhole games, and horseshoes. (Reference **Figure 27-1**).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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12. Outdoor activities, such as meditation, are geared to reconnect to nature through silence; no electronics allowed. Main meditation area is located under the Owl Tree in agricultural area of the land.
13. Indoor activities include daily sessions with a special instructor or spiritual leader to discuss various topics, 2-3 hours in the morning and afternoon, held in the wellness basecamp center. Topics range from talks on wellness, detoxing, stress, surrounding nature and history, gardening, recipes and herbs.
14. Offsite outdoor activities may include hiking, kayaking, bike riding, and horseback riding.
15. Any future special events will be separately requested and entitled via a substantial conformance.
16. Any future outdoor special event sound/music will be separately requested and entitled.

The Federal Highway Administration Highway Traffic Noise Analysis and Abatement Policy and Guidance indicates that a change in noise level of 3 dBA is considered barely perceptible while a change in noise level of 5 dBA is considered readily perceptible to the human ear. Therefore, an increase of 3 dBA or more above ambient conditions is generally considered to be the threshold of significance for causing a substantial permanent increase in noise in the Project's rural mountain setting.

In addition, the Federal Interagency Committee on Noise (FICON) model indicates the following:

- (1) ambient CNEL under 60 dBA requires a 5 dBA or higher increase for a significant effect;
- (2) ambient CNEL 60-65 dBA = 3 dBA or higher increase for a significant effect; and
- (3) ambient CNEL over 65 dBA = 1.5 dBA or higher increase for a significant effect.

The ambient baseline noise level in the Project area is well under 60 dBA due to its rural/open space and passive recreational uses. The nature of the Project as a wellness retreat and its intended activities will not increase noise levels by 5 dBA or more for surrounding land uses, including the closest sensitive receptor. Therefore, potential noise impacts of the Project are considered to be less than significant.

Finally, the County has a standard condition for new development requiring that all operational noise activities adhere to the County of Riverside Ordinance No. 847 sound level standards and shall not exceed at the nearest adjacent property line during all times (including long-term operations). This is considered regulatory compliance and not project specific mitigation under CEQA.

With regulatory compliance (i.e., County Conditions of Approval and Ordinances) Project operation will not cause a significant change in existing ambient noise levels in the surrounding rural mountain community. Therefore, this operational impact is considered to be less than significant, and no mitigation is required.

In summary, with implementation of standard conditions, short-term and long-term noise impacts of the Project will be less than significant, and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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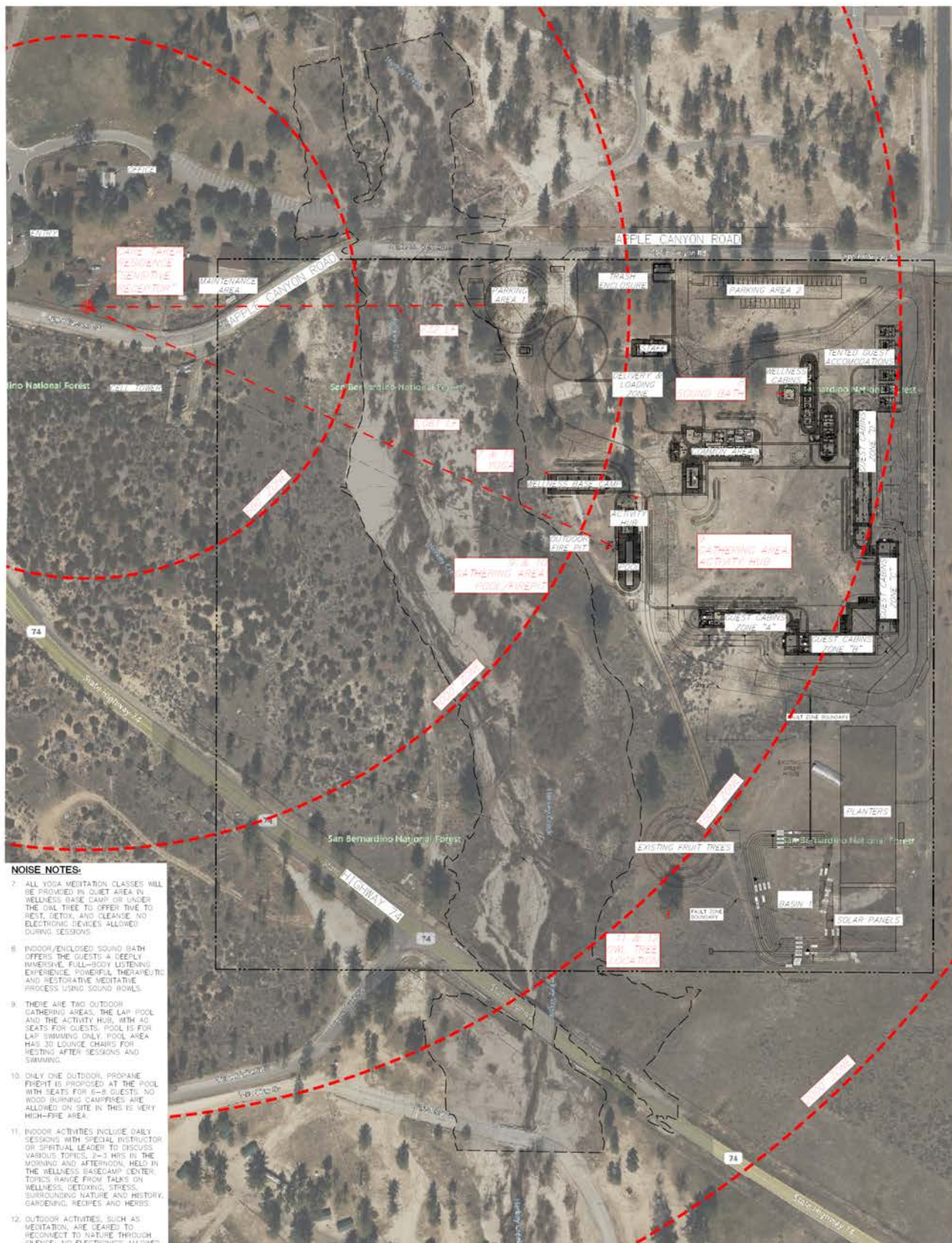
b) *Generation of excessive ground-borne vibration or ground-borne noise levels?*

Less Than Significant Impact

An assessment of potential vibration impacts from the Project can be conducted using referenced vibration levels and methodology set forth in the Caltrans Transportation and Construction Induced Vibration Guidance Manual. To determine the vibratory impacts during construction, reference construction equipment vibration levels were utilized and then extrapolated to the façade of the nearest adjacent structure. For the proposed Project, the closest sensitive receptor is a rural residence located approximately 125 feet north of the western boundary of the site. It should be noted, however, that the residence is located approximately 732 feet from any planned area of disturbance on the site (i.e., northeast portion east of the creek); reference **Figure 27-1**. For purposes of assessing structural impacts from vibration, the nearest sensitive receptor is considered a “new residential structure” and no potential historical (more than 50 years in age) or fragile building is known to be located within the vicinity of the site.

Due to the low intensity activities and low scale buildings (i.e., one-story buildings and cabins), construction will not require the use of substantial vibration-inducing equipment or activities such as pile drivers or blasting. The main sources of vibration impacts during construction of the Project would be from bulldozer activity during site preparation and grading, loading trucks during excavation, and vibratory rollers during placement of roller-compacted decomposed granite driveways. **Table 27-1, Typical Construction Vibration Impacts**, shows the Project’s construction-related vibration analysis at the residential structures to the west.

**FIGURE 27-1
Noise and Sensitive Receptors**



NOISE NOTES:

- 7. ALL YOGA MEDITATION CLASSES WILL BE PROVIDED IN QUIET AREA IN WELLNESS BASE CAMP OR UNDER THE OAK TREE TO OFFER TIME TO REST, DETOX, AND CLEANSE. NO ELECTRONIC DEVICES ALLOWED DURING SESSIONS.
- 8. INDOOR/ENCLOSED SOUND BATH OFFERS THE GUESTS A DEEPLY IMMERSIVE, FULL-BODY LISTENING EXPERIENCE. POWERFUL THERAPEUTIC AND RESTORATIVE MEDITATIVE PROCESS USING SOUND BOWLS.
- 9. THERE ARE TWO OUTDOOR GATHERING AREAS, THE LAP POOL AND THE ACTIVITY HUB, WITH 40 SEATS FOR GUESTS. POOL IS FOR LAP SWIMMING ONLY. POOL AREA HAS 30 LOUNGE CHAIRS FOR RESTING AFTER SESSIONS AND SWIMMING.
- 10. ONLY ONE OUTDOOR, PROPANE FIREPIT IS PROPOSED AT THE POOL WITH SEATS FOR 6-8 GUESTS. NO WOOD BURNING CAMPFIRES ARE ALLOWED ON SITE IN THIS IS VERY HIGH-FIRE AREA.
- 11. INDOOR ACTIVITIES INCLUDE DAILY SESSIONS WITH SPECIAL INSTRUCTOR OR SPIRITUAL LEADER TO DISCUSS VARIOUS TOPICS, 2-3 HRS IN THE MORNING AND AFTERNOON. HELD IN THE WELLNESS BASECAMP CENTER. TOPICS RANGE FROM TALKS ON WELLNESS, DETOXING, STRESS, SURROUNDING NATURE AND HISTORY, GARDENING, RECIPES AND HERBS.
- 12. OUTDOOR ACTIVITIES, SUCH AS MEDITATION, ARE DEEMED TO RECONNECT TO NATURE THROUGH SILENCE. NO ELECTRONICS ALLOWED. YOGA MEDITATION AREA IS LOCATED UNDER THE OAK TREE IN AQ AREA OF THE LAND.

NUMBERS 7 THROUGH 12 UTILIZED IN THIS FIGURE CORRESPOND TO THE LIST OF PROPOSED ACTIVITIES OUTLINED IN THE INITIAL STUDY



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Table 27-1
Typical Construction Vibration Impacts**

Construction Activity	Distance to Closest Structure*	Duration	Calculated Vibration Level - PPV (in/sec)	Damage Potential Level	Annoyance Criteria Level
Vibratory Roller	732 feet	Continuous/Frequent	0.004	No Impact	Barely Perceptible
Large Bulldozer	732 feet	Continuous/Frequent	0.002	No Impact	Barely Perceptible
Loaded Trucks	732 feet	Continuous/Frequent	0.001	No Impact	Barely Perceptible

Source: Caltrans Transportation and Construction Induced Vibration Guidance Manual, April 2020

* Distance provided in **Figure 27-1**

The estimated vibration noise levels at the nearest sensitive receptors are compared to the Caltrans Vibration Manual thresholds. The “worst case” vibratory impact from the site is estimated to be 0.004 PPV (in/sec) at the residential structure to the northwest. These estimated noise levels indicate that the annoyance potential of vibration from construction activities would be “barely perceptible”, and no potential damage is expected to residential structures and modern commercial/industrial buildings in the nearby vicinity.

Therefore, potential vibration impacts from construction or operation of the Project will be less than significant with standard conditions of approval. These conditions will apply to all Project-related construction activities. Impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

PALEONTOLOGICAL RESOURCES:

28. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, site, or unique geologic feature?

Source(s): *General Plan, Figure OS-8, Paleontological Sensitivity; Map My County (Appendix A); and County Geologist.*

Findings of Fact:

a) *Would the Project directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?*

Less Than Significant Impact

The proposed Project site is mapped in the *General Plan* and *Map My County* as having a “Low Potential” for paleontological resources (fossils). This category encompasses lands for which previous field surveys and documentation demonstrate a low potential for containing significant

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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paleontological resources subject to adverse impacts. As such, this Project is not anticipated to require any direct mitigation for paleontological resources.

However, the proposed Project site grading/earthmoving activities could potentially impact potential resources. Therefore, a condition of approval has been applied to the Project to provide a paleontological resource impact mitigation program (PRIMP) outlining what steps are to be taken should fossil remains be encountered during site development.

This is a standard condition and pursuant to CEQA, is not considered mitigation. Therefore, implementation of the proposed Project will result in less than significant impacts that would directly or indirectly destroy a unique paleontological resource, or site, or unique geologic features.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

POPULATION AND HOUSING Would the Project:

29. Housing

a) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A)*; Project Plans (**Appendix K**); and Riverside County General Plan Housing Element.

Findings of Fact:

a) *Would the Project displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?*

No Impact

The Project proposes to develop the existing property to accommodate a guest ranch with 36 guest cabins and supporting buildings and related infrastructure. The Project site is vacant so no housing or people will be displaced. The Project does not propose any permanent housing so there will be no long-term impacts to the local housing stock or population. Therefore, implementation of the Project would not displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere. There would be no impact.

b) *Would the Project create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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No Impact

As stated in Threshold 29.a, the Project proposes to develop the currently vacant property as a guest ranch. As such, it will not introduce the demand for additional permanent residential housing.

Implementation of the proposed Project would not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County’s median income. There would be no impact.

- c) *Would the Project induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?*

Less Than Significant Impact

As stated in Threshold 29.a, the Project proposes to develop the property as a guest ranch. The Project only plans onsite improvements including an interior loop road with a driveway connection off of Apple Canyon Road to the north, an existing mountain road, which connects to Highway 74 just to the west. The Proposed use is consistent with the Riverside Extended Mountain Area Plan and the proposed Natural Assets (N-A) zoning will be consistent with existing surrounding zoning including N-A and Light Agriculture (A-1 and A-1-20). The Project proposes a General Plan land use designation of Open Space – Recreation which is consistent with other surrounding land use designations including Open Space – Rural (OS-RUR), Open Space - Recreation (OS – REC), and Open Space – Conservation Habitat OS-CH). The Project will have guests and employees and will not induce substantial population growth in an area, either directly (for example, by proposing new homes) or indirectly (for example, through extension of roads or other infrastructure). Any impacts would be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

PUBLIC SERVICES Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

30. Fire Services

Source(s): Riverside County Fire Department (RCFD) website; *The Ridge Guest Ranch Fire Protection Plan, APN 568-070-021*, prepared by Firewise 2000, LLC, 6-12-2023 (**FPP, Appendix H**); Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); and Google Maps.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services?

Less Than Significant With Mitigation Incorporated

The Project site is in a rural area served by the Riverside County Fire Department (RCFD) and the California Department of Forestry and Fire Protection (CALFIRE). The site is within the fire service area referred to as “Battalion 11” and the closest station to the site is Station 53 (Garner Valley) located at 59200 Morris Ranch Road in the unincorporated community of Garner Valley. This station is located 7 miles (driving distance) south of the Project site and the approximate response time is 5.5 minutes assuming normal driving conditions. It should also be noted that the United States Forestry Services operates the Keenwild Station approximately 4.7 miles to the north of the site, which may also service this Project in case of emergency.

The Project involves construction and operation of a guest ranch. These facilities would add visitors and staff to the site which would incrementally increase the need for fire protection services especially during wind-driven wildfire events. Due to its isolated location and the number of persons who may be present, it is reasonable to recommend these facilities have direct communication with County fire staff in case emergency evacuation is necessary.

The Project will introduce additional persons into the area which has high fire risks. Therefore, a *Fire Protection Plan (FPP)* was prepared to evaluate the proposed guest ranch to ensure it will not expose people or structures to significant fire risks or hazards. The *FPP* takes into account the property’s location, topography, geology, combustible vegetation (fuel types), climatic conditions and fire history. It also considers water supply, access, structure ignitability and fire resistive building materials, fire protection systems and equipment, impacts to existing emergency services, defensible space, and vegetation management.

The *FPP* proposes fuel modification requirements to effectively reduce the potential exposure of people and structures onsite from a significant risk of loss, injury, or death from wildland fires. In this way it would help reduce a potential increase in the need for fire protection services by the RCFD.

The *FPP* recommends implementation and maintenance of the following four (4) Fuel Treatment Zones as described in the 2019 California Fire Code, each with their own characteristics, required landscaping, and required maintenance:

- **Fuel Treatment Zone 1**, the Immediate Zone, is the area from the exterior wall surface of the building extending 5-feet on a horizontal plane. The intent of Zone 1 is to create a landscape absent of all combustible materials. This zone includes the level graded area under and around all decks and requires the most stringent wildland fire fuel reduction and maintenance. This area shall be kept clear of combustibles, plant-based landscaping mulch, and all large shrubs and trees. It may have a few nonwoody plants, generally confined to pots or containers, that are low growing. Plants that grow in water are also a good choice. No plants shall be grown beneath windows or adjacent to doorways. The soil surface may be bare ground or covered with hardscape features such as pavers, gravel, concrete, rock, or other non-combustible material. Water features and statuary developed from non-combustible materials are also a good choice for this zone.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- Fuel Treatment Zone 2** – Owner Maintained Intermediate Zone, is commonly called the defensible space zone for fire suppression forces and protects structures from radiant and convective heat. Zone 2 consists of the area from 5'-50' from the exterior wall surface extending out in a horizontal plane. Within the zone, flammable native vegetation shall be removed and replanted with drought tolerant, fire resistive, irrigated, plantings as approved by the Riverside County FD. (see Appendix A). Firewood shall not be stacked under tree canopy and stored at least 10 feet from property lines. Zone 2 fuel treatments are measured from the exterior walls of the structure or from the most distal point of a combustible projection, an attached accessory structure, or an accessory structure within 10 feet of a habitable structure. It provides the best protection against the high radiant heat produced by a wildfire and a generally cleared area in which fire suppression forces can operate during wildfire events.
- Fuel Treatment Zone 3A** - the Extended Zone, is the area beyond Zone 2, from 50'-100' in a horizontal plane. All highly combustible native vegetation is excluded within the zone. Zone 3A may be partially, or non-irrigated, depending upon the plant species selected for planting. Irrigation shall not be required for natural slopes when there is a danger of slope failure. The goal within Zone 3A is the reduction or selective clearing of existing native vegetation and dense chaparral by 50% and the planting and maintenance of only approved species.
- Fuel Treatment Zone 3B** – Bio-retention Basin - Owner Maintained, is located on the southeastern corner of the property, west of the planned solar farm and planter areas. This area, as part of the Water Quality Management Plan, has been designed to reduce storm water and soil runoff from the site. The basin will be planted with native plants materials and maintained to the required maintenance and landscaping standards listed for Zone 3A. Within Zone 3B will be thinning zones beginning at the edge of Zone 2 and including all natural and manufactured slopes. The specified intent is to achieve and maintain an overall 50% reduction in the canopy and removal of 100% of the dead and dying plant material following the growth cycle of the vegetation. Removal of prohibited and invasive species is permitted. The Project owner(s) is responsible for the maintenance of the area to Zone 3B standards as needed.

The *FPP* also includes supplemental fuel treatment zones for the onsite roadways, setback areas from the adjacent U.S. Forest Service land, Hurkey Creek setback zone, permanent markers for each zone, and a Shelter-In-Place (SIP) location and plan for how onsite sheltering will be implemented if needed. The *FPP* lists construction practices and materials to minimize fire risk, specifications for the onsite water systems (domestic and fire) including two onsite wells (one of them new with this Project), and three water storage tanks. The various recommendations of the *FPP* are shown in **Figure 30-1, Fuel Modification Plan Map**.

With implementation of the *FPP*, the Project will not result in a significant risk to persons or property on the Project site from wildfire or a significant increase in the need for fire protection services from the RCFD. **Mitigation Measure MM-FIRE-1** is recommended to assure the site design requirements of the *FPP* are implemented during Project construction and operation.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to fire services. Funding for the RCFD is obtained from various sources, including the County's general fund, city general and benefit assessment funds, and other sources. RCFD capital funding is mostly provided by Development Impact Fees (DIF) collected by Riverside County or by the cities in which the specific project is located, pursuant to Ordinance No. 659. DIF for fire protection shall be paid prior to the issuance of a certificate of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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occupancy. Payment of DIF is a standard condition of approval and is not considered unique mitigation pursuant to CEQA.

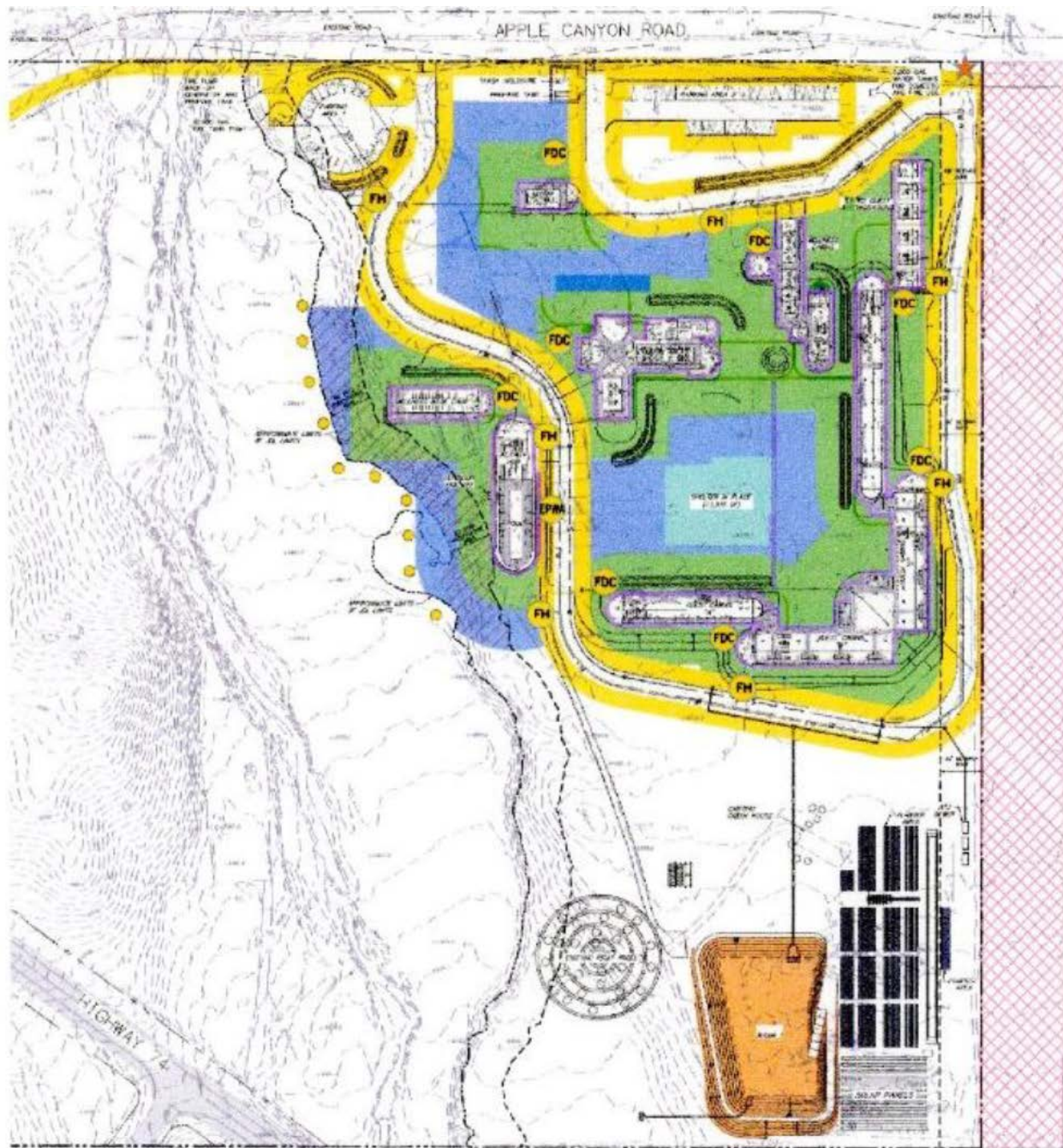
With implementation of standard conditions of approval, fire protection regulatory compliance, and **Mitigation Measure MM-FIRE-1**, the Project would not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services. Any impacts are considered less than significant with mitigation.

Mitigation:

MM-FIRE-1 Fire Protection Plan. Prior to issuance of a certificate of occupancy, the applicant shall demonstrate the facility has implemented all recommendations of the *Fire Protection Plan (FPP)* prepared for the Project by Firewise 2000, LLC dated 6-12-2023 or subsequent County-approved version. The *FPP* includes but is not limited to the creation of four onsite Fuel Treatment Zones for fuel management, a shelter in place plan for guests and employees if necessary, during a wildfire event, non-treatment areas, construction material restrictions, and water system requirements. The *FPP* shall be implemented to the satisfaction of the County Fire Marshal.

Monitoring: To be monitored through the Certificate of Occupancy Permit Process and site inspections by Riverside County Building and Safety Department and the County Fire Marshal shall be included in the Mitigation Monitoring and Reporting Program for the Project to assure its implementation.

**FIGURE 30-1
Fuel Modification Plan Map**



FUEL MODIFICATION PLAN MAP LEGEND MOUNTAIN CENTER, RIVERSIDE COUNTY, CALIFORNIA	
SYMBOL	DESCRIPTION
	Zone 1 Immediate Zone (Owner Maintained) - The extending from 0'-5' from the exterior wall surface of the building on a horizontal plane. Hardscape or limited fire-resistant plantings are acceptable. No mulch or combustible material (including stacked firewood) is permitted.
	Zone 2 - Intermediate Zone (Owner Maintained) - The area from 5' extending out to 50' from the immediate edge of Zone 1. This area may be planted with low growth, drought tolerant and fire resistant plant species. Plant height along Zone 1 shall begin at no more than 6" and increasing to a maximum height of 18" at Zone 3. Trees shall not exceed 30' in height or as approved by the FAHJ.
	Zone 3A - Extended Zone (Owner Maintained) the area from the immediate edge of Zone 2 out on a horizontal plane for 50' this area would be considered for selective clearing of natural vegetation and dense chaparral by removing 50% of the square footage of the area. Trees and brush shall be limbed up off the ground, the lowest branches of mature trees shall be limbed 5' off the ground and 10' above any roof structure.
	Zone 3B - Bio-Retention Basins (Owner Maintained) A thinning zone beginning out the edge of Zone 1 or 2 and includes all natural and manufactured slopes. The intent is to achieve and maintain an overall 50% reduction in the canopy and 100% removal of dead and dying plant material and the removal of all prohibited and invasive species.
	Roadside Fuel Treatment Zone Owner Maintained - Vegetation shall be modified along all access roads twenty feet on each side of the road. Vertical clearance of 13'6" must be maintained for all trees and limbs.
	Offsite US Forest Service - (Maintained by Owner of the Ridge) - A 100-foot fuel treatment zone on USFS property financed by the owner of the Ridge facility. The maintenance may be completed by the USFS or by an approved private contractor. The goal is the removal of 50% of the flammable material including dead and dying material.
	Hurkay Creek Setback- A 50-foot setback from the Hurkay Creek Jurisdictional Boundary where no fuel fuel treatments area allowed or proposed. An existing well will be maintained but no new construction will be allowed within the Hurkay Creek setback.
	Hurkay Creek Setback- A 50-foot setback zone with limited low impact removal of dead and dying material, trash and exotic material removed.
	Shelter-in-Place Location - A pre-designated location within the ridge facility used only for sheltering guest and employees when notified by the RCFD or other qualified official. SIF would be in the case that the escape routes from the facility were compromised by an approaching wildfire.
	Zone Markers -
	Fire Department Connection (Tentative)
	Emergency/Fire Access Way Entrance
	The FH (Fire Hydrant) symbol is shown for reference only. Each fire hydrant is to be installed per the Riverside County Fire Department.
	Emergency Pool Water Access

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County Sheriff's Department (RCSD) website; Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); and Google Maps.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services?

Less Than Significant Impact

The proposed Project would have law enforcement services available from the Riverside County Sheriff's Department (RCSD). The closest County Sheriff's station to the Project site is the Lake Hemet station located at 56570 Highway 74 near the Lake Hemet Campground. This station is 1 mile (driving distance) south of the Project site and the approximate response time is 2 minutes assuming an average driving speed of 35 miles per hour.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to sheriff services. The Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance. Furthermore, the Project must comply with County Ordinance No. 659 to prevent any potential effects to sheriff services from rising to a level of significance. County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to the sheriff services. Payment of DIF is a standard condition of approval and is not considered unique mitigation pursuant to CEQA.

Impacts from implementation of the proposed Project would not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services. Any potential impacts to Sheriff services are considered incremental for the Project, are less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

32. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source(s): Hemet Unified School District website; and Google Maps.

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for schools?

Less Than Significant Impact

The Project area is served by the Hemet Unified School District (HUSD). The schools that serve the Project area are as follows:

- Hamilton Elementary School (grades K-8) located at 57550 Mitchell Road in the unincorporated community of Anza approximately 8.2 miles (driving distance) northwest of the site;
- Hamilton High School (grades 9-12) located at 57430 Mitchell Road in the unincorporated community of Anza approximately 9.1 miles (driving distance) northwest of the site.

The Project proposes uses on the site that will not generate students who would require facilities or services of the HUSD.

The Project will be required to pay school fees to the Hemet Unified School District based on occupied or habitable square footage at the time of building permit issuance in order to mitigate or offset any incremental impacts to school facilities. Payment of school fees is a standard condition and is not considered unique mitigation under CEQA. The proposed Project will not generate new students that would require school facilities or services, so any impacts will be less than significant with the payment of the applicable impact fee.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

33. Libraries

Source(s): Riverside County Library System website; Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); Riverside County Library System website; and Google Maps.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for libraries?

Less Than Significant Impact

The County of Riverside operates a system of thirty-five (35) libraries and two (2) bookmobiles to serve unincorporated populations. The library system manages a library catalog consisting of 1.3

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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million items in the library system and the annual checkout of over 3.5 million books, audios and videos. The closest libraries to the Project site are the Idyllwild Public Library located at 54401 Village Center Drive in the unincorporated town of Idyllwild approximately 8.2 miles (driving distance) to the north.

Library impacts are typically attributed to residential development as reflected in Ordinance No. 659. The Project proposes institutional type uses which will not generate the need for additional library facilities or services.

Implementation of the proposed Project will not result in the expansion of the existing library system or require any new construction of library facilities. The Project site's proposed "commercial" type development may result in an incremental, but less than significant, increase in the demand of library services.

The Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance. Adherence to Ordinance No. 659 is typically a standard condition of approval and is not considered unique mitigation pursuant to CEQA.

With payment of the DIF, any impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for library services, are considered less than significant and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

34. Health Services

Source(s): Riverside County General Plan General Plan EIR No. 441; and Google Maps.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for health services?

Less Than Significant Impact

The closest comprehensive health service facility to the Project site is the Hemet Valley Medical Center (also known as the Hemet Global Medical Center) located at 1117 E. Devonshire Avenue in Hemet approximately 22 miles (driving distance) to the northwest. The approximate driving time from the site to this facility would be 35 minutes, assuming normal driving conditions. The Project is largely recreational in nature and will increase the occupancy of the site in terms of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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guests and employees, but it is not expected to result in any significant permanent increase in the need for health services, the need to alter any existing health service facilities, or result in the need to construct new facilities for any phases of the Project. Therefore, any impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

RECREATION Would the Project:

35. Parks and Recreation

a) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County (Appendix A)*; Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications); Ord. No. 659 (Establishing Development Impact Fees); and Parks & Open Space Department Review.

Findings of Fact:

- a) *Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?*

Less Than Significant Impact

The proposed Project includes constructing new onsite recreational facilities to serve the guests of The Ridge Guest Ranch as well as staff. The Project would not require the construction or expansion of public recreational facilities which might have an adverse physical effect on the environment.

The Project is not expected to have any impact on recreational facilities and all new or expanded onsite recreational facilities will serve the needs of the Project. Any impacts would be less than significant, and no mitigation is required.

- b) *Increase the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?*

No Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The proposed Project is near the intersection of Apple Canyon Road and Highway 74. The site is in a very rural area with few improvements and no parks or improved trails. All new or expanded onsite recreational facilities will serve the needs of Ridge Ranch.

The Project would not generate any need for, or use of existing, neighborhood or regional parks, or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. As discussed in Threshold 35.a, the proposed uses do not create impacts to these facilities. No impacts will occur.

- c) *Be located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?*

No Impact

According to *Map My County*, the Project site is not within an established County CSA. The Project’s proposed guest ranch uses would not create impacts to a CSA or recreation and park district with a Community Parks and Recreation Plan (Quimby fees). No impacts will occur, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

36. Recreational Trails

- a) Include the construction or expansion of a trail system?

Source(s): Riverside Extended Mountain Area Plan (REMAP) Figure 7, *Trails and Bikeway System*; and Project Plans (**Appendix K**).

Findings of Fact:

- a) *Include the construction or expansion of a trail system?*

Less Than Significant Impact

According to REMAP Figure 7, *Trails and Bikeway System*, there are no Regional Open Space Trails existing or planned on or adjacent to the Project site. The closest planned regional trails to the Project site are on Highway 74 about 1.3 miles to the south. The Project will include construction of an internal jogging path. Therefore, any impacts from any phase of Project development will be less than significant and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRANSPORTATION Would the Project:				
37. Transportation				
a) Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Cause an effect upon circulation during the Project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Ranch Trip Generation and Vehicle Miles Traveled (VMT) Screening Evaluation*, prepared by Urban Crossroads, 8-26-2021 (*TG/VMT Memo, Appendix I*); *General Plan*; *REMAP Figure 7, REMAP Trails and Bikeway System*; Ordinance No. 348; *Map My County (Appendix A)*; Riverside Transit Agency (RTA) website; Riverside County Transportation Commission website; Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); Ordinance No. 824 (An Ordinance of the County of Riverside Authorizing Participation in the Western Riverside County Transportation Uniform Mitigation Fee Program); Ordinance No. 461 (County of Riverside, State of California Road Improvement Standards and Specifications); *Technical Advisory on Evaluating Transportation Impacts in CEQA*, prepared by the California Governor's Office of Planning and Research (*OPR Advisory*) dated 12-2018; and Project Plans (**Appendix K**).

Findings of Fact:

- a) *Would the Project conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities?*

Less Than Significant Impact

Overview

Although the vehicle miles traveled (VMT) methodology is now applied in evaluating potential transportation impacts of a project, the County's General Plan identifies standards for maintaining an adequate level of service (LOS) for County streets and intersections. To evaluate Project consistency with the General Plan Circulation Element, a Trip Generation Analysis was prepared for the Project. As previously stated, to be consistent with the 2020 CEQA Guidelines, LOS analysis is not required for the purposes of this Initial Study impact analysis.

The *TG/VMT Memo* determined that an LOS analysis was not required due to the relatively small amount of traffic that would be generated by the Project. Trips anticipated to be generated by the Project were estimated based on trip generation rates collected by the Institute of Transportation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Engineers (ITE) Trip Generation Manual, 10th Edition, 2017. The Project’s character is unique and does not match well with standard land use/trip rates in the ITE manual. In an effort to identify potential “worst case” conditions, the *TG/VMT Memo* used the ITE trip rate for hotels. Based on these trip rates, the Project would generate approximately 302 vehicle trip-ends per day including both inbound and outbound trips. The *TG/VMT Memo* indicated that, in light of the limited number of guest accommodations (36) and a maximum number of 51 employees with only 35 onsite at any given time, this daily trip estimate is definitely conservative. Since the Project would generate fewer than 500 daily vehicle trips and is well below the County’s threshold of 100 peak hour trips, a level of service (LOS) analysis is not required per the County’s Traffic Report Guidelines¹⁰.

Based on the County’s guidelines, projects that generate less than 100 peak hour trips are exempt from preparation of level of service and operational analysis and are deemed to have a less than significant level of service (LOS) impact on the surrounding circulation system due to their low number of trips. It should be noted that a *VMT Analysis* was prepared specifically for this Project (see Threshold 37.b).

Transit. Bus service in western Riverside County is provided by the Riverside Transit Authority (RTA). However, there is currently no bus service in the immediate vicinity of the Project site, mainly due to its rural nature, even with the presence of Highway 74 (Pines to Palms Highway). It is unknown at this time if the RTA will provide service to this area at some point in the future.

Bicycle and Pedestrian Trails. According to REMAP Figure 7, *REMAP Trails and Bikeway System*, there are no Regional Open Space Trails located along Apple Canyon Road or this portion of Highway 74 in the immediate surrounding area. There is a non-county trail planned on public and quasi-public land north of the Project site that goes east from the Hurkey Creek Campground, but it is not adjacent to the Project site. Therefore, the Project does not include construction or expansion of any trails at this time. Any impacts will be less than significant.

Roadways. Every county in California is required to develop a Congestion Management Program (CMP) that looks at the links between land use, transportation, and air quality. In its role as Riverside County’s Congestion Management Agency, the Riverside County Transportation Commission (RCTC) prepares and periodically updates the County’s CMP to meet federal Congestion Management System guidelines as well as state CMP legislation. The Southern California Association of Governments (SCAG) is required under federal planning regulations to determine that CMPs in the region are consistent with the Regional Transportation Plan. The RCTC’s current Congestion Management Program was adopted in March 2011.

The RCTC CMP does not require traffic impact assessments for development proposals if they generate less than 50 peak hour trips at a particular intersection. However, local agencies are required to maintain the minimum level of service (LOS) thresholds included in their respective general plans. If a street or highway segment included as part of the CMP falls below the adopted minimum standard of LOS E, a deficiency plan is required. The Project could conflict with the CMP if the Project were to cause the CMP facility to operate at an unacceptable LOS.

The *TG/VMT Memo* demonstrates that during weekday conditions, the proposed Project would generate 302 total trips per day including 17 AM peak hour trips and 22 PM peak hour trips. Based on the analysis it is anticipated that the Project will not generate 50 or more peak hour trips at any

¹⁰ *Transportation Analysis Guidelines for Level of Service & Vehicle Miles Traveled*, County of Riverside Transportation Department, December 2020

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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intersection. While the Project does represent an increase in trips in this area, this increase is not considered cumulatively considerable due to the relatively small percentage increase in regional trips it represents.

The Project will also be required to pay its Transportation Uniform Mitigation Fee (TUMF) and Development Impact Fees (DIF), assessed on all County projects, which collectively help reduce overall impacts to the transportation system (i.e., roads and intersections).

Summary. Based on this information, the Project will not conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities. Any impacts will be less than significant, and no mitigation is required.

b) *Would the Project conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?*

Less Than Significant Impact

In response to Senate Bill (SB) 743, the California Natural Resource Agency certified and adopted new CEQA Guidelines in December 2018, which now identify VMT as the most appropriate metric to evaluate a project's transportation impact under CEQA (Section 15064.3). Effective July 1, 2020, the previous transportation metric under CEQA, LOS, typically measured in terms of automobile delay, roadway capacity and congestion, will no longer constitute a significant environmental impact. As a result, a separate VMT analysis was prepared for this Project.

The County of Riverside has updated its traffic study guidelines as contained in the *Transportation Analysis Guidelines for Level of Service & Vehicle Miles Traveled (County of Riverside Transportation Department, December 2020)* to establish requirements and criteria for evaluating VMT on projects. Based on these guidelines, some projects are screened out from requiring a VMT analysis and if the appropriate criteria are met, the project VMT impacts are considered less than significant.

Consistent with County Guidelines, projects should evaluate available screening criteria based on their location and project type to determine if a presumption of a less than significant transportation impact can be made. The following five (5) screening thresholds are listed in the County Guidelines of which three (3) are applicable to the proposed Project and were selected for further review:

- Small Projects
- High Quality Transit Areas (HQTA)
- Local Serving Retail (not applicable)
- Affordable Housing (not applicable)
- Local Essential Service (not applicable)
- Map-Based Screening

Small Projects Screening. The County Guidelines lists two types of screening criteria that may apply to "small projects". The first is a vehicle trip threshold of 110 trips per day. As noted in Threshold 37.a above, the Project would exceed this daily trip threshold. County Guidelines also identifies land use projects that are forecast to generate greenhouse gas (GHG) emissions below 3,000 MTCO_{2e}

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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per year are also assumed to cause a less than significant VMT impact. The proposed Project land use is not specifically identified within the County Guideline’s input factors, so an independent GHG emissions analysis was performed consistent with the methodology as described in the County Guidelines. A 2022 opening year was assumed and the 36 cabin and tents were modeled as a hotel to provide a more conservative analysis. The remaining land area was modeled as a park to ensure any water usage and other non-mobile sources associated with other uses within the Project are captured. With the conservative assumptions, the Project is estimated to generate only 584.42 MTCO₂e annually which is below the 3,000 MTCO₂e threshold. Therefore, the Small Projects screening criteria is met. *High Quality Transit Areas (HQTA) Screening.* Projects located within a Transit Priority Area (TPA) which means within a half-mile of an existing “major transit stop”¹¹ or an existing stop along a “high-quality transit corridor”¹² may be presumed to have a less than significant VMT. However, that conclusion may not be appropriate if a project:

- Has a Floor Area Ratio (FAR) of less than 0.75;
- Includes more parking for use by residents, customers, or employees of the project than required by the jurisdiction (if the jurisdiction requires the project to supply parking);
- Is inconsistent with the applicable Sustainable Communities Strategy (as determined by the lead agency, with input from the Metropolitan Planning Organization); or
- Replaces affordable residential units with a smaller number of moderate- or high-income residential units.

The Project is not located within a half-mile of an existing major transit stop, or along a high-quality transit corridor. Therefore, the HQTA screening criteria is not met.

Map-Based Screening. The County Guidelines note that projects that locate in areas with low VMT, and that incorporate similar features (i.e., density, mix of uses, transit accessibility), will tend to exhibit similarly low VMT. Urban Crossroads has obtained a VMT data table from County Staff for all TAZs within Riverside County that identifies VMT per capita and VMT per employee for the purposes of identifying low VMT areas. The data utilizes the sub-regional Riverside Transportation Analysis Model (RIVTAM) to measure baseline VMT performance for individual TAZ’s and a comparison was made to the applicable impact threshold (e.g., VMT per employee for office or industrial land uses and VMT per capita for residential land uses). Utilizing the County of Riverside’s general plan land use map the parcel of the Project was identified. Once identified the Project’s TAZ identification number was derived from the RIVTAM, the Project resides in TAZ 4,456. The County’s data table identifies the Project’s TAZ 4,456 to generate 28.58 VMT per employee. Whereas the County regional threshold is 14.2 VMT per employee.⁵ The Project does not reside within a low VMT generating area. Therefore, the Map-Based screening criteria is not met.

Summary. The Project is anticipated to generate fewer than 500 daily vehicle trips and less than 100 peak hour trips and is, therefore, not subject to a LOS-based traffic analysis. In addition, the Project meets the Small Projects screening criteria and is therefore presumed to result in a less than significant VMT impact and no additional VMT analysis is required. Therefore, the Project will not conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). Impacts are less than significant, and no mitigation is required.

¹¹ Pub. Resources Code, § 21064.3 (“Major transit stop’ means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.”).

¹² Pub. Resources Code, § 21155 (“For purposes of this section, a high-quality transit corridor means a corridor with fixed route bus service with service intervals no longer than 15 minutes during peak commute hours.”).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) *Would the Project substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?*

Less Than Significant Impact

The Project site is in a rural mountain community south of Idyllwild and Mountain Center in the San Jacinto Mountains. It is on the south side of Apple Canyon Road, a Mountain Collector, east of Highway 74 (Pines to Palms Highway). There are agriculturally zoned properties in the surrounding area but most of the equipment appears to be stored onsite and would likely not have to travel long distances on public roads near the Project.

Apple Canyon Road and Highway 74 have no sharp curves or dangerous intersections in proximity to the Project site. In addition, sight distance along Highway 74 at the Apple Canyon Road intersection is at least 700 feet in both directions.

The Project site plan does not indicate any road improvements are required along Apple Canyon Road although the Project will add three (3) new driveway access points to the eastern portion of the site off of Apple Canyon Road.

Adjacent roadway improvements will be installed in conformance with Ordinance No. 461 and will be installed concurrently with other Project utilities or infrastructure facilities. Conditions of approval have been added to the Project to implement Ordinance No. 461. Therefore, implementation of the proposed Project will not create any roadways or road improvements that could increase hazards to a circulation system design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment). Any impacts are considered less than significant, and no mitigation is required.

d) *Would the Project cause an effect upon, or a need for new or altered maintenance of roads?*

Less Than Significant Impact

Maintenance of Apple Canyon Road may be incrementally increased by the slight increase in traffic from Project activities (*TG/VMT Memo* indicates the Project will have 302 total daily trips including 17 AM peak hour trips and 22 PM peak hour trips. However, development of the Project site would not be expected to have a significant effect upon or result in the need for new or altered maintenance of roads since no new roads are being constructed and no existing roads are being substantially altered. Therefore, impacts will be less than significant, and no mitigation is required.

e) *Would the Project cause an effect upon circulation during the Project's construction?*

Less Than Significant Impact

A limited potential exists to interfere with any emergency response or evacuation plan during construction. Construction work near the Project entrance on Apple Canyon Road will be minimal as no major utility work is required within Apple Canyon Road to serve the Project. Control of access will ensure emergency access to the site and Project area during construction through the submittal and approval of a traffic control plan (TCP) if required by the County.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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In addition, compliance with Ordinance No. 457 regulating construction hours of operation and other County of Riverside Transportation Department procedures and permits will ensure that the safety of the traveling public is protected during construction. Following construction, emergency access to the Project site and area will remain as it was prior to the proposed Project.

The proposed Project is required to comply with County Fire Department requirements for adequate access. Project site access and onsite circulation will provide adequate access and turning radius for emergency vehicles, consistent with the Fire Department’s requirements.

Therefore, the Project will not cause an effect upon circulation during any phase of the Project’s implementation. Any impacts will be less than significant, and no mitigation is required.

f) *Would the Project result in inadequate emergency access or access to nearby uses?*

Less Than Significant Impact

The Project will not generate substantial amounts of additional total or peak hour traffic onto Apple Canyon Road or Highway 74 so it will not result in inadequate emergency access or access to nearby uses. The County of Riverside Fire Prevention Department has reviewed and conditioned the proposed Project without requiring additional emergency access or secondary access through other uses. With proper design and construction, the onsite decomposed granite (DG) roadways will safely accommodate emergency vehicles. The site will also construct three (3) access driveways from the site to Apple Canyon Road which connect to the onsite DG roadways. These requirements are standard County conditions and are considered regulatory compliance and not project specific mitigation under CEQA.

With regulatory compliance, any impacts related to inadequate emergency access in terms of response time will be reduced to less than significant levels.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

38. Bike Trails

a) Include the construction or expansion of a bike system or bike lanes?

Source(s): REMAP Figure 7, *Riverside Extended Mountain Area Plan Trails and Bikeway System*; and Project Plans (**Appendix K**).

Findings of Fact:

a) *Would the Project include the construction or expansion of a bike system or bike lanes?*

Less Than Significant Impact

According to REMAP Figure 7, *Riverside Extended Mountain Area Plan Trails and Bikeway System*, there are no Regional Open Space Trails (or bike lanes) along Apple Canyon Road, Highway 74, or in the general vicinity of the Project site. The closest planned trail of any kind is a non-county trail across public or quasi-public land north of the site traveling east from the Hurkey Creek Campground. There are no offroad trails or on- or offroad bicycle lanes planned for Apple

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Canyon Road or Highway 74 in the general Project area. The Project will include pedestrian pathways or informal onsite trails as needed during Project site improvements, which will include erosion control as necessary. Implementation of the Project would not involve the construction or expansion of any trails as part of the regional trail system. Therefore, impacts would be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

TRIBAL CULTURAL RESOURCES Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

39. Tribal Cultural Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Phase I Cultural Resources Assessment of Conditional Use Permit No. 210121*, prepared by Jean Keller, 12-2021 (**CRA, Appendix D**); County Archaeologist, AB52 and SB18 Tribal Consultation.

Findings of Fact:

- a) *Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k)?*
- b) *A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)*

Less Than Significant Impact

Tribal Cultural Resources are those resources with inherent tribal values that are difficult to identify through the same means as archaeological resources. These resources can be identified and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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understood through direct consultation with the tribes who attach tribal value to the resource. Tribal cultural resources may include Native American archaeological sites, but they may also include other types of resources such as cultural landscapes or sacred places. The appropriate treatment of tribal cultural resources is determined through consultation with tribes.

In compliance with Senate Bill 18 (SB18), Riverside County requested a Sacred Lands File search and a consultation list from the Native American Heritage Commission (NAHC) of tribes whose historical extent includes the project area. Based on the July 23, 2021, list provided by NAHC, project notices were sent on July 27, 2021, to 11 Native American Tribal representatives. SB 18 consultations were requested by the Soboba Band of Indians and consultation was deferred by the Quechan Historic Preservation Officer. No response was received from the remainder of the tribes.

In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on August 20, 2021. Consultations were requested by the Rincon Band of Luiseno Indians, the Soboba Band of Mission Indians, the Agua Caliente Band of Cahuilla Indians. No response was received from the Ramona Band, the Pala Band the Morongo Band, the Cahuilla Band of Indians, the Colorado River Indian Tribes, the Santa Rosa Band or the Pechanga Band of Luiseno Indian's.

Rincon requested to consult in a letter dated August 20, 2021. The cultural report and the conditions of approval were sent to the Rincon Band on December 13, 2021. Consultation was concluded the same day.

Agua Caliente requested to consult in an email letter dated September 13, 2021. The cultural report and the conditions of approval were provided to the group on December 13, 2021. A meeting was held on December 21 in which this project was discussed. The tribe agreed with the conditions of approval and consultation was concluded the same day.

Soboba requested to consult on the project in an email letter dated August 17, 2021. The cultural report and the conditions of approval were sent to Soboba on August 17, 2021, and December 13, 2021. A follow up email was sent to Soboba on January 4, 2022, asking for further comments or concerns. No response was received from the group and consultation was concluded on January 18, 2022. No Tribal Cultural Resources were identified by any of the consulting tribes.

Although no specific Tribal Cultural Resources or impacts were identified, all of the consulting tribes expressed concerns that the project has the potential for as yet unidentified subsurface tribal cultural resources. The tribes request that a Native American monitor be present during ground disturbing activities so any unanticipated finds will be handled in a timely and culturally appropriate manner. Based on information from the County Archaeologist, consulting Native American tribes, and County Planning Staff. The Tribe's concerns are addressed in the standard Conditions of Approval (COAs) identified in Thresholds 9.a-c of this IS/MND. These COAs incorporate the recommended conditions of approval for cultural resources as prepared by County staff in their entirety. With implementation of these measures, the proposed Project would not cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a Cultural Native American tribe, and that is listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k) or is a resource determined by the lead agency, in its discretion and supported by substantial evidence, to

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1.

COA Monitoring: A copy of all agreements between the Project developer and the appropriate Band of Luiseño Indians shall be provided to the County for retention. Field inspections by County Staff shall verify that all aspects of the agreement are being implemented by the developer, professional monitor and Tribal monitors, during ground disturbing activities. Any cultural resources reports produced as a result of Project monitoring shall be provided to the County within 60 days of completion. All reports and field notes shall be retained in the Project file. The Planning Department will also monitor any potential changes to the Project and their impacts on prehistoric resources.

With the inclusion of the County’s standard Conditions of Approval, impacts to any previously unidentified Tribal Cultural Resources would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

UTILITIES AND SERVICE SYSTEMS Would the Project:

40. Water

a) Require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the Project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Wellness Center Water System, Preliminary Technical Report*, prepared by Specialized Utilities Services Program, 4-24-2023 (**Appendix G1**); *Well Inspection Report*, prepared by Heritage Well Service, 4-8-2021 (*HWS 2021*, **Appendix G2**); *Well Sampling Analytical Report*, prepared by Babcock Laboratories, Inc., 8-3-2021 (*BL 2021*, **Appendix G3**); *Project-Specific Water Quality Management Plan (WQMP), The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023 (*WQMP*, **Appendix G4**); *Preliminary Hydrology and Hydraulics Report for The Ridge – Idyllwild Guest Ranch*, prepared by JLC Engineering and Consulting, Inc., 5-26-2023 (*Hydrology Study*, **Appendix G5**); *ATS System Design*, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022 (**Appendix L**); *OWTS Report*, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021 (**Appendix M**); and *Project Plans* (**Appendix K**).

Findings of Fact:

- a) *Would the Project require or result in the relocation or construction of new or expanded water, wastewater treatment, or storm water drainage systems, whereby the construction or relocation would cause significant environmental effects?*

Less Than Significant Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The applicant indicates the Project will have a small ground-mounted array of solar panels south of the camp buildings. There will be two propane storage tanks, one near the pool and one small tank for an emergency generator. The camp kitchen will be powered by electricity and will not cook with propane or natural gas.

Water

The Project site is currently vacant and does not utilize available onsite water supplies, An agricultural water well is located in the eastern portion on the Project site just south of Apple Canyon Road and just east of Hurkey Creek. The well was tested in 2021 for pumping capacity (*HWS 2021*) and water quality (*BL 2021*). As of mid 2021, the existing well produces approximately 24 gallons per minute (*HWS 2021*) and its water quality is consistent with the various drinking water standards established by the federal, state, or county governments (*BL 2021*). However, the Project Plans indicate the existing well will be used to irrigate the agriculture and landscaping onsite, while a new well will be drilled for domestic potable use. A Ridge Wellness Center Water System Preliminary Technical Report (PTR) was prepared for the Project and most recently updated in April 2023. The Project is proposing to construct a new privately owned public water system to provide water for their planned facilities and activities. The water system will have one connection, the Wellness Center Building, and will be classified Non-Transient Non-Community (NTNC) water system. It will be owned and managed by the Project owner/operator under the jurisdiction of the County of Riverside Environmental Health Division (County), and the Division of Drinking Water (DDW) of the State Water Resources Control Board (SWRCB). The PTR is part of the new water system permit application to DDW.

Title 22 of California Code of Regulations CCR requires a public water system to have the capacity to meet the Maximum Day Demand (MDD). The PTR indicates the system sized the new well and storage tank to meet the MDD, and the booster pumps are sized to supply peak hour demand. The piping and pressure tank will allow the distribution system to meet peak instantaneous demand as needed for brief periods. These are typical design considerations for a water system at this scale and are expected to meet demand under all conditions and ensure a reliable, safe water supply for operation of the entire facility. Based on the size and anticipated use of the facility, the PTR estimated the MDD of the entire site would be 15.1 gallons per minute (gpm) for the buildings, including baths and showers, and for pool operation.

A new drinking water well will be drilled and constructed on the Project site. The local aquifer is part of the Hemet Lake Valley groundwater basin, and drilling logs from nearby wells (within one mile radius of the site) show granite formations below 100 feet of depth. The well is expected to be approximately 300 feet deep with a design capacity of 20 gpm which is sized to exceed the MDD by 30 percent.

The water from the existing onsite well was tested in May 2021 and showed no contaminant levels above any of the Maximum Contaminant Limits (MCLs). Based on the water quality results from the existing well on the parcel, the new well is expected to have acceptable water quality for potable use (i.e., drinking water) and therefore would not require treatment. However, chlorine disinfection will be included in the new system and appropriate treatment will be provided if any contaminants are found in the new well and the permit application will be modified accordingly.

The proposed water system does not have an additional source of supply or emergency connection with capacity to meet the MDD. A storage tank with capacity of 22,000 gallons would typically be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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installed to meet storage requirements from Title 22. However, the County of Riverside Department of Environmental Health indicates that having a backup generator to power the domestic well will permit less static storage. The PTR therefore recommends one 5,000 gallon steel water storage tank to buffer peak demands on the Project system. The design will include a storage tank bypass system to allow the tank to be taken offline if needed for repairs.

The proposed fire protection system will also be supplied by the existing irrigation well. The fire storage volume will be as determined by the Riverside County Fire Department. The fire protection system will be independent of the domestic water system and have no interties.

The site currently has an irrigation system consisting of a well, one 5,000 gallon storage tank, three 85 gallon pressurized tanks, and one 2 hp Berkeley booster pump. The irrigation well is located on the northwest side of the property and has a capacity of 24 gpm. The well will not be connected to the new domestic water system but will continue to be used for irrigation and fire suppression at the property. The existing irrigation distribution systems will be independent of the proposed domestic water system with no interties.

A feasibility analysis was also conducted as part of the RTP to determine if it would be more practical and cost effective to provide water to the Project site via an existing source/water system. The closest most appropriate existing water service to the site would be from the Lake Hemet Mutual Water District (LHMWD) which provides potable water to Lake Hemet Campground with a population of up to 600 (300 residential and 300 transient) through 287 residential service connections. LHMWD facilities are located approximately one mile to the south of the Project site and its source of water is one active well (Pasture Well 02). LHMWD has four storage tanks on the hill north of the campground and the distribution system consists of a 4-inch pipeline and no booster pumps. The system is gravity fed and adequate pressures are maintained throughout the system by elevation difference between the storage tanks and service connection points.

LHMWD was contacted in December 2021 to explore the feasibility of supplying water to the proposed Project rather than construction of a new onsite well. The LHMWD General Manager indicated that such a connection would be difficult construction-wise, very costly, and LHMWD is currently under a moratorium on new connections due to supply capacity limitations. The PTR estimated a new water system with an onsite well would cost under \$800,000 while extending service from LHMWD would cost over \$2 million (PTR Tables 3 and 4).

Assuming an average daily consumption of 75 gallons per person, the Project could consume as much as 8,000 gallons per day or 2.9 million gallons (approximately 9 acre-feet) per year. As outlined above, a water storage tank of sufficient size will be installed along with pumps and underground piping to convey water to the various buildings/use areas of the Project. Development of the eastern portion of the site is not expected to result in any significant impacts (e.g., dust/air quality, biological resources, cultural resources, etc.) and no offsite water system improvements are needed.

It should be noted the Project will have low intensity activities with one-story low buildings that are intended to be eco-friendly and environmentally conscious so it will be specifically designed to conserve water (i.e., low impact development or LID). The Project buildings will also be required to meet the County's LID ordinance and state water conservation goals.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The new onsite public water system will be designed and permitted through the County Department of Health and the State to supply potable water to the occupied buildings. A separate fire system for building sprinklers and hydrants will be installed that will provide adequate volume and flow for fire protection per the County Fire Department requirements. The system will include a connection from the well to the holding tanks. The new system will be approved as part of the final building plan permit process and obtain a separate permit. The new well and public water system will meet anticipated water demand for all Project phases and new buildings. Provision for this new water system is required as part of the County’s standard conditions of approval, which are considered regulatory compliance and not unique mitigation under CEQA. With implementation of this measure as a condition of approval, potential impacts related to water supply for domestic consumption and fire protection will be less than significant.

Wastewater/Sewer

The Project site is currently vacant and is not served by either piped sewer or subsurface septic systems. The Percolation Testing and Onsite Wastewater Treatment System (OWTS) Investigation indicated portions of the site have shallow groundwater, on the order of 7 to 10 feet below ground surface in some areas. As a result of the shallow groundwater, the use of a typical conventional septic system with leach field is not feasible.

The Project will utilize an Aerobic Treatment System (ATS) with shallow near surface GeoFlow drip lines for its sewage disposal which will be located in the eastern portion of the site. This is mainly due to the presence of shallow groundwater. The area of the shallow subsurface GeoFlow drip lines is delineated on the project plans. These areas will remain native and undisturbed.

The plans and related data of the proposed ATS system have already been submitted and approved by Riverside County Department of Environmental Health (DEH). DEH has determined this system would be able to provide adequate wastewater service to the proposed Project, including day/weekend events and other special activities. The ATS system has been designed to remain under the 10,000 gallons per day (gpd) threshold which would allow this system to remain under the regulation of the County rather than the regional board. Effluent from this system will be dispersed in the garden area using GeoFlow drip irrigation. There will be no direct effluent discharges to the creek and all system components will be located at a minimum of 100 feet from the identified 100-year flood zone on the site. This system will meet the design requirements of the Uniform Plumbing Code and County DEH. The ATS system is sized to have an average daily flow of 8,900 gpd as shown in the calculations section of the ATS System Design documentation.

The Project will install the new ATS system subject to design and permitting requirements of the DEH which has authority under the Local Agency Management Program (LAMP) to approve this system as it is under the 10,000 gallons per day (gpd) threshold for LAMP jurisdiction. Additionally, the County of Riverside Building and Safety Department has standard conditions that will prevent impacts on existing or proposed onsite treatment systems. These are considered regulatory compliance and not project unique mitigation. No portion of the proposed Project will result in grading that affects or negates subsurface sewage disposal systems. Impacts will be less than significant, and no mitigation is required.

Since the Project will be installing the new individual sewage system in accordance with County regulations, any impacts will be less than significant, and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Stormwater/Drainage

As previously discussed in Section 23 of this Initial Study (Hydrology and Water Quality), all new development in the County of Riverside is required to comply with provisions of the National Pollutant Discharge Elimination System (NPDES) program, including Waste Discharge Requirements (WDR), and for properties located within the Santa Ana River Watershed - the 2010 General Permit Number R8-2010-0033 (County MS4 Permit as enforced by the Santa Ana Regional Water Quality Board (SARWQCB).

Additionally, there are no storm drains on the Project site or within the project vicinity.

The Project *Hydrology Study* and *WQMP* concluded that development of the new structures will require construction and maintenance of a detention basin that will comply with NPDES, WDR, MS4, and SARWQCB requirements, the construction of which will have a less than significant impact on storm water drainage systems.

b) Would the Project have sufficient water supplies available to serve the Project and reasonably foreseeable future development during normal, dry, and multiple dry years?

Less Than Significant Impact

As previously discussed in Threshold 40.a, the Project will provide a public water supply and system to the site to meet the anticipated future water needs of the Project. A domestic water well is located just south of Apple Canyon Road and just east of Hurkey Creek on the Project site. The well was tested in 2021 for pumping capacity (*HWS 2021*) and water quality (*BL 2021*). As of mid 2021, the existing well produces approximately 24 gallons per minute (*HWS 2021*) and its water quality is generally consistent with drinking water standards established by the federal, state, or county governments (*BL 2021*). The Project engineer has indicated the onsite well can provide adequate water supply that meets health and safety standards. However, the well will need to be upgraded to domestic service standards and certified as adequate by the County Health Department for the exclusive use of the proposed guest ranch based on full occupancy (105 persons). Assuming an average daily consumption of 75 gallons per person, the Project could consume as much as 8,000 gallons per day or 2.9 million gallons (approximately 9 acre-feet) per year. This amount of water would require pumping about 6 hours per day at max. flow or 12 hours at 50% flow. A water storage tank of sufficient size will be installed along with underground piping to convey water to the various buildings/use areas of the Project.

The new onsite public water system will be designed and permitted through the County Department of Health to supply potable water to the occupied buildings as well as provide adequate volume and flow for fire protection per the County Fire Department requirements. Use of the existing onsite well and the proposed new onsite well and water system is expected to meet anticipated water demand for the Project. Provision for this new water system is required as part of the County’s standard conditions of approval. With implementation of standard conditions of approval, potential impacts related to water supply for domestic consumption and fire protection will be less than significant.

Therefore, sufficient water supplies are available to serve the Project and reasonably foreseeable future development during normal, dry, and multiple dry years. Any impacts are considered less than significant, and no mitigation is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

41. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the Project that it has adequate capacity to serve the Project’s projected demand in addition to the provider’s existing commitments?

Source(s): ATS System Design, prepared by Earth Strata Geotechnical Services, Inc., 8-29-2022 (**Appendix L**); OWTS Report, prepared by Earth Strata Geotechnical Services, Inc., 11-30-2021 (**Appendix M**); and Project Plans (**Appendix K**).

Findings of Fact:

a) *Would the Project require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?*

Less Than Significant Impact

Refer also to Thresholds 18.c and 40.a. The Project site will require a new ATS. This ATS system is a design alternative solution to a typical septic system and utilizes shallow near surface GeoFlow drip lines for its sewage disposal which will be located in the eastern portion of the site. This is mainly due to the presence of shallow groundwater. The plans and related data of the proposed ATS system have already been submitted and approved by Riverside County Department of Environmental Health (DEH). DEH has determined this system would be able to provide adequate wastewater service to the proposed Project, including day/weekend events and other special activities. The ATS system has been designed to remain under the 10,000 gallons per day (gpd) threshold which would allow this system to remain under the regulation of the County rather than the regional board.

Other than the proposed onsite septic system, implementation of the proposed Project will not require, or result in, the construction of new wastewater treatment facilities or expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects. Any impacts will be less than significant, and no mitigation is required.

b) *Would the Project result in a determination by the wastewater treatment provider that serves or may service the Project that it has adequate capacity to serve the Project’s projected demand in addition to the provider’s existing commitments?*

No Impact

The Project site’s development plan proposes an on-site ATS system as described above rather than a traditional septic system, so the Project will not be connecting to any private

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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wastewater/sewer treatment facilities. This criterion is not applicable to the proposed Project. There will be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

42. Solid Waste

a) Generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan EIR No. 521, Section 4.17.4, *Solid Waste Management*; Riverside County Municipal Code; Assembly Bill (AB) 939 Riverside County Department of Waste Resources (RCDWR), Planning Section and Countywide Integrated Waste Management Plan; CalRecycle, SWIS Facility Detail, El Sobrante Landfill, 33-AA-0217; El Sobrante Landfill Fact Sheet, issued by Waste Management of California; El Sobrante Landfill Annual Monitoring Report, January 1, 2019 through December 31, 2019, by USA Waste of CA, Inc., 9-2020.

Findings of Fact:

- a) *Would the Project generate solid waste in excess of State or Local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?*

Less Than Significant Impact

Solid waste management in Riverside County is required to comply with the California Integrated Waste Management Act of 1989, Chapter 1095 (AB 939) which redefined solid waste management in terms of both objectives and planning responsibilities for local jurisdictions and the state. AB 939 was adopted in an effort to reduce the volume and toxicity of solid waste that is landfilled and incinerated by requiring local governments to prepare and implement plans to improve the management of waste resources. AB 939 required each of the cities and unincorporated portions of counties throughout the state to divert a minimum of 25% by 1995 and 50% of the solid waste landfilled by the year 2000. To attain these goals for reductions in disposal, AB 939 established a planning hierarchy utilizing new integrated solid waste management practices.

The Countywide Summary Plan contains goals and policies, as well as a summary of integrated waste management issues faced by the County and its cities. The Summary Plan summarizes the steps needed to cooperatively implement programs among the County’s jurisdictions to meet and maintain the 50% diversion mandates. The Countywide Siting Element demonstrates that there are at least 15 years of remaining disposal capacity to serve all the jurisdictions within the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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County. If there is not adequate capacity, a discussion of alternative disposal sites and additional diversion programs must be included in the Siting Element.

The Riverside County Department of Waste Resources (RCDWR) - Planning Section ensures that the Department's planned and proposed waste management activities and projects are in compliance with applicable federal, State and local land use and environmental laws, regulations, and ordinances.

The RCDWR operates six (6) active landfills (Badlands, Blythe, Desert Center, Lamb Canyon, Mecca II and Oasis) and administers a contract agreement for the private El Sobrante Landfill serving the greater Riverside County area. The RCDWR also oversees several transfer station leases, as well as a number of recycling and other special waste diversion programs.

Municipal waste collection services for the unincorporated East Hemet/Paradise Valley area (Project site is a part) is provided by Waste Management, Inc. The Project site is located in the primary service area of the Lamb Canyon Landfill with additional capacity available at the El Sobrante Landfill for all non-hazardous, non-recyclable, non-green municipal waste.

The Project site is located approximately 23.3 miles southeast of the Lamb Canyon Landfill and 46 miles east/southeast of the El Sobrante Landfill.

Lamb Canyon Landfill

The Lamb Canyon Landfill is a Class III municipal solid waste facility owned and operated by the Riverside County Department of Waste Resources (RCDWR). It is located in the unincorporated Badlands/Lamb Canyon area of Riverside County, south of Interstate 10 (I-10) and the City of Beaumont, and north of the City of San Jacinto at 16411 Lamb Canyon Road (State Route 79). The maximum permitted capacity is 38,953,653 cubic yards as of January 8, 2015 (most recent published date available) providing capacity and continued operations through April 1, 2029 (estimated closure date).

El Sobrante Landfill

The Project site is located within the service area of the El Sobrante Landfill, a service area that includes the cities/communities within southwestern Riverside County. Located near the center of the highly populated western third of Riverside County, it processes approximately 43% of Riverside County's annual waste, according to Waste Management, Inc., the landfill's operator.

The El Sobrante Landfill is located approximately 34 miles west/northwest of the Project site in the unincorporated Temescal Canyon area of Riverside County between the City of Lake Elsinore and the City of Corona, east of Interstate 15 and Temescal Canyon Road, and south of Cajalco Road, at 10910 Dawson Canyon Road, Corona, CA 91719. The El Sobrante Landfill facility currently comprises a total area of 1,322 acres which includes a 495-acre footprint permitted for landfill operations, and a 688-acre wildlife preserve.

Based on 307 working days, an average of 11,139 tons of waste are received at the landfill on a daily basis. This is substantially lower than the maximum 16,054 tons per day allowed under the current permit. As of November 9, 2018, a modified Solid Waste Facilities Permit for the El

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Sobrante Landfill was issued which revised the landfill's Estimated Closure Year from 2045 under the former 2009 permit, to 2051 pursuant to the current permit.

There is not a specific land use category in the County General Plan and its EIR for the Project's proposed "guest ranch" so it is difficult to estimate solid waste generation from the Project based solely on land use category (i.e., residential, commercial, industrial). The CalRecycle general solid waste generation rate of 10 pounds per person per day will be used to roughly estimate solid waste that could be generated by the Project. It is estimated the Project could have 1-2 guests per cabin (36 total cabins) plus 35 employees per shift. This results in a range of approximately 71-107 persons that could be expected to be on the site each operating day. Assuming all the cabins are occupied by 1.5 guests and the ranch operates every day of the year, the average of 89 persons on the Project site each day could generate 890 pounds per day or 162.4 tons per year of solid waste that would require disposal at County landfills. It should be noted that the ranch will have low intensity activities and one-story buildings as part of a guest ranch that emphasizes environmentally conscious programs, so this is a "worst case" estimate of potential waste generation for the Project.

This amount of waste represents 0.01 percent of the daily disposal capacity of the Lamb Canyon Landfill and 0.004 percent of the disposal capacity of the El Sobrante Landfill. The amount of additional solid waste generated by the Project operation would have an incremental, but nominal, impact on the existing solid waste infrastructure at the Lamb Canyon (primary) and El Sobrante Landfills. Therefore, the proposed Project use would not generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals. Additionally, County staff recommends standard conditions of approval for waste management that shall apply to the Project. With this regulatory compliance, impacts related to solid waste generation would be less than significant and no mitigation is required.

- b) *Would the Project comply with federal, state, and local management and reduction statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?*

Less Than Significant Impact

All institutional land uses within the unincorporated Riverside County area, including the Project site, which is located in the San Jacinto Mountains, generate waste and are required to coordinate with the County's contracted waste hauler (Waste Management, Inc.) to collect solid waste on a common schedule as established in applicable local, regional, and State programs.

Additionally, all development within the unincorporated County jurisdiction is required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939 (CalRecycle), Title 8 of the County Municipal Code, and other local, State, and federal solid waste disposal standards.

The California Integrated Waste Management Act of 1989 (AB 939) requires every city and county in the state to prepare a Source Reduction and Recycling Element to its Solid Waste Management Plan, that identifies how each jurisdiction will meet the mandatory state diversion goal of 50 percent by and after the year 2000. The purpose of AB 939 is to "reduce, recycle, and re-use solid waste generated in the state to the maximum extent feasible." As set forth in Threshold 42.a,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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in response to the State requirements, the Riverside County Department of Waste Resources prepared the CIWMP.

All solid waste disposals within the unincorporated County of Riverside are subject to the requirements set forth in *Title 8, Health and Safety*, Chapter 8.136 - Comprehensive Collection and Disposal of Solid Waste within Specified Unincorporated Areas and Chapter 8.24 - County Solid Waste Facilities, other, as provided in the Municipal Code. Chapters 8.136 and 8.24 provide integrated waste management guidelines for service, prohibitions, and provisions of service. The provisions of service require that the County of Riverside shall provide for or furnish integrated waste management services relating to the collection, transfer, and disposal of refuse, recyclables, and compostables within and throughout the unincorporated County jurisdiction. The Project would be required to comply with applicable elements of AB 1327, Chapter 18 (California Solid Waste Reuse and Recycling Access Act of 1991), AB 939, Title 8 of the County Municipal Code, and other applicable local, State, and federal solid waste disposal standards as a matter of regulatory policy, thereby ensuring that the solid waste stream to the waste disposal facilities is reduced in accordance with existing regulations. With regulatory compliance, any impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

43. Utilities

Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Ridge Ranch Air Quality and Greenhouse Gas Assessment*, prepared by Urban Crossroads, 11-19-2021 (*AQ/GHG Analysis, Appendix B*); Ordinance No. 461 (County of Riverside Road Improvement Standards and Specifications); Anza Electric Co-Op website; Ordinance No. 655 (An Ordinance of the County Of Riverside Regulating Light Pollution); Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); Riverside County Network of Care website; and *County of Riverside General Plan EIR No. 521, Sec.4.10 Energy Resources*.

Findings of Fact:

- a) *Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to electricity?*

Less Than Significant Impact

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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There are electricity connections currently serving the Project site. Electricity lines are located along Apple Canyon Road frontage immediately north of the Project site and are provided by the Anza Electric Co-Op which provides electricity to this rural area of the County. According to the *AQ/GHG Analysis*, the proposed Project will use electricity for a variety of operational activities including, but not limited to, building heating and cooling, lighting, appliances, electronics, mechanical equipment, electric vehicle charging, and parking lot lighting. Indirect electricity usage is also required to supply, distribute, and treat water for the Project.

Annual electricity consumption for the proposed Project upon full buildout is estimated to be 546,726 kilowatt hours (kWh) or 1,865.4 million British thermal units (Btu)¹³ per year of electricity under “worst case” conditions.

The Project’s impact is considered less than significant as the Project will be required to comply with the mandatory requirements of California’s Building Energy Efficiency Standards (Title 24, Part 6) and Green Building Standards (CALGreen, Title 24, Part 11). California’s building energy efficiency standards are some of the strictest in the nation and the Project’s compliance with California’s building code will ensure that wasteful, inefficient or unnecessary consumption of energy is minimized. The building standards code is designed to reduce the amount of energy needed to heat or cool a building, reduce energy usage for lighting and appliances and promote usage of energy from renewable sources. It should also be noted this Project will have a strong environmentally conscious orientation so energy conservation will be one of their primary goals.

Adequate commercial electricity supplies are presently available to meet the incremental increase in demand attributed to the Project. Provision of electricity to the Project site is not anticipated to require or result in the construction of new facilities or the expansion of existing facilities, the construction or relocation of which would cause significant environmental effects to electricity. It should also be noted that the Project plans show a potential future solar system, but no entitlement is requested in the current application for such a facility. Impacts in this regard will be less than significant, and no mitigation is required.

b) Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to natural gas?

Less Than Significant Impact

The Project is expected to use propane for gas to supply energy for cooking, heating and other operational applications associated with the guest ranch operation. The Project is not anticipated to have natural gas supplied to the site. All propane used by the Project is expected to be imported and stored on-site via on-site storage tanks. The *AQ/GHG Analysis* estimates the Project will consume 1,863 cubic feet or 186,294 million Btu¹⁴ per year of propane per year.

The Project proposes the use of propane gas and will not connect to the natural gas system. Propane is supplied by several private companies within the region and can be provided to the site via truck. Therefore, there are adequate propane gas supplies available to meet the incremental increase in demand attributed to the Project. The proposed Project would not require or result in

¹³ Assumes 1 kWh = 3,412 Btu
¹⁴ Assumes 1 cubic foot of gas = 1,000 Btu

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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construction, expansion, or relocation of natural gas facilities that could result in a significant environmental effect. Any impacts will be less than significant, and no mitigation is required.

- c) *Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to communications systems?*

Less Than Significant Impact

Communication systems for the Project area are provided by Frontier Communication as well as other private telecommunications providers, all of which are private companies that provide connection to the communication system on an as needed basis. No expansion of facilities will be necessary to connect the Project to the existing communication system located adjacent to the Project site, and therefore, would not cause a significant environmental effect to communications systems. Impacts will be less than significant, and no mitigation is required.

- d) *Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to street lighting?*

Less Than Significant Impact

The proposed Project will not require the installation of any new or additional streetlights along the public Apple Canyon Road rights-of-way.

