

**SUBMITTAL TO THE BOARD OF COMMISSIONERS  
HOUSING AUTHORITY  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



ITEM: 13.1  
(ID # 27722)

**MEETING DATE:**  
Tuesday, July 29, 2025

**FROM :** HOUSING AUTHORITY

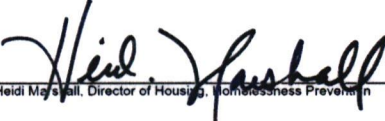
**SUBJECT:** HOUSING AUTHORITY: Approve the Form of the Section 8 Project-Based Voucher Program Agreement to Enter into a Housing Assistance Payments (AHAP) Contract for New Construction and Approve the Forms of the Consent to Assignment of AHAP and HAP Contract as Security for Financing (PBV) for the Mulberry Gardens Family Apartments Project, Located in the City of Riverside, By and Between Mulberry Gardens Family, L.P. and the Housing Authority of the County of Riverside; District 1. [\$0]

**RECOMMENDED MOTION:** That the Board of Commissioners:

1. Approve the form of the attached Section 8 Project-Based Voucher Program Agreement to Enter into a Housing Assistance Payments Contract for New Construction by and between Mulberry Gardens Family, L.P., a California limited partnership, and the Housing Authority of the County of Riverside (AHAP Contract) for the Mulberry Gardens Family located in the City of Riverside;
2. Approve the form of the Section 8 Project-Based Voucher Program Housing Assistance Payments Contract - New Construction or Rehabilitation Part 1 of HAP Contract (HAP Contract);

Continued on Page 2

**ACTION:Policy**


  
Heidi Marshall, Director of Housing, Homelessness Prevention 4/23/2025

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**MINUTES OF THE BOARD OF COMMISSIONERS**

On motion of Commissioner Gutierrez, seconded by Commissioner Medina and duly carried by unanimous vote, IT WAS ORDERED that the above matter is approved as recommended.

Ayes: Medina, Spiegel, Washington, Perez and Gutierrez  
Nays: None  
Absent: None  
Date: July 29, 2025  
xc: Housing Authority

Kimberly A. Rector  
Clerk of the Board  
By:   
Deputy

**SUBMITTAL TO THE BOARD OF COMMISSIONERS HOUSING AUTHORITY  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

**RECOMMENDED MOTION:** That the Board of Commissioners:

3. Approve the form of the Consent to Assignment of AHAP Contract and HAP Contract as Security for Financing (PBV) (Consent to Assignment of AHAP and HAP);
4. Approve the form of the Consent to Assignment of PBV HAP Contract as Security for Freddie Mac Financing (Consent to Assignment of PBV HAP); and
5. Authorize the Executive Director of the Housing Authority of the County of Riverside, or designee, to execute the AHAP Contract, the HAP Contract, the Consent to Assignment AHAP and HAP, and the Consent to Assignment PBV HAP, each substantially conforming in form and substance to the attached documents, subject to approval as to form by County Counsel; and, to take all necessary steps to implement the AHAP Contract, HAP Contract, the Consent to Assignment of HAP and HAP, and the Consent to Assignment of PBV HAP including, but not limited to, signing subsequent necessary and relevant documents, subject to approval as to form by County Counsel.

<b>FINANCIAL DATA</b>	<b>Current Fiscal Year:</b>	<b>Next Fiscal Year:</b>	<b>Total Cost:</b>	<b>Ongoing Cost</b>
<b>COST</b>	\$ 0	\$ 0	\$ 0	\$ 0
<b>NET COUNTY COST</b>	\$ 0	\$ 0	\$ 0	\$ 0
<b>SOURCE OF FUNDS:</b> N/A			<b>Budget Adjustment:</b>	No
			<b>For Fiscal Year:</b>	25/26

**C.E.O. RECOMMENDATION:** Approve

**BACKGROUND:**

**Summary**

Eden Housing, Inc., a California nonprofit public benefit corporation and affordable housing developer (Developer), was selected to receive a total of 37 Housing Choice Voucher Program (HCVP or Section 8) Project-Based Vouchers (PBVs). The PBVs were awarded to Mulberry Gardens Family Apartments in response to a competitive request for proposals released on June 2, 2023, by the Housing Authority of the County of Riverside (HACR) pursuant to Section 21.3 of the HACR's Administrative Plan for the HCVP and in compliance with 24 CFR 983. The Developer proposed a 150-unit affordable housing development, on approximately 2.81 acres located at 2520 Mulberry Street in the City of Riverside, identified as Assessor's Parcel Number 209-130-003 (Project). The Developer has formed a limited partnership known as Mulberry Gardens Family, L.P., a California limited partnership (Partnership), for the purpose of owning, developing, and financing new construction of the Project.

The Project will consist of 73 one-bedroom units, 39 two-bedroom units, 38 three-bedroom and 1 two-bedroom manager's unit within two residential buildings. The PBVs will serve as a rental subsidy for 37 units reserved for individuals at risk of homelessness whose incomes do not exceed 30% of the area median income. Referrals for these units will come from the County of Riverside's Coordinated Entry System (CES). The Project will have a shared courtyard with Mulberry Gardens Senior Apartments, the first phase of the Project. The two community centers will be designed to foster social interaction between the two properties. Supportive services will

**SUBMITTAL TO THE BOARD OF COMMISSIONERS HOUSING AUTHORITY  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**

be provided free of charge to residents in the community rooms. The Project will be landscaped with raised planters, a tot lot, outdoor kitchen, fire pit, and community garden.

Pursuant to the National Environmental Policy Act (NEPA), on January 30, 2024 (Minute Order 3.14), the Board of Commissioners adopted the Environmental Assessment prepared by the County of Riverside Housing and Workforce Solutions (HWS) as the Responsible Entity which found that the proposed Project would not have a significant effect on the environment.

**Impact on Residents and Businesses**

The rental assistance derived from the PBVs will have a positive impact on the residents to stabilize housing and operation of the new construction housing complex, in addition to providing affordable housing to the community.

**SUPPLEMENTAL:**

**Additional Fiscal Information**

No impact upon the County's General Fund. The Housing Authority's contribution to the project includes Housing Choice Voucher Program Project-Based Vouchers, which are fully funded from the United States Department of Housing and Urban Development.

**Attachments:**

- Form of Agreement to Enter into Housing Assistance Payments Contract (AHAP), including all exhibits
- Form of Housing Assistance Payment Contract (attached as exhibit D to AHAP)
- Form of Consent to Assignment of AHAP and HAP Contract as Security for Financing (PBV)
- Form of Consent to Assignment of PBV HAP Contract as a Security for Freddie Mac Financing

  
\_\_\_\_\_  
Stacey Pena, EO Management Analyst 7/10/2025

  
\_\_\_\_\_  
Aaron Gettis, Chief of Deputy County Counsel 7/9/2025

**U.S. Department of Housing and Urban Development  
Office of Public and Indian Housing**

**SECTION 8 PROJECT-BASED VOUCHER PROGRAM**

**AGREEMENT TO ENTER INTO A  
HOUSING ASSISTANCE PAYMENTS CONTRACT**

**NEW CONSTRUCTION OR REHABILITATION**

**PART I**

**OMB Burden Statement.** The public reporting burden for this collection of information is estimated to average 0.25 hours, including the time for collecting, reviewing and reporting the data. The information is required to establish terms between the PHA and the owner prior to execution of a HAP contract for PBV assistance as provided in §983.152. Assurances of confidentiality are not provided under this collection. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions to reduce this burden, to the Office of Public and Indian Housing, US. Department of Housing and Urban Development, Washington, DC 20410. HUD may not conduct and sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid control number.

**Privacy Notice.** The Department of Housing and Urban Development (HUD) is authorized to collect the information required on this form by 24 CFR § 983.152. The information is being collected to establish the agreement between the PHA and owner prior to execution of a HAP contract for PBV assistance as provided in §983.153. The Personally Identifiable Information (PII) data collected on this form are not stored or retrieved within a system of record.

## 1.1 Parties

This Agreement to Enter into Housing Assistance Payments Contract (“Agreement”) is between:

\_\_\_\_\_ (“PHA”) and

\_\_\_\_\_ (“owner”).

## 1.2 Purpose

The owner agrees to develop the Housing Assistance Payments Contract (“HAP Contract”) units to in accordance with Exhibit B and to comply with Housing Quality Standards (“HQS”), and the PHA agrees that, upon timely completion of such development in accordance with the terms of the Agreement, the PHA will enter into a HAP Contract with the owner of the Contract units.

### 1.3 Contents of Agreement

This Agreement consists of Part I, Part II, and the following Exhibits:

EXHIBIT A: The approved owner's PBV proposal. (Selection of proposals must be in accordance with 24 CFR 983.51.)

EXHIBIT B: Description of work to be performed under this Agreement, including:

- if the Agreement is for rehabilitation of units, this exhibit must include the rehabilitation work write-up and, where the PHA has determined necessary, specifications and plans.
- if the Agreement is for new construction of units, the work description must include the working drawings and specifications.
- any additional requirements beyond HQS relating to quality, design and architecture that the PHA requires.
- work items resulting from compliance with the design and construction requirements of the Fair Housing Act and implementing regulations at 24 CFR 100.205, the accessibility requirements under section 504 of the Rehabilitation Act of 1973 and implementing regulations at 24 CFR 8.22 and 8.23, and accessibility requirements under Titles II and III of the Americans with Disabilities Act at 28 CFR parts 35 and 36, as applicable.

EXHIBIT C: Description of housing, including:

- project site.
- total number of units in project covered by this Agreement.
- locations of contract units on site.
- number of contract units by area (size) and number of bedrooms and bathrooms.
- services, maintenance, or equipment to be supplied by the owner without charges in addition to the rent to owner.
- utilities available to the contract units, including a specification of utility services to be paid by the owner (without charges in addition to rent) and utility services to be paid by the tenant.
- estimated initial rent to owner for the contract units.

EXHIBIT D: The HAP contract.

## 1.4 Significant Dates

- A. Effective Date of the Agreement: The Agreement must be executed promptly after PHA notice of proposal selection to the owner has been given. The PHA may not enter this Agreement with the owner until a subsidy layering review has been performed and an environmental review has been satisfactorily completed in accordance with HUD requirements.
- B. A project may either be a single-stage or multi-stage project. A single-stage project will have the same Agreement effective date for all contract units. A multi-stage project will separate effective dates for each stage.

### \_\_\_\_\_ Single-stage project

- i. Effective Date for all contract units: \_\_\_\_\_
- ii. Date of Commencement of the Work: The date for commencement of work is not later than \_\_\_\_\_ calendar days after the effective date of this Agreement.
- iii. Time for Completion of Work: The date for completion of the work is not later than \_\_\_\_\_ calendar days after the effective date of this Agreement.

### \_\_\_\_\_ Multi-Stage Project

Enter the information for each stage upon execution of the Agreement for the corresponding stage.

STAGE	NUMBER OF UNITS	EFFECTIVE DATE	DATE OF COMMENCEMENT OF WORK	TIME FOR COMPLETION OF WORK


**1.5 Nature of the Work**

\_\_\_\_\_ This Agreement is for **New Construction** of units to be assisted by the project-based Voucher program.

\_\_\_\_\_ This Agreement is for **Rehabilitation** of units to be assisted by the project-based Voucher program.

**1.6 Schedule of Completion**

- A. **Timely Performance of Work:** The owner agrees to begin work no later than the date for commencement of work as stated in Section 1.4. In the event the work is not commenced, diligently continued and completed as required under this Agreement, the PHA may terminate this Agreement or take other appropriate action. The owner agrees to report promptly to the PHA the date work is commenced and furnish the PHA with progress reports as required by the PHA.
- B. **Time for Completion:** All work must be completed no later than the end of the period stated in Section 1.4. Where completion in stages is provided for, work related to units included in each stage shall be completed by the stage completion date and all work on all stages must be completed no later than the end of the period stated in Section 1.4.
- C. **Delays:** If there is a delay in the completion due to unforeseen factors beyond the owner’s control as determined by the PHA, the PHA agrees to extend the time for completion for an appropriate period as determined by the PHA in accordance with HUD requirements.

**1.7 Changes in Work**

- A. The owner must obtain prior PHA approval for any change from the work specific in Exhibit B which would alter the design or quality of the rehabilitation or construction. The PHA is not required to approve any changes requested by the owner. PHA approval of any change may be conditioned on establishment of a lower initial rent to owner at the amounts determined by PHA.

- B. If the owner makes any changes in the work without prior PHA approval, the PHA may establish lower initial rents to owner at the amounts determined by PHA in accordance with HUD requirements.
- C. The PHA (or HUD in the case of insured or coinsured mortgages) may inspect the work during rehabilitation or construction to ensure that work is proceeding on schedule, is being accomplished in accordance with the terms of the Agreement, meets the level of material described in Exhibit B and meets typical levels of workmanship for the area.

**1.8 Work completion**

- A. Conformance with Exhibit B: The work must be completed in accordance with Exhibit B. The owner is solely responsible for completion of the work.
- B. Evidence of Completion: When the work is completed, the owner must provide the PHA with the following:
  - 1. A certification by the owner that the work has been completed in accordance with the HQS and all requirements of this Agreement.
  - 2. A certification by the owner that the owner has complied with labor standards and equal opportunity requirements in the development of the housing. (See 24 CFR 983.155(b)(1)(ii).)
  - 3. Additional Evidence of Completion: At the discretion of the PHA, or as required by HUD, this Agreement may specify additional documentation that must be submitted by owner as evidence of completion of the housing. Check the following that apply:
    - \_\_\_\_\_ A certificate of occupancy or other evidence that the contract units comply with local requirements.
    - \_\_\_\_\_ An architect’s or developer’s certification that the housing complies with:
      - \_\_\_\_\_ the HQS;
      - \_\_\_\_\_ State, local, or other building codes;
      - \_\_\_\_\_ Zoning;

\_\_\_\_\_ The rehabilitation work write-up for rehabilitated housing;

\_\_\_\_\_ The work description for newly constructed housing; or

\_\_\_\_\_ Any additional design or quality requirements pursuant to this Agreement.

## **1.9 Inspection and Acceptance by the PHA of Completed Contract Units**

- A. Completion of Contract Units: Upon receipt of owner notice of completion of Contract units, the PHA shall take the following steps:
  - 1. Review all evidence of completion submitted by owner.
  - 2. Inspect the units to determine if the housing has been completed in accordance with this Agreement, including compliance with the HQS and any additional requirements imposed by the PHA under this Agreement.
- B. Non-Acceptance: If the PHA determines the work has not been completed in accordance with this Agreement, including non-compliance with the HQS, the PHA shall promptly notify the owner of this decision and the reasons for the non-acceptance. The parties must not enter into the HAP contract.
- C. Acceptance: If the PHA determines housing has been completed in accordance with this Agreement, and that the owner has submitted all required evidence of completion, the PHA must submit the HAP contract for execution by the owner and must then execute the HAP contract.

## **1.10 Acceptance where defects or deficiencies are reported:**

- A. If other defects or deficiencies exist, the PHA shall determine whether and to what extent the defects or deficiencies are correctable, whether the units will be accepted after correction of defects or deficiencies, and the requirements and procedures for such correction and acceptance.
- B. Completion in Stages: Where completion in stages is provided for, the procedures of this paragraph shall apply to each stage.

## **1.11. Execution of HAP Contract**

- A. Time and Execution: Upon acceptance of the units by the PHA, the owner and the PHA execute the HAP contract.
- B. Completion in Stages: Where completion in stages is provided for the number and types of units in each stage, and the initial rents to owner for such units, shall be separately shown in Exhibit C of the contract for each stage. Upon acceptance of the first stage, the owner shall execute the contract and the signature block provided in the contract for that stage. Upon acceptance of each subsequent stage, the owner shall execute the signature block provided in the contract for such stage.
- C. Form of Contract: The terms of the contract shall be provided in Exhibit D of this Agreement. There shall be no change in the terms of the contract unless such change is approved by HUD headquarters. Prior to execution by the owner, all blank spaces in the contract shall be completed by the PHA.
- D. Survival of owner Obligations: Even after execution of the contract, the owner shall continue to be bound by all owner obligations under the Agreement.

## **1.12 Initial determination of rents**

- A. The estimated amount of initial rent to owner shall be established in Exhibit C of this Agreement.
- B. The initial amount of rent to owner is established at the beginning of the HAP contract term.
- C. The estimated and initial contract rent for each units may in no event exceed the amount authorized in accordance with HUD regulations and requirements. Where the estimated initial rent to owner exceeds the amount authorized in accordance with HUD regulations, the PHA shall establish a lower initial rent tow owner, in accordance with HUD regulations and requirements.