Any potential impacts from light and glare are discussed in Section 2 (Mt. Palomar Observatory) and Section 3 (Other Lighting Issues) of this Initial Study. The Project would not require new streetlights or relocation of existing streetlights and, as such, there will be no significant environmental effects to street lighting, although there will be onsite building and parking area lights for safety and security. Impacts will be less than significant, and no mitigation is required.

- e) *Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to maintenance of public facilities, including roads?*

Less Than Significant Impact

The proposed Project will have a less than significant impact on public facilities. Riverside County Ordinance No. 659 establishes a developer impact fee to mitigate the cost of public facilities, including roads. The Project does not include roads or road improvements requiring or resulting in the construction of new facilities or the expansion of existing facilities.

Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance. Any impacts will be less than significant, and no mitigation is required.

- f) *Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to other governmental services?*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Less Than Significant Impact

Regional Multi-Service Centers impacts are typically attributed to residential development. This is reflected in Ordinance No. 659. Regional Multi-Service Centers are located throughout the County and provide a variety of services on a regional basis with events ranging from: athletic programs, wellness programs, senior citizen activities, arts and crafts, etc. The Project does not have a new residential component; it is an institutional “guest ranch” facility.

Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance to offset any incremental increase in or demand for such services generated by the Project. Payment of such fees would ensure that the Project would not require or result in the construction of new facilities or the expansion of existing facilities, whereby the construction or relocation would cause significant environmental effects to other governmental services. Impacts will be less than significant, and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

WILDFIRE If located in or near a State Responsibility Area (“SRA”), lands classified as very high fire hazard severity zone, or other hazardous fire areas that may be designated by the Fire Chief, would the Project:

44. Wildfire Impacts

a) Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County (Appendix A); The Ridge Guest Ranch Fire Protection Plan, APN 568-070-021, prepared by Firewise 2000, LLC, 6-12-2023 (FPP, Appendix H); Project Plans (Appendix K); General Plan; Ordinance No. 787 (An Ordinance of the County of Riverside Adopting the 2016 California Fire Code as Amended); California Department*

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of Forestry and Fire Protection (CALFIRE), Fire and Resource Assessment Program (FRAP) website; Riverside County General Plan, Chapter 6, Safety Element, Figure S-8 *Wind Erosion Susceptibility Areas*; and Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program).

Findings of Fact:

- a) *Would the Project substantially impair an adopted emergency response plan or emergency evacuation plan?*

Less Than Significant With Mitigation Incorporated

According to the state Department of Forestry and Fire Protection (CALFIRE), Fire and Resource Assessment Program (FRAP) and *Map My County*, the Project site is: 1) Classified by Riverside County as being in a Very High Fire Hazard Area; and 2) Located in a State Fire Responsibility Area (SRA).

The Project site currently has a three access points on Apple Canyon Road, approximately ¼ mile easterly from the intersection with Highway 74. Onsite circulation will be via an internal loop decomposed granite drive aisle, that circles back to Apple Canyon Road. The Project area is rural and mountainous in nature and there is a high potential for wildfire to affect the region. Highway 74 is a community evacuation route as part of the County’s adopted emergency response plan/emergency evacuation plan.

The vegetation on the portions of the site that have not been developed or previously disturbed (or landscaped) consist of a number of native associations including Chaparral / Coastal Sage Scrub, Jeffrey Pine Woodland, Willow Riparian areas, and ruderal (weedy) areas. These vegetation associations are adapted to and/or highly susceptible to wildland fires, especially during times when hot dry Santa Ana winds blow across the region.

The proposed Project would convert the property into a wellness retreat. Accordingly, several structures will be built, including a guest cabin with 30 rooms, a common area building, an activity hub building, a basecamp, and an administrative building.

The Project will introduce additional persons into the area which has high fire risks. Therefore, a *Fire Protection Plan (FPP)* was prepared to evaluate the proposed guest ranch to ensure it will not expose people or structures to significant risks or hazards from wildfires. The *FPP* takes into account the property’s location, topography, geology, combustible vegetation (fuel types), climatic conditions and fire history. It also considers water supply, access, structure ignitability and fire resistive building materials, fire protection systems and equipment, impacts to existing emergency services, defensible space, and vegetation management.

The *FPP* proposes fuel modification requirements to effectively reduce the potential exposure of people and structures onsite from a significant risk of loss, injury, or death from wildland fires. In this way it would help reduce a potential increase in the need for fire protection services by the RCFD.

The *FPP* recommends implementation and maintenance of the following four (4) Fuel Treatment Zones as described in the 2019 California Fire Code, each with their own characteristics, required

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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landscaping, and required maintenance:

- Fuel Treatment Zone 1**, the Immediate Zone, is the area from the exterior wall surface of the building extending 5-feet on a horizontal plane. The intent of Zone 1 is to create a landscape absent of all combustible materials. This zone includes the level graded area under and around all decks and requires the most stringent wildland fire fuel reduction and maintenance. This area shall be kept clear of combustibles, plant-based landscaping mulch, and all large shrubs and trees. It may have a few nonwoody plants, generally confined to pots or containers, that are low growing. Plants that grow in water are also a good choice. No plants shall be grown beneath windows or adjacent to doorways. The soil surface may be bare ground or covered with hardscape features such as pavers, gravel, concrete, rock, or other non-combustible material. Water features and statuary developed from non-combustible materials are also a good choice for this zone.
- Fuel Treatment Zone 2** – Owner Maintained Intermediate Zone, is commonly called the defensible space zone for fire suppression forces and protects structures from radiant and convective heat. Zone 2 consists of the area from 5'-50' from the exterior wall surface extending out in a horizontal plane. Within the zone, flammable native vegetation shall be removed and replanted with drought tolerant, fire resistive, irrigated, plantings as approved by the Riverside County FD. (see Appendix A). Firewood shall not be stacked under tree canopy and stored at least 10 feet from property lines. Zone 2 fuel treatments are measured from the exterior walls of the structure or from the most distal point of a combustible projection, an attached accessory structure, or an accessory structure within 10 feet of a habitable structure. It provides the best protection against the high radiant heat produced by a wildfire and a generally cleared area in which fire suppression forces can operate during wildfire events.
- Fuel Treatment Zone 3A** - the Extended Zone, is the area beyond Zone 2, from 50'-100' in a horizontal plane. All highly combustible native vegetation is excluded within the zone. Zone 3A may be partially, or non-irrigated, depending upon the plant species selected for planting. Irrigation shall not be required for natural slopes when there is a danger of slope failure. The goal within Zone 3A is the reduction or selective clearing of existing native vegetation and dense chaparral by 50% and the planting and maintenance of only approved species.
- Fuel Treatment Zone 3B** – Bio-retention Basin - Owner Maintained, is located on the southeastern corner of the property, west of the planned solar farm and planter areas. This area, as part of the Water Quality Management Plan, has been designed to reduce storm water and soil runoff from the site. The basin will be planted with native plants materials and maintained to the required maintenance and landscaping standards listed for Zone 3A. Within Zone 3B will be thinning zones beginning at the edge of Zone 2 and including all natural and manufactured slopes. The specified intent is to achieve and maintain an overall 50% reduction in the canopy and removal of 100% of the dead and dying plant material following the growth cycle of the vegetation. Removal of prohibited and invasive species is permitted. The Project owner(s) is responsible for the maintenance of the area to Zone 3B standards as needed.

The *FPP* also includes supplemental fuel treatment zones for the onsite roadways, setback areas from the adjacent U.S. Forest Service land, Hurkey Creek setback zone, permanent markers for each zone, and a Shelter-In-Place (SIP) location and plan for how onsite sheltering will be implemented if needed. The *FPP* lists construction practices and materials to minimize fire risk, specifications for the onsite water systems (domestic and fire) including two onsite wells (one of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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them new with this Project), and three water storage tanks.

With implementation of the *FPP*, the Project will not result in a significant risk to persons or property on the Project site from wildfire or a significant increase in the need for fire protection services from the RCFD. **Mitigation Measure MM-FIRE-1** is recommended to assure the site design requirements of the FPP are implemented during Project construction and operation.

All new facilities will be constructed to meet or exceed current California Fire and Building Code requirements. The Project will also serve as a demonstration for new fire suppression techniques and building construction/design.

A limited potential exists for the Project to interfere with an emergency response or evacuation plan during construction of the property. Control of access will ensure emergency access to the site and Project area during construction through the submittal and approval of a traffic control plan (TCP). The TCP is designed to mitigate any construction circulation impacts. The TCP is a standard condition of approval and is not considered unique mitigation under CEQA.

The proposed Project will be reviewed, and conditions of approval will be required to address any potential impacts to Fire Resources, consistent with the Fire Hazards section of the Safety Element of the General Plan and Ordinance No. 787. As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to fire services. Prior to final map recordation, prior to grading permit issuance, prior to building permit issuance, and prior to building final inspection, the Project will need to demonstrate compliance with Ordinance No. 787. Adherence to Ordinance No. 787 and other fire protection regulatory compliance are typically standard conditions of approval and are not considered unique mitigation pursuant to CEQA.

Another standard condition assessed on the proposed Project to reduce impacts from the proposed Project to fire services is Ordinance No. 659. Applicant payment of Development Impact Fees (DIF) for non-residential uses for fire protection will be required prior to the issuance of a certificate of occupancy. Adherence to Ordinance No. 659 is typically a standard condition of approval and is not considered unique mitigation pursuant to CEQA. The Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate DIF fees set forth in the Ordinance. Adherence to Ordinance No. 659 and other fire protection regulatory compliance are typically standard conditions of approval and are not considered unique mitigation pursuant to CEQA.

Following construction, emergency access to the Project site and area will remain the same as at present although human activity on the site will increase over existing conditions. In addition, the Project will implement the recommendations of the *Fire Protection Plan (FPP)* as outlined in **Mitigation Measure MM-FIRE-1** to help protect guests and employees from potential wildfire hazards and facilitate emergency access and evacuation.

With implementation of standard conditions of approval, fire protection regulatory compliance, and **Mitigation Measure MM-FIRE-1**, the Project will not substantially impair an adopted emergency response plan or emergency evacuation plan with implementation of standard conditions of approval and fire protection regulatory compliance. Any impacts will be less than significant with mitigation.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b) *Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose Project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?*

Less Than Significant With Mitigation Incorporated

According to the state Department of Forestry and Fire Protection (CALFIRE), Fire and Resource Assessment Program (FRAP) and *Map My County*, the entire Project site and surrounding areas are located within an SRA and a Very High Fire Hazard Area.

The Project site topography rises from the eastern portion of the site, with a wide flood plain in the western third of the site, then drops down toward Lake Hemet to the west-southwest. The site is in a very rural area with limited regional access (see **Figure 44-1, Topographic Map**). The only access route to and from the site is Apple Canyon Road, a two-lane rural road that connects with Highway 74 approximately 0.25-mile to the west. As discussed in Threshold 5.a, the site has a number of limitations, and the Project creates additional constraints that could exacerbate the potential risks of wildfire to the improvements and occupants of the Project. Even with these constraints, implementation of **Mitigation Measure MM-FIRE-1** is recommended to assure that Project occupants will not be exposed to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Project proposes new structures which will be built to the most recent fire codes. These codes are designed to suppress fire risks including those from wildfires.

Per the County of Riverside General Plan Safety Element Figure S-8, the Project site and surrounding area has a moderate wind susceptibility. The Project would be required to comply with California Fire Code Chapter 47 and the Riverside County No. 787 Fire Code, which provides requirements to reduce the potential of fires that include vegetation management, construction materials and methods, installation of automatic sprinkler systems, adequate fire flows, etc.

With implementation of standard conditions of approval, fire protection regulatory compliance, and **Mitigation Measure MM-FIRE-1**, the Project would not exacerbate wildfire risks due to slope, prevailing winds, and other factors, or would expose Project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire. Any impacts will be less than significant with standard conditions and the recommended mitigation.

- c) *Would the Project require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?*

Less Than Significant With Mitigation Incorporated

The entire Project site is located within an SRA and a very high fire hazard area (see related discussion in Threshold 44.a). All proposed facilities will be constructed to meet or exceed current California Fire and Building Code requirements, including any private-use solar panel arrays if installed in the future. The Project does not include and or require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment. The existing Apple Canyon Road and utilities are in place and currently serving the Project site. Highway 74 and Apple Canyon Road serve as fire breaks to the west and the north of the site. Refer also to Thresholds 44.a and 44.b for Project conformance to applicable fire-related codes to reduce the potential for wildfire hazards to occur. Any impacts will be less than significant with implementation of the recommended **Mitigation Measure MM-FIRE-1**.

- d) *Would the Project expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?*

Less Than Significant Impact

The entire Project site is located within a State Fire Responsibility Area (SRA) and a very high fire hazard area. Refer also to Thresholds 23.e and 14.a relative to the potential for flooding and/or landslides to occur.

The site elevation varies from approximately 4,353.6 feet (minimum) to 4,407 feet (maximum) above mean sea level (AMSL), as set forth in *Map My County* and Google Earth.

The Project will be developed in the eastern flatter portions of the site and include both short- and long-term erosion control measures, including landscaping, to assure there will not be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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uncontrolled runoff and erosion from the site, both during construction and Project operation. These improvements will serve to stabilize the environment.

Based on this information, the Project would not expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes. Any impacts will be less than significant, and no mitigation is required.

- e) *Would the Project expose people or structures either directly or indirectly, to a significant risk of loss, injury, or death involving wildland fires?*

Less Than Significant With Mitigation Incorporated

The entire Project site is located within an SRA and a very high fire hazard area.

The proposed Project will be reviewed by the County as part of the discretionary process, and conditions of approval will be placed on the proposed Project to address any potential impacts to Fire Resources, consistent with the Fire Hazards section of the Safety Element of the General Plan, and Ordinance No. 787.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to fire services. Prior to grading permit issuance, prior to building permit issuance, and prior to building final inspection the Project will need to demonstrate compliance with Ordinance No. 787. Adherence to Ordinance No. 787 is typically a standard condition of approval and is not considered unique mitigation pursuant to CEQA.

Another standard condition assessed on the proposed Project to reduce impacts from the proposed Project to fire services is Ordinance No. 659. Applicant payment of DIF for expanded non-residential uses for fire protection will be required prior to the issuance of a certificate of occupancy. It is noted that the proposed Project plan will not require any offsite improvements which could create demand for fire services.

The Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate DIF fees set forth in the Ordinance. Adherence to Ordinance No. 659 is typically a standard condition of approval and is not considered unique mitigation pursuant to CEQA.

Although there are a number of standard conditions that address fire risk, the location of and access to the site plus the nature of the proposed Project are such that **Mitigation Measure** is recommended to assure that Project occupants will not be at a significant risk of loss, injury, or death involving wildland fires.

With implementation of standard conditions of approval, fire protection regulatory compliance, and **Mitigation Measure MM-FIRE-1**, the Project would not expose people or structures either directly or indirectly to a significant risk of loss, injury, or death involving wildland fires. Any impacts are considered less than significant with mitigation.

Mitigation:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MM-FIRE-1 Fire Protection Plan. Prior to issuance of a certificate of occupancy, the applicant shall demonstrate the facility has implemented all recommendations of the *Fire Protection Plan (FPP)* prepared for the Project by Firewise 2000, LLC dated 6-12-2023 or subsequent County-approved version. The *FPP* includes but is not limited to the creation of four onsite Fuel Treatment Zones for fuel management, a shelter in place plan for guests and employees if necessary, during a wildfire event, non-treatment areas, construction material restrictions, and water system requirements. The *FPP* shall be implemented to the satisfaction of the County Fire Marshal.

Monitoring: To be monitored through the Certificate of Occupancy Permit Process and site inspections by Riverside County Building and Safety Department and the County Fire Marshal shall be included in the Mitigation Monitoring and Reporting Program for the Project to assure its implementation.

MANDATORY FINDINGS OF SIGNIFICANCE Does the Project:

45. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source(s): Staff Review; and Project Plans (**Appendix K**).

Findings of Fact:

Less Than Significant with Mitigation Incorporated

Implementation of the proposed Project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Please reference the discussions in Section 7 (Biological Resources – Wildlife & Vegetation), Section 8 and 9 (Cultural Resources – Historic Resources and Archaeological Resources), Section 28 (Paleontological Resources – Paleontological Resources), and Section 39 (Tribal Cultural Resources). In addition to the mitigation outlined below, standard conditions will apply to the proposed Project. Any impacts are considered less than significant with mitigation incorporated (see below).

Biological Resources

- MM-BIO-1** Deed Restricted Areas
- MM-BIO-2** Signage
- MM-BIO-3** Biological Monitor
- MM-BIO-4** Chaparral Sand-Verbena Protection
- MM-BIO-5** Nesting Bird Survey

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
46. Have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Staff Review; Sections 1-44; and Project Plans (**Appendix K**).

Findings of Fact:

Less Than Significant Impact

The Project does not have impacts which are individually limited, but cumulatively considerable. As demonstrated in Sections 1 – 44 of this Environmental Assessment, in particular regarding air quality and greenhouse gas emissions that have established thresholds to consider cumulative impacts as well as hydrology and traffic impacts that consider the existing and currently planned development of the area and the specific respective drainage and traffic impacts to the overall area in a cumulative manner. As illustrated in the EA, the Project will not have any impacts that cannot be reduced to less than significant with the incorporation of mitigation, Project design features, and/or conditions of approval. Therefore, no cumulative impacts are anticipated to occur. The impacts of the proposed Project are not considerable when viewed in connection with those of other projects (past, current, or future) as most properties in this area are agriculture, forest/habitat, rural, recreation, open space, or vacant land. Any impacts are considered less than significant with implementation of standard conditions of approval and mitigation for impacts to biological and cultural resources.

47. Have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source(s): Staff Review; Sections 1-44; and Project Plans (**Appendix K**).

Findings of Fact:

Less Than Significant with Mitigation Incorporated

Effects on human beings were evaluated as part of this analysis of this Initial Study and found to be less than significant with implementation of mitigation measures, standard conditions, and/or Project design features in aesthetics, air quality, geology and soils, greenhouse gas emissions, hydrology & water quality, noise, public services, and transportation. Based on the analysis and conclusions in this Initial Study, the proposed Project will not cause substantial adverse effects directly or indirectly to human beings. Mitigation was recommended for impacts related to greenhouse gas emissions and hazards (see below), and a number of standard conditions of approval were added for noise impacts.

Therefore, potential direct and indirect impacts on human beings that result from the proposed Project are considered less than significant with regulatory compliance, standard conditions, and mitigation incorporated (see below).

Hazards/Public Services-Fire/ Wildfire

MM-FIRE-1 Fire Protection Plan

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: N/A

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code – various Sections; California Code of Regulations – various Sections.

VII. SOURCES CITED

Note: All websites were accessed between February and December of 2022 by MFCS, Inc. Staff.

AirNav.com

<https://www.airnav.com/>

Anza Electric Co-Op

<https://www.anzaelectric.org/>

Assembly Bill 52

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=201320140AB52

Assembly Bill 939

https://leginfo.legislature.ca.gov/faces/billTextClient.xhtml?bill_id=198919900AB939

California Building Code

<https://up.codes/viewer/california/ca-building-code-2022>

California Code of Regulations

<https://govt.westlaw.com/calregs/Index?transitionType=Default&contextData=%28sc.Default%29>

California Department of Conservation, Farmland Mapping and Monitoring Program

<https://maps.conservation.ca.gov/DLRP/CIFF/>

California Department of Forestry and Fire Protection, Fire and Resource Assessment Program

<https://www.fire.ca.gov/frap>

CalRecycle, SWIS Facility Detail, El Sobrante Landfill, 33-AA-0217

https://www.wmsolutions.com/pdf/factsheet/El_Sobrante_Landfill.pdf

CalRecycle website

<https://calrecycle.ca.gov/>

California Geological Survey
www.conservation.ca.gov/cgs

California State Mining and Geology Board
www.conservation.ca.gov/smgb

County of Riverside, Climate Action Plan Update, November 2019
https://planning.rctlma.org/Portals/14/CAP/2019/2019_CAP_Update_Full.pdf

El Sobrante Landfill Annual Monitoring Report
<https://www2.calrecycle.ca.gov/swfacilities/Directory/33-AA-0217>

El Sobrante Landfill Fact Sheet, issued by Waste Management of California
<https://www.wmsolutions.com/locations/details/id/180>

EnviroStor Department of Toxic Substances Control's Hazardous Waste and Substances Site List (Cortese List)
<http://www.envirostor.dtsc.ca.gov>

FEMA
<https://msc.fema.gov>

Geological Survey (CGS)
<https://www.conservation.ca.gov/cgs>

GeoTracker
<http://geotracker.waterboards.ca.gov>

Google Earth
www.google.com/earth

Google Maps
<https://maps.google.com>

Hemet Unified School District
<https://www.hemetusd.org/>

mindat.org website
<https://www.mindat.org/loc-3522.html>

Mountain Communities Evacuation Routes Map;
<http://rvweb.org/MASTPortal/Portals/0/EvacRoutes/WUIEvacRoutes.pdf>

Public Resources Code
<https://leginfo.legislature.ca.gov/faces/codesTOCSelected.xhtml?tocCode=PRC&tocTitle=+Public+Resources+Code+-+PRC>

Riverside County Department of Waste Resources (RCDWR), Planning Section and Countywide Integrated Waste Management Plan
<https://www.rcwaste.org/business/planning/ciwmp>

Riverside County Fire Department
<https://www.rvcfire.org/>

Riverside County General Plan

<https://planning.rctlma.org/General-Plan-Zoning/General-Plan>

Riverside County General Plan Environmental Impact Report

https://planning.rctlma.org/Portals/14/genplan/general_plan_2015/DEIR%20521/DEIR%20No.%20521.pdf

Riverside County Library System

<http://rivlib.info/riverside-county-library-system/>

Riverside County Network of Care

<https://riverside.networkofcare.org/>

Riverside County Ordinances

<http://www.rivcocob.org/ordinances/>

Riverside County Sheriff's Department

www.riversidesheriff.org

Title 24 building requirements

<https://www.energy.ca.gov/programs-and-topics/programs/building-energy-efficiency-standards>

Title 50, Code of Federal Regulations

<https://www.gpo.gov/fdsys/granule/CFR-2010-title50-vol2/CFR-2010-title50-vol2-sec17-11>

United States Department of Agriculture (USDA) Natural Resources Conservation Service (NRCS) Web Soil Survey; *Soil Survey of Western Riverside Area, California*, prepared by the U.S. Soil Conservation Service

<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>

United States Geological Service

<https://www.usgs.gov/>



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.
Assistant CEO/TLMA Director



12/18/23, 1:11 pm

CUP210121

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for CUP210121. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of Conditional Use Permit No. 210121 and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 2 AND - Project Description & Operational Limits

Conditional Use Permit No. 210121 (CUP210121) is a proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate operations. These structures include the following: an administrative and storage building; an activity hub with an outdoor lap swimming pool; a common area with a kitchen and dining areas; 4 guest cabin buildings with 30 rooms; six glamping tents; a sound bath building; a wellness base camp with bench seating and a theater screen; a wellness sanctuary center that is comprised of a salt cave, steam room, quantum room, colon hydrotherapy room, a cold and hot plunge, and six treatment rooms; and a greenhouse. Recreational activities to occur on-site would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. 35 employees are present at any given time, and operations are to occur 24 hours per a day, 7 days a week. The subject site will retain all the natural vegetation and all the existing large pine trees within its design. 60 parking spaces are proposed to service operations, including 3 ADA spaces, 3 EV spaces, and 18 spaces for staff.

The Project is located within Riverside Extended Mountain Area Plan (REMAP). The Project site is north-east of Highway 74 and south of Apple Canyon Road.

Advisory Notification. 3 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT(S):

- Exhibit A: Master Site Plan, dated August 9, 2023
- Exhibit B: Floor Plans & Elevations, dated May 17, 2023
- Exhibit G: Conceptual Grading Plan, dated July 29, 2023

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 4 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:
 - National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)

2. Compliance with applicable State Regulations, including, but not limited to:
 - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - State Subdivision Map Act
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
 - Civil Code Section 815.3 & Government Code Sections 65040.2 et al - SB 18 (Tribal Intergovernmental Consultation)
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)

3. Compliance with applicable County Regulations, including, but not limited to:
 - Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 421 (Excavation Covering & Swimming Pool Safety)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 461 (Road Improvement Standards)
 - Ord. No. 484 (Control of Blowing Sand)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
 - Ord. No. 916 (Cottage Food Operations)
 - Ord. No. 925 (Prohibiting Marijuana Cultivating)
 - Ord. No. 927 (Regulating Short Term Rentals)
 - Ord. No. 928 (Clarifying County Prohibition on Mobile Marijuana Dispensaries and Deliveries)

4. Mitigation Fee Ordinances
 - Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Hold Harmless

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void, or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel. Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION.

To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

E Health

E Health. 1 DEH LAND USE COMMENTS

PROJECT SUMMARY:

- Private Guest Ranch with 36 cabins/tents, greenhouse, and common area buildings
- Hours of operation: 24 hours per day / 7 days per week / 365 days per year
- (51) Total Employees with only (35) Max employees onsite at any given time
- Approximately 35 guests per day
- Activities to include self-development therapies, environmental educative and recreational activities

ADVISORY NOTIFICATION DOCUMENT

E Health

E Health. 1 DEH LAND USE COMMENTS (cont.)

- Linen to be outsourced
- EarthStrata Wastewater Flow Calculations: 4900 gpd typical, 8000 gpd peak.
- Advanced Treatment System to handle onsite wastewater
- Onsite Water System to serve as potable water source. Preliminary Technical Report (PTR) review completed by Waterboard May 9, 2023.
- APNs 568-070-006, 568-070-007, 568-070-021

Fire

Fire. 1 Cumulative Adverse Impact

This project will contribute to a cumulative adverse impact on the Fire Department's ability to provide an acceptable level of service. These impacts include an increased number of emergency and public service calls due to the increased presence of structures, traffic, and population.

Fire. 2 Unacceptable Fire Response Distance and Time

Cal Fire/Riverside County Fire Department provides Cooperated Integrated Regional fire protection services to project. The nearest Cal Fire/Riverside County Fire Station is outside an acceptable estimated response distance and response drive time to all or a portion of the project. It is recommended that these issues be discussed with Fire Department Operations staff to ensure that all hazards are mitigated, and response needs are met.

Flood

Flood. 1 FLOOD HAZARD REPORT

Conditional Use Permit (CUP) 210121 is a proposal for a guest ranch on a 37.97-acre site in Anza area. The project proposes multiple structures that provide various services. The project site is located at northeast corner of Pines Palms Hwy (Interstate 74) and Apple Canyon Road. The project is processed concurrently with GPA210006 and CZ2100014.

The site is located at the foot of a hilly area and surrounded by hills to the north and east. Runoff from Hurkey Creek flows through the project site before entering Lake Hemet, which is located south of the site. The offsite tributary area to the site is approximately 11-sq. mi. Additionally, the Riverside County Ordinance 458 regulated Department of Water Resources (DWR) awareness floodplain traverses the site. Currently, there are no existing or proposed District facilities in the area to alleviate the flood hazard. All proposed structures shall be located outside of the flood hazard area and any new structures may need to be elevated to be floodproofed.

The District has reviewed the submitted revised Grading Plan (7/29/2023) and the revised Site Plan (8/09/2023).

The drainage study used the Synthetic Unit Hydrograph (SUH) method to determine the offsite 2-year 24-hour & 10-year 24-hour peak flow rates and volumes, and the HEC-RAS 2D model to map the 100-year & 6-hour floodplain boundary for Hurkey Creek. Per the HEC-RAS 2D results, Hurkey Creek has a drainage area of approximately 7,000 acres and a 100-year flow rate of 6,000 cfs. Per the submitted site and grading plan all the

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 FLOOD HAZARD REPORT (cont.)

proposed structures will be located outside of the floodplain limits.

The report also determined that the proposed development was subject to offsite flow from a 5.9-acre tributary area north of the project site. However, per the provided normal depth and capacity calculations taken from sections across Apple Canyon Road, the offsite flows will be contained along the northern boundary of Apple Canyon Road and conveyed easterly until they reach the intersection and eventually outlet and sheet flow onto the parcel east of the project boundary.

Onsite runoff will be captured by underground storm drains and catch basins and conveyed into one onsite basin, near the southern boundary, to treat the flows and mitigate the increased runoff (IR). The basin edges will have a 1-foot berm along the perimeter to convey natural onsite flows back to their natural drainage path and away from the proposed basin. The basin will then outlet and dissipate the flows, to help perpetuate the existing natural drainage patterns and conditions, into the open land outside the floodplain limits but within the property and eventually drain towards Hurkey Creek.

Per the drainage report, the basin was sized to contain the volume difference between times 8+40 and 16+05 for the 10-year & 24-hour duration of 1.3 ac-ft, which does not follow the District's Increased Runoff Criteria. Although this analysis yields a similar result, for clarity and accuracy purposes please revise the drainage report to reflect that the basin is sized for the difference in volume between the pre- and post- development volumes for the 10-year & 24-hour storm duration of 1.4 ac-ft. Additionally, since the basin will be used for both water quality treatment and increased runoff mitigation, please revise the drainage report to clearly distinguish between the volume required for increased runoff and water quality.

Please ensure that the proposed basin(s) are designed to meet the Appendix C – Basin Guidelines of Design Handbook for Low Impact Development Best Management Practices. The outlet structure must be capable of passing the 100-year storm without damage to the facility, have a 100-year emergency escape, and must have positive drainage and drain completely within a 72-hour maximum drawdown time. "Dead Storage" basins are not acceptable. Please ensure that the emergency escape for the basin(s) and its path through the tract are shown on future exhibits. To prevent flood damage to the proposed structures, all proposed structures along the emergency escape path shall be protected from flooding by either properly elevating the finished floor in relation to the flow path, or by making sure the structures are setback to provide adequate flow through area in the event the emergency escape of the stormwater runoff is necessary. Final design of the basin, including a complete hydrology study will not be required until the improvement plan stage of this development. The project may need modifications at the plan check stage to comply with the increased runoff criteria. (See comment 015-Flood INCREASED RUNOFF CRITERIA).

Due to the project site being located within a Special Flood Hazards Area (SFHA), the developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide appropriate future administration of County Ordinance No. 458, the following items shall be submitted to the District for review and approval:

a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits.

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 FLOOD HAZARD REPORT (cont.)

b. Exhibits showing the pre-development and post-development SFHA limits.

All hydrologic and hydraulic models, maps and mapping data must be submitted electronically to the District for review and approval.

An erosion hazard setback area analysis, to determine potential impacts due to lateral migration, shall also be determined by the applicant's engineer as part of the study. No structures will be allowed within the erosion hazard setback area. Should the applicant wish to build within the erosion hazard setback area, adequate scour protection such as riprap revetment shall be provided and shown on future exhibits. Any such facility shall meet District standards including required maintenance access roads. The criteria applicable to this project is as follows:

- An erosion hazard zone can be defined as an area where erosion may potentially result in damage to a resource. A "resource" may be inclusive of private or public houses, buildings, apartments, fences, utilities, infrastructure, or other feature of appreciable value. The recommended erosion hazard setback shall be as follows: For watercourses conveying a 100-year flowrate greater than 1,000 cfs (including major watercourses such as Santa Ana River, Murrieta Creek, Whitewater, etc.), the setback shall consider both the watercourse 100-year floodplain extents and an analysis of long-term scour and lateral migration that considers anticipated changes to upstream sediment supply. The particular aspects of these detailed studies shall be discussed with and agreed to by the District prior to performing the studies on a case-by-case basis.

All proposed storm drain improvements collecting and/or conveying the 100-year storm event shall be maintained by County Transportation Department or Flood Control (based on the MOU) and shall be designed to the corresponding standards.

The purpose of entitlement drainage review is to ensure drainage is addressed at a planning level to protect the site from off-site flows in the existing, interim, and ultimate conditions, accommodate right of way for proposed drainage facilities, provide an adequate outlet, not adversely affect adjacent properties, properly floodproof structures and potentially mitigate for increases in runoff. Detailed analyses during the final design may result in changes to assumptions made during entitlement phase, such as, revisions to facility sizes, inlet and outlet requirements, revisions to hydrology and/or hydraulic parameters, etc.

Every effort has been made to identify all potential areas of concern for which the District will recommend conditions of approval. However, if during further review of the site, additional public safety and health issues are discovered, the District reserves the right to bring such issues to the attention of the hearing body.

Any questions pertaining to this project may be directed to Daniel Aguirre at 951-955-1348 or danaguir@RIVCO.org.

Flood. 2 INCREASED RUNOFF CRITERIA

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required of offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 2 INCREASED RUNOFF CRITERIA (cont.)

supporting the size of the basin shall be submitted to the District for review. The entire area of proposed development will be routed through a detention facility to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year, and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition.

For the 2-year and 5-year events, the loss rate will be determined using an AMC I condition. For the 10-year event, AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour, and 6-hour events. A variable loss rate shall be used for the 24-hour event.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> $LOW\ LOSS = .9 - (.8 \times \% \text{ IMPERVIOUS})$
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible, the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated.

No outlet pipe(s) shall be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter. The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Basins shall be designed per Appendix C – Basin Guidelines of Design Handbook for Low Impact Development Best Management Practices.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Side slopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

**Preliminary sizing may be based on the difference in runoff hydrograph volume between the "developed" condition and the "pre-developed" condition for the 24-hour duration event for the 10-year return frequency. Final design of the basin, including a complete hydrology study will not be required until the improvement plan stage of this development. The project may need modifications at the plan check stage in order to comply with the increased runoff criteria.

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 5 USE - EXPIRATION DATE-USE CASE (cont.)

occur, the approval shall become null and void and of no effect whatsoever.

Planning. 6 USE - FEES FOR REVIEW

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

Planning. 7 USE - LIGHTING HOODED/DIRECTED

All parking lot lighting and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan

All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.

Planning. 8 USE - MAINTAIN LICENSING

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the County Environmental Health Department, County Transportation and Land Management Agency, and California Department of Social Services, or equivalent agency as provided by law. Should such licensing be denied, expire, or lapse at any time in the future, this permit shall become null and void.

Planning. 9 USE - MT PALOMAR LIGHTING AREA

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high-pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

Planning. 10 USE - NOISE (SITE OPERATIONS)

All implementing projects shall be subject to the noise standards set by Ordinance No. 847. No outdoor amplified sound will be permitted on the lot.

Planning-CUL

Planning-CUL. 1 Human Remains

If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

ADVISORY NOTIFICATION DOCUMENT

Planning-CUL

Planning-CUL. 1 Human Remains (cont.)

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

Planning-CUL. 2 Unanticipated Resources

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the Project archaeologist shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist**, the Native American tribal representative, and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other. Tribal Cultural Resources are also considered cultural resources.

** If not already employed by the project developer, a County approved archaeologist and a Native American Monitor from the consulting tribe(s) shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED

County Geologic Report GEO No. 220035, submitted for the project CUP210121, was prepared by Petra Geosciences, Inc., and is titled; "Revised Planning Level Geotechnical Assessment: The Ridge, Approximate 36-acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California," dated October 12, 2020. In addition, Petra has previously submitted the following document for the project:

"Report of Active Faulting, The Ridge Wellness Center, approximately 36-acre Parcel, Assessor Parcel

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1

GEO220035 ACCEPTED (cont.)

Number 568-070-021, Lake Hemet Area, Riverside County, California; J.N. 20-227," dated October 12, 2020.

"Response to Comment by Riverside County Geologist, County Geologic Report 210001, Report of Active Faulting, The Ridge Wellness Center, approximately 36-Acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California by Petra Geosciences, Inc., dated October 12, 2020, J.N. 20-227," dated January 19, 2021.

GEO220035 concluded:

1. An active fault identified as the Hot Springs Fault (Anza) segment of the San Jacinto Fault zone crosses through the subject property. Specific information is provided in Petra's fault investigation reports (Petra 2020, 2021). The location of the fault and Earthquake Hazard Zone is provided on the Geologic Map, Plate 1.
2. Free ground water was encountered in our borings during our field exploration. Groundwater was found shallower than 10 feet below the existing ground surface.
3. Given the depth to groundwater and unconsolidated to consolidated young alluvium encountered during our field exploration, the potential for manifestation of liquefaction-induced features and dynamic settlement is anticipated to be high.
4. Based on our calculations, total seismically induced settlement at the six CPT locations is considered excessive in accordance with guidelines provided in the California Geotechnical Survey Special Publication 117A (CGA, 2008). As noted from the figure above, differential settlements of up to 4 inches may be experienced within the footprint of the area to be developed. This is generally beyond the levels typically expected to be tolerated by conventional shallow slab-on-grade foundations.
5. The range of lateral spreading varied from 0 to 52 inches across the site. The amount of lateral spreading estimated is beyond that typically tolerable for slab-on-grade construction.
6. Since the site lies more than 80 kilometers (50 miles) inland from the Pacific Ocean at a minimum elevation of approximately 4,349 feet above sea level and does not lie in close proximity to an enclosed body of water or downstream of a major reservoir or other retention structure, the probability of flooding from a tsunami, seiche or dam-break is considered to be very low.
7. Without corrective grading and/or ground improvement the site would have a reduce or non-existent bearing capacity. Recommendations presented later on for a ground improvement program to mitigate these effects.

GEO220035 recommended:

1. A building restriction zone should be established using the coordinate of Station 0 of the seismic line (33.672864, -116.677252). The building restriction zone will extend from a point approximately 380 feet northeast of Station 0, southwest to a point that coincides with the southerly limit of the A-P Zone. If future development is proposed within the proposed restricted areas, further studies will be required.

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED (cont.)

2. Since the site is subject to significant distress from the liquefiable soils during an earthquake, mitigation measures are recommended to improve the ground and alleviate the distress potential.
3. For this site we recommend that such a program would most likely consist of deep dynamic compaction to densify the soils below the site to a level where more conventional foundations may be used. Deep dynamic compaction generally consists of the use of a large crane which drops a large dead weight from a great height onto the ground surface. The large energy developed from such a weight drop can densify the ground sometimes as deep as 30 feet or so. The weight drops would be done in an overlapping pattern in the general footprint area of the planned structures.
4. The level of ground improvement achieved should be evaluated by the use of CPT's conducted after the deep dynamic compaction.
5. Clearing operations should include the removal of all vegetation and any existing structural features were found within planned building envelopes. Large shrubs or trees, when removed, should be grubbed out to include their stumps and major root systems.
6. The ground improvement will cause significant disturbance to the near surface soils in the footprints of the improvement areas. Therefore, in order to mitigate possible distress to the proposed building footings and floor slabs and exterior improvements it is recommended that all unsuitable surficial materials be removed down to competent densified sand deposits and then replaced as properly compacted fill.
7. This may be accomplished by over-excavating the ground surface to a depth of at least 5 to 10 feet below existing grades or at least 24 inches below the bottoms of the proposed footings, whichever is deeper, and then reprocessing the next underlying 6 inches in place.
8. It should be noted that the DDC likely would cause a cratering pattern in the near surface soils. The ground in this pattern of improvement would also typically include significant volume loss due to the densification. Therefore, to achieve the design grades fill may be necessary to achieve the design grades beyond that typically done general removal and recompaction efforts if ground improvement was not done.
9. For fill slopes exceeding 5 feet in height, a fill key excavated a depth of 2 feet or more into competent alluvial deposits is recommended at the base of the fill slope. The width of the fill key should be equal to one-half the slope height or 15 feet, whichever is greater. To obtain proper compaction to the face of fill slopes, low-height fill slopes should be overfilled during construction and then trimmed-back to the compacted inner core.
10. Observations during grading of individual cut slopes by the project engineering geologist to document favorable geologic structure or soil conditions of the exposed conditions is recommended. Where cohesionless sandy soil materials are observed, the cut slopes in question may require stabilization by means of a compacted stabilization fill.
11. Under the recommended bearing values, total static settlements due to new building loads are expected to be less than 1 of an inch, and differential settlement between adjacent footings is expected to

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED (cont.)

be less than 1/2 of an inch over a span of 40 feet. The majority of the anticipated settlement is expected to take place during construction as building loads are applied.

12. The maximum differential settlement is estimated to be approximately one inch over a horizontal span of approximately 40 feet, with a corresponding equivalent angular distortion ratio of approximately 1:480 for a moderate earthquake. For a large earthquake the differential settlement should be less than 2 inches in 40 feet for an angular distortion ratio of 1:240.

13. The project structural engineer should determine whether the static and dynamic settlement estimates provided herein should be considered additive for purposes of their structural design.

GEO No. 220035 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 220035 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

Planning-GEO. 2 GEO230054 Accepted (Liquefaction Update)

County Geologic Report GEO No. 230054, submitted for the project liquefaction hazard analysis for CUP210121, was prepared by Sladden Engineering and is titled; "Geotechnical Review & Supplemental Analysis, The Ridge Wellness Center APN 568-070-021, 56475 Apple Canyon Road, Lake Hemet Area, Riverside County California," dated May 18, 2023.

GEO230054 concluded:

1. Independent seismic settlement analyses performed using previous consultant's field blow count data suggests that the actual potential liquefaction related differential settlements are closer to one-half of the previous consultant's estimates.
2. The total liquefaction related seismic settlement should be less than 2 inches.
3. The differential seismic settlement at the site should be approximately 1 inch acting over a horizontal distance of approximately 50 feet.
4. The potential differential seismic settlement may be adequately mitigated with remedial grading and structural design.
5. The potential for lateral spreading to occur at the site is negligible.

GEO230054 recommended:

1. The primary foundation bearing soil should be over-excavated and recompacted.
2. Overexcavation should extend to a minimum depth of 5 feet below existing grade or f feet below the bottom of the proposed building footing elevations, whichever is deeper.
3. Once adequate removals have been verified, the exposed native soil should be moisture conditioned to near optimum moisture content and compacted to at least 90 percent relative compaction.
4. Geo-grid reinforcement should be placed within the excavation bottom to provide additional seismic settlement mitigation.

GEO230054 satisfies the requirement for a liquefaction study for Planning/CEQA purposes. GEO No.

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 2 GEO230054 Accepted (Liquefaction Update) (cont.)

GEO230054 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County of Riverside upon application for grading and/or building permits.

Planning-PAL

Planning-PAL. 1 Low Paleo Potential

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1. All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.
2. The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.
3. The applicant shall retain a qualified paleontologist approved by the County of Riverside.
4. The paleontologist shall determine the significance of the encountered fossil remains.
5. Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.
6. If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.
7. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by

ADVISORY NOTIFICATION DOCUMENT

Planning-PAL

Planning-PAL. 1 Low Paleo Potential (cont.)

qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed and will provide confirmation to the County that such funding has been paid to the institution.

Waste Resources

Waste Resources. 1 Waste - General

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:

- Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
- Subscribe to a recycling service with their waste hauler.
- Provide recycling service to their tenants (if commercial or multi-family complex).
- Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project. The use of mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries is recommended. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

AB 1826 requires businesses and multifamily complexes to arrange for organic waste recycling services. Those subject to AB 1826 shall take at least one of the following actions in order to divert organic waste from disposal:

ADVISORY NOTIFICATION DOCUMENT

Waste Resources

Waste Resources. 1

Waste - General (cont.)

-Source separate organic material from all other recyclables and donate or self-haul to a permitted organic waste processing facility.

-Enter into a contract or work agreement with gardening or landscaping service provider or refuse hauler to ensure the waste generated from those services meet the requirements of AB 1826.

Comply with SB 1383 which establishes regulations to reduce organics waste disposal and went into effect on January 1, 2022. This law establishes methane emissions reduction targets in a statewide effort to reduce emissions of short-lived climate pollutants caused by organics waste disposal.

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off-site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

Flood

060 - Flood. 1 Increased Runoff Mitigation Not Satisfied

This project must mitigate for the adverse impacts of increased runoff this development would generate. Calculations in the form of a hydraulic /hydrologic analysis to support the final design of the mitigation feature shall be submitted for review and approval prior to the issuance of any permits for the project.

060 - Flood. 2 Submit ORD. 458 Special Flood Hazard Area Study Not Satisfied

CUP 210121 is located within a Special Flood Hazard Area (SFHA) as shown on the Public Flood Hazard Determination Interactive Map found at <http://rcflood.org>. The developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide for appropriate future administration of County Ordinance 458 per Section 9, the following items shall be submitted to the District for review and approval:

a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits. Environmental mitigation areas with restricted maintenance that are proposed within the natural conveyance area shall be modeled as ineffective flow.

b. Exhibits showing the pre-development and post-development SFHA limits.

c. Georeferenced shapefiles or CAD files of the pre-development and post-development SFHA limits.

All hydrologic and hydraulic models, maps, and mapping data must be submitted electronically

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-CUL

060 - Planning-CUL. 1 CRMP/ Archaeological Monitor (cont.) Not Satisfied

Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.

The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring

060 - Planning-CUL. 2 ECS Sheet (cultural) Not Satisfied

Prior to grading permit issuance the developer/ applicant shall provide evidence to the Riverside County Planning Department that an Environmental Constraints Sheet has been included in the Grading Plans. This sheet shall indicate the presence of environmentally constrained area(s) and the requirements for avoidance of CA-RIV-9236, P-33-029123, P-33-029124.

060 - Planning-CUL. 3 Native American Monitor Required Not Satisfied

Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s).

In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect, or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.

This agreement shall not modify any condition of approval or mitigation measure.

060 - Planning-CUL. 4 Temporary Fencing (cultural) Not Satisfied

Temporary fencing shall be required for the protection of any cultural site(s) located within 100' of grading activities. Prior to commencement of grading or brushing, the project archaeologist shall confirm the site boundaries and determine an adequate buffer for protection of the site(s). The applicant shall direct the installation of fencing under the supervision of the project archaeologist and Native American Monitor. The fencing can be removed only after grading operations have been completed.

Planning-EPD

060 - Planning-EPD. 1 Deed Restriction - EPD Not Satisfied

Prior to issuance of a grading permit or building permit, whichever comes first, a Deed Restriction

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 1 Deed Restriction - EPD (cont.) Not Satisfied

shall be placed over the Riverine and Riparian Habitats as depicted on Figure 14 of the Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis prepared by Searl Biological Services for CUP210121, dated December 17, 2021.

The completed deed restriction shall be provided to the Environmental Programs Division of Riverside County for review and approval.

060 - Planning-EPD. 2 MBTA Nesting Bird Survey - EPD Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted.

Prior to issuance of a permit for grading, including grubbing and clearing, the project's consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review. The preconstruction survey shall cover the project site and any offsite improvements. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a rough grading permit.

060 - Planning-EPD. 3 MM-BIO-3 -- Biological Monitor Not Satisfied

Prior to the start of any Project construction, the applicant shall retain a qualified biological consultant to monitor all activities. The Project Biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the Project footprint. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with the Riverside Conservation Authority

060 - Planning-EPD. 4 MM-BIO-4 -- Chaparral Sand-Verbena Protection Not Satisfied

Prior to issuance of a grading permit, a qualified botanist shall be retained to collect seeds of the chaparral sand-verbena and disperse them into suitable habitat areas on the site that will not be subject to Project construction or operation. A three-year monitoring plan shall be developed and implemented to re-establish a long-term viable population of the species on the site. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with the Riverside Conservation Authority and other botanical experts as appropriate. All costs of this program, including any necessary consultation, will be funded completely by the Project applicant/operator.

060 - Planning-EPD. 5 MM-BIO-5 -- Nesting Bird Survey Not Satisfied

If Project-related grading or construction occurs during the nesting season (i.e., January 1 – August 31 for raptors and hummingbirds; February 1 – August 31 for all other birds), a pre-construction nesting bird survey shall be conducted within a maximum of three (3) days

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 5 MM-BIO-5 -- Nesting Bird Survey (cont.) Not Satisfied

prior to the start of onsite equipment mobilization and staging, clearing, grubbing, vegetation removal, or grading, whichever occurs first. This survey shall be conducted by a qualified biologist holding a Memorandum of Understanding (MOU) with Riverside County. The findings shall be submitted to the County of Riverside Planning Department for review and approval prior to issuance of any ground disturbing activity.

Surveys shall be conducted in proposed work areas, staging and storage areas, and soil, equipment, and material stockpile areas. For passerines and small raptors, surveys shall be conducted within a 250-foot radius surrounding the work area (in areas where access is feasible). For larger raptors, the survey area shall encompass a 500-foot radius. Surveys shall be conducted during weather conditions suited to maximize the observation of possible nests and shall concentrate on areas of suitable habitat. If a lapse in project-related work of five (5) days or longer occurs, an additional nest survey shall be required before work can be reinitiated. If nests are encountered during any preconstruction survey, a qualified biologist shall determine if it may be feasible for construction to continue as planned without impacting the success of the nest, depending on conditions specific to each nest and the relative location and rate of construction activities.

If the qualified biologist determines construction activities have potential to adversely affect a nest, the biologist shall immediately inform the construction manager to halt construction activities within minimum exclusion buffer of 50 feet for songbird nests, and 200 to 500 feet for raptor nests, depending on species and location. Active nest(s) within the Project site shall be monitored by a qualified biologist during construction if work is occurring directly adjacent to the established no-work buffer. Construction activities within the no-work buffer may proceed after a qualified biologist determines the nest is no longer active due to natural causes (e.g., young have fledged, predation, or other non-human causes of nest failure).

If nesting bird surveys result in the need for a biological monitor to be present during construction activities, then one shall be present full-time to monitor construction activities to ensure no direct or indirect impacts occur to potential nest success. The biologist shall have the authority to suspend construction activities if potential impacts are observed.

In addition, the Project proposes to preserve Hurkey Creek so no focused surveys for Least Bell's Vireo, Southwestern Willow Flycatcher, or Yellow-Bellied Cuckoo are necessary. However, construction within 300 feet of the riparian area will be precluded during the nesting season for these species (April-August) to preclude any indirect impacts to these species.

060 - Planning-EPD. 6 Riparian Bird Avoidance - EPD Not Satisfied

Due to the presence of suitable habitat for southwestern willow flycatcher and yellow-billed cuckoo, impacts due to building and grading shall not occur within 300ft of the suitable habitat for either species during their respective breeding seasons.

If impacts within 300ft of the suitable habitat cannot be avoided during their breeding seasons, focused surveys per accepted protocols shall be conducted prior to issuing of any permits. Reports summarizing these focused surveys shall be provided to the Environmental Programs Division of Riverside County for review and approval.

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-GEO

060 - Planning-GEO. 1 MM-GEO-1 -- Seismic Setback Zone Not Satisfied

Prior to the issuance of any grading or building permits, the project developer shall have the fault setback zone identified in the Project Fault Study (Petra 2020) shown on all appropriate Project plans to be submitted to the County for review and approval. The determination of which plans must show the setback is at the discretion of the County based on its development review requirements. The limits and boundaries of the setback zone are based on the locational data provided in the Fault Study. Prior to the issuance of any permit, the developer must demonstrate that no habitable structure(s) covered by the permit is/are within the identified seismic setback zone. This measure shall be implemented to the satisfaction of the County Geologist.

060 - Planning-GEO. 2 MM-GEO-2 -- Ground Improvement Program Not Satisfied

Prior to the issuance of any clearing or grading permit, the Project developer shall retain a qualified geotechnical consultant to prepare a "ground improvement program" to minimize potential impacts from liquefaction and other seismically induced settlement. This program shall include deep dynamic compaction of onsite soils during grading as well as other specific procedures during ground preparation, earthwork/excavation, fill placement, cut and fill slopes, shrinkage and subsidence, use of oversized materials (e.g., boulders), and options for footing and foundation design. This program shall be approved and implemented to the satisfaction of the County Geologist.

Transportation

060 - Transportation. 1 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP Not Satisfied

The project is located in the Santa Ana watershed. An approved Water Quality Management Plan (WQMP) is required prior to recordation of a final map or issuance of a grading permit. The project shall submit a single PDF on two CD/DVD copies, in accordance with the latest version of the WQMP manual, found at <https://rctlma.org/trans/Land-Development/WQMP>. In addition, the project proponent shall ensure that the effects of increased peak flowrate for the 1, 3, 6, 24-hour storm events for the 2, 5, and 10-year return periods from the project are mitigated. Projects within an airport influence area may require less than 48-hour drawdown times. All details necessary to build BMPs per the WQMP shall be included on the grading plans.

70. Prior To Grading Final Inspection

Planning-CUL

070 - Planning-CUL. 1 Artifact Disposition Not Satisfied

In the event cultural resources are identified during ground disturbing activities, the landowner(s) shall relinquish ownership of all cultural resources and provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been handled through the following methods.

Any artifacts identified and collected during construction grading activities are not to leave the project area and shall remain onsite in a secure location until final disposition.

Historic Resources: All historic archaeological materials recovered during the archaeological

Plan: CUP210121

Parcel: 568070021

70. Prior To Grading Final Inspection

Planning-CUL

070 - Planning-CUL. 1 Artifact Disposition (cont.) Not Satisfied

investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.

Prehistoric and/or Tribal Cultural Resources: One of the following treatments shall be applied.

1. Preservation-in-place, if feasible is the preferred option. Preservation in place means avoiding the resources, leaving them in the place where they were found with no development affecting the integrity of the resources.

2. Reburial of the resources on the Project property. The measures for reburial shall be culturally appropriate as determined through consultation with the consulting Tribe(s) and include, at least, the following: Measures to protect the reburial area from any future impacts in perpetuity. Reburial shall not occur until all required cataloguing (including a complete photographic record) and analysis have been completed on the cultural resources, with the exception that sacred and ceremonial items, burial goods, and Native American human remains are excluded. No cataloguing, analysis, or other studies may occur on human remains grave goods, and sacred and ceremonial items. Any reburial processes shall be culturally appropriate and approved by the consulting tribe(s). Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.

Human Remains: Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains and any associated items as provided in Public Resources Code Section 5097.98.

070 - Planning-CUL. 2 Phase IV Monitoring Report Not Satisfied

Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Management Plan.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 NO BUILDING PERMIT W/O GRADING PERMIT Not Satisfied

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

080 - BS-Grade. 2 ROUGH GRADE APPROVAL Not Satisfied

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1. Submitting a "Wet Signed" copy of the Soils Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer, or geotechnical engineer as appropriate) for his/her certification of the project.
2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.
4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by the County Inspector prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E Health

080 - E Health. 1 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code. For additional information, please contact DEH Food Plan Check at (760) 863-7570.

080 - E Health. 2 OWTS Plans Not Satisfied

A complete OWTS Report performed in accordance with the Department of Environmental Health, Local Area Management Program shall be required. In addition, a set of two detailed plans drawn to a proper scale of the proposed subsurface sewage disposal system. To include a floor plan/plumbing schedule to ensure proper septic tank sizing.

080 - E Health. 3 Pool Plans Not Satisfied

A set of three complete plans for the swimming pool/spa must be submitted to verify compliance with the California Administrative Code, the California Health and Safety Code and the Uniform Plumbing Code. For additional information, please contact DEH Pool Plan Check at (760) 863-7570.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

E Health

080 - E Health. 4 Water System Not Satisfied

Since this project is to be served water by a small water system (<200 service connections), a water supply permit will be required. The requirements for a water supply permit are as follows: 1) Satisfactory laboratory test (bacteriological, organic, inorganic, general physical, general mineral and radiological) to prove the water potable. 2) Satisfactory proof that there is adequate quantity (to include fire flow and available for intended development). 3) A complete set of plans for the Department of Environmental Health review and approval showing all details of the proposed and existing water systems. 4) Satisfactory information concerning how the system will be owned and operated. 5) Technical, Managerial, and Financial (TMF) capacity assessment shall be submitted to the Waterboard for review and approval.

Fire

080 - Fire. 1 Commercial Fire Water Protection - Fire Flow Not Satisfied

Fire Protection Water Supplies/Fire Flow - Minimum fire flow for the construction of all buildings is required per CFC Appendix B or NFPA 1142 or other approved method. Prior to building permit issuance for new construction, the applicant shall provide documentation to show there exists a water system capable of delivering the required fire flow. Specific design features may increase or decrease the required fire flow.

080 - Fire. 2 Commercial Fire Water Protection – Hydrants/Tanks Not Satisfied

Permit plan shall be submitted for fire water protection system to be reviewed by the Office of the Fire Marshal. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with CFC Appendix C and NFPA 24. Fire hydrants shall be located no more than 400 feet from all portions of the exterior of the building along an approved route on a fire apparatus access road, unless otherwise approved by the Fire Department. Fire hydrants shall be at least 40 feet from the building it is serving. A fire hydrant shall be located within 20 to 100 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are 4" x 2 ½" x 2 ½" (Super hydrant). If the hydrant(s) has a possibility to be damage by a vehicle, proper size and spaced bollards shall be placed.

080 - Fire. 3 Final Fire Protection Plan Not Satisfied

A final fire protection plan shall be prepared in accordance with CFC 4903.2.1 and CFC 4903.2.1.2 and be submitted to the Office of the Fire Marshal for review and approval. The final plan shall include a legally binding statement in the form of an agreement between the project site and the adjacent federal property to the East with respect to the off-site vegetation management plan. The site plan approval is contingent upon this agreement.

080 - Fire. 4 Fire Alarm and Detection Not Satisfied

A water flow monitoring system and/or fire alarm system may be required as determined at time of building construction plan review. Plans must be submitted to the Office of the Fire Marshal for review and approval prior to installation.

080 - Fire. 5 Fire Department Access – Commercial Not Satisfied

Permit plans should be provided to the Office of the Fire Marshal office to review. Fire apparatus access roads shall be provided to within 150 feet of all exterior portions of buildings, unless otherwise approved by the Fire Department. Fire apparatus access roads shall have an

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Fire

080 - Fire. 5 Fire Department Access – Commercial (cont.) Not Satisfied
unobstructed width of not less than 24 feet. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with an approved turn around. The minimum required turning radius of a fire apparatus access road is 38 feet outside radius and 14 feet inside radius. The construction of the fire apparatus access roads shall be all weather and capable of sustaining 75,000 lbs. Unless otherwise approved, the grade of a fire apparatus access road shall not exceed 16 percent and the cross slope shall not exceed 2.5 percent. The angles of approach and departure for fire apparatus access roads shall be a maximum of 6 percent grade change for 25 feet of approach/departure.

080 - Fire. 6 Fire Sprinkler Commercial Not Satisfied
All new commercial buildings and structures 3,600 square feet or larger will be required to install a fire sprinkler system. Plans must be submitted to the Office of the Fire Marshal for review and approval prior to installation.

080 - Fire. 7 Hazardous Vegetation and Fuel Management Plan Not Satisfied
Hazardous Vegetation and Fuel Management Plan - Projects in the Local Responsibility Area Very High Fire Hazard Severity Zone and the State Responsibility Area Very High, High and Moderate Fire Hazard Severity Zones shall provide a Hazardous Vegetation and Fuel Management Plan to be reviewed and approved by the Fire Department. Reference CFC 4906.3

080 - Fire. 8 Rapid Entry System – Knox Box Not Satisfied
Location and type of key lock box should be indicated on building/structure plans. Go to www.knoxbox.com to purchase. Fire Department approved will be provide during the purchase process.

080 - Fire. 9 Tent Certification Requirement Not Satisfied
Tents will need to include the State of California Fire Marshal certification and seal.

Flood

080 - Flood. 1 SUBMIT ORD. 458 SPECIAL FLOOD HAZARD AREA Not Satisfied
CUP210121 is located within a Special Flood Hazard Area (SFHA) as shown on the Public Flood Hazard Determination Interactive Map found at <http://rcflood.org>. The developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide for appropriate future administration of County Ordinance 458 per Section 9, the following items shall be submitted to the District for review and approval:

a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits. Environmental mitigation areas with restricted maintenance that are proposed within the natural conveyance area shall be modeled as ineffective flow.

b. Exhibits showing the pre-development and post-development SFHA limits.

c. Georeferenced shapefiles or CAD files of the pre-development and post-development SFHA limits.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Planning

080 - Planning. 4 FEE BALANCE Not Satisfied

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

080 - Planning. 5 SCHOOL MITIGATION Not Satisfied

Impacts to the Hemet Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 6 USE - CONFORM TO FLOOR PLANS & ELEVATIONS Not Satisfied

All floor plans & elevations of all buildings and structures submitted for building plan check approval shall be in conformance with the elevations shown on APPROVED EXHIBIT(s). Any deviation from these plans may require a revision and/or substantial conformance to the approved entitlement.

080 - Planning. 7 USE - Lighting Plans Not Satisfied

All implementing projects shall provide a lighting plan for the project area prior to approval. This plan shall include the location of onsite buildings and structures, the location of existing buildings and structures within surrounding properties, the distance between existing buildings and structures and proposed light sources, and other details of the proposed lighting (i.e., type, size, wattage, lumens, shielding type, etc.) during each phase of project development.

Planning-EPD

080 - Planning-EPD. 1 Deed Restriction - EPD Not Satisfied

Prior to issuance of a grading permit or building permit, whichever comes first, a Deed Restriction shall be placed over the Riverine and Riparian Habitats as depicted on Figure 14 of the Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis prepared by Searl Biological Services for CUP210121, dated December 17, 2021.

The completed deed restriction shall be provided to the Environmental Programs Division of Riverside County for review and approval.

080 - Planning-EPD. 2 MM-BIO-3 -- Biological Monitor Not Satisfied

Prior to the start of any Project construction, the applicant shall retain a qualified biological consultant to monitor all activities. The Project Biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the Project footprint. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with the Riverside Conservation Authority.

080 - Planning-EPD. 3 Riparian Bird Avoidance - EPD Not Satisfied

Due to the presence of suitable habitat for southwestern willow flycatcher and yellow-billed cuckoo, impacts due to building and grading shall not occur within 300ft of the suitable habitat for either species during their respective breeding seasons.

If impacts within 300ft of the suitable habitat cannot be avoided during their breeding seasons, focused surveys per accepted protocols shall be conducted prior to issuing of any permits. Reports summarizing these focused surveys shall be provided to the Environmental Programs Division of

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Planning-EPD

080 - Planning-EPD. 3 Riparian Bird Avoidance - EPD (cont.) Not Satisfied
Riverside County for review and approval.

Planning-GEO

080 - Planning-GEO. 1 MM-GEO-1 -- Seismic Setback Zone Not Satisfied

Prior to the issuance of any grading or building permits, the project developer shall have the fault setback zone identified in the Project Fault Study (Petra 2020) shown on all appropriate Project plans to be submitted to the County for review and approval. The determination of which plans must show the setback is at the discretion of the County based on its development review requirements. The limits and boundaries of the setback zone are based on the locational data provided in the Fault Study. Prior to the issuance of any permit, the developer must demonstrate that no habitable structure(s) covered by the permit is/are within the identified seismic setback zone. This measure shall be implemented to the satisfaction of the County Geologist.

Transportation

080 - Transportation. 1 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 2 RCTD-USE-WQ - IMPLEMENT WQMP Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to issuance of a building permit, the applicant shall submit one electronic (1) copy of a Recyclables Collection and Loading Area plot plan to the Riverside County Department of Waste Resources for review and approval to WastePlanning@rivco.org. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Department of Waste Resources (found at <http://www.rcwaste.org/business/planning/design>) and shall show the location of and access to the collection area for recyclable materials, shall demonstrate space allocation for trash and recyclable materials and have the adequate signage indicating the location of each bin in the trash enclosure. The project applicant is advised that clearance of the Recyclables Collection and Loading Area plot plan only satisfies the Waste Resources' conditions for Recyclables Collection and Loading Areas space allocation and other Recyclables Collection and Loading Area Guideline items. Detailed drawings of the Trash Enclosure and its particular construction details, e.g., building materials, location, construction methods etc., should be included as part of the Project plan submittal to the Riverside County Department of Building and Safety.

080 - Waste Resources. 2 Waste Recycling Plan Not Satisfied

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Waste Resources

080 - Waste Resources. 2 Waste Recycling Plan (cont.) Not Satisfied
the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 PRECISE GRADE APPROVAL Not Satisfied

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.
2. Submitting a "Wet Signed" copy of the Grading Report from the Soils Engineer (registered geologist or certified geologist, civil engineer, or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E Health

090 - E Health. 1 "Will Serve" Letter Required for Solid Waste Not Satisfied

A "will-serve" letter for solid waste hauling service from the local Franchise Solid Waste Hauler, (CR&R Disposal - 951.943.1991) shall be required.

Project shall integrate commercial waste recycling to comply with SB 1383.

090 - E Health. 2 Final Clearance of Food Facility Not Satisfied

Final clearance from the Department of Environmental Health, District Environmental Services shall be required for the proposed food facility.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

E Health

090 - E Health. 3 Final Clearance of Onsite Wastewater Treatment System R Not Satisfied

Final clearance of the proposed onsite wastewater treatment system shall be required from the Department of Environmental Health.

090 - E Health. 4 Final Clearance of Potable Water System Not Satisfied

Final clearance from the Department of Environmental Health shall be required for the onsite potable water system.

090 - E Health. 5 Final Clearance of Swimming Pool Not Satisfied

Final clearance from the Department of Environmental Health, District Environmental Services shall be required for the proposed swimming pool(s).

090 - E Health. 6 Hazmat BUS Plan Not Satisfied

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

090 - E Health. 7 Hazmat Clearance Not Satisfied

Obtain clearance from the Hazardous Materials Management Division.

090 - E Health. 8 Hazmat Waste Not Satisfied

The facility requires a hazardous waste permit if a hazardous waste is generated as defined in Title 22 of the California Code of Regulations, Section 66260.10 and 66261.3. The hazardous waste report and fee is due at occupancy. If further review of the site indicates additional environmental health issues, the Division reserves the right to regulate the business in accordance with applicable County Ordinances. Contact (951) 358-5055 for more information.

Flood

090 - Flood. 1 Special Flood Hazard Area Revision Not Satisfied

Final building inspections for lots within the effective Special Flood Hazard Area (SFHA) shall not be issued until:

a. Any stormwater facilities or fill modifying the floodplain are constructed and accepted for maintenance.

b. Floodplain hydraulic analysis is approved by District staff and associated georeferenced shape file is received by District's Floodplain Management section.

c. Property owners adversely affected by the changes to the SFHA have been notified in writing of the change.

Planning

090 - Planning. 1 SITE INSPECTION Not Satisfied

Once the site has been constructed and corresponding improvements installed, Planning will conduct a site visit to verify that the development is in compliance with the approved exhibits.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Planning

090 - Planning. 2 USE - ORD NO. 659 (DIF) (cont.) Not Satisfied

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected. The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Conditional Use Permit No. 210121 has been calculated to be 5.57 acres.

090 - Planning. 3 USE - ACCESSIBLE PARKING Not Satisfied

A minimum of three (3) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBITS (Site Plans).

Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___." In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

090 - Planning. 4 USE - ELECTRICAL VEHICLE PARKING Not Satisfied

A minimum of three (3) electrical vehicle parking space[s] for shall be constructed for the project per Ordinance 348, Section 18.12.A2.c1 and 2:

Requirements: All development projects that require fifty (50) or more parking spaces shall designate three (3) spaces for electrical vehicles and designate one (1) additional space for electrical vehicles for each additional fifty (50) parking spaces. All electrical vehicle parking spaces shall be serviced by an electrical vehicle charging station. If capable, a charging station may service more than one electrical vehicle parking space.

Signage and Charging Station Location: Signage shall be installed designating spaces for electric vehicles only. Charging stations shall be installed in locations easily accessible to service an electrical vehicle. Charging stations and associated equipment or materials shall not encroach into the minimum required areas for driveways, parking spaces, garages, or vehicle maneuvering.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Planning

090 - Planning. 5 USE - ORD 810 O S FEE (MSHCP) Not Satisfied

Prior to the issuance of a certificate of occupancy upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Conditional Use Permit No. 210121 is calculated to be 5.57 acres.

090 - Planning. 6 Use - Parking Paving Materials Not Satisfied

A minimum of sixty (60) parking spaces, including 3 ADA parking spaces and 3 EV parking spaces, shall be provided as shown on the APPROVED EXHIBITS (Site Plans), unless otherwise approved by the Planning Department. The parking area shall be surfaced with decomposed granite (DG) with asphaltic concrete or concrete for ADA parking and path of travel to current standards as approved by the Department of Building and Safety.

090 - Planning. 7 USE - TRASH ENCLOSURES Not Satisfied

One (1) trash enclosure which is adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A and shall be constructed prior to the issuance of occupancy permits. The enclosure shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping (vineyard and/or olive trees) screening and a solid gate which screens the bins from external view.

Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

090 - Planning. 8 USE - UTILITIES UNDERGROUND Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

Planning-EPD

090 - Planning-EPD. 1 MM- BIO-2 -- Signage Not Satisfied

Prior to issuance of a Certificate of Occupancy, the Project applicant shall install signs along the east bank of Hurkey Creek every 200 feet informing patrons that the creek is an "Environmentally Sensitive Area" and "Do Not Enter." This measure shall be implemented to the satisfaction of the County Planning Department.

Transportation

090 - Transportation. 1 RCTD-USE-WQ - WQMP COMPLETION Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding water quality to future owners/occupants, provide an engineered WQMP certification, inspection of

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Transportation

- 090 - Transportation. 1 RCTD-USE-WQ - WQMP COMPLETION (cont.) Not Satisfied
BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

Waste Resources

- 090 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied
Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and verified through inspection by the Riverside County Department of Waste Resources.

- 090 - Waste Resources. 2 Waste Reporting Form and Receipts Not Satisfied
Prior to final building inspection, evidence (i.e., waste reporting form along with receipts or other types of verification) to demonstrate project compliance with the approved Waste Recycling Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

PROPERTY OWNERS CERTIFICATION FORM

I, Kathleen Mitchell, certify that on December 18, 2023, the attached property owners list was prepared by County of Riverside / GIS.

Distance Buffered: 2,400'

Pursuant to application requirements furnished by the Riverside County Planning Department; Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Kathleen Mitchell

TITLE/REGISTRATION: Urban Regional Planner, IV

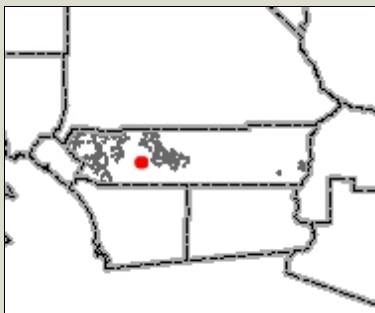
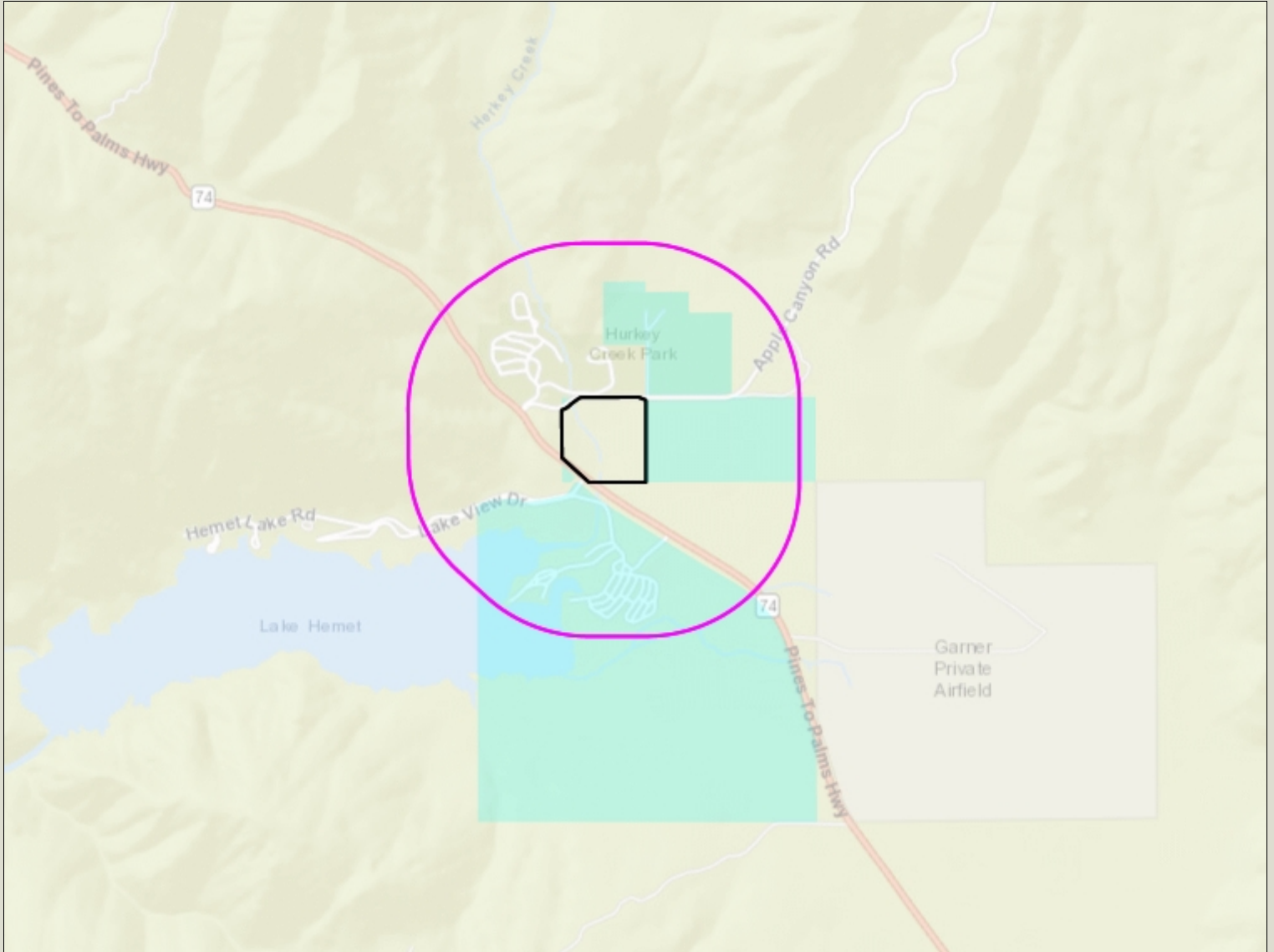
ADDRESS: 4080 Lemon Street, Riverside CA, 92501

TELEPHONE (8 a.m. – 5 p.m.): (951) 955-6836

Riverside County GIS Mailing Labels

GPA210006, CZ2100014, CUP210121

2,400 Foot Buffer



Legend

- County Boundary
- Cities
- World Street Map

Notes



0 3,009 6,019 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 12/18/2023 3:21:36 PM

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568060012
LAKE HEMET MUNICIPAL WATER DIST
56569 HIGHWAY 74
MTN CENTER CA 92561

568070011
RIVERSIDE CO REGIONAL PARK OPEN SPACE
3133 MISSION INN AVE
RIVERSIDE CA 92507

568070022
USA DEPT OF AGRICULTURE
10845 RANCHO BERNARDO 200
SAN DIEGO CA 92127

568070025
RONALD MCDONALD HOUSE CHARITIES SO
1250 LYMAN PL
LOS ANGELES CA 90029

568070006
RIDGE WELLNESS INC
6487 CAVALLERI RD APT 429
MALIBU CA 90265

568070020
U S A DEPT OF AGRICULTURE
10845 RANCHO BERNARDO 200
SAN DIEGO CA 92127



PROJECT TEAM

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 legrand.caroline366@googlemail.com

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 951 442 4040
 e.lopez@yahoo.com

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 SACRAMENTO, CA 95834
 MOHAMMAD DANISHYAR
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 mdanishyar@calwater.com

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 ANZA, CA 92539
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 heritagewellservice@yahoo.com

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ARBORIST:
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URBAN CROSSROADS:
 VMT AQ / GHG TRAFFIC, ENERGY, ACOUSTIC
 1001 DOVE STREET SUITE 260
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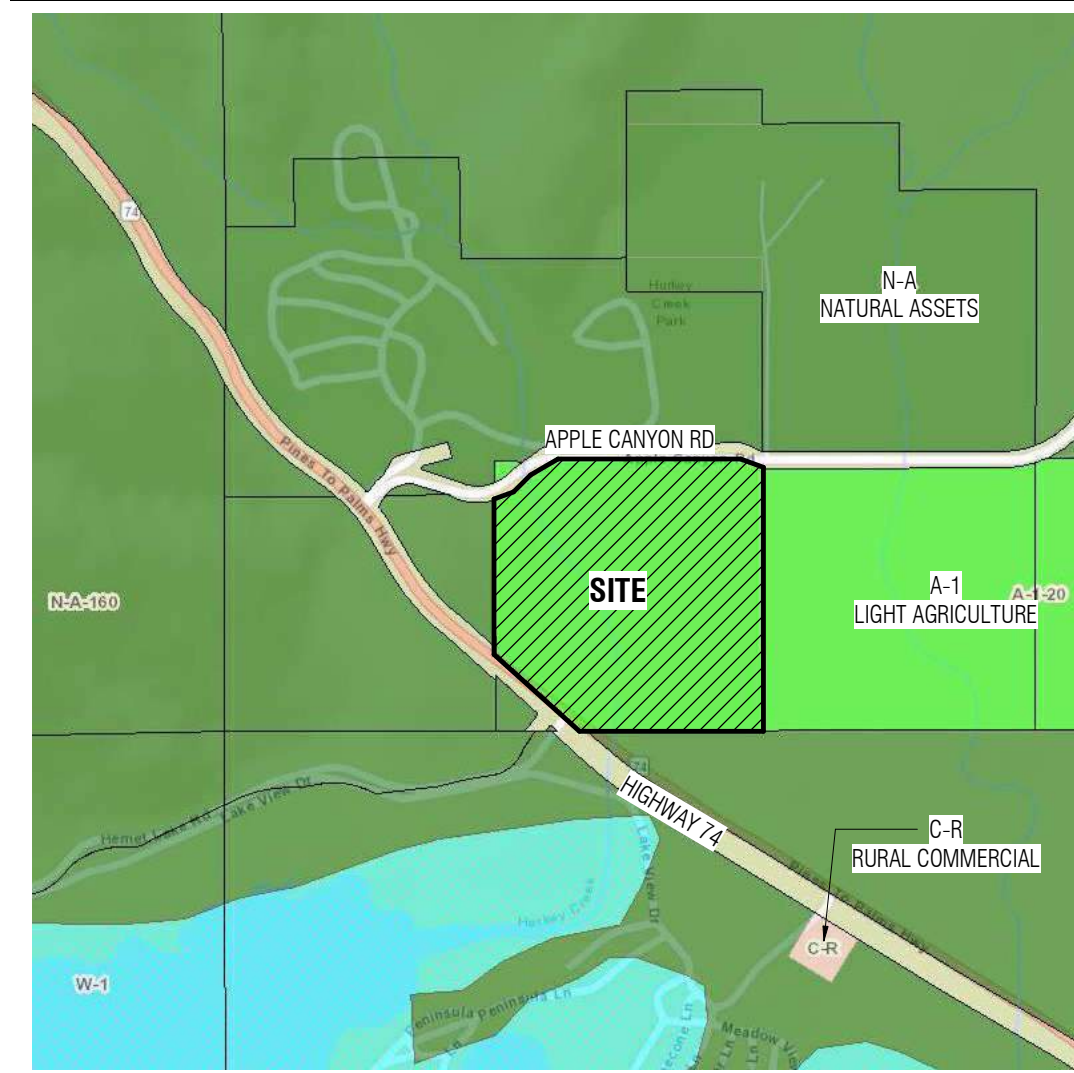
THE RIDGE WELLNESS INC

THE RIDGE
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

VICINITY MAP



ZONING MAP



BUILDING CODE INFORMATION

CONSTRUCTION TYPES: TYPE VA - 1 LEVEL, FULLY SPRINKLERED AND FIRE-RETARDANT TREATED (FRT)

OCCUPANCY:
 R-1, RESIDENTIAL GROUP (CBC 310.2)
 A-2, ASSEMBLY GROUP (CBC 303.3)
 B, BUSINESS GROUP (CBC 304)
 S-2, LOW-HAZARD STORAGE (CBC 311.3)
 U, UTILITY & MISCELLANEOUS GROUP (312.1.1)

MAX ALLOWABLE HEIGHT, STORIES AND AREA BY OCCUPANCY:
 (TYPE VA, CBC TABLE 504.3, BUILDING EQUIPPED THROUGHOUT WITH SPRINKLER SYSTEM PER CBC 903.3.1.1)

OCCUPANCY	HEIGHT	STORIES	AREA
R-1	50'-0"	3 STORIES	48,000 SF
A-2	50'-0"	3 STORIES	48,000 SF
B	70'-0"	4 STORIES	72,000 SF
S-2	70'-0"	5 STORIES	84,000 SF

PROPOSED BUILDING HEIGHT: HEIGHT IN FEET = 18'-3"
 STORIES = 1 STORY

PROPOSED BUILDING AREA: GROSS AREA = 31,757 SF (BUILDING & MECH.)

BUILDING CODE ANALYSIS	OCCUPANCY	CONSTRUCTION TYPE
ACTIVITY HUB	A-2	TYPE VA
ACTIVITY HUB	A-2	TYPE VA
STORAGE	S-2	TYPE VA
ADMIN & STORAGE	B	TYPE VA
ADMIN & STAFF AREAS	B	TYPE VA
STORAGE	S-2	TYPE VA
ARRIVAL & DINING	A-2	TYPE VA
ARRIVAL LOUNGE	A-2	TYPE VA
DINING AREA	A-2	TYPE VA
COMMERCIAL KITCHEN	A-2	TYPE VA
UTILITY ROOM	S-2	TYPE VA
GREENHOUSE	U	TYPE VA
GREENHOUSE	U	TYPE VA
GUEST CABINS	R-1	TYPE VA
GUEST CABINS	R-1	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA
MANUFACTURED TENTS	R-1	TYPE VA
MANUFACTURED TENTS	R-1	TYPE VA
WELLNESS BASE CAMP	A-2	TYPE VA
WELLNESS BASE CAMP	A-2	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA
WELLNESS CABINS	B	TYPE VA
GUEST CHECK-IN	B	TYPE VA
SOUND DOME	B	TYPE VA
TREATMENT ROOMS	B	TYPE VA
CHANGING ROOMS	B	TYPE VA
UTILITY ROOM	S-2	TYPE VA
SUPPORT	S-2	TYPE VA

ZONING INFORMATION

PROJECT INFO	VALUE
PROJECT...	56475 APPLE CANYON RD, IDYLLWILD CA 92549
APN	568-070-021
CURRENT ZONING	A-1-20 (LIGHT AGRICULTURE)
PROPOSED...	N/A (NATURAL ASSETS)
CURRENT LAND...	OPEN SPACE - RURAL
PROPOSED LAN...	OPEN SPACE - RECREATIONAL LAND USE
LOT AREA	36.11 ACRES
FIRE HAZARD...	VERY HIGH
FIRE...	SRA
FAULT ZONE	SAN JACINTO FAULT ZONE

SETBACKS	VALUE
FRONT	100'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)
SIDE	50'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)
REAR	50'-0" (COUNTY OF RIVERSIDE ZONING ORDINANCE 348)

PARKING REQUIREMENTS	PARKING RATE	AREA/QTY PARKING...
GUEST PARKING		
GUEST CABINS (30 TOTAL)	1 SPACE / ROOM + 2	36 TOTAL ROOMS 38 STALLS
MANUF. TENTS (6 TOTAL)	SPACES / RESIDENT...	
STAFF PARKING	1 SPACE / 2 EMPLOYEES	35 STAFF 18 STALLS
TOTAL REQUIRED		56 STALLS*

***NOTE:**
 PROJECT IS SUBJECT TO CONDITIONAL USE PERMIT REVIEW WHICH AIMS TO REDUCE THE NUMBER OF STALLS REQUIRED. THE PROPOSAL IS A PRIVATE GUEST RANCH CLOSED TO THE PUBLIC, WITH STAFF ACCESSING THE PROPERTY IN TINED SHIFTS. THE FACILITIES ARE CONSIDERED NON-SIMULTANEOUS USE, AND ARE INTENDED FOR THE EXCLUSIVE USE OF THE MAX. 72 GUESTS CAPACITY (2 GUESTS PER EACH ACCOMMODATION), PLUS A MAXIMUM SHIFT CAPACITY OF 35 STAFF AS NOTED IN THE PROJECT DESCRIPTION APPENDIX.

PARKING PROVIDED	PARKING RATE	AREA/QTY PARKING...
GUEST PARKING		
GUEST CABINS (30 TOTAL)	1 SPACE / ROOM + 2	36 TOTAL ROOMS 38 SPACES
MANUF. TENTS (6 TOTAL)	SPACES / RESIDENT...	
ADDITIONAL PARKING		1 SPACE
STAFF PARKING	1 SPACE / 2 EMPLOYEES	35 STAFF 18 SPACES
ACCESSIBLE PARKING SPACES	51-75 STALLS = 3 SPACES	3 SPACES
TOTAL		60 SPACES

EV PARKING REQUIREMENTS	RATE	EV STALLS REQ'D	NOTES
TOTAL PARKING PROVIDED	25-49...	2 EV SPACES	
60 STALLS	50+ SPACES	1 ADULT EV SPACE PER EACH 50 STALLS	
TOTAL		3 EV SPACES	PER RIVERSIDE ZO 17-188.045...

BICYCLE PARKING REQUIRED	RATE	SPACES	NOTES
EMPLOYEE	1 FOR EVERY 25 PARKIN...	1 SPACE	
GUEST	1 FOR EVERY 33 PARKIN...	2...	
TOTAL...		4...	(COR ZO 17-188.060 B.1.c REQ'S MIN...
TOTAL...		4...	

***NOTE:**
 BICYCLE PARKING IS PROVIDED ADJACENT TO THE ACTIVITY HUB

SITE COVERAGE SUMMARY	AREA (ACRES)	PERCENT OF GROSS SI...
EXISTING AGRICULTURAL AREA	2.06 ACRES	6%
PARKING, DRIVEWAYS AND VEHICULAR...	2.15 ACRES	6%
BUILDING FOOTPRINT (GROSS COVERED)...	1.36 ACRES	3%
RECREATIONAL & OPEN SPACE AREA	30.65 ACRES	85%
GROSS SITE AREA	36.11 ACRES	100%

PROJECT AREA SUMMARY	AREA NAME	AREA
ACTIVITY HUB		
BUILDING ACTIVITY HUB		912 SF
COVERED PATIO		1126 SF
ADMIN & STORAGE		
COVERED PATIO		917 SF
BUILDING ADMIN & STAFF AREAS		782 SF

COMMON AREAS	AREA
BUILDING COMMON AREAS	4899 SF
COVERED PATIO	3453 SF
MECHANICAL AREA	1076 SF

GUEST CABINS A	AREA
BUILDING GUEST CABINS A	3162 SF
COVERED PATIO	2408 SF

GUEST CABINS B&C	AREA
BUILDING GUEST CABINS B&C	8354 SF
COVERED PATIO	7133 SF
MECHANICAL AREA	1426 SF

GUEST CABINS D	AREA
BUILDING GUEST CABINS D	4726 SF
COVERED PATIO	3670 SF

SOUND BATH	AREA
BUILDING SOUND BATH	479 SF

WELLNESS BASE CAMP	2292 SF
BUILDING WELLNESS BASECAMP	1555 SF
COVERED PATIO	
WELLNESS CABINS	3429 SF
BUILDING WELLNESS CABINS	3158 SF
COVERED PATIO	220 SF
MECHANICAL AREA	

PROJECT DESCRIPTION

THE RIDGE WELLNESS PROPOSES AN ECO-CONSCIOUS PRIVATE GUEST RANCH ON 37.11 ACRES LOCATED AT 56475 APPLE CANYON RD IN THE COUNTY OF RIVERSIDE. THE PROJECT SITE WILL RETAIN ALL THE NATURAL VEGETATION AND ALL THE HISTORIC LARGE PINE TREES WITHIN ITS DESIGN.

THE RIDGE WILL BE DESIGNED TO FACILITATE A FULL IMMERSION NATURE EXPERIENCE IN MOUNTAIN CENTER AND THE RANCH WILL OFFER A VARIETY OF SELF-DEVELOPMENT THERAPIES AND RECREATIONAL ACTIVITIES. RECREATIONAL ACTIVITIES SUCH AS NATURE HIKING, MOUNTAIN BIKING, HORSEBACK RIDING, ROCK CLIMBING, WATER BASED ACTIVITIES AT LAKE HEMET, IN ADDITION TO CULTURAL AN ENVIRONMENTAL EDUCATION OF THE AREA WILL BE ALL PART OF THE EXPERIENCE AT THE RANCH.

THE PROJECT PROPOSES TO CONSTRUCT GUEST CABINS, WITH A WELLNESS CENTER, KITCHEN AND DINING ROOM, AND ACTIVITY HUB WITH LAP POOL, LARGE AGRICULTURAL SITE AND FOOD LAB FOR ALL GUESTS TO EXPERIENCE.

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- RIVERSIDE COUNTY MUNICIPAL ORDINANCES

DEFERRED SUBMITTALS / SEPARATE PERMITS

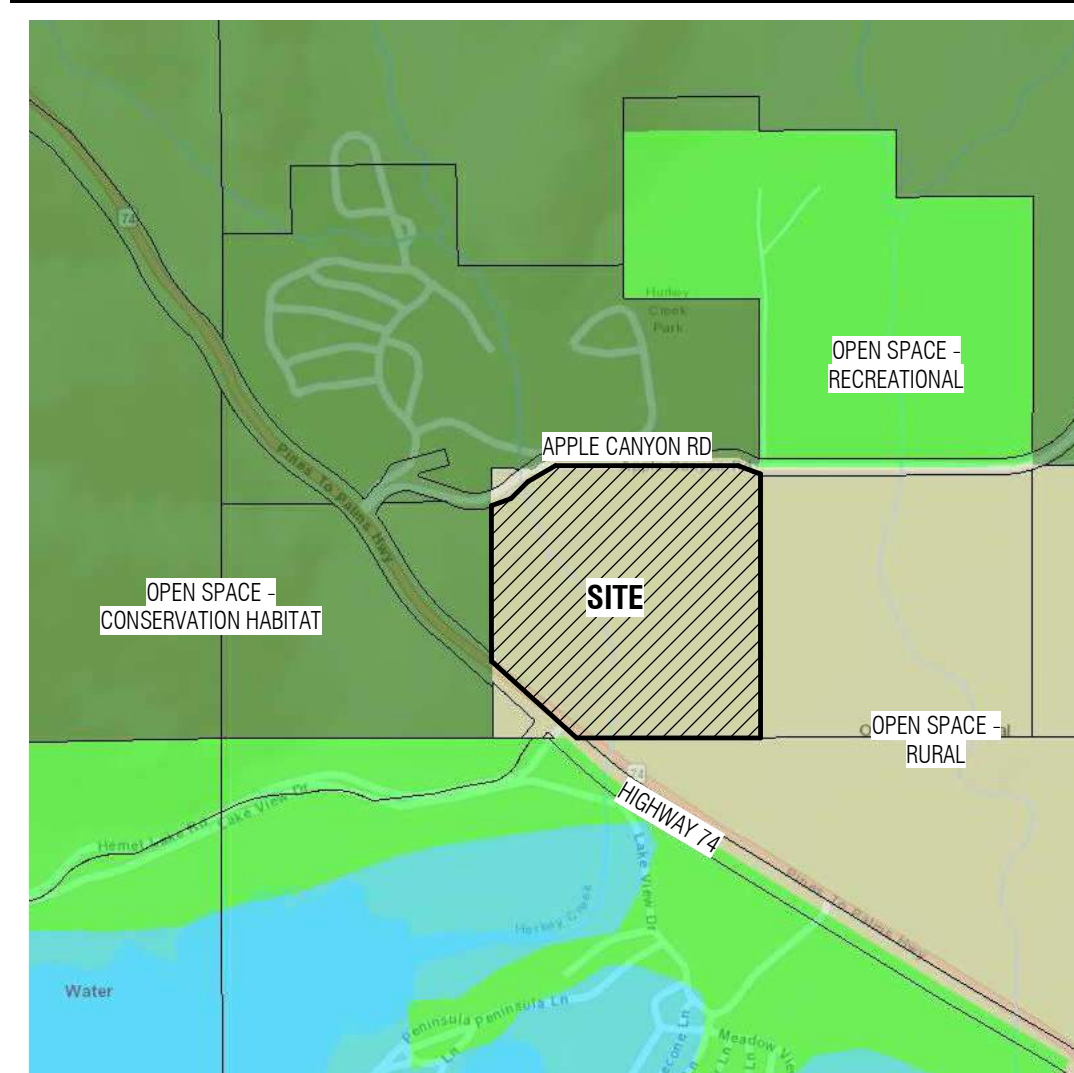
- POOL
- PRIVACY WALLS
- HEALTH DEPARTMENT APPROVAL FOR FOOD PREPARATION / REQUIRED BEFORE A PERMIT CAN BE ISSUED
- GRADING
- TRUSS CALC'S: SHALL INCLUDE LAYOUT SHEETS AND INDIVIDUAL TRUSS ELEVATIONS
- FIRE SPRINKLER SYSTEM
- MECHANICAL EQUIPMENT AS SHOWN ON SHEET M-001

***NOTE:** DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE ARCHITECT AND ENGINEER OF RECORD BEFORE SUBMITTAL TO THE BUILDING DEPARTMENT AND SHALL BEAR AN INDICATION OF SUCH REVIEW BEFORE SUBMITTAL TO THE BUILDING DEPARTMENT. DEFERRED SUBMITTALS SHALL BE APPROVED BY THE BUILDING DEPARTMENT BEFORE THE DEFERRED ITEM IS INCORPORATED INTO THE WORK.

AERIAL PHOTO



LAND USE MAP



1ST SUBMITTAL

COVER SHEET



Project Number	22.003
Date	08/09/23
Drawn By	YF
Checked By	RAA

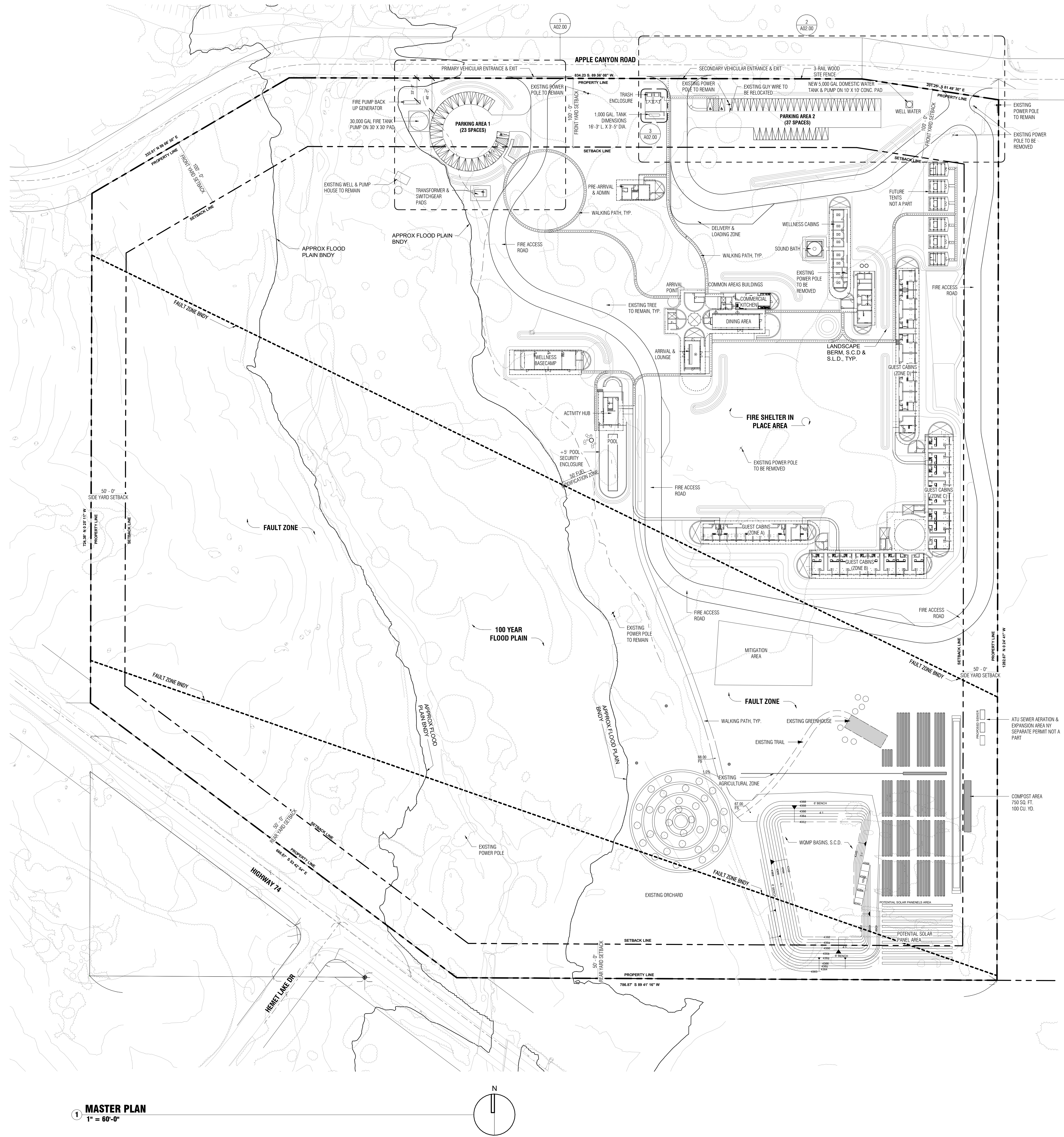
A00.00

Scale 6" = 1'-0"

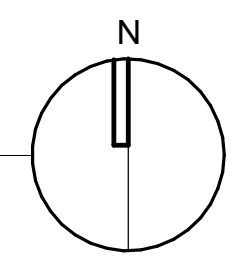
Revision Schedule		
No.	Description	Date
1	BLDG REV1	20APR23

THE RIDGE
WELLNESS INC

THE RIDGE
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



1 MASTER PLAN
1" = 60'-0"



PROJECT AREA SUMMARY		
AREA NAME	AREA	
ACTIVITY HUB		
BUILDING ACTIVITY HUB	912 SF	
COVERED PATIO	1126 SF	
ADMIN & STORAGE		
COVERED PATIO	917 SF	
BUILDING ADMIN & STAFF AREAS	782 SF	
COMMON AREAS		
BUILDING COMMON AREAS	4899 SF	
COVERED PATIO	3463 SF	
MECHANICAL AREA	1076 SF	
GUEST CABINS A		
BUILDING GUEST CABINS A	3162 SF	
COVERED PATIO	2408 SF	
GUEST CABINS B&C		
BUILDING GUEST CABINS B&C	8354 SF	
COVERED PATIO	7133 SF	
MECHANICAL AREA	1426 SF	
GUEST CABINS D		
BUILDING GUEST CABINS D	4726 SF	
COVERED PATIO	3670 SF	
SOUND BATH		
BUILDING SOUND BATH	479 SF	
WELLNESS BASE CAMP		
BUILDING WELLNESS BASECAMP	2292 SF	
COVERED PATIO	1555 SF	
WELLNESS CABINS		
BUILDING WELLNESS CABINS	3429 SF	
COVERED PATIO	3158 SF	
MECHANICAL AREA	220 SF	

1ST SUBMITTAL

MASTER PLAN



Project Number	22.003
Date	08/09/23
Drawn By	RAA
Checked By	RAA

A01.00

Scale 1" = 60'-0"

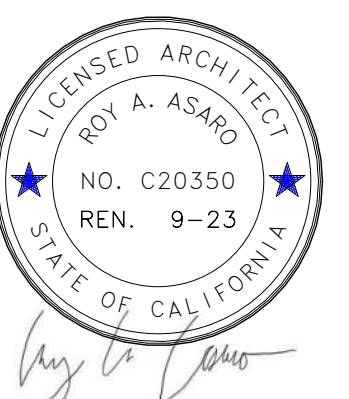
Revision Schedule		
No.	Description	Date

THE RIDGE
WELLNESS INC

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL &
ENLARGED
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AH101.0

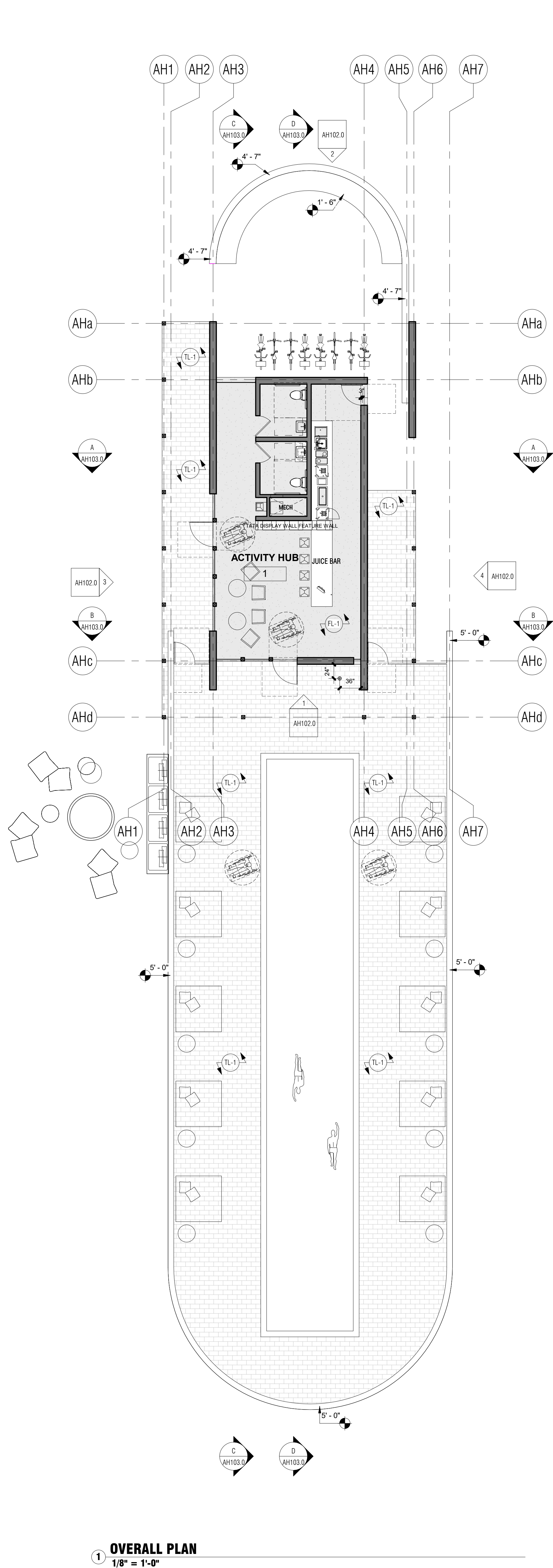
Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

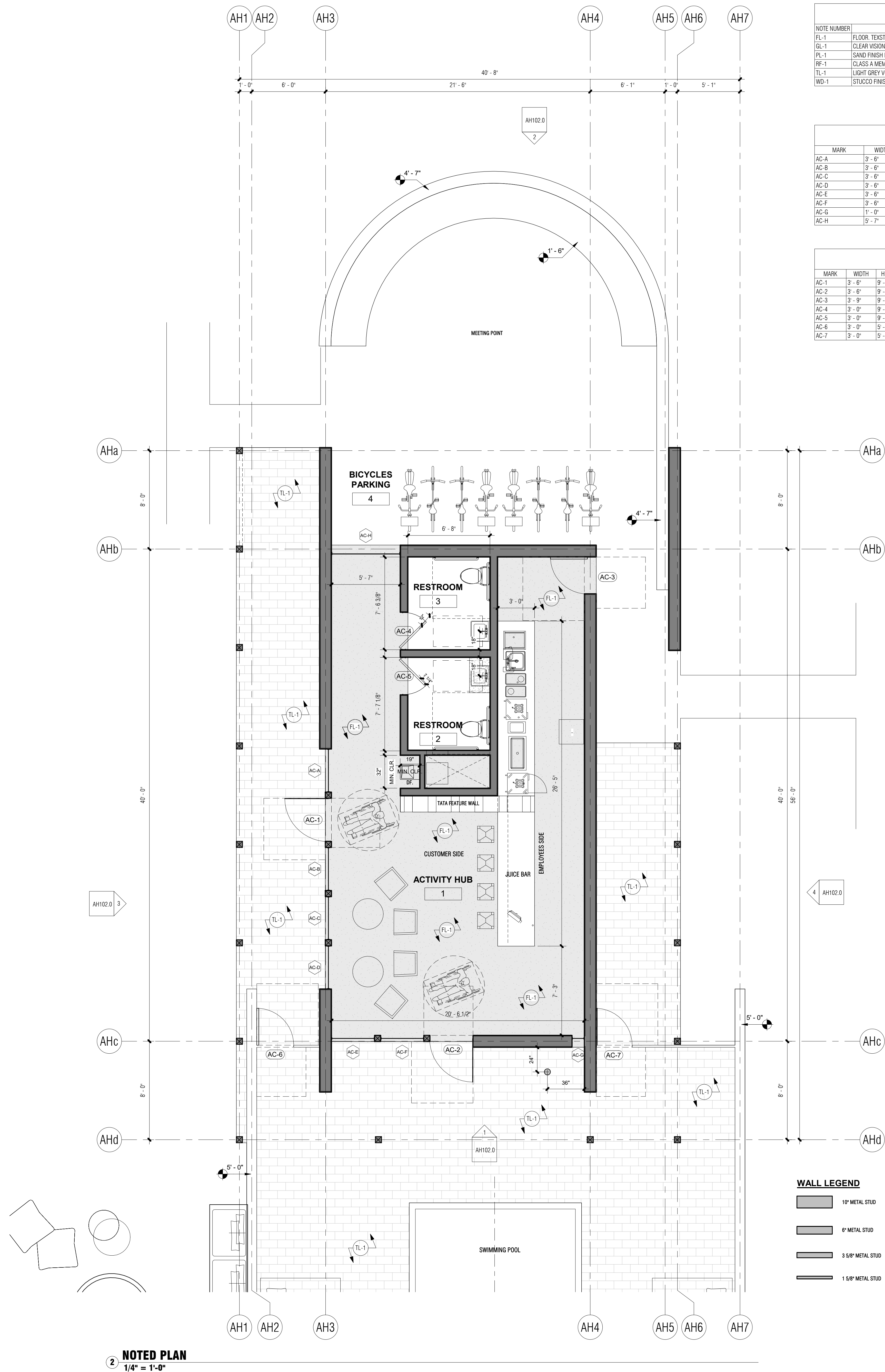
WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
AC-A	3'-6"	9'-0"			
AC-B	3'-6"	9'-0"			
AC-C	3'-6"	9'-0"			
AC-D	3'-6"	9'-0"			
AC-E	3'-6"	9'-0"			
AC-F	3'-6"	9'-0"			
AC-G	1'-0"	9'-0"			
AC-H	5'-7"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE		COMMENTS
AC-1	3'-6"	9'-0"	TYPE B		
AC-2	3'-6"	9'-0"	TYPE B		
AC-3	3'-9"	9'-0"	TYPE B		
AC-4	3'-0"	9'-0"	TYPE C		
AC-5	3'-0"	9'-0"	TYPE C		
AC-6	3'-0"	5'-0"	TYPE M	POOL GATE	
AC-7	3'-0"	5'-0"	TYPE M	POOL GATE	

WALL LEGEND	
	10" METAL STUD
	6" METAL STUD
	3 1/2" METAL STUD
	1 1/2" METAL STUD



1 OVERALL PLAN
1/8" = 1'-0"

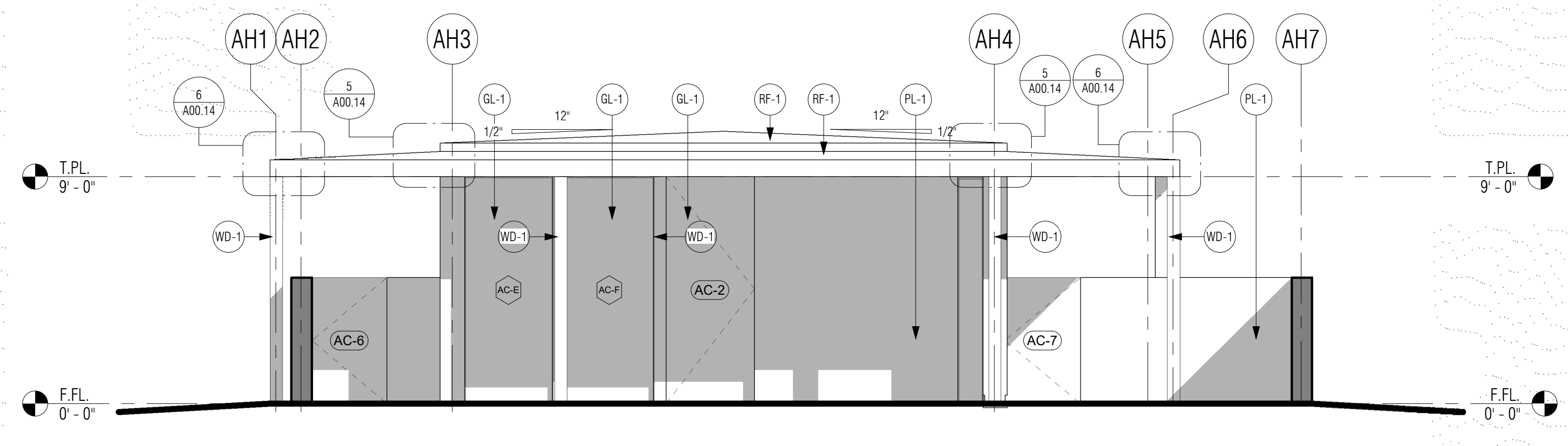


2 NOTED PLAN
1/4" = 1'-0"

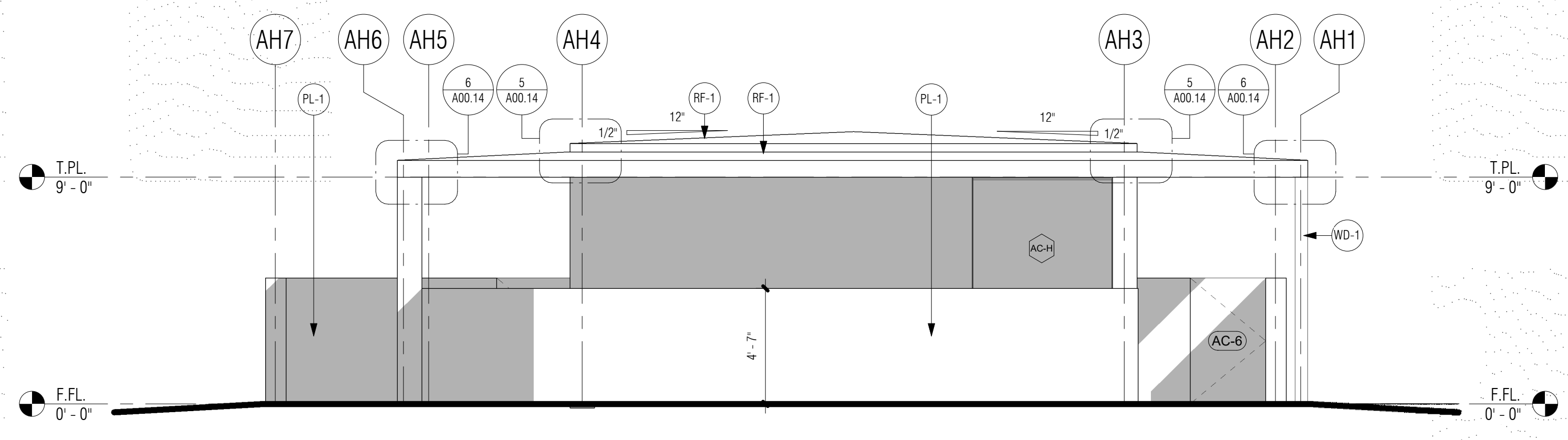
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

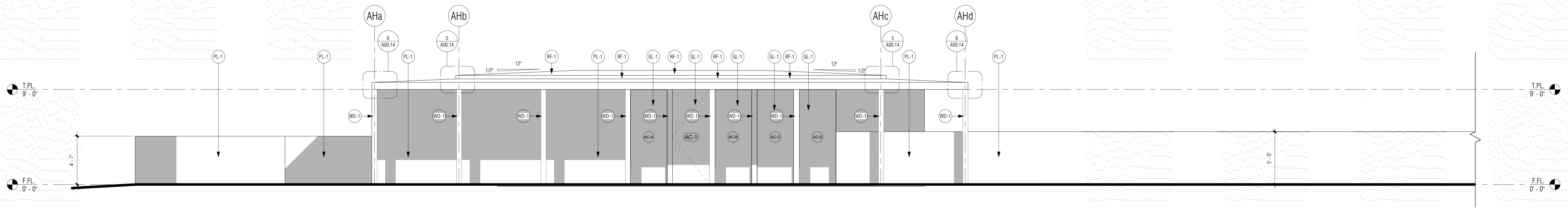
THE RIDGE
WELLNESS INC



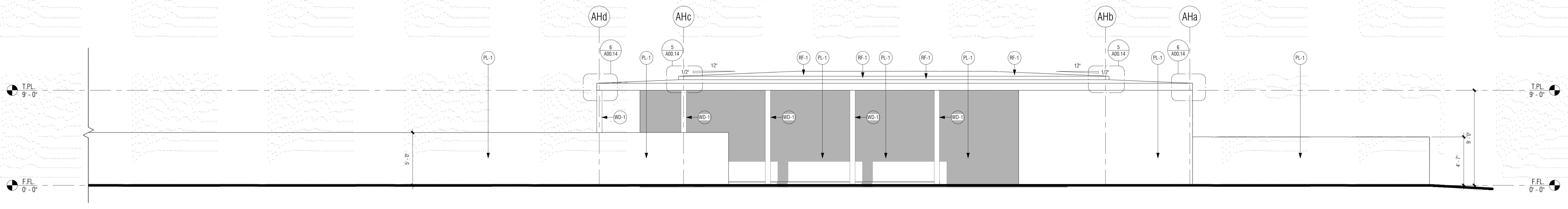
1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

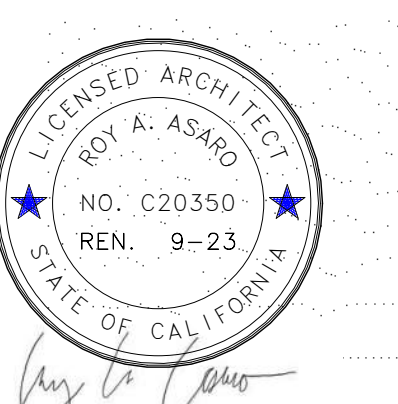


4 EAST ELEVATION
1/4" = 1'-0"

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92661

CUP SUBMITTAL

EXTERIOR
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AH102.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
WELLNESS INC

ACTIVITIES CENTER
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

SECTIONS &
ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YF & RAA
Checked By	RAA

AH103.0

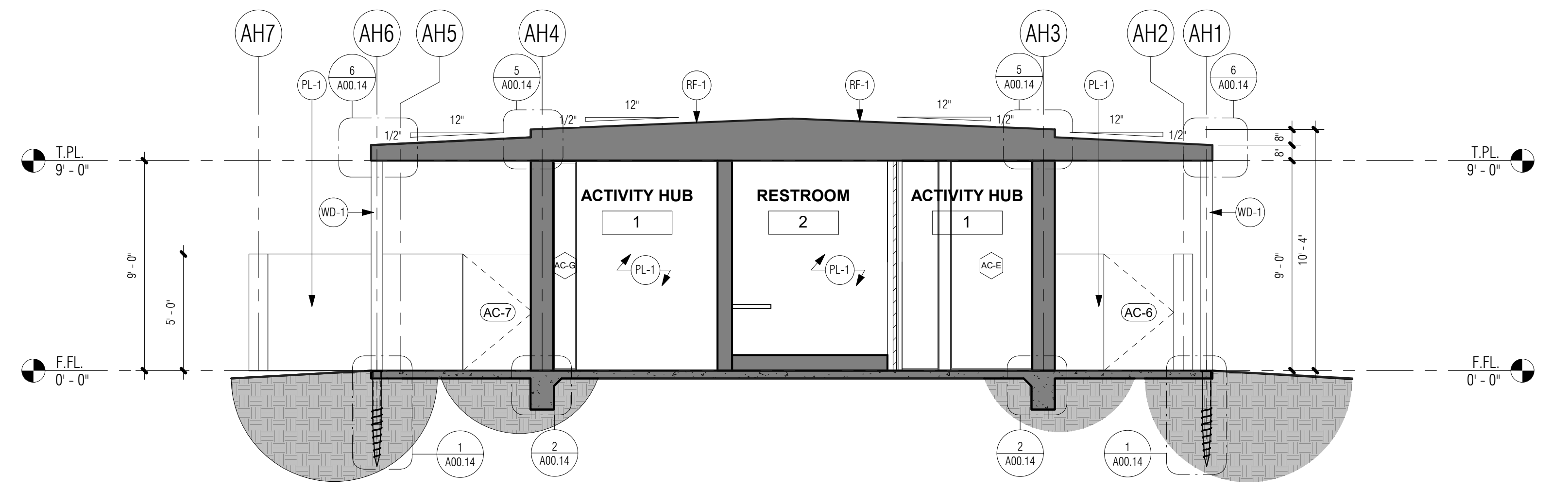
Scale 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER W/INTERGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.

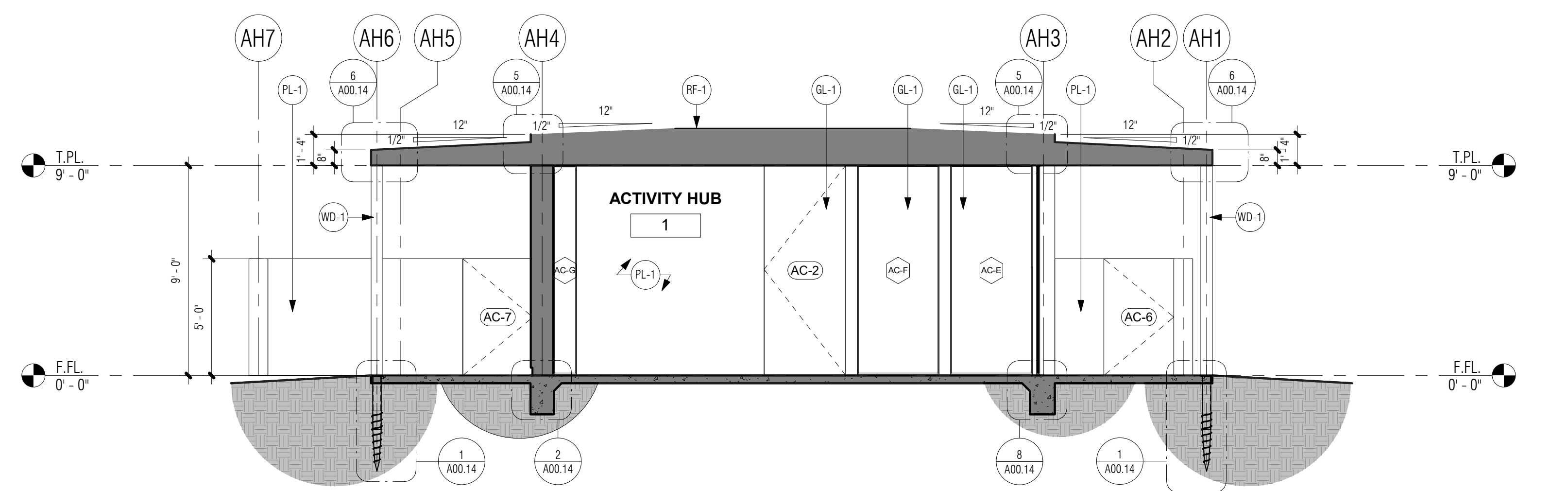
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC-ES REPORT 2093 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

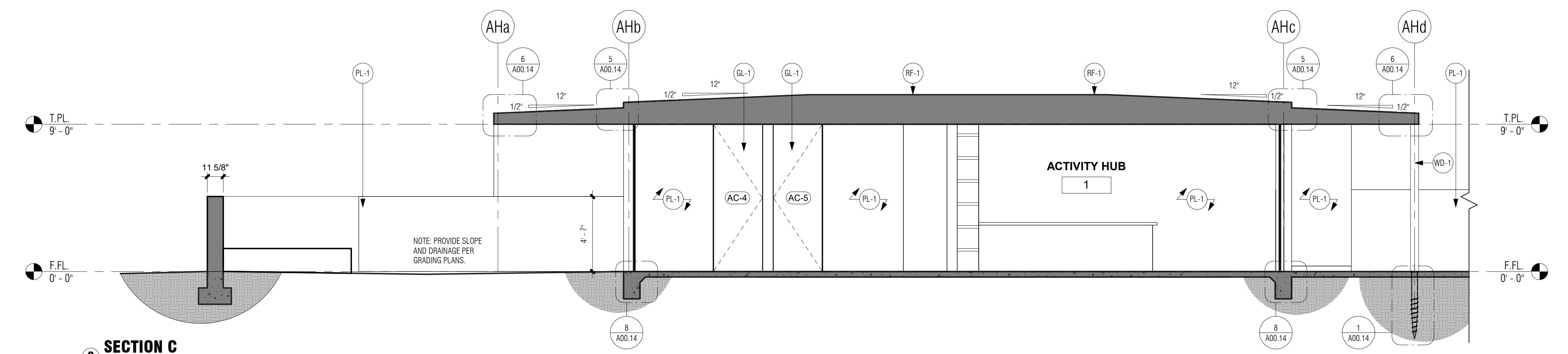
ROOFING NOTES
1/4" = 1'-0"



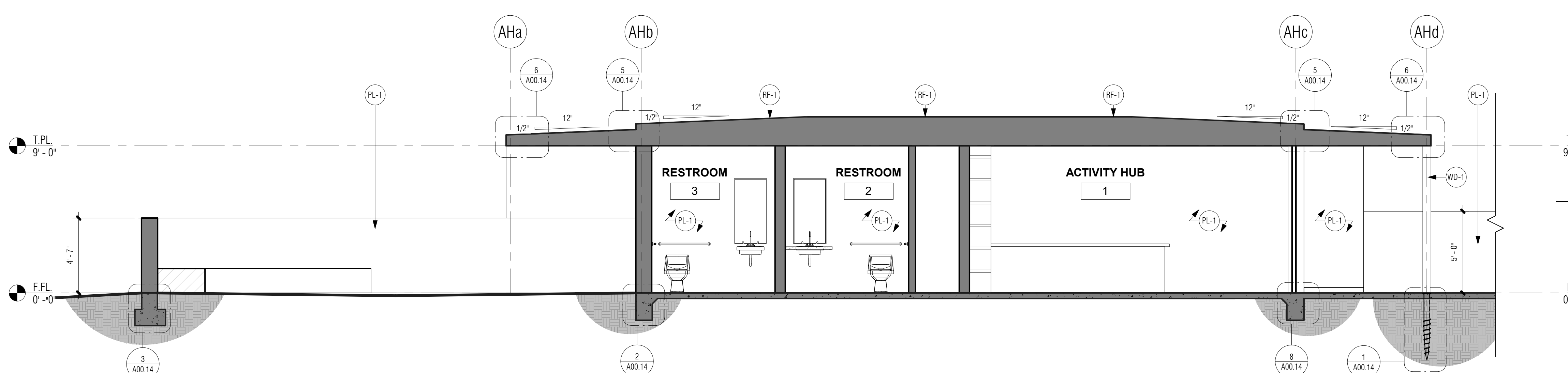
SECTION A
1/4" = 1'-0"



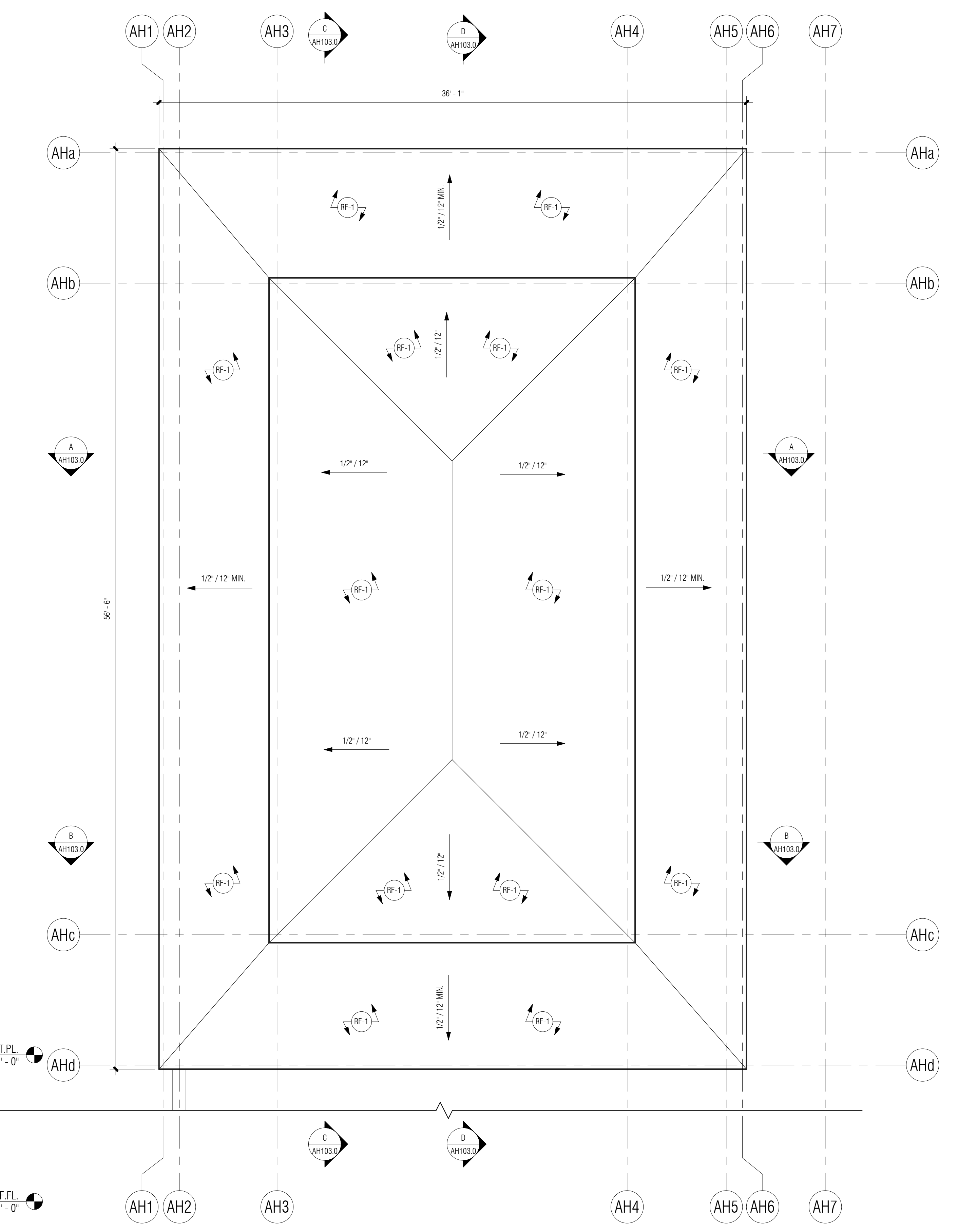
SECTION B
1/4" = 1'-0"



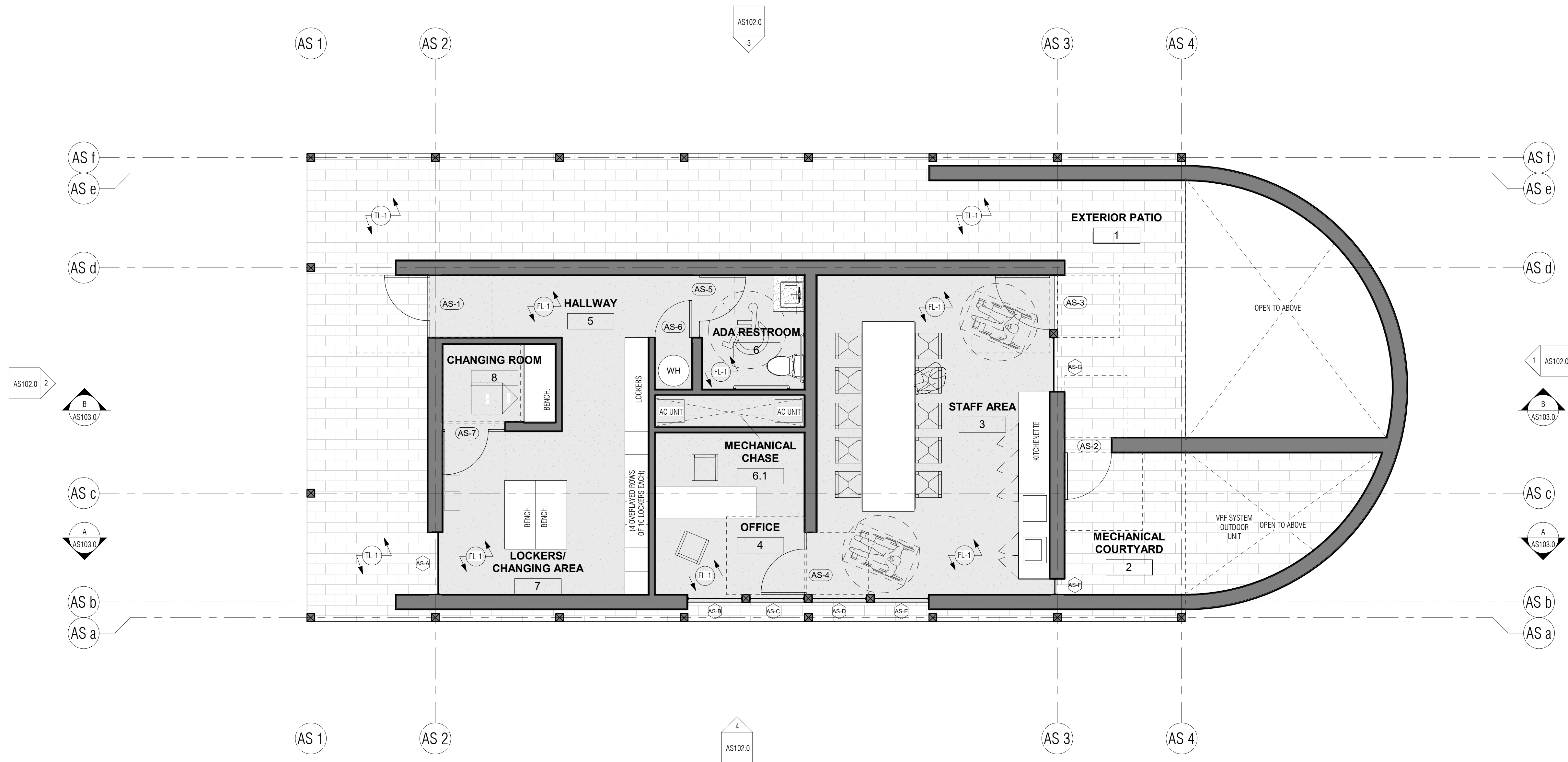
SECTION C
1/4" = 1'-0"



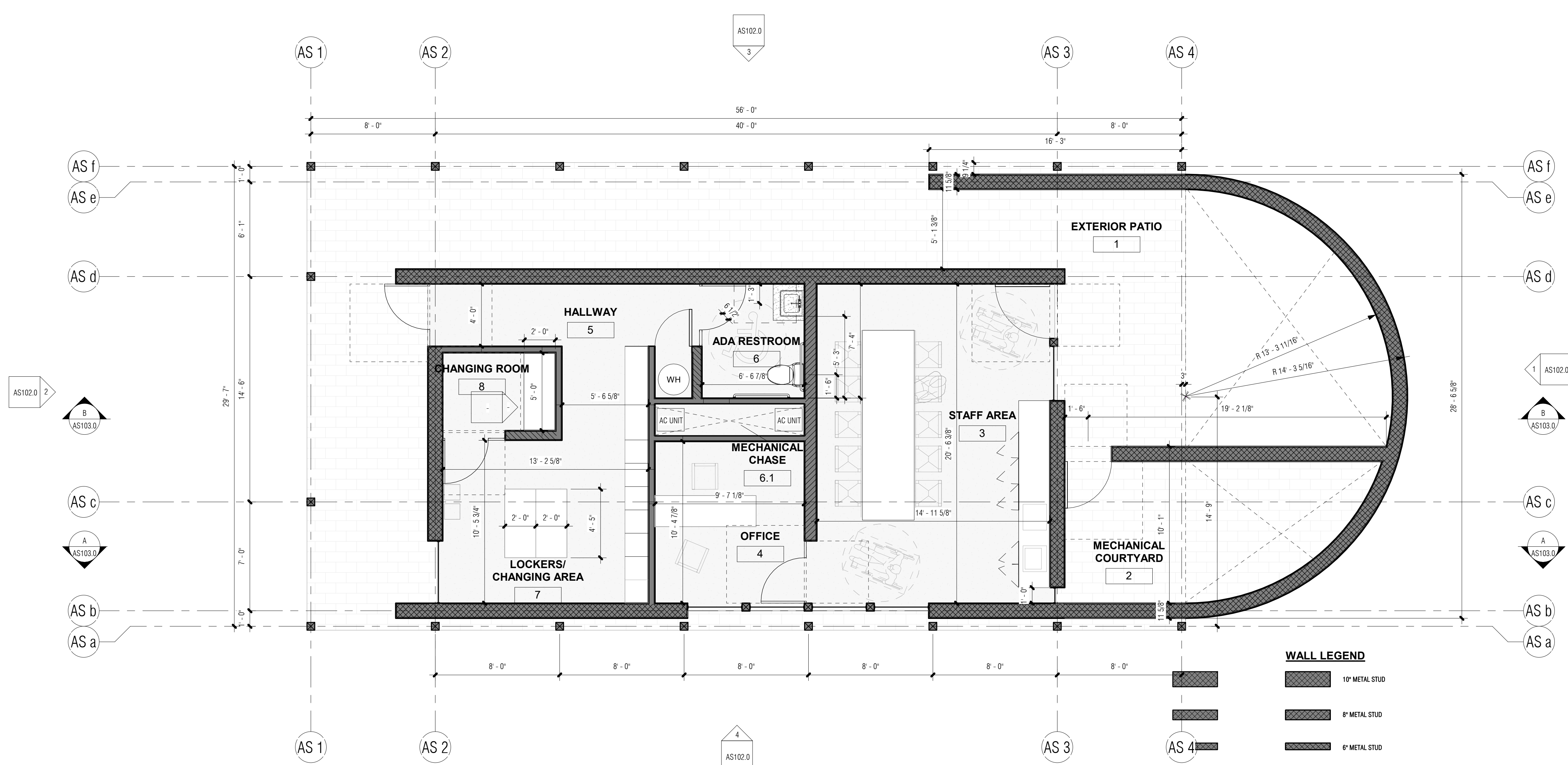
SECTION D
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



2 DIMENSION PLAN
1/4" = 1'-0"

WALL LEGEND

[Hatching]	10" METAL STUD
[Hatching]	8" METAL STUD
[Hatching]	6" METAL STUD
[Hatching]	3 1/2" METAL STUD
[Hatching]	1 1/2" METAL STUD

FINISH LEGEND KEYNOTES

NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTSTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RP-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
AS-A	4'-0"	9'-0"			
AS-B	3'-6"	9'-0"			
AS-C	3'-6"	9'-0"			
AS-D	3'-6"	9'-0"			
AS-E	3'-6"	9'-0"			
AS-F	1'-0"	9'-0"			
AS-G	3'-6"	9'-0"			

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
AS-1	4'-0"	9'-0"	TYPE A	
AS-2	3'-0"	9'-0"	TYPE C	
AS-3	3'-6"	9'-0"	TYPE B	
AS-4	4'-0"	9'-0"	TYPE A	
AS-5	4'-0"	8'-0"	TYPE A	
AS-6	2'-4 1/2"	8'-0"	TYPE C	
AS-7	4'-0"	9'-0"	TYPE A	

Revision Schedule

No.	Description	Date

**THE RIDGE
GUEST RANCH**

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

NOTED,
DIMENSION PLAN
AND SCHEDULES



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS101.0

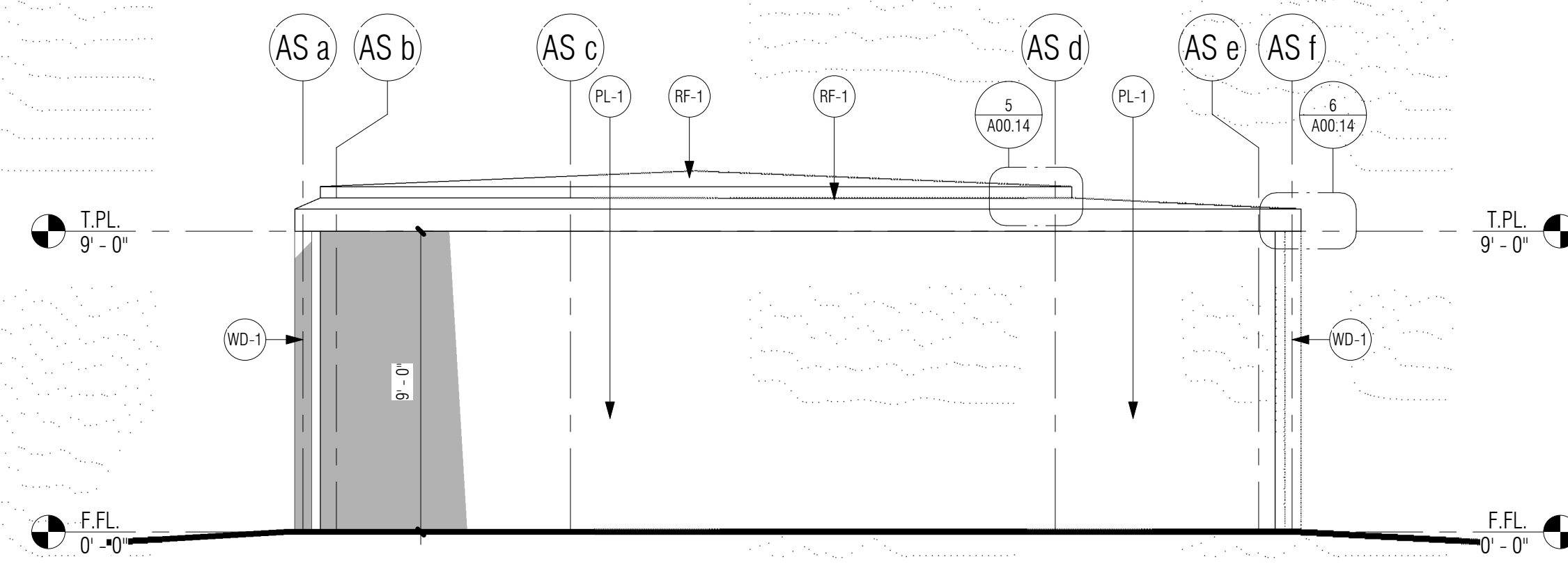
Scale 1/4" = 1'-0"

FINISH LEGEND KEYNOTES

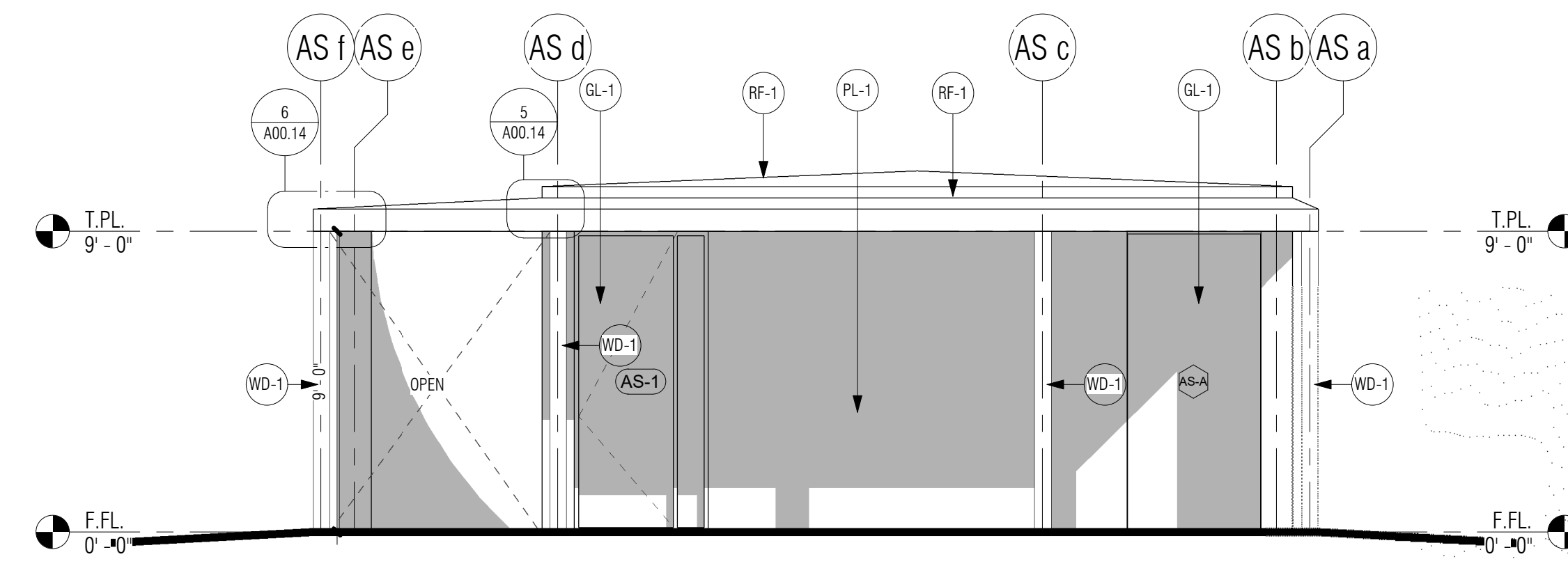
NOTE #	FLOOR, TEXT/STON FINISH	NOTE TEXT
FL-1	FLOOR, TEXT/STON FINISH	
GL-1	CLEAR VISION GLAZING	
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR	
RF-1	CLASS A MEMBRANE ROOF	
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES	
WD-1	STUCCO FINISH TO BE DETERMINED	

Revision Schedule

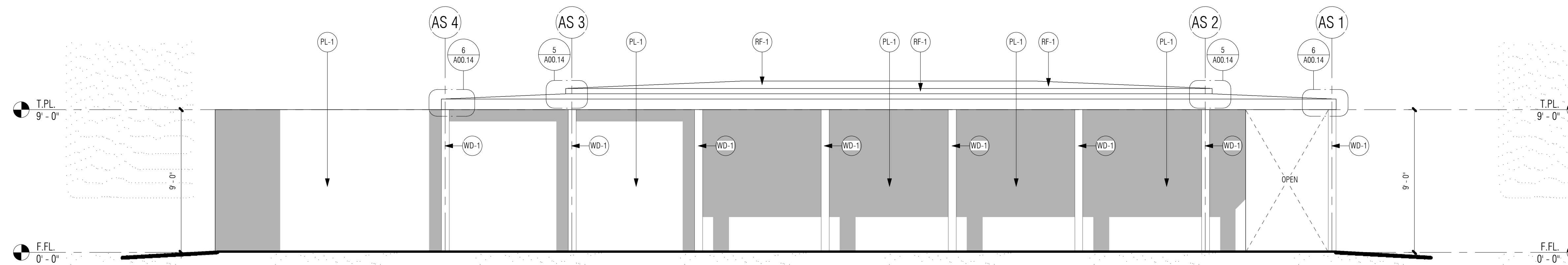
No.	Description	Date



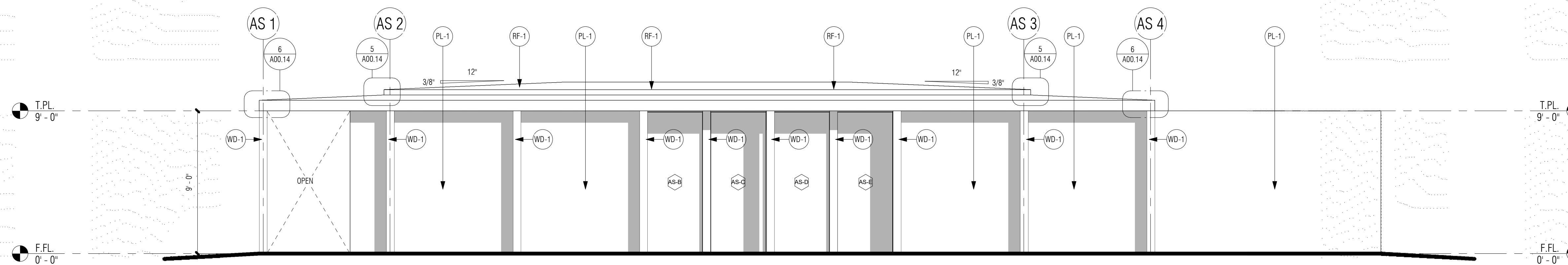
1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



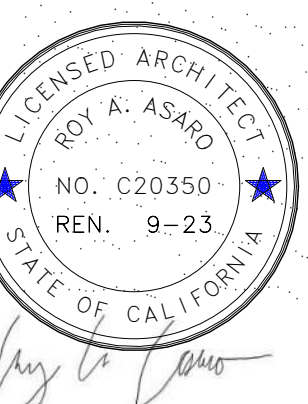
4 SOUTH ELEVATION
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
EXTERIOR
ELEVATIONS



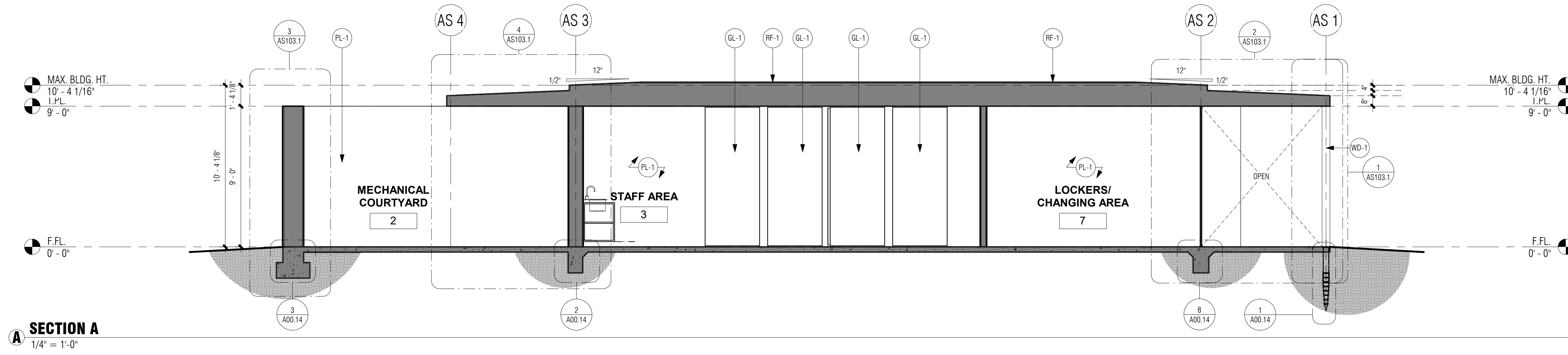
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS102.0

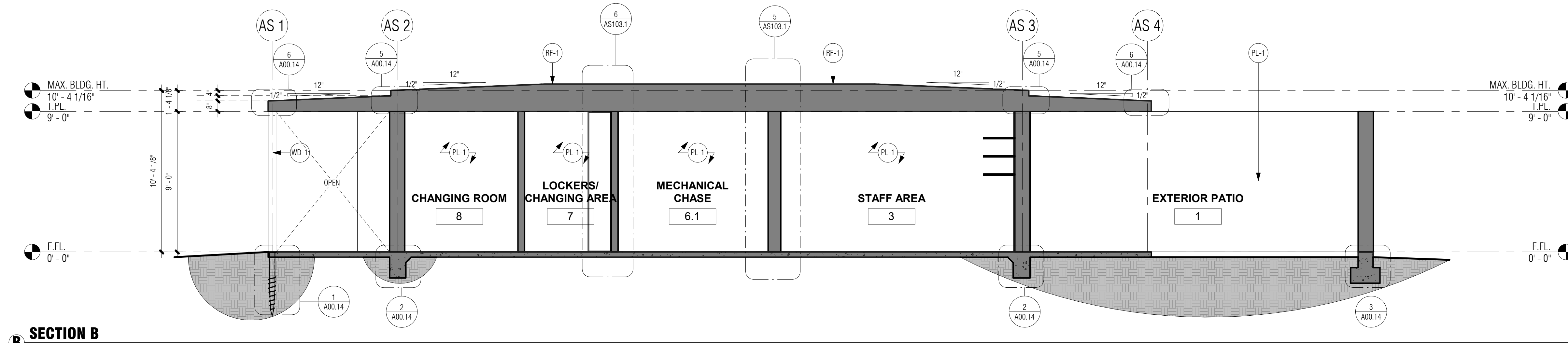
Scale 1/4" = 1'-0"

FINISH LEGEND KEYNOTES	
NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RP-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date



A SECTION A
1/4" = 1'-0"



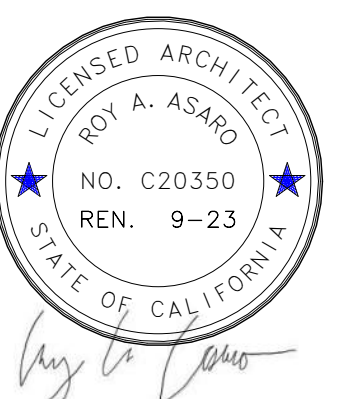
B SECTION B
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

ADMIN. & STAFF
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS103.0

Scale 1/4" = 1'-0"

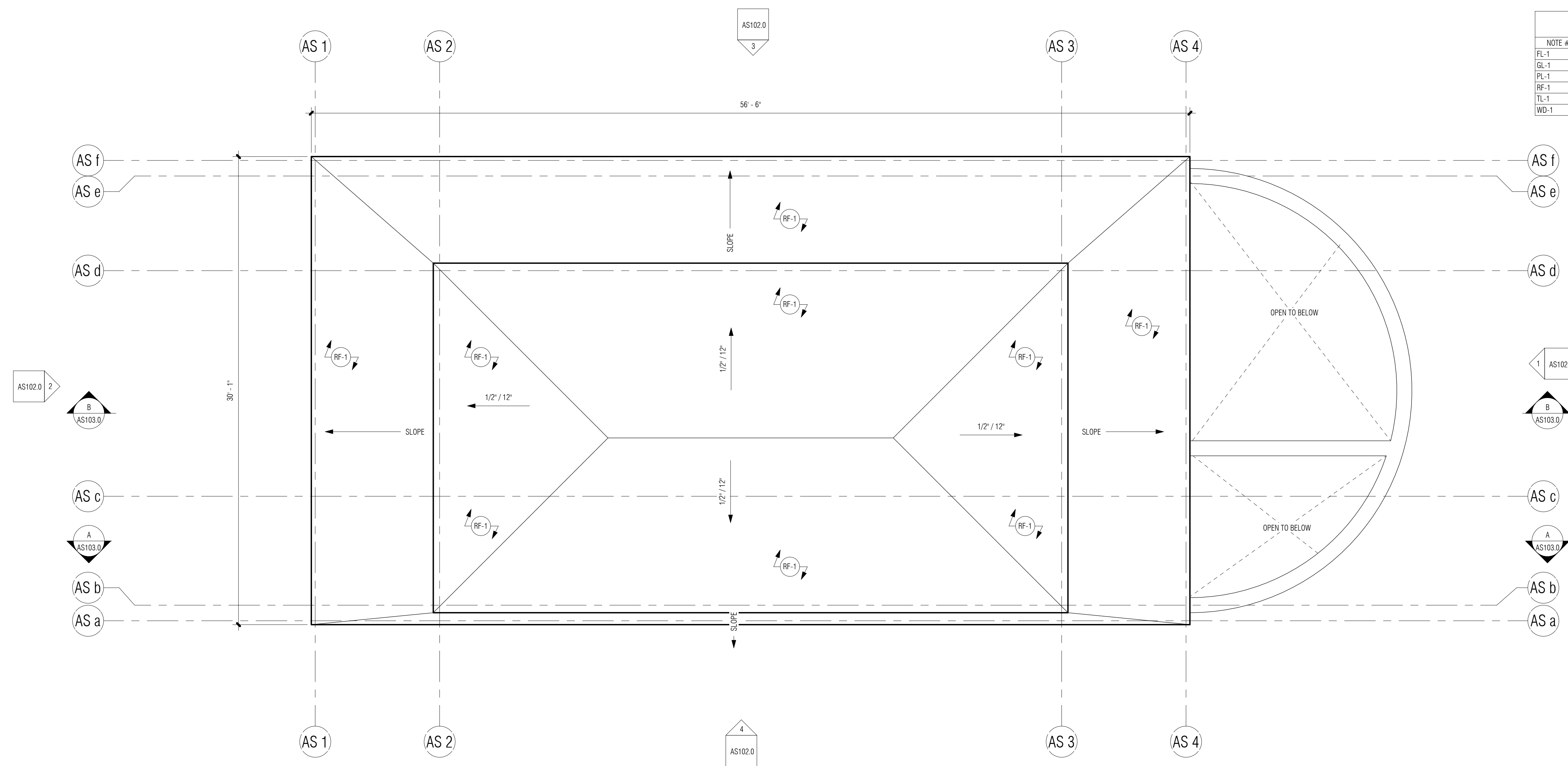
Revision Schedule		
No.	Description	Date