## **1.13 Uniform Relocation Act**

- A. A displaced person must be provided relocation assistance at the levels described in and in accordance with the requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970

(URA) (42 U.S.C. 4201-4655) and implementing regulations at 49 CFR part 24.

- B. The cost of required relocation assistance may be paid with funds provided by the owner, or with local public funds, or with funds available from other sources. Payment of relocation assistance must be paid in accordance with HUD requirements.
- C. The acquisition of real property for a project to be assisted under the program is subject to the URA and 49 CFR part 24, subpart B.
- D. The PHA must require the owner to comply with the URA and 49 CFR part 24.
- E. In computing a replacement housing payment to a residential tenant displaced as a direct result of privately undertaken rehabilitation or demolition of the real property, the term “initiation of negotiations” means the execution of the Agreement between the owner and the PHA.

### **1.14 Protection of In-Place Families**

- A. In order to minimize displacement of in-place families, if a unit to be placed under Contract is occupied by an eligible family on the proposal selection date, the in-place family must be placed on the PHA’s waiting list (if they are not already on the list) and, once their continued eligibility is determined, given an absolute selection preference and referred to the project owner for an appropriately sized unit in the project.
- B. This protection does not apply to families that are not eligible to participate in the program on the proposal selection date.
- C. The term “in-place family” means an eligible family residing in a proposed contract unit on the proposal selection date.
- D. Assistance to in-place families may only be provided in accordance with the program regulations and other HUD requirements.

### **1.15 Termination of Agreement and Contract**

The Agreement or HAP contract may be terminated upon at least 30 days notice to the owner by the PHA or HUD if the PHA or HUD determines that the contract units were not eligible for selection in conformity with HUD requirements.

## **1.16 Rights of HUD if PHA Defaults Under Agreement**

If HUD determines that the PHA has failed to comply with this Agreement or has failed to take appropriate action to HUD's satisfaction or as directed by HUD, for enforcement of the PHA's rights under this Agreement, HUD may assume the PHA's rights and obligations under the Agreement, and may perform the obligations and enforce the rights of the PHA under the Agreement. HUD will, if it determines that the owner is not in default, pay Annual Contributions for the purpose of providing housing assistance payments with respect to the dwelling unit(s) under this Agreement for the duration of the HAP contract.

## **1.17 Owner Default and PHA Remedies**

### **A. Owner Default**

Any of the following is a default by the owner under the Agreement:

1. The owner has failed to comply with any obligation under the Agreement.
2. The owner has violated any obligation under any other housing assistance payments contract under Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f).
3. The owner has committed any fraud or made any false statement to the PHA or HUD in connection with the Agreement.
4. The owner has committed fraud, bribery, or any other corrupt or criminal act in connection with any Federal housing assistance program.
5. If the property where the contract units are located is subject to a lien or security interest securing a HUD loan or mortgage insured by HUD and:
  - a. The owner has failed to comply with the regulations for the applicable HUD loan or mortgage insurance program, with the mortgage or mortgage note, or with the regulatory agreement; or
  - b. The owner has committed fraud, bribery, or any other corrupt or criminal act in connection with the HUD loan or HUD-insured mortgage.

6. The owner has engaged in any drug-related criminal activity or any violent criminal activity.

**B. PHA Remedies**

1. If the PHA determines that a breach has occurred, the PHA may exercise any of its rights or remedies under the Agreement.
2. The PHA must notify the owner in writing of such determination. The notice by the PHA to the owner may require the owner to take corrective action (as verified by the PHA) by a time prescribed in the notice.
3. The PHA's rights and remedies under the Agreement include but are not limited to: (i) terminating the Agreement; and (ii) declining to execute the HAP contract for some or all of the units.

**C. PHA Remedy is not Waived**

The PHA's exercise or non-exercise of any remedy for owner breach of the Agreement is not a waiver of the right to exercise that remedy or any other right or remedy at any time.

## **1.18 PHA and Owner Relation to Third Parties**

**A. Selection and Performance of Contractor**

1. The PHA has not assumed any responsibility or liability to the owner, or any other party for performance of any contractor, subcontractor or supplier, whether or not listed by the PHA as a qualified contractor or supplier under the program. The selection of a contractor, subcontractor or supplier is the sole responsibility of the owner and the PHA is not involved in any relationship between the owner and any contractor, subcontractor or supplier.
2. The owner must select a competent contractor to undertake rehabilitation or construction. The owner agrees to require from each prospective contractor a certification that neither the contractor nor its principals is presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in contract by the Comptroller General or any federal Department or agency. The owner agrees not to award contracts to, otherwise engage in the service of, or fund any contractor that does not provide this certification.

- B. Injury Resulting from Work under the Agreement: The PHA has not assumed any responsibility for or liability to any person, including a worker or a resident of the unit undergoing work pursuant to this Agreement, injured as a result of the work or as a result of any other action or failure to act by the owner, or any contractor, subcontractor or supplier.
- C. Legal Relationship: The owner is not the agent of the PHA and this Agreement does not create or affect any relationship between the PHA and any lender to the owner or any suppliers, employees, contractor or subcontractors used by the owner in the implementation of the Agreement.
- D. Exclusion of Third Party Claims: Nothing in this Agreement shall be construed as creating any right of any third party (other than HUD) to enforce any provision of this Agreement or the Contract, or to assert any claim against HUD, the PHA or the owner under the Agreement or the Contract.
- E. Exclusion of owner Claims against HUD: Nothing in this Agreement shall be construed as creating any right of the owner to assert any claim against HUD.

### **1.19 PHA-Owned Units**

Notwithstanding Section 1.18 of this Agreement, a PHA may own units assisted under the project-based voucher program, subject to the special requirements in 24 CFR 983.59 regarding PHA-owned units.

### **1.20 Conflict of Interest**

- A. Interest of Members, Officers, or Employees of PHA, Members of Local Governing Body, or Other Public Officials
  - 1. No present or former member or officer of the PHA (except tenant-commissioners), no employee of the PHA who formulates policy or influences decisions with respect to the housing choice voucher program or project-based voucher program, and no public official or member of a governing body or State or local legislator who exercises functions or responsibilities with respect to these programs, shall have any direct or indirect interest, during his or her tenure or for one year thereafter, in the Agreement or HAP contract.
  - 2. HUD may waive this provision for good cause.

B. Disclosure

The owner has disclosed to the PHA any interest that would be a violation of the Agreement or HAP contract. The owner must fully and promptly update such disclosures.

### **1.21 Interest of Member or Delegate to Congress**

No member of or delegate to the Congress of the United States of America or resident-commissioner shall be admitted to any share or part of the Agreement or HAP contract or to any benefits arising from the Agreement of HAP contract.

### **1.22 Transfer of the Agreement, HAP Contract, or Property**

A. PHA Consent to Transfer

The owner agrees that the owner has not made and will not make any transfer in any form, including any sale or assignment, of the Agreement, HAP contract, or the property without the prior written consent of the PHA. A change in ownership in the owner, such as a stock transfer or transfer of the interest of a limited partner, is not subject to the provisions of this section. Transfer of the interest of a general partner is subject to the provisions of this section.

B. Procedure for PHA Acceptance of Transferee

Where the owner requests the consent of the PHA for a transfer in any form, including any sale or assignment, of the Agreement, the HAP contract, or the property, the PHA must consent to a transfer of the Agreement or HAP contract if the transferee agrees in writing (in a form acceptable to the PHA) to comply with all the terms of the Agreement and HAP contract, if the transferee is acceptable to the PHA. The PHA's criteria for acceptance of the transferee must be in accordance with HUD requirements.

C. When Transfer is Prohibited

The PHA will not consent to the transfer if any transferee, or any principal or interested party, is debarred, suspended, subject to a limited denial of participation, or otherwise excluded under 2 CFR part 2424, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or nonprocurement programs.

## 1.23 Exclusion from Federal Programs

### A. Federal Requirements

The owner must comply with and is subject to requirements of 2 CFR part 2424.

### B. Disclosure

The owner certifies that:

1. The owner has disclosed to the PHA the identity of the owner and any principal or interested party.
2. Neither the owner nor any principal or interested party is listed on the U.S. General Services Administration list of parties excluded from Federal procurement and nonprocurement programs; and none of such parties are debarred, suspended, subject to a limited denial of participation, or otherwise excluded under 2 CFR part 2424.

## 1.24 Lobbying Certifications

### A. The owner certifies, to the best of the owner's knowledge and belief, that:

1. No Federally appropriated funds have been paid or will be paid, by or on behalf of the owner, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of the Agreement or HAP contract, or the extension, continuation, renewal, amendment, or modification of the HAP contract.
2. If any funds other than Federally appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the Agreement or HAP contract, the owner must complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

- B. This certification by the owner is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352.

## 1.25 Subsidy Layering

- A. Owner Disclosure

The owner must disclose to the PHA, in accordance with HUD requirements, information regarding any related assistance from the Federal government, a State, or a unit of general local government, or any agency or instrumentality thereof, that is made available or is expected to be made available with respect to the contract units. Such related assistance includes, but is not limited to, any loan, grant, guarantee, insurance, payment, rebate, subsidy, credit, tax benefit, or any other form of direct or indirect assistance.

- B. Limit of Payments

Housing assistance payments under the HAP contract must not be more than is necessary, as determined in accordance with HUD requirements, to provide affordable housing after taking account of such related assistance. The PHA will adjust in accordance with HUD requirements the amount of the housing assistance payments to the owner to compensate in whole or in part for such related assistance.

## 1.26 Prohibition of Discrimination

- A. The owner may not refuse to lease contract units to, or otherwise discriminate against, any person or family in leasing of a contract unit, because of race, color, religion, sex (including sexual orientation and gender identity), national origin, disability, age, or familial status.
- B. The owner must comply with the following requirements:
  - 1. The Fair Housing Act (42 U.S.C. 3601–19) and implementing regulations at 24 CFR part 100 *et seq.*;
  - 2. Executive Order 11063, as amended by Executive Order 12259 (3 CFR 1959–1963 Comp., p. 652, and 3 CFR, 1980 Comp., p. 307) (Equal Opportunity in Housing Programs) and implementing regulations at 24 CFR part 107;

3. Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d–2000d–4) (Nondiscrimination in Federally Assisted Programs) and implementing regulations at 24 CFR part 1;
4. The Age Discrimination Act of 1975 (42 U.S.C. 6101–6107) and implementing regulations at 24 CFR part 146;
5. Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8;
6. Title II of the Americans with Disabilities Act, 42 U.S.C. 12101 *et seq.*; 28 CFR part 35
7. Executive Order 11246, as amended by Executive Orders 11375, 11478, 12086, and 12107 (3 CFR, 1964–1965 Comp., p. 339; 3 CFR, 1966–1970 Comp., p. 684; 3 CFR, 1966–1970 Comp., p. 803; 3 CFR, 1978 Comp., p. 230; and 3 CFR, 1978 Comp., p. 264, respectively) (Equal Employment Opportunity Programs) and implementing regulations at 41 CFR chapter 60;
8. Executive Order 11625, as amended by Executive Order 12007 (3 CFR, 1971–1975 Comp., p. 616 and 3 CFR, 1977 Comp., p. 139) (Minority Business Enterprise Development); and
9. Executive Order 12138, as amended by Executive Order 12608 (3 CFR, 1977 Comp., p. 393, and 3 CFR, 1987 Comp., p. 245) (Women’s Business Enterprise).
10. HUD’s Equal Access Rule at 24 CFR 5.105.

The PHA and the owner must cooperate with HUD in the conducting of compliance reviews and complaint investigations pursuant to all applicable civil rights statutes, Executive Orders, and all related rules and regulations.

## **1.27 Owner Duty to Provide Information and Access to HUD and PHA**

- A. The owner must furnish any information pertinent to this Agreement as may be reasonably required from time to time by the PHA or HUD. The owner shall furnish such information in the form and manner required by the PHA or HUD.
- B. The owner must permit the PHA or HUD or any of their authorized representatives to have access to the premises during normal business hours and, for the purpose of audit and examination, to have access to any books, documents, papers, and records of the owner to the extent necessary to determine compliance with this Agreement.

## **1.28 Notices and Owner Certifications**

- A. Where the owner is required to give any notice to the PHA pursuant to this Agreement, such notice shall be in writing and shall be given in the manner designated by the PHA.
- B. Any certification or warranty by the owner pursuant to the Agreement shall be deemed a material representation of fact upon which reliance was placed when this transaction was entered into.

## **1.29 HUD Requirements**

- A. The Agreement and the HAP contract shall be interpreted and implemented in accordance with all statutory requirements, and will all HUD requirements, including amendments or changes in HUD requirements. The owner agrees to comply with all such laws and HUD requirements.
- B. HUD requirements are requirements that apply to the project-based voucher program. HUD requirements are issued by HUD Headquarters as regulations, *Federal Register* notices, or other binding program directives.

## **1.30 Applicability of Part II Provisions — Check All that Apply**

Equal Employment Opportunity

Section 2.1 applies only to construction contracts of more than \$10,000.

\_\_\_\_\_ Labor Standards Requirements

Sections 2.3, 2.7, and 2.9 apply only when this Agreement covers nine or more units.

\_\_\_\_\_ Flood Insurance

Section 2.10 applies if units are located in areas having special flood hazards and in which flood insurance is available under the National Flood Insurance Program.

**EXECUTION OF THE AGREEMENT**

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct. WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§ 287, 1001, 1010, 1012; 31 U.S.C. §3729, 3802).

FORM APPROVED COUNTY COUNSEL  
BY: AMRI R. DHILLON  
DATE: 7/1/2025

<b>PUBLIC HOUSING AGENCY (PHA)</b> <b>Name of PHA (Print)</b> Housing Authority of the County of Riverside
By:
Signature of authorized representative
<b>Heidi Marshall, Executive Director</b>
Name and official title (Print)
Date
<b>OWNER</b> <b>Name of Owner (Print)</b> See attached signature page
By:
Signature of authorized representative
Name and official title (Print)
Date

**ACKNOWLEDGED AND AGREED AS OF THE DATE FIRST SET FORTH ABOVE:**

**OWNER:**

MULBERRY GARDENS FAMILY, L.P.,  
a California limited partnership

By: Mulberry Gardens Family LLC,  
a California limited liability company,  
its General Partner

By: Eden Housing, Inc.,  
a California nonprofit public benefit corporation,  
its Sole Member/Manager

By: \_\_\_\_\_  
Aruna Doddapaneni  
Senior Vice President of Development

**U.S. Department of Housing and Urban Development  
Office of Public and Indian Housing**

**SECTION 8 PROJECT-BASED VOUCHER PROGRAM**

**AGREEMENT TO ENTER INTO A  
HOUSING ASSISTANCE PAYMENTS CONTRACT**

**NEW CONSTRUCTION OR REHABILITATION**

**PART II**

**OMB Burden Statement.** The public reporting burden for this collection of information is estimated to average 0.25 hours, including the time for collecting, reviewing and reporting the data. This form is required to establish terms between a PHA and owner to provide housing assistance. Assurances of confidentiality are not provided under this collection. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions to reduce this burden, to the Office of Public and Indian Housing, US. Department of Housing and Urban Development, Washington, DC 20410. HUD may not conduct and sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid control number.

## **2.1 Equal Employment Opportunity**

- A. The owner shall incorporate or cause to be incorporated into any contract in excess of \$10,000 for construction work, or modification thereof, as defined in the regulations of the Secretary of Labor at 41 CFR chapter 60, which is to be performed pursuant to this Agreement, the following nondiscrimination clause:

During the performance of this contract, the contractor agrees as follows:

1. The contractor will not discriminate against any employee or applicant for employment because of race, color, creed, religion, sex, or national origin. The contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, color, religion, creed, sex, or national origin. Such action shall include, but not be limited to, the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoffs or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices to be provided

by the contracting officer setting forth the provisions of this nondiscrimination clause.

2. The contractor will, in all solicitations or advertisements for employees placed by or on behalf of the contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, creed, sex, or national origin.
3. The contractor will send to each labor union or representative of workers with which the contractor has a collective bargaining agreement or other contract or understanding, a notice to be provided by or at the direction of the Government advising the labor union or workers representative of the contractor's commitments under this section and shall post copies of the notice in conspicuous places available to employees and applicants for employment.
4. The contractor of will comply with all provisions of Executive Order No. 11246 of September 24, 1965, and with the rules, regulations, and relevant orders of the Secretary of Labor.
5. The contractor will furnish all information and reports required by Executive Order No. 11246 of September 24, 1965, and by the rules, regulations, and orders of the Secretary of Labor, or pursuant thereto, and will permit access to its books, records, and accounts by HUD and the Secretary of Labor for purposes of investigation to ascertain compliance with such rules, regulations and orders.
6. In the event of the contractor's noncompliance with the nondiscrimination clauses of this contract or with any of the rules, regulations, or orders, the contract may be canceled, terminated, or suspended in whole or in part and the contractor may be declared ineligible for further contracts in accordance with procedures authorized in Executive Order No. 11246 of September 24, 1965, and such other sanctions as may be imported and remedies invoked as provided in Executive Order No. 11246 of September 24, 1965, or by rule, regulation, or order of the Secretary of Labor or as otherwise provided by law.
7. The contractor will include the provisions of paragraphs (1) through (7) in every subcontract or purchase order unless exempted by the rules, regulations, or orders of the Secretary of Labor issued pursuant to section 204 of Executive Order No. 11246 of September 24, 1965, so that such provisions will be binding upon each subcontractor or vendor. The contractor will take such action with respect to any subcontract or purchase order

as the Government may direct as a means of enforcing such provisions including sanctions for noncompliance; provided, however, that in the event a contractor becomes involved in, or is threatened with, litigation with a subcontractor or vendor as a result of such direction by the Government, the contractor may request the United States to enter into such litigation to protect the interest of the United States.

- B. The owner agrees to be bound by the above nondiscrimination clause with respect to his or her own employment practices when participating in federally assisted construction work.
- C. The owner agrees to assist and cooperate actively with HUD and the Secretary of Labor in obtaining the compliance of contractors and subcontractors with the nondiscrimination clause and the rules, regulations, and relevant orders of the Secretary of Labor, to furnish HUD and the Secretary of Labor such information as they may require for the supervision of such compliance, and to otherwise assist HUD in the discharge of HUD's primary responsibility for securing compliance.
- D. The owner further agrees to refrain from entering into any contract or contract modification subject to Executive Order No. 11246 of September 24, 1965, with a contractor debarred from, or who has not demonstrated eligibility for, Government contracts and federally assisted construction contracts pursuant to the Executive Order and will carry out such sanctions and penalties for violation of the nondiscrimination clause as may be imposed upon contractors and subcontractors by HUD or the Secretary of Labor pursuant to the Executive Order. In addition, if the owner fails or refuses to comply with these undertakings, HUD may take any or all of the following actions; cancel, terminate, or suspend in whole or in part this Agreement; refrain from extending any further assistance to the owner under the program with respect to which the failure or refusal occurred until satisfactory assurance of future compliance has been received from the owner, and refer the case to the Department of Justice for appropriate legal proceedings.

## **2.2 Reserved**

## **2.3 HUD—Federal Labor Standards Provisions**

The owner is responsible for inserting the entire text of section 2.3 of this Agreement in all construction contracts and, if the owner performs any rehabilitation work on the project, the owner must comply with all provisions of section 2.3. (Note: Sections 2.3(b) and (c) apply only when the amount of the prime contract exceeds \$100,000.)

*(a)(1) Minimum Wages. (i) All laborers and mechanics employed or working upon the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project) will be paid unconditionally and not less often than once a week, and without subsequent deduction or rebate on any account (except such payroll deductions as are permitted by regulations issued by the Secretary of Labor under the Copeland Act (29 CFR part 3)), the full amount of wages and bona fide fringe benefits (or cash equivalents thereof) due at time of payment computed at rates not less than those contained in the wage determination of the Secretary of Labor which is attached hereto and made part hereof regardless of any contractual relationship which may be alleged to exist between the contractor and such laborers and mechanics. Contributions made or costs reasonably anticipated for bona fide fringe benefits under section l(b)(2) of the Davis-Bacon Act on behalf of laborers or mechanics are considered wages paid to such laborers or mechanics, subject to the provisions of 29 CFR 5.5(a)(1)(iv); also, regular contributions made or costs incurred for more than a weekly period (but not less often than quarterly) under plans, funds, or programs, which cover the particular weekly period, are deemed to be constructively made or incurred during such weekly period.*

*Such laborers and mechanics shall be paid the appropriate wage rate and fringe benefits on the wage determination for the classification of work actually performed, without regard to skill, except as provided in 29 CFR 5.5(a)(4). Laborers or mechanics performing work in more than one classification may be compensated at the rate specified for each classification for the time actually worked therein: Provided, That the employer's payroll records accurately set forth the time spent in each classification in which work is performed. The wage determination (including any additional classification and wage rates conformed under 29 CFR 5.5(a)(1)(ii) and the Davis-Bacon poster (WH-1321)) shall be posted at all times by the contractor and its subcontractors at the site of the work in a prominent and accessible place where it can be easily seen by the workers.*

*(ii)(A) Any class of laborers or mechanics, including helpers, which is not listed in the wage determination and which is to be employed under the contract shall be classified in conformance with the wage determination. HUD shall approve an additional classification and wage rate and fringe benefits therefore only when the following criteria have been met:*

*(1) The work to be performed by the classification requested is not performed by a classification in the wage determination;*

*(2) The classification is utilized in the area by the construction industry; and*

*(3) The proposed wage rate, including any bona fide fringe benefits, bears a reasonable relationship to the wage rates contained in the wage determination.*

*(B) If the contractor and the laborers and mechanics to be employed in the classification (if known), or their representatives, and HUD or its designee agree on the classification and wage rate (including the amount designated for fringe benefits where appropriate), a report of the action taken shall be sent by HUD or its designee to the Administrator of the Wage and Hour Division, U.S. Department of Labor, Washington, D. C. 20210. The Administrator, or an authorized representative, will approve, modify, or disapprove every additional classification action within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.*

*(C) In the event the contractor, the laborers or mechanics to be employed in the classification or their representatives, and HUD or its designee do not agree on the proposed classification and wage rate (including the amount designated for fringe benefits, where appropriate), HUD or its designee shall refer the questions, including the views of all interested parties and the recommendation of HUD or its designee, to the Administrator for determination. The Administrator, or an authorized representative, will issue a determination within 30 days of receipt and so advise HUD or its designee or will notify HUD or its designee within the 30-day period that additional time is necessary.*

*(D) The wage rate (including fringe benefits where appropriate) determined pursuant to subparagraphs (1)(B) or (C) of this paragraph, shall be paid to all workers performing work in the classification under this contract from the first day on which work is performed in the classification.*

*(iii) Whenever the minimum wage rate prescribed in the contract for a class of laborers or mechanics includes a fringe benefit which is not expressed as an hourly rate, the contractor shall either pay the benefit as stated in the wage determinations or shall pay another bona fide fringe benefit or an hourly cash equivalent thereof.*

*(iv) If the contractor does not make payments to a trustee or other third person, the contractor may consider as part of the wages of any laborer or mechanic the amount of any costs reasonably anticipated in providing bona fide fringe benefits under a plan or program: Provided, That the Secretary of Labor has found, upon the written request of the contractor, that the applicable standards of the Davis-Bacon Act have been met. The Secretary of Labor may require the contractor to set aside in a separate account assets for the meeting of obligations under the plan or program.*

*(2) Withholding. HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld from the contractors under this contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to Davis-Bacon prevailing wage requirements, which is held by the same prime contractor so much of the accrued payments or advances as may be considered necessary to pay laborers and mechanics, including apprentices, trainees and helpers, employed by the contractor or any subcontractor the full amount of wages required by the contract. In the event of failure to pay any laborer or mechanic, including any apprentice, trainee or helper, employed or working on the site of the work (or under the United States Housing Act of 1937 or under the Housing Act of 1949 in the construction or development of the project), all or part of the wages required by the contract, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds until such violations have ceased. HUD or its designee may, after written notice to the contractor, disburse such amounts withheld for and on account of the contractor or subcontractor to the respective employees to whom they are due.*

*(3)(i) Payrolls and Basic Records. Payrolls and basic records relating thereto shall be maintained by the contractor during the course of the work and preserved for a period of three years thereafter for all laborers and mechanics working at the site of the work (or under the United States Housing Act of 1937, or under the Housing Act of 1949, in the construction or development of the project). Such records shall contain the name, address, and social security number of each such worker, his or her correct classification, hourly rates of wages paid (including rates of contributions or costs anticipated for bona fide fringe benefits or cash equivalents thereof of the types described in section 1(b)(2)(B) of the Davis-Bacon Act), daily and weekly number of hours worked, deductions made and actual wages paid. Whenever the*

*Secretary of Labor has found under 29 CFR 5.5 (a)(1)(iv) that the wages of any laborer or mechanic include the amount of any costs reasonably anticipated in providing benefits under a plan or program described in section 1(b)(2)(B) of the Davis-Bacon Act, the contractor shall maintain records which show that the commitment to provide such benefits is enforceable, that the plan or program is financially responsible, and that the plan or program has been communicated in writing to the laborers or mechanics affected, and records which show the costs anticipated or the actual cost incurred in providing such benefits. Contractors employing apprentices or trainees under approved programs shall maintain written evidence of the registration of apprenticeship programs and certification of trainee programs, the registration of the apprentices and trainees, and the ratios and wage rates prescribed in the applicable programs.*

*(ii)(A) The contractor shall submit weekly for each week in which any contract work is performed a copy of all payrolls to HUD the PHA. The payrolls submitted shall set out accurately and completely all of the information required to be maintained under 29 CFR 5.5(a)(3)(i), except that full social security numbers and home addresses shall not be included in weekly transmittals. Instead the payrolls shall only need to include an individually identifying number for each employee (e.g. the last four digits of the employee's social security number). The required weekly payroll information may be submitted in any form desired. Optional Form WH-347 is available for this purpose from the Wage and Hour Division Web site at: <http://www.dol.gov/esa/whd/forms/wh347instr.htm> or its successor site. The prime contractor is responsible for the submission of copies of payrolls by all subcontractors. Contractors and subcontractors shall maintain the full social security number and current address of each covered worker, and shall provide them upon request to HUD or its designee if the agency is a party to the contract, but if the agency is not such a party, the contractor will submit them to the applicant, sponsor, or owner, as the case may be, for transmission to HUD, the contractor, or the Wage and Hour Division of the Department of Labor for purposes of an investigation or audit of compliance with prevailing wage requirements. It is not a violation of this section for a prime contractor to require a subcontractor to provide addresses and social security numbers to the prime contractor for its own records, without weekly submission to the sponsoring government agency (or the applicant, sponsor, or owner).*

*(B) Each payroll submitted shall be accompanied by a "Statement of Compliance," signed by the contractor or subcontractor or his*

*or her agent who pays or supervises the payment of the persons employed under the contract and shall certify the following:*

*(1) That the payroll for the payroll period contains the information required to be provided under 29 CFR 5.5(a)(3)(ii), the appropriate information is being maintained under 29 CFR 5.5 (a)(3)(i) and that such information is correct and complete;*

*(2) That each laborer or mechanic (including each helper, apprentice, and trainee) employed on the contract during the payroll period has been paid the full weekly wages earned, without rebate, either directly or indirectly, and that no deductions have been made either directly or indirectly from the full wages earned, other than permissible deductions as set forth in 29 CFR part 3;*

*(3) That each laborer or mechanic has been paid not less than the applicable wage rates and fringe benefits or cash equivalents for the classification of work performed, as specified in the applicable wage determination incorporated into the contract.*

*(C) The weekly submission of a properly executed certification set forth on the reverse side of Optional Form WH-347 shall satisfy the requirement for submission of the "Statement of Compliance" required by paragraph (a)(3)(ii)(B) of this section.*

*(D) The falsification of any of the above certifications may subject the contractor or subcontractor to civil or criminal prosecution under section 1001 of Title 18 and section 231 of Title 31 of the United States Code.*

*(iii) The contractor or subcontractor shall make the records required under paragraph (a)(3)(i) of this section available for inspection, copying, or transcription by authorized representatives of HUD or its designee or the Department of Labor, and shall permit such representatives to interview employees during working hours on the job. If the contractor or subcontractor fails to submit the required records or to make them available, HUD or its designee may, after written notice to the contractor, sponsor, applicant, or owner, take such action as may be necessary to cause the suspension of any further payment, advance, or guarantee of funds. Furthermore, failure to submit the required records upon request or to make such records available may be grounds for debarment action pursuant to 29 CFR 5.12.*

*(4) Apprentices and Trainees.(i) Apprentices. Apprentices will be permitted to work at less than the predetermined rate for the work they performed when they are employed pursuant to and*

*individually registered in a bona fide apprenticeship program registered with the U.S. Department of Labor, Employment and Training Administration, Office of Apprenticeship Training, Employer and Labor Services, or with a State Apprenticeship Agency recognized by the Office, or if a person is employed in his or her first 90 days of probationary employment as an apprentice in such an apprenticeship program, who is not individually registered in the program, but who has been certified by the Office of Apprenticeship Training, Employer and Labor Services, or a State Apprenticeship Agency (where appropriate) to be eligible for probationary employment as an apprentice. The allowable ratio of apprentices to journeymen on the job site in any craft classification shall not be greater than the ratio permitted to the contractor as to the entire work force under the registered program. Any worker listed on a payroll at an apprentice wage rate, who is not registered or otherwise employed as stated above, shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any apprentice performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. Where a contractor is performing construction on a project in a locality other than that in which its program is registered, the ratios and wage rates (expressed in percentages of the journeyman's hourly rate) specified in the contractor's or subcontractor's registered program shall be observed. Every apprentice must be paid at not less than the rate specified in the registered program for the apprentice's level of progress, expressed as a percentage of the journeymen hourly rate specified in the applicable wage determination. Apprentices shall be paid fringe benefits in accordance with the provisions of the apprenticeship program. If the apprenticeship program does not specify fringe benefits, apprentices must be paid the full amount of fringe benefits listed on the wage determination for the applicable classification. If the Administrator determines that a different practice prevails for the applicable apprentice classification, fringes shall be paid in accordance with that determination. In the event the Office of Apprenticeship Training, Employee and Labor Services, or a State Apprenticeship Agency recognized by the Office, withdraws approval of an apprenticeship program, the contractor will no longer be permitted to utilize apprentices at less than the applicable predetermined rate for the work performed until an acceptable program is approved.*

*(ii) Trainees. Except as provided in 29 CFR 5.16, trainees will not be permitted to work at less than the predetermined rate for the work performed unless they are employed pursuant to and*

*individually registered in a program which has received prior approval, evidenced by formal certification by the U.S. Department of Labor, Employment and Training Administration. The ratio of trainees to journeymen on the job site shall not be greater than permitted under the plan approved by the Employment and Training Administration. Every trainee must be paid at not less than the rate specified in the approved program for the trainee's level of progress, expressed as a percentage of the journeyman hourly rate specified in the applicable wage determination. Trainees shall be paid fringe benefits in accordance with the provisions of the trainee program. If the trainee program does not mention fringe benefits, trainees shall be paid the full amount of fringe benefits listed on the wage determination unless the Administrator of the Wage and Hour Division determines that there is an apprenticeship program associated with the corresponding journeyman wage rate on the wage determination which provides for less than full fringe benefits for apprentices. Any employee listed on the payroll at a trainee rate who is not registered and participating in a training plan approved by the Employment and Training Administration shall be paid not less than the applicable wage rate on the wage determination for the classification of work actually performed. In addition, any trainee performing work on the job site in excess of the ratio permitted under the registered program shall be paid not less than the applicable wage rate on the wage determination for the work actually performed. In the event the Employment and Training Administration withdraws approval of a training program, the contractor will no longer be permitted to utilize trainees at less than the applicable predetermined rate for the work performed until an acceptable program is approved.*

*(iii) Equal Employment Opportunity. The utilization of apprentices, trainees and journeymen under this part shall be in conformity with the equal employment opportunity requirements of Executive Order 11246, as amended, and 29 CFR part 30.*

*(5) Compliance with Copeland Act Requirements. The contractor shall comply with the requirements of 29 CFR part 3 which are incorporated by reference in this Agreement.*

*(6) Subcontracts. The contractor or subcontractor will insert in any subcontracts the clauses contained in section 2.3(a)(1) through (11) and such other clauses as HUD or its designee may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the*

*compliance by any subcontractor or lower tier subcontractor with all the contract clauses in this section 2.3(a).*

*(7) Contract Terminations; Debarment. A breach of the contract clauses in 29 CFR 5.5 may be grounds for termination of the contract, and for debarment as a contractor and a subcontractor as provided in 29 CFR 5.12.*

*(8) Compliance with Davis-Bacon and Related Act Requirements. All rulings and interpretations of the Davis-Bacon and related Acts contained in 29 CFR parts 1, 3, and 5 are herein incorporated by reference in this contract.*

*(9) Disputes Concerning Labor Standards. Disputes arising out of the labor standards provisions of this contract shall not be subject to the general disputes clause of this contract. Such disputes shall be resolved in accordance with the procedures of the Department of Labor set forth in 29 CFR parts 5, 6, and 7. Disputes within the meaning of this clause include disputes between the contractor (or any of its subcontractors) and the PHA, HUD, the U. S. Department of Labor, or the employees or their representatives.*