FINISH LEGEND KEYNOTES	
NOTE #	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

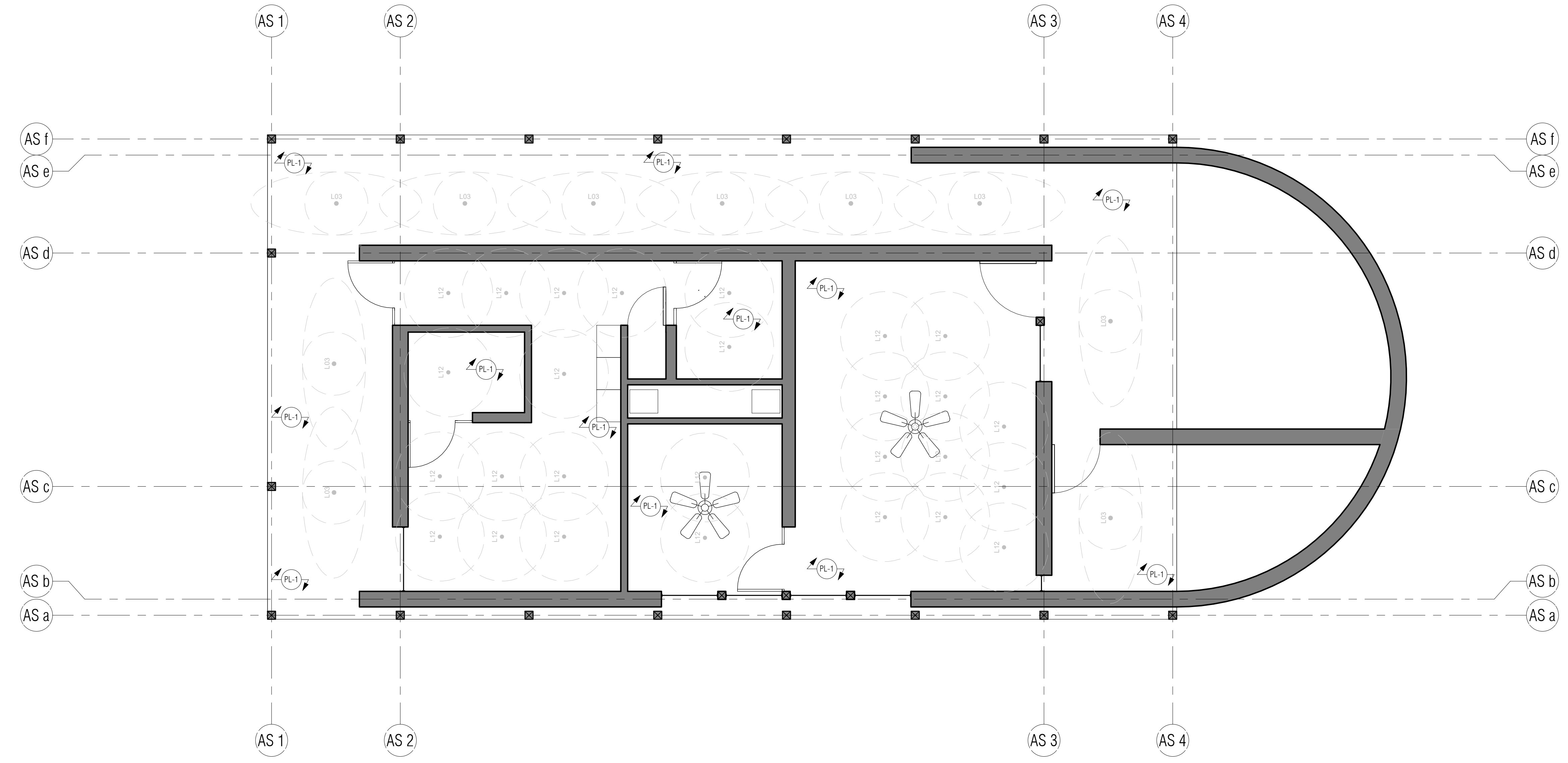
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2083 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.755A.4

ROOFING NOTES
3 1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"



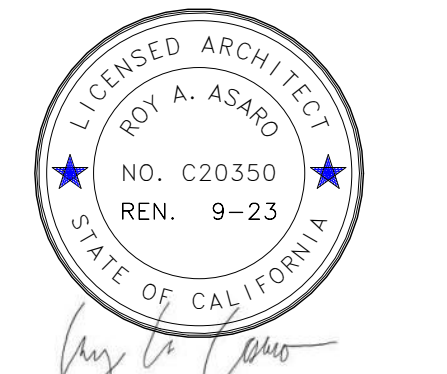
2 REFLECTED CEILING PLAN
1/4" = 1'-0"

**THE RIDGE
GUEST RANCH**

ADMIN. & STAFF
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN &
RCP



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

AS104.0

Scale 1/4" = 1'-0"

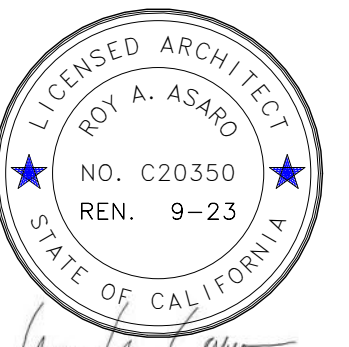
Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

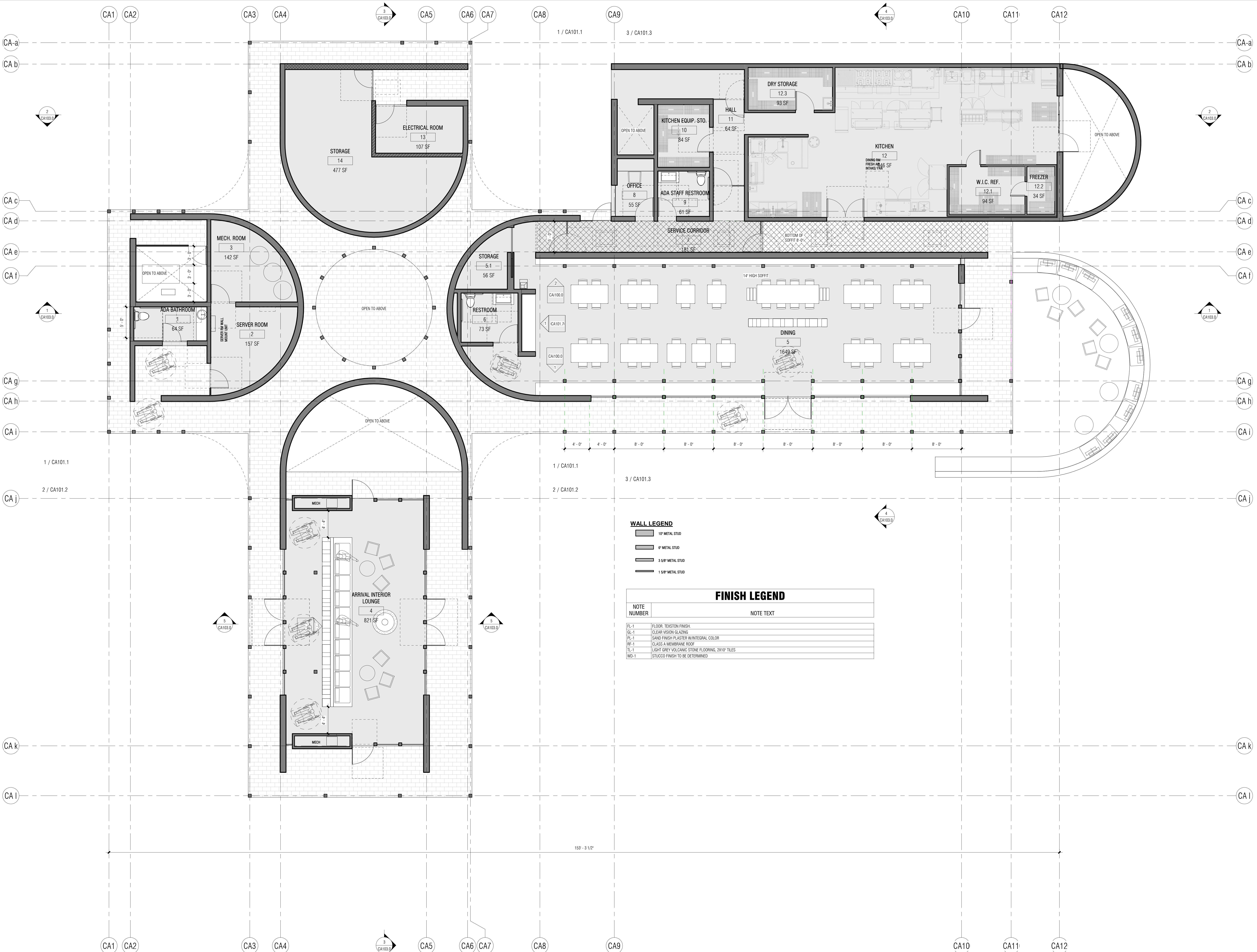
**OVERALL FLOOR
PLAN**



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.0

Scale 3/16" = 1'-0"



WALL LEGEND

	10' METAL STUD
	6' METAL STUD
	3 5/8' METAL STUD
	1 5/8' METAL STUD

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	GLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 24X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

1 OVERALL FLOOR PLAN
3/16" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

WINDOW SCHEDULE						
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS	
CA-B	3'-6"	9'-0"				
CA-BB	1'-0"	9'-0"				
CA-C	3'-6"	9'-0"				
CA-D	3'-6"	9'-0"				
CA-DD	1'-0"	9'-0"				
CA-E	3'-6"	9'-0"				
CA-EE	3'-6"	9'-0"				
CA-F	3'-6"	9'-0"				
CA-G	3'-6"	9'-0"				
CA-H	3'-6"	9'-0"				
CA-J	3'-6"	9'-0"				
CA-L	3'-6"	9'-0"				
CA-M	3'-6"	9'-0"				
CA-N	3'-6"	9'-0"				
CA-P	3'-6"	9'-0"				
CA-Q	3'-6"	9'-0"				
CA-R	7'-6"	9'-0"				
CA-S	7'-6"	9'-0"				
CA-T	7'-6"	9'-0"				
CA-U	7'-6"	9'-0"				
CA-V	7'-6"	9'-0"				
CA-W	2'-1 1/8"	9'-0"				
CA-X	3'-6"	9'-0"				
CA-Y	3'-6"	9'-0"				
CA-Z	1'-0"	9'-0"				
CA-ZA	5'-0"	9'-0"				
CA-ZB	3'-0"	9'-0"				
CA-ZC	3'-0"	9'-0"				

DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS		
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-8	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)		
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)		
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 24")		
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)		
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-22	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/4" W/ STAINED WOOD SIDE PANEL 12")		
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)		
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)		
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)		
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)		

THE RIDGE GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

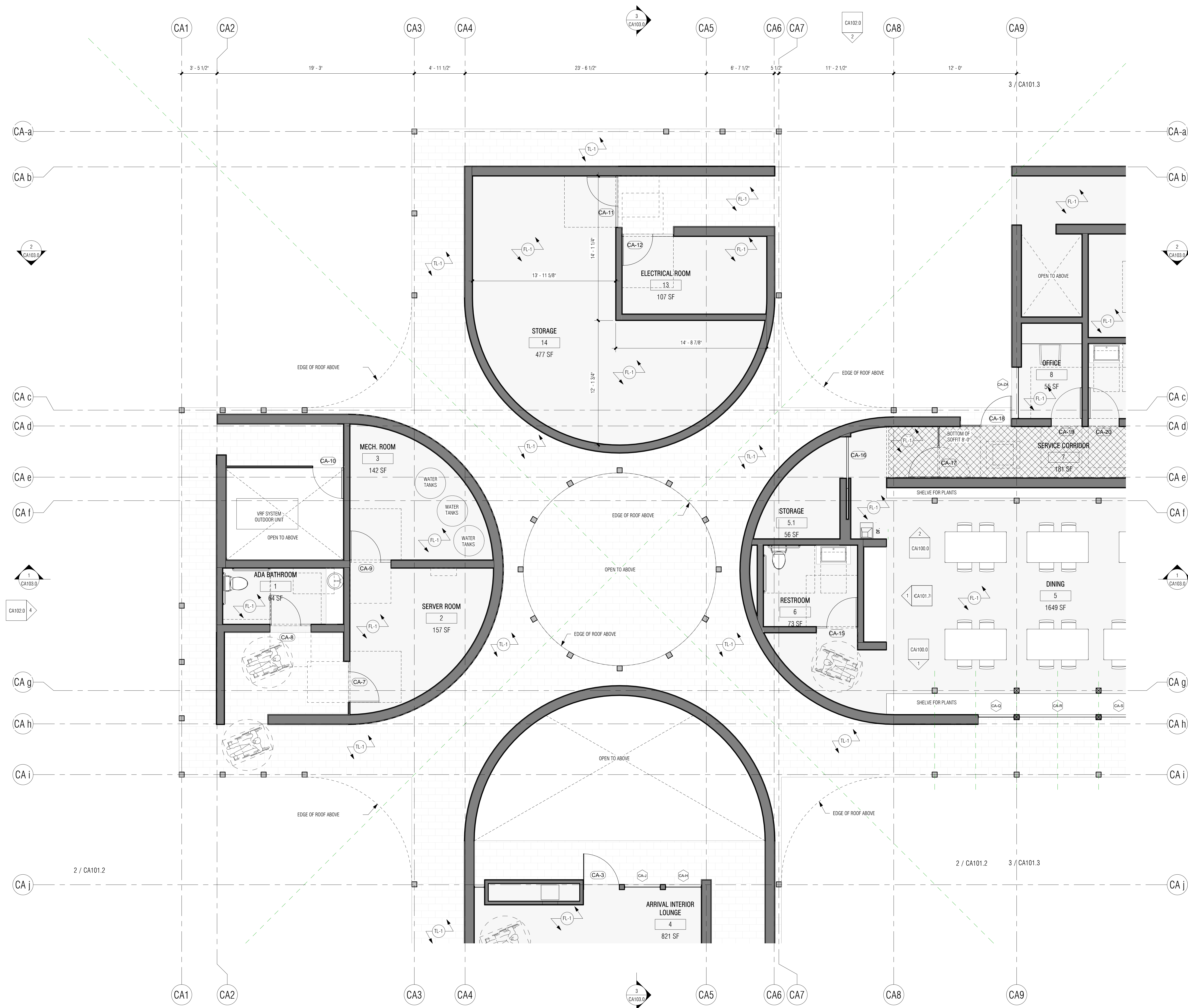
ENLARGED FLOOR PLAN



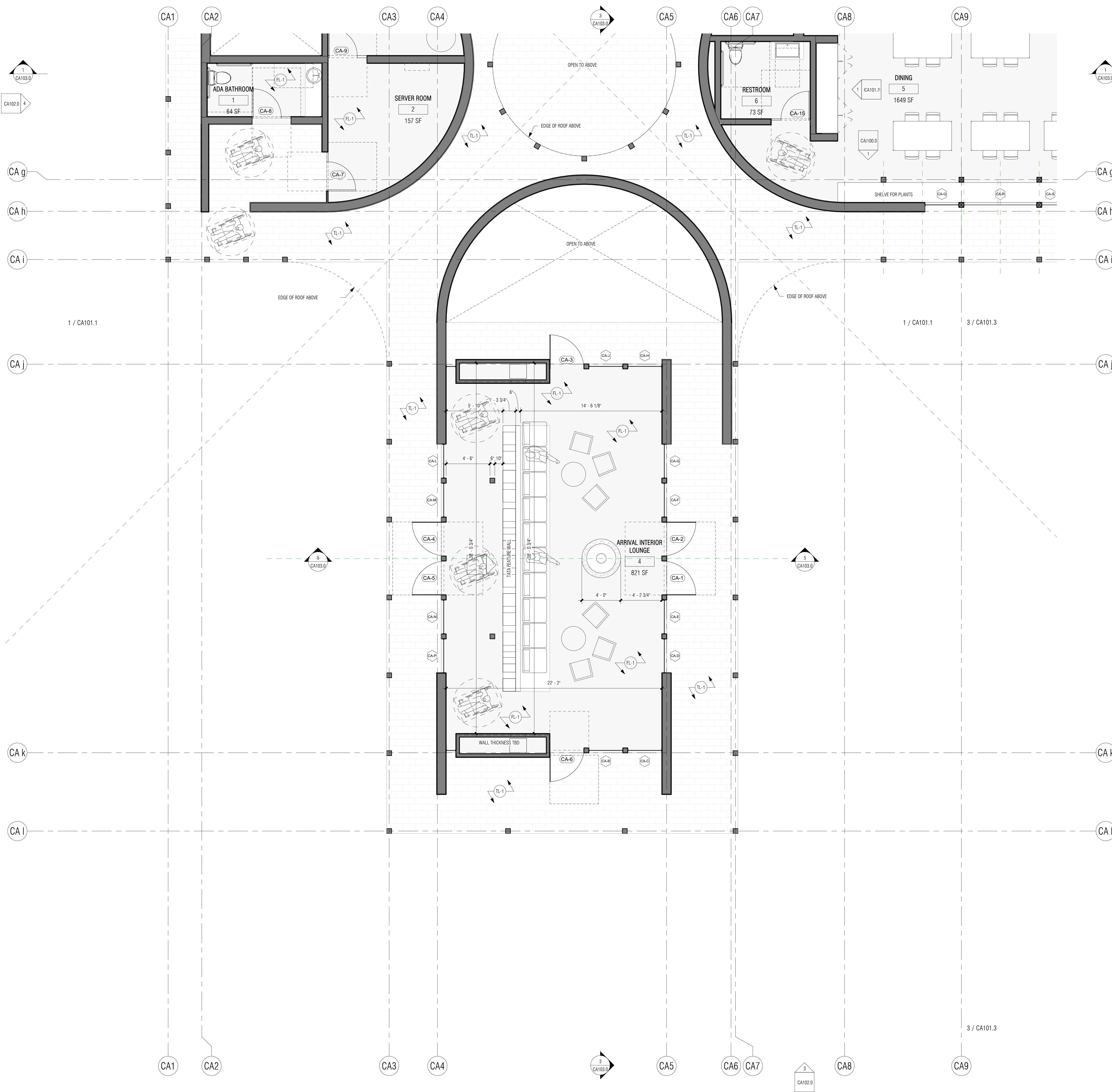
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.1

Scale 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN
1/4" = 1'-0"



FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

ROY A. ASARO ARCHITECT, INC.
 Roy A. Asaro principal
 P.O. Box 300576, Escondido, Ca. 92030
 C 760.805.4640 F 760.837.3049
 royasaro@gmail.com

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
CA-B	3'-6"	9'-0"			
CA-BB	1'-0"	9'-0"			
CA-C	3'-6"	9'-0"			
CA-D	3'-6"	9'-0"			
CA-DD	1'-0"	9'-0"			
CA-E	3'-6"	9'-0"			
CA-EE	3'-6"	9'-0"			
CA-F	3'-6"	9'-0"			
CA-G	3'-6"	9'-0"			
CA-H	3'-6"	9'-0"			
CA-I	3'-6"	9'-0"			
CA-J	3'-6"	9'-0"			
CA-K	7'-6"	9'-0"			
CA-L	7'-6"	9'-0"			
CA-M	3'-6"	9'-0"			
CA-N	3'-6"	9'-0"			
CA-P	3'-6"	9'-0"			
CA-Q	3'-6"	9'-0"			
CA-R	7'-6"	9'-0"			
CA-S	7'-6"	9'-0"			
CA-T	7'-6"	9'-0"			
CA-U	7'-6"	9'-0"			
CA-V	7'-6"	9'-0"			
CA-W	2'-1 1/8"	9'-0"			
CA-X	3'-6"	9'-0"			
CA-Y	3'-6"	9'-0"			
CA-Z	1'-0"	9'-0"			
CA-2A	5'-0"	9'-0"			
CA-2B	3'-0"	9'-0"			
CA-2C	3'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-8	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)	
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)	
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 24")	
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)	
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-22	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 36" W/ STAINED WOOD SIDE PANEL 12")	
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)	
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)	
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)	

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

COMMON AREAS
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ENLARGED
FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA101.2

Scale 1/4" = 1'-0"

2 ENLARGED FLOOR PLAN
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ENLARGED
FLOOR PLAN

Project Number 22.003

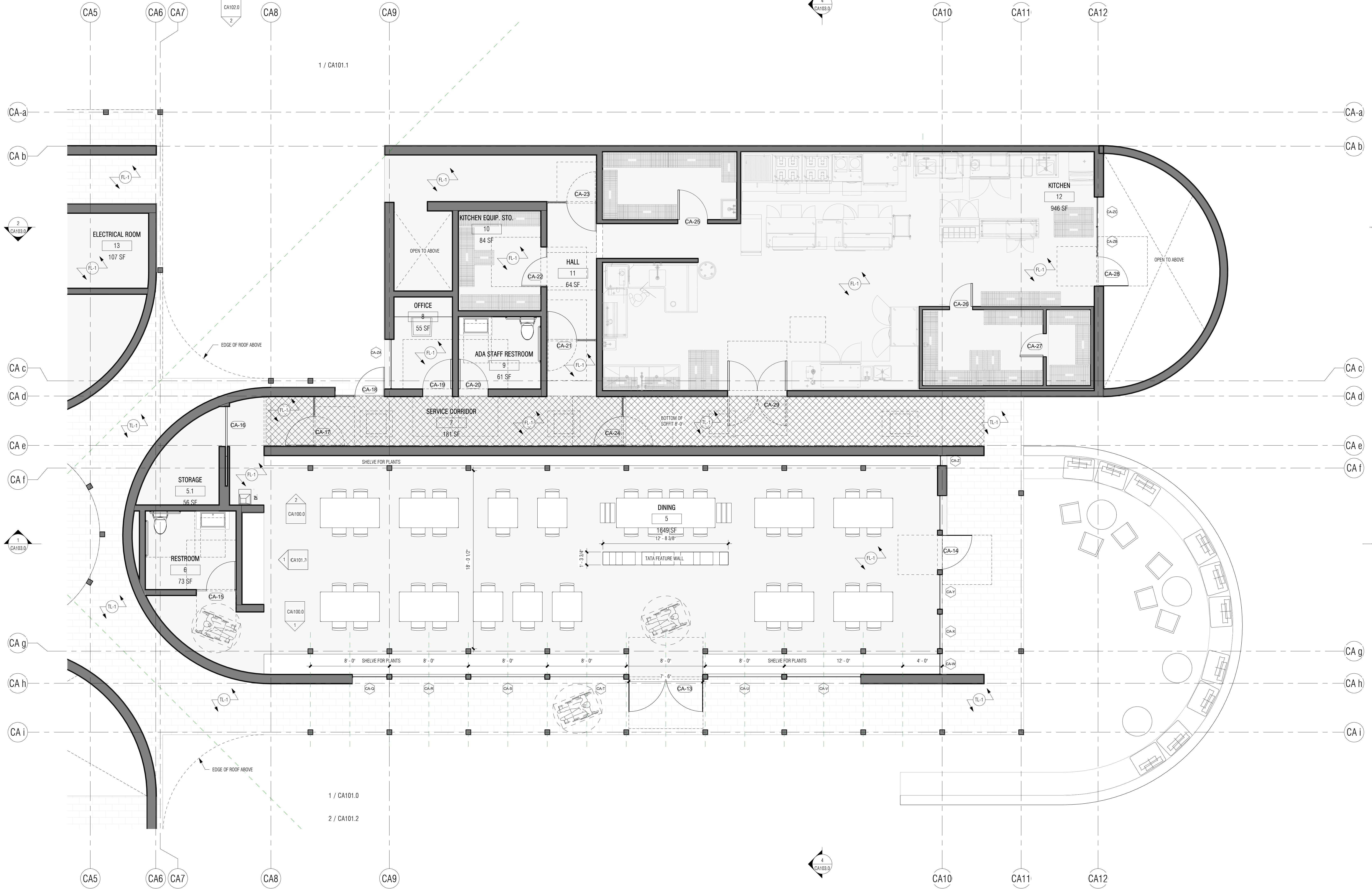
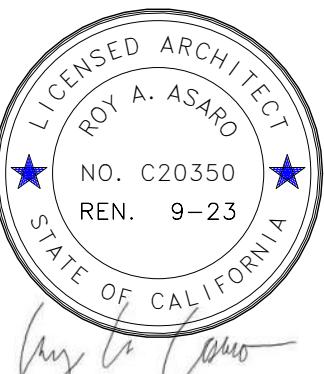
Date 05/17/23

Drawn By YAS

Checked By RAA

CA101.3

Scale 1/4" = 1'-0"



3 ENLARGED FLOOR PLAN
1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/WHITE GROUT
WF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

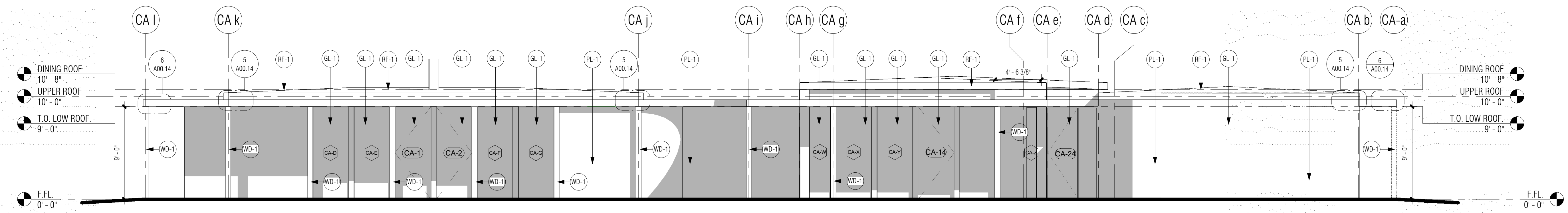
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
CA-B	3'-6"	9'-0"			
CA-BB	1'-0"	9'-0"			
CA-C	3'-6"	9'-0"			
CA-D	3'-6"	9'-0"			
CA-DD	1'-0"	9'-0"			
CA-E	3'-6"	9'-0"			
CA-EE	3'-6"	9'-0"			
CA-F	3'-6"	9'-0"			
CA-G	3'-6"	9'-0"			
CA-H	3'-6"	9'-0"			
CA-J	3'-6"	9'-0"			
CA-L	3'-6"	9'-0"			
CA-M	3'-6"	9'-0"			
CA-N	3'-6"	9'-0"			
CA-P	3'-6"	9'-0"			
CA-Q	3'-6"	9'-0"			
CA-R	7'-6"	9'-0"			
CA-S	7'-6"	9'-0"			
CA-T	7'-6"	9'-0"			
CA-U	7'-6"	9'-0"			
CA-V	7'-6"	9'-0"			
CA-W	2'-1 1/8"	9'-0"			
CA-X	3'-6"	9'-0"			
CA-Y	3'-6"	9'-0"			
CA-Z	1'-0"	9'-0"			
CA-ZA	5'-0"	9'-0"			
CA-ZB	3'-0"	9'-0"			
CA-ZC	3'-0"	9'-0"			

MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
CA-1	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-2	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-3	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-4	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-5	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-6	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-7	4'-0"	9'-0"	TYPE A	(SOLID CORE WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")
CA-8	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")
CA-9	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")
CA-10	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-11	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")
CA-12	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")
CA-13	3'-9 1/4"	9'-0"	TYPE H	(EXTERIOR DOUBLE DOOR TEMP. GLASS)
CA-14	3'-6"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-15	4'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")

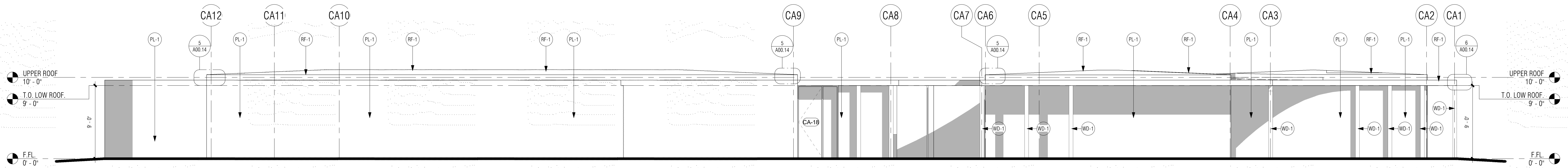
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS
CA-16	4'-0"	9'-0"	TYPE G	(INTERIOR POCKET DOOR SOLID CORE STAINED WOOD)
CA-17	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-18	5'-0"	9'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")
CA-19	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-20	3'-0"	9'-0"	TYPE C	(EXTERIOR & INTERIOR SOLID CORE STAINED WOOD)
CA-21	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-22	4'-0"	8'-0"	TYPE A	(SOLID CORE STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")
CA-23	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-24	5'-0"	9'-0"	TYPE J	(EXTERIOR SWING DOOR SOLID CORE STAINED WOOD W/ GLASS SIDELIGHT)
CA-25	3'-0"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-26	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-27	2'-4"	9'-0"	TYPE L	(INTERIOR HOLLOW METAL DOOR)
CA-28	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)
CA-29	6'-0"	9'-0"	TYPE K	(EXTERIOR DOUBLE SWING DOOR STAINLESS STEEL WITH VIEWPORT TEMP. GLASS WINDOW)

Revision Schedule		
No.	Description	Date

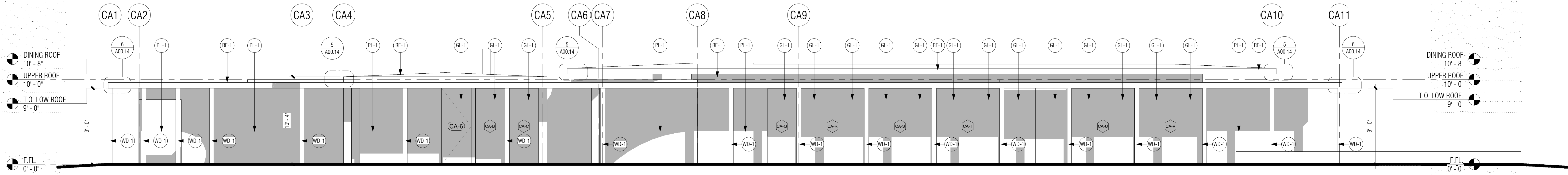
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER, INTEGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.



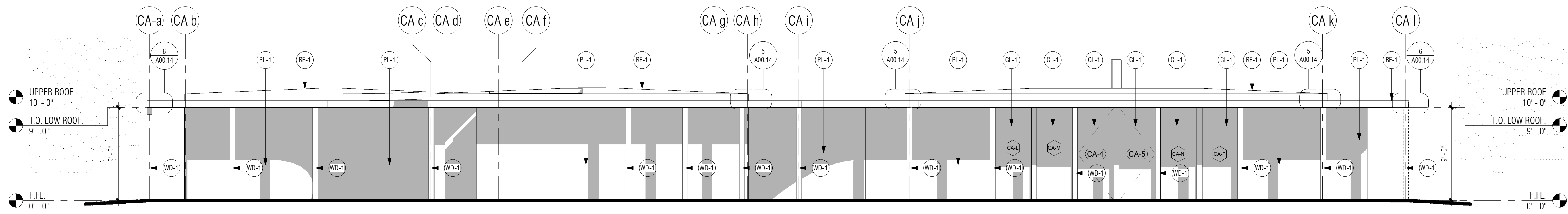
1 EAST EXTERIOR ELEVATION
3/16" = 1'-0"



2 NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"



4 WEST EXTERIOR ELEVATION
3/16" = 1'-0"

THE RIDGE
GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL
BUILDING
ELEVATIONS



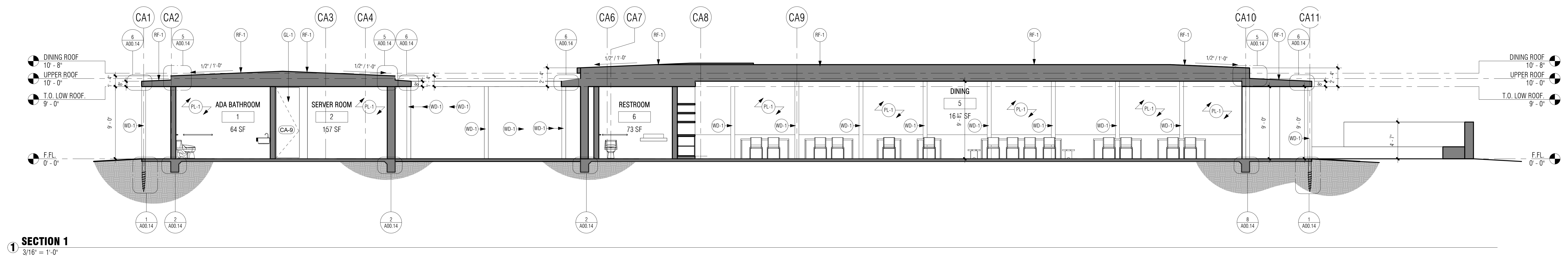
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA102.0

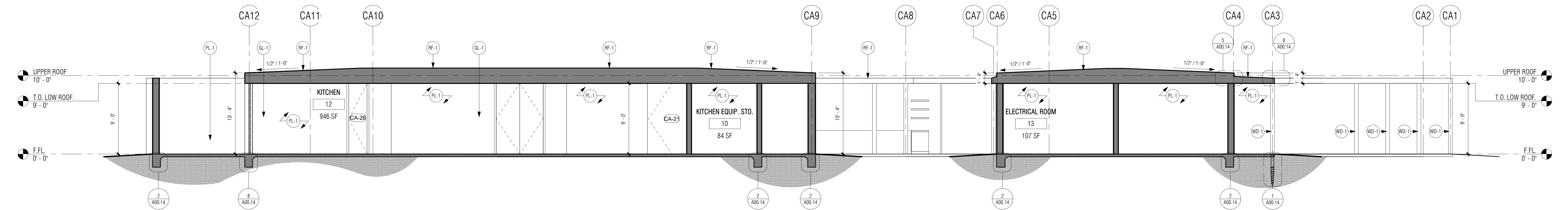
Scale 3/16" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

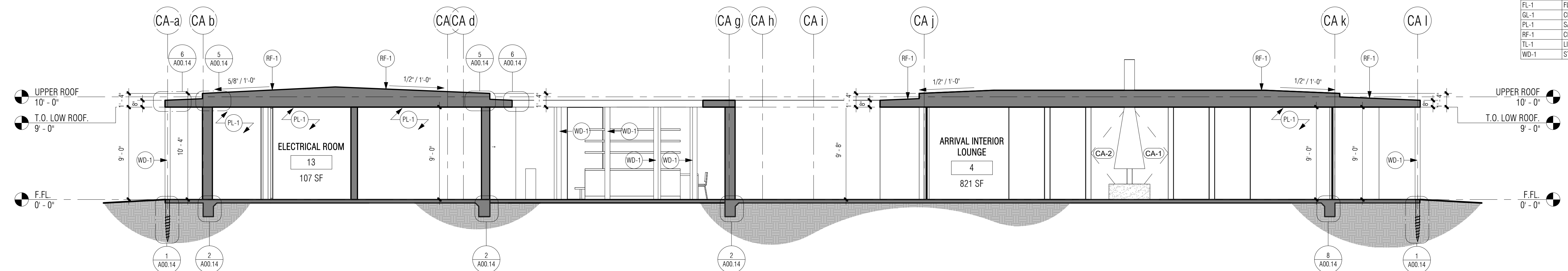


1 SECTION 1
3/16" = 1'-0"

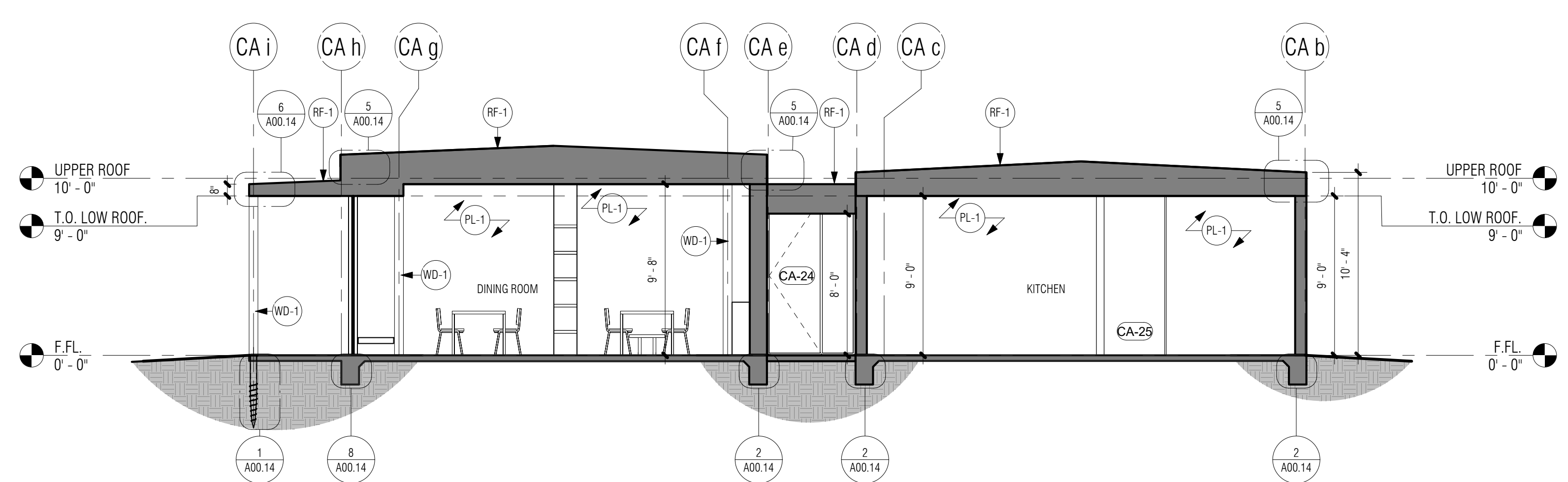


2 SECTION 2
3/16" = 1'-0"

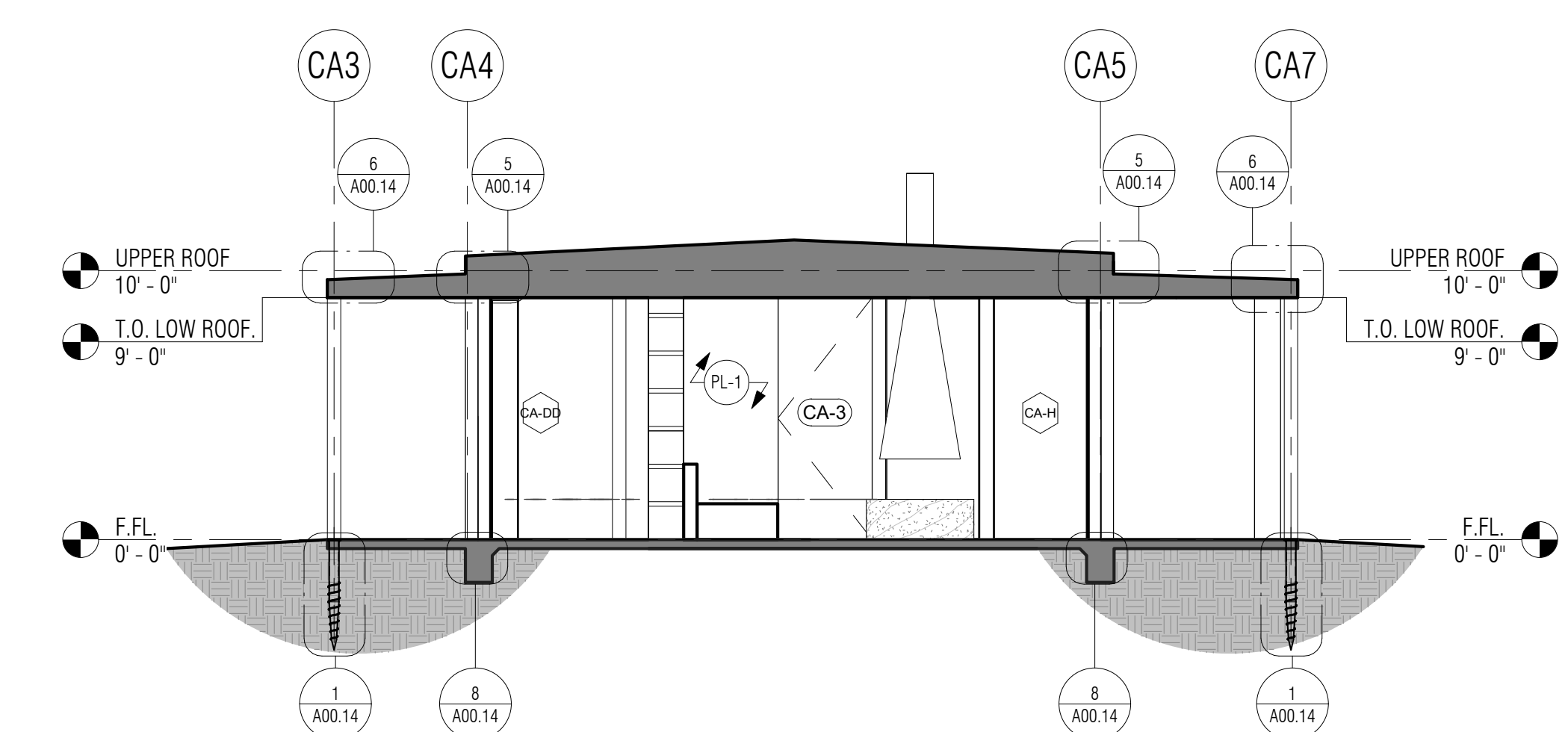
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED



3 SECTION 3
3/16" = 1'-0"



4 SECTION 4
3/16" = 1'-0"

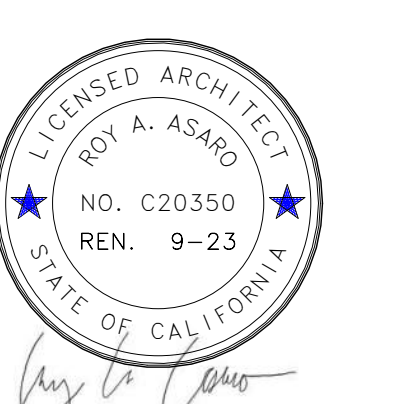


5 SECTION 5
3/16" = 1'-0"

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

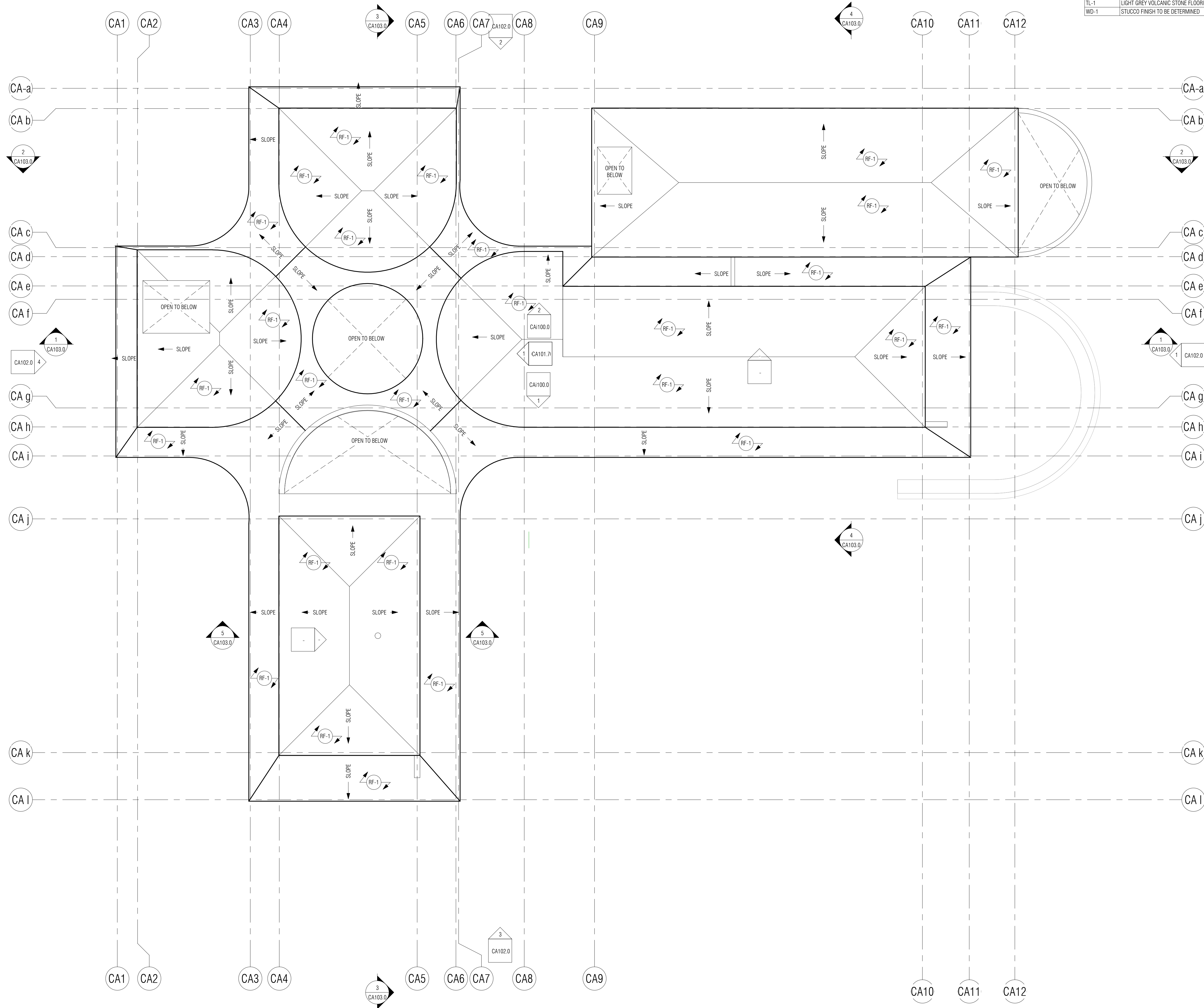
CA103.0

Scale 3/16" = 1'-0"

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date



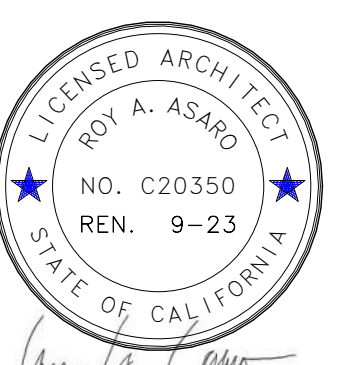
1 OVERALL ROOF PLAN
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

COMMON AREAS
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL ROOF
PLAN



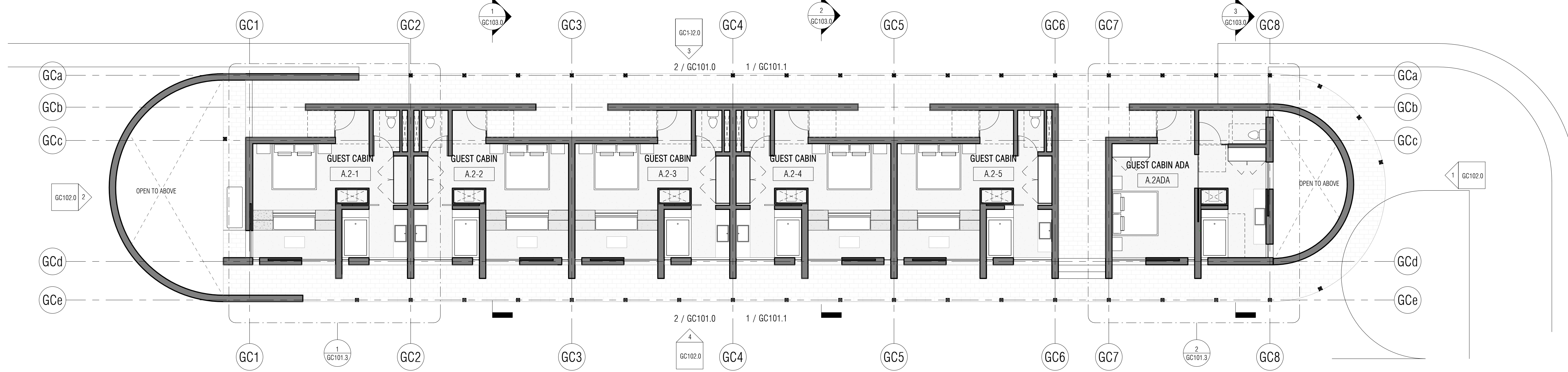
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

CA104.0

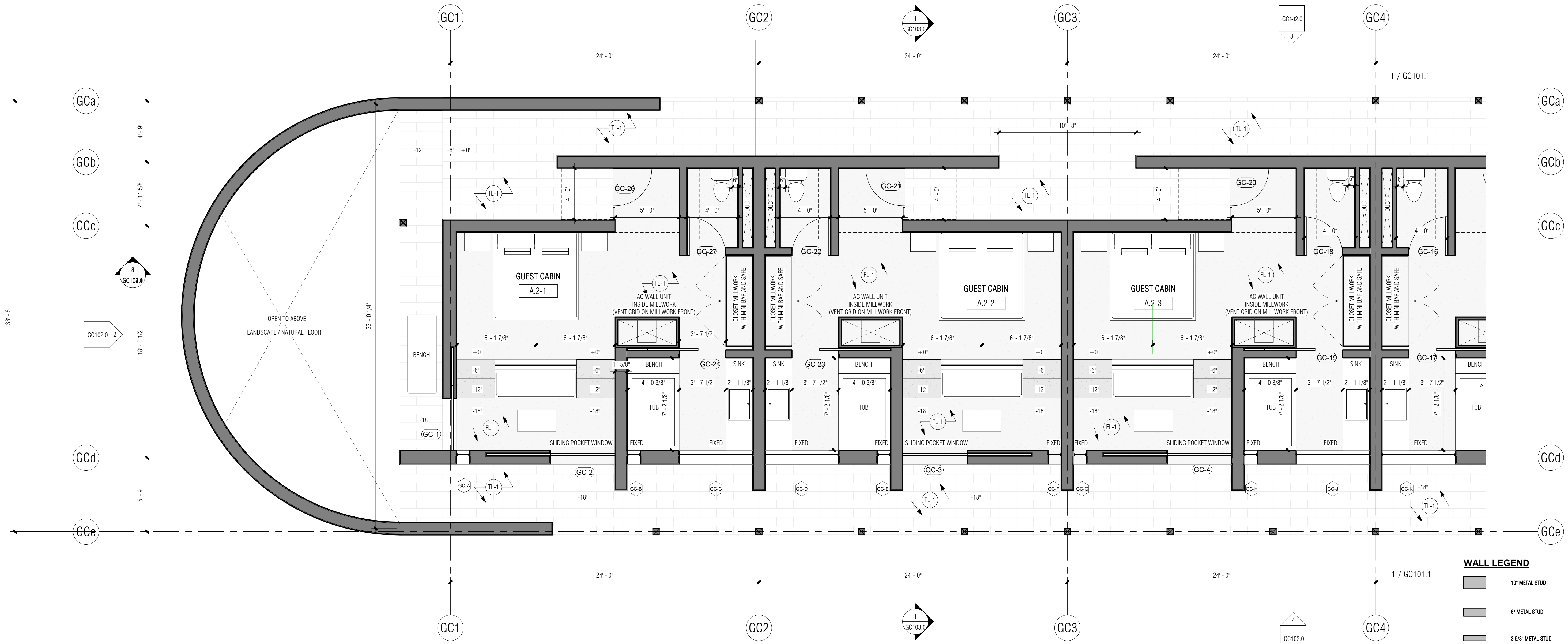
Scale 1/8" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**



1 OVERALL FLOOR PLAN
1/8" = 1'-0"



2 PARTIAL FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

[Symbol]	12" METAL STUD
[Symbol]	6" METAL STUD
[Symbol]	3 5/8" METAL STUD
[Symbol]	1 5/8" METAL STUD

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GC-A	1'-0"	9'-0"			
GC-B	1'-0"	9'-0"			
GC-C	5'-8 5/8"	9'-0"			
GC-D	5'-8 5/8"	9'-0"			
GC-E	1'-0"	9'-0"			
GC-F	1'-0"	9'-0"			
GC-G	1'-0"	9'-0"			
GC-H	1'-0"	9'-0"			
GC-J	5'-8 5/8"	9'-0"			
GC-K	5'-8 5/8"	9'-0"			
GC-L	1'-0"	9'-0"			
GC-M	1'-0"	9'-0"			
GC-N	1'-0"	9'-0"			
GC-P	1'-0"	9'-0"			
GC-Q	5'-8 5/8"	9'-0"			
GC-R	1'-0"	9'-0"			
GC-S	1'-0"	9'-0"			
GC-T	2'-0"	9'-0"			
GC-U	1'-0"	9'-0"			

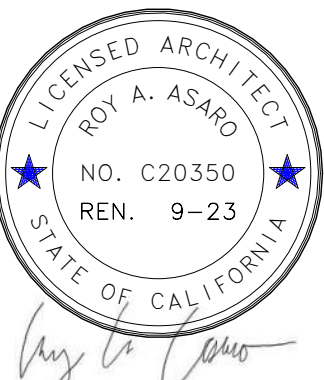
DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COMMENTS
GC-1	4'-0"	9'-0"	TYPE 'E' (GLASS)
GC-2	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-3	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-4	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-5	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-6	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-7	5'-0"	9'-0"	TYPE 'E' (GLASS)
GC-8	4'-0"	9'-0"	TYPE 'E' (GLASS)
GC-9	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-10	4'-4 1/4"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-11	5'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-12	4'-0"	9'-0"	TYPE 'E' (SOLID CORE-STAINED WOOD)
GC-13	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-14	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-15	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-16	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-17	3'-7 1/2"	9'-0"	TYPE 'E' (SOLID CORE-STAINED WOOD)
GC-18	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-19	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-20	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-21	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-23	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-24	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)
GC-26	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
GC-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)
GC-28	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL &
PARTIAL FLOOR
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

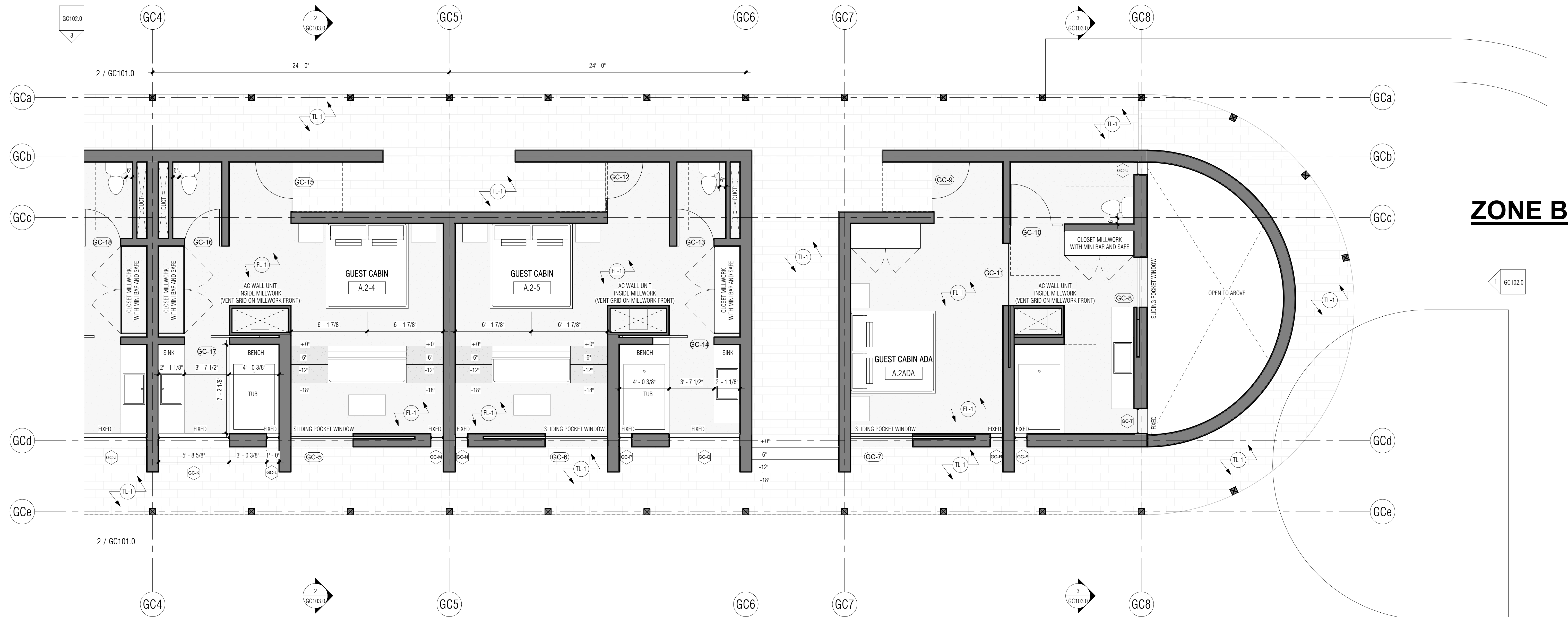
GC101.0

Scale As indicated

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



1 PARTIAL FLOOR PLAN 2
1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING.
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR.
RF-1	CLASS A MEMBRANE ROOF.
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES.
WD-1	STUCCO FINISH TO BE DETERMINED.

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GC-A	1'-0"	9'-0"			
GC-B	1'-0"	9'-0"			
GC-C	5'-8 5/8"	9'-0"			
GC-D	5'-8 5/8"	9'-0"			
GC-E	1'-0"	9'-0"			
GC-F	1'-0"	9'-0"			
GC-G	1'-0"	9'-0"			
GC-H	1'-0"	9'-0"			
GC-J	5'-8 5/8"	9'-0"			
GC-K	5'-8 5/8"	9'-0"			
GC-L	1'-0"	9'-0"			
GC-M	1'-0"	9'-0"			
GC-N	1'-0"	9'-0"			
GC-P	1'-0"	9'-0"			
GC-Q	5'-8 5/8"	9'-0"			
GC-R	1'-0"	9'-0"			
GC-S	1'-0"	9'-0"			
GC-T	2'-0"	9'-0"			
GC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	COMMENTS		
GC-1	4'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-2	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-3	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-4	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-5	9'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-6	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-7	5'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-8	4'-0"	9'-0"	TYPE 'E' (GLASS)		
GC-9	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-10	4'-4 1/4"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-11	5'-0"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD)		
GC-12	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-13	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-14	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-15	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-16	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-17	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-18	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-19	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-20	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-21	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-23	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-24	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		
GC-26	4'-0"	9'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)		
GC-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)		
GC-28	3'-7 1/2"	9'-0"	TYPE 'F' (SOLID CORE-STAINED WOOD)		

CUP SUBMITTAL

PARTIAL FLOOR
PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC101.1

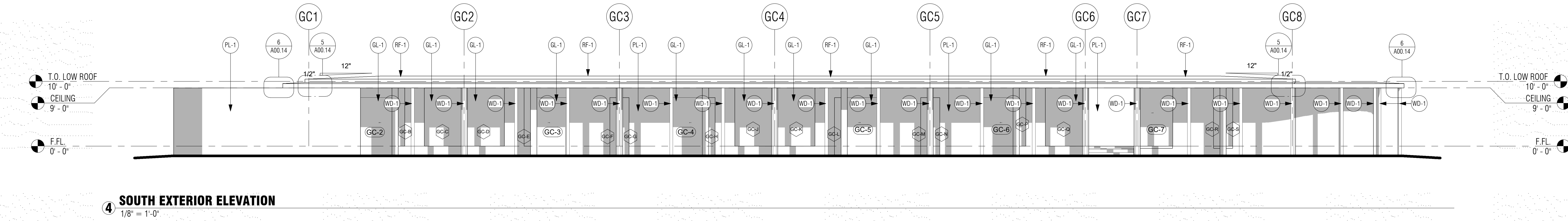
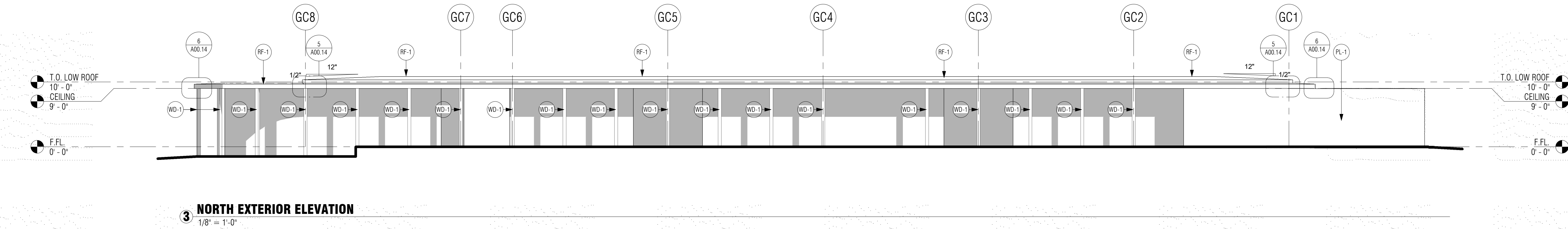
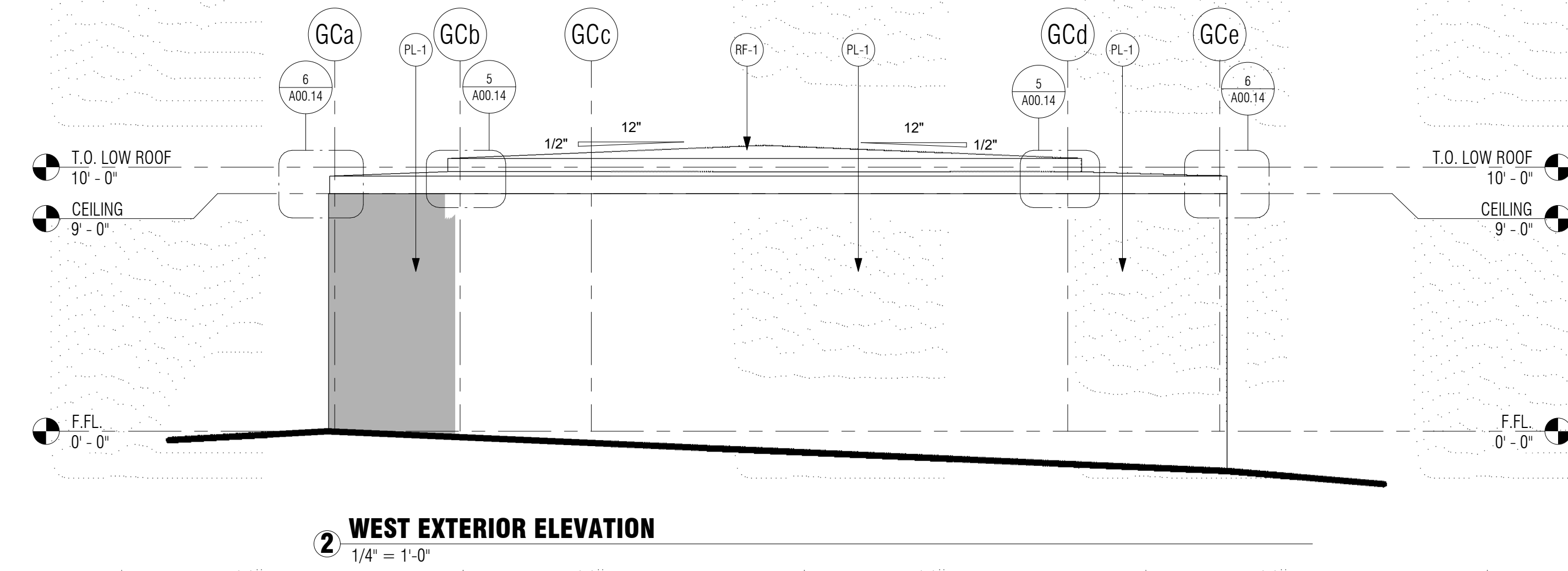
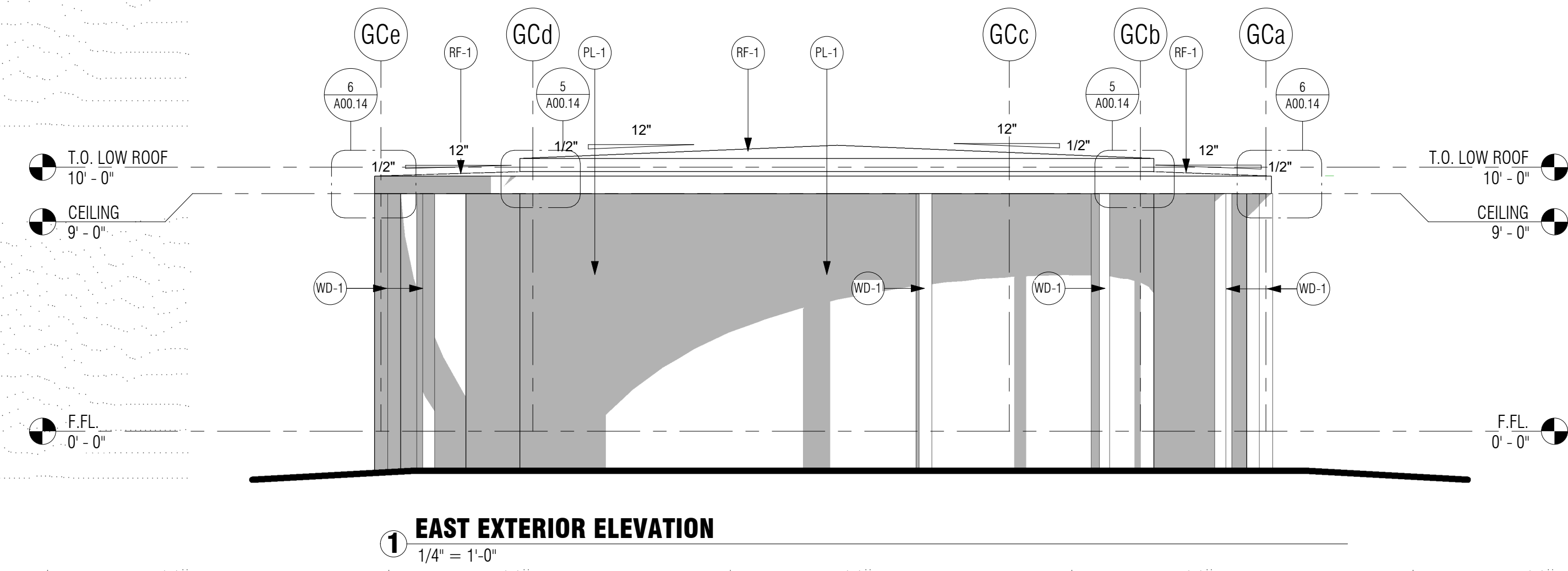
Scale 1/4" = 1'-0"

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule

No.	Description	Date

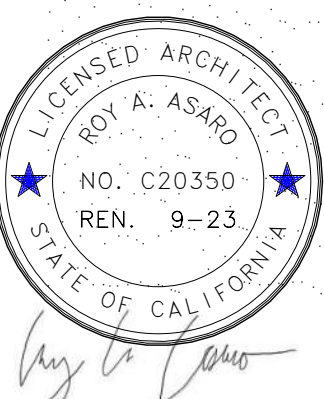


THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92661

CUP SUBMITTAL

EXTERIOR
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC102.0

Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

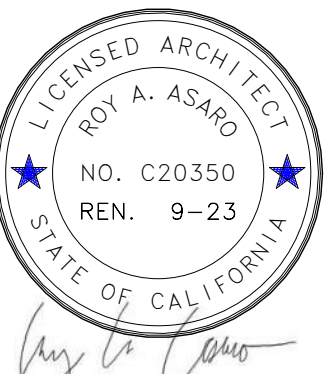
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

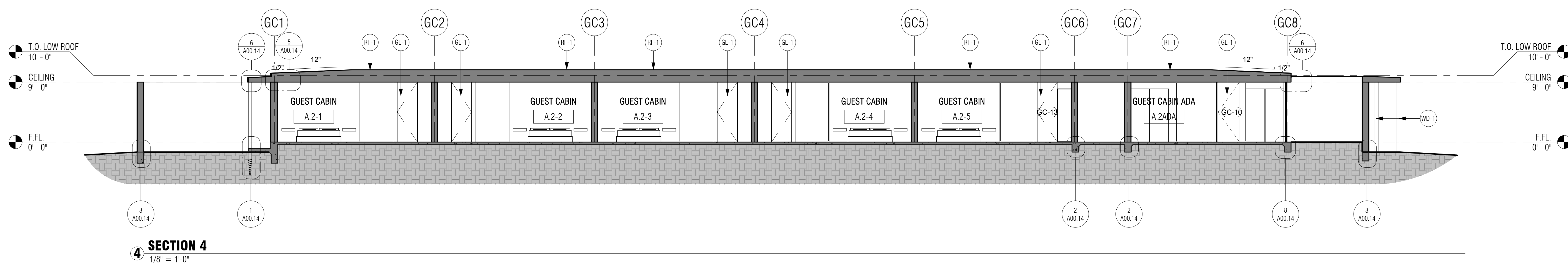
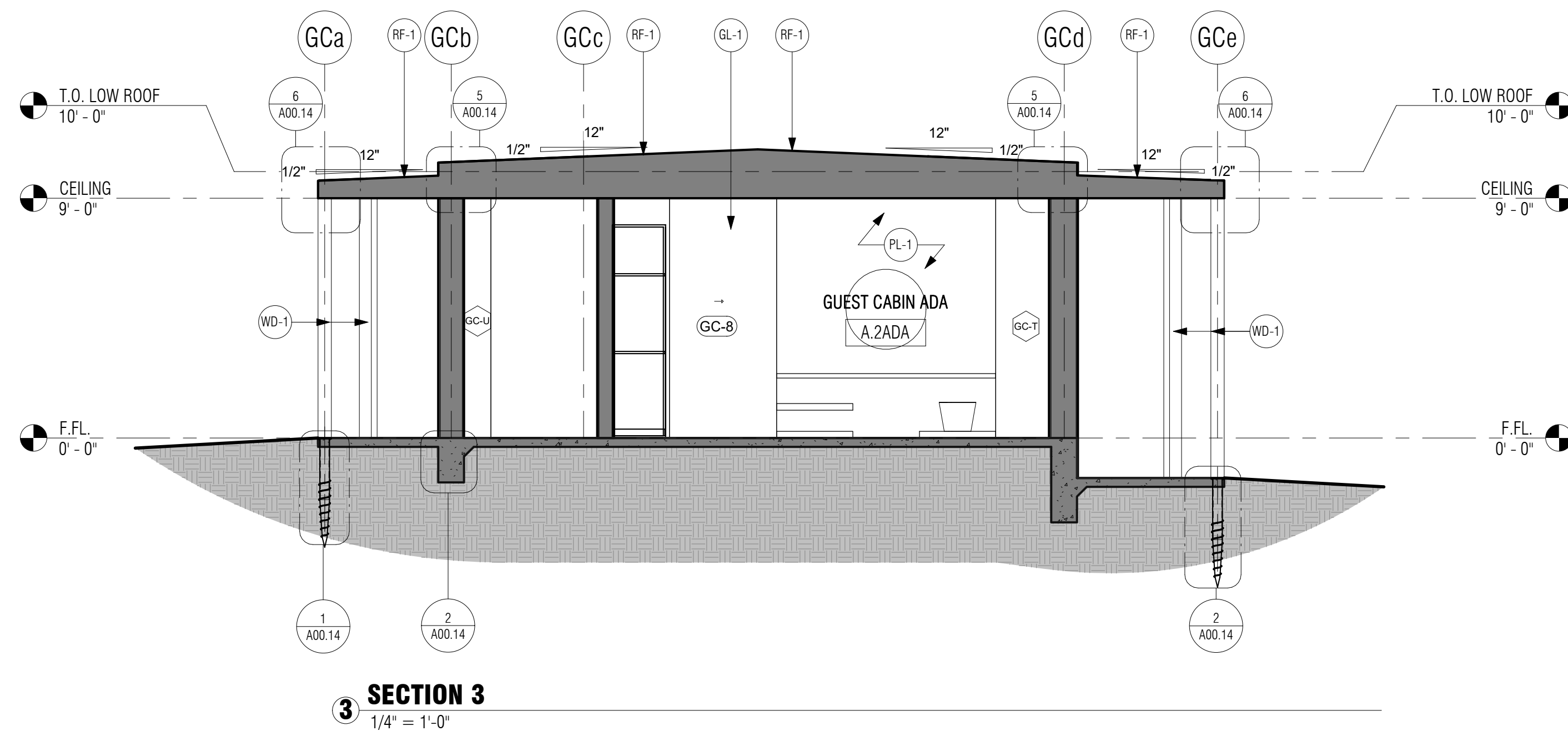
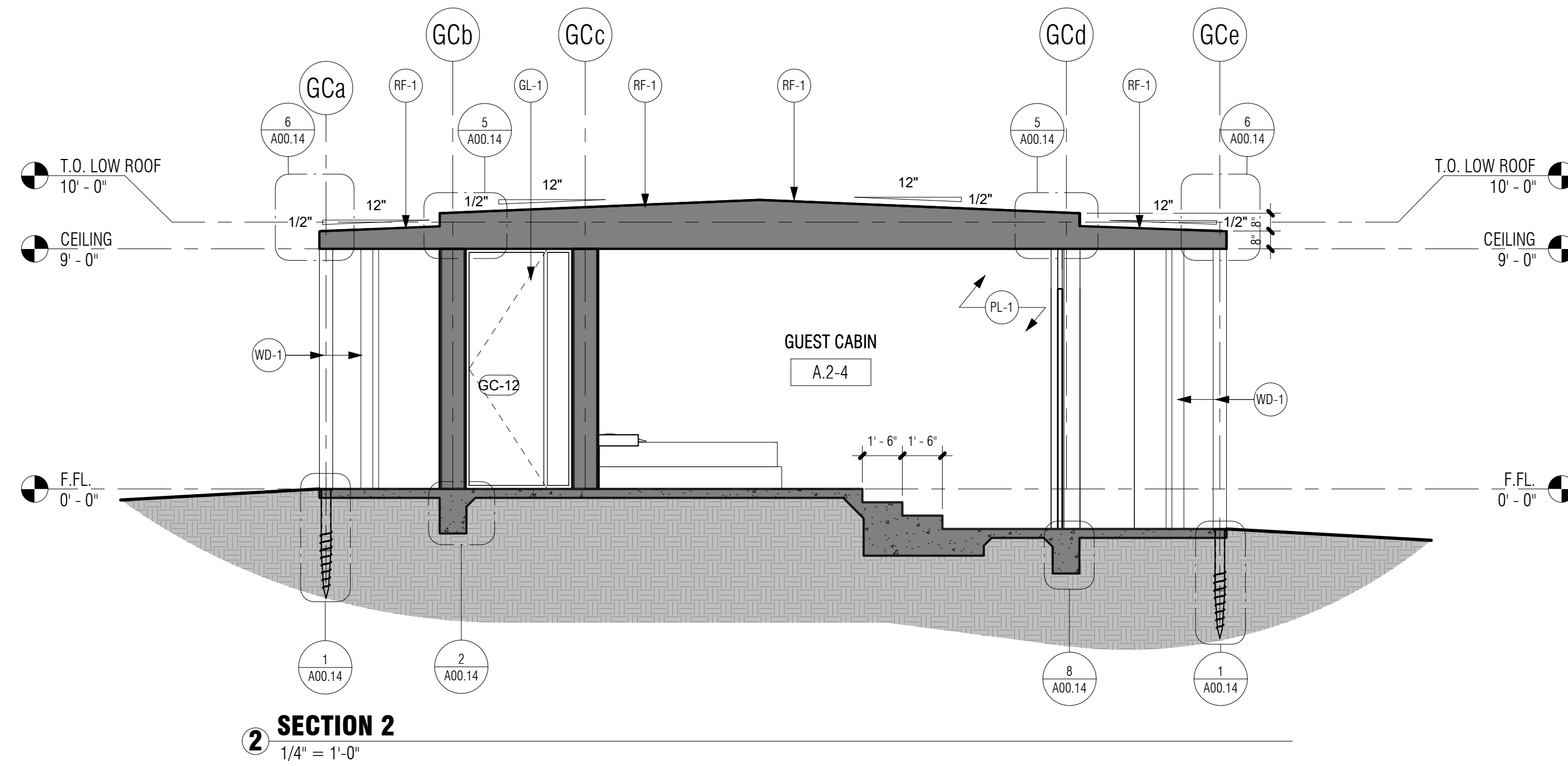
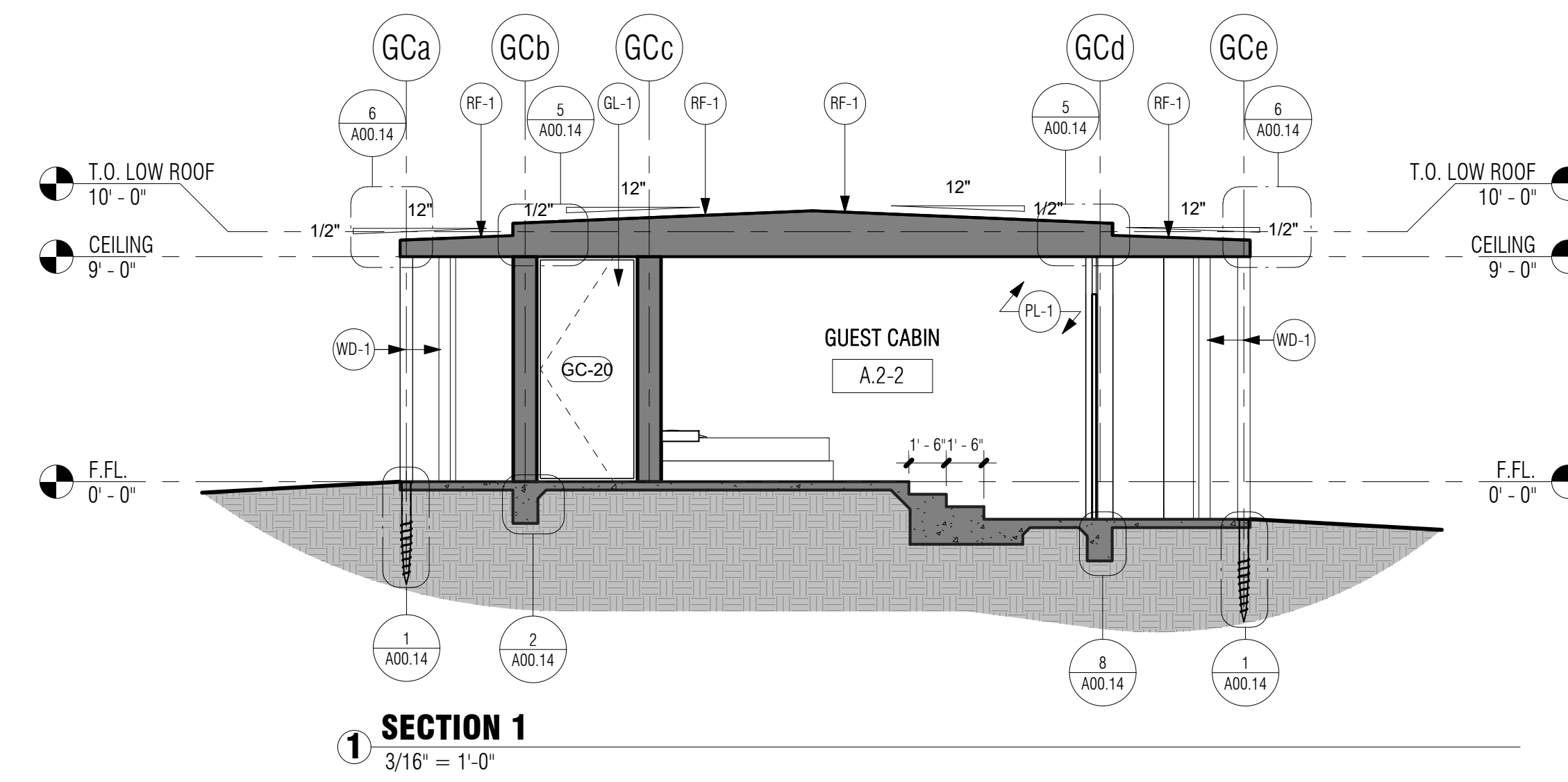
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC103.0