*(10) Certification of Eligibility. (i) By entering into this Agreement, the contractor certifies that neither it (nor he or she) nor any person or firm who has an interest in the contractor's firm is a person or firm ineligible to be awarded Government contracts by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR part 24.*

*(ii) No part of this Agreement shall be subcontracted to any person or firm ineligible for award of a Government contract by virtue of section 3(a) of the Davis-Bacon Act or 29 CFR 5.12(a)(1) or to be awarded HUD contracts or participate in HUD programs pursuant to 24 CFR part 24.*

*(iii) The penalty for making false statements is prescribed in the U.S. Criminal Code, 18 U.S.C. 1001. Additionally, U.S. Criminal Code, section 1010, Title 18, U.S.C., "Federal Housing Administration transactions, provides in part: "Whoever, for the purpose of ...influencing in any way the action of such Administration...makes, utters or publishes any statement, knowing the same to be false... shall be fined not more than \$5,000 or imprisoned not more than two years, or both."*

*11. Complaints, Proceedings, or Testimony by Employees. No laborer or mechanic to whom the wage, salary, or other labor*

*standards provisions of this Agreement are applicable shall be discharged or in any other manner discriminated against by the Contractor or any subcontractor because such employee has filed any complaint or instituted or caused to be instituted any proceeding or has testified or is about to testify in any proceeding under or relating to the labor standards applicable under this Agreement to his employer.*

*(b) Contract Work Hours and Safety Standards Act. The provisions of this paragraph (b) are applicable only where the amount of the prime contract exceeds \$100,000. As used in this paragraph, the terms “laborers” and “mechanics” include watchmen and guards.*

*(1) Overtime Requirements. No contractor or subcontractor contracting for any part of the contract work which may require or involve the employment of laborers or mechanics shall require or permit any such laborer or mechanic in any workweek in which he or she is employed on such work to work in excess of forty hours in such workweek unless such laborer or mechanic receives compensation at a rate not less than one and one-half times the basic rate of pay for all hours worked in excess of forty hours in such workweek.*

*(2) Violation; Liability for Unpaid Wages; Liquidated Damages. In the event of any violation of the clause set forth in subparagraph (1) of this paragraph, the contractor and any subcontractor responsible therefore shall be liable for the unpaid wages. In addition, such contractor and subcontractor shall be liable to the United States (in the case of work done under contract for the District of Columbia or a territory, to such District or to such territory), for liquidated damages. Such liquidated damages shall be computed with respect to each individual laborer or mechanic, including watchmen and guards, employed in violation of the clause set forth in subparagraph (1) of this paragraph, in the sum of \$25 for each calendar day on which such individual was required or permitted to work in excess of the standard workweek of forty hours without payment of the overtime wages required by the clause set forth in subparagraph (1) of this paragraph.*

*(3) Withholding for Unpaid Wages and Liquidated Damages. HUD or its designee shall upon its own action or upon written request of an authorized representative of the Department of Labor withhold or cause to be withheld, from any monies payable on account of work performed by the contractor or subcontractor under any such contract or any other Federal contract with the same prime contractor, or any other Federally-assisted contract subject to the Contract Work Hours and Safety Standards Act, which is held by*

*the same prime contractor such sums as may be determined to be necessary to satisfy any liabilities of such contractor or subcontractor for unpaid wages and liquidated damages as provided in the clause set forth in subparagraph (2) of this paragraph.*

*(4) Subcontractors. The contractor or subcontractor shall insert in any subcontracts the clauses set forth in subparagraph (1) through (4) of this paragraph and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for compliance by any subcontractor or lower tier subcontractor with the clauses set forth in subparagraphs (1) through (4) of this paragraph.*

*(c) Health and Safety. The provisions of this paragraph (c) are applicable only where the amount of the prime contract exceeds \$100,000.*

*(1) No laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous to his health and safety as established under construction safety and health standards promulgated by the Secretary of Labor by regulation.*

*(2) The contractor shall comply with all regulations issue by the Secretary of Labor pursuant to Title 29 part 1926 and failure to comply may result in imposition of sanctions pursuant to the Contract Work Hours and Safety Standards Act, 40 USC 3701 et seq.*

*(3) The contractor shall include the provisions of this paragraph in every subcontract so that such provisions will be binding on each subcontractor. The contractor shall take such action with respect to any subcontract as the Secretary of Housing and Urban Development or the Secretary of Labor shall direct as a means of enforcing such provisions.*

## **2.4 Reserved**

## **2.5 Reserved**

## **2.6 Reserved**

## **2.7 Wage and Claims Adjustments**

The owner shall be responsible for the correction of all violations under section 2.3, including violations committed by other contractors. In cases where there is evidence of underpayment of salaries or wages to any laborers or mechanics (including apprentices and trainees) by the owner or other contractor or a failure by the owner or other contractor to submit payrolls and related reports, the owner shall be required to place an amount in escrow, as determined by HUD sufficient to pay persons employed on the work covered by the Agreement the difference between the salaries or wages actually paid such employees for the total number of hours worked and the full amount of wages required under this Agreement, as well as an amount determined by HUD to be sufficient to satisfy any liability of the owner or other contractor for liquidated damages pursuant to section 2.3. The amounts withheld may be disbursed by HUD for and on account of the owner or other contractor to the respective employees to whom they are due, and to the Federal Government in satisfaction of liquidated damages under section 2.3.

## **2.8 Reserved**

## **2.9 Evidence of Unit(s) Completion; Escrow**

- A. The owner shall evidence the completion of the unit(s) by furnishing the PHA, in addition to the requirements listed in Part I of this Agreement, a certification of compliance with the provisions of sections 2.3 and 2.7 of this Agreement, and that to the best of the owner's knowledge and belief there are no claims of underpayment to laborers or mechanics in alleged violation of these provisions of the Agreement. In the event there are any such pending claims to the knowledge of the owner, the PHA, or HUD, the owner will place a sufficient amount in escrow, as directed by the PHA or HUD, to assure such payments.
- B. The escrows required under this section and section 2.7 of shall be paid to HUD, as escrowee, or to an escrowee designated by HUD, and the conditions and manner of releasing such escrows shall be designated and approved by HUD.

## **2.10 Flood Insurance**

If the project is located in an area that has been identified by the Federal Emergency Management Agency as an area having special flood hazards and if

the sale of flood insurance has been made available under the National Flood Insurance Program, the owner agrees that: (1) the project will be covered, during the life of the property, by flood insurance in an amount at least equal to its development or project cost (less estimated land cost) or to the limit of coverage made available with respect to the particular type of property under the National Flood Insurance Act of 1968, whichever is less; and (2) that it will advise any prospective purchaser or transferee of the property in writing of the continuing statutory requirement to maintain such flood insurance during the life of the property.

# **Exhibit A**

Approved PBV Proposal



# HOUSING AUTHORITY of the County of Riverside

**Main Office**  
5555 Arlington Avenue  
Riverside, CA 92504-2506  
(951) 351-0700  
Admin FAX (951) 688-6873  
Housing FAX (951) 354-6324  
TDD (951) 351-9844

August 20, 2024

Chris Arthur  
Eden Housing, Inc.  
22645 Grand Street  
Hayward, CA 94541

**Indio Office**  
44-199 Monroe, Suite B  
P.O. Box 1747  
Indio, CA 92201-1747  
(760) 863-2828  
(760) 863-2838 FAX  
TDD (760) 863-2830

Website: [harivco.org](http://harivco.org)

RE: Mulberry Gardens Family Apartments, Riverside, CA

Dear Chris Arthur:

The Housing Authority of the County of Riverside (HACR) is pleased to inform you that the above referenced project proposal was selected to receive Project Based Vouchers (PBVs) pursuant to the Request for Proposal released by the HACR on June 2, 2023. The HACR is reserving funding for thirty-seven (37) PBVs for a twenty (20) year contract term.

### Term and Amount of Subsidy:

Bedroom Size	Units	Subsidy/Units (Gross Rent - UA= Contract Rent)	Monthly	Months/Year	Annual	Term/ Year	AHAP Term 20 Years
1-Bedroom	17	\$1,772-\$138= \$ 1,634	\$27,778	12	\$333,336	20	\$6,666,720
2-Bedroom	10	\$2,211- \$160= \$2,051	\$20,510	12	\$246,120	20	\$4,922,400
3-Bedroom	10	\$2,977-\$182= \$2,795	\$27,950	12	\$335,400	20	\$6,708,000
			\$48,288		\$579,456		
<b>Total:</b>	37					<b>Total:</b>	\$ 18,297,120

Final commitment of the Project Based Vouchers is subject to the following items:

- Project's receipt of all necessary capital funding for the construction of the project, including but not limited to a tax credit allocation.
- Subsidy layering requirements as defined by the U.S. Department of Housing and Urban Development (HUD).
- National Environmental Policy Act Clearance.
- Approval of an Agreement to Enter into Housing Assistance Payments (AHAP) Contract by the HACR's Board of Commissioners.

This commitment is also contingent on continued funding from HUD. In the event of a budget decrease, HACR reserves the right to rescind the commitment up until the execution of an AHAP contract. This letter of commitment is valid until December 31, 2025, all financing must be secured by this deadline. Requests for extensions will not be considered. Therefore, all evidence of secured financing must be provided on or before December 31, 2025.

If you have any questions, please feel free to contact Nicole Sanchez at (760) 863-2825 or via e-mail at [NiSanchez@rivco.org](mailto:NiSanchez@rivco.org)

Thank you,

A handwritten signature in blue ink, appearing to read 'J. Garcia', with a long horizontal flourish extending to the right.

Juan Garcia  
Deputy Director  
Housing Authority of the County of Riverside



## CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE

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901 P Street, Suite 213A  
Sacramento, CA 95814  
p (916) 654-6340  
f (916) 654-6033  
[www.treasurer.ca.gov/ctcac](http://www.treasurer.ca.gov/ctcac)

### MEMBERS

FIONA MA, CPA, CHAIR  
State Treasurer

MALIA M. COHEN  
State Controller

JOE STEPHENSHAW  
Director of Finance

GUSTAVO VELASQUEZ  
Director of HCD

VACANT  
Executive Director of CalHFA

February 20, 2025

EXECUTIVE DIRECTOR  
Marina Wiant

Meena Bavan, Director, and Rudy Rodriguez, Division Director  
Los Angeles Field Office  
U.S. Department of Housing and Urban Development  
300 North Los Angeles Street, Suite 4054  
Los Angeles, CA 90012

Re: Project Name: Mulberry Gardens Family Apartments  
CTCAC #: CA-24-661  
Address: 22645 Grand Street, Hayward, CA 94541  
Housing Authority: Housing Authority of the County of Riverside (HACR)  
Owner: Mulberry Gardens Family, L.P.  
General Partners: Mulberry Gardens Family LLC  
Developer: Eden Housing, Inc.

Dear Meena Bavan and Rudy Rodriguez:

Enclosed is a HERA Section 2835 Subsidy Layering Certification executed by Marina Wiant, Executive Director of the California Tax Credit Allocation Committee (CTCAC), for the captioned project. The review was conducted in accordance with Federal Register Volume 88, No.48, published on Monday, March 13, 2023.

The project is receiving assistance through the following means: HUD Section 8 Project-based Voucher Program; City of Riverside HOME loan; County of Riverside HOME loan; California Department of Housing and Community Development (HCD) Local Government Matching Grant (LGMG), Infill Infrastructure Grant (IIG), Affordable Housing and Sustainable Communities Program (AHSC) loan; California Energy Commission (CEC) Build Grant; tax-exempt bonds; and federal low-income housing tax credits.

Project Description: This project is being developed by Eden Housing, Inc. with vouchers from the Housing Authority of the County of Riverside (HACR). This project involves the new construction of 150 units, 149 of which are qualified affordable tax-credit units and 1 is a manager unit. The project will serve low-income families. HACR intends to attach project-based vouchers to 37 units, which are 17 one-bedroom, 10 two-bedroom, and 10 three-bedroom units.

The CTCAC review is based upon documentation submitted by Mulberry Gardens Family, L.P. and HACR. The proposed contract rents set by HACR for the project-based vouchers assisted units do not exceed 110% of the 2024 Riverside-San Bernardino-Ontario, CA HUD MSA FMRs. The proposed contract rents are deemed reasonable in comparison to market rents at:

<u>BR Size</u>	<u>Number of Units</u>	<u>Contract Rent</u>	<u>Utility Allowance</u>	<u>Gross Rent</u>
1 BR	17	\$1,634	\$138	\$1,772
2 BR	10	\$2,051	\$160	\$2,211
3 BR	10	\$2,795	\$182	\$2,977

Feel free to contact me at (916) 651-0570 or at [michael.reichert@treasurer.ca.gov](mailto:michael.reichert@treasurer.ca.gov) if you have any questions regarding this certification.

Sincerely,

*Michael Reichert*

Michael Reichert  
Program Analyst

Attachments

21

21

**CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE  
HOUSING AND ECONOMIC RECOVERY ACT OF 2008 (HERA)  
SECTION 2835(a)(1)(M)(i) SUBSIDY LAYERING CERTIFICATION**

For purposes of the provision of Section 8 Project Based Voucher Assistance authorized pursuant to 42 U.S.C. 8(o)(13), pursuant to Section 2835(a)(1)(M)(i) of the Housing and Economic Recovery Act of 2008 (HERA), Section 102 of the Department of Housing and Urban Development Reform Act of 1989, and in accordance with HUD's Administrative Guidelines, all of which address the prevention of excess governmental subsidy, I hereby certify that the Section 8 project-based voucher assistance provided by the United States Department of Housing and Urban Development to the County of Riverside, located in the City of Riverside, for Mulberry Gardens Family Apartments, **CTCAC #CA-24-661**, located in the City of Riverside, is not more than is necessary to provide affordable housing after taking into account other government assistance.

By: CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE (CTCAC)



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Marina Wiant  
Executive Director

February 20, 2025  
Date

**CALIFORNIA TAX CREDIT ALLOCATION COMMITTEE  
PROJECT EVALUATION WORKSHEET**

Project Stage	SLR	FEDERAL CREDIT REQUEST	\$4,433,037	STATE CREDIT	\$0
Date Prepared	1/29/25 14:56	RECOMMENDATION	\$4,433,037		\$0
Analyst	Michael Reichert			<b>Reichert, Michael:</b>	
				CTCAC ok.	

<b>Application Number</b>	CA-24-861	<b>Hybrid Project</b>	
<b>Project Name</b>	Mulberry Gardens Family Apartments		
<b>County</b>	Riverside	<b>Developer</b>	Eden Housing, Inc.
<b>Set-Aside</b>	N/A	<b>Investor</b>	Community Economics, Inc.
<b>Geographic Region</b>	Inland Empire Region: San Bernardino	<b>Federal Tax Credit Factor</b>	\$0.94598
<b>Geographic Apport.</b>	N/A	<b>State Tax Credit Factor</b>	\$0.00000
<b>Housing Type</b>	Large Family	<b>Farmworker State Credit:</b>	No
<b>Construction Type</b>	New Construction	<b>Net Equity Amount</b>	\$41,935,643
		<b>% paid in at construction</b>	12%

<b>Residential Buildings</b>	1
<b>Total Units</b>	150
<b>Low Income Units</b>	149
<b>Market Rate Units</b>	0
<b>Applicable Fraction</b>	100.00%
<b>DDA/QCT</b>	Yes
<input type="checkbox"/> <b>Year DDA</b>	
<b>Census Tract</b>	301.030
<b>Federal Election</b>	40%/60%

<b>Resyndication?</b>	FALSE
<b>Qualified Rehab Basis - 20% minimum test</b>	N/A
<b>20% Qualified Acq Basis of building:</b>	N/A
<b>Minimum Rehab Expenditures required:</b>	N/A
<b>Per unit Rehab (Site, Structures, Prevail Wages):</b>	\$0
<b>REQUIRED BY REGS - THE HIGHER OF: \$15,000/unit in hard construction costs or 20% of the building's adjusted basis pursuant IRC Section 42(e)(3)(A)(ii)(I)</b>	
<b>***SEE 9% FEAS FOR DETAILS***</b>	

**THRESHOLD BASIS LIMITS AND ADJUSTMENTS**

Unit Size	Unit Basis Limit	No. of Units	(Basis) X (No. of Units)
SRO/STUDIO	\$314,634	0	\$0
1 Bedroom	\$362,770	73	\$26,482,210
2 Bedrooms	\$437,600	39	\$17,066,400
3 Bedrooms	\$560,128	38	\$21,284,864
4+ Bedrooms	\$624,018	0	\$0
<b>TOTAL UNADJUSTED THRESHOLD BASIS LIMIT:</b>			<b>\$64,833,474</b>
<b>TOTAL UNITS:</b>		<b>150</b>	

**Basis Increases**

PREVAILING WAGES	0	EFFICIENCY/RENEWABLES	0	HIGH RESOURCE	0
PARKING	0	SEISMIC/ENVIRONMENTAL	0	TYPE I CONST.	0
DAYCARE	0	IMPACT FEES	2,047,500	TYPE III CONST.	0
100% SP NEEDS	0	ELEVATOR	6,483,347	1% FOR 50% AMI	34,361,741
				2% FOR 35% AMI	32,416,737

<b>TOTAL BOOSTS:</b>	<b>\$75,309,325</b>
<b>Maximum Threshold Basis Limit</b>	<b>\$140,142,799</b>
<b>Total Requested Eligible Basis</b>	<b>\$85,250,718</b>

**Reichert, Michael:**  
CTCAC ok.

**PER UNIT OPERATING DATA**

Operating Expense per Unit	\$8,204	App. Operating Reserve	\$489,235
CTCAC Minimum Operating Exp	\$4,900	CTCAC 3-mon Op Reserve min	\$433,079
Maintenance/Total Unit/Year	\$1,803	Replacement Reserve/Total Unit	\$500
Service Amenity Exp per LI Unit	\$1,181	Total Project Reserves	\$826,463
		1 Year Total Exps and D/S	\$1,987,339

**Reichert, Michael:**  
CTCAC ok.

	DEVELOPER'S PROPOSAL				CTCAC ADJUSTED CALCULATION			
	CONST	nonDDA/QCT	ACQ	TOTAL	CONST	nonDDA/QCT	ACQ	TOTAL
Est. Eligible Basis	85,250,718	0	0	85,250,718	85,250,718	0	0	85,250,718
Ineligible Amounts	0	0	0	0	0	0	0	0
Voluntary Reduction	0	0	0	0	0	0	0	0
Req Unadj Eligi Basis	85,250,718	0	0	85,250,718	85,250,718	0	0	85,250,718
130% Adj	1.3	1.0	1.0		1.3	1.0	1.0	
Total Adj Eligi Basis	#####	0	0	#####	110,825,933	0	0	110,825,933
Sum Adj Qual Basis	110,825,933				110,825,933			
Applicable Fraction	100.00%		100.00%		100.00%		100.00%	
Qualified Basis	110,825,933		0	#####	110,825,933		0	110,825,933
Credit Reduction					\$0	0		
Total Adj Qual Basis	110,825,933		0	#####	110,825,933		0	110,825,933
Applicable %	4.00%		4.00%		4.00%		4.00%	
Max Federal Credit	4,433,037		0	4,433,037	4,433,037		0	4,433,037
<b>Shortfall Calculation</b>								
Total Project Costs	91,887,916				91,887,916			
Perm Financing	49,952,272				49,952,272			
Shortfall	41,935,643				41,935,643			
Tax Credit Factor	0.94598				0.94598			
Credit Nece for Feas	44,330,370				44,330,370			
Annual Credit Nece for Feas	4,433,037				\$4,433,037			
Maximum Annual Credit	4,433,037				4,433,037			
Federal Tax Credit Factor	0.94598				0.94598			
Net Proceeds	41,935,643				41,935,643			
Amount of Shortfall	41,935,643				41,935,643			
Difference	0				\$0			
Net Syndication Proceeds	41,935,643				\$41,935,643			
Difference	0				0			
<b>Gross Syndication</b>	<b>42,109,643</b>				<b>Net Syndication</b>	<b>\$41,935,643</b>	<b>Load:</b>	<b>0.41%</b>

STATE CREDIT CALCULATION

	DEVELOPER'S PROPOSAL		CTCAC ADJUSTED CALCULATION	
	CONSTRUCTION	ACQUISITION	CONSTRUCTION	ACQUISITION
State Credit Qualified Basis	0	0	0	0
Applicable %	30%	30%	30%	30%
Maximum State Credit	0	0	\$0	0
State Tax Credit Factor	0.00000		0.00000	
Max. Equity (state credit)	0		0	
<b>Shortfall Calculation</b>				
Max. State Credit	#DIV/0!		#DIV/0!	
Credit Nece. For Feas	#DIV/0!		#DIV/0!	
Actual State Credit Equity	#DIV/0!		#DIV/0!	
Difference from Federal	0		0	
Credit Calculation (above)	#DIV/0!		#DIV/0!	
Annual Credit Years 1 thru 3				
State Tax Credit Year 4				

State Credit Exchange

Farmworker - Maximum State Credit (30% EB)  
 Farmworker state credit applications not required to request federal credits  
 \$500M AB 101 - Maximum State Credit (75% EB)  
 Annual Federal Credit needed in Exchange

Is this a Joint venture between an entity that receives maximum general experience points and a BIPOC Entity, with a partnership agreement that (i) allocates a share of the developer fee, cash flow, and net sale proceeds to the BIPOC Entity that is equal to or greater than the share to the other entity and (ii) provides the BIPOC Entity an option to purchase the development?

is this project restricting for Special Needs populations as described in Section 10325(g)(3) the greater of  
 • 15 Low-Income Units; or  
 • 25% of the Low-Income Units?

**PROJECT COST**

AND BASIS	ACTUAL	MAXIMUM ▲
New Construction:	\$8,500,000	\$11,512,607
Rehab ONLY:	\$0	\$11,512,607
Rehab & Acq: TOTAL	\$0	\$11,512,607
Adaptive Reuse: TOTAL	\$0	\$11,512,607

**Reichert, Michael:**  
CTCAC ok.

ACQ & REHAB / ADAPTIVE REUSE Basis Check

*Rehab/Constr Basis:	\$0	\$11,512,608		THIS IS TO CONFIRM THE REHAB PORTION IS N
*Acquisition Basis	\$0	\$0	\$0	THIS IS TO CONFIRM THE ACQ PORTION IS NOT
**TOTAL:	\$0	\$11,512,608	\$11,512,608	THIS TOTAL SHOULD NOT BE MORE THAN Reha

\*Be sure both does not exceed Rehab/Construction & Acq limits for eligible basis.

\*\*Be sure total does not exceed total developer fee in cost

**MAXIMUM DEVELOPER FEE THAT MAY BE DISBURSED TO DEVELOPER**

**\$4,504,203**\*

\*Developer fee in excess of this amount must be deferred or contributed as equity in the Sources and Uses Budget

**AMOUNT THAT MUST BE DEFERRED**

**\$0**

**Reichert, Michael:**  
CTCAC ok.

Amount the developer is deferring or contributing (from Sources and Uses Budget)

**\$6,000,000**

\*\*\* All developer fees in excess of \$4,504,203 must be deferred or contributed as equity to the project \*\*\*

**PROJECT COSTS**

	Project Costs		Project Basis		
	Applicant	CTCAC Adjusted	Applicant	CTCAC Adjusted	
<b>RESIDENTIAL</b>			CONSTRUCTION	ACQUISITION	
Total Land Cost/Value	\$511,924		\$0	\$0	
Existing Improvements	0		0	0	
Off-site Improvements	219,000		219,000	0	
Predev interest/Holding cost	184,934		184,934	0	
Assumed/accrued interest	0		0	0	
Excess Over Appraisal	0		0	0	
Total Land & Acquisition	915,858	0	403,934	0	0
Total New Construction	60,908,074		59,908,074	0	
Total Rehabilitation	0		0	0	
Relocation	0		0	0	
Architectural	1,700,000		1,700,000	0	
Survey/Engineering	400,000		400,000	0	
Construction Interest/Fees	9,648,655		6,087,628	0	
Permanent Financing Fees	226,614		0	0	
Legal Fees	135,000		67,317	0	
Reserves	826,463		0	0	
Hard Cost Contingency	3,843,415		3,843,415	0	
Soft Contingency	941,783		753,426	0	
Other Project Costs	3,842,054		3,586,924	0	
<b>Commercial Costs</b>	<b>0</b>		<b>X</b>		
Subtotal	\$83,387,916	\$0	\$76,750,718	\$0	\$0
Total Developer Costs*	8,500,000		8,500,000	0	
<b>Total</b>	<b>\$91,887,916</b>	<b>\$0</b>	<b>\$85,250,718</b>	<b>\$0</b>	<b>\$0</b>

**Reichert, Michael:**  
CTCAC ok.

\*Includes any commercial portion

Total Excess Purchase Price over Appraisal: \$0

Construction Overhead (14% MAX): 10.06%

SOFT Perm financing covering Excess price over Appraisal: \$0



**Project Financing**

Actual Total Project Cost

Per Unit Cost

Construction Cost per SF

Est. Residential Project Cost: \$91,887,916  
 Est. Commercial Project Cost \$0

**Residential**  
 Per Unit Cost \$612,586  
 Construction Cost per SF \$522

**Construction Financing**

**Permanent Financing**

Source	Amount
Tax-Exempt Loan (Wells Fargo Bank): Lo	\$48,178,510
Taxable Construction Loan: Loan, Taxabl	\$6,123,965
HCD LGMG: Loan, Residual Receipts	\$8,100,000
HCD IIG: Loan, Residual Receipts	\$8,746,488
City of Riverside - HOME: Loan, Residual	\$1,154,171
County of Riverside - HOME: Loan, Resid	\$2,000,000
CEC Build Grant - Sponsor Loan : Loan, (	\$648,475
GP Equity : Equity, General Partner	\$100
LP Equity : Equity, LIHTC Investor	\$5,089,705
Eden Sponsor Loan: Loan, General Partn	\$3,000,000
Deferred Developer Fee: Developer Fee,	\$6,000,000
Other Costs Deferred to Perm Converslor	\$2,846,502
<b>TOTAL</b>	<b>\$91,887,916</b>

Source	Amount
Perm Loan : Loan, Conventional	\$6,083,000
HCD AHSC : Loan, Residual Receipts	\$14,000,000
HCD LGMG : Loan, Residual Receipts	\$8,100,000
HCD IIG: Loan, Residual Receipts	\$8,746,488
City of Riverside - HOME: Loan, Residual	\$1,154,171
County of Riverside - HOME: Loan, Residual	\$2,000,000
CEC Build Grant - Sponsor Loan : Loan,	\$648,475
Deferred Developer Fee : Developer Fee,	\$6,000,000
GP Equity : Developer Fee, Contribution	\$100
Soft Loan Deferred Accrued Interest: Accrued	\$220,038
Eden Sponsor Loan: Loan, General Partner	\$3,000,000
:	\$0
Tax Credit Equity	\$41,935,643
<b>TOTAL</b>	<b>\$91,887,916</b>

Reichert, Michael:  
 CTCAC ok.

Reichert, Michael:  
 CTCAC ok.

**Annual Residential Debt Service**

	Loan Amount	Annual Payment	DOUBLE CHECK	Amortized Double Check	Rate	Amortize d Term	Term in Years
Perm Loan	\$6,083,000	\$442,824	\$585,193	\$447,137	6.110%	30	17
HCD AHSC	\$14,000,000	\$58,800	\$522,887	#NUM!	3.000%	0	55
HCD LGMG	\$8,100,000	\$0	\$147,273	#NUM!	0.000%	0	55
HCD IIG	\$8,746,488	\$0	\$159,027	#NUM!	0.000%	0	55
City of Riverside - HOME	\$1,154,171	\$0	\$43,107	#NUM!	3.000%	0	55
County of Riverside - HOME	\$2,000,000	\$0	\$74,698	#NUM!	3.000%	0	55
CEC Build Grant - Sponsor Lc	\$648,475	\$0	\$11,790	#NUM!	0.000%	0	55

**Owner Equity Information:**

Wells Fargo Bank

CA-24-661	Reichert, Michael:	PROFORMA CASH FLOW ANALYSIS				SLR
YEAR	CTCAC ok.	1	2	3	4	
Gross Rent	2.0% 5.0%	\$1,532,592	\$1,563,244	\$1,594,509	\$1,626,399	
Total Rent Subsidy	2.0% 5.0%	652,260	\$665,305	\$678,611	\$692,183	
Miscellaneous Income	2.0% 5.0%	16,200	\$16,524	\$16,854	\$17,191	
Less Total Vacancy	5.0%	(110,053)	(112,254)	(114,499)	(116,789)	
Operating Subsidy (if applicable)		0	0	0	0	
<b>Total Income</b>		<b>\$2,090,999</b>	<b>\$2,132,819</b>	<b>\$2,175,475</b>	<b>\$2,218,984</b>	
<b>Total Operating Expenses</b>	3.0%	<b>\$1,230,693</b>	<b>\$1,267,614</b>	<b>\$1,305,642</b>	<b>\$1,344,811</b>	
Ground Lease Payment		\$0	\$0	\$0	\$0	
Internet/Transit	3.0%	\$0	\$0	\$0	\$0	
Service Amenities	3.0%	176,022	\$181,303	\$186,742	\$192,344	
Replacement Reserve		75,000	75,000	75,000	75,000	
Monitoring Fees		4,000	4,000	4,000	4,000	
Real Estate Taxes	2.0%	0	\$0	\$0	\$0	
Specialty Local Taxes	2.0%	0	\$0	\$0	\$0	
Other (Specify):	3.0%	0	\$0	\$0	\$0	
Other (Specify):	3.0%	0	\$0	\$0	\$0	
<b>Total Expenses</b>		<b>\$1,485,715</b>	<b>\$1,527,917</b>	<b>\$1,571,384</b>	<b>\$1,616,155</b>	
<b>Available for Debt Service</b>		<b>\$605,284</b>	<b>\$604,902</b>	<b>\$604,091</b>	<b>\$602,829</b>	
Perm Loan		\$442,824	\$442,824	\$442,824	\$442,824	
AHSC		\$58,800	\$58,800	\$58,800	\$58,800	
\$0		\$0	\$0	\$0	\$0	
		0	0	0	0	
		0	0	0	0	
<b>Subtotal Debt Service</b>		<b>\$501,624</b>	<b>\$501,624</b>	<b>\$501,624</b>	<b>\$501,624</b>	
<b>Net Income</b>		<b>\$103,661</b>	<b>\$103,279</b>	<b>\$102,468</b>	<b>\$101,206</b>	
<b>DCR</b>		<b>1.207</b>	<b>1.206</b>	<b>1.204</b>	<b>1.202</b>	
<b>% Gross Income</b>		<b>4.71%</b>	<b>4.60%</b>	<b>4.47%</b>	<b>4.33%</b>	
<b>25% Debt Service</b>		<b>20.67%</b>	<b>20.59%</b>	<b>20.43%</b>	<b>20.18%</b>	

**COMMERCIAL SPACE**

Total Revenue	\$0
Total Expense	\$0
Debt Service	\$0
Commercial Net Income	\$0

YEAR		5	7	10	15
Gross Rent	5.0%	1,658,927	1,725,948	1,831,589	2,022,223
Total Rent Subsidy	5.0%	706,027	734,550	779,511	860,643
Miscellaneous Income	5.0%	17,535	18,243	19,360	21,375
Less Total Vacancy	5.0%	(119,124)	(123,937)	(131,523)	(145,212)
Operating Subsidy (if applicable)		0	0	0	0
<b>Total Income</b>		<b>\$2,263,365</b>	<b>\$2,354,804</b>	<b>\$2,498,937</b>	<b>\$2,759,029</b>
<b>Total Operating Expenses</b>		<b>1,385,155</b>	<b>1,469,511</b>	<b>1,605,774</b>	<b>1,861,532</b>
Ground Lease Payment		0	0	0	0
Internet Expense		0	0	0	0
Service Amenities		198,114	210,179	229,668	266,249
Replacement Reserve		75,000	75,000	75,000	75,000
Monitoring Fees		4,000	4,000	4,000	4,000
Real Estate Taxes		0	0	0	0
Specialty Local Taxes		0	0	0	0
Other (Specify):		0	0	0	0
Other (Specify):		0	0	0	0
<b>Total Expenses</b>		<b>\$1,662,269</b>	<b>\$1,758,690</b>	<b>\$1,914,443</b>	<b>\$2,206,781</b>
<b>Available for Debt Service</b>		<b>\$601,096</b>	<b>\$596,114</b>	<b>\$584,495</b>	<b>\$552,248</b>
Perm Loan		442,824	442,824	442,824	442,824
AHSC		58,800	58,800	58,800	58,800
0		0	0	0	0
0		0	0	0	0
0		0	0	0	0
<b>Subtotal Debt Service</b>		<b>\$501,624</b>	<b>\$501,624</b>	<b>\$501,624</b>	<b>\$501,624</b>
<b>Net Income</b>		<b>\$99,472</b>	<b>\$94,491</b>	<b>\$82,871</b>	<b>\$50,624</b>
<b>DCR</b>	Reichert, Michael:	<b>1.198</b>	<b>1.188</b>	<b>1.165</b>	<b>1.101</b>
<b>% Gross Income</b>	Slight rounding error.	<b>4.18%</b>	<b>3.81%</b>	<b>3.15%</b>	<b>1.74%</b>
<b>25% Debt Service</b>		<b>19.83%</b>	<b>18.84%</b>	<b>16.52%</b>	<b>10.09%</b>

**Applicant/Recipient  
Disclosure/Update Report**

U.S. Department of Housing  
and Urban Development

OMB Number: 2501-0044  
Expiration Date: 2/28/2027

**Public Reporting Burden Statement:** This collection of information is estimated to average 2 hours per response, including the time for reviewing instructions, searching existing data sources, gathering, and maintaining the data needed, and completing and reviewing the collection of the requested information. Comments regarding the accuracy of this burden estimate and any suggestions for reducing this burden can be sent to: U.S. Department of Housing and Urban Development, Office of the Chief Data Officer, R, 451 7th St SW, Room 8210, Washington, DC 20410-5000. Do not send completed HUD-2880 forms to this address. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid OMB control number. This agency is authorized to collect this information under Section 102 of the Department of Housing and Urban Development Reform Act of 1989. The information you provide will enable HUD to carry out its responsibilities under this Act and ensure greater accountability and integrity in the provision of certain types of assistance administered by HUD. This information is required to obtain the benefit sought in the grant program. Failure to provide any required information may delay the processing of your application and may result in sanctions and penalties including of the administrative and civil money penalties specified under 24 CFR §4.38. This information will not be held confidential and may be made available to the public in accordance with the Freedom of Information Act (5 U.S.C. §552). The information contained on the form is not retrieved by a personal identifier, therefore it does not meet the threshold for a Privacy Act Statement.