Scale As indicated



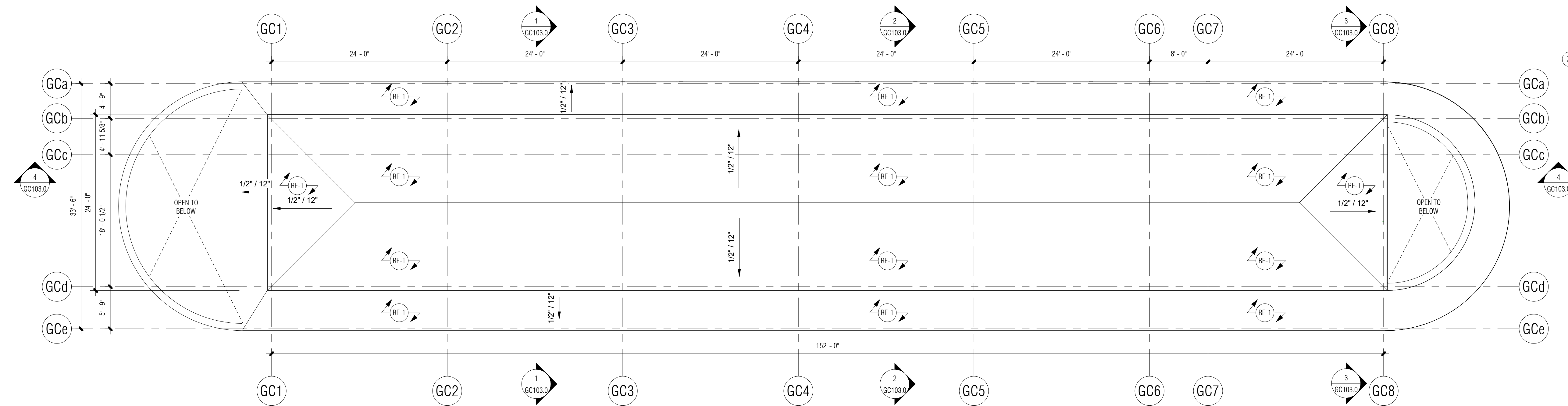
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTURED FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10' TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

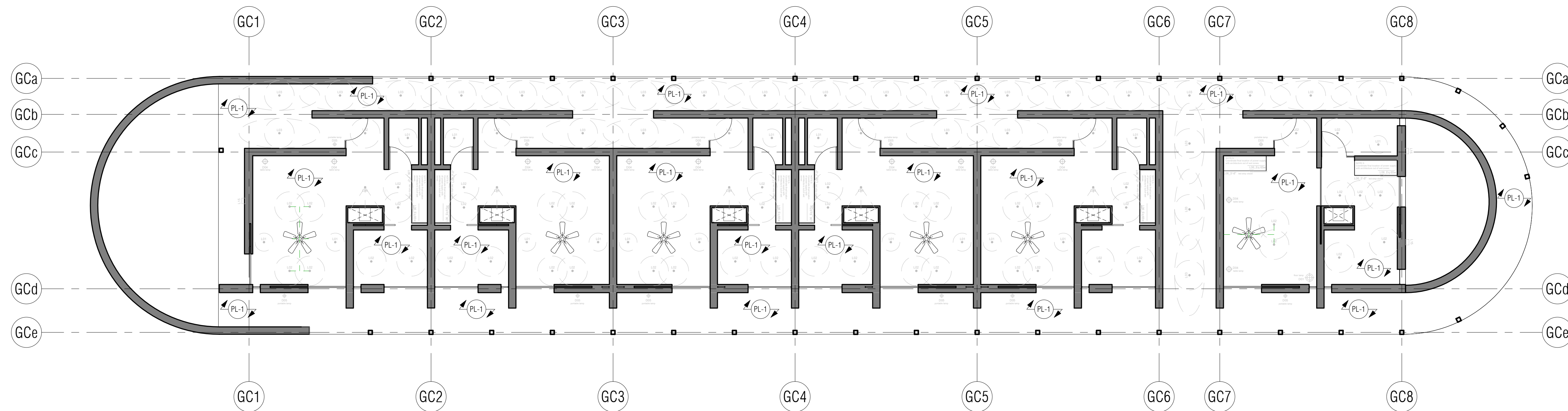
LOW PITCH ROOFING INSTALL OVER GAFFS VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2003 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 22.1.705A.4

3 ROOFING NOTES
1/4" = 1'-0"



1 ROOF PLAN
1/8" = 1'-0"



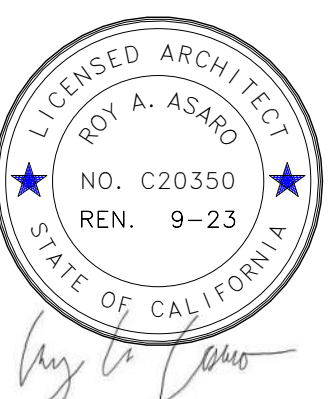
2 REFLECTED CEILING PLAN
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

GUEST CABIN A
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN &
RCP



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC104.0

Scale As indicated

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH.
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/EGGAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

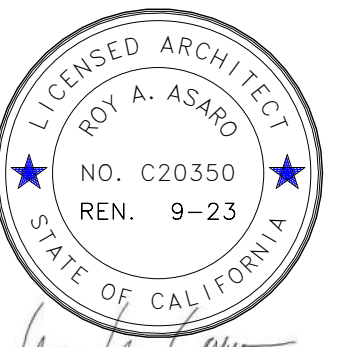
**THE RIDGE
 GUEST RANCH**

GUEST CABINS B & C

56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

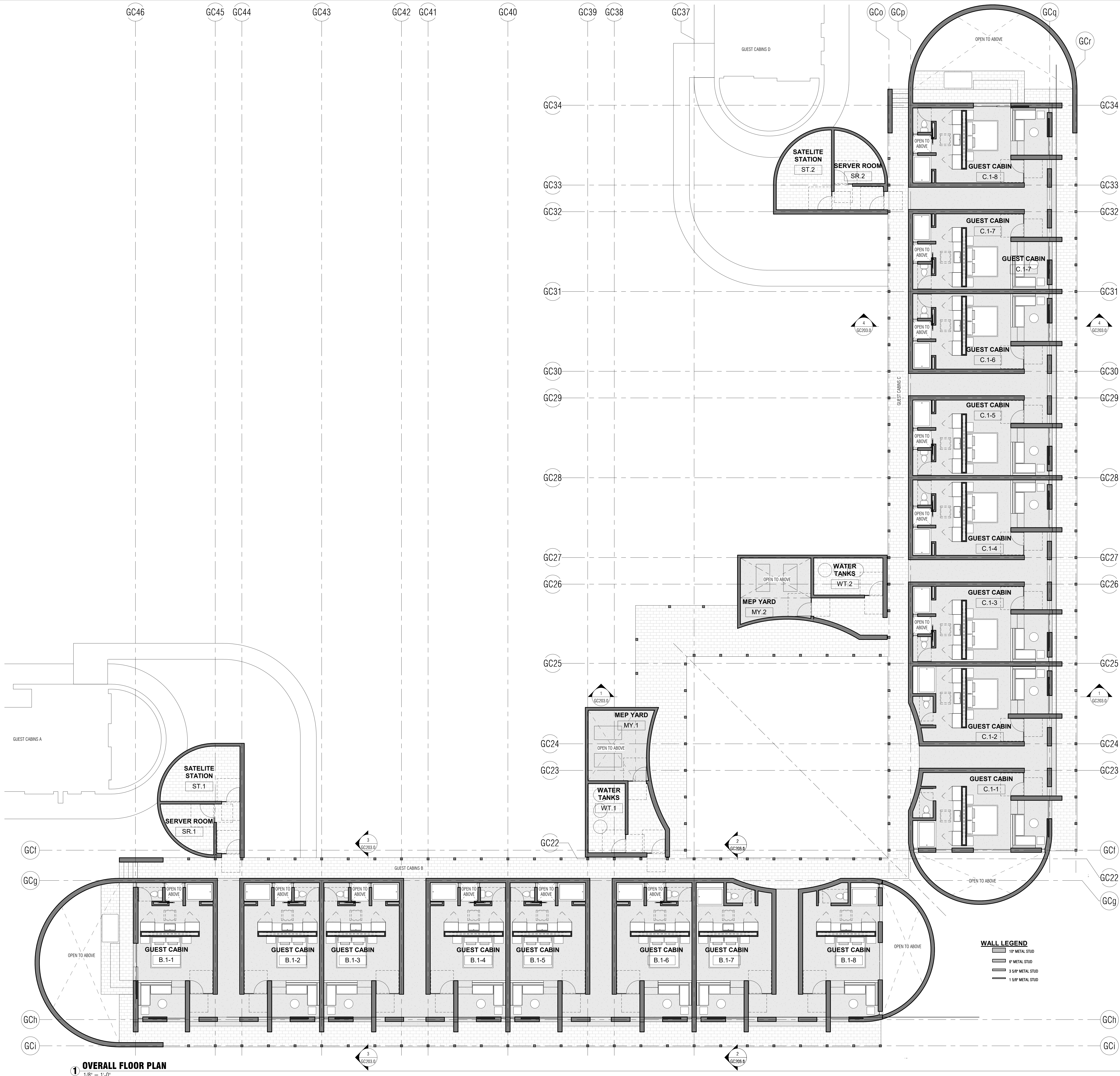
OVERALL FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC201.0

Scale 1/8" = 1'-0"



1 OVERALL FLOOR PLAN
 1/8" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	GLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	5'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-I	1'-0"	10'-6"			
GCB-J	0'-9"	10'-6"			
GCB-K	4'-11"	9'-0"			
GCB-L	4'-11"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCB-A	1'-0"	10'-6"			

Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCC-B	3'-0"	9'-0"			
GCC-C	4'-0"	10'-6"			
GCC-D	4'-11"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	4'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
GCC-Z	1'-0"	9'-0"			
GCC-ZA	1'-0"	9'-0"			

MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-23	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-25	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-26	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-29	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-30	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-38	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCC-1	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE 'G' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-18	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-19	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

No.	Description	Date



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA



1 PARTIAL FLOOR PLAN 1
1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

**THE RIDGE
GUEST RANCH**

GUEST CABINS B & C

56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

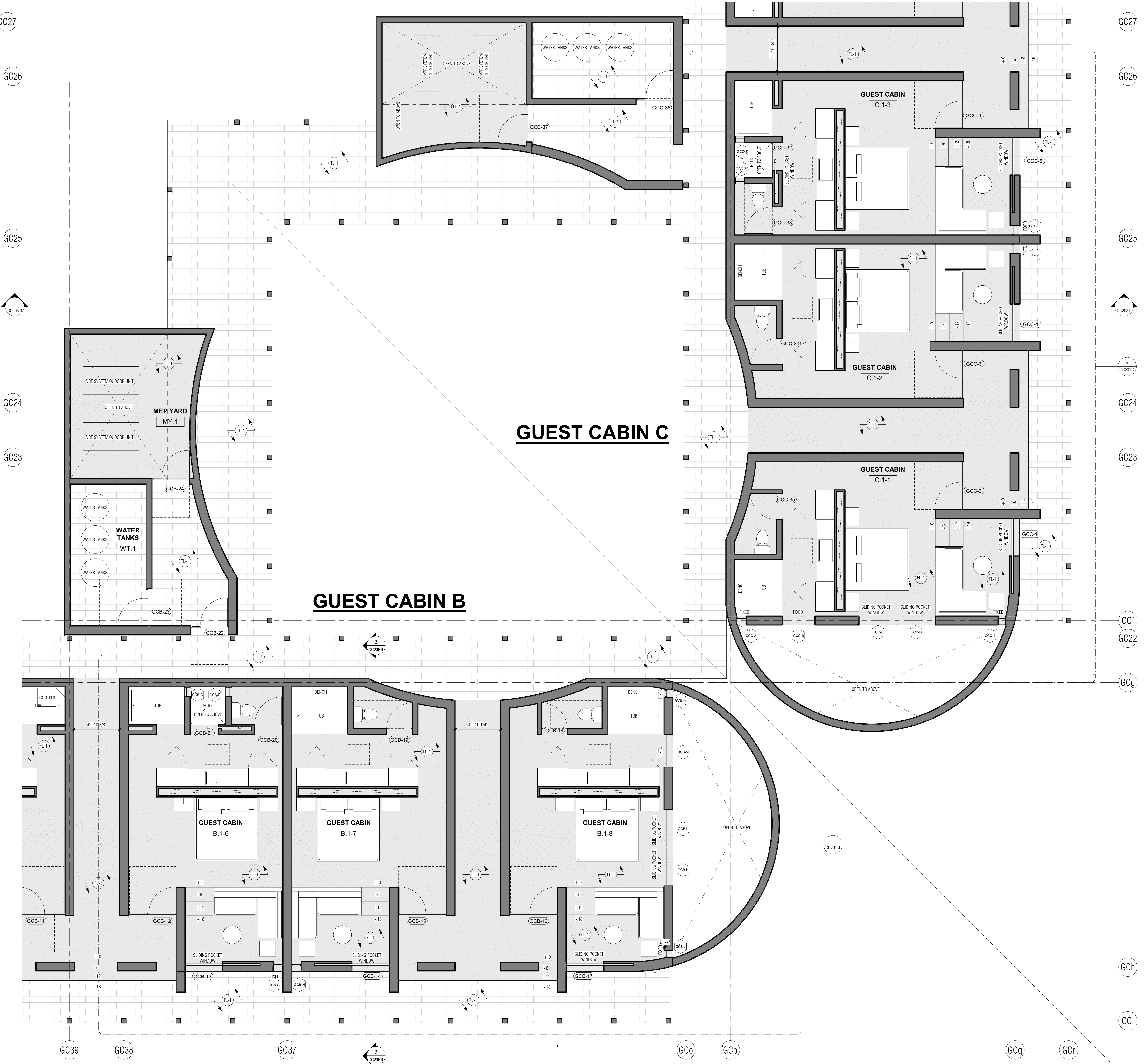
GC201.2

Scale 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE "C" (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCB-22	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-23	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-25	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-26	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-27	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-29	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-30	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-1	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE "E" (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-18	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-19	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE "C" (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE "E" (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE "C" (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE "A" (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	9'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-J	0'-9"	10'-6"			
GCB-K	4'-1"	9'-0"			
GCB-L	4'-1"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCC-A	1'-0"	10'-6"			
GCC-B	3'-6"	9'-0"			
GCC-C	4'-1"	9'-0"			
GCC-D	4'-1"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	1'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
GCC-Z	1'-0"	9'-0"			
GCC-ZA	1'-0"	9'-0"			



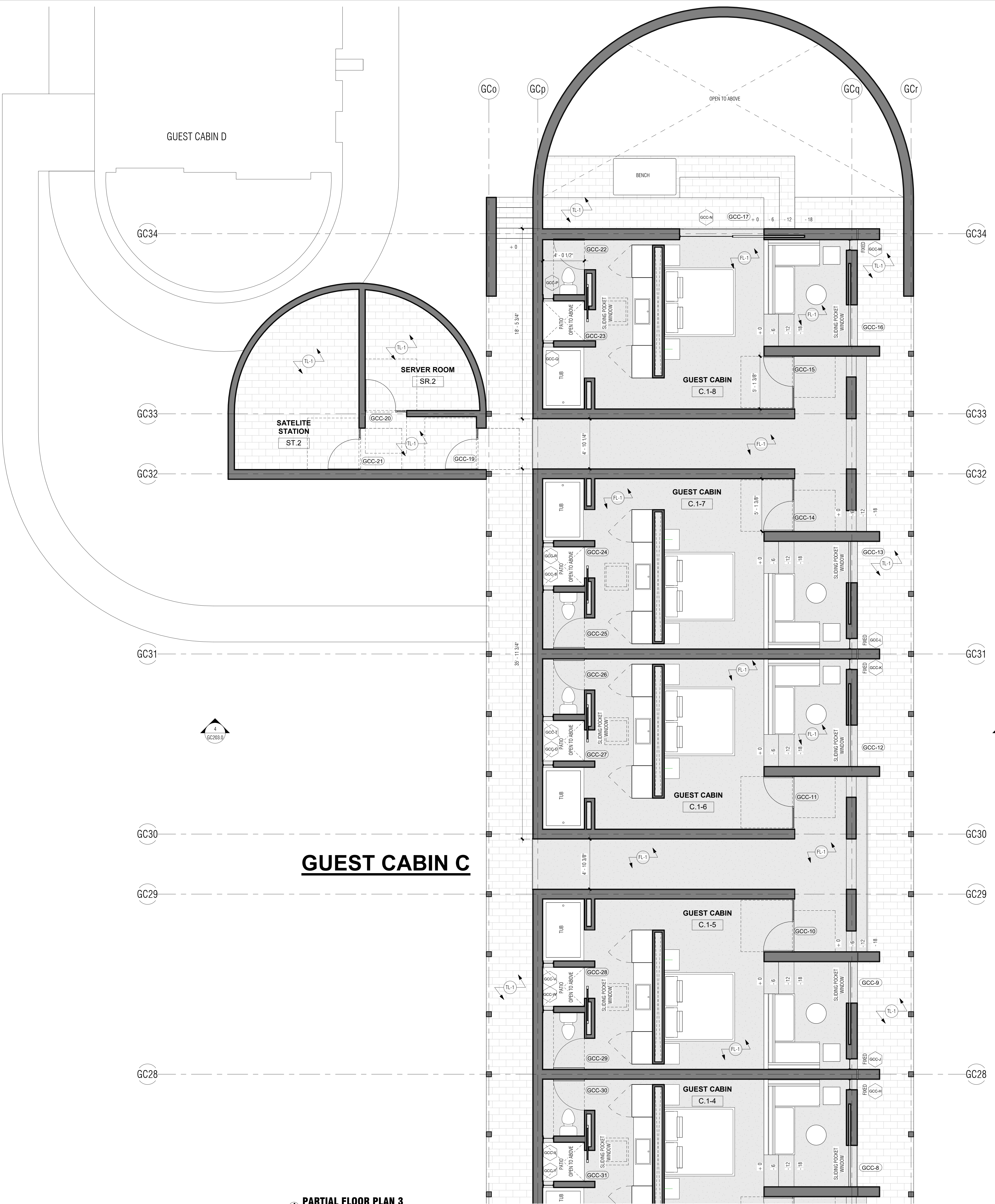
1 PARTIAL FLOOR PLAN 2
1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
WF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	COMMENTS
GCB-1	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-2	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-3	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-4	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-6	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-7	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-8	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-10	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-11	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-12	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-14	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-15	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-16	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-17	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCB-18	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-19	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-20	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-21	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-22	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-23	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-24	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-26	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-27	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-28	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-29	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-30	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-31	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-32	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-33	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-34	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCB-35	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCB-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCB-38	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-1	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-2	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-3	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-4	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-5	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-6	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-7	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-8	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-9	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-10	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-11	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-12	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-13	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-14	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-15	5'-1 3/8"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-16	4'-0"	10'-6"	TYPE 'E' (GLASS)	
GCC-17	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-19	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-20	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-21	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-22	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-23	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-24	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-25	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-26	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-27	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-28	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-29	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-30	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-31	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-32	3'-0"	9'-0"	TYPE 'E' (GLASS)	
GCC-33	3'-0"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-34	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-35	2'-9"	9'-0"	TYPE 'C' (SOLID CORE-STAINED WOOD)	
GCC-36	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	
GCC-37	4'-0"	7'-0"	TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)	

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
GCB-A	5'-2"	9'-0"			
GCB-B	1'-0"	10'-6"			
GCB-C	1'-0"	10'-6"			
GCB-D	1'-0"	10'-6"			
GCB-E	1'-0"	10'-6"			
GCB-F	1'-0"	10'-6"			
GCB-G	1'-0"	10'-6"			
GCB-H	1'-0"	10'-6"			
GCB-I	0'-9"	10'-6"			
GCB-K	4'-1"	9'-0"			
GCB-L	4'-1"	9'-0"			
GCB-M	3'-6"	9'-0"			
GCB-N	0'-9"	10'-6"			
GCB-P	1'-0"	9'-0"			
GCB-Q	1'-0"	9'-0"			
GCB-R	1'-0"	9'-0"			
GCB-S	1'-0"	9'-0"			
GCB-T	1'-0"	9'-0"			
GCB-U	1'-0"	9'-0"			
GCB-V	1'-0"	9'-0"			
GCB-W	1'-0"	9'-0"			
GCB-X	1'-0"	9'-0"			
GCB-Y	1'-0"	9'-0"			
GCB-Z	1'-0"	9'-0"			
GCB-ZA	1'-0"	9'-0"			
GCC-A	1'-0"	10'-6"			
GCC-B	3'-6"	9'-0"			
GCC-C	4'-1"	9'-0"			
GCC-D	4'-1"	9'-0"			
GCC-E	0'-9"	10'-6"			
GCC-F	1'-0"	10'-6"			
GCC-G	1'-0"	10'-6"			
GCC-H	1'-0"	10'-6"			
GCC-I	1'-0"	10'-6"			
GCC-J	1'-0"	10'-6"			
GCC-K	1'-0"	10'-6"			
GCC-L	1'-0"	10'-6"			
GCC-M	1'-0"	10'-6"			
GCC-N	5'-2"	9'-0"			
GCC-P	1'-0"	9'-0"			
GCC-Q	1'-0"	9'-0"			
GCC-R	1'-0"	9'-0"			
GCC-S	1'-0"	9'-0"			
GCC-T	1'-0"	9'-0"			
GCC-U	1'-0"	9'-0"			
GCC-V	1'-0"	9'-0"			
GCC-W	1'-0"	9'-0"			
GCC-X	1'-0"	9'-0"			
GCC-Y	1'-0"	9'-0"			
GCC-Z	1'-0"	9'-0"			
GCC-ZA	1'-0"	9'-0"			



THE RIDGE
 GUEST RANCH

GUEST CABINS B & C
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL FLOOR
 PLAN



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC201.3

Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR WISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

RA
ROY A. ASARO ARCHITECT, INC.
Roy A. Asaro principal
P.O. Box 300576, Escondido, Ca. 92030
C 760.805.4640 F 760.837.3049
royasaro@gmail.com

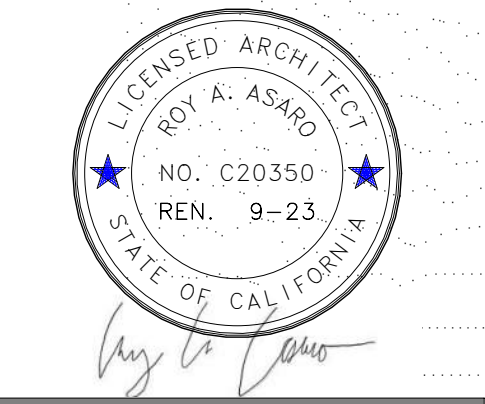
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABINS B & C
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

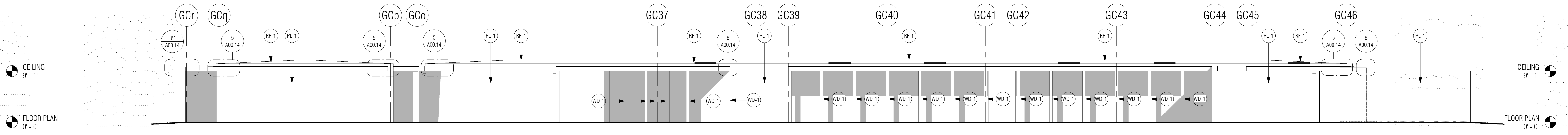
ELEVATIONS



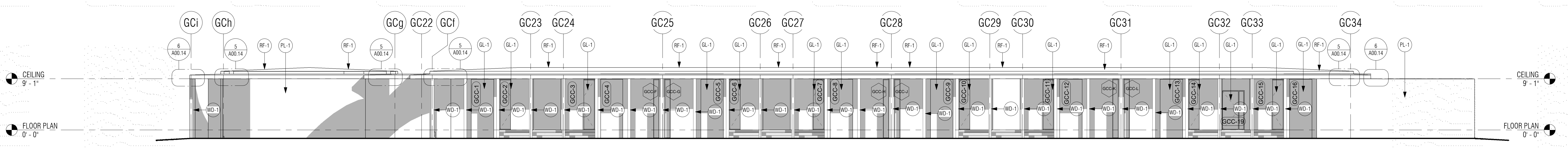
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC202.0

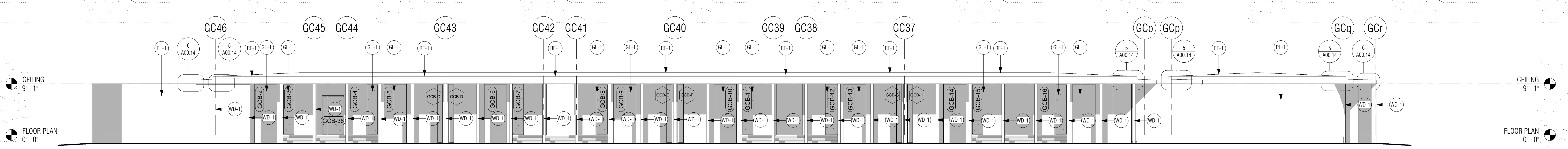
Scale 1/8" = 1'-0"



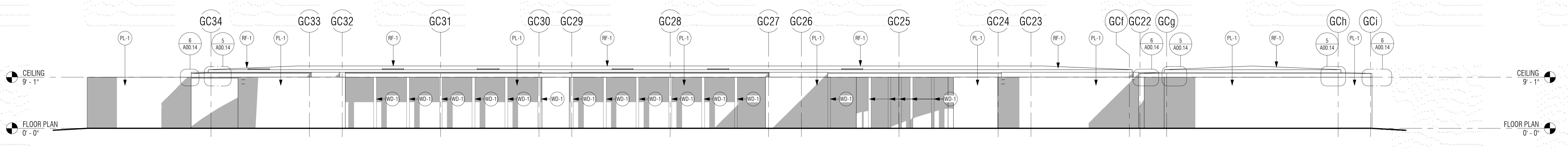
1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

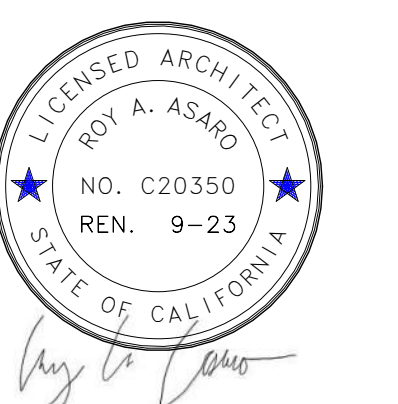
Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**

GUEST CABINS B & C
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

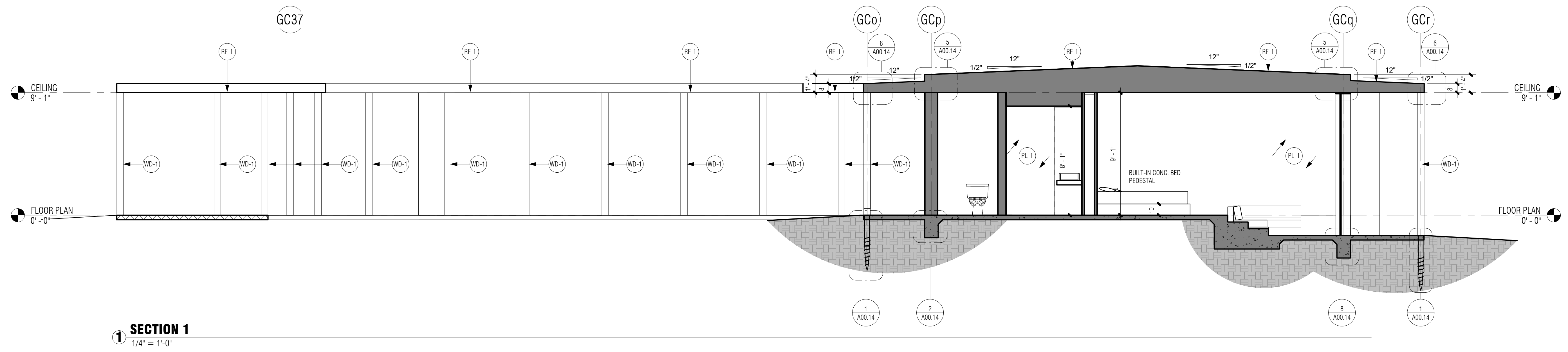
SECTIONS



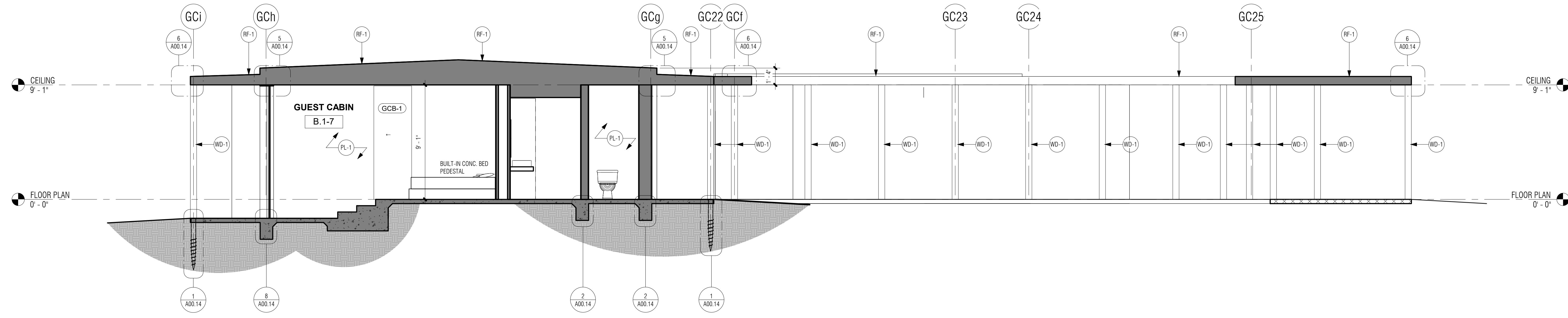
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

GC203.0

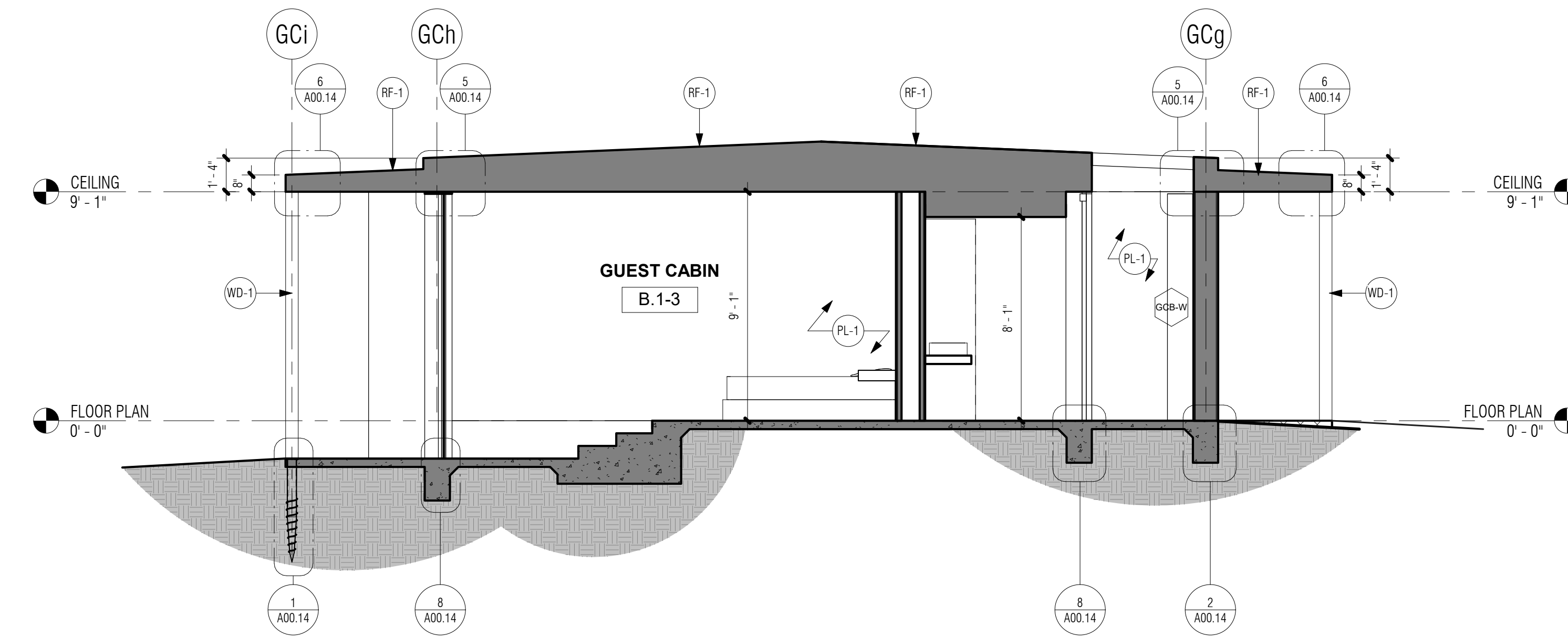
Scale 1/4" = 1'-0"



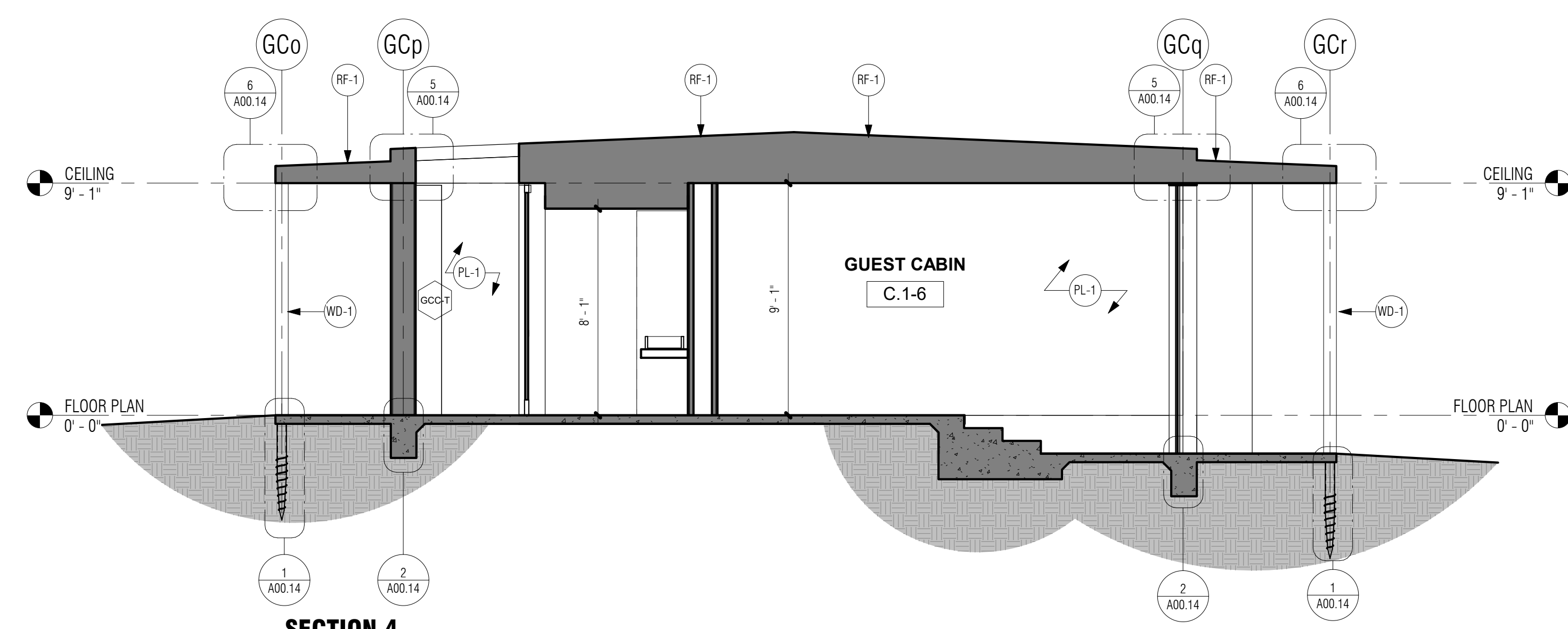
SECTION 1
 1/4" = 1'-0"



SECTION 2
 1/4" = 1'-0"



SECTION 3
 1/4" = 1'-0"



SECTION 4
 1/4" = 1'-0"

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

FINISH LEGEND

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

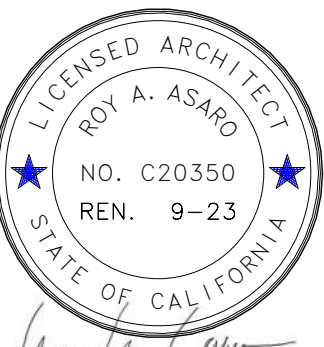
Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH

GUEST CABINS B & C
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

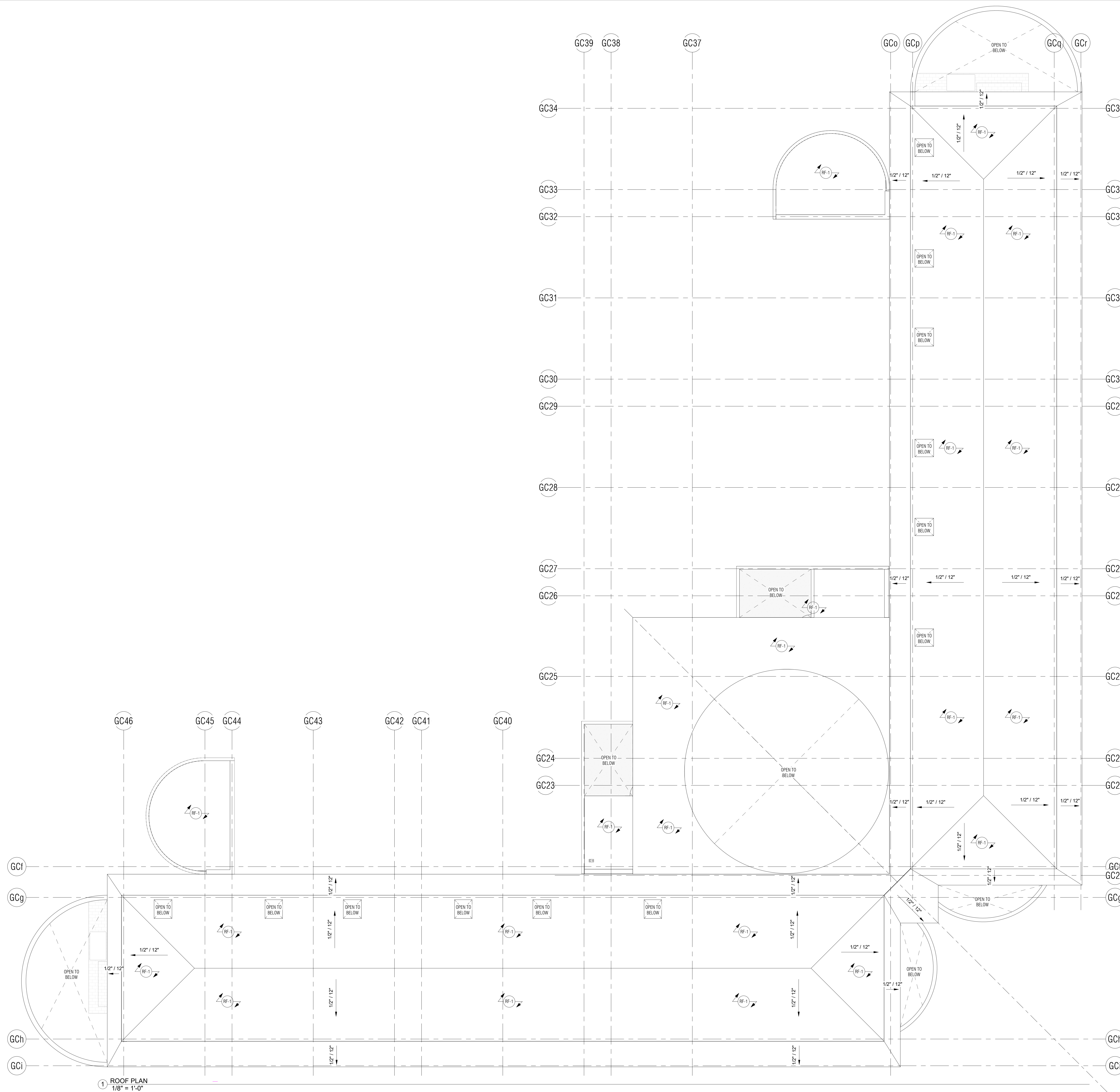
ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	Author
Checked By	Checker

GC204.0

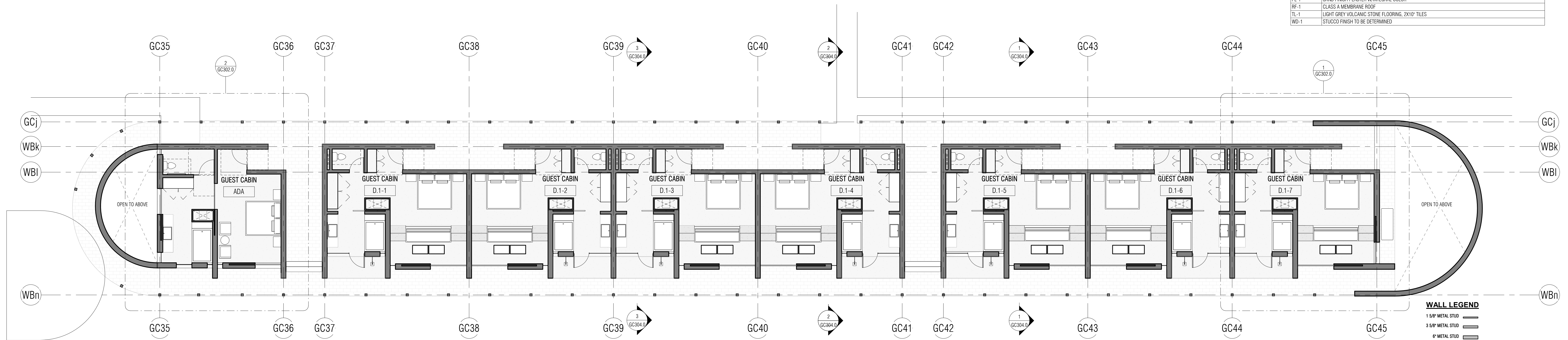
Scale As indicated



1 ROOF PLAN
 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAY COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

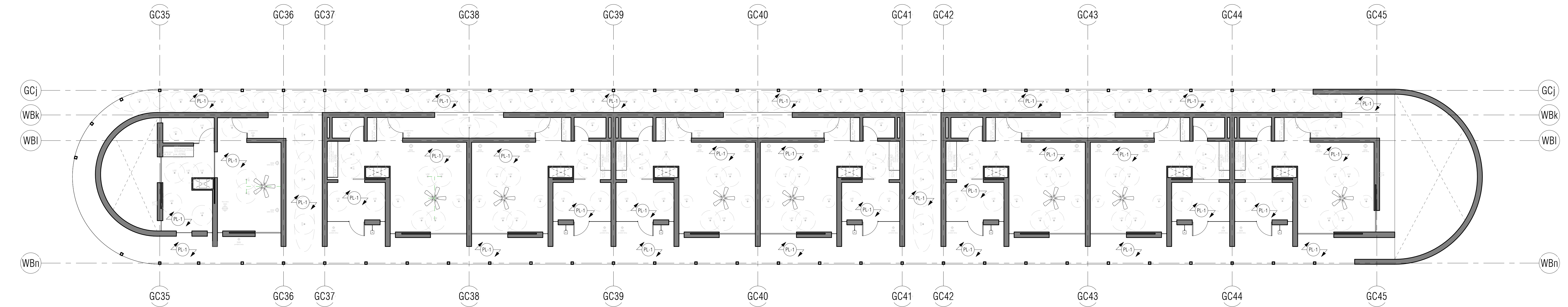


1 FLOOR PLAN
 1/8" = 1'-0"

ZONE D
 ROTATED

THE RIDGE
GUEST RANCH

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561



2 REFLECTED CEILING PLAN
 1/8" = 1'-0"

CUP SUBMITTAL

OVERALL FLOOR
 PLAN & RCP



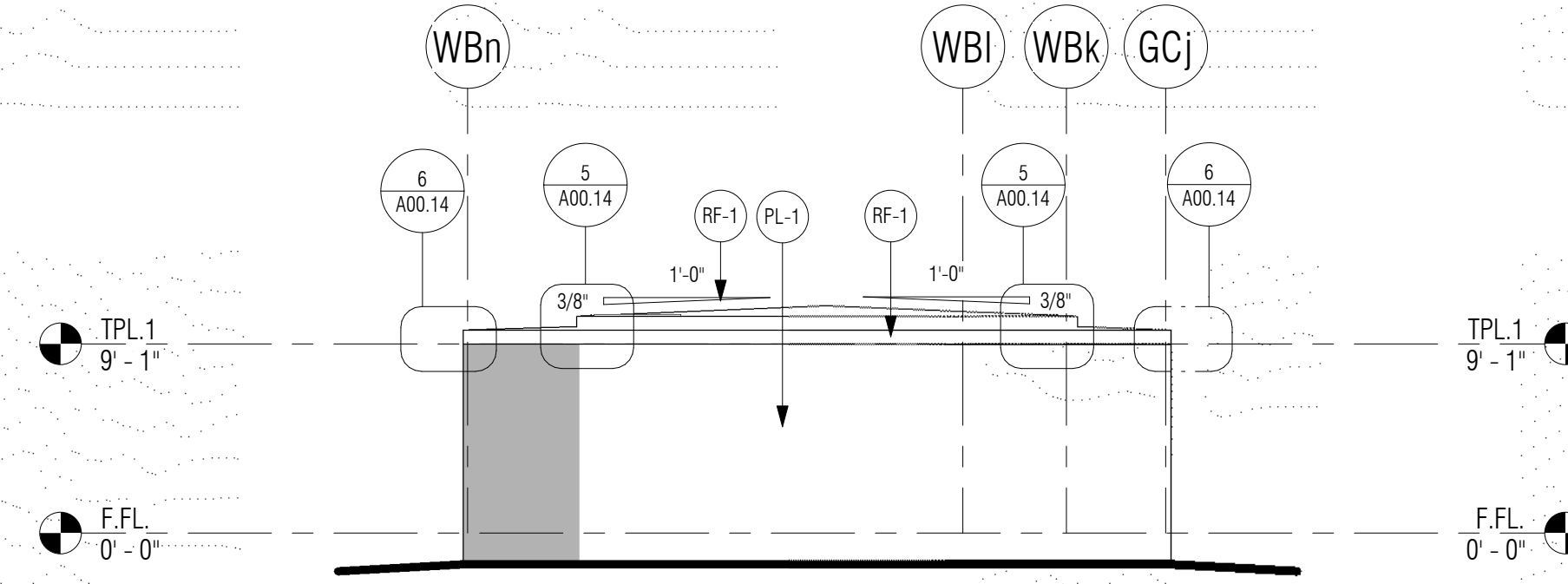
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC301.0

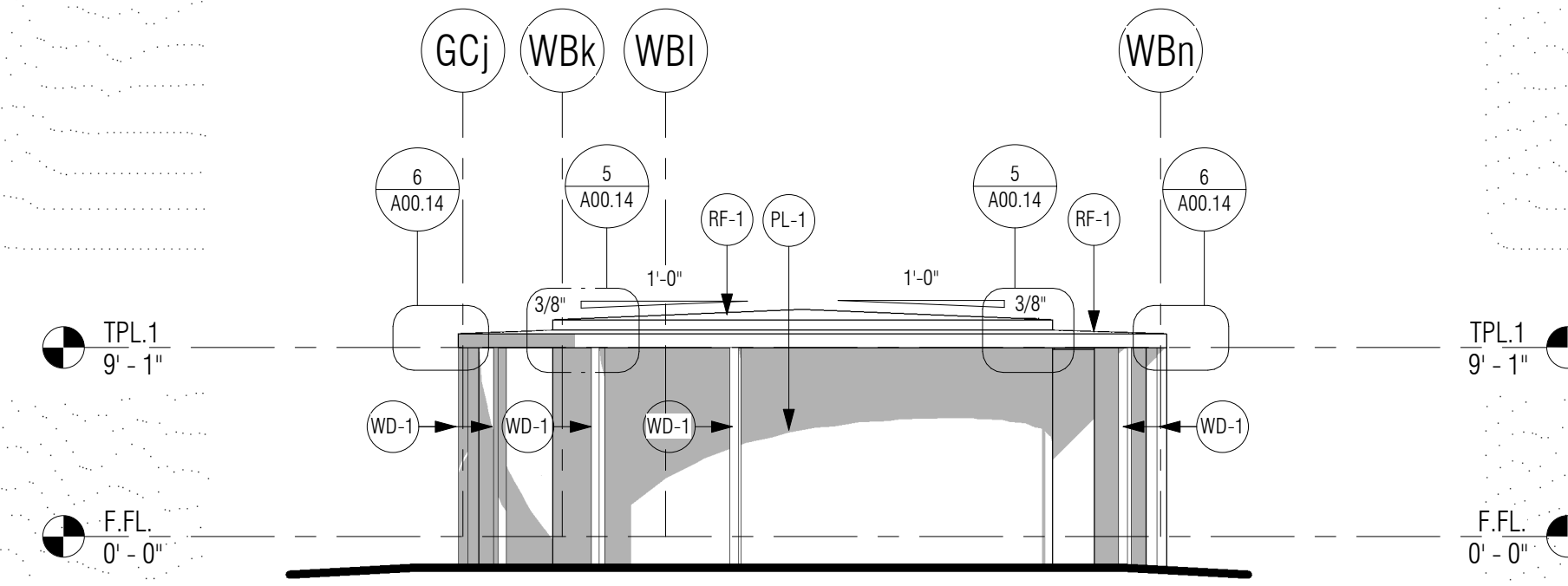
Scale 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TRESTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

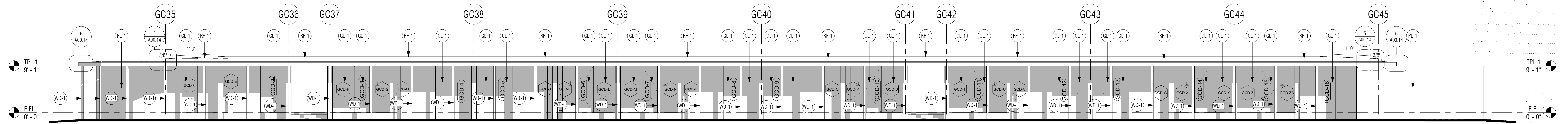
Revision Schedule		
No.	Description	Date



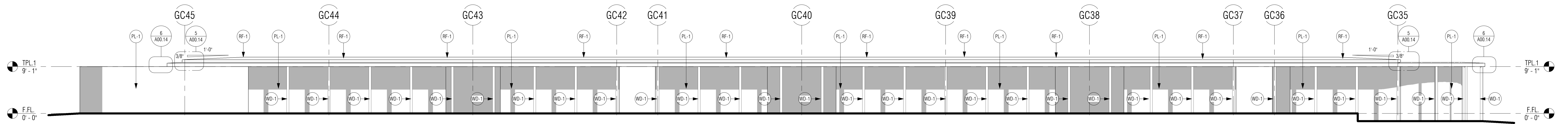
1 NORTH EXTERIOR ELEVATION
 1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
 1/8" = 1'-0"



3 EAST EXTERIOR ELEVATION
 1/8" = 1'-0"



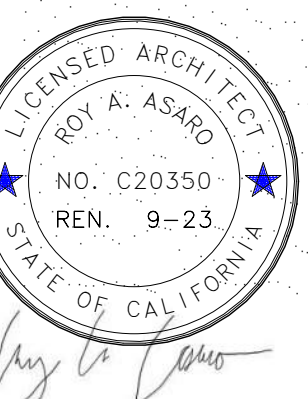
4 WEST EXTERIOR ELEVATION
 1/8" = 1'-0"

THE RIDGE
 GUEST RANCH

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
 ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	ROY
Checked By	RAA

GC303.0

Scale 1/8" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

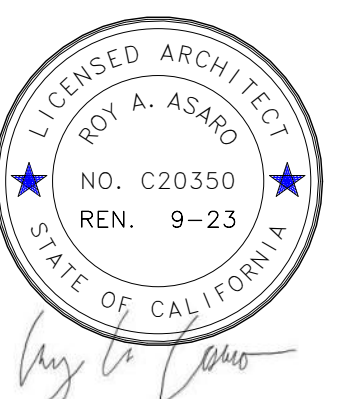
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

GUEST CABINS D
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

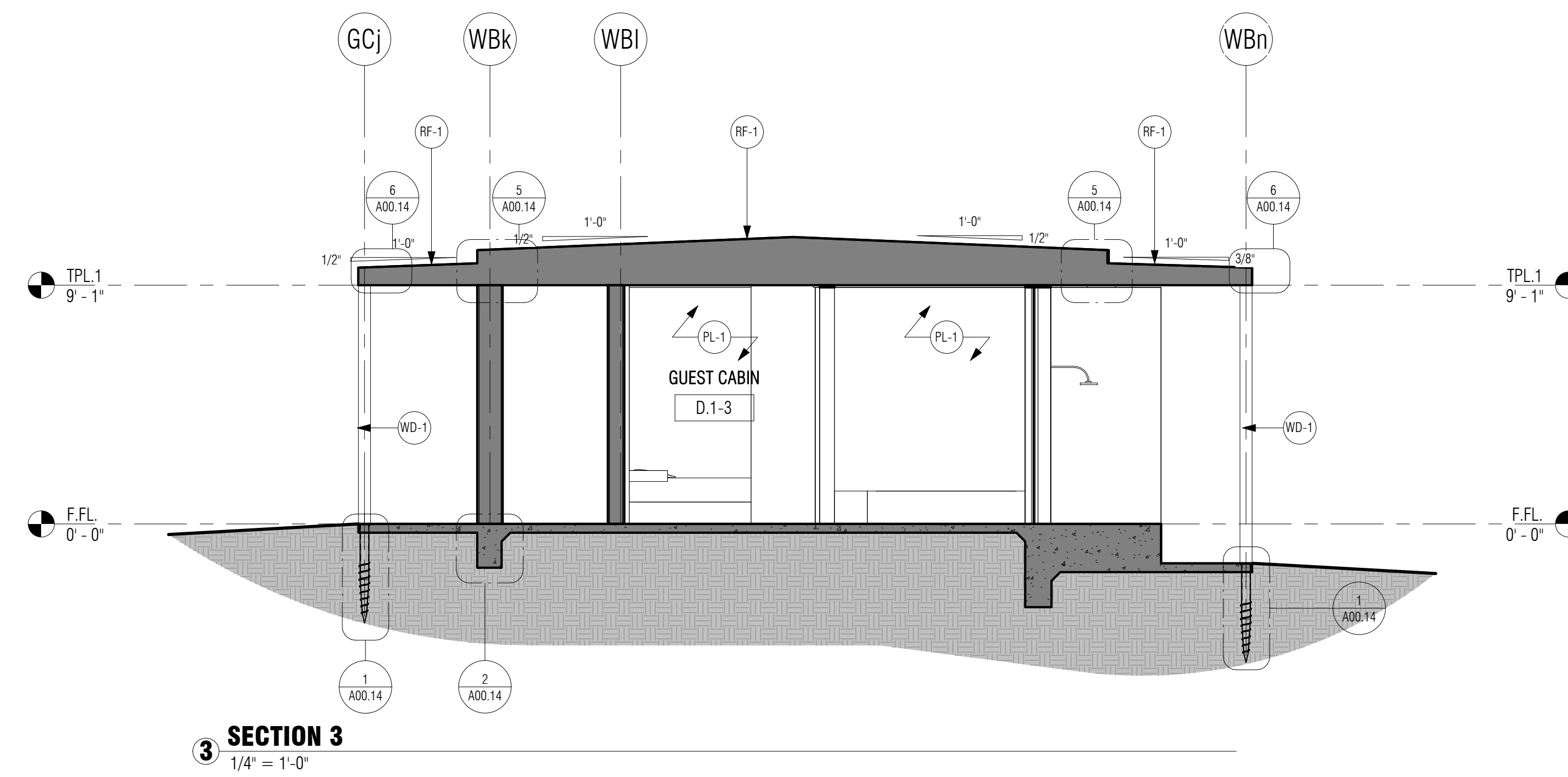
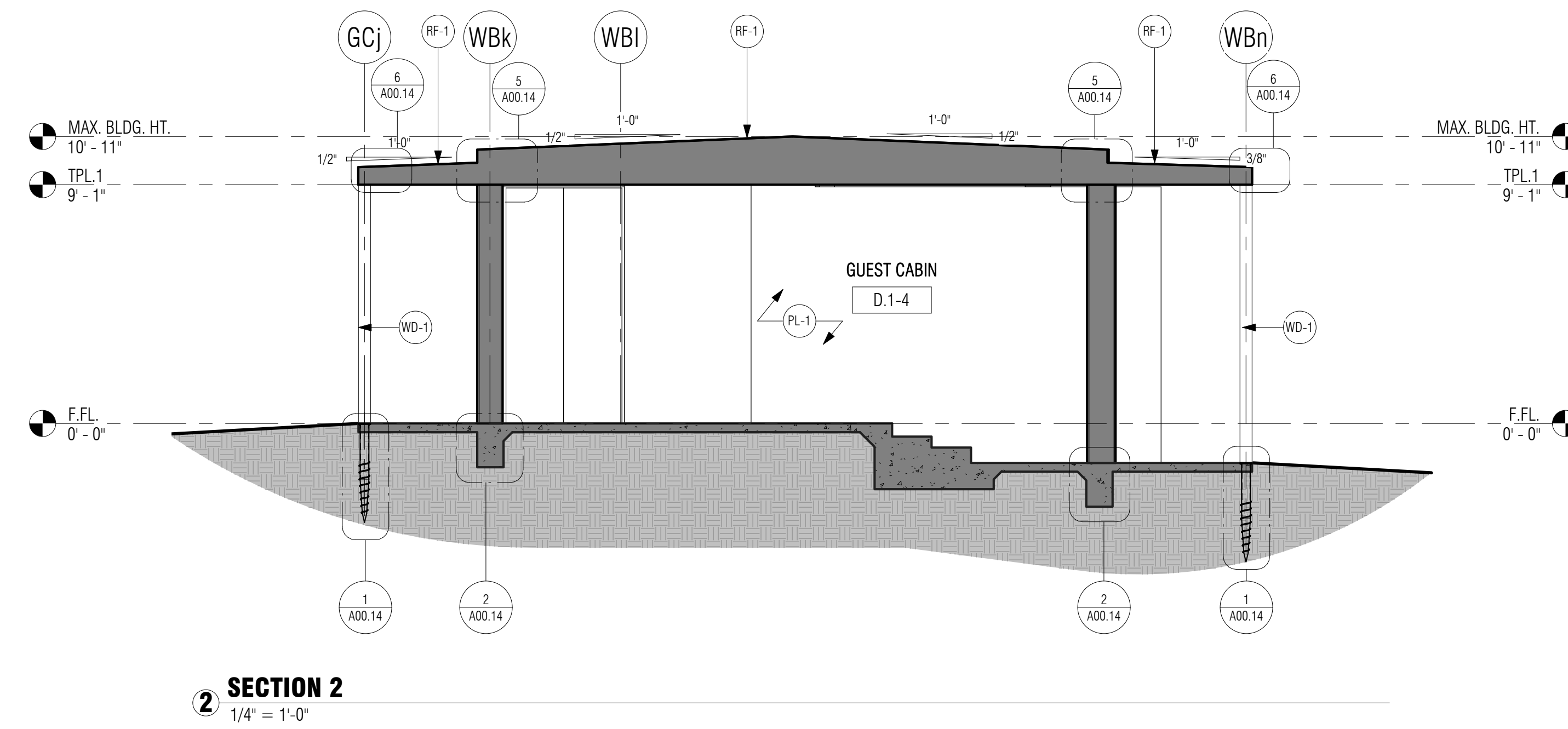
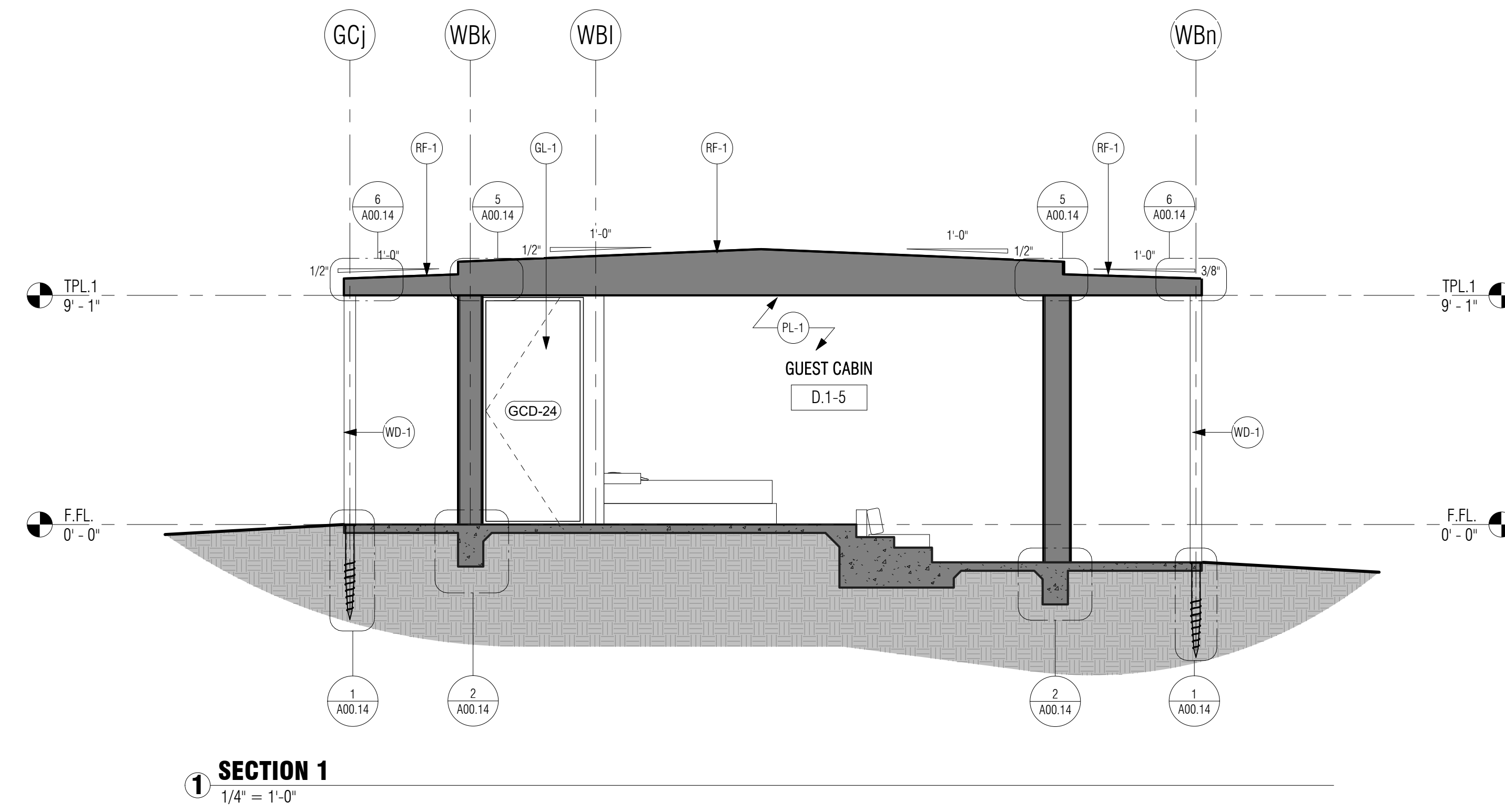
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC304.0

Scale 1/4" = 1'-0"



FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/EGAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

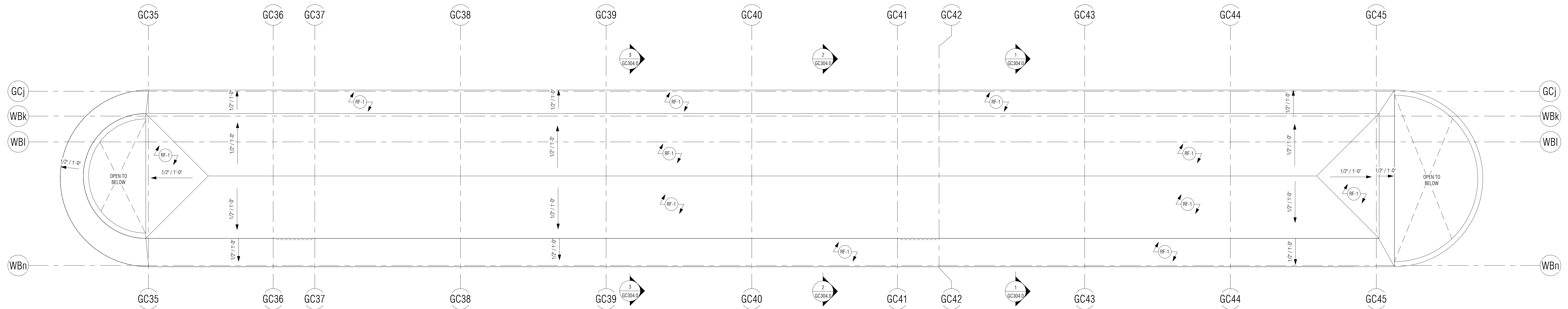
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2883 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH

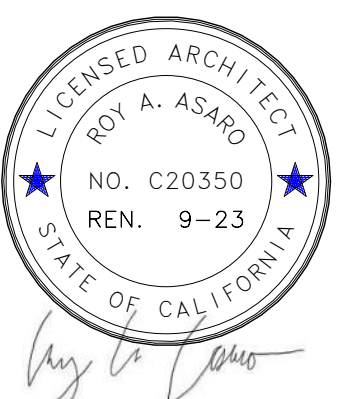


1 ROOF PLAN
 1/8" = 1'-0"

GUEST CABINS D
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

GC305.0

Scale As indicated

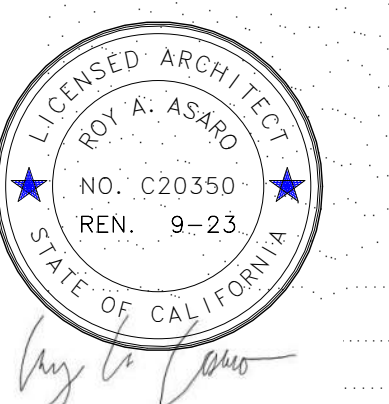
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

SOUND BATH
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

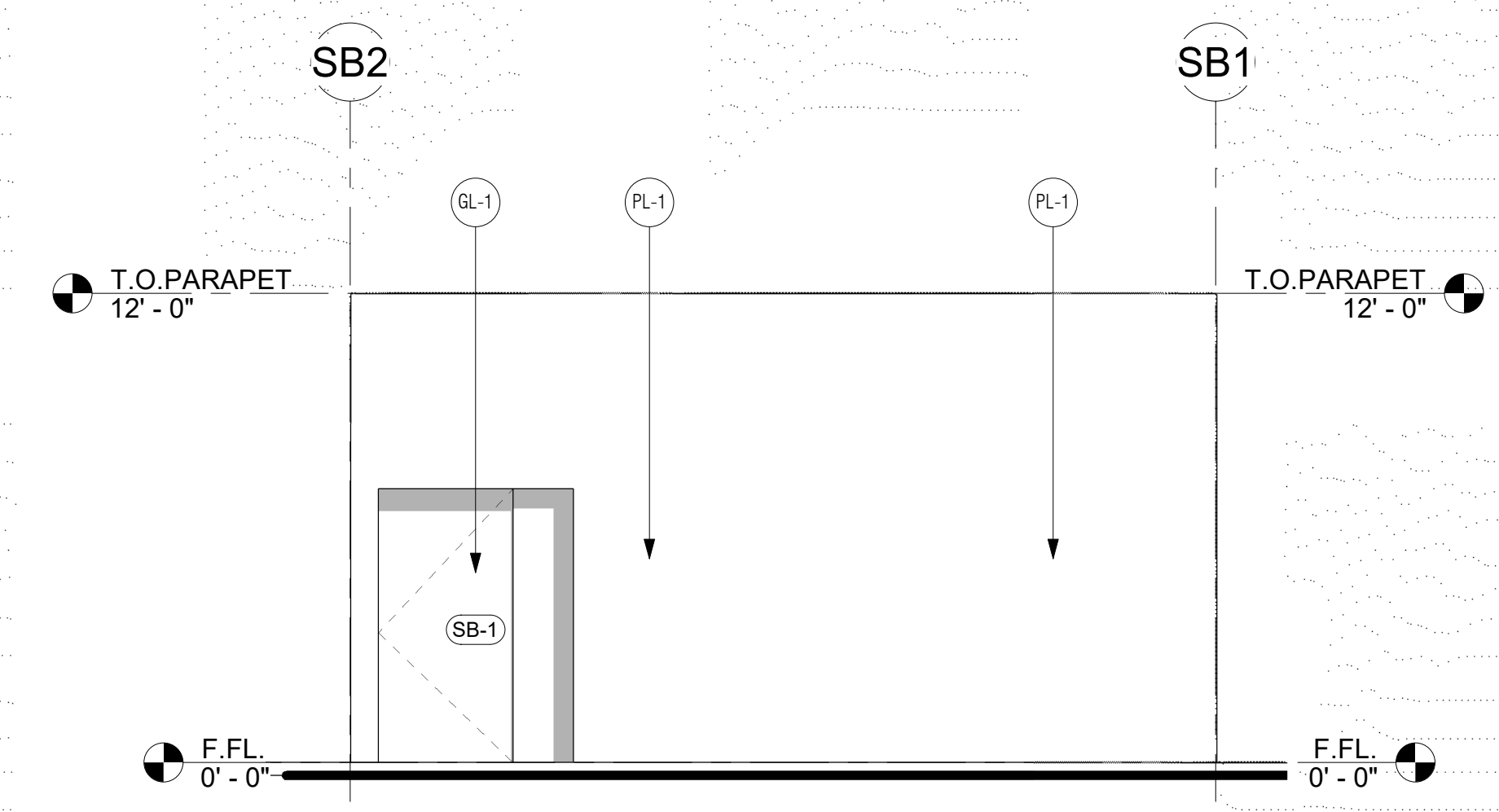
BUILDING
ELEVATIONS
ROOF PLAN &
SECTION



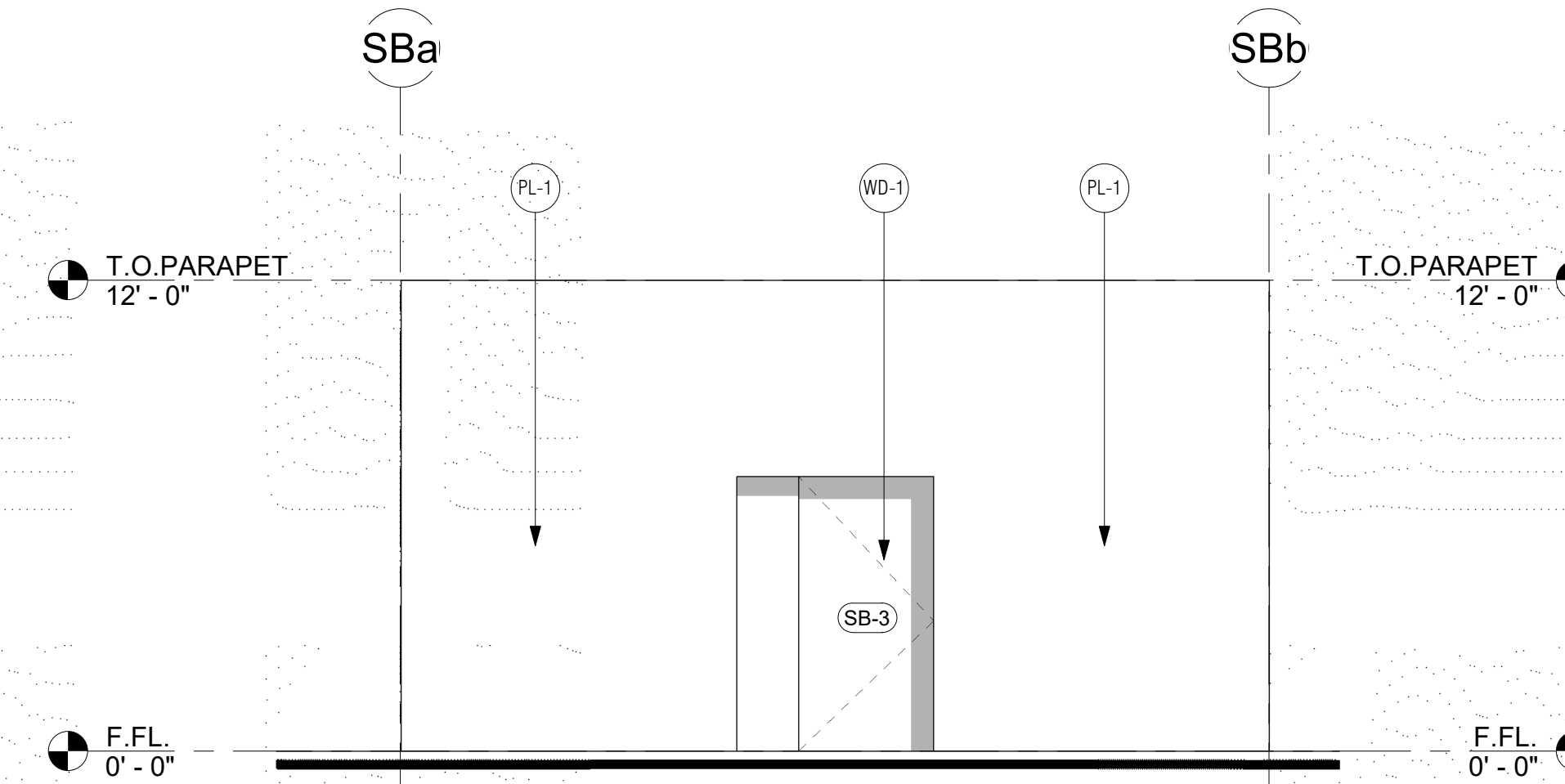
Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

SB101.0

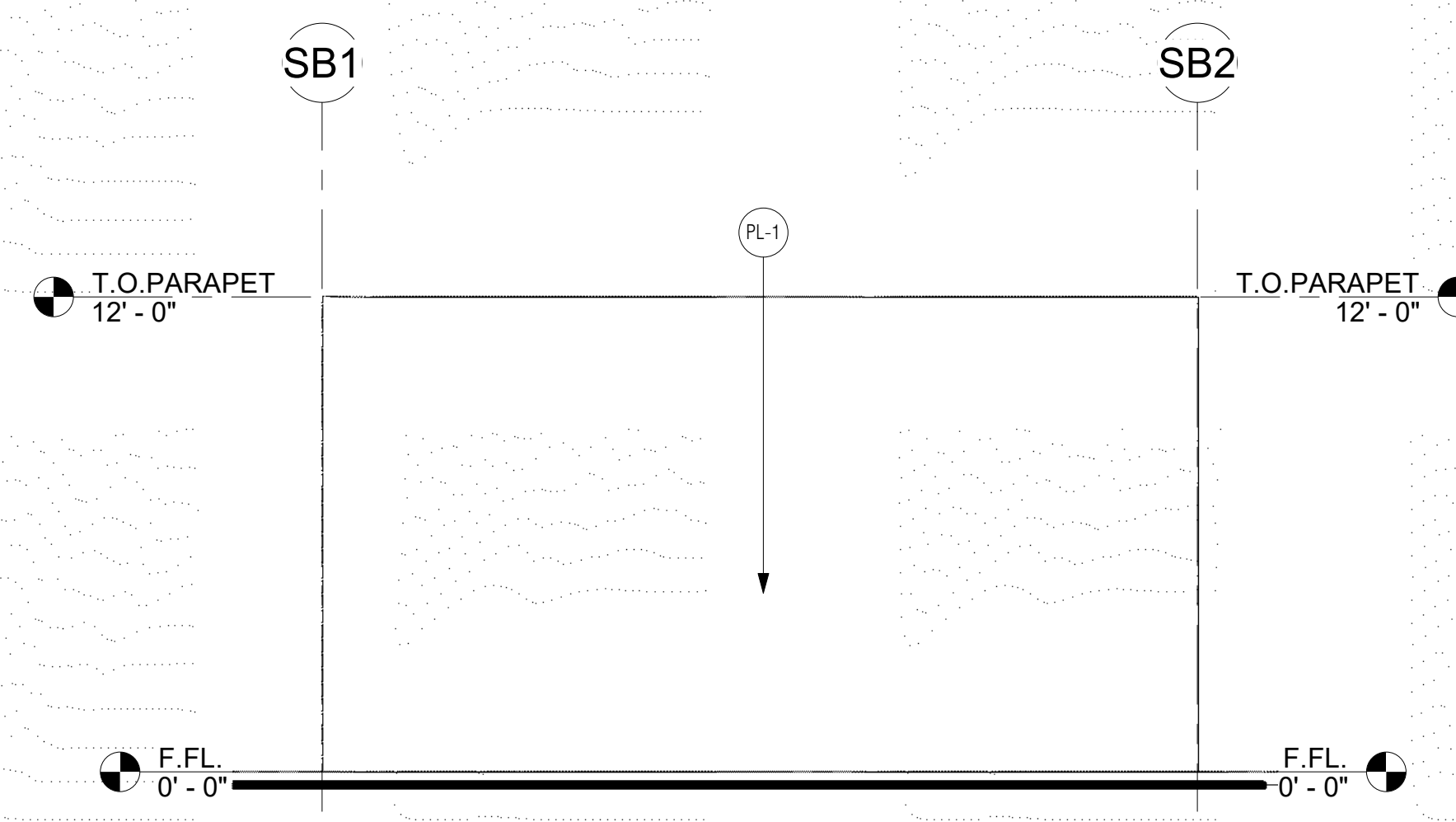
Scale 1/4" = 1'-0"



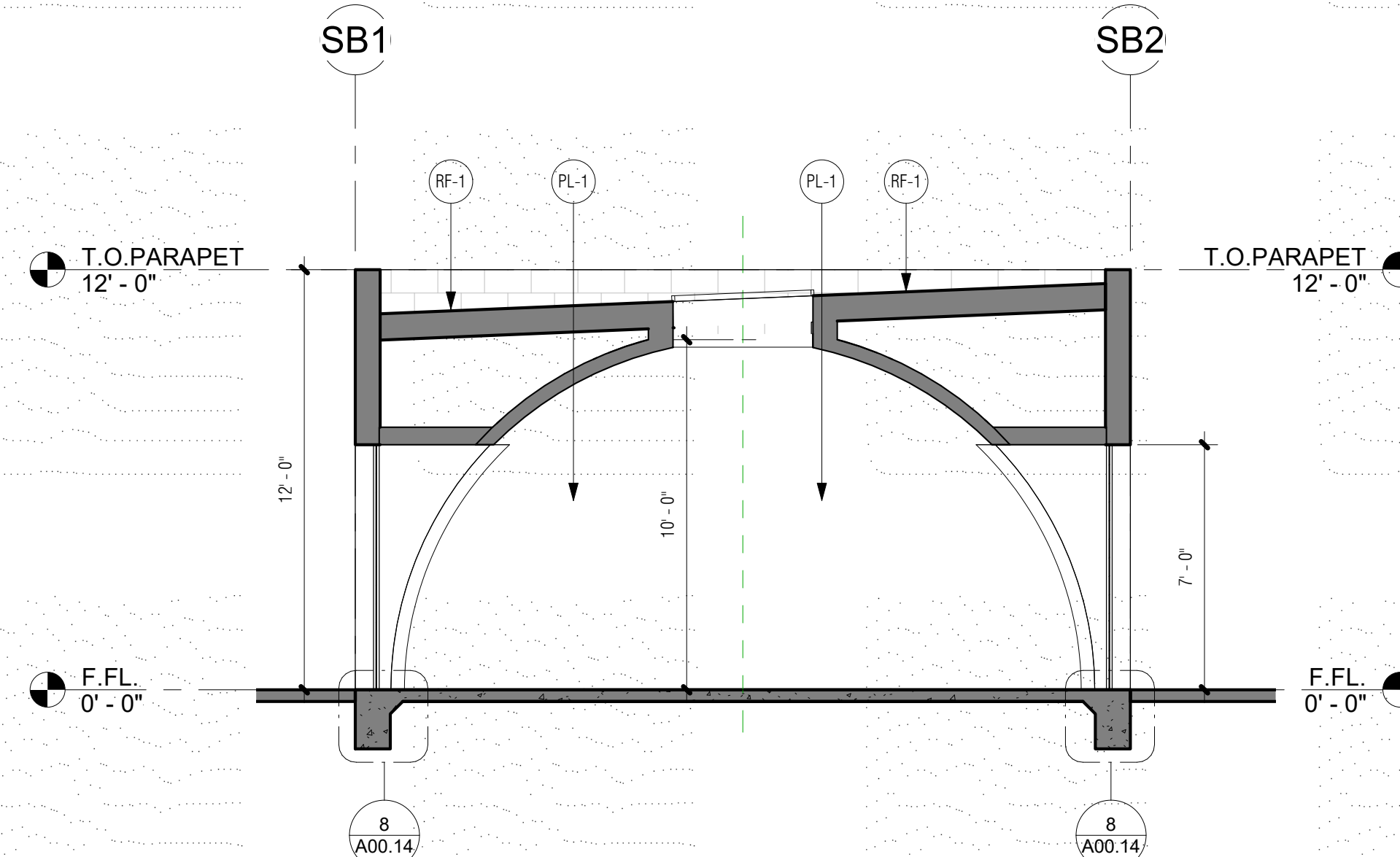
1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



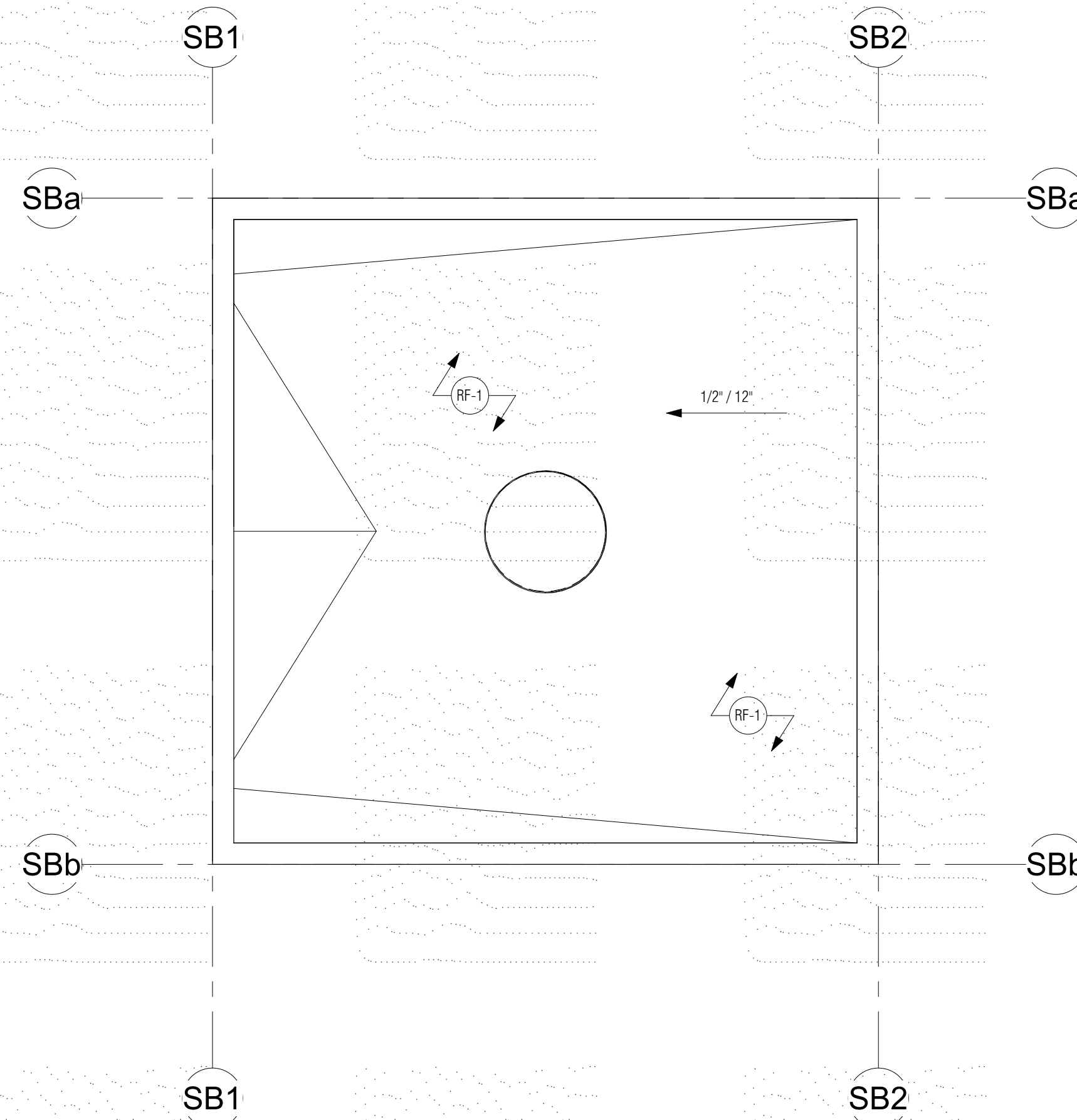
4 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



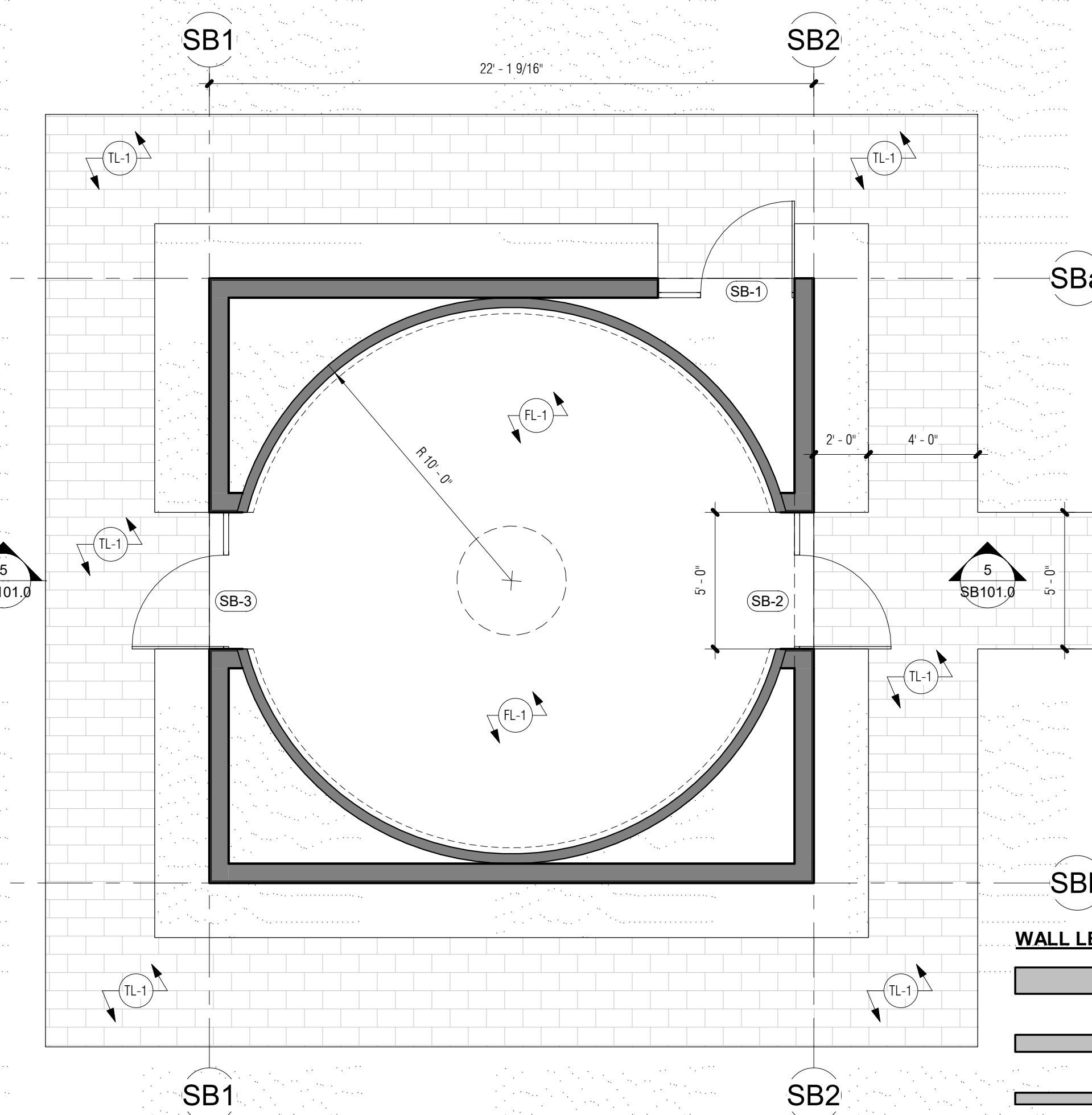
2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



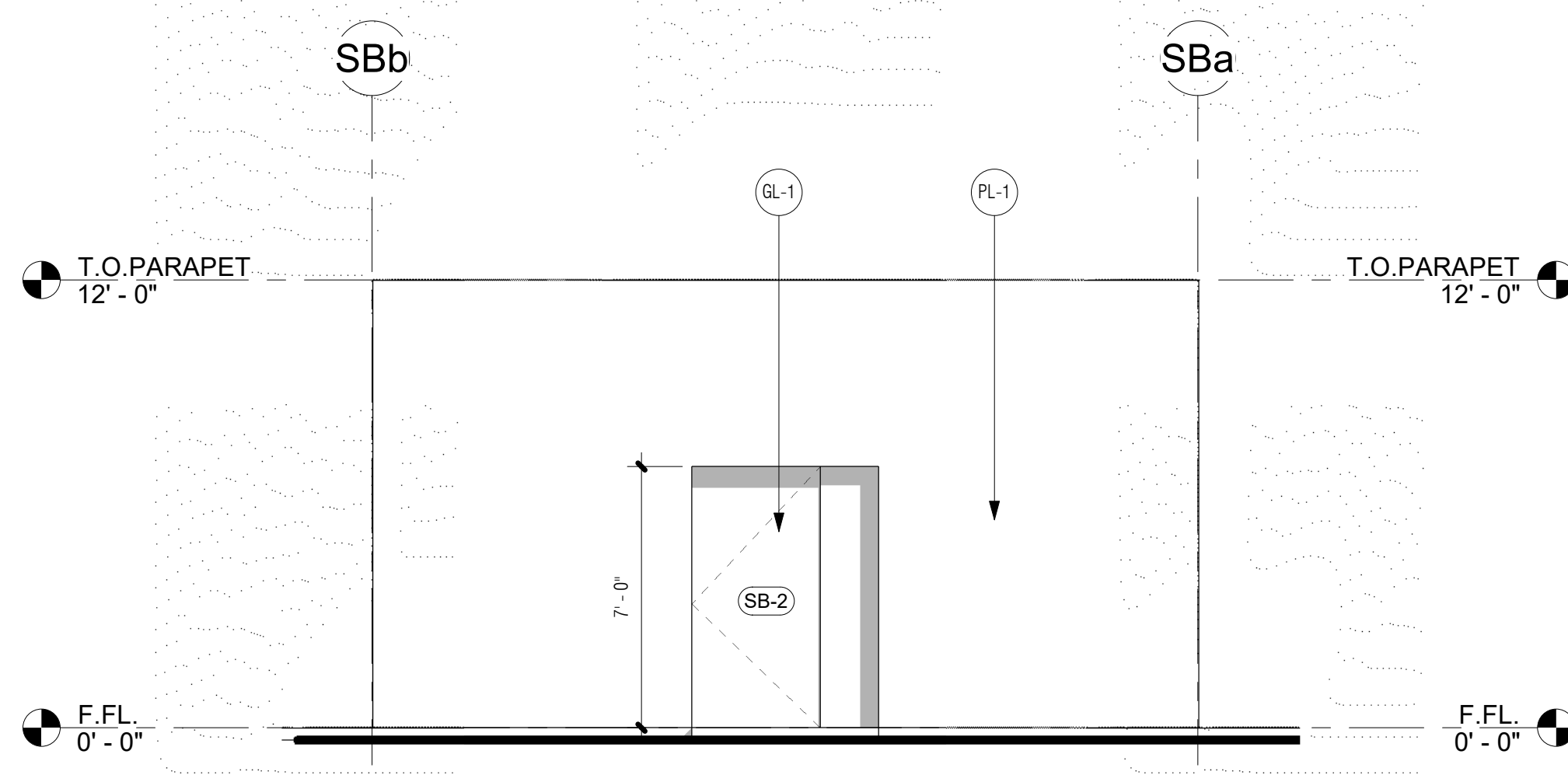
5 Section 1
1/4" = 1'-0"



7 ROOF PLAN
1/4" = 1'-0"



6 FLOOR PLAN
1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

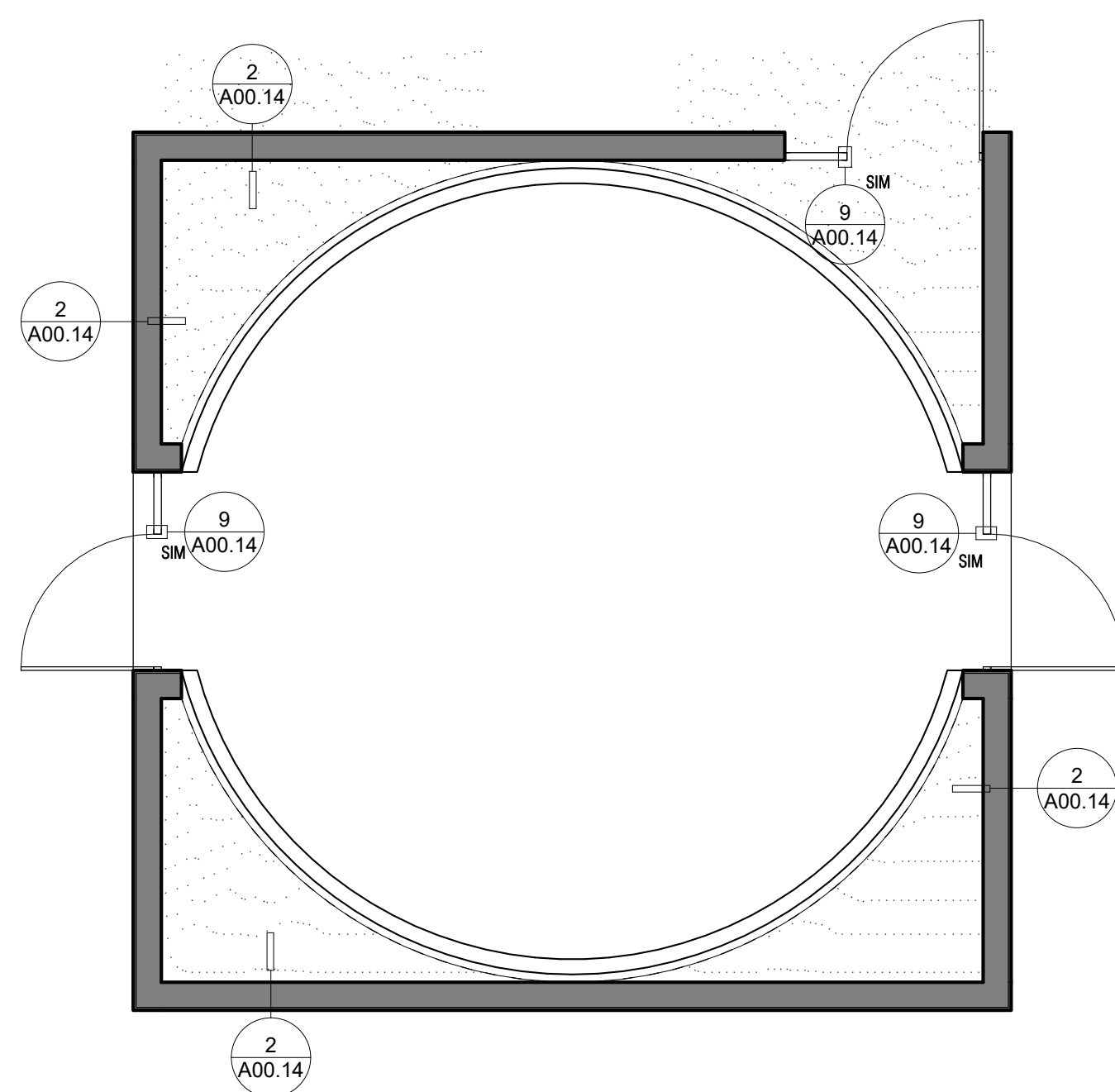
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	CLEAR VISION GLAZING

MARK	WIDTH	HEIGHT	COMMENTS
SB-1	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)
SB-2	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)
SB-3	5'-0"	7'-0"	TYPE 'A' (SOLID CORE STAINED WOOD W/ STAINED WOOD SIDELIGHT)

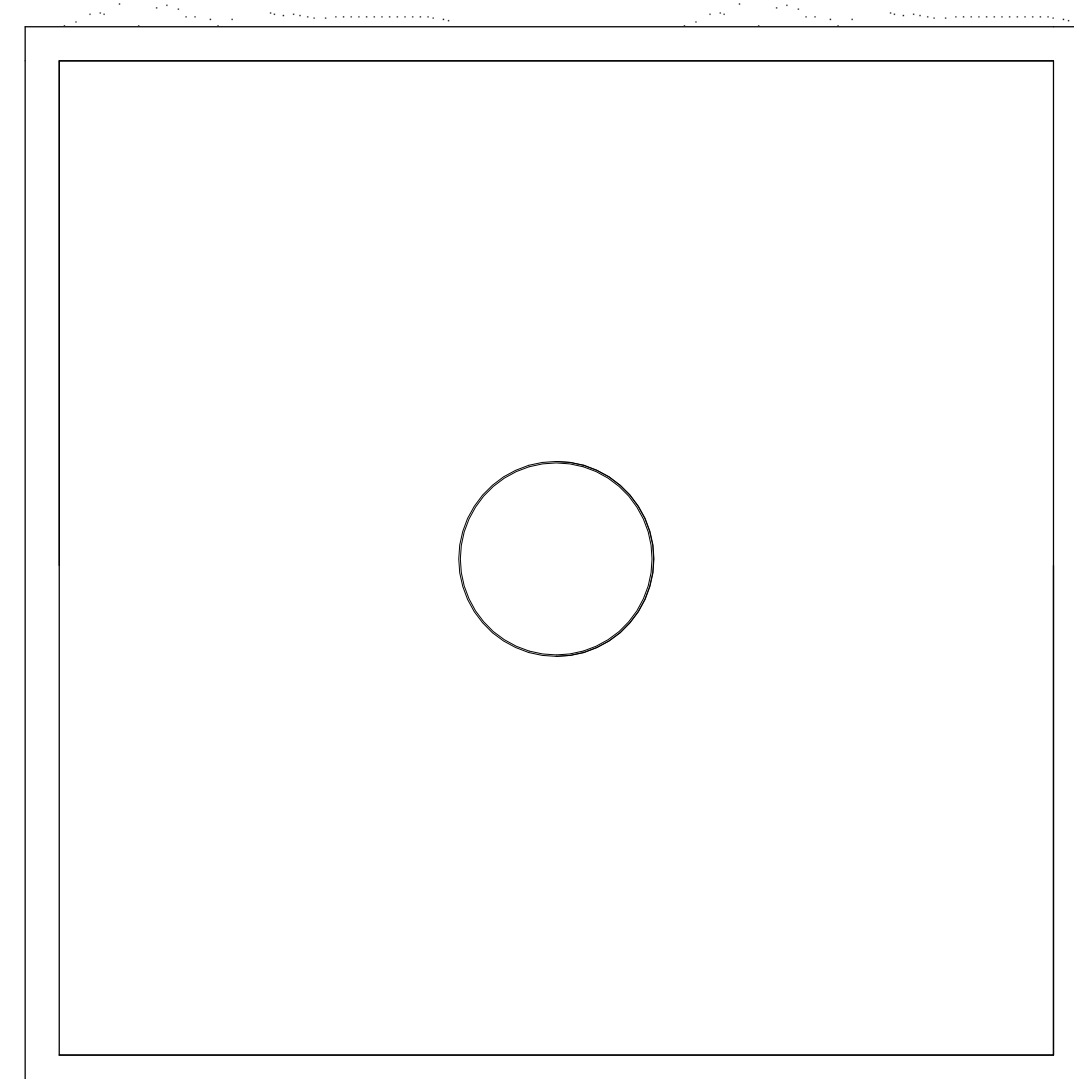
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1.705A.4

8 ROOFING NOTES
1/4" = 1'-0"



9 FLOOR PLAN DETAIL REFERENCE
1/4" = 1'-0"



10 ROOF PLAN DETAIL REFERENCE
1/4" = 1'-0"

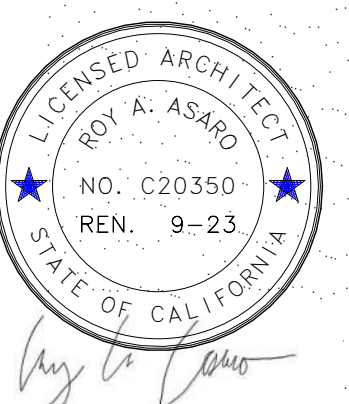
Revision Schedule		
No.	Description	Date

**THE RIDGE
 GUEST RANCH**

TENTS
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

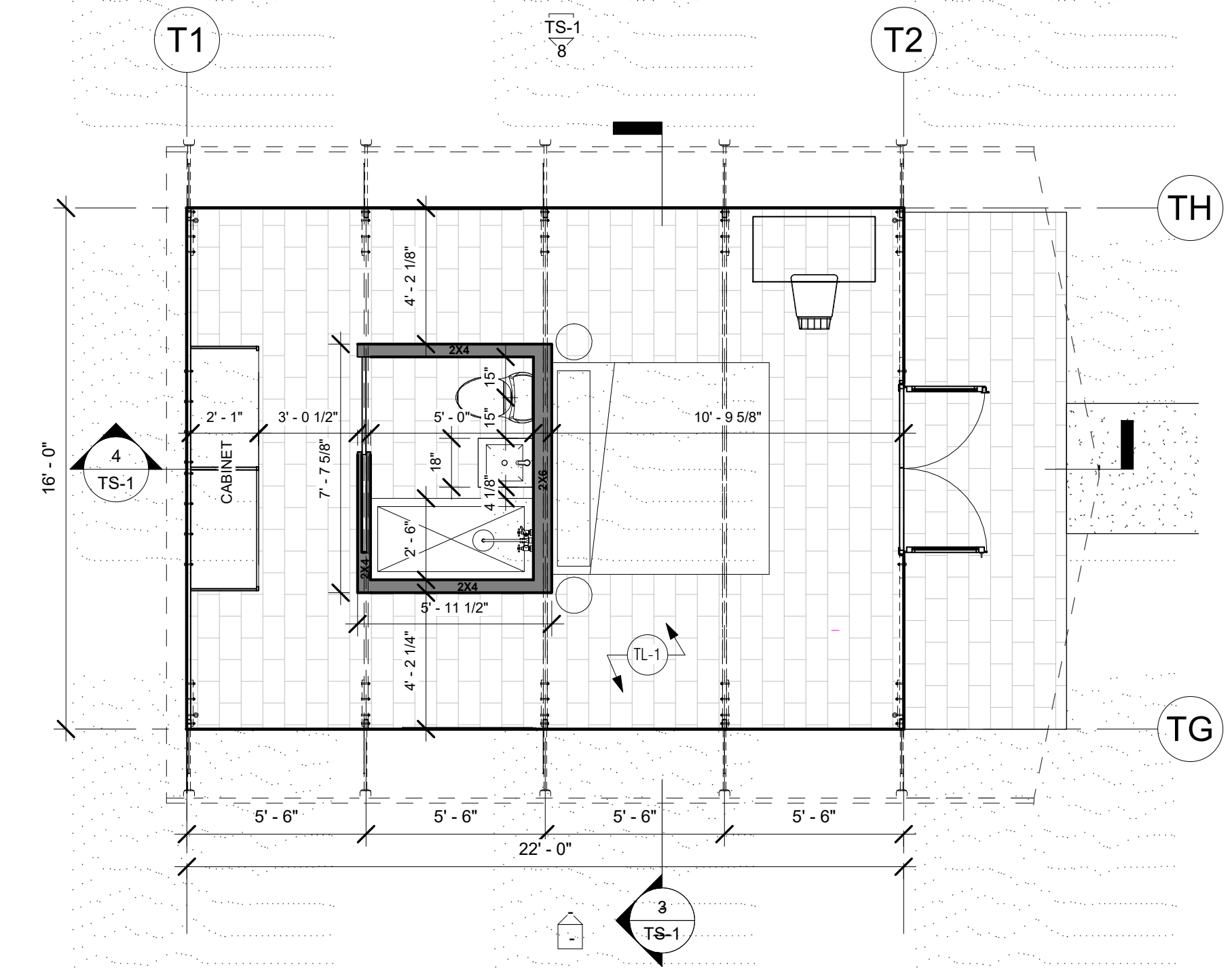
PROPOSED
 TENTS



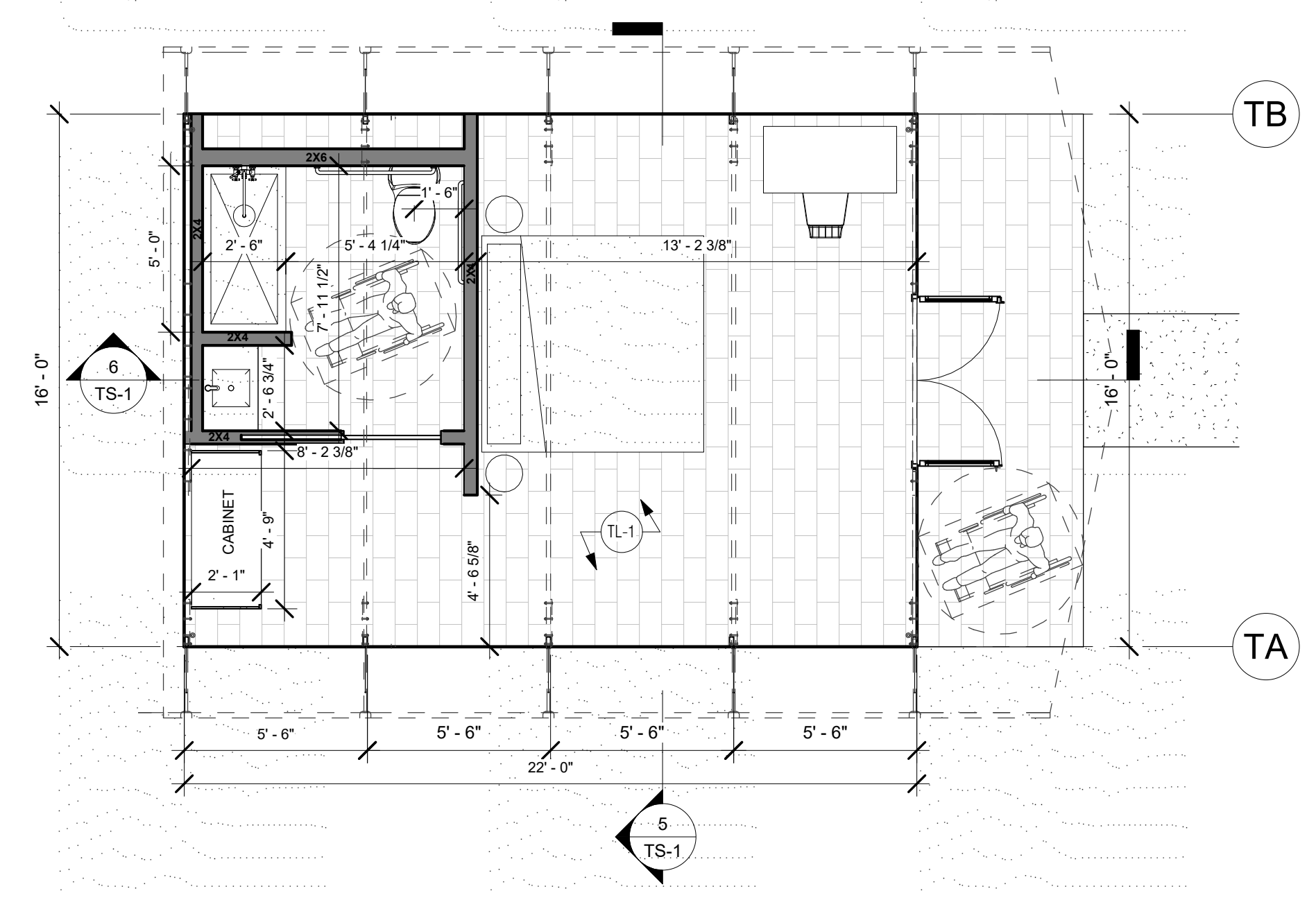
Project Number	CBS - 01
Date	05/17/23
Drawn By	RAA
Checked By	RAA

TS-1

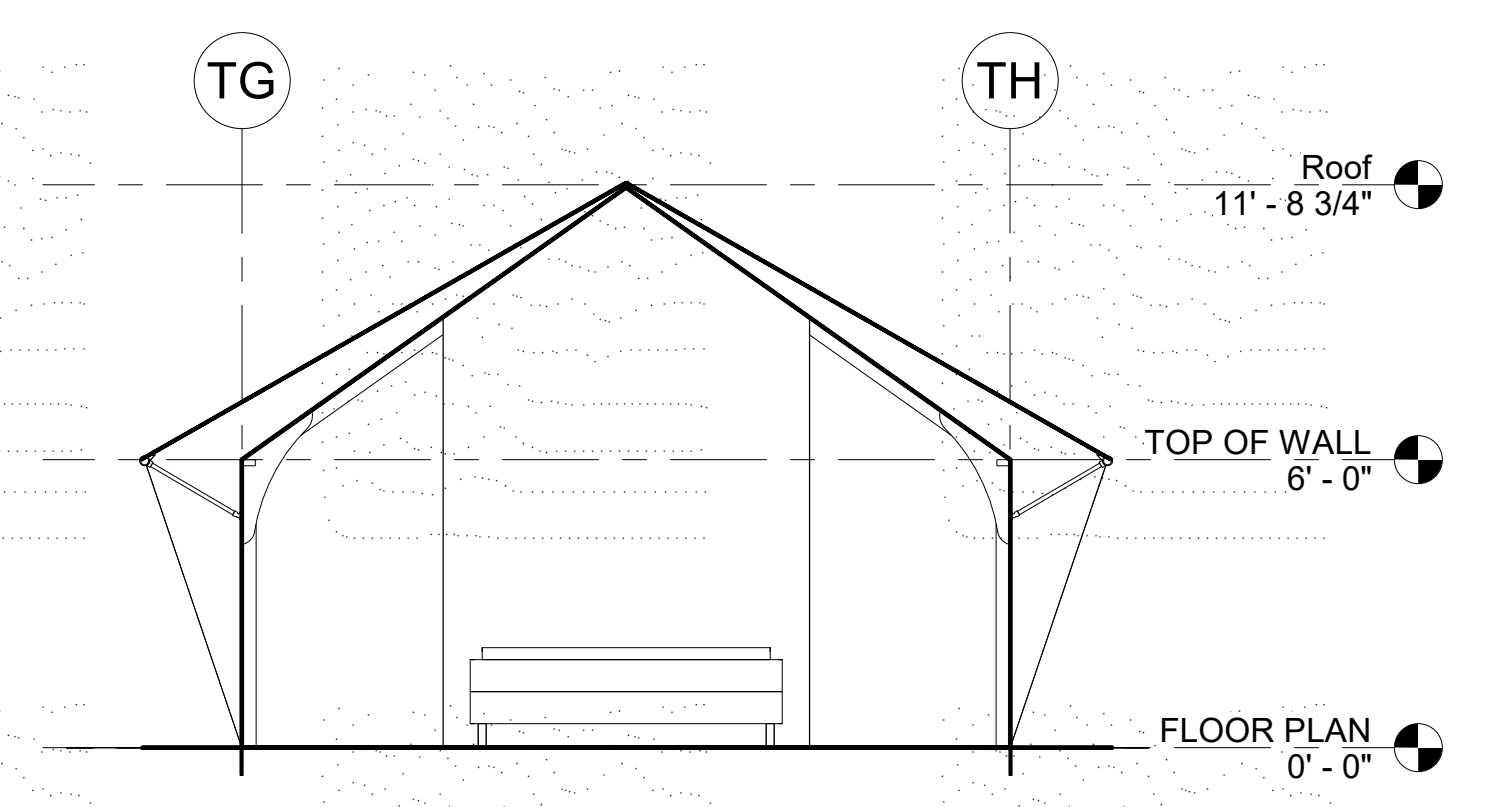
Scale 1/4" = 1'-0"



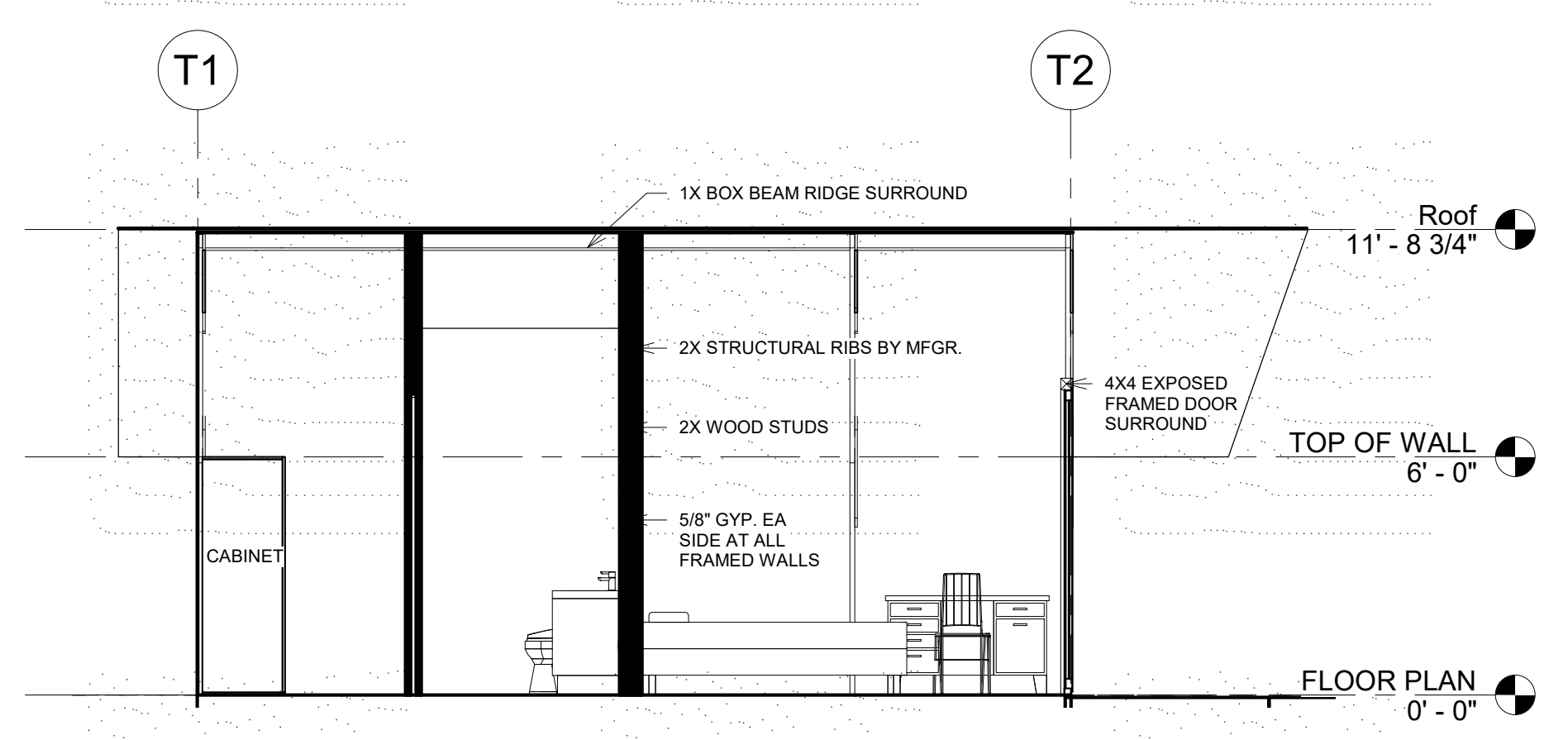
1 TS-1 STANDARD FLOOR PLAN
 1/4" = 1'-0"



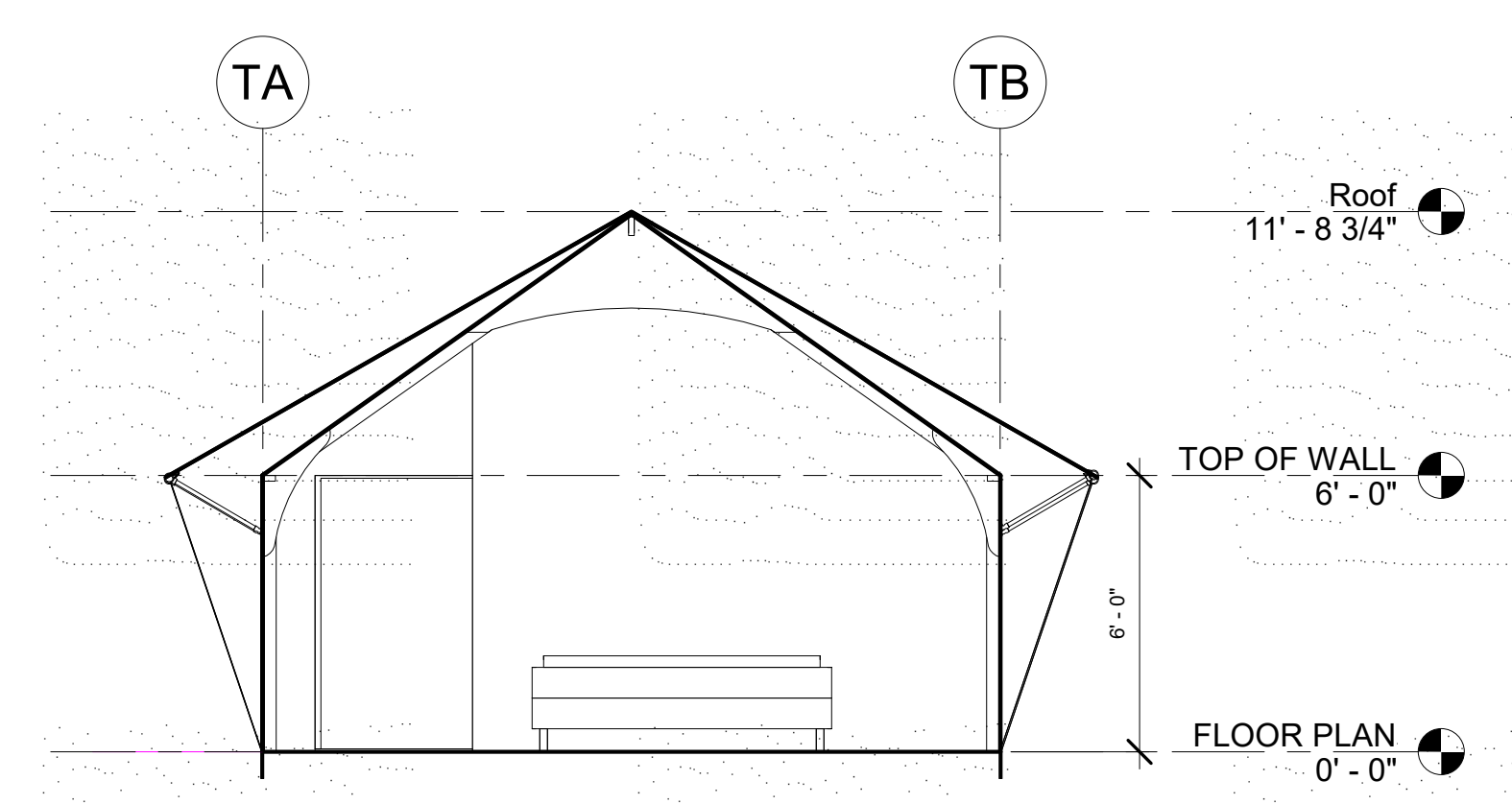
2 TS-1 ADA FLOOR PLAN
 1/4" = 1'-0"



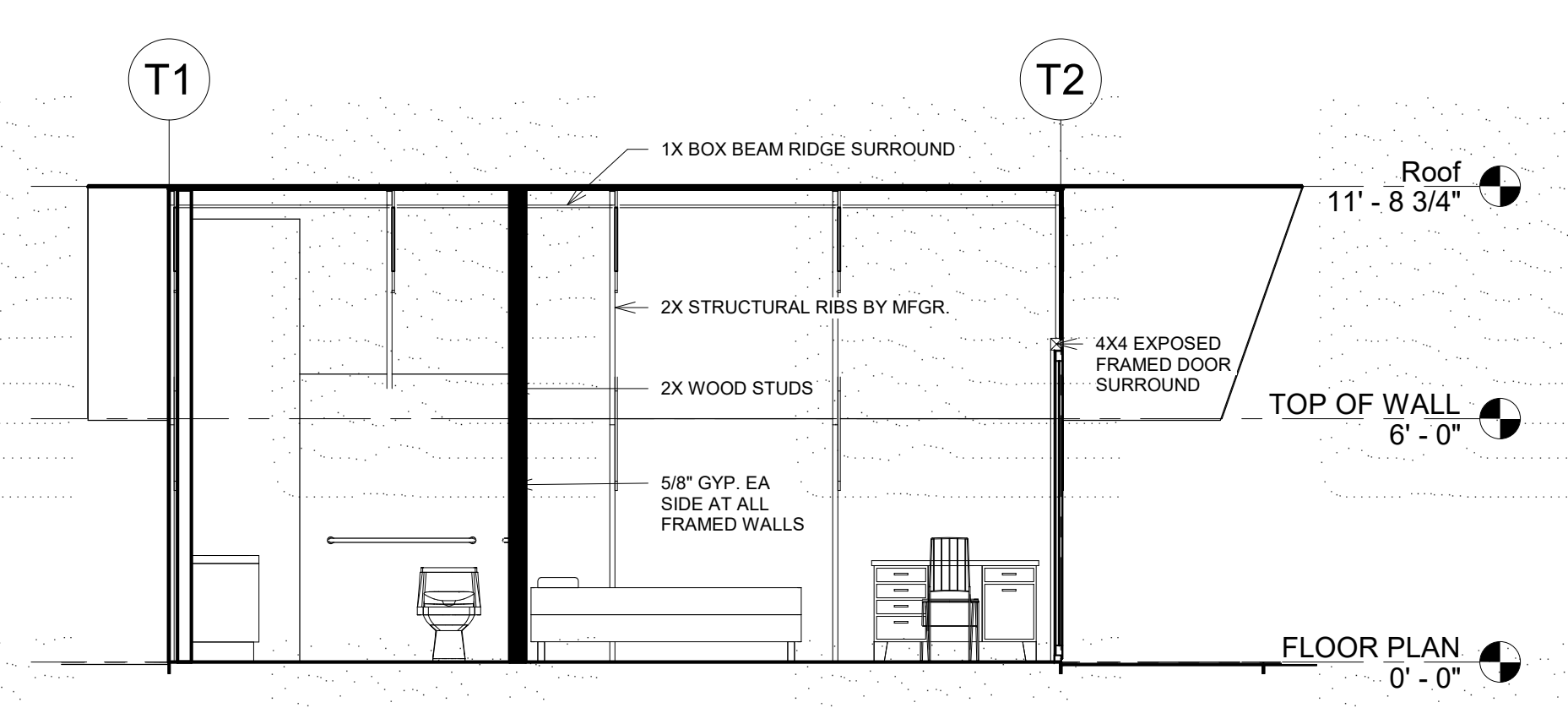
3 TYPICAL TENT SECTION 1
 1/4" = 1'-0"



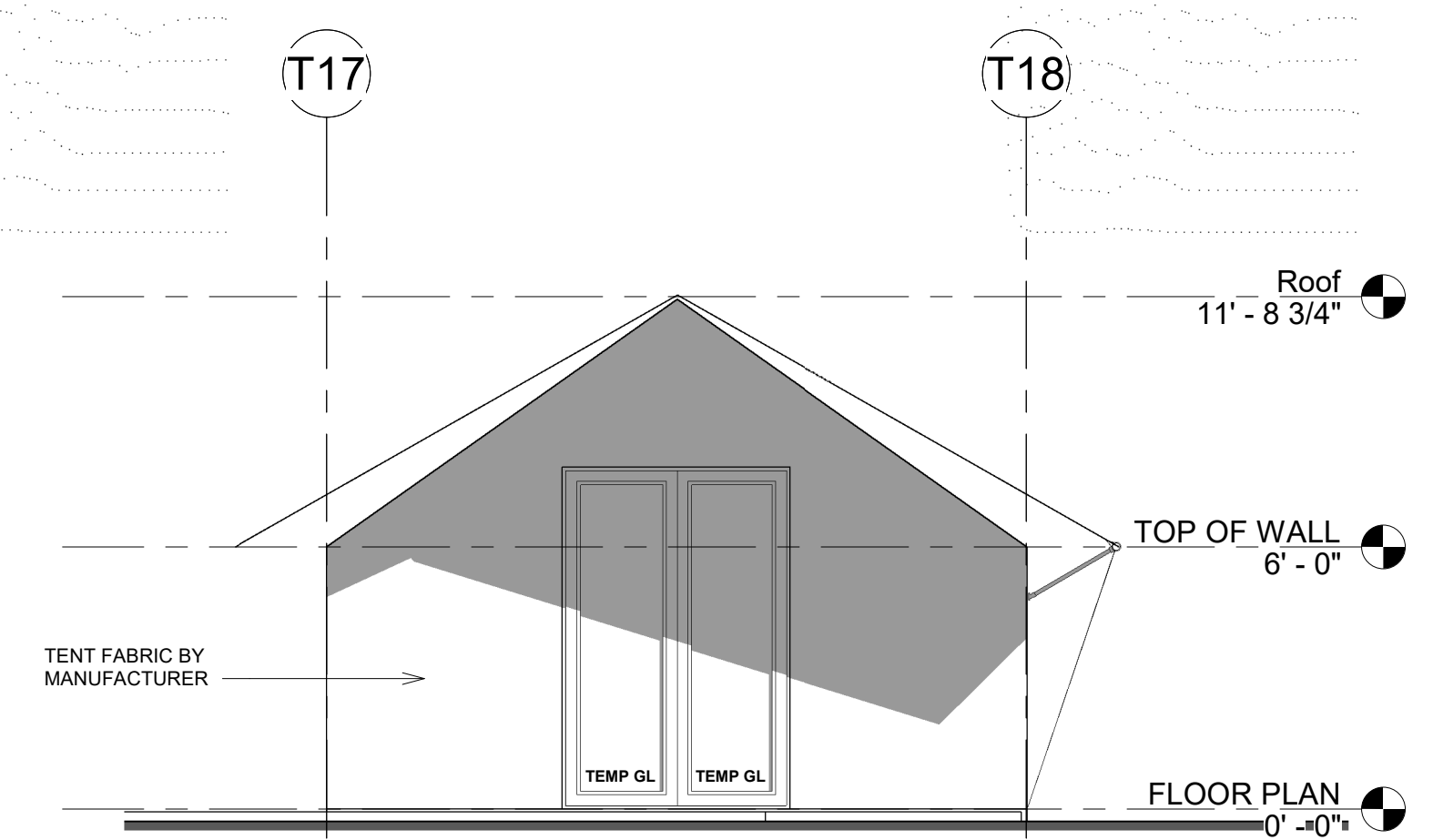
4 TYPICAL TENT SECTION 2
 1/4" = 1'-0"



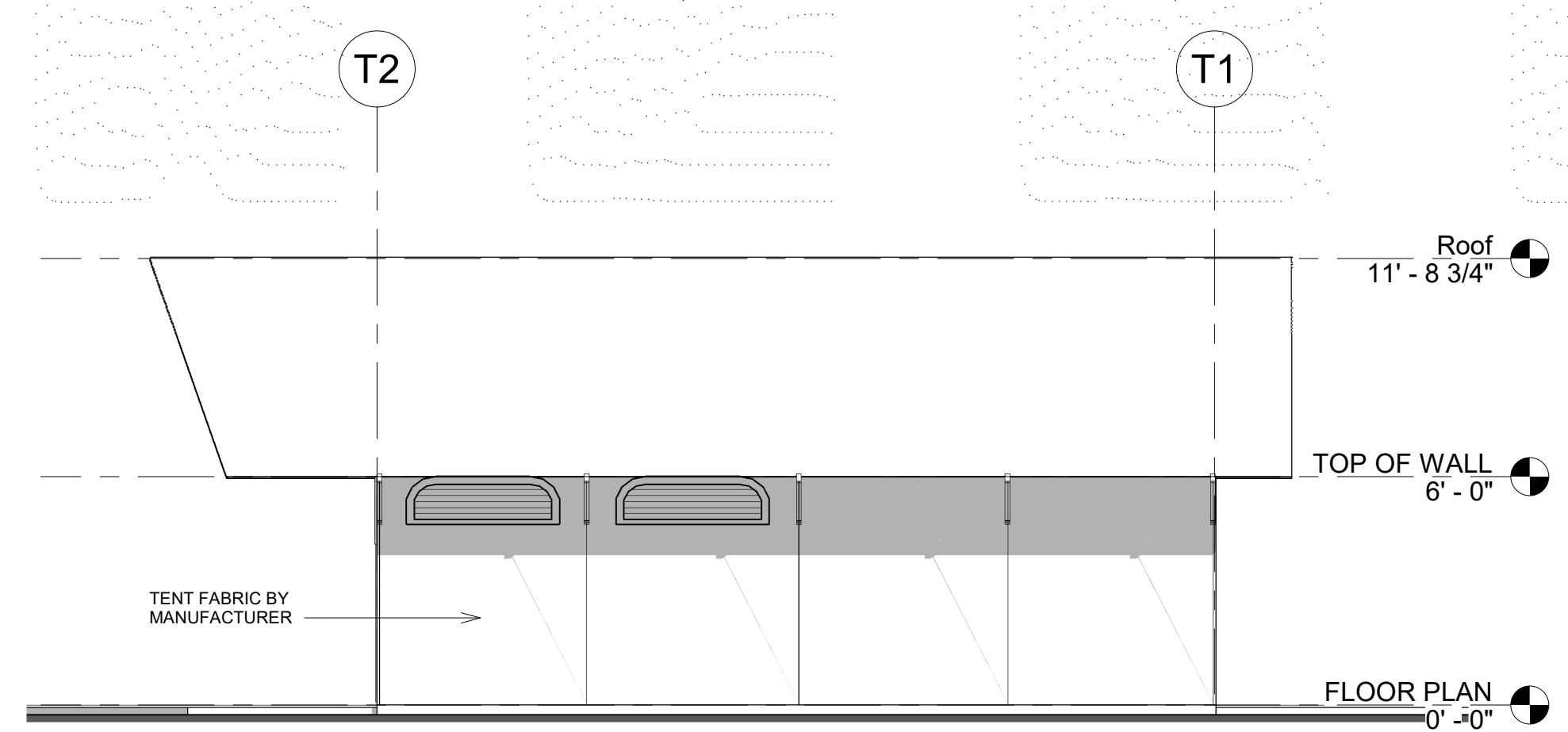
5 ADA TENT SECTION 1
 1/4" = 1'-0"



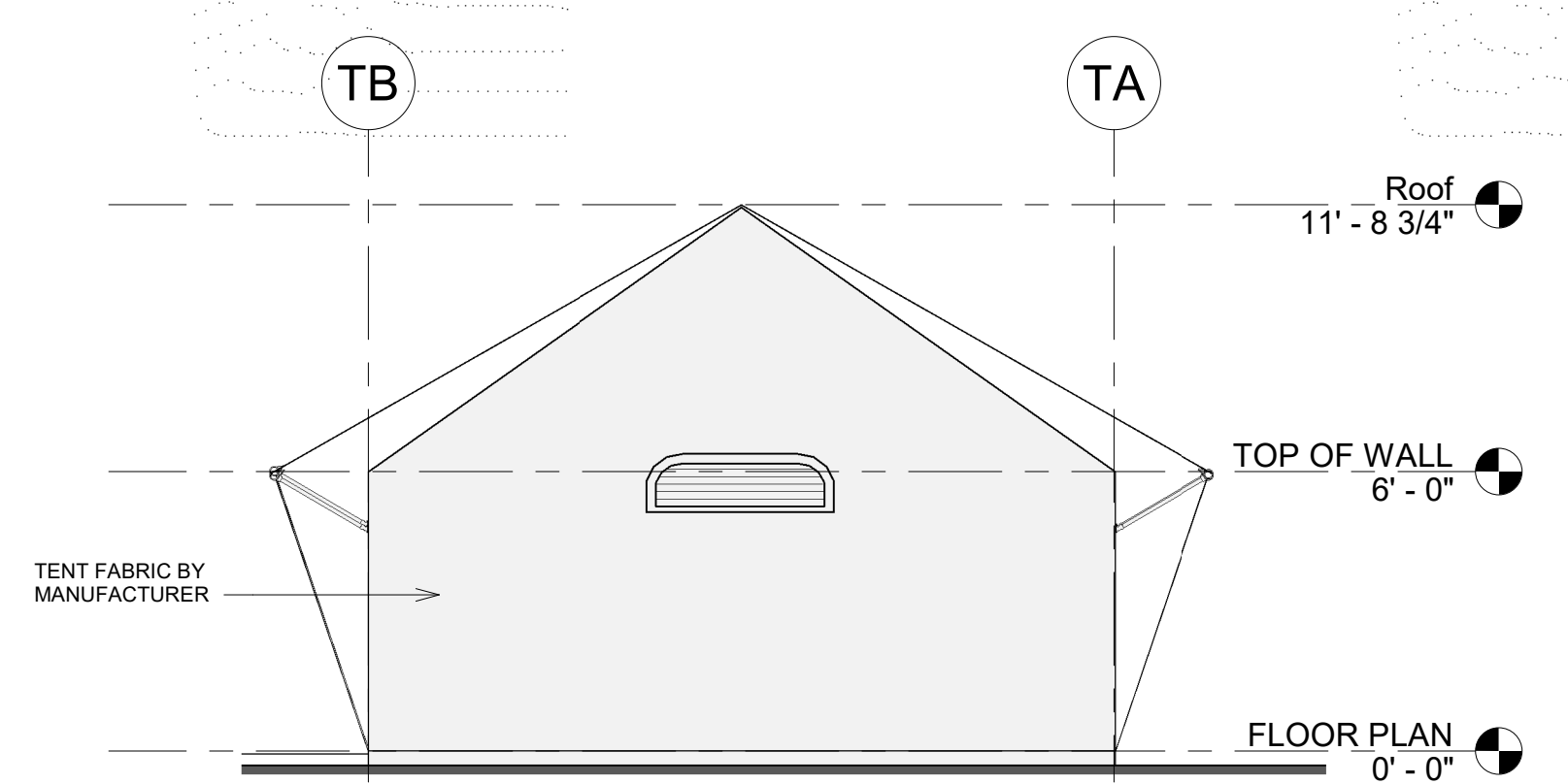
6 ADA TENT SECTION 2
 1/4" = 1'-0"



7 EAST ELEVATION
 1/4" = 1'-0"



8 NORTH ELEVATION
 1/4" = 1'-0"

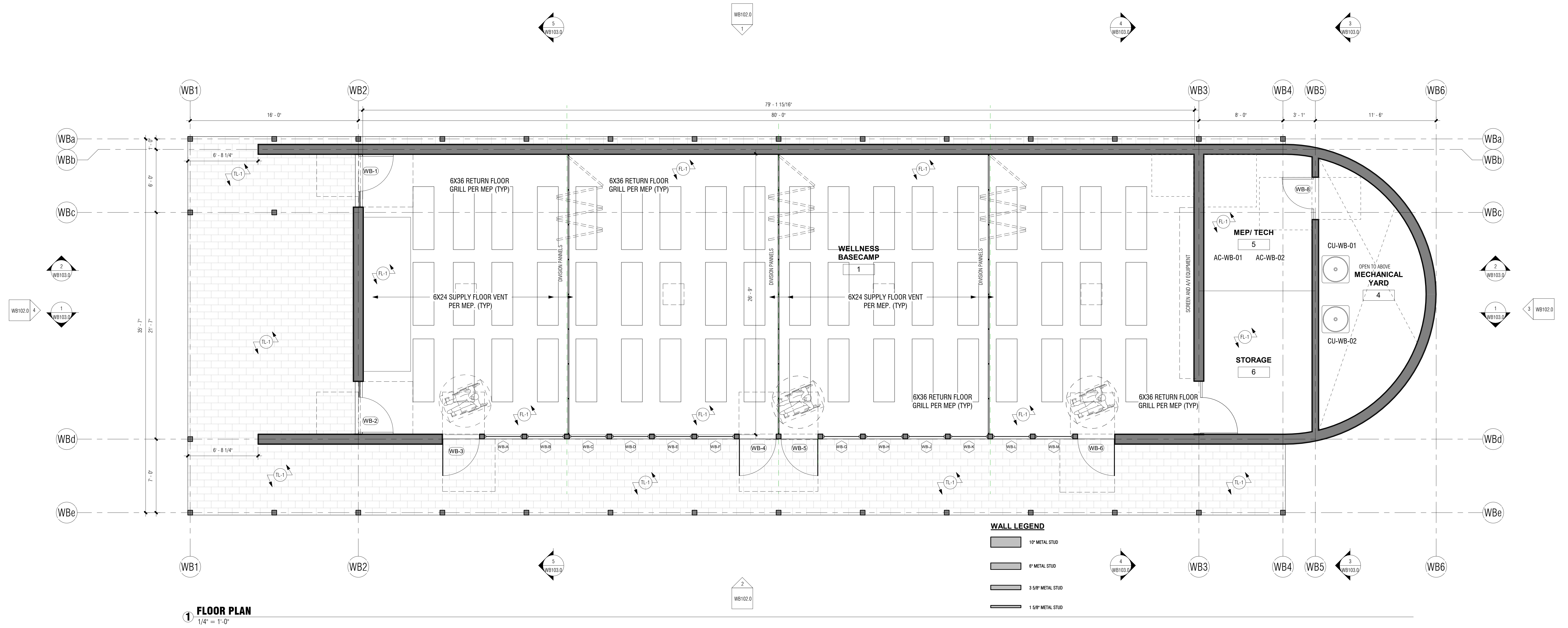


9 WEST ELEVATION
 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561



FLOOR PLAN
1/4" = 1'-0"

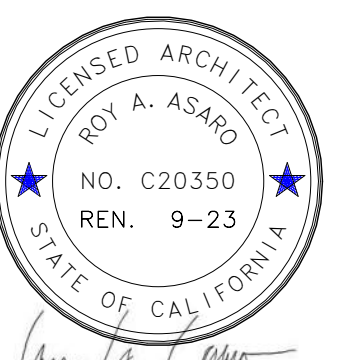
FINISH LEGEND	
NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR WISON GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WB-A	3'-7"	10'-0"			
WB-B	3'-7"	10'-0"			
WB-C	3'-7"	10'-0"			
WB-D	3'-7"	10'-0"			
WB-E	3'-7"	10'-0"			
WB-F	3'-7"	10'-0"			
WB-G	3'-7"	10'-0"			
WB-H	3'-7"	10'-0"			
WB-J	3'-7"	10'-0"			
WB-K	3'-7"	10'-0"			
WB-L	3'-7"	10'-0"			
WB-M	3'-7"	10'-0"			

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT		COMMENTS
WB-1	5'-0"	10'-0"		TYPE 'D' (GLASS W/ GLASS SIDELIGHT)
WB-2	5'-0"	10'-0"		TYPE 'D' (GLASS W/ GLASS SIDELIGHT)
WB-3	3'-6 1/4"	10'-0"		TYPE 'B' (GLASS)
WB-4	3'-6 1/4"	10'-0"		TYPE 'B' (GLASS)
WB-5	3'-6 1/4"	10'-0"		TYPE 'B' (GLASS)
WB-6	3'-6 1/4"	10'-0"		TYPE 'B' (GLASS)
WB-8	4'-0"	8'-8"		TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)
WB-9	5'-0"	8'-8"		TYPE 'A' (SOLID CORE-STAINED WOOD W/ STAINED WOOD SIDELIGHT)

CUP SUBMITTAL

FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

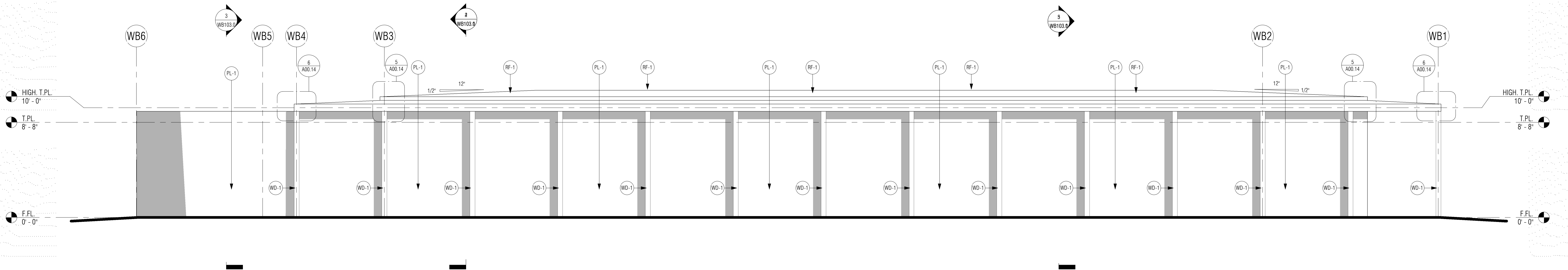
WB101.0

Scale 1/4" = 1'-0"

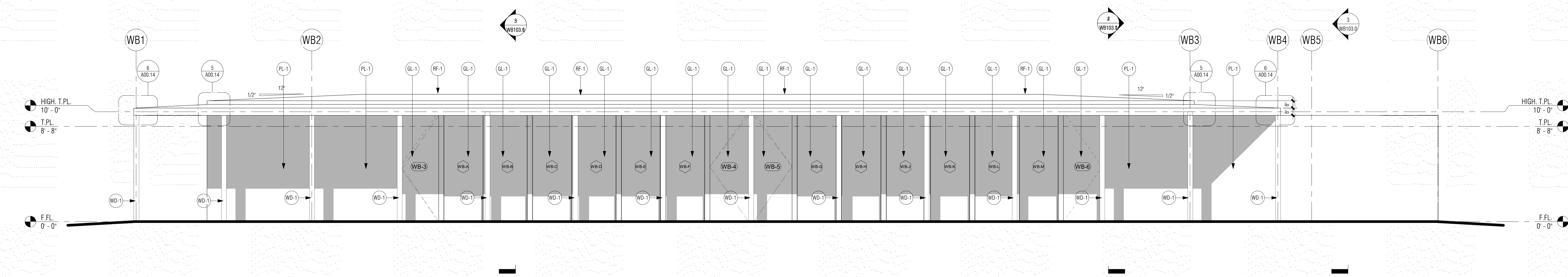
FINISH LEGEND	
NOTE #	NOTE TEXT
FL-1	FLOOR: TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/EGGAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

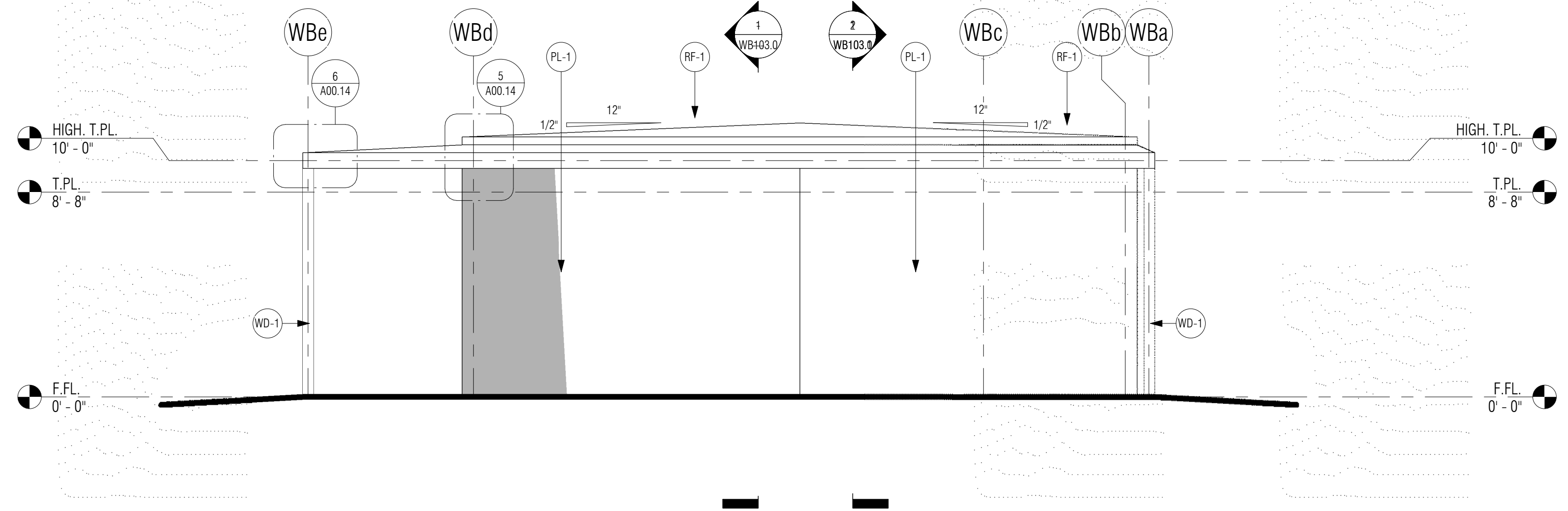
THE RIDGE
GUEST RANCH



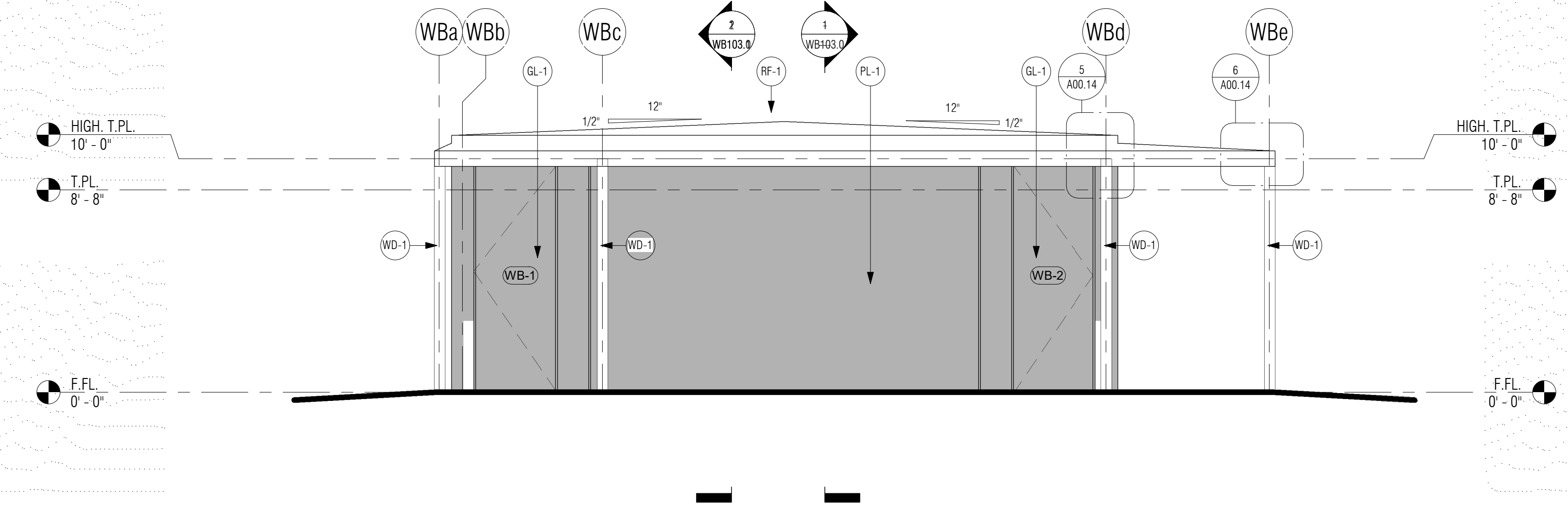
1 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