**Applicant/Recipient Information** \* UEI Number: PFZ4YYRKZYZ4 \* Report Type: INITIAL

1. Applicant/Recipient Name, Address, and Phone (include area code)

\* Applicant Name: Mulberry Gardens Family Apartments

\* Street 1: 22645 Grand St.

Street 2:

City: Hayward

State Abbreviation: CA

\* Zip Code: 94541

County: Alameda

\* Country: United States

\* Phone: (510) 582-1460

2. Employer ID Number (do not include individual social security numbers): 88-2735324

3. HUD Program Name: HOME & HOME-ARP & Project Based Vouchers

4. Amount of HUD Assistance Requested/Received: \$ 13,045,200

5. State the name and location (street address, City and State) of the project or activity

Project Name: Mulberry Gardens Family Apartments

\* Street 1: 2560 Mulberry St

Street 2:

City: Riverside

State Abbreviation: CA

\* Zip Code: 92501

County: Riverside

\* Country: USA: UNITED STATES

**Part I Threshold Determinations**

1. Are you applying for assistance for a specific project or activity? These terms do not include formula grants, such as public housing operating subsidy or CDBG block grants. For further information see 24 CFR Sec. §4.3.

Yes  No

2. Have you received or do you expect to receive assistance within the jurisdiction of the Department (HUD), involving the project or activity in this application, in excess of \$200,000 during this fiscal year (Oct. 1-Sep. 30)? For further information, see 24 CFR §4.9.

Yes  No

If you answered "No" to either question 1 or 2, Stop! You do not need to complete the remainder of this form. However, you must sign the certification at the end of the report.

**Part II Other Government Assistance Provided or Requested/Expected Sources and Use of Funds.** Such assistance includes, but is not limited to, any grant, loan, subsidy, guarantee, insurance, payment, credit, or tax benefit.

Department/State/Local Agency Name	Department/State/Local Agency Name
* Government Agency Name: Housing Authority Riverside County	* Government Agency Name: California Tax Credit Allocation Committee
Government Agency Address: Housing and Workforce Solutions	Government Agency Address:
* Street 1: 6555 Arlington Ave	* Street 1: 901 P Street
Street 2:	Street 2:
City: Riverside State Abbreviation: CA * Zip Code: 92504	City: Sacramento State Abbreviation: CA * Zip Code: 95814
County: Riverside	County: Sacramento
Country: United States	Country: United States
* Type of Assistance: Project Based Vouchers	* Type of Assistance: Federal Tax Credits
* Amount Requested/Provided: \$ 13,384,240	* Amount Requested/Provided: \$4,433,037
* Expected Uses of the Funds: Construction	* Expected Uses of the Funds: Construction

Note: For Part 1, use additional pages if necessary. Add Attachment:

**Part III Interested Parties. You must disclose:**

- All developers, contractors, or consultants involved in the application for assistance or in the planning, development, or implementation of the project or activity.

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* Unique Entity ID	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
Eden Housing, Inc.	59-3803314	Development	\$	100	%
			\$		%
			\$		%

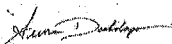
- Any other person who has a financial interest in the project or activity for which the assistance is sought that exceeds \$50,000 or 10 percent of the assistance (whichever is lower).

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* City of Residence	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%

Note: For Part 2, use additional pages if necessary. Add Attachment:

**Certification:**

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct. WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§ 287, 1001, 1010, 1012, 1014; 31 U.S.C. §3729, 3802; 24 CFR §28.10(b)(iii)).

\* Signature: 

\* Date: (mm/dd/yyyy): 2/19/2025

**Part II Other Government Assistance Provided or Requested/Expected Sources and Use of Funds.** Such assistance includes, but is not limited to, any grant, loan, subsidy, guarantee, insurance, payment, credit, or tax benefit.

Department/State/Local Agency Name	Department/State/Local Agency Name
* Government Agency Name: Housing Authority Riverside County	* Government Agency Name: City of Riverside
Government Agency Address: Housing and Workforce Solutions	Government Agency Address:
* Street 1: 5555 Arlington Ave	* Street 1: 3900 Main St
Street 2:	Street 2:
City: Riverside State Abbreviation: CA * Zip Code: 92504	City: Riverside State Abbreviation: CA * Zip Code: 92522
County: Riverside	County: Riverside
Country: United States	Country: United States
* Type of Assistance: HOME-ARP	* Type of Assistance: HOME
* Amount Requested/Provided: \$ 2,000,000	* Amount Requested/Provided: \$ 1,154,171
* Expected Uses of the Funds: Construction	* Expected Uses of the Funds: Construction

Note: For Part 1, use additional pages if necessary. Add Attachment:

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Eden Housing, Inc.	59-3803314	Development	\$	100	%
			\$		%
			\$		%

- Any other person who has a financial interest in the project or activity for which the assistance is sought that exceeds \$50,000 or 10 percent of the assistance (whichever is lower).

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* City of Residence	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%

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\* Signature:



\* Date: (mm/dd/yyyy): 2/19/2025

**Part II Other Government Assistance Provided or Requested/Expected Sources and Use of Funds.** Such assistance includes, but is not limited to, any grant, loan, subsidy, guarantee, insurance, payment, credit, or tax benefit.

Department/State/Local Agency Name * Government Agency Name: Housing and Community Development	Department/State/Local Agency Name * Government Agency Name: Housing and Community Development
Government Agency Address: * Street 1: 2020 W. El Camino Avenue Suite 670, 95833	Government Agency Address: * Street 1: 2020 W. El Camino Avenue Suite 670, 95833
Street 2: P.O. Box 952054	Street 2: P.O. Box 952054
City: Sacramento State Abbreviation: CA * Zip Code: 94252-2054	City: Sacramento State Abbreviation: CA * Zip Code: 94252-2054
County: Sacramento	County: Sacramento
Country: United States	Country: United States
* Type of Assistance: Affordable Housing and Sustainable Communities(AHSC)	* Type of Assistance: Infill Infrastructure Grant(IIG)
* Amount Requested/Provided: \$ 27,974,220	* Amount Requested/Provided: \$ 8,746,488
* Expected Uses of the Funds: Construction	* Expected Uses of the Funds: Construction

Note: For Part 1, use additional pages if necessary. Add Attachment:

**Part III Interested Parties. You must disclose:**

- All developers, contractors, or consultants involved in the application for assistance or in the planning, development, or implementation of the project or activity.

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* Unique Entity ID	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%

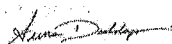
- Any other person who has a financial interest in the project or activity for which the assistance is sought that exceeds \$50,000 or 10 percent of the assistance (whichever is lower).

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			\$		%
			\$		%
			\$		%

Note: For Part 2, use additional pages if necessary. Add Attachment:

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\* Signature: 

\* Date: (mm/dd/yyyy): 2/19/2025

**Part II Other Government Assistance Provided or Requested/Expected Sources and Use of Funds.** Such assistance includes, but is not limited to, any grant, loan, subsidy, guarantee, insurance, payment, credit, or tax benefit.

Department/State/Local Agency Name * Government Agency Name: Housing and Community Development	Department/State/Local Agency Name * Government Agency Name: California Energy Commission
Government Agency Address: * Street 1: 2020 W. El Camino Avenue, Suite 200, 95833	Government Agency Address: * Street 1: 715 P Street
Street 2: P.O. Box 952054	Street 2:
City: Sacramento State Abbreviation: CA * Zip Code: 94252-2054	City: Sacramento State Abbreviation: CA * Zip Code: 95814
County: Sacramento	County: Sacramento
Country: United States	Country: United States
* Type of Assistance: Local Government Matching Grants (LGMG)	* Type of Assistance: Building Initiative for Low-Emissions Development (BUILD)
* Amount Requested/Provided: \$ 8,100,000	* Amount Requested/Provided: \$ 648,475
* Expected Uses of the Funds: Construction	* Expected Uses of the Funds: Construction

Note: For Part 1, use additional pages if necessary. Add Attachment:

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- All developers, contractors, or consultants involved in the application for assistance or in the planning, development, or implementation of the project or activity.

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* Unique Entity ID	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%


- Any other person who has a financial interest in the project or activity for which the assistance is sought that exceeds \$50,000 or 10 percent of the assistance (whichever is lower).

* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* City of Residence	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%

Note: For Part 2, use additional pages if necessary. Add Attachment:

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\* Signature:  \* Date: (mm/dd/yyyy): 2/19/2025

**Part II Other Government Assistance Provided or Requested/Expected Sources and Use of Funds.** Such assistance includes, but is not limited to, any grant, loan, subsidy, guarantee, insurance, payment, credit, or tax benefit.

Department/State/Local Agency Name	Department/State/Local Agency Name
* Government Agency Name: California Tax Credit allocation Committee	* Government Agency Name:
Government Agency Address:	Government Agency Address:
* Street 1: 901 P Street	* Street 1:
Street 2:	Street 2:
City: Sacramento State Abbreviation: CA * Zip Code: 95814	City: State Abbreviation: * Zip Code:
County: Sacramento	County:
Country: United States	Country:
* Type of Assistance: Total amount of Tax Credits over the next 10 years	* Type of Assistance:
* Amount Requested/Provided: \$ 44,330,370	* Amount Requested/Provided: \$
* Expected Uses of the Funds: Repayment of Construction Loan, Developer Fee, Transition Reserves, Operating Reserves	* Expected Uses of the Funds:

Note: For Part 1, use additional pages if necessary. Add Attachment:

**Part III Interested Parties. You must disclose:**

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* Alphabetical list of all persons with a reportable financial interest in the project or activity (for individuals, give the last name first)	* Unique Entity ID	* Type of Participation in Project/Activity	* Financial Interest in Project/Activity (\$ and %)		
			\$		%
			\$		%
			\$		%

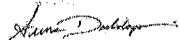
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			\$		%
			\$		%
			\$		%

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* Signature: 	* Date: (mm/dd/yyyy): 2/19/2025
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**Attachment A: Rent Information and Project Summary (Subsidy Layering Review)****I. Rent Information****Project Name:** Mulberry Gardens Family Apartments

	# of PBVs	Contract Rent	Gross Rent
<b>One Bedroom</b>	17	\$1,634	\$1,772
<b>Two Bedroom</b>	10	\$2,051	\$2,211
<b>Three Bedroom</b>	10	\$2,795	\$2,977

**II. Project Summary**

<b>Project Name:</b>	Mulberry Gardens Family Apartments
<b>Project Location - City and State:</b>	Riverside, California
<b>Housing Credit Agency:</b>	California Tax Credit Allocation Committee (CTCAC)
<b>Housing Credit Agency Project Number:</b>	CA-24-661
<b>HUD Field Office Name &amp; Field Office code:</b>	Los Angeles FO Code: 9DPH
<b>HUD Field Office POC:</b>	Meena Bavan, Director, and Rudy Rodriguez, Division Director
<b>Public Housing Agency Name &amp; PHA Code:</b>	Housing Authority of the County of Riverside (HACR) PHA Code: CA027
<b>Date SLR Request Received:</b>	January 27, 2025
<b>Date SLR Review Completed:</b>	February 20, 2025
<b>Residents Being Served (type):</b>	Low-Income Families
<b>Supportive Services Being Provided:</b>	No
<b>Type of Development:</b>	New Construction
<b>Total Number of Units in the Project:</b>	150
<b>Project-Based Voucher (PBVs) Approved:</b>	<b>Thirty-Seven (37)</b> = Regular PBVs = 37
<b>Permanent Debt:</b>	\$49,952,273
<b>Debt Coverage Ratio (Highest &amp; Lowest in 15 Year Pro Forma):</b>	1.207/1.101
<b>Low Income Housing Tax Credit Price:</b>	Federal: \$0.94598

**CTIONS - Refer to CTCAC Regulation Sections 10322(h)(22), 10325(f)(5), 10326(g)(4), 10327(f) and (g).**

	YEAR 1	YEAR 2	YEAR 3	YEAR 4	YEAR 5	YEAR 6	YEAR 7	YEAR 8	YEAR 9	YEAR 10	YEAR 11	YEAR 12	YEAR 13	YEAR 14	YEAR 15
090,999	\$2,132,819	\$2,175,476	\$2,218,985	\$2,263,365	\$2,308,632	\$2,354,805	\$2,401,901	\$2,449,939	\$2,498,938	\$2,548,917	\$2,599,895	\$2,651,893	\$2,704,931	\$2,759,029	
576,541	\$78,837	\$81,202	\$83,638	\$86,148	\$88,732	\$91,394	\$94,136	\$96,960	\$99,869	\$102,865	\$105,951	\$109,129	\$112,403	\$115,775	
135,000	139,050	143,222	147,518	151,944	156,502	161,197	166,033	171,014	176,144	181,429	186,872	192,478	198,252	204,200	
128,088	131,931	135,889	139,965	144,164	148,489	152,944	157,532	162,258	167,126	172,140	177,304	182,623	188,102	193,745	
396,175	408,060	420,302	432,911	445,898	459,275	473,054	487,245	501,863	516,919	532,426	548,399	564,851	581,796	599,250	
164,370	169,301	174,380	179,612	185,000	190,550	196,266	202,154	208,219	214,466	220,900	227,527	234,352	241,383	248,624	
278,512	286,867	295,473	304,338	313,468	322,872	332,558	342,535	352,811	363,395	374,297	385,526	397,092	409,004	421,267	
60,119	61,923	63,780	65,694	67,664	69,694	71,785	73,939	76,157	78,442	80,795	83,219	85,715	88,287	90,935	
230,693	\$1,267,614	\$1,305,642	\$1,344,811	\$1,385,166	\$1,426,710	\$1,469,512	\$1,513,597	\$1,559,005	\$1,605,775	\$1,653,948	\$1,703,567	\$1,754,674	\$1,807,314	\$1,861,534	
0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
176,022	181,303	186,742	192,344	198,114	204,058	210,179	216,485	222,979	229,669	236,559	243,656	250,965	258,494	266,249	
75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	75,000	
4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	
0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
485,715	\$1,527,916	\$1,571,384	\$1,616,155	\$1,662,270	\$1,709,768	\$1,758,691	\$1,809,082	\$1,860,984	\$1,914,444	\$1,969,507	\$2,026,223	\$2,084,639	\$2,144,808	\$2,206,783	
605,284	\$604,903	\$604,092	\$602,830	\$601,095	\$598,864	\$596,114	\$592,819	\$588,955	\$584,494	\$579,409	\$573,672	\$567,254	\$560,122	\$552,247	
442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	442,824	
58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	58,800	
501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	\$501,624	
103,661	\$103,279	\$102,468	\$101,206	\$99,471	\$97,241	\$94,490	\$91,195	\$87,331	\$82,870	\$77,786	\$72,049	\$65,630	\$58,499	\$50,633	
4,71%	4.60%	4.47%	4.33%	4.18%	4.00%	3.81%	3.61%	3.39%	3.15%	2.90%	2.63%	2.35%	2.05%	1.74%	
20,67%	20.59%	20.43%	20.18%	19.83%	19.39%	18.84%	18.18%	17.41%	16.52%	15.51%	14.36%	13.08%	11.66%	10.09%	
1,207	1,206	1,204	1,202	1,198	1,194	1,188	1,182	1,174	1,165	1,155	1,144	1,131	1,117	1,101	
6.98%	6.76%	6.52%	6.26%	5.98%	5.69%	5.37%	5.04%	4.69%	4.33%	3.95%	3.56%	3.15%	2.73%	2.29%	

# **Exhibit B**

Scope of Development

**AHAP - Exhibit B**  
**Description of work to be performed under Agreement**  
Mulberry Gardens Family Apartment

**Subject:** Description of work to be performed under Agreement  
**Prepared By:** Eden Housing, Inc.  
**Date:** March 24th, 2025

# Mulberry Gardens Family Apartments

Renderings



## II. SCOPE OF SERVICES

- A. **PHASE 10.0 - PROGRAMMING AND CONCEPT DESIGN** - *Previously contracted in Agreement dated May 20, 2021*
- B. **PHASE 20.0 - SITE PLANNING** - *Not included in this Agreement*
- C. **PHASE 30.0 - SCHEMATIC DESIGN** - *Previously contracted in Agreements dated July 27, 2022 and August 18, 2022*
- D. **PHASE 30.1 - DESIGN REVIEW SUBMITTAL DOCUMENTS** – *Previously contracted in Agreements dated July 27, 2022 and August 18, 2022*
- E. **PHASE 30.2 – COLOR SELECTIONS AND MATERIAL BOARDS** - *Previously contracted in Agreements dated July 27, 2022 and August 18, 2022*
- F. **PHASE 30.3 – OWNER’S REVISIONS** - *Previously contracted in Agreements dated July 27, 2022 and August 18, 2022*
- G. **PHASE 40.0 - DESIGN DEVELOPMENT**
  - 1. With OWNER’s written approval of the Schematic Design documents, DAHLIN will produce Design Development documents that refine the building plans, roof plans, sections and exterior elevations so that background digital files can be transmitted to OWNER’s consultants for use in preparing their work. In addition to the refinement of the documents prepared during Schematic Design, DAHLIN will produce the following Design Development documents:
    - a. Architectural Site Plan including Submittal and Construction Phasing;
    - b. Code analysis - Exiting and occupancy plans;
    - c. Floor plans - Unit Plans, plans for amenity spaces, and building plans;
    - d. Roof plan(s);
    - e. Exterior Elevation(s);
    - f. Typical Building section(s);
    - g. Wall sections;
    - h. Interior elevations for major building elements;
    - i. Typical details and schedules;
    - j. STC ratings for permanent walls;
    - k. DAHLIN’s Consultant Documentation according to Section L.
  - 2. DAHLIN shall provide copies of the Design Development Drawings along with a PROJECT synopsis and PROJECT specific outline specifications to OWNER’s prequalified contractors to price the PROJECT, unless the Contractor was selected during the Schematic Design Phase. DAHLIN shall provide OWNER and Contractor interim drawings as necessary to estimate cost of design contemporaneously with Design Development documents.
  - 3. DAHLIN will incorporate applicable OWNER’s Standard Features/Specifications List that identifies major materials, systems, and appliances, which establish, in general, their quality levels. These items will be used for the basis of design and detailing. Changes to the OWNER’s Standard Features/Specifications List that result in revisions to the drawings may result in Additional Services.
  - 4. Design revisions initiated by OWNER after transmission of background files to consultants will be Additional Services, including, but not limited to, revisions due to initiating Design Development prior to receipt of revisions resulting from the CITY Design Review process.
  - 5. Coordination with OWNER’s consultants during Design Development is included in this scope of services. Minor revisions and adjustments that refine and improve PROJECT design are also included. Substantial revisions to the design initiated by OWNER or OWNER’s consultants may require Additional Services. Substantial revisions may include, but are not

limited to, revisions requested that affect over 10% of the square footage of each building per floor and/or over 15% of each building elevation per side (finish materials, opening locations and size, decks, etc.)

6. Probable Cost Model Value Engineering:
  - a. DAHLIN will provide minor modifications to the Design Development Documents based on the updated Probable Cost Model (value engineering). Substantial revisions may require Additional Services.
7. DAHLIN will attend up to six (6) meetings and presentations.

#### H. PHASE 50.0 - CONSTRUCTION DOCUMENTS

1. With OWNER's written approval of the Design Development documents , DAHLIN will prepare Construction Documents that will set forth the requirements for construction of the PROJECT.
2. Construction Documents will be produced solely for use by a knowledgeable and experienced General Contractor. Any or part of all systems, materials, connections, and details not specifically provided in these plans are the sole and complete responsibility of the General Contractor to properly verify and install.
3. Construction Documents will reflect information required for general construction and building permit purposes. These documents will include:
  - a. Title Sheet and CITY/Agency-required Project Data;
  - b. Generic Code-required signage details and specifications;
  - c. Accessibility, Notes/Details Sheets;
  - d. Code Analysis, Building Occupancy and Exiting Plans and Details;
  - e. Architectural Site Plan;
  - f. Building Slab Plan(s);
  - g. Building Floor Plan(s);
  - h. Unit floor and reflected ceiling plans – floor plan notes, fully dimensioned, showing reflected ceiling heights;
  - i. Building Reflected Ceiling Plan(s);
  - j. Building Roof Plan(s);
  - k. Building Exterior Elevation(s) (includes Architectural detail callouts to explain specific materials);
  - l. Color Blocking Elevation(s);
  - m. Architectural Building Sections and party wall details;
  - n. Door and Window Schedules;
  - o. Interior Elevations of bathroom and kitchen cabinets to show general concept only, and will not be extensively detailed;
  - p. Interior finish callouts will be general description only;
  - q. Architectural Details;
  - r. Consultant documentation according to Section L.
4. DAHLIN shall hold regularly scheduled meetings with the OWNER-selected Contractor. DAHLIN shall cooperate with the Contractor in analyzing and including suggested value engineering items. Working based on schedule approved by OWNER, DAHLIN shall submit to OWNER and Contractor Construction Documents as 50% complete, 80% complete (initial building permit application set and additional resubmittal sets as required) as well as 100% Construction set. DAHLIN shall also furnish OWNER individual unit floor plan drawings on 8 1/2 x 11-inch sheets showing major dimensions only of each unit type or variation of type and common areas. These will be in a format approved by OWNER and will be used by the OWNER's Management Company for ongoing facilities management.
5. DAHLIN shall submit the Construction Documents to OWNER, advise OWNER of any changes in OWNER's program or deviations from OWNER's Design Guidelines, take any action required, and request the OWNER's approval.

6. At the completion of Construction Documents phase, DAHLIN will provide a Project Manual that includes the Conditions of the Contract for Construction and Specifications in a “Master Spec” format to support the design documents. Specifications for products may also be called out by notes on the plans and will be considered “or equal” to establish the general product standards for quality, finish and design intent. DAHLIN will work with OWNER to coordinate their construction / finish standards and general project specifications with OWNER’s required materials to be used on PROJECT. For the architectural components of PROJECT, DAHLIN will coordinate with OWNER’s consultants to include their appropriate sections into the Project Manual.
7. DAHLIN will attend up to six (6) meetings and presentations.

**I. PHASE 50.2 - GOVERNMENT AND AGENCY PLAN REVIEW**

1. After completion of Construction Documents, DAHLIN will provide copies of Construction Documents to OWNER for submittal to the State’s Review Authority for building permit. The State Authority may elect to send these documents to subcontractors for Plan Check review. OWNER is responsible for the preparation and submission of applications to any building department, agency, or governing body having jurisdiction over PROJECT, including the paying of any and all fees associated with required applications.
2. DAHLIN will revise the documents as required by State Authority and/or its Plan Check subcontractor for each round of Plan Review comments returned to DAHLIN.
3. DAHLIN’s fee is based on the assumption of a customary number of modifications to the Construction Documents resulting from Government and Agency Plan Review. Substantial revisions, generated by multiple, unanticipated rounds of review, may require Additional Services.
4. OWNER is responsible for ensuring that any Plan Check comments are reviewed and revised by OWNER’s consultants.

**J. PHASE 60.0 – BIDDING**

1. Bidding Assistance services will be provided by DAHLIN as requested by OWNER. DAHLIN will provide up to 100 hours of services during this phase for both buildings. Services required beyond the estimated hours are Additional Services
2. If required, advertising for and solicitation of construction bidders shall be provided by OWNER and is not included in DAHLIN’s Scope of Services.
3. DAHLIN will coordinate the reproduction of Construction Documents for distribution to CITY, construction bidders and others, as may be required for PROJECT.
4. During the Bidding phase, DAHLIN will participate in a pre-bid conference and the bid-opening if requested, and will provide consultation as requested by OWNER for architectural opinions on the bids, methods, and cost of construction. DAHLIN will also answer bidding questions, issue addenda, and prepare additions and revisions to Construction Documents as clarifications for bid purposes as Additional Services.
5. OWNER and General Contractor will review and select subcontractor's bids, materials, finishes, fixtures, and items for PROJECT and is responsible for all issues of quality control and installation.
6. DAHLIN will attend meetings as requested by OWNER and contractor.

## K. PHASE 70.0 - CONSTRUCTION ADMINISTRATION

1. Prior to start of Construction, DAHLIN, OWNER, and General Contractor will have a pre-construction meeting to establish expectations for performance of Construction Administration and the scope of services described below. If the scope of services described below for Construction Administration are adjusted during or after this meeting, Additional Services may be required.
2. As the PROJECT proceeds into Construction, DAHLIN will provide Construction Administration services. The scope and fee herein are based on an estimated 18-month construction period and up to 1,400 hours of professional services. Services required beyond that period and/or beyond the estimated hours are Additional Services. Scope may include:
  - a. Interpretation of the documents and responding to Requests for Information (RFI's);
  - b. Reviewing and processing submittals limited to:
    - i. Review of initial submittal and one (1) re-submittal per product or material classification as identified in the Project Manual.
    - ii. Additional review of submittals are Additional Service.
  - c. Issuing ASI's and processing Change Orders as required;
  - d. Construction Project meetings and site visits limited to:
    - i. Up to 18 onsite meetings including four (4) hours of travel per meeting;
    - ii. Up to four (4) total onsite meetings and one (1) punch list site visit by DAHLIN's Consultants, per discipline.
    - iii. Travel time associated with Construction Project meetings and site visits attended by DAHLIN or DAHLIN's consultants at the request of OWNER will be invoiced as a separate phase.
  - e. PROJECT Completion:
    - i. DAHLIN will provide up to two (2) onsite visits for punch, which includes one (1) visit for each unit type, building exterior, and common interior spaces. Backpunch (2nd+ rounds) are not included.
    - ii. One (1) site visit to determine date of Substantial Completion.
    - iii. As-Designed Drawings: Compilation of DAHLIN's designs for PROJECT including the original Construction Documents plus all addenda, Architect's Supplemental Instructions, Change Orders, Construction Change Directives and minor changes in the work as appropriate to reflect the design changes.
3. DAHLIN shall review and certify the amounts due the Contractor and shall issue certificates in such amounts. DAHLIN's certification for payment shall constitute a representation to the OWNER, based on DAHLIN's evaluation of the Work and on the data comprising the Contractor's Application for Payment, that, to the best of DAHLIN's knowledge, information and belief, the Work has progressed to the point indicated, the quality of the Work is in accordance with the Contract Documents, and that the Contractor is entitled to payment in the amount certified. The foregoing representations are subject to (1) an evaluation of the Work for conformance with the Contract Documents upon Substantial Completion, (2) results of subsequent tests and inspections, (3) correction of minor deviations from the Contract Documents prior to completion, and (4) specific qualifications expressed by DAHLIN.

## L. CONSULTANT SERVICES

1. Per attached Exhibit B – Design Responsibility Matrix.

## III. COMPENSATION

# Mulberry Gardens Family Apartments

## Site and Project Information

### **Project Overview**

Located at 2560 Mulberry Street in Riverside, CA near the southeast corner of Mulberry Street and Holding Street, Mulberry Gardens Family Apartments will be a new 150-unit Family community affordable to a wide range of income levels. Mulberry Gardens Family Apartments will consist of three four-story adjoined buildings with 150 apartment units, which include a mix of 73 one-bedroom units, 39 two-bedroom units, and 38 three-bedroom units. All restricted units will be targeted to households earning between 30%-60% of the area median income. A two-bedroom manager's unit will also be provided. Additionally, thirty-seven homes will support Section 8 Project Based Vouchers to ensure households are not paying more than 30% of their income in rent.

### **Current Use of Property**

Mulberry Gardens Family Apartments will be developed on a vacant 2.81 acre State-owned property, which previously housed the regional command center for CalFire. Mulberry Family Apartments will be the second of two phases of affordable housing built by Eden Housing on the State-owned site. The first phase, which received a 9% tax credit allocation in 2023 and is currently under construction directly north of the Mulberry Family Apartments Subject site, will consist of 59 senior housing units when complete. Although Eden Housing, Inc. will be the Sponsor, Developer, and Managing General Partner of both project phases, the two phases are being developed independently of each other as two stand-alone projects with separate ownership entities.

### **Adjacent Land Uses**

Access to the site is from the south side of Holding Street, a two-lane neighborhood connector street providing access to Mulberry Street. Mulberry Street is a two-lane neighborhood street that traverses northeast/southwest and provides access to Spruce Street to the north. Spruce street traverses generally east/west through northern Riverside, providing access to major thoroughfares such as the Riverside Freeway and Interstate 215. The Riverside Freeway is adjacent to the east of the Subject, and traverses' northeast/southwest through central Riverside, providing access to all areas of the city. Interstate 215 is a north/south traversing highway that provides access to much of Southern California.

The Subject site is in a mixed-use neighborhood. Views to the north consist of an industrial lot and further beyond other mixed-use commercial buildings, all in

average condition. Views to the west consist of single-family homes, all in average condition. Views to the south consist of an industrial lot in average condition and the Riverside Freeway further beyond. Views to the east consist of the Riverside Freeway.

The project is surrounded by a mix of commercial and residential uses.

- North: United Rentals (Commercial)
- West: Single-family residences (Residential)
- South: Sema Construction Facility (Commercial)
- East: Riverside Freeway

### The Design

Mulberry Gardens Family Apartments will be built using Type V-A slab-on-grade construction. The one-bedroom units will average 522 square feet, two-bedroom units will average 749 square feet, and the three-bedroom units will average 1,034 square feet. 25 units will have mobility features and 15 units will have communications features. The remainder of units will be fully adaptable, meaning that these units will have an accessible route into and through the units, flexibility for grab bar installation in showers and bathtubs, and kitchens and one or more bathroom in each unit that can easily be used by people in wheelchairs. In units with more than one bathroom, only one is required to be fully accessible in mobility units or fully adaptable units, and the other can be a standard bathroom. Tow elevators are provided, and all floors of the elevator accessible. Additionally, public and common areas are made accessible to persons with disabilities, with doors and hallways that are wide enough for wheelchair access.

Resident amenities have been carefully selected and arranged to appeal to the diverse age of residents and to accommodate the services that will be delivered on-site. A spacious community room with kitchen, a computer lab, family room, offices for management and service coordination, mail room, restrooms, and laundry facilities will be some of the on-site amenities provided.

### Project Statistics – At a Glance

Category	Details
Number of Buildings	1
Stories per Building	3
Units per Building	150
Number of Elevators	2
Building Type	4-levels of Type V-A slab-on-grade
Building Uses	Residential Use
Housing Type	Large Family

### Unit Distribution

Unit Type	Number of Units
1 Bedroom	73

2 Bedroom	38
3 Bedroom	38
2 Bedroom - Manager's Unit (805 SF)	1
Total	150

### **Site Design and Landscaping Narrative**

Outdoor open spaces are carefully arranged on the site to create “loud” and “quiet” zones that will allow for a broad range of age groups on site to engage in activities that suit their needs. A playground area, which is located adjacent to the Senior Phase I project consists of 1,804 SF of engineered wood fiber playground surface with a climbing structure, a tot lot, play wooden boat structure, two springers and benches. Resident safety in these spaces is a priority and along with an on-site manager available at any time, security cameras are provided in the stairwells, the elevator, in all corridors and common areas, and throughout the project exterior.

### **Sustainable and Green Building Elements**

Resident health is also directly tied to the responsible stewardship of our local ecosystems and global biosphere. With this need in mind, Eden Housing prioritizes sustainability. In addition to meeting the requirements set forth by the California Energy Efficiency Standards and California Green Building Code, this community meets standards in the Greenpoint Rated program and includes all-electric appliances, low-flow plumbing, stormwater retention, and drought-tolerant flora native to Southern California.