3 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

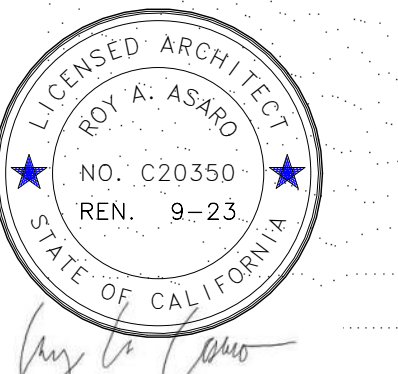


4 WEST EXTERIOR ELEVATION
1/4" = 1'-0"

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	RAA
Checked By	RAA

WB102.0

Scale 1/4" = 1'-0"

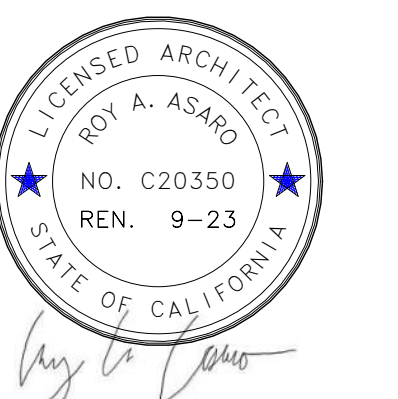
Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

WELLNESS BASECAMP
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

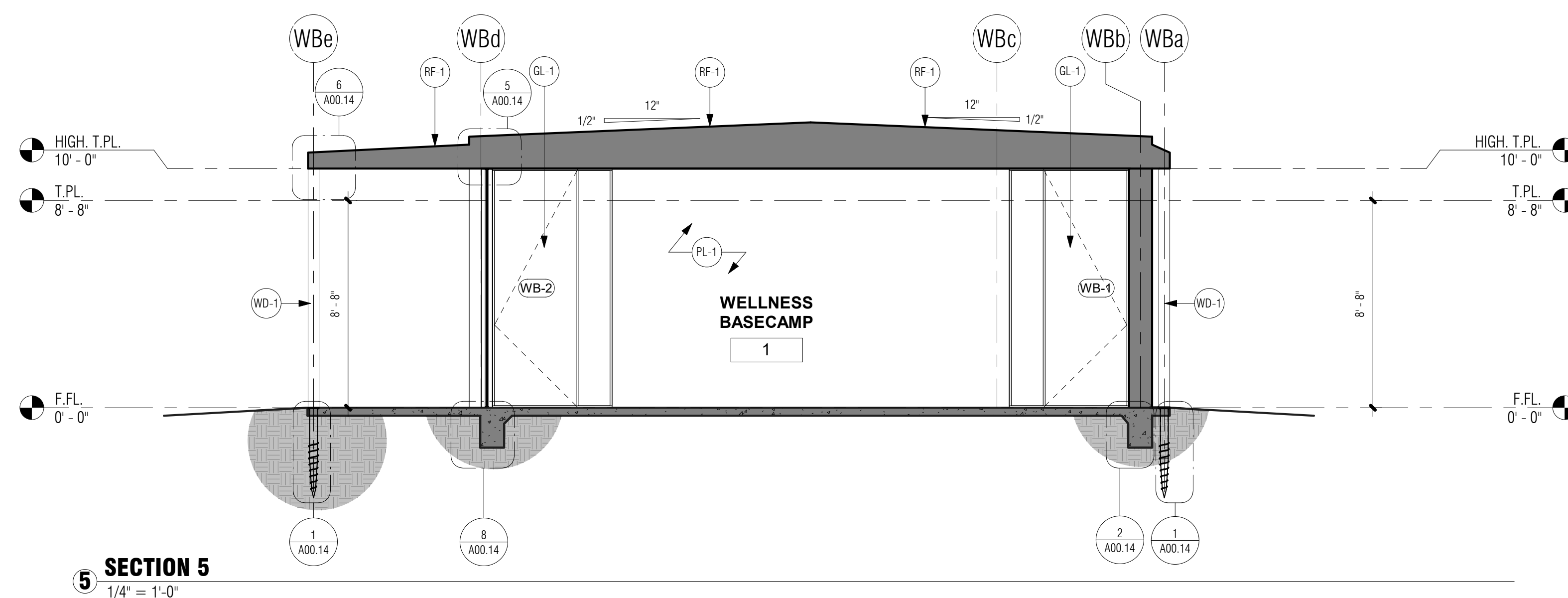
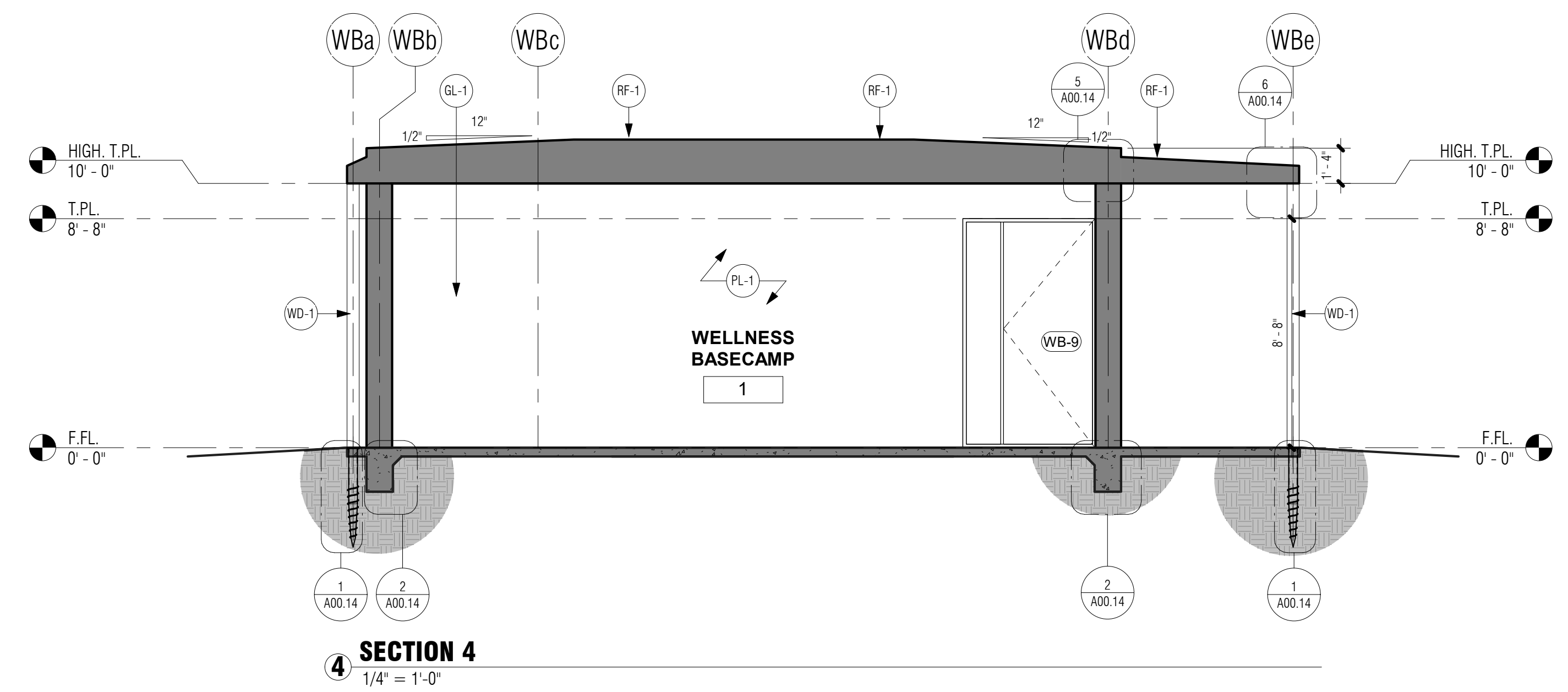
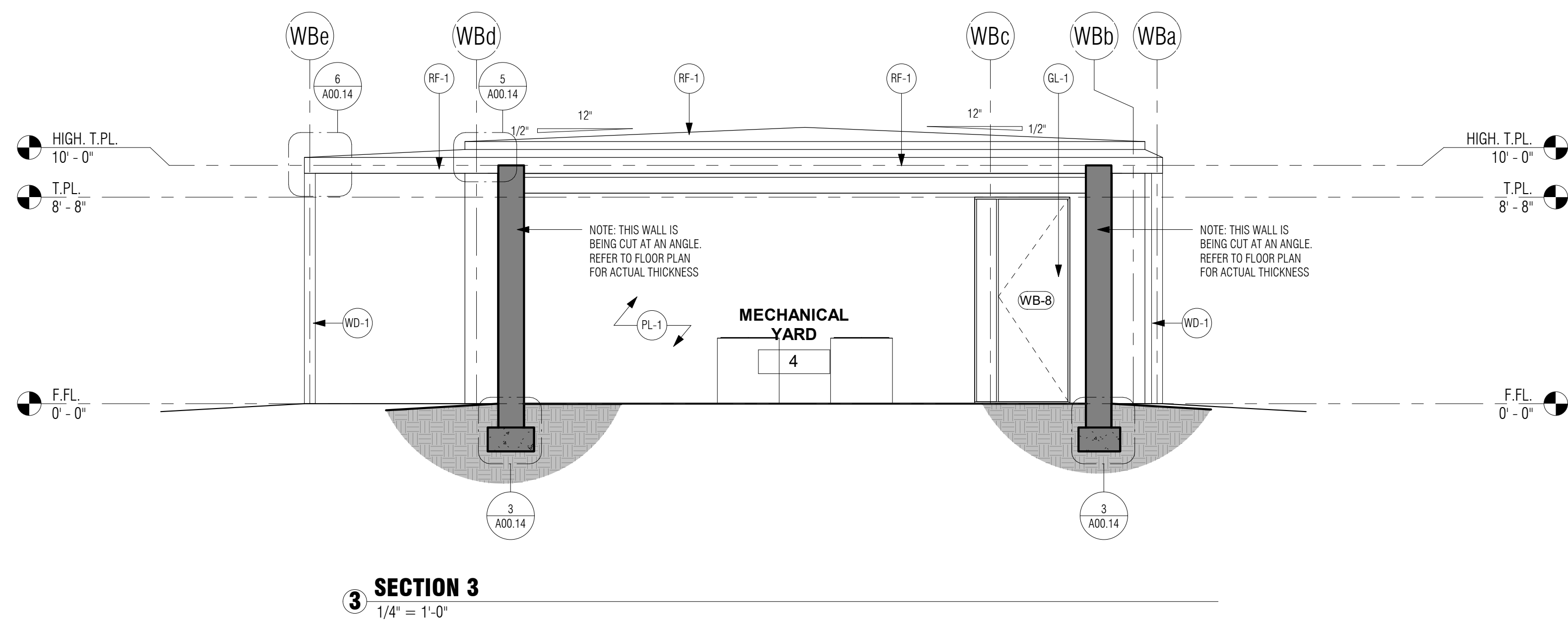
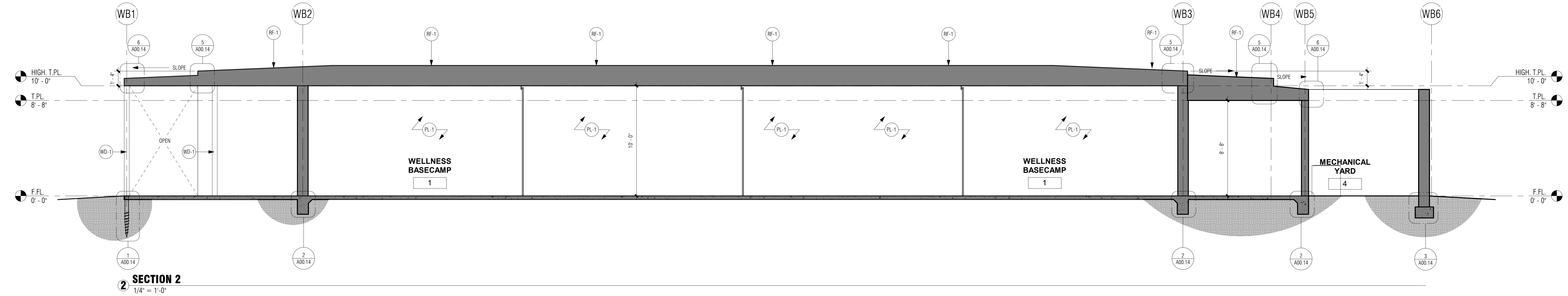
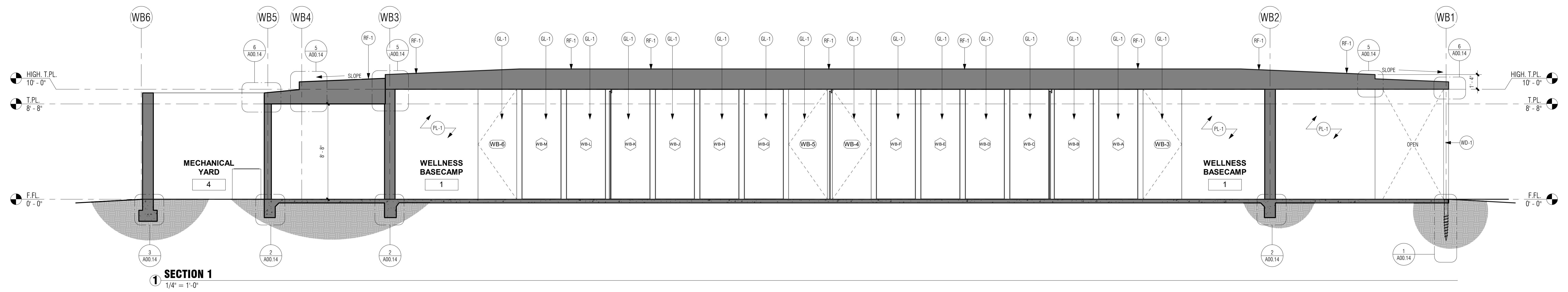
BUILDING
SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WB103.0

Scale 1/4" = 1'-0"

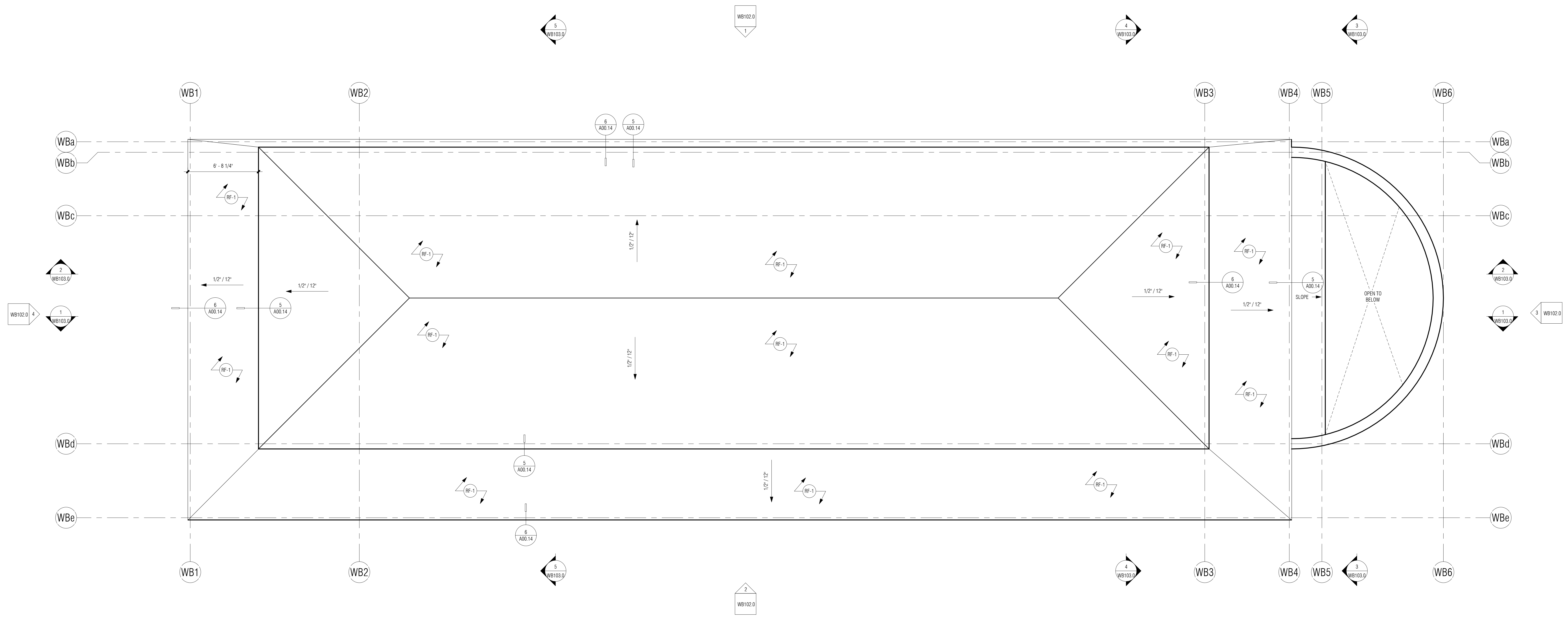


NOTE #	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH

WELLNESS BASECAMP
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561



1 ROOF PLAN
 1/4" = 1'-0"

FINISH LEGEND	
NOTE #	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER WHITE/GRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WB-1	STUCCO FINISH TO BE DETERMINED

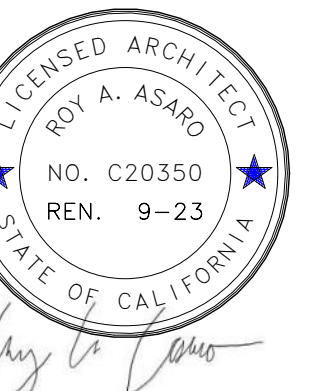
LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 921.705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

CUP SUBMITTAL

ROOF PLAN



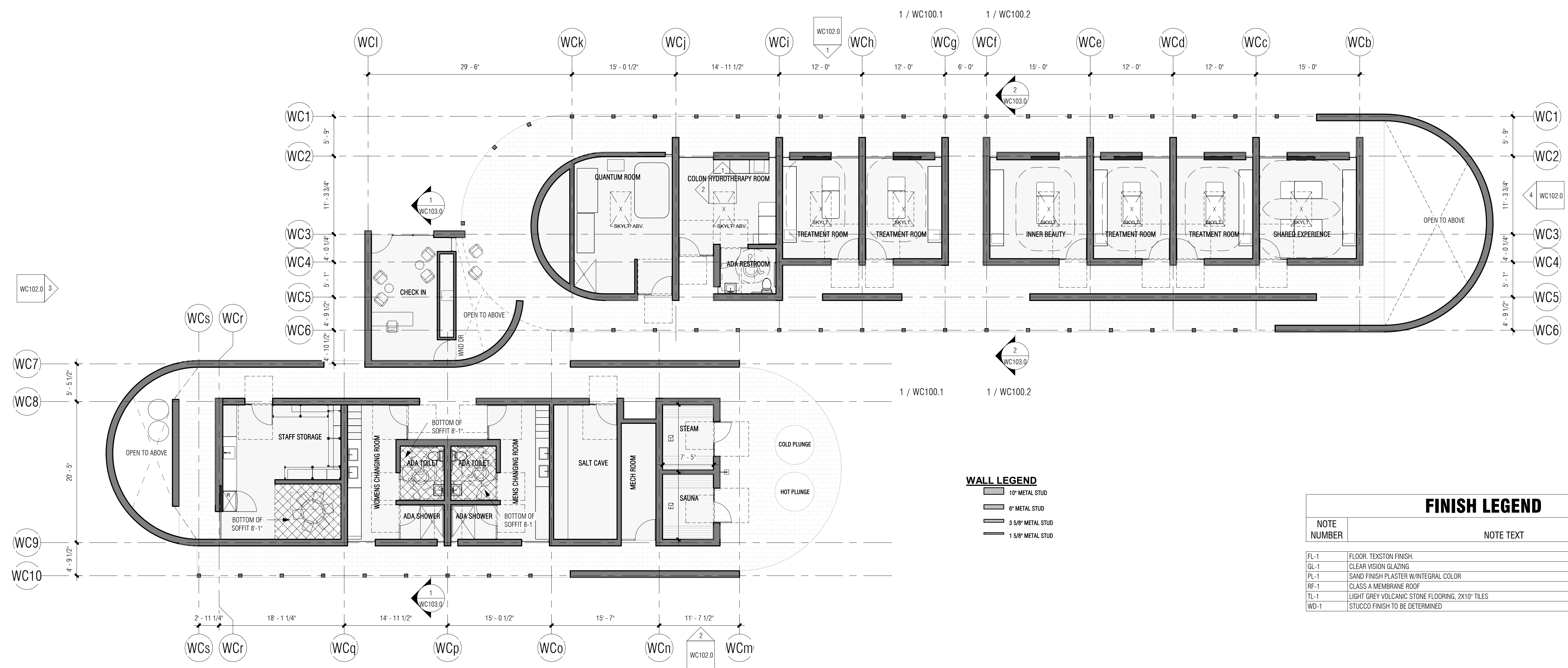
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WB104.0

Scale 1/4" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH



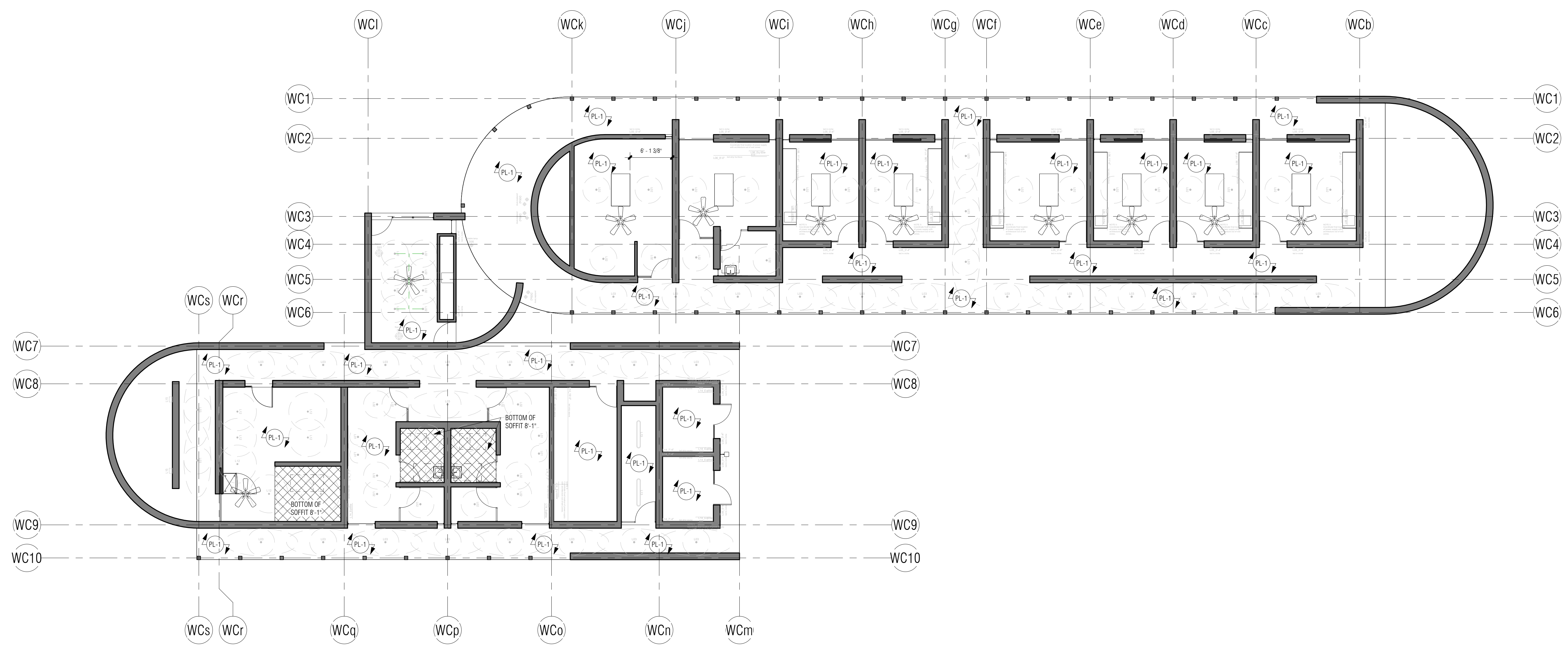
WALL LEGEND

- 10" METAL STUD
- 6" METAL STUD
- 3 5/8" METAL STUD
- 1 5/8" METAL STUD

FINISH LEGEND

NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

1 OVERALL PLAN
1/8" = 1'-0"



2 REFLECTED CEILING PLAN
1/8" = 1'-0"

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

OVERALL FLOOR
PLAN & RCP



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC100.0

Scale 1/8" = 1'-0"

Revision Schedule		
No.	Description	Date

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

PARTIAL
ENLARGED
FLOOR PLAN



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

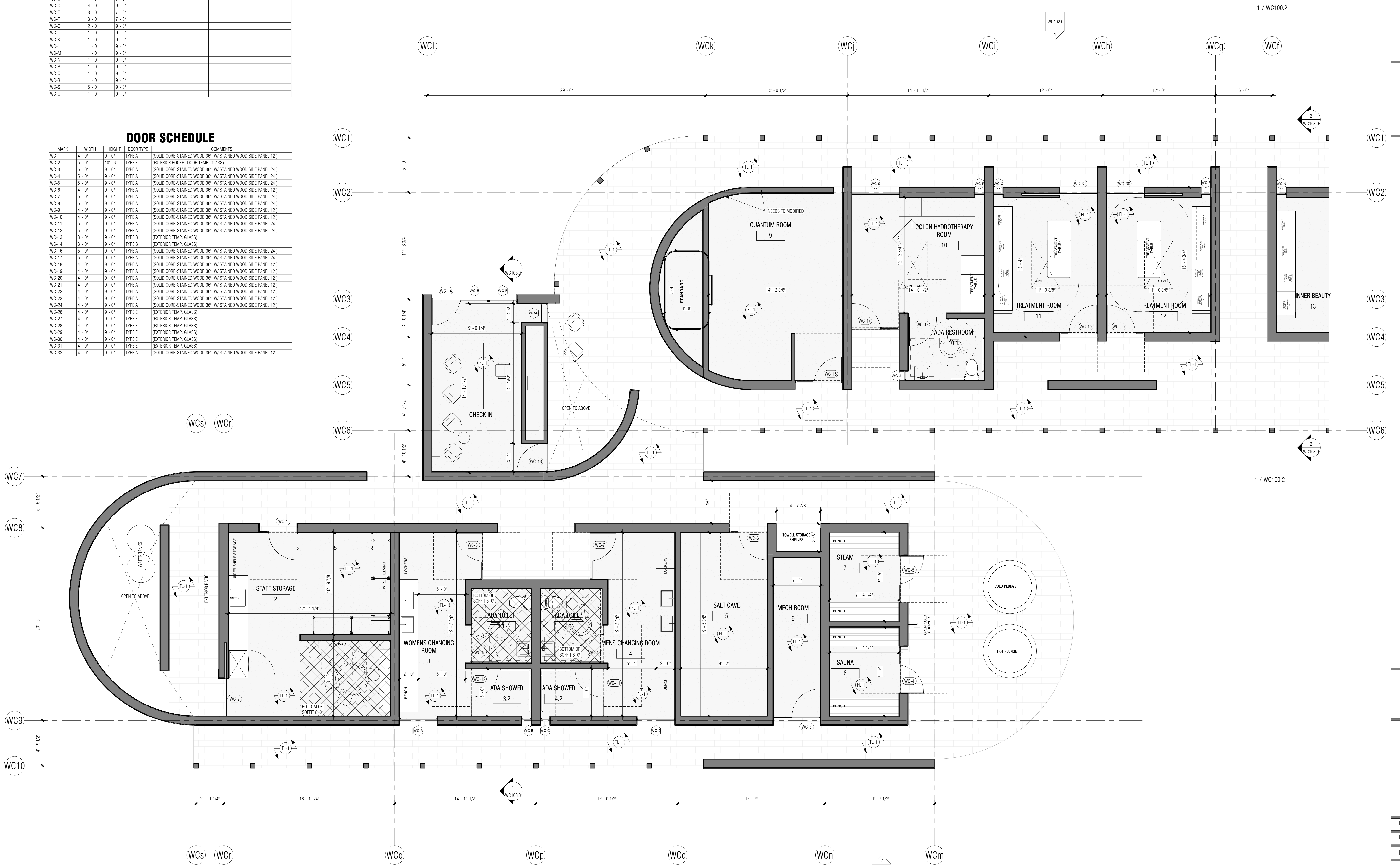
WC100.1

Scale 1/4" = 1'-0"

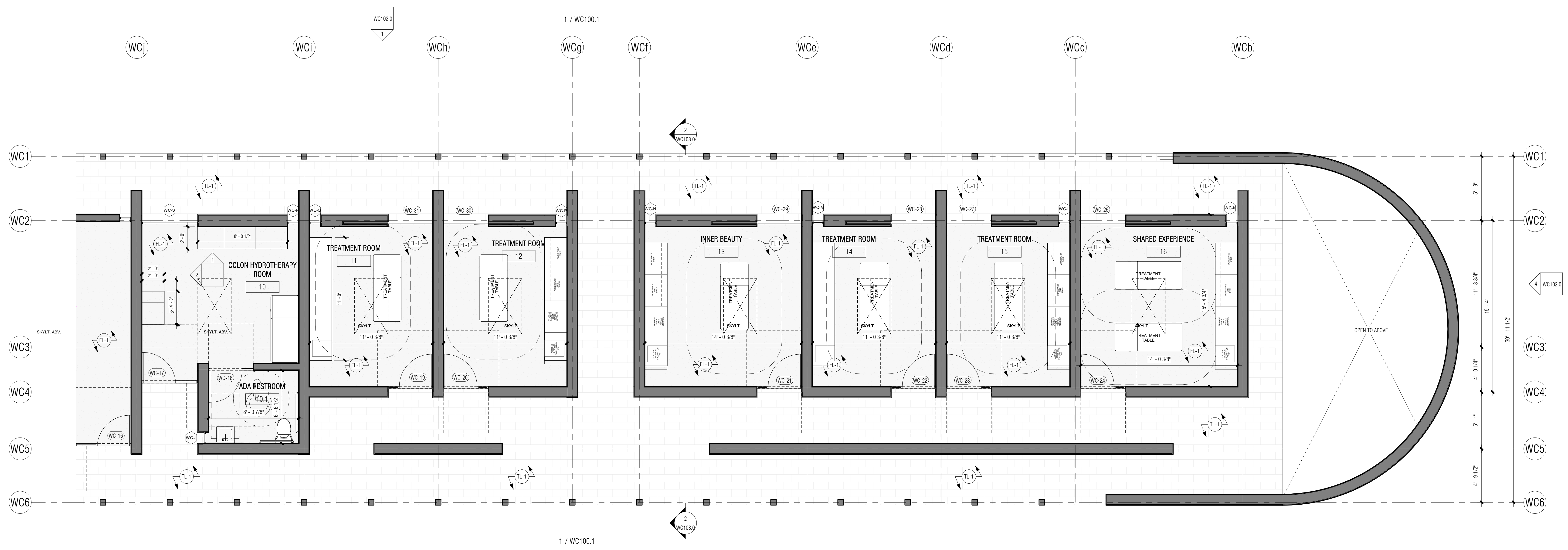
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WC-A	4'-0"	9'-0"			
WC-B	1'-0"	9'-0"			
WC-C	1'-0"	9'-0"			
WC-D	4'-0"	9'-0"			
WC-E	3'-0"	7'-8"			
WC-F	3'-0"	7'-8"			
WC-G	2'-0"	9'-0"			
WC-J	1'-0"	9'-0"			
WC-K	1'-0"	9'-0"			
WC-L	1'-0"	9'-0"			
WC-M	1'-0"	9'-0"			
WC-N	1'-0"	9'-0"			
WC-P	1'-0"	9'-0"			
WC-Q	1'-0"	9'-0"			
WC-R	1'-0"	9'-0"			
WC-S	9'-0"	9'-0"			
WC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
WC-1	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-2	5'-0"	10'-6"	TYPE E	(EXTERIOR ROCKET DOOR TEMP. GLASS)	
WC-3	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-4	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-5	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-6	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-7	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-8	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-9	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-10	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-11	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-12	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-13	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-14	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-15	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-16	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-17	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-18	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-19	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-20	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-21	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-22	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-23	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-24	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-25	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-26	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-27	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-28	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-29	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-30	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-31	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-32	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	



Revision Schedule		
No.	Description	Date



1 ENLARGED FLOOR PLAN - NORTH
1/4" = 1'-0"

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR
RF-1	GLASS & MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

WINDOW SCHEDULE					
Mark	WIDTH	HEIGHT	U-FACTOR	SHGC	COMMENTS
WC-A	4'-0"	9'-0"			
WC-B	1'-0"	9'-0"			
WC-C	1'-0"	9'-0"			
WC-D	4'-0"	9'-0"			
WC-E	3'-0"	7'-8"			
WC-F	3'-0"	7'-8"			
WC-G	2'-0"	9'-0"			
WC-J	1'-0"	9'-0"			
WC-K	1'-0"	9'-0"			
WC-L	1'-0"	9'-0"			
WC-M	1'-0"	9'-0"			
WC-N	1'-0"	9'-0"			
WC-P	1'-0"	9'-0"			
WC-Q	1'-0"	9'-0"			
WC-R	1'-0"	9'-0"			
WC-S	5'-0"	9'-0"			
WC-U	1'-0"	9'-0"			

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	DOOR TYPE	COMMENTS	
WC-1	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-2	5'-0"	10'-0"	TYPE E	(EXTERIOR POCKET DOOR TEMP. GLASS)	
WC-3	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-4	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-5	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-6	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-7	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-8	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-9	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-10	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-11	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-12	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-13	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-14	3'-0"	9'-0"	TYPE B	(EXTERIOR TEMP. GLASS)	
WC-16	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-17	5'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 24")	
WC-18	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-19	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-20	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-21	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-22	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-23	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-24	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	
WC-26	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-27	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-28	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-29	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-30	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-31	4'-0"	9'-0"	TYPE E	(EXTERIOR TEMP. GLASS)	
WC-32	4'-0"	9'-0"	TYPE A	(SOLID CORE-STAINED WOOD 3/8" W/ STAINED WOOD SIDE PANEL 12")	

CUP SUBMITTAL

PARTIAL
ENLARGED
FLOOR PLAN



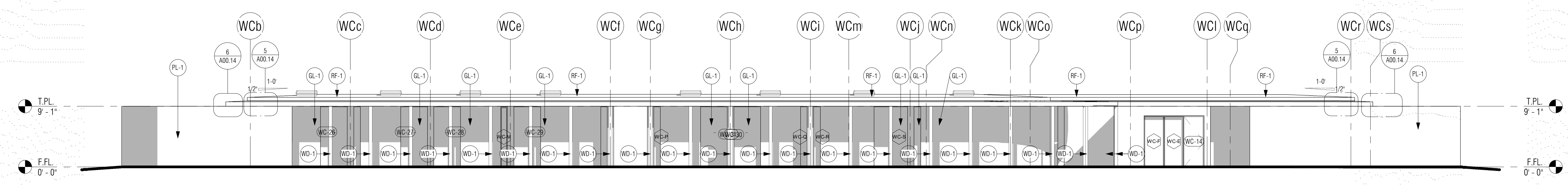
Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC100.2

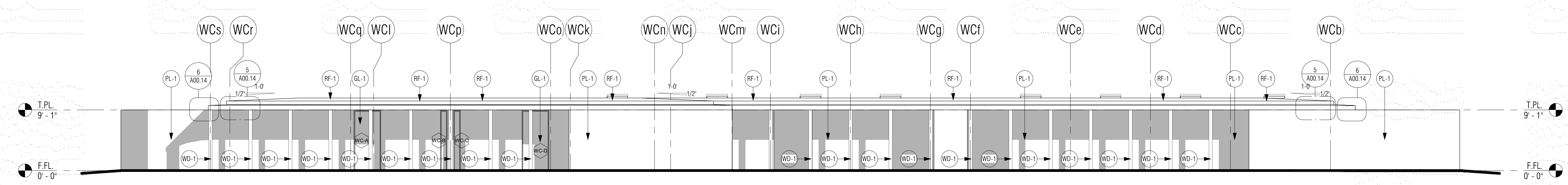
Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

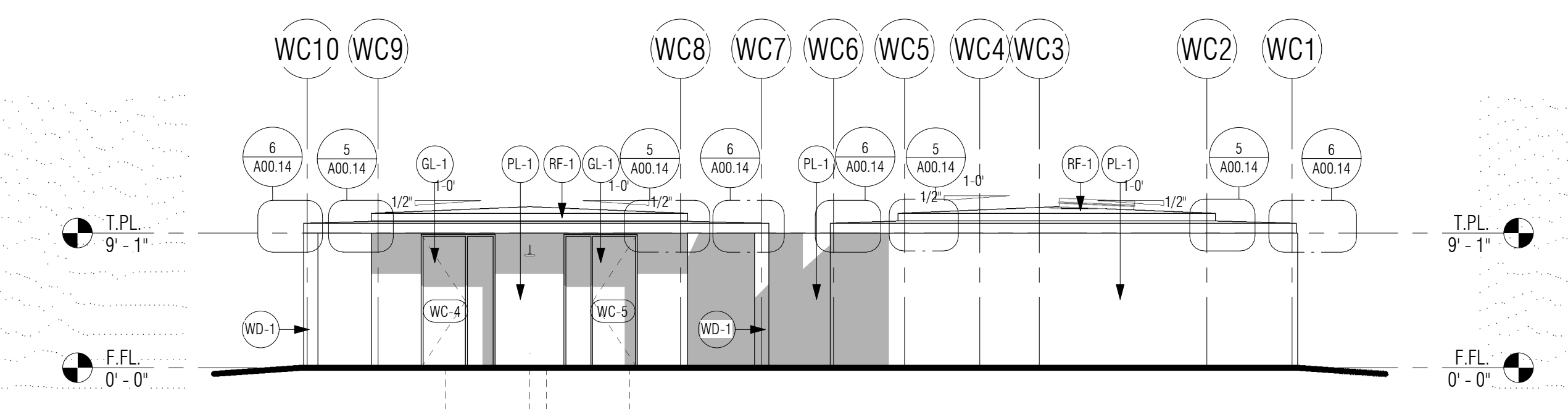
Revision Schedule		
No.	Description	Date



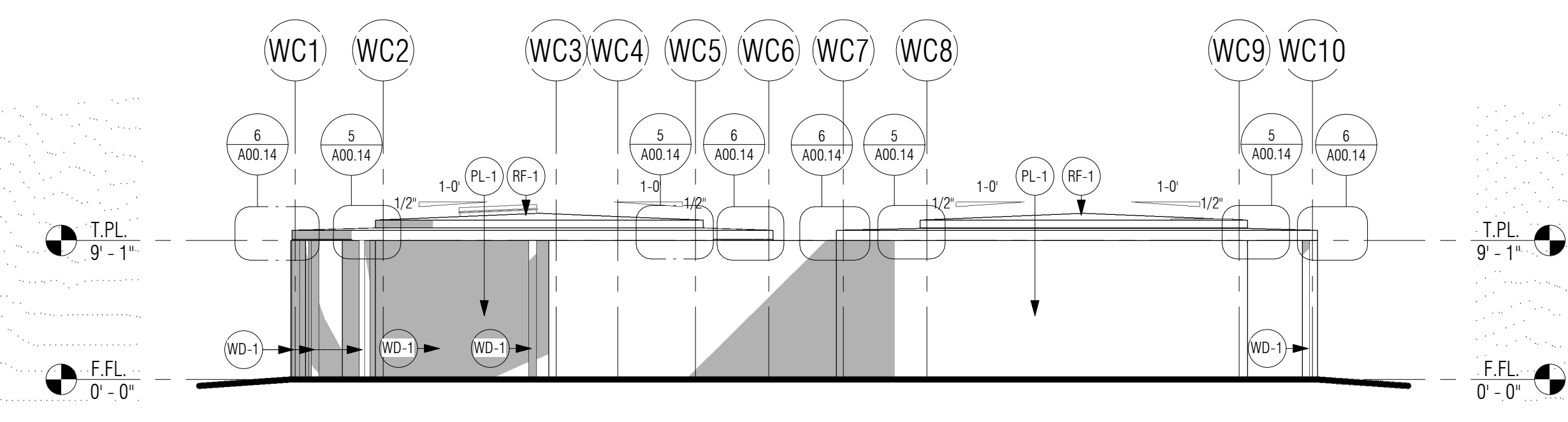
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"



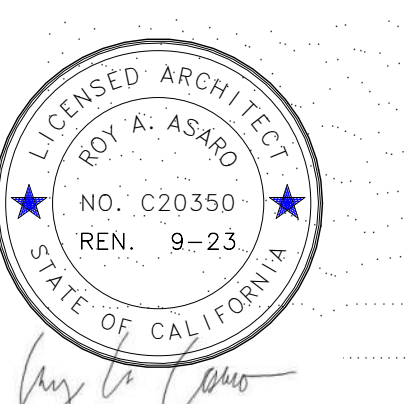
3 SOUTH ELEVATION
1/8" = 1'-0"

THE RIDGE
GUEST RANCH

WELLNESS SANTUARY
56475 APPLE CANYON ROAD
MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

BUILDING
ELEVATIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS/RAA
Checked By	RAA

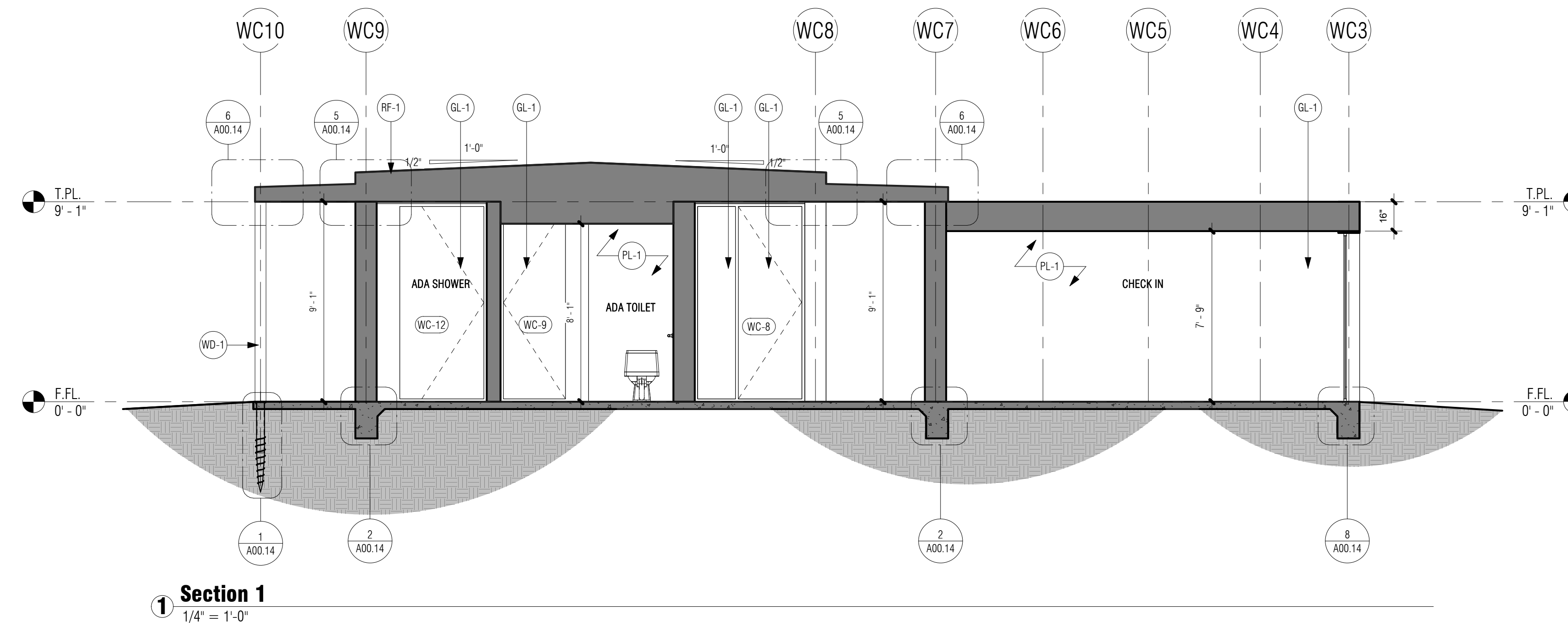
WC102.0

Scale 1/8" = 1'-0"

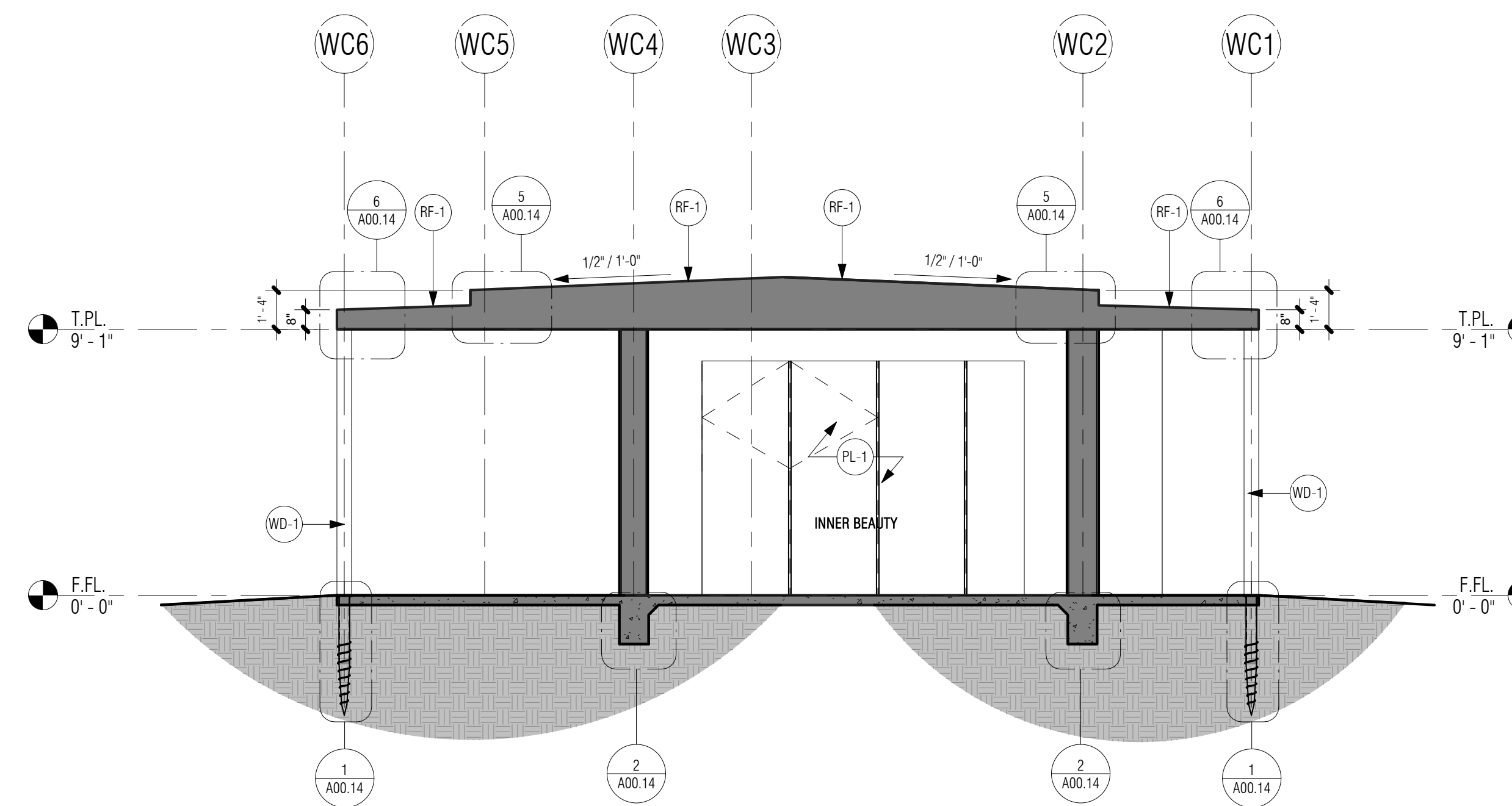
FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER, INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

Revision Schedule		
No.	Description	Date

THE RIDGE
 GUEST RANCH



Section 1
 1/4" = 1'-0"

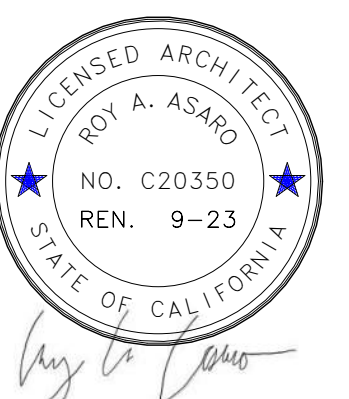


Section 2
 1/4" = 1'-0"

WELLNESS SANTUARY
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

SECTIONS



Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC103.0

Scale 1/4" = 1'-0"

FINISH LEGEND	
NOTE NUMBER	NOTE TEXT
FL-1	FLOOR, TEXTON FINISH
GL-1	CLEAR VISION GLAZING
PL-1	SAND FINISH PLASTER W/INTEGRAL COLOR
RF-1	CLASS A MEMBRANE ROOF
TL-1	LIGHT GREY VOLCANIC STONE FLOORING, 2'X10" TILES
WD-1	STUCCO FINISH TO BE DETERMINED

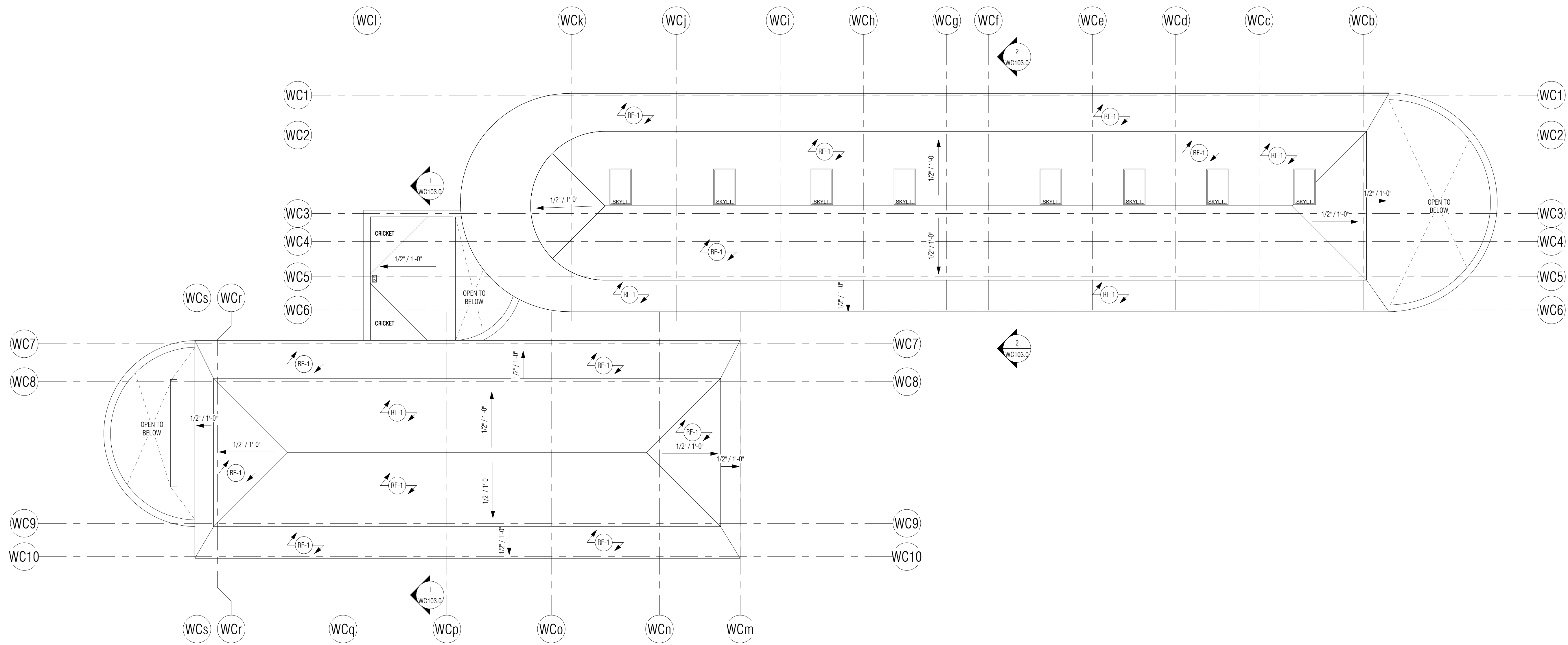
Revision Schedule		
No.	Description	Date

LOW PITCH ROOFING INSTALL OVER GAF'S VERSASHIELD FIRE RESISTANT TORCH DOWN UNDERLAYMENT ICC ES REPORT 2053 SUBSTRATE TO BE 1/2" RADIANT BARRIER OSB SHEATHING PER ROOF FRAMING PLAN

ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. COUNTY BUILDING CODE 92.1705A.4

2 ROOFING NOTES
 1/4" = 1'-0"

THE RIDGE
 GUEST RANCH



1 ROOF PLAN
 1/8" = 1'-0"

WELLNESS SANTUARY
 56475 APPLE CANYON ROAD
 MOUNTAIN CENTER, CA 92561

CUP SUBMITTAL

ROOF PLAN

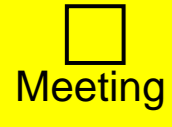


Project Number	22.003
Date	05/17/23
Drawn By	YAS
Checked By	RAA

WC104.0

Scale As indicated

CASE: CUP210121
EXHIBIT: 3D Rendering
DATE: 9/14/2023
PLANNER: Kathleen Mitchell



Meeting



Comment Agenda



Final

LEGEND

BROWN - BUILDING & SAFETY GRADING DIVISION COMMENTS

PURPLE - PLANNING DEPARTMENT COMMENTS

GREEN - ENVIRONMENTAL PROGRAMS DEPARTMENT COMMENTS

LIGHT ORANGE - TRANSPORTATION DEPARTMENT COMMENTS

BLUE - FLOOD CONTROL DISTRICT COMMENTS

LIGHT GREEN - REGIONAL PARKS & OPEN SPACE DISTRICT COMMENTS

RED - FIRE DEPARTMENT COMMENTS

YELLOW - ENVIRONMENTAL HEALTH DEPARTMENT COMMENTS

LIGHT BLUE - BUILDING & SAFETY PLAN CHECK COMMENTS

ORANGE - WASTE MANAGEMENT DEPARTMENT COMMENTS

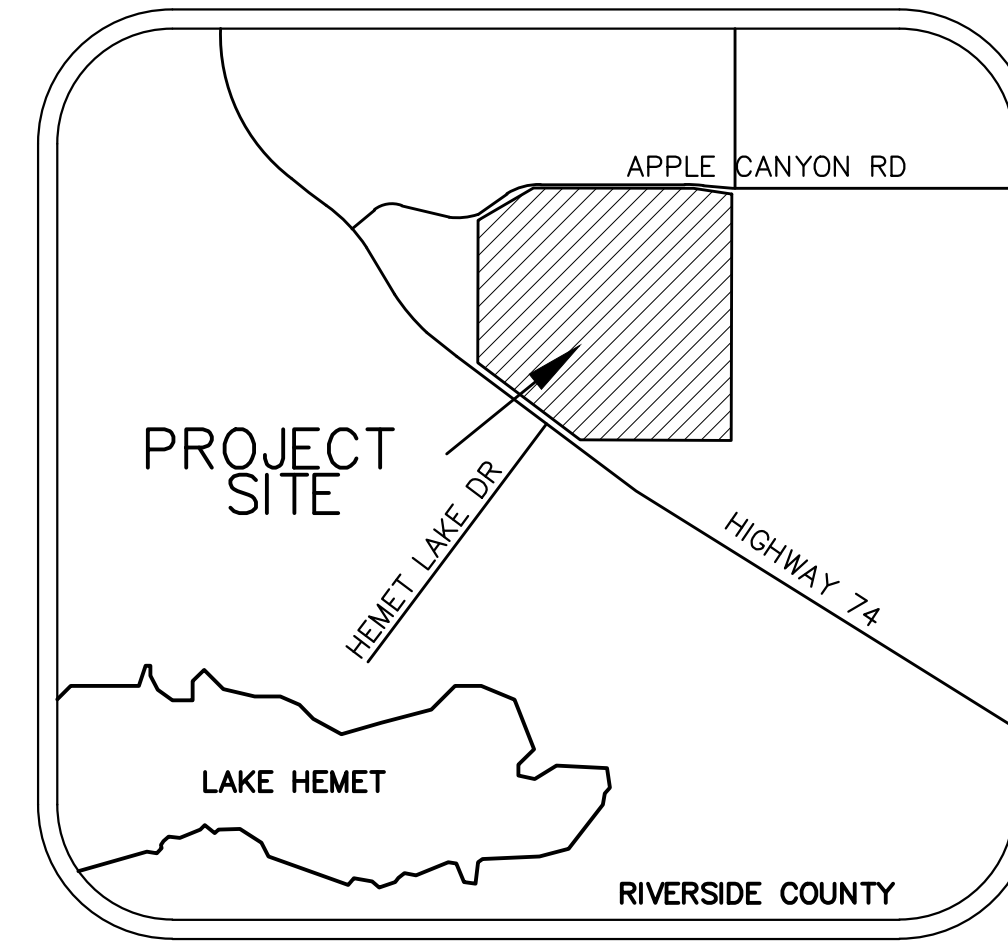




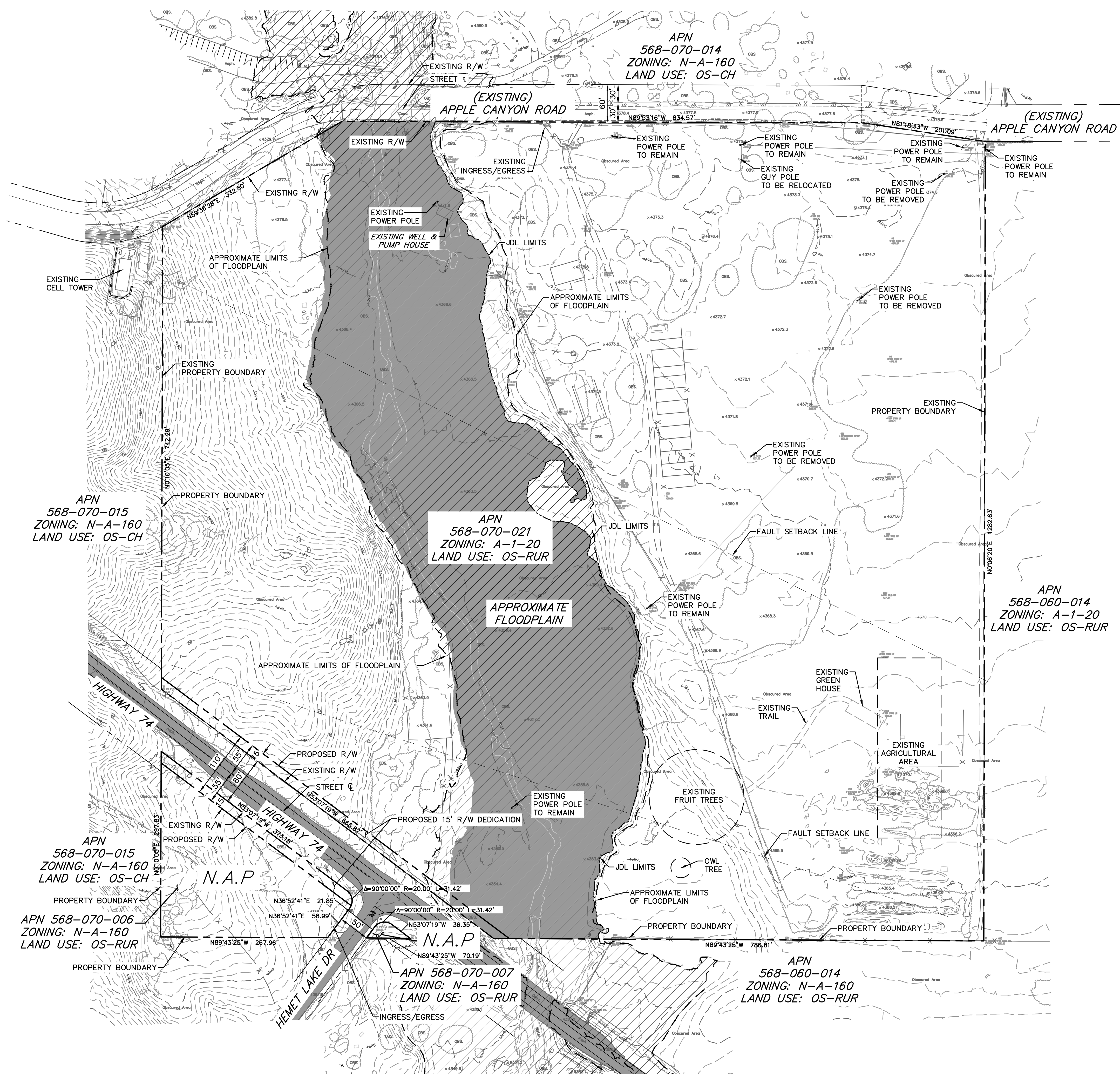


THE RIDGE GUEST RANCH C.U.P. 21-0121

56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA
SECTION 4, TOWNSHIP 6 SOUTH, RANGE 3 EAST, COUNTY OF RIVERSIDE



VICINITY MAP
NO SCALE



PROJECT DESCRIPTION

THE RIDGE WELLNESS PROPOSES AN ECO-CONSCIOUS PRIVATE GUEST RANCH ON 36.11 ACRES (APN 568-070-021) LOCATED AT 56475 APPLE CANYON ROAD, MOUNTAIN CENTER IN THE COUNTY OF RIVERSIDE. THE PROJECT SITE WILL RETAIN ALL THE NATURAL VEGETATION AND ALL THE EXISTING LARGE PINE TREES WITHIN ITS DESIGNS.

THE RIDGE WILL BE DESIGNED TO FACILITATE A FULL IMMERSION NATURE EXPERIENCE IN MOUNTAIN CENTER. THE RANCH WILL OFFER A VARIETY OF SELF-DEVELOPMENT THERAPIES AND EXTENSIVE RECREATIONAL ACTIVITIES. IN ADDITION, GUESTS WILL BE ABLE TO PARTICIPATE IN CULTURAL AND ENVIRONMENTAL EDUCATIONAL ACTIVITIES AS PART OF THE EXPERIENCE AT THE RANCH.

THE PROJECT PROPOSES TO CONSTRUCT GUEST CABINS AND GUEST TENTS, WELLNESS CABINS, WELLNESS BASECAMP, ACTIVITY HUB WITH LAP POOL, DINING AREA, AND HEALTH-FOCUSED COMMERCIAL KITCHEN. EXISTING LARGE AGRICULTURAL SITE AND WORKING GREENHOUSE, APIARY AND FRUIT TREES WILL CONTRIBUTE TO A FULLY SUSTAINABLE FACILITY FOR GUESTS TO USE AND ENJOY WITHIN THE NATURAL SETTING OF THE PROPERTY.

PLEASE REVIEW OUR DETAILED PROJECT DESCRIPTION & RECREATIONAL ACTIVITIES EXHIBIT FOR A FULL SUMMARY OF THE THIS UNIQUE SUSTAINABLE PROJECT.

ENGINEER/REPRESENTATIVE

JLC ENGINEERING & CONSULTING, INC.
41660 IVY STREET, SUITE D
MURRIETA, CALIFORNIA 92562
(951)-304-9552

OWNER/APPLICANT

THE RIDGE WELLNESS INC.
6487 CAVALLERI ROAD, APT 429
MALIBU, CA 90265
ATT: CAROLINE LEGRAND, PRESIDENT
PHONE: (310) 666-3623
EMAIL: LEGRAND.CAROLINE366@GOOGLEMAIL.COM

SCHOOL DISTRICTS

HEMET UNIFIED

UTILITIES:

- CABLE T.V.: DIRECT TV
1-(855)-842-4388
- ELECTRIC: ANZA ELECTRIC COOPERATIVE, INC
1-(951)-763-4333
- GAS: PROPANE
- SEWER: ATU SEPTIC ON SITE
- WATER: WELL ON SITE
- TELEPHONE: FRONTIER
1-(800)-921-8101
- INTERNET: FRONTIER
1-(800)-921-8101

LAND AREA

568-070-021: 36.11 AC GROSS, 8.00 AC NET
568-070-006: 1.32 AC GROSS, 1.19 AC NET, N.A.P.
568-070-007: 0.10 AC GROSS, 0.07 AC NET, N.A.P.

TOPOGRAPHY

INLAND AERIAL SURVEYS, INC.
7117 ARLINGTON AVENUE SUITE A
RIVERSIDE, CA 92503
PHONE: (951) 687-4252
DATED: 07-13-2020

LEGAL DISCRPTION

THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 6 SOUTH, RANGE 3 EAST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY.

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN STATE HIGHWAY 74, LAKE HEMET DRIVE AND APPLE CANYON ROAD;

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED NOVEMBER 8, 1955 IN BOOK 1817 PAGE 296 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

GENERAL NOTES:

- ASSESSORS PARCEL NO.: 568-070-021
- CURRENT ZONING: A-1-20 (LIGHT AGRICULTURE).
- PROPOSED ZONING: N-A (NATURAL ASSETS)
- SURROUNDING ZONING: 4B.GEN. PLAN
NORTH - N-A-160, OS-CH
SOUTH - N-A-160, OS-RUR
WEST - A-1-20, OS-RUR
EAST - A-1-20, OS-CH
- GENERAL PLAN LAND USE: NOT IN A GENERAL PLAN POLICY OVERLAY AREA.
- EXISTING GENERAL PLAN LAND USE: OS-RUR (OPEN SPACE-RURAL)
- PROPOSED GENERAL PLAN LAND USE: OS-REC (OPEN SPACE-RECREATION)
- SUBSURFACE A.T.U. DISPOSAL PROPOSED.
- PROJECT IS LOCATED IN AREA OF HIGH LIQUEFACTION AND SUSCEPTIBLE TO SUBSIDENCE.
- PROJECT IS LOCATED IN A HIGH FIRE HAZARD STATE RESPONSIBILITY AREA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, CCS83, ZONE 6, BASED LOCALLY ON CONTROL STATIONS "DSSC" AND "P584", NAD 83 (NSRS2011) AS SHOWN HEREON. ALL BEARINGS SHOWN ON THIS MAP ARE GRID. QUOTED BEARINGS AND DISTANCES FROM REFERENCE MAPS OR DEEDS ARE AS SHOWN PER THAT RECORD REFERENCE. ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES, MAY BE OBTAINED BY MULTIPLYING THE GROUND DISTANCE BY A COMBINATION FACTOR OF 0.999767615. CALCULATIONS ARE MADE AT POINT #1 WITH COORDINATES OF N:2189110.605, E:6431632.718, USING AN ELEVATION OF 4367.894 FEET. THE CONVERGENCE ANGLE AT POINT #1 IS -00°14'05.51".

PROJECT BENCHMARK

RIVERSIDE COUNTY BM #1-30
ELEVATION = 4444.129' (NGVD 29)

NORTHWEST ALONG HIGHWAY 74 TOWARD MOUNTAIN CENTER TO THE "T" INTERSECTION OF MCCALL PARK ROAD AND HIGHWAY 74. 220.0 FEET NORTH OF THE INTERSECTION ALONG MCCALL PARK ROAD. 12.0 FEET EAST OF THE CENTERLINE OF MCCALL PARK ROAD. NEAR AN ANGLE POINT IN A FENCE LINE.

EARTHWORK QUANTITY ESTIMATE

RAW CUT: 5,000 CY RAW FILL: 5,000 CY

SHEET INDEX

- TITLE SHEET-EXISTING SITE
- PROPOSED SITE PLAN
- PROPOSED SITE PLAN
- PROPOSED SITE GRADING AND UTILITY PLAN
- PROPOSED SITE GRADING AND UTILITY PLAN

WASTE DISPOSAL SYSTEM

ONSITE ATU SEPTIC SYSTEM

ONSITE WATER NOTE

WATER FOR DOMESTIC, IRRIGATION, AND FIRE USES SHALL BE PROVIDED BY ONSITE WELLS.

ROY A ASARO ARCHITECT, INC ARCHITECT OF RECORD
P.O. BOX 30576 ESCONDIDO, CA 92030
T: 760-405-4640, royasaro@gmail.com

MANUEL CERVANTES ESTUDIO - DESIGN ARCHITECT
PASO DE LAS PALMAS, 500 S 170 PRD COL, LOMAS DE CHAPALEPEC, CDMA P.52 1.55.5201.3508
T: +52 (1) 55 5201 3508, manuel@manuelcervantes.com.mx

JACK STARLIN - STRUCTURAL ENGINEER
197 WOODLAND PARKWAY #410, SAN MARCOS, 920269

ALPHA - MEP ENGINEER
2706 E. ORANGE GROVE AVE., ORANGE, CA 92667

HUGO SANCHEZ PAISAJE - LANDSCAPE ARCHITECT
hugo@paisajehs.mx

JLC ENGINEERING - CIVIL ENGINEER, HYDROLOGY
41660 IVY STREET, SUITE A, MURRIETA, CA 92562 P:951-304-9552
T: 951-304-3568, JLC_CASTEMODA_jlc@jlcengineering.com

FIREWIS 2000 - FIRE CONSULTANT
T: 760-807-6078, PETER.BENTON@FIREWIS.COM
peter.montgomery@firewis2000.com

GEOCON WEST - PHASE 1 ENVIRONMENTAL
41577 CORDING PLACE #101, MURRIETA, CA 92562
T: 951-304-2300, babbaj@gcocon.com

TIM SEARL BIOLOGICAL - BIOLOGY
43430 E. FLORIDA AVE. #F, PMB 291, HEMET, CA 92344
T: 951-905-2028, www.searlbio.com

SPIRO LAND SURVEY - LAND AND BOUNDARY
TIM SEARL, matt@spirolandsurveying.com

DR JEAN KELLER - CULTURAL RESOURCES
1042 N. EL CAMINO REAL, SUITE B-244 ENCINITAS, CA 92024
T: 760-815-1891, jkeller@jean.com

STRATEGIC CONNECTIONS- DRY UTILITIES
T: 951-442-4040, ROBERT LOPEZ

PETRA GEOSCIENCES - GEO/SEISMIC
T: 760-250-9147, ARIAN PACE, apace@petra-inc.com

EARTH STRATA GEOTECHNICAL SERVICES - ATU/SEPTIC
T: 951-461-4028, GADALLA W. GADALLA, gadalla@earth-strata.com

HERITAGE WELL - WELL
PO BOX 391578, ANZA, CA 92539, LIC. 813456 C-55, C-57
T: 951-763-2210, heritagewell@service.com

MATTHEW FAGAN - CEDA
T: 951-265-5428, matthewfagan@roadrunner.com

URBAN CROSSROADS - VMT STUDY AO GHG
1001 DRIE STREET SUITE 260 NEWPORT BEACH CA 92660
T: 949-660-1994

MARKHAM DEVELOPMENT STRATEGIES, LLC
41625 ENTERPRISE CIRCLE NORTH, SUITE B TEMECULA, CA 92590
LARRY MARKHAM, T: 909-322-8462, lrm@markhamds.com

THE RIDGE
56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA 92549

PROJECT NO: C.U.P. 21-0121

#	DESCRIPTION	DATE
1	Revision to Architecture, Grading and Agricultural area	10/12/22
2	Revision to Grading and Agricultural area	05/01/23
3	Revision to entries, trash enclosure location, sight distance, proposed riprap slope protection limits and Apple Canyon Road street section.	07/29/23

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREOF. IN THE EVENT OF DISCREPANCIES AFTER COUNTY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE COUNTY.

WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR GRADING PERMIT HAS BEEN ISSUED.

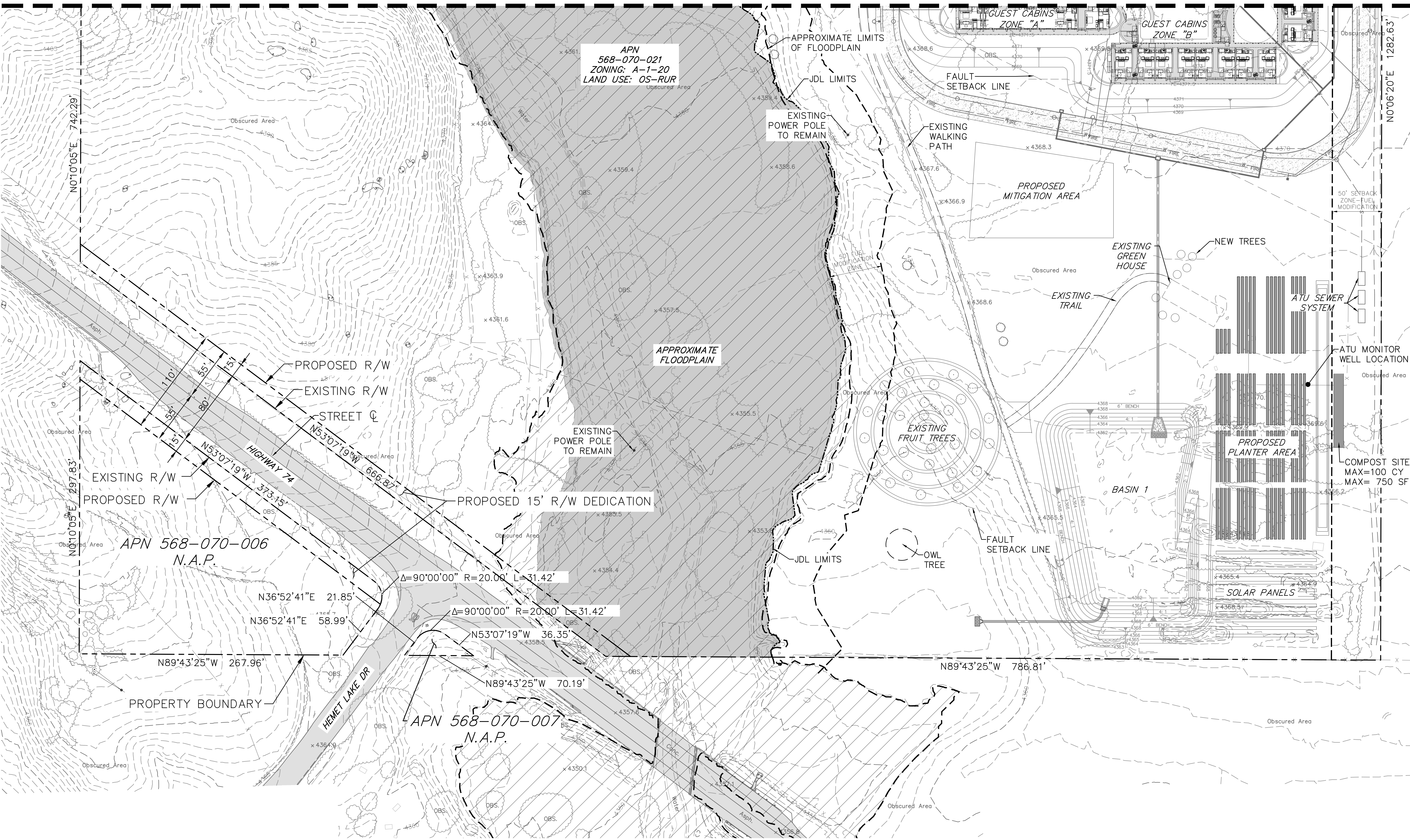
C.U.P. 21-0121

SCALE: 1 inch = 50 ft. NORTH

TITLE SHEET-EXISTING SITE

C01.00

MATCH LINE SEE SHEET 2



- ROY A ASARO ARCHITECT, INC ARCHITECT OF RECORD
 P.O. BOX 30576 ESCONDIDO, CA 92026
 T: 760-405-4640 royasas@gmail.com
- MANUEL CERVANTES ESTUDIO - DESIGN ARCHITECT
 PASO DE LAS PALMAS 500 S/O PROD COL. DOMAS DE
 CHAPALEPEC, ODMX P.52 1.55.5201.3508
 T: +52 (1) 55 5201 3508 manuel@manuelcervantes.com.mx
- JACK STARLIN - STRUCTURAL ENGINEER
 197 WOODLAND PARKWAY #410 SAN MARCOS, 92026
 T: 951-344-2300 jackstarlin@earthlink.net
- ALPHA - MEP ENGINEER
 2706 E. ORANGE GROVE AVE. ORANGE, CA 92667
 T: 714-951-1111 alpha@alphamep.com
- HUGO SANCHEZ PAISAJE - LANDSCAPE ARCHITECT
 hugo@paisajehs.mx
- JLC ENGINEERING - CIVIL ENGINEER, HYDROLOGY
 41660 WY STREET, STE A, MURRIETA, CA 92562 P:951.304.9552
 T: 951-304-3568 JOE CASTENEDA, joe@jlcengineering.com
- FIREWISE 2000 - FIRE CONSULTANT
 T: 760-807-6078 PETE BARTHOLMEW;
 pete.montgomery@firewise2000.com
- GEOCON WEST - PHASE 1 ENVIRONMENTAL
 41577 CORDING PLACE #101, MURRIETA, CA 92562
 T: 951-304-2300 carina@gecon.com
- TIM SEARL BIOLOGICAL - BIOLOGY
 43430 E. FLORIDA AVE. #1, PMB 291, HEMET, CA 92344
 T: 951-905-2028 www.searlbio.com
- SPRO LAND SURVEY - LAND AND BOUNDARY
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- URBAN CROSSROADS - VMT STUDY AD GHG
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 T: 949-660-1994
- MARKHAM DEVELOPMENT STRATEGIES, LLC
 41525 ENTERPRISE CIRCLE NORTH SUITE B TEMECULA, CA 92590
 LARRY MARKHAM, T: 909-322-8482, lrm@markhamds.com

THE RIDGE
 56475 APPLE CANYON ROAD MOUNTAIN CENTER, CA
 92549

PROJECT NO: C.U.P. 21-0121

#	DESCRIPTION	DATE
1	Revision to Architecture, Grading and	10/12/22
2	Agricultural area	05/01/23
3	Revision to Grading and Agricultural area	07/29/23
4	Revision to entries, trash enclosure location,	07/29/23
5	sight distance, proposed riprap slope protection	
6	limits and Apple Canyon Road street section.	

VEGETATED BERM LOCATION AND SIZE ARE FOR
 EARTHWORK CALCULATION PURPOSES ONLY REFER
 TO LANDSCAPE PLANS FOR FINAL BERM DESIGN
 AND LOCATION.

ALL PARKING AREAS SHALL BE DEFINED BY
 RAILROAD TIE BUMPERS IN PLACE OF CONCRETE
 CURBS

C.U.P. 21-0121

SCALE: 1 inch = 40 ft.

PROPOSED SITE PLAN

C03.00



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Charissa Leach, P.E.
Assistant CEO/TLMA Director



02/06/24, 3:13 pm

CUP210121

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for CUP210121. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Preamble

This Advisory Notification Document is included as part of the justification for the recommendation of approval of Conditional Use Permit No. 210121 and is intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 2 AND - Project Description & Operational Limits

Conditional Use Permit No. 210121 (CUP210121) is a proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 square feet of building improvements are to be constructed to facilitate operations. These structures include the following: an administrative and storage building; an activity hub with an outdoor lap swimming pool; a common area with a kitchen and dining areas; 4 guest cabin buildings with 30 rooms; six glamping tents; a sound bath building; a wellness base camp with bench seating and a theater screen; a wellness sanctuary center that is comprised of a salt cave, steam room, quantum room, colon hydrotherapy room, a cold and hot plunge, and six treatment rooms; and a greenhouse. Recreational activities to occur on-site would include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. 35 employees are present at any given time, and operations are to occur 24 hours per a day, 7 days a week. The subject site will retain all the natural vegetation and all the existing large pine trees within its design. 60 parking spaces are proposed to service operations, including 3 ADA spaces, 3 EV spaces, and 18 spaces for staff.

The Project is located within Riverside Extended Mountain Area Plan (REMAP). The Project site is north-east of Highway 74 and south of Apple Canyon Road.

Advisory Notification. 3 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT(S):

- Exhibit A: Master Site Plan, dated August 9, 2023
- Exhibit B: Floor Plans & Elevations, dated May 17, 2023
- Exhibit G: Conceptual Grading Plan, dated July 29, 2023

11.02001◆◆◆◆

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 4 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:
 - National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)

2. Compliance with applicable State Regulations, including, but not limited to:
 - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - State Subdivision Map Act
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
 - Civil Code Section 815.3 & Government Code Sections 65040.2 et al - SB 18 (Tribal Intergovernmental Consultation)
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)

3. Compliance with applicable County Regulations, including, but not limited to:
 - Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 421 (Excavation Covering & Swimming Pool Safety)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 461 (Road Improvement Standards)
 - Ord. No. 484 (Control of Blowing Sand)
 - Ord. No. 655 (Regulating Light Pollution)
 - Ord. No. 671 (Consolidated Fees)
 - Ord. No. 787 (Fire Code)
 - Ord. No. 847 (Regulating Noise)
 - Ord. No. 857 (Business Licensing)
 - Ord. No. 859 (Water Efficient Landscape Requirements)
 - Ord. No. 915 (Regulating Outdoor Lighting)
 - Ord. No. 916 (Cottage Food Operations)
 - Ord. No. 925 (Prohibiting Marijuana Cultivating)
 - Ord. No. 927 (Regulating Short Term Rentals)
 - Ord. No. 928 (Clarifying County Prohibition on Mobile Marijuana Dispensaries and Deliveries)

4. Mitigation Fee Ordinances
 - Ord. No. 659 Development Impact Fees (DIF)
 - Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
 - Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 5 AND - Hold Harmless

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel. Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION.

To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

E Health

E Health. 1 DEH LAND USE COMMENTS

PROJECT SUMMARY:

- Private Guest Ranch with 36 cabins/tents, greenhouse, and common area buildings
- Hours of operation: 24 hours per day / 7 days per week / 365 days per year
- (51) Total Employees with only (35) Max employees onsite at any given time
- Approximately 35 guests per day
- Activities to include self-development therapies, environmental educative and recreational activities

ADVISORY NOTIFICATION DOCUMENT

E Health

E Health. 1 DEH LAND USE COMMENTS (cont.)

- Linen to be outsourced
- EarthStrata Wastewater Flow Calculations: 4900 gpd typical, 8000 gpd peak.
- Advanced Treatment System to handle onsite wastewater
- Onsite Water System to serve as potable water source. Preliminary Technical Report (PTR) review completed by Waterboard May 9, 2023.
- APNs 568-070-006, 568-070-007, 568-070-021

Fire

Fire. 1 Cumulative Adverse Impact

This project will contribute to a cumulative adverse impact on the Fire Department's ability to provide an acceptable level of service. These impacts include an increased number of emergency and public service calls due to the increased presence of structures, traffic, and population.

This project has been further reviewed by executive CalFire Chiefs and has been approved -- No Adverse Impacts

Fire. 2 Unacceptable Fire Response Distance and Time

Cal Fire/Riverside County Fire Department provides Cooperated Integrated Regional fire protection services to project. The nearest Cal Fire/Riverside County Fire Station is outside an acceptable estimated response distance and response drive time to all or a portion of the project. It is recommended that these issues be discussed with Fire Department Operations staff to ensure that all hazards are mitigated, and response needs are met.

This project has been further reviewed by executive CalFire Chiefs and has been approved -- Response times are acceptable.

Flood

Flood. 1 FLOOD HAZARD REPORT

Conditional Use Permit (CUP) 210121 is a proposal for a guest ranch on a 37.97-acre site in Anza area. The project proposes multiple structures that provide various services. The project site is located at northeast corner of Pines Palms Hwy (Interstate 74) and Apple Canyon Road. The project is processed concurrently with GPA210006 and CZ2100014.

The site is located at the foot of a hilly area and surrounded by hills to the north and east. Runoff from Hurkey Creek flows through the project site before entering Lake Hemet, which is located south of the site. The offsite tributary area to the site is approximately 11-sq. mi. Additionally, the Riverside County Ordinance 458 regulated Department of Water Resources (DWR) awareness floodplain traverses the site. Currently, there are no existing or proposed District facilities in the area to alleviate the flood hazard. All proposed structures shall be located outside of the flood hazard area and any new structures may need to be elevated to be floodproofed.

The District has reviewed the submitted revised Grading Plan (7/29/2023) and the revised Site Plan (8/09/2023).

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 FLOOD HAZARD REPORT (cont.)

The drainage study used the Synthetic Unit Hydrograph (SUH) method to determine the offsite 2-year 24-hour & 10-year 24-hour peak flow rates and volumes, and the HEC-RAS 2D model to map the 100-year & 6-hour floodplain boundary for Hurkey Creek. Per the HEC-RAS 2D results, Hurkey Creek has a drainage area of approximately 7,000 acres and a 100-year flow rate of 6,000 cfs. Per the submitted site and grading plan all the proposed structures will be located outside of the floodplain limits.

The report also determined that the proposed development was subject to offsite flow from a 5.9-acre tributary area north of the project site. However, per the provided normal depth and capacity calculations taken from sections across Apple Canyon Road, the offsite flows will be contained along the northern boundary of Apple Canyon Road and conveyed easterly until they reach the intersection and eventually outlet and sheet flow onto the parcel east of the project boundary.

Onsite runoff will be captured by underground storm drains and catch basins and conveyed into one onsite basin, near the southern boundary, to treat the flows and mitigate the increased runoff (IR). The basin edges will have a 1-foot berm along the perimeter to convey natural onsite flows back to their natural drainage path and away from the proposed basin. The basin will then outlet and dissipate the flows, to help perpetuate the existing natural drainage patterns and conditions, into the open land outside the floodplain limits but within the property and eventually drain towards Hurkey Creek.

Per the drainage report, the basin was sized to contain the volume difference between times 8+40 and 16+05 for the 10-year & 24-hour duration of 1.3 ac-ft, which does not follow the District's Increased Runoff Criteria. Although this analysis yields a similar result, for clarity and accuracy purposes please revise the drainage report to reflect that the basin is sized for the difference in volume between the pre- and post- development volumes for the 10-year & 24-hour storm duration of 1.4 ac-ft. Additionally, since the basin will be used for both water quality treatment and increased runoff mitigation, please revise the drainage report to clearly distinguish between the volume required for increased runoff and water quality.

Please ensure that the proposed basin(s) are designed to meet the Appendix C – Basin Guidelines of Design Handbook for Low Impact Development Best Management Practices. The outlet structure must be capable of passing the 100-year storm without damage to the facility, have a 100-year emergency escape, and must have positive drainage and drain completely within a 72-hour maximum drawdown time. "Dead Storage" basins are not acceptable. Please ensure that the emergency escape for the basin(s) and its path through the tract are shown on future exhibits. To prevent flood damage to the proposed structures, all proposed structures along the emergency escape path shall be protected from flooding by either properly elevating the finished floor in relation to the flow path, or by making sure the structures are setback to provide adequate flow through area in the event the emergency escape of the stormwater runoff is necessary. Final design of the basin, including a complete hydrology study will not be required until the improvement plan stage of this development. The project may need modifications at the plan check stage to comply with the increased runoff criteria. (See comment 015-Flood INCREASED RUNOFF CRITERIA).

Due to the project site being located within a Special Flood Hazards Area (SFHA), the developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide appropriate future administration of County Ordinance No. 458, the following items shall be submitted to the District for review and approval:

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 1 FLOOD HAZARD REPORT (cont.)

- a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits.
- b. Exhibits showing the pre-development and post-development SFHA limits.

All hydrologic and hydraulic models, maps and mapping data must be submitted electronically to the District for review and approval.

An erosion hazard setback area analysis, to determine potential impacts due to lateral migration, shall also be determined by the applicant's engineer as part of the study. No structures will be allowed within the erosion hazard setback area. Should the applicant wish to build within the erosion hazard setback area, adequate scour protection such as riprap revetment shall be provided and shown on future exhibits. Any such facility shall meet District standards including required maintenance access roads. The criteria applicable to this project is as follows:

- An erosion hazard zone can be defined as an area where erosion may potentially result in damage to a resource. A "resource" may be inclusive of private or public houses, buildings, apartments, fences, utilities, infrastructure, or other feature of appreciable value. The recommended erosion hazard setback shall be as follows: For watercourses conveying a 100-year flowrate greater than 1,000 cfs (including major watercourses such as Santa Ana River, Murrieta Creek, Whitewater, etc.), the setback shall consider both the watercourse 100-year floodplain extents and an analysis of long-term scour and lateral migration that considers anticipated changes to upstream sediment supply. The particular aspects of these detailed studies shall be discussed with and agreed to by the District prior to performing the studies on a case-by-case basis.

All proposed storm drain improvements collecting and/or conveying the 100-year storm event shall be maintained by County Transportation Department or Flood Control (based on the MOU) and shall be designed to the corresponding standards.

The purpose of entitlement drainage review is to ensure drainage is addressed at a planning level to protect the site from off-site flows in the existing, interim and ultimate conditions, accommodate right of way for proposed drainage facilities, provide an adequate outlet, not adversely affect adjacent properties, properly floodproof structures and potentially mitigate for increases in runoff. Detailed analyses during the final design may result in changes to assumptions made during entitlement phase, such as, revisions to facility sizes, inlet and outlet requirements, revisions to hydrology and/or hydraulic parameters, etc.

Every effort has been made to identify all potential areas of concern for which the District will recommend conditions of approval. However, if during further review of the site, additional public safety and health issues are discovered, the District reserves the right to bring such issues to the attention of the hearing body.

Any questions pertaining to this project may be directed to Daniel Aguirre at 951-955-1348 or danaguir@RIVCO.org.

ADVISORY NOTIFICATION DOCUMENT

Flood

Flood. 2 INCREASED RUNOFF CRITERIA

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required of offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review. The entire area of proposed development will be routed through a detention facility to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year, and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition.

For the 2-year and 5-year events, the loss rate will be determined using an AMC I condition. For the 10-year event, AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour, and 6-hour events. A variable loss rate shall be used for the 24-hour event.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8 X % IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible, the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated.

No outlet pipe(s) shall be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Basins shall be designed per Appendix C – Basin Guidelines of Design Handbook for Low Impact Development Best Management Practices.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Side slopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

**Preliminary sizing may be based on the difference in runoff hydrograph volume between the "developed" condition and the "pre-developed" condition for the 24-hour duration event for the 10-year return frequency. Final design of the basin, including a complete hydrology study will not be required until the improvement plan stage of this development. The project may need modifications at the plan check stage in order to comply with the increased runoff criteria.

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 5 USE - EXPIRATION DATE-USE CASE (cont.)

additional years beyond the nine (9) years stated above. Should the years be granted and the completion of construction and the actual occupancy of existing buildings or land under the terms of the authorized use not occur, the approval shall become null and void and of no effect whatsoever.

Planning. 6 USE - FEES FOR REVIEW

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

Planning. 7 USE - LIGHTING HOODED/DIRECTED

All parking lot lighting and other outdoor lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way, and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan

All outdoor luminaires in shall be appropriately located and adequately shielded and directed such that no direct light falls outside the parcel of origin, or onto the public right-of-way. In addition, outdoor luminaires shall not blink, flash, or rotate and shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 915.

Planning. 8 USE - MAINTAIN LICENSING

At all times during the conduct of the permitted use the permittee shall maintain and keep in effect valid licensing approval from the County Environmental Health Department, County Transportation and Land Management Agency, and California Department of Social Services, or equivalent agency as provided by law. Should such licensing be denied, expire or lapse at any time in the future, this permit shall become null and void.

Planning. 9 USE - MT PALOMAR LIGHTING AREA

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high-pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

Planning. 10 USE - NOISE (SITE OPERATIONS)

All implementing projects shall be subject to the noise standards set by Ordinance No. 847. No outdoor amplified sound will be permitted on the lot.

Planning. 11 USE - Roof Equipment Shielding

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

ADVISORY NOTIFICATION DOCUMENT

Planning-CUL

Planning-CUL. 1 Human Remains

If human remains are found on this site, the developer/permit holder or any successor in interest shall comply with State Health and Safety Code Section 7050.5.

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

Planning-CUL. 2 Unanticipated Resources

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit. If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted and the Project archaeologist shall call the County Archaeologist immediately upon discovery of the cultural resource. A meeting shall be convened between the developer, the project archaeologist**, the Native American tribal representative, and the County Archaeologist to discuss the significance of the find. At the meeting with the aforementioned parties, a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate treatment (documentation, recovery, avoidance, etc.) for the cultural resource. Resource evaluations shall be limited to nondestructive analysis.

Further ground disturbance shall not resume within the area of the discovery until the appropriate treatment has been accomplished.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other. Tribal Cultural Resources are also considered cultural resources.

** If not already employed by the project developer, a County approved archaeologist and a Native American Monitor from the consulting tribe(s) shall be employed by the project developer to assess the significance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED

County Geologic Report GEO No. 220035, submitted for the project CUP210121, was prepared by Petra Geosciences, Inc., and is titled; "Revised Planning Level Geotechnical Assessment: The Ridge, Approximate 36-acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California," dated

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED (cont.)

October 12, 2020. In addition, Petra has previously submitted the following document for the project:

“Report of Active Faulting, The Ridge Wellness Center, approximately 36-acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California; J.N. 20-227,” dated October 12, 2020.

“Response to Comment by Riverside County Geologist, County Geologic Report 210001, Report of Active Faulting, The Ridge Wellness Center, approximately 36-Acre Parcel, Assessor Parcel Number 568-070-021, Lake Hemet Area, Riverside County, California by Petra Geosciences, Inc., dated October 12, 2020, J.N. 20-227,” dated January 19, 2021.

GEO220035 concluded:

1. An active fault identified as the Hot Springs Fault (Anza) segment of the San Jacinto Fault zone crosses through the subject property. Specific information is provided in Petra’s fault investigation reports (Petra 2020, 2021). The location of the fault and Earthquake Hazard Zone is provided on the Geologic Map, Plate 1.
2. Free ground water was encountered in our borings during our field exploration. Groundwater was found shallower than 10 feet below the existing ground surface.
3. Given the depth to groundwater and unconsolidated to consolidated young alluvium encountered during our field exploration, the potential for manifestation of liquefaction-induced features and dynamic settlement is anticipated to be high.
4. Based on our calculations, total seismically induced settlement at the six CPT locations is considered excessive in accordance with guidelines provided in the California Geotechnical Survey Special Publication 117A (CGA, 2008). As noted from the figure above, differential settlements of up to 4 inches may be experienced within the footprint of the area to be developed. This is generally beyond the levels typically expected to be tolerated by conventional shallow slab-on-grade foundations.
5. The range of lateral spreading varied from 0 to 52 inches across the site. The amount of lateral spreading estimated is beyond that typically tolerable for slab-on-grade construction.
6. Since the site lies more than 80 kilometers (50 miles) inland from the Pacific Ocean at a minimum elevation of approximately 4,349 feet above sea level and does not lie in close proximity to an enclosed body of water or downstream of a major reservoir or other retention structure, the probability of flooding from a tsunami, seiche or dam-break is considered to be very low.
7. Without corrective grading and/or ground improvement the site would have a reduce or non-existent bearing capacity. Recommendations presented later on for a ground improvement program to mitigate these effects.

GEO220035 recommended:

1. A building restriction zone should be established using the coordinate of Station 0 of the seismic line (33.672864, -116.677252). The building restriction zone will extend from a point approximately 380 feet

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED (cont.)

northeast of Station 0, southwest to a point that coincides with the southerly limit of the A-P Zone. If future development is proposed within the proposed restricted areas, further studies will be required.

2. Since the site is subject to significant distress from the liquefiable soils during an earthquake, mitigation measures are recommended to improve the ground and alleviate the distress potential.

3. For this site we recommend that such a program would most likely consist of deep dynamic compaction to densify the soils below the site to a level where more conventional foundations may be used. Deep dynamic compaction generally consists of the use of a large crane which drops a large dead weight from a great height onto the ground surface. The large energy developed from such a weight drop can densify the ground sometimes as deep as 30 feet or so. The weight drops would be done in an overlapping pattern in the general footprint area of the planned structures.

4. The level of ground improvement achieved should be evaluated by the use of CPT's conducted after the deep dynamic compaction.

5. Clearing operations should include the removal of all vegetation and any existing structural features where found within planned building envelopes. Large shrubs or trees, when removed, should be grubbed out to include their stumps and major root systems.

6. The ground improvement will cause significant disturbance to the near surface soils in the footprints of the improvement areas. Therefore, in order to mitigate possible distress to the proposed building footings and floor slabs and exterior improvements it is recommended that all unsuitable surficial materials be removed down to competent densified sand deposits and then replaced as properly compacted fill.

7. This may be accomplished by over-excavating the ground surface to a depth of at least 5 to 10 feet below existing grades or at least 24 inches below the bottoms of the proposed footings, whichever is deeper, and then reprocessing the next underlying 6 inches in place.

8. It should be noted that the DDC likely would cause a cratering pattern in the near surface soils. The ground in this pattern of improvement would also typically include significant volume loss due to the densification. Therefore, to achieve the design grades fill may be necessary to achieve the design grades beyond that typically done general removal and recompaction efforts if ground improvement was not done.

9. For fill slopes exceeding 5 feet in height, a fill key excavated a depth of 2 feet or more into competent alluvial deposits is recommended at the base of the fill slope. The width of the fill key should be equal to one-half the slope height or 15 feet, whichever is greater. To obtain proper compaction to the face of fill slopes, low-height fill slopes should be overfilled during construction and then trimmed-back to the compacted inner core.

10. Observations during grading of individual cut slopes by the project engineering geologist to document favorable geologic structure or soil conditions of the exposed conditions is recommended. Where cohesionless sandy soil materials are observed, the cut slopes in question may require stabilization by means of a compacted stabilization fill.

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO220035 ACCEPTED (cont.)

11. Under the recommended bearing values, total static settlements due to new building loads are expected to be less than 1 of an inch, and differential settlement between adjacent footings is expected to be less than 1/2 of an inch over a span of 40 feet. The majority of the anticipated settlement is expected to take place during construction as building loads are applied.

12. The maximum differential settlement is estimated to be approximately one inch over a horizontal span of approximately 40 feet, with a corresponding equivalent angular distortion ratio of approximately 1:480 for a moderate earthquake. For a large earthquake the differential settlement should be less than 2 inches in 40 feet for an angular distortion ratio of 1:240.

13. The project structural engineer should determine whether the static and dynamic settlement estimates provided herein should be considered additive for purposes of their structural design.

GEO No. 220035 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 220035 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

Planning-GEO. 2 GEO230054 Accepted (Liquefaction Update)

County Geologic Report GEO No. 230054, submitted for the project liquefaction hazard analysis for CUP210121, was prepared by Sladden Engineering and is titled; "Geotechnical Review & Supplemental Analysis, The Ridge Wellness Center APN 568-070-021, 56475 Apple Canyon Road, Lake Hemet Area, Riverside County California," dated May 18, 2023.

GEO230054 concluded:

1. Independent seismic settlement analyses performed using previous consultant's field blow count data suggests that the actual potential liquefaction related differential settlements are closer to one-half of the previous consultant's estimates.
2. The total liquefaction related seismic settlement should be less than 2 inches.
3. The differential seismic settlement at the site should be approximately 1 inch acting over a horizontal distance of approximately 50 feet.
4. The potential differential seismic settlement may be adequately mitigated with remedial grading and structural design.
5. The potential for lateral spreading to occur at the site is negligible.

GEO230054 recommended:

1. The primary foundation bearing soil should be over-excavated and recompacted.
2. Overexcavation should extend to a minimum depth of 5 feet below existing grade or f feet below the bottom of the proposed building footing elevations, whichever is deeper.
3. Once adequate removals have been verified, the exposed native soil should be moisture conditioned to near optimum moisture content and compacted to at least 90 percent relative compaction.
4. Geo-grid reinforcement should be placed within the excavation bottom to provide additional seismic

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 2 GEO230054 Accepted (Liquefaction Update) (cont.)

settlement mitigation.

GEO230054 satisfies the requirement for a liquefaction study for Planning/CEQA purposes. GEO No. GEO230054 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County of Riverside upon application for grading and/or building permits.

Planning-PAL

Planning-PAL. 1 Low Paleo Potential

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1. All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.
2. The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.
3. The applicant shall retain a qualified paleontologist approved by the County of Riverside.
4. The paleontologist shall determine the significance of the encountered fossil remains.
5. Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.
6. If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.
7. Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository

ADVISORY NOTIFICATION DOCUMENT

Planning-PAL

Planning-PAL. 1 Low Paleo Potential (cont.)

catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed and will provide confirmation to the County that such funding has been paid to the institution.

Transportation

Transportation. 1 RCTD-USE - General Transportation Conditions

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with the Riverside County Road Improvement Standards (Ordinance No. 461.11). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Qs, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. The County of Riverside applicable ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

The Project shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

Alterations to natural drainage patterns shall require protecting downstream properties by means approved by the Transportation Department.

If the Transportation Department allows the use of streets for drainage purposes, the 10-year discharge shall be contained in the top of curb or asphalt concrete dikes, and the 100-year discharge shall be contained in the street right-of-way.

All corner cutbacks shall be applied per Standard No. 805, Ordinance 461.11, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit C of the Countywide Design Guidelines.

If there are previously dedicated public roads and utility easements that were not accepted by the County, the Project shall file a separate application to the County of Riverside, Office of the County Surveyor, for the acceptance of the existing dedications by resolution and bear all costs thereof.

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <https://rctlma.org/trans/>. If you have questions, please call the Plan

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 1 RCTD-USE - General Transportation Conditions (cont.)

Check Section at (951) 955-6527.

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County. Street Improvement Plans shall comply with Ordinance No. 461.11, Riverside County Improvement Plan Check Policies and Guidelines, which can be found online <http://rctlma.org/trans>.

Waste Resources

Waste Resources. 1 Waste - General

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:

- Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
- Subscribe to a recycling service with their waste hauler.
- Provide recycling service to their tenants (if commercial or multi-family complex).
- Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project. The use of mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries is recommended. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

AB 1826 requires businesses and multifamily complexes to arrange for organic waste recycling services. Those subject to AB 1826 shall take at least one of the following actions in order to divert organic waste from disposal:

ADVISORY NOTIFICATION DOCUMENT

Waste Resources

Waste Resources. 1 Waste - General (cont.)

- Source separate organic material from all other recyclables and donate or self-haul to a permitted organic waste processing facility.
- Enter into a contract or work agreement with gardening or landscaping service provider or refuse hauler to ensure the waste generated from those services meet the requirements of AB 1826.

Comply with SB 1383 which establishes regulations to reduce organics waste disposal and went into effect on January 1, 2022. This law establishes methane emissions reduction targets in a statewide effort to reduce emissions of short-lived climate pollutants caused by organics waste disposal.

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 EASEMENTS/PERMISSION Not Satisfied

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

A notarized letter of permission and/or recorded easement from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

In instances where the grading plan proposes drainage facilities on adjacent off-site property, the owner/ applicant shall provide a copy of the recorded drainage easement or copy of Final Map.

060 - BS-Grade. 2 IF WQMP IS REQUIRED Not Satisfied

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the Final Water Quality Management Plan (WQMP) site plan for comparison to the grading plan.

060 - BS-Grade. 3 IMPROVEMENT SECURITIES Not Satisfied

Prior to issuance of a Grading Permit, the applicant may be required to post a Grading and/or Erosion Control Security. Please contact the Riverside County Transportation Department for additional information and requirements.

Flood

060 - Flood. 1 Increased Runoff Mitigation Not Satisfied

This project must mitigate for the adverse impacts of increased runoff this development would generate. Calculations in the form of a hydraulic /hydrologic analysis to support the final design of the mitigation feature shall be submitted for review and approval prior to the issuance of any permits for the project.

060 - Flood. 2 Submit ORD. 458 Special Flood Hazard Area Study Not Satisfied

CUP 210121 is located within a Special Flood Hazard Area (SFHA) as shown on the Public Flood Hazard Determination Interactive Map found at <http://rcflood.org>. The developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide for appropriate future administration of County Ordinance 458 per Section 9, the following items shall be submitted to the District for review and approval:

a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits. Environmental mitigation areas with restricted maintenance that are proposed within the natural conveyance area shall be modeled as ineffective flow.

b. Exhibits showing the pre-development and post-development SFHA limits.

c. Georeferenced shapefiles or CAD files of the pre-development and post-development SFHA limits.

All hydrologic and hydraulic models, maps, and mapping data must be submitted electronically

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-CUL

060 - Planning-CUL. 1 CRMP/ Archaeological Monitor (cont.) Not Satisfied

Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features.

The Professional Archaeologist may submit a detailed letter to the County of Riverside during grading requesting a modification to the monitoring program if circumstances are encountered that reduce the need for monitoring.

060 - Planning-CUL. 2 ECS Sheet (cultural) Not Satisfied

Prior to grading permit issuance the developer/ applicant shall provide evidence to the Riverside County Planning Department that an Environmental Constraints Sheet has been included in the Grading Plans. This sheet shall indicate the presence of environmentally constrained area(s) and the requirements for avoidance of CA-RIV-9236, P-33-029123, P-33-029124.

060 - Planning-CUL. 3 Native American Monitor Required Not Satisfied

Prior to the issuance of grading permits, the developer/permit applicant shall enter into agreement(s) with the consulting tribe(s) for Native American Monitor(s).

In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) shall attend the pre-grading meeting with the contractors to provide Cultural Sensitivity Training for all construction personnel. In addition, an adequate number of Native American Monitor(s) shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching. In conjunction with the Archaeological Monitor(s), the Native American Monitor(s) have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

The developer/permit applicant shall submit a fully executed copy of the agreement(s) to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.

This agreement shall not modify any condition of approval or mitigation measure.

060 - Planning-CUL. 4 Temporary Fencing (cultural) Not Satisfied

Temporary fencing shall be required for the protection of any cultural site(s) located within 100' of grading activities. Prior to commencement of grading or brushing, the project archaeologist shall confirm the site boundaries and determine an adequate buffer for protection of the site(s). The applicant shall direct the installation of fencing under the supervision of the project archaeologist and Native American Monitor. The fencing can be removed only after grading operations have been completed.

Planning-EPD

060 - Planning-EPD. 1 Deed Restriction - EPD Not Satisfied

Prior to issuance of a grading permit or building permit, whichever comes first, a Deed

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 1 Deed Restriction - EPD (cont.) Not Satisfied

Restriction shall be placed over the Riverine and Riparian Habitats as depicted on Figure 14 of the Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis prepared by Searl Biological Services for CUP210121, dated December 17, 2021.

The completed deed restriction shall be provided to the Environmental Programs Division of Riverside County for review and approval.

060 - Planning-EPD. 2 MBTA Nesting Bird Survey - EPD Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted.

Prior to issuance of a permit for grading, including grubbing and clearing, the project's consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review. The preconstruction survey shall cover the project site and any offsite improvements. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a rough grading permit.

060 - Planning-EPD. 3 MM-BIO-3 -- Biological Monitor Not Satisfied

Prior to the start of any Project construction, the applicant shall retain a qualified biological consultant to monitor all activities. The Project Biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the Project footprint. Prior to the issuance of a grading permit the biological consultant must submit a biological monitoring plan that at a minimum outlines proposed monitoring activities, monitoring frequency and mitigation measures employed to avoid incidental disturbance to of habitat or species of concern outside the project footprint. EPD must review and approve the workplan prior to the issuance of a grading permit.

060 - Planning-EPD. 4 MM-BIO-4 -- Chaparral Sand-Verbena Protection Not Satisfied

Prior to issuance of a grading permit, a qualified botanist shall be retained to collect seeds of the chaparral sand-verbena and disperse them into suitable habitat areas on the site that will not be subject to Project construction or operation. A three-year monitoring plan shall be developed and implemented to re-establish a long-term viable population of the species on the site. This measure shall be implemented to the satisfaction of the County Planning Department in consultation with local botanical experts as appropriate. All costs of this program, including any necessary consultation, will be funded completely by the Project applicant/operator.

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 5 Riparian Bird Avoidance - EPD Not Satisfied

Due to the presence of suitable habitat for southwestern willow flycatcher and yellow-billed cuckoo, impacts due to building and grading shall not occur within 300ft of the suitable habitat for either species during their respective breeding seasons.

If impacts within 300ft of the suitable habitat cannot be avoided during their breeding seasons, focused surveys per accepted protocols shall be conducted prior to issuing of any permits. Reports summarizing these focused surveys shall be provided to the Environmental Programs Division of Riverside County for review and approval.

Planning-GEO

060 - Planning-GEO. 1 MM-GEO-1 -- Seismic Setback Zone Not Satisfied

Prior to the issuance of any grading or building permits, the project developer shall have the fault setback zone identified in the Project Fault Study (Petra 2020) shown on all appropriate Project plans to be submitted to the County for review and approval. The determination of which plans must show the setback is at the discretion of the County based on its development review requirements. The limits and boundaries of the setback zone are based on the locational data provided in the Fault Study. Prior to the issuance of any permit, the developer must demonstrate that no habitable structure(s) covered by the permit is/are within the identified seismic setback zone. This measure shall be implemented to the satisfaction of the County Geologist.

060 - Planning-GEO. 2 MM-GEO-2 -- Ground Improvement Program Not Satisfied

Prior to the issuance of any clearing or grading permit, the Project developer shall retain a qualified geotechnical consultant to prepare a "ground improvement program" to minimize potential impacts from liquefaction and other seismically induced settlement. This program shall include deep dynamic compaction of onsite soils during grading as well as other specific procedures during ground preparation, earthwork/excavation, fill placement, cut and fill slopes, shrinkage and subsidence, use of oversized materials (e.g., boulders), and options for footing and foundation design. This program shall be approved and implemented to the satisfaction of the County Geologist.

Transportation

060 - Transportation. 1 RCTD-MAP-WQ - Santa Ana Region - FINAL WQMP Not Satisfied

The project is located in the Santa Ana watershed. An approved Water Quality Management Plan (WQMP) is required prior to recordation of a final map or issuance of a grading permit. The project shall submit a single PDF on two CD/DVD copies, in accordance with the latest version of the WQMP manual, found at <https://rctlma.org/trans/Land-Development/WQMP>. In addition, the project proponent shall ensure that the effects of increased peak flowrate for the 1, 3, 6, 24-hour storm events for the 2, 5, and 10-year return periods from the project are mitigated. Projects within an airport influence area may require less than 48-hour drawdown times. All details necessary to build BMPs per the WQMP shall be included on the grading plans.

060 - Transportation. 2 RCTD-USE - Sight Distance Analysis Not Satisfied

Adequate sight distance shall be provided in accordance with Standard. No. 821, Ordinance No. 461.11 or as approved by the Director of Transportation.

Plan: CUP210121

Parcel: 568070021

60. Prior To Grading Permit Issuance

Transportation

060 - Transportation. 3 RCTD-USE - Submit Grading Plans Not Satisfied

The project proponent shall submit two sets of grading plans (24 in x 36 in) to the Transportation Department for review and approval. If road right-of-way improvements are required, the project proponent shall submit street improvement plans for review and approval, open an IP account, and pay for all associated fees in order to clear this condition. The standard plan check turnaround time is 10 working days. Approval is required prior to issuance of a grading permit.

NOTE:

1. If gates are proposed, they shall be identified on the grading plans. Gates are to be located 35 FT from the flowline of the adjacent street.

or as approved by the Director of Transportation.

70. Prior To Grading Final Inspection

Planning-CUL

070 - Planning-CUL. 1 Artifact Disposition Not Satisfied

In the event cultural resources are identified during ground disturbing activities, the landowner(s) shall relinquish ownership of all cultural resources and provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been handled through the following methods.

Any artifacts identified and collected during construction grading activities are not to leave the project area and shall remain onsite in a secure location until final disposition.

Historic Resources: All historic archaeological materials recovered during the archaeological investigations (this includes collections made during an earlier project, such as testing of archaeological sites that took place years ago), have been curated at the Western Science Center, a Riverside County curation facility that meets State Resources Department Office of Historic Preservation Guidelines for the Curation of Archaeological Resources. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.

Prehistoric and/or Tribal Cultural Resources: One of the following treatments shall be applied.

1. Preservation-in-place, if feasible is the preferred option. Preservation in place means avoiding the resources, leaving them in the place where they were found with no development affecting the integrity of the resources.

2. Reburial of the resources on the Project property. The measures for reburial shall be culturally appropriate as determined through consultation with the consulting Tribe(s) and include, at least, the following: Measures to protect the reburial area from any future impacts in perpetuity. Reburial shall not occur until all required cataloguing (including a complete photographic record) and analysis have been completed on the cultural resources, with the exception that sacred and ceremonial items, burial goods, and Native American human

Plan: CUP210121

Parcel: 568070021

70. Prior To Grading Final Inspection

Planning-CUL

070 - Planning-CUL. 1 Artifact Disposition (cont.) Not Satisfied

remains are excluded. No cataloguing, analysis, or other studies may occur on human remains grave goods, and sacred and ceremonial items. Any reburial processes shall be culturally appropriate and approved by the consulting tribe(s). Listing of contents and location of the reburial shall be included in the confidential Phase IV Report. The Phase IV Report shall be filed with the County under a confidential cover and not subject to a Public Records Request.

Human Remains: Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner concerning the treatment of the remains and any associated items as provided in Public Resources Code Section 5097.98.

070 - Planning-CUL. 2 Phase IV Monitoring Report Not Satisfied

Prior to Grading Permit Final Inspection, a Phase IV Cultural Resources Monitoring Report shall be submitted that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall include results of any feature relocation or residue analysis required as well as evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting and evidence that any artifacts have been treated in accordance to procedures stipulated in the Cultural Resources Management Plan.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 NO BUILDING PERMIT W/O GRADING PERMIT Not Satisfied

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

080 - BS-Grade. 2 ROUGH GRADE APPROVAL Not Satisfied

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1. Submitting a "Wet Signed" copy of the Soils Grading Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 2 ROUGH GRADE APPROVAL (cont.) Not Satisfied
Engineer certifying that the grading was completed in conformance with the approved grading plan.

3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage or other means of site stabilization as approved by the County Inspector prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E Health

080 - E Health. 1 Food Plans Not Satisfied

A total of three complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with applicable California Health and Safety Code. For additional information, please contact DEH Food Plan Check at (760) 863-7570.

080 - E Health. 2 OWTS Plans Not Satisfied

A complete OWTS Report performed in accordance with the Department of Environmental Health, Local Area Management Program shall be required. In addition, a set of two detailed plans drawn to a proper scale of the proposed subsurface sewage disposal system. To include a floor plan/plumbing schedule to ensure proper septic tank sizing.

080 - E Health. 3 Pool Plans Not Satisfied

A set of three complete plans for the swimming pool/spa must be submitted to verify compliance with the California Administrative Code, the California Health and Safety Code and the Uniform Plumbing Code. For additional information, please contact DEH Pool Plan Check at (760) 863-7570.

080 - E Health. 4 Water System Not Satisfied

Since this project is to be served water by a small water system (<200 service connections), a water supply permit will be required. The requirements for a water supply permit are as follows: 1) Satisfactory laboratory test (bacteriological, organic, inorganic, general physical, general mineral and radiological) to prove the water potable. 2) Satisfactory proof that there is adequate quantity (to include fire flow and available for intended development). 3) A complete set of plans for the Department of Environmental Health review and approval showing all details of the proposed and existing water systems. 4) Satisfactory information concerning how the system will be owned and operated. 5) Technical, Managerial, and Financial (TMF) capacity assessment shall be submitted to the Waterboard for review and approval.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Fire

080 - Fire. 1 Commercial Fire Water Protection - Fire Flow Not Satisfied

Fire Protection Water Supplies/Fire Flow - Minimum fire flow for the construction of all buildings is required per CFC Appendix B or NFPA 1142 or other approved method. Prior to building permit issuance for new construction, the applicant shall provide documentation to show there exists a water system capable of delivering the required fire flow. Specific design features may increase or decrease the required fire flow.

080 - Fire. 2 Commercial Fire Water Protection – Hydrants/Tanks Not Satisfied

Permit plan shall be submitted for fire water protection system to be reviewed by the Office of the Fire Marshal. The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with CFC Appendix C and NFPA 24. Fire hydrants shall be located no more than 400 feet from all portions of the exterior of the building along an approved route on a fire apparatus access road, unless otherwise approved by the Fire Department. Fire hydrants shall be at least 40 feet from the building it is serving. A fire hydrant shall be located within 20 to 100 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are 4" x 2 ½" x 2 ½" (Super hydrant). If the hydrant(s) has a possibility to be damage by a vehicle, proper size and spaced bollards shall be placed.

080 - Fire. 3 Final Fire Protection Plan Not Satisfied

A final fire protection plan shall be prepared in accordance with CFC 4903.2.1 and CFC 4903.2.1.2 and be submitted to the Office of the Fire Marshal for review and approval. The final plan shall include a legally binding statement in the form of an agreement between the project site and the adjacent federal property to the East with respect to the off-site vegetation management plan. The site plan approval is contingent upon this agreement.

080 - Fire. 4 Fire Alarm and Detection Not Satisfied

A water flow monitoring system and/or fire alarm system may be required as determined at time of building construction plan review. Plans must be submitted to the Office of the Fire Marshal for review and approval prior to installation.

080 - Fire. 5 Fire Department Access – Commercial Not Satisfied

Permit plans should be provided to the Office of the Fire Marshal office to review. Fire apparatus access roads shall be provided to within 150 feet of all exterior portions of buildings, unless otherwise approved by the Fire Department. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with an approved turn around. The minimum required turning radius of a fire apparatus access road is 38 feet outside radius and 14 feet inside radius. The construction of the fire apparatus access roads shall be all weather and capable of sustaining 75,000 lbs. Unless otherwise approved, the grade of a fire apparatus access road shall not exceed 16 percent and the cross slope shall not exceed 2.5 percent. The angles of approach and departure for fire apparatus access roads shall be a maximum of 6 percent grade change for 25 feet of approach/departure.

080 - Fire. 6 Fire Sprinkler Commercial Not Satisfied

All new commercial buildings and structures 3,600 square feet or larger will be required to install a fire sprinkler system. Plans must be submitted to the Office of the Fire Marshal for review and approval prior to installation.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Fire
080 - Fire. 7 Hazardous Vegetation and Fuel Management Plan Not Satisfied

Hazardous Vegetation and Fuel Management Plan - Projects in the Local Responsibility Area Very High Fire Hazard Severity Zone and the State Responsibility Area Very High, High and Moderate Fire Hazard Severity Zones shall provide a Hazardous Vegetation and Fuel Management Plan to be reviewed and approved by the Fire Department. Reference CFC 4906.3

080 - Fire. 8 Rapid Entry System – Knox Box Not Satisfied

Location and type of key lock box should be indicated on building/structure plans. Go to www.knoxbox.com to purchase. Fire Department approved will be provide during the purchase process.

080 - Fire. 9 Tent Certification Requirement Not Satisfied

Tents will need to include the State of California Fire Marshal certification and seal.

Flood

080 - Flood. 1 SUBMIT ORD. 458 SPECIAL FLOOD HAZARD AREA Not Satisfied

CUP 210121 is located within a Special Flood Hazard Area (SFHA) as shown on the Public Flood Hazard Determination Interactive Map found at <http://rcflood.org>. The developer must submit a floodplain analysis to determine potential impacts of the development to the SFHA. To provide for appropriate future administration of County Ordinance 458 per Section 9, the following items shall be submitted to the District for review and approval:

a. A floodplain analysis consisting of HEC-RAS calculations, cross sections, maps, reports, and other data prepared to the satisfaction of the District for the purpose of revising the effective SFHA limits. Environmental mitigation areas with restricted maintenance that are proposed within the natural conveyance area shall be modeled as ineffective flow.

b. Exhibits showing the pre-development and post-development SFHA limits.

c. Georeferenced shapefiles or CAD files of the pre-development and post-development SFHA limits.

All hydrologic and hydraulic models, maps, and mapping data must be submitted electronically to the District for review and approval.

080 - Flood. 2 Submit Plans Not Satisfied

Submit storm drain plans, the hydrologic and hydraulic report, and reference material including but not limited to, street improvement plans, grading plans, utility plans, the approved tentative map or site plan, the final map and the environmental constraint sheet, the geotechnical soils report and environmental documents (CEQA, federal and state permits). The storm drain plans and the hydrologic and hydraulic report must receive District approval prior to the grading final inspection or building permit whichever occurs first. All submittals shall be date stamped by the Engineer and include a Plan Check Application, Flood Control Deposit Based Fee Worksheet, found on the District's website (<https://rcflood.org/I-Want-To/Services/Submit-for-Plan-Check>), and a plan check fee deposit.

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Planning

080 - Planning. 1 Adoption of Change of Zone Not Satisfied

Prior to issuance of building permits, the County Planning Department will verify that the associated Change of Zone No. 2100014 has been adopted by the Board of Supervisors.

080 - Planning. 2 Adoption of General Plan Amendment Not Satisfied

Prior to issuance of building permits, the County Planning Department will verify that the associated General Plan Amendment No. 210006 has been adopted by the Board of Supervisors.

080 - Planning. 3 Electric Vehicle (EV) charging stations Not Satisfied

The Project shall provide circuit and capacity for a minimum of three (3) electric vehicle (EV) charging stations in construction plans and specifications to facilitate future installation of electric vehicle supply equipment (EVSE). As required by the 2016 CalGreen Building Code, 10 percent of the proposed parking spaces at the Project site will require EV charging circuit and capacity and it is assumed that a minimum of 5 areas will contain these spaces.

Requirements:

All development projects that require fifty (50) or more parking spaces shall designate three (3) spaces for electrical vehicles and designate one (1) additional space for electrical vehicles for each additional fifty (50) parking spaces. All electrical vehicle parking spaces shall be serviced by an electrical vehicle charging station. If capable, a charging station may service more than one electrical vehicle parking space.

Signage and Charging Station Location:

Signage shall be installed designating spaces for electric vehicles only. Charging stations shall be installed in locations easily accessible to service an electrical vehicle. Charging stations and associated equipment or materials shall not encroach into the minimum required areas for driveways, parking spaces, garages, or vehicle maneuvering.

080 - Planning. 4 FEE BALANCE Not Satisfied

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

080 - Planning. 5 SCHOOL MITIGATION Not Satisfied

Impacts to the Hemet Unified School District shall be mitigated in accordance with California State law.

080 - Planning. 6 USE - CONFORM TO FLOOR PLANS & ELEVATIONS Not Satisfied

All floor plans & elevations of all buildings and structures submitted for building plan check approval shall be in conformance with the elevations shown on APPROVED EXHIBIT(s). Any deviation from these plans may require a revision and/or substantial conformance to the approved entitlement.

080 - Planning. 7 USE - Lighting Plans Not Satisfied

All implementing projects shall provide a lighting plan for the project area prior to approval. This

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Planning

080 - Planning. 7 USE - Lighting Plans (cont.) Not Satisfied

plan shall include the location of onsite buildings and structures, the location of existing buildings and structures within surrounding properties, the distance between existing buildings and structures and proposed light sources, and other details of the proposed lighting (i.e., type, size, wattage, lumens, shielding type, etc.) during each phase of project development.

Planning-GEO

080 - Planning-GEO. 1 MM-GEO-1 -- Seismic Setback Zone Not Satisfied

Prior to the issuance of any grading or building permits, the project developer shall have the fault setback zone identified in the Project Fault Study (Petra 2020) shown on all appropriate Project plans to be submitted to the County for review and approval. The determination of which plans must show the setback is at the discretion of the County based on its development review requirements. The limits and boundaries of the setback zone are based on the locational data provided in the Fault Study. Prior to the issuance of any permit, the developer must demonstrate that no habitable structure(s) covered by the permit is/are within the identified seismic setback zone. This measure shall be implemented to the satisfaction of the County Geologist.

Survey

080 - Survey. 1 RCTD-USE - Access Restrictions Not Satisfied

Sufficient public street right-of-way on Highway 74 along the project and APNs 568-070-006 and 568-070-007 shall be conveyed for public use to provide for a 110-ft full-width right-of-way per Standard No. 95, Ordinance No. 461.11.

NOTE: Lot access shall be restricted on Highway 74.

or as approved by the Director of Transportation.

Transportation

080 - Transportation. 1 RCTD-USE - Road Improvements (Plan) Not Satisfied

Improvements plans for the following roadways shall be submitted for review and approval.

EXISTING MAINTAINED

Apple Canyon Road along the project is County-maintained road shall provide 3 AC pavement driveways with 35 FT radius edge of returns. In addition, provide a sight distance per Standard No. 821.

The Project shall provide/acquire sufficient dedicated public right-of-way, environmental clearances, and signed approval of all street improvement plans for the above improvements. The limits of the improvements shall be consistent with the approved tentative map unless otherwise specified in these conditions. Should the applicant fail to acquire the necessary off-site right of way, the map will be returned for redesign.

or as approved by the Director of Transportation.

080 - Transportation. 2 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied

A maintenance plan and signed WQMP/BMP maintenance agreement shall be submitted to

Plan: CUP210121

Parcel: 568070021

80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 2 RCTD-USE-WQ - ESTABLISH WQMP MAINT ENTITY Not Satisfied
the Transportation Department shall be approved and recorded against the property. A maintenance organization will be established with a funding source for the permanent maintenance.

080 - Transportation. 3 RCTD-USE-WQ - IMPLEMENT WQMP Not Satisfied

The Project shall construct BMP facilities described in the approved Final County WQMP prior to the issuance of a building permit to the satisfaction of County Grading Inspection Section. The Project is responsible for performing all activities described in the County WQMP and that copies of the approved Final County WQMP are provided to future owners/occupants.

Waste Resources

080 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to issuance of a building permit, the applicant shall submit one electronic (1) copy of a Recyclables Collection and Loading Area plot plan to the Riverside County Department of Waste Resources for review and approval to WastePlanning@rivco.org. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Department of Waste Resources (found at <http://www.rcwaste.org/business/planning/design>) and shall show the location of and access to the collection area for recyclable materials, shall demonstrate space allocation for trash and recyclable materials and have the adequate signage indicating the location of each bin in the trash enclosure. The project applicant is advised that clearance of the Recyclables Collection and Loading Area plot plan only satisfies the Waste Resources' conditions for Recyclables Collection and Loading Areas space allocation and other Recyclables Collection and Loading Area Guideline items. Detailed drawings of the Trash Enclosure and its particular construction details, e.g., building materials, location, construction methods etc., should be included as part of the Project plan submittal to the Riverside County Department of Building and Safety.

080 - Waste Resources. 2 Waste Recycling Plan Not Satisfied

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 PRECISE GRADE APPROVAL Not Satisfied

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 PRECISE GRADE APPROVAL (cont.) Not Satisfied
Grade approval can be accomplished by complying with the following:

1. Requesting and obtaining approval of all required grading inspections.
2. Submitting a "Wet Signed" copy of the Grading Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.
3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E Health

090 - E Health. 1 "Will Serve" Letter Required for Solid Waste Not Satisfied
A "will-serve" letter for solid waste hauling service from the local Franchise Solid Waste Hauler, (CR&R Disposal - 951.943.1991) shall be required.

Project shall integrate commercial waste recycling to comply with SB 1383.

090 - E Health. 2 Final Clearance of Food Facility Not Satisfied
Final clearance from the Department of Environmental Health, District Environmental Services shall be required for the proposed food facility.

090 - E Health. 3 Final Clearance of Onsite Wastewater Treatment System R Not Satisfied
Final clearance of the proposed onsite wastewater treatment system shall be required from the Department of Environmental Health.

090 - E Health. 4 Final Clearance of Potable Water System Not Satisfied
Final clearance from the Department of Environmental Health shall be required for the onsite potable water system.

090 - E Health. 5 Final Clearance of Swimming Pool Not Satisfied
Final clearance from the Department of Environmental Health, District Environmental Services shall be required for the proposed swimming pool(s).

090 - E Health. 6 Hazmat BUS Plan Not Satisfied
The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

E Health

090 - E Health. 7 Hazmat Clearance Not Satisfied

Obtain clearance from the Hazardous Materials Management Division.

090 - E Health. 8 Hazmat Waste Not Satisfied

The facility requires a hazardous waste permit if a hazardous waste is generated as defined in Title 22 of the California Code of Regulations, Section 66260.10 and 66261.3. The hazardous waste report and fee is due at occupancy. If further review of the site indicates additional environmental health issues, the Division reserves the right to regulate the business in accordance with applicable County Ordinances. Contact (951) 358-5055 for more information.

Flood

090 - Flood. 1 Special Flood Hazard Area Revision Not Satisfied

Final building inspections for lots within the effective Special Flood Hazard Area (SFHA) shall not be issued until:

a. Any stormwater facilities or fill modifying the floodplain are constructed and accepted for maintenance.

b. Floodplain hydraulic analysis is approved by District staff and associated georeferenced shape file is received by District's Floodplain Management section.

c. Property owners adversely affected by the changes to the SFHA have been notified in writing of the change.

Planning

090 - Planning. 1 SITE INSPECTION Not Satisfied

Once the site has been constructed and corresponding improvements installed, Planning will conduct a site visit to verify that the development is in compliance with the approved exhibits.

090 - Planning. 2 USE - ORD NO. 659 (DIF) Not Satisfied

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected. The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Conditional Use Permit No. 210121 has been calculated to be 5.57 acres.

090 - Planning. 3 USE - ACCESSIBLE PARKING Not Satisfied

A minimum of three (3) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBITS (Site Plans).

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Planning

090 - Planning. 3 USE - ACCESSIBLE PARKING (cont.) Not Satisfied

Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___." In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

090 - Planning. 4 USE - ELECTRICAL VEHICLE PARKING Not Satisfied

A minimum of three (3) electrical vehicle parking space[s] for shall be constructed for the project per Ordinance 348, Section 18.12.A2.c1 and 2:

Requirements: All development projects that require fifty (50) or more parking spaces shall designate three (3) spaces for electrical vehicles, and designate one (1) additional space for electrical vehicles for each additional fifty (50) parking spaces. All electrical vehicle parking spaces shall be serviced by an electrical vehicle charging station. If capable, a charging station may service more than one electrical vehicle parking space.

Signage and Charging Station Location: Signage shall be installed designating spaces for electric vehicles only. Charging stations shall be installed in locations easily accessible to service an electrical vehicle. Charging stations and associated equipment or materials shall not encroach into the minimum required areas for driveways, parking spaces, garages or vehicle maneuvering.

090 - Planning. 5 USE - ORD 810 O S FEE (MSHCP) Not Satisfied

Prior to the issuance of a certificate of occupancy upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Conditional Use Permit No. 210121 is calculated to be 5.57 acres.

090 - Planning. 6 Use - Parking Paving Materials Not Satisfied

A minimum of sixty (60) parking spaces, including 3 ADA parking spaces and 3 EV parking spaces, shall be provided as shown on the APPROVED EXHIBITS (Site Plans), unless otherwise approved by the Planning Department. The parking area shall be surfaced with decomposed granite (DG) with asphaltic concrete or concrete for ADA parking and path of travel to current standards as approved by the Department of Building and Safety.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Planning

090 - Planning. 7 USE - TRASH ENCLOSURES Not Satisfied

One (1) trash enclosure which is adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A and shall be constructed prior to the issuance of occupancy permits. The enclosure shall be a minimum of six (6) feet in height and shall be made with masonry block with landscaping (vineyard and/or olive trees) screening and a solid gate which screens the bins from external view.

Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

090 - Planning. 8 USE - UTILITIES UNDERGROUND Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

Utility lines shall be undergrounded and poles removed as shown on the approved CUP plans.

Planning-EPD

090 - Planning-EPD. 1 Gen - Biological Monitoring Report Not Satisfied

Prior to building final inspections the biological monitor must submit a final biological monitoring report to EPD for review and approval. At a minimum the biological monitoring report should provide a summary of all monitoring activities and document any significant events or mitigation measures that were taken to protect sensitive habitats or species and surrounding the project site.

090 - Planning-EPD. 2 MM- BIO-2 -- Signage Not Satisfied

Prior to issuance of a Certificate of Occupancy, the Project applicant shall install signs along the east bank of Hurkey Creek every 200 feet informing patrons that the creek is an "Environmentally Sensitive Area" and "Do Not Enter." This measure shall be implemented to the satisfaction of the County Planning Department.

Transportation

090 - Transportation. 1 RCTD-USE - Regional Transportation Fees Not Satisfied

Prior to the time of issuance of a Certificate of Occupancy or upon final inspection, whichever occurs first, the Project shall pay fees in accordance with the fee schedule in effect at the time of payment:

All Transportation Uniform Mitigation Fees (TUMF) in accordance with Ordinance 824.

090 - Transportation. 2 RCTD-USE - Road Improvements (Installation) Not Satisfied

The following roadways shall be constructed in accordance with approved improvement plans.

Plan: CUP210121

Parcel: 568070021

90. Prior to Building Final Inspection

Transportation

090 - Transportation. 2 RCTD-USE - Road Improvements (Installation) (cont.) Not Satisfied
EXISTING MAINTAINED

Apple Canyon Road along the project is County-maintained road shall provide 3 AC pavement driveways with 35 FT radius edge of returns. In addition, provide a sight distance per Standard No. 821.

The Project shall provide/acquire sufficient dedicated public right-of-way, environmental clearances, and signed approval of all street improvement plans for the above improvements. The limits of the improvements shall be consistent with the approved tentative map unless otherwise specified in these conditions. Should the applicant fail to acquire the necessary off-site right of way, the map will be returned for redesign.

or as approved by the Director of Transportation.

090 - Transportation. 3 RCTD-USE-WQ - WQMP COMPLETION Not Satisfied

Prior to Building Final Inspection, the Project is required to furnish educational materials regarding water quality to future owners/occupants, provide an engineered WQMP certification, inspection of BMPs, GPS location of BMPs, ensure that the requirements for inspection and cleaning the BMPs are established, and for businesses registering BMPs with the Transportation Department's Business Storm Water Compliance Program Section.

Waste Resources

090 - Waste Resources. 1 Waste - Recyclables Collection and Loading Area Not Satisfied

Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and verified through inspection by the Riverside County Department of Waste Resources.

090 - Waste Resources. 2 Waste Reporting Form and Receipts Not Satisfied

Prior to final building inspection, evidence (i.e., waste reporting form along with receipts or other types of verification) to demonstrate project compliance with the approved Waste Recycling Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.



Riverside County Board of Supervisors Request to Speak

Online

Submit request to Clerk of Board (right of podium), Speakers are entitled to three (3) minutes, subject to Board Rules listed on the reverse side of this form.

SPEAKER'S NAME: Larry Markham

Address: _____

City: _____ Zip: _____

Phone #: _____

Date: _____ Agenda # 21.1

PLEASE STATE YOUR POSITION BELOW:

Position on "Regular" (non-appealed) Agenda Item:

 Support Oppose Neutral

Note: If you are here for an agenda item that is filed for "Appeal", please state separately your position on the appeal below:

 Support Oppose Neutral

I give my 3 minutes to: _____

Lopez, Daniel

From: Aquia Mail
Sent: Monday, March 4, 2024 7:15 AM
To: lrm@markhamds.com
Cc: Clerk of the Board
Subject: Request to Speak Web Submission



Thank you for submitting your request to speak. The Clerk of the Board office has received your request and will be prepared to allow you to speak when your item is called. To attend the meeting, please call (669) 900-6833 and use **Meeting ID # 864 4411 6015 . Password is 20240305**. You will be muted until your item is pulled and your name is called. Please dial in at 9:00 am with the phone number you provided in the form so you can be identified during the meeting.

Submitted on March 4, 2024

Submitted values are:

First Name

LARRY

Last Name

MARKHAM

Address (Street, City and Zip)

17664 olive st, BROOMFIELD, CO

Phone

19093228482

Email

lrm@markhamds.com

Agenda Date

12/05/2023

Agenda Item # or Public Comment

21.1.

State your position below

Support

Lopez, Daniel

From: Aquia Mail
Sent: Monday, March 4, 2024 6:19 AM
To: legrand.caroline366@gmail.com
Cc: Clerk of the Board
Subject: Request to Speak Web Submission



Thank you for submitting your request to speak. The Clerk of the Board office has received your request and will be prepared to allow you to speak when your item is called. To attend the meeting, please call (669) 900-6833 and use **Meeting ID # 864 4411 6015 . Password is 20240305**. You will be muted until your item is pulled and your name is called. Please dial in at 9:00 am with the phone number you provided in the form so you can be identified during the meeting.

Submitted on March 4, 2024

Submitted values are:

First Name

Caroline

Last Name

Legrand

Address (Street, City and Zip)

6487 cavalleri rd, apt 429

Phone

3106663623

Email

legrand.caroline366@gmail.com

Agenda Date

03/05/2024

Agenda Item # or Public Comment

21.1

State your position below

Support

Lopez, Daniel

From: Aquia Mail
Sent: Monday, March 4, 2024 8:01 AM
To: royaasaro@gmail.com
Cc: Clerk of the Board
Subject: Request to Speak Web Submission



Thank you for submitting your request to speak. The Clerk of the Board office has received your request and will be prepared to allow you to speak when your item is called. To attend the meeting, please call (669) 900-6833 and use **Meeting ID # 864 4411 6015 . Password is 20240305**. You will be muted until your item is pulled and your name is called. Please dial in at 9:00 am with the phone number you provided in the form so you can be identified during the meeting.

Submitted on March 4, 2024

Submitted values are:

First Name

Roy

Last Name

Asaro

Address (Street, City and Zip)

P.O. Box 300576, Escondido, CA 92027

Phone

760-805-4640

Email

royaasaro@gmail.com

Agenda Date

03/05/2024

Agenda Item # or Public Comment

21.1

State your position below

Support

Lopez, Daniel

From: Aquia Mail
Sent: Monday, March 4, 2024 9:05 AM
To: yasmany@studios2007.com
Cc: Clerk of the Board
Subject: Request to Speak Web Submission



Thank you for submitting your request to speak. The Clerk of the Board office has received your request and will be prepared to allow you to speak when your item is called. To attend the meeting, please call (669) 900-6833 and use **Meeting ID # 864 4411 6015 . Password is 20240305**. You will be muted until your item is pulled and your name is called. Please dial in at 9:00 am with the phone number you provided in the form so you can be identified during the meeting.

Submitted on March 4, 2024

Submitted values are:

First Name
yasmany

Last Name
flores

Address (Street, City and Zip)
46521 VARGAS RD

Phone
7609848764

Email
yasmany@studios2007.com

Agenda Date
03/05/2024

Agenda Item # or Public Comment
#21.1

State your position below
Support

RECEIVED RIVERSIDE COUNTY
CLERK/BOARD OF SUPERVISORS



2024 MAR -5 PM 12: 02

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PROOF OF PUBLICATION

Riverside County-Board Of Sup.
Po Box 1147
Riverside CA 92502-1147

STATE OF WISCONSIN, COUNTY OF BROWN

The Desert Sun, a newspaper published in the city of Palm Springs, Riverside County, State of California, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

02/23/2024

and that the fees charged are legal.
Sworn to and subscribed before on 02/23/2024

Legal Clerk Keegan Moran
Vicky Felty
Notary, State of WI, County of Brown
9-19-24

My commission expires

Publication Cost: \$374.88

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Please do not use this form for payment remittance.

VICKY FELTY
Notary Public
State of Wisconsin

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON GENERAL PLAN AMENDMENT, CHANGE OF ZONE, ADOPTION OF ORDINANCE AND CONDITIONAL USE PERMIT. FOURTH SUPERVISORIAL DISTRICT
NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on Tuesday, March 5, 2024 at 10:00 A.M. or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve General Plan Amendment No. 210006, Change of Zone No. 2100014, Adoption of Ordinance No. 348.5011, and Conditional Use Permit No. 210121. General Plan Amendment No. 210006, proposal to amend the land use designation of the subject site from Open Space - Rural to Open Space - Recreation to allow for the development of a guest ranch. Change of Zone No. 2100014, proposal to change the zoning classification of the subject site from Light Agriculture 20 acre minimum to Natural Assets to align the subject site's zoning classification more closely with both the proposed land use designation and the development. Conditional Use Permit No. 210121, proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 sq.ft. of building improvements are to be constructed to facilitate the site activities, 35 employees overseeing the operations that are to occur 24 hours a day/seven days a week. These structures include the following: an administrative building, activity hub with an outdoor lap swimming pool, common dining area, four guest cabin buildings with 30 rooms, six glamping tents, a sound bath building, wellness base camp, wellness sanctuary center, and a greenhouse. Recreational activities include both active and passive uses, such as swimming, kayaking, paddle boarding, hiking, mountain biking, horseback riding, and rock climbing. Sixty parking spaces are proposed, including three ADA spaces, three EV spaces, and 18 spaces for staff. Minimal other improvements proposed. This proposed project is located: North-east of Highway 74 and south of Apple Canyon Road. - Zoning in the Fourth Supervisorial District.

The Riverside County Planning Department recommends that the Board of Supervisors ADOPT a Mitigated Negative Declaration for Environmental Assessment No. 210210, Tentatively APPROVE General Plan Amendment No. 210006, APPROVE Change of Zone No. 2100014, ADOPT Ordinance No. 348.5011 and APPROVE Conditional Use Permit No. 210121.

On January 17, 2024, the Planning Commission recommended approval of the project as stated to the Board of Supervisors on a vote of 4-0. The Planning Department meeting documents for the proposed project may be viewed online under the Planning Commission hearing date on the Public Hearing page of the Planning Department website: <https://planning.rctlma.org/Public-Hearings>.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT KATHLEEN MITCHELL, PROJECT PLANNER, AT (951) 955-6836 OR EMAIL KMITCHELL@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments, in addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1069.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: February 15, 2024

Kimberly A. Rector, Clerk of the Board

By: Cindy Fernandez, Clerk of the Board Assistant

THE PRESS-ENTERPRISE

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Riverside, California 92501
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County of Riverside - Clerk of the Board
PO Box 1147
Riverside, California 92502

<i>Account Number:</i>	5209148
<i>Ad Order Number:</i>	0011649226
<i>Customer's Reference/PO Number:</i>	
<i>Publication:</i>	The Press-Enterprise
<i>Publication Dates:</i>	02/23/2024
<i>Total Amount:</i>	\$668.58
<i>Payment Amount:</i>	\$0.00
<i>Amount Due:</i>	\$668.58
<i>Notice ID:</i>	p0K1S1oaYIIUoiAyHEjG
<i>Invoice Text:</i>	<p>NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON GENERAL PLAN AMENDMENT, CHANGE OF ZONE, ADOPTION OF ORDINANCE AND CONDITIONAL USE PERMIT. FOURTH SUPERVISORIAL DISTRICT NOTICE IS HEREBY GIVEN that a public hearing at which all interested persons will be heard, will be held before the Board of Supervisors of Riverside County, California, on the 1st Floor Board Chambers, County Administrative Center, 4080 Lemon Street, Riverside, on Tuesday, March 5, 2024 at 10:00 A.M. or as soon as possible thereafter, to consider the Planning Commission's recommendation to approve General Plan Amendment No. 210006, Change of Zone No. 2100014, Adoption of Ordinance No. 348.5011, and Conditional Use Permit No. 210121. General Plan Amendment No. 210006, proposal to amend the land use designation of the subject site from Open Space – Rural to Open Space – Recreation to allow for the development of a guest ranch. Change of Zone No. 2100014, proposal to change the zoning classification of the subject site from Light Agriculture 20 acre minimum to Natural Assets to align the subject site's zoning classification more closely with both the proposed land use designation and the development. Conditional Use Permit No. 210121, proposal to develop an eco-conscious private guest wellness ranch on a portion of a 36.11-acre lot. Approximately 29,035 sq.ft. of building improvements are to be constructed to facilitate the site activities, 35 employees overseeing the operations that are to occur 24 hours a day/seven days a week. These structures include the following: an administrative building, activity hub with an outdoor lap swimming pool, common</p>

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County of Riverside - Clerk of the Board
PO Box 1147
Riverside, California 92502

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 0011649226

FILE NO. 0011649226

PROOF OF PUBLICATION

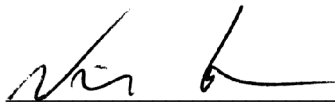
I am a citizen of the United States. I am over the age of eighteen years and not party to or interested in the above-entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper of general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

02/23/2024

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Date: February 23, 2024.

At: Riverside, California



Signature

NOTICE OF PUBLIC HEARING BEFORE THE BOARD OF SUPERVISORS OF RIVERSIDE COUNTY ON GENERAL PLAN AMENDMENT, CHANGE OF ZONE, ADOPTION OF ORDINANCE AND CONDITIONAL USE PERMIT. FOURTH SUPERVISORIAL DISTRICT

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The Riverside County Planning Department recommends that the Board of Supervisors **ADOPT a Mitigated Negative Declaration for Environmental Assessment No. 210210, Tentatively APPROVE General Plan Amendment No. 210006, APPROVE Change of Zone No. 2100014, ADOPT Ordinance No. 348.5011 and APPROVE Conditional Use Permit No. 210121.**

On January 17, 2024, the Planning Commission recommended approval of the project as stated to the Board of Supervisors on a vote of 4-0. The Planning Department meeting documents for the proposed project may be viewed online under the Planning Commission hearing date on the Public Hearing page of the Planning Department website: <https://planning.rctlma.org/Public-Hearings>.

FOR FURTHER INFORMATION REGARDING THIS PROJECT, PLEASE CONTACT KATHLEEN MITCHELL, PROJECT PLANNER, AT (951) 955-6836 OR EMAIL KMITCHELL@RIVCO.ORG.

Any person wishing to testify in support of or in opposition to the project may do so in writing between the date of this notice and the public hearing or may appear and be heard at the time and place noted above. All written comments received prior to the public hearing will be submitted to the Board of Supervisors and the Board of Supervisors will consider such comments. In addition to any oral testimony, before making a decision on the project.

If you challenge the above item in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning Department or Board of Supervisors at, or prior to, the public hearing. Be advised that as a result of the public hearing and the consideration of all public comment, written and oral, the Board of Supervisors may amend, in whole or in part, the project and/or the related environmental document. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the project, may be changed in a way other than specifically proposed.

Alternative formats available upon request to individuals with disabilities. If you require reasonable accommodation, please contact Clerk of the Board at (951) 955-1069.

Please send all written correspondence to: Clerk of the Board, 4080 Lemon Street, 1st Floor, Post Office Box 1147, Riverside, CA 92502-1147 or email cob@rivco.org

Dated: February 15, 2024

Kimberly A. Rector,
Clerk of the Board
By: Cindy Fernandez,
Clerk of the Board Assistant

The Press-Enterprise
Published: 2/23/24

The Press-Enterprise

3512 14th Street
Riverside, CA 92501
Willoughby, OH 44096
951-368-9222
951-368-9018 FAX

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
PO BOX 1147
RIVERSIDE, CA 92502

.....

Account Number: 5209148

Ad Order Number: 0011654010

Customer's Reference Adoption of Ordi. 348.5011
/ PO Number:

Publication: The Press-Enterprise

Publication Dates: 03/09/2024

Amount: \$1,042.80

Payment Amount: \$0.00

ORDINANCE NO. 348.5011
AN ORDINANCE OF THE COUNTY OF RIVERSIDE
AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and Garner Valley District Zoning Plan Map No. 64, as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, Garner Valley District, Map No. 64.004, Change of Zone Case No. 2100014," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.
Chuck Washington, Chair of the Board

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on March 5, 2024, the foregoing Ordinance was adopted by said Board by the following vote:

AYES: Jeffries, Spiegel, Washington, Perez and Gutierrez

NAYS: None

ABSENT: None

Kimberly A. Rector, Clerk of the Board

By: Cindy Fernandez, Clerk of the Board Assistant

Published The Press-Enterprise March 9, 2024

The Press-Enterprise

3512 14th Street
Riverside, CA 92501
Willoughby, OH 44096
951-368-9222
951-368-9018 FAX

5209148

BOARD OF SUPERVISORS
COUNTY OF RIVERSIDE
PO BOX 1147
RIVERSIDE, CA 92502

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: Adoption of Ordi. 348.5011

Legal No. **0011654010**

Ad Copy:

FILE NO. Adoption of Ordi. 348.5011

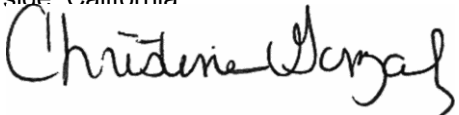
PROOF OF PUBLICATION

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

03/09/2024

I certify (or declare) under penalty of perjury that the foregoing is true and correct:

Date: March 09, 2024.
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

ORDINANCE NO. 348.5011
AN ORDINANCE OF THE COUNTY OF RIVERSIDE
AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside ordains as follows:

Section 1. Section 4.1 of Ordinance No. 348, and Garner Valley District Zoning Plan Map No. 64, as amended, are further amended by placing in effect in the zone or zones as shown on the map entitled "Change of Official Zoning Plan, Garner Valley District, Map No. 64.004, Change of Zone Case No. 2100014," which map is made a part of this ordinance.

Section 2. This ordinance shall take effect 30 days after its adoption.

AYES: Jeffries, Spiegel, Washington, Perez and Gutierrez
NAYS: None
ABSENT: None

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

Published The Press-Enterprise March 9, 2024

2024 MAR 18 AM 11:02

California
GANNETT

PO Box 631437 Cincinnati, OH 45263-1437

PROOF OF PUBLICATION

Riverside County-Board Of Sup.
Po Box 1147
Riverside CA 92502-1147

STATE OF WISCONSIN, COUNTY OF BROWN

The Desert Sun, a newspaper published in the city of Palm Springs, Riverside County, State of California, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

03/10/2024

and that the fees charged are legal.
Sworn to and subscribed before on 03/10/2024

[Signature]

Legal Clerk
[Signature]

Notary, State of WI, County of Brown
1-2-25

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KATHLEEN ALLEN
Notary Public
State of Wisconsin

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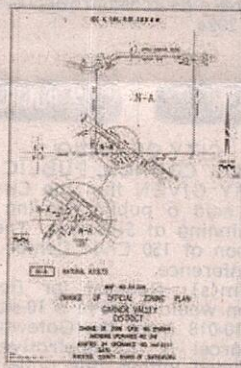
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Chuck Washington, Chair of the Board

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said County, held on March 5, 2024, the foregoing Ordinance was adopted by said Board by the following vote:

AYES: Jeffries, Spiegel, Washington, Perez and Gutierrez
NAYS: None
ABSENT: None

Kimberly A. Rector, Clerk of the Board
By: Cindy Fernandez, Clerk of the Board Assistant

Pub: 3/10/2024