Aesthetically, building design is focused on respecting adjacent single-family homes by adopting a language and scale suitable to a residential neighborhood. At four-stories, the building design balances density with an understanding of context, with architectural elements that step down to 1 and 2 story elements creating a comfortable pedestrian scale at the street level. Large windows and pitched roofs evoke a townhouse typology consistent with the surrounding homes, while neutral paint tones breakup massing and keep the building from dominating the streetscape.

Above all, the community’s planning and design aim to invite connection between residents and the neighboring families that already live here—to make everyone here feel “at-home.”

## Unique Features

The site is flat with no unique site features.

## Neighborhood

The site is located approximately a mile north of Downtown Riverside and close to a variety of neighborhood amenities including parks, grocery shopping, medical services, public schools, and transit. For more details on amenities, please see Section 23 Site Amenities.

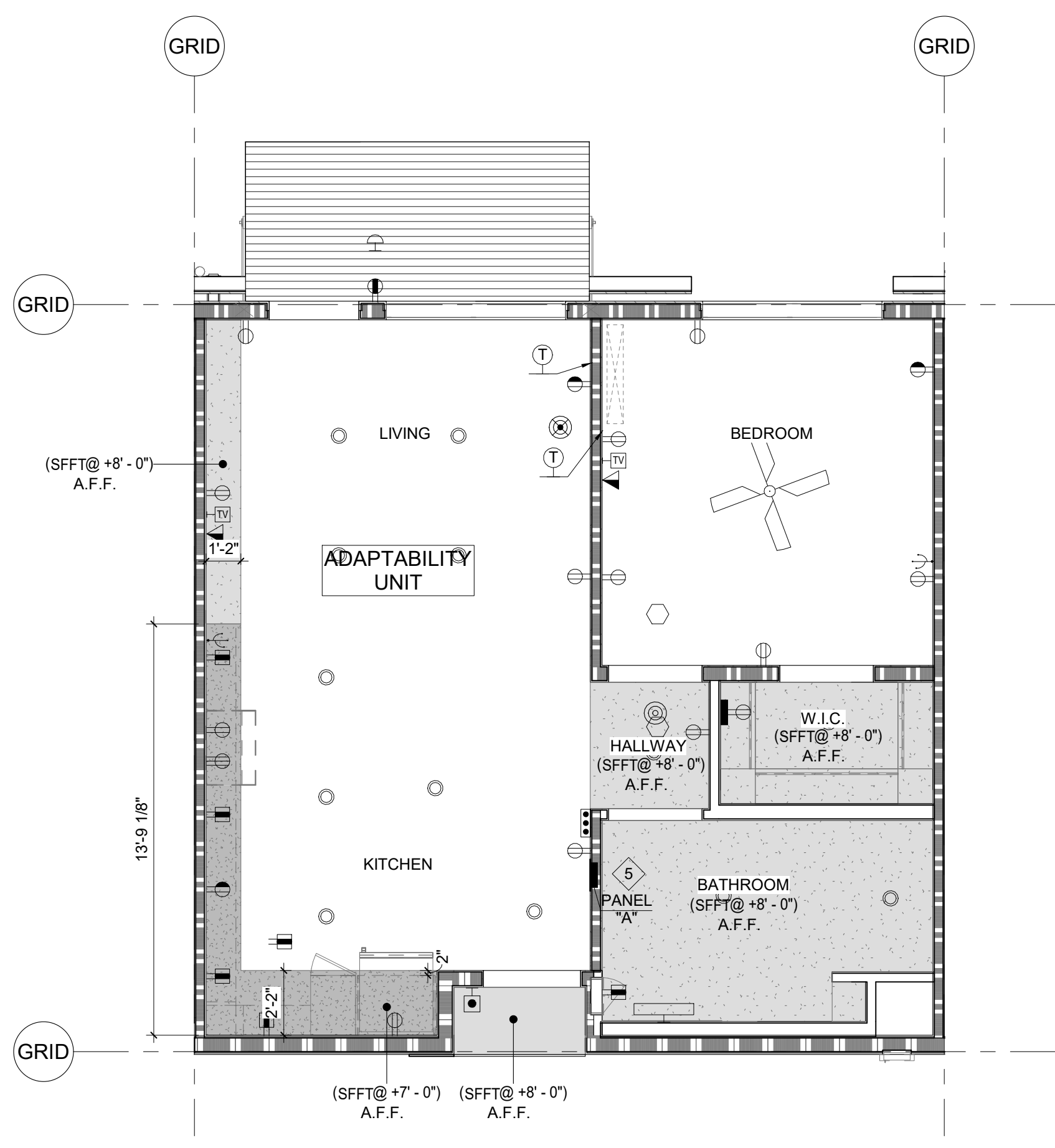
Distance From Local Services			
Map #	Name	Service	Distance
1	Los Novillos Market	Grocery Store	0.40 miles
2	Bus Stop	Transportation	0.40 miles
3	ARCO	Gas Station	0.46 miles
4	Fremont Elementary School	Education	0.46 miles
5	Graceway Community Church	Church	0.63 miles
6	CVS Pharmacy	Pharmacy	0.70 miles
7	Union Bank	Bank	0.72 miles
8	Fairmount Park	Recreation	0.95 miles
9	United States Postal Service	Post Office	0.98 miles
10	Riverside Main Library	Library	1.03 miles
11	Metrolink Station	Transportation	1.10 miles
12	Dales Senior Center	Senior Center	1.15 miles
13	Riverside Community Hospital	Hospital	1.45 miles
14	Central Middle School	School	1.85 miles
15	Riverside Poly High School	School	2.70 miles

PERMIT SET	11.20.23
CONSTRUCTION SET	12.20.23
REVISIONS	
A 2ND BLDG PLAN SUB	08.25.23

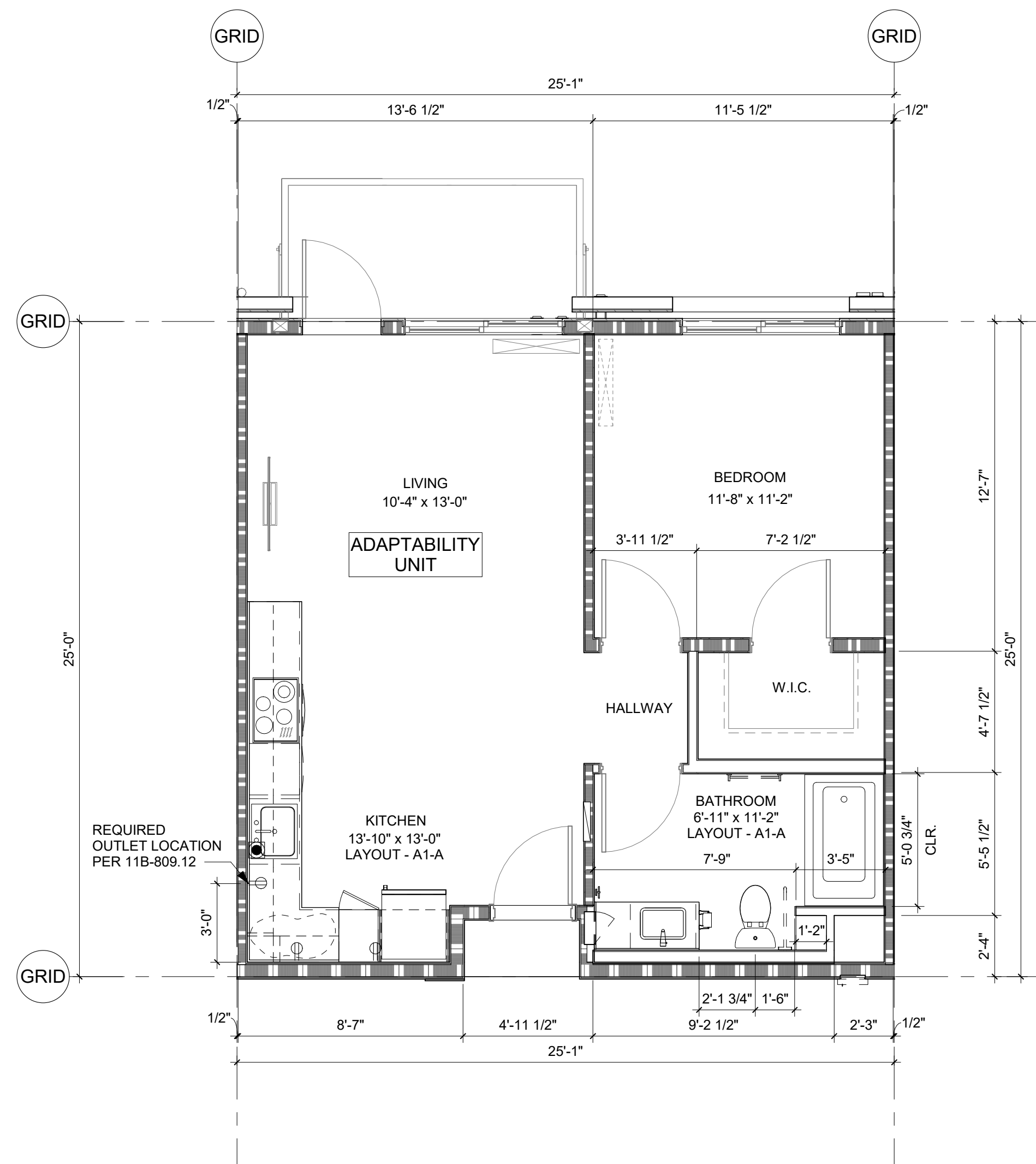


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DRAWN Author  
CHECK Checker  
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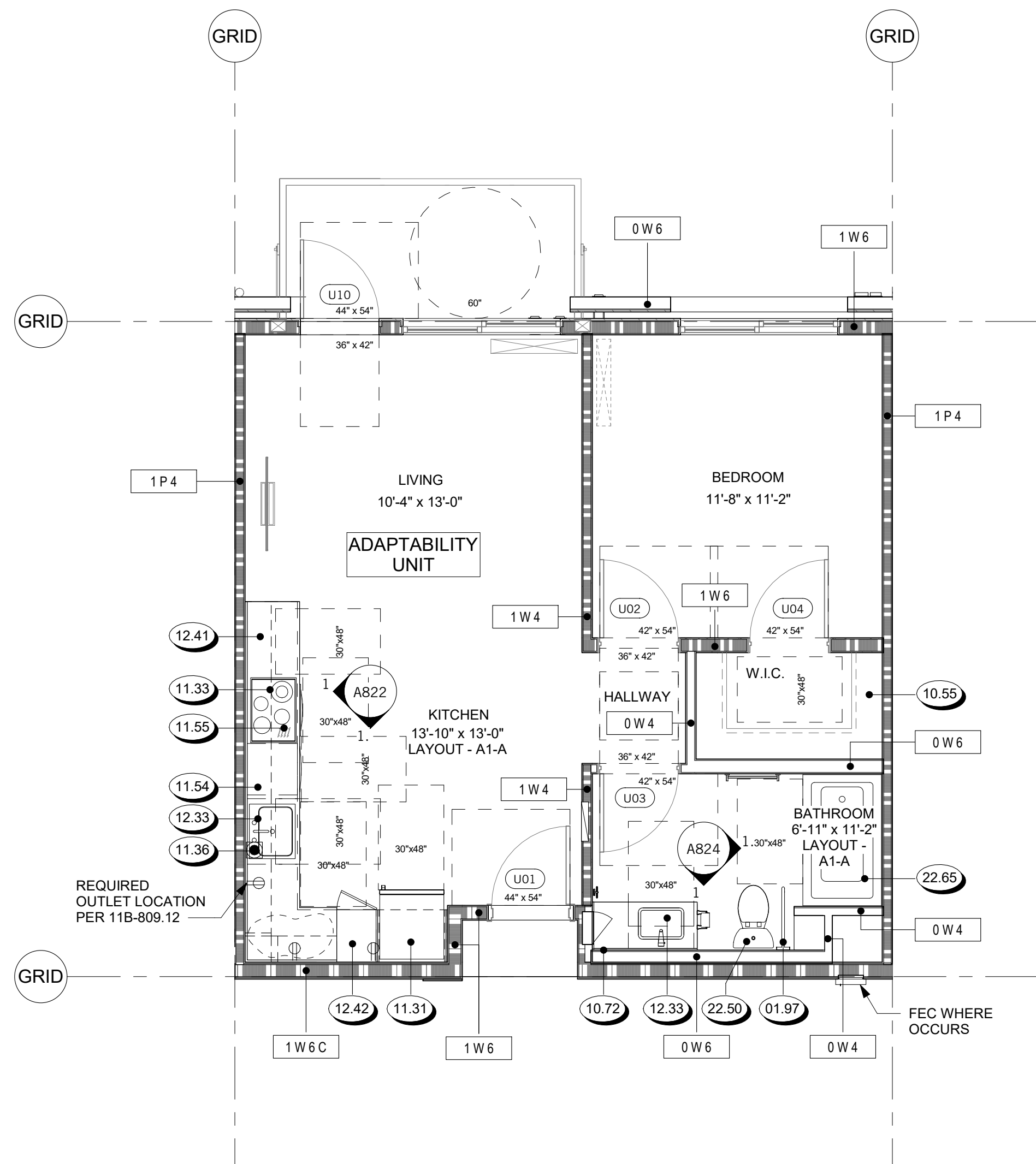
UNIT PLAN SYMBOLS	UNIT PLAN NOTES																												
<p>WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1</p> <p>SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501</p> <p>STRUCTURAL COLUMNS, S.S.D.</p> <p>5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1</p> <p>30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3</p> <p>30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2</p> <p>WALL TYPE - SEE SHEETS A741 &amp; G310</p> <p>WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS</p> <p>DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS</p> <p>ROOM NUMBER</p> <p>RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4</p> <p>SLIDE-IN LINEN CABINET</p> <p>1 SHELF &amp; 1 POLE. SEE DETAIL</p> <p>30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8". SHOWER HEAD AT +7'-8" &amp; PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH</p> <p>WATER CLOSET S.P.D.</p> <p>LAVATORY W/ FAUCET S.P.D.</p> <p>24" TOWEL BAR AT +40" HT. MAXIMUM</p> <p>TOILET PAPER HOLDER AT +24" HT.</p> <p>KITCHEN SINK W/ GARBAGE DISPOSAL &amp; FAUCET, S.P.D.</p> <p>DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL</p> <p>BUILT-IN ELECTRIC COOKTOP W/HOOD, LIGHT &amp; FAN ABOVE</p> <p>ELECTRIC WALL OVEN</p> <p>RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS</p> <p>REFRIGERATOR</p> <p>DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR</p> <p>WASHER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.</p> <p>STACKED WASHER &amp; DRYER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE SUPPLY &amp; WASTE LINE FOR WASHER. PROVIDE SMOOTH METAL VENT TO EXTERIOR FOR DRYER. PROVIDE GSM W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D. S.M.D.</p> <p>FLOOR TYPE TRANSITION. SEE A7.3</p> <p>ELECTRICAL PANEL, MAX 48" AFF., S.E.D.</p> <p>42" SIDE AND 36" REAR GRAB BARS</p> <p>PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS</p> <p>80" A.F.F. CLEAR MIN. PTAC UNIT WALL-MOUNTED AT SIDEWALL AT 1 BD UNITS</p> <p>WALL-MOUNTED MINI-SPLIT UNIT AT ALL 2BD &amp; 3BD UNITS</p>	<ol style="list-style-type: none"> <li>ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION (U.O.N.)</li> <li>ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)</li> <li>ALL DIMENSIONS AT WINDOWS &amp; DOORS ARE TO THE CENTERLINE (U.O.N.)</li> <li>ALL ANGLED WALLS SHALL BE 45 DEGREES, U.O.N.</li> <li>ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.</li> <li>DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.</li> <li>ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>WINDOW HEAD HEIGHTS: 5'-0" U.O.N.</li> <li>ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.</li> <li>ALL COUNTERTOPS, TUB DECKS &amp; WALLS AT TUBS &amp; SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +7'-0" MIN. ABOVE DRAIN INLET PER CBC 1210.3</li> <li>VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION</li> <li>FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS</li> <li>FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS</li> <li>FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS</li> <li>FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2 SERIES</li> <li>SEE A7.3.1 FOR UNIT FINISH SCHEDULE</li> <li>FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD. ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 W.D. STUD U.O.N. SEE G3.1.1.</li> <li>REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS</li> <li>SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS. A2.1 SERIES SHEETS</li> <li>11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES</li> <li>REFER TO A753 FOR UNIT INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol>																												
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1/4" = 1'-0"



1 UNIT PLAN - A1-A DIMENSIONING PLAN  
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2 UNIT PLAN - A1-A ANNOTATION PLAN  
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PERMIT SET	11.20.23
CONSTRUCTION SET	12.20.23
REVISIONS	
B 3RD BLDG PLAN SUB	11.10.23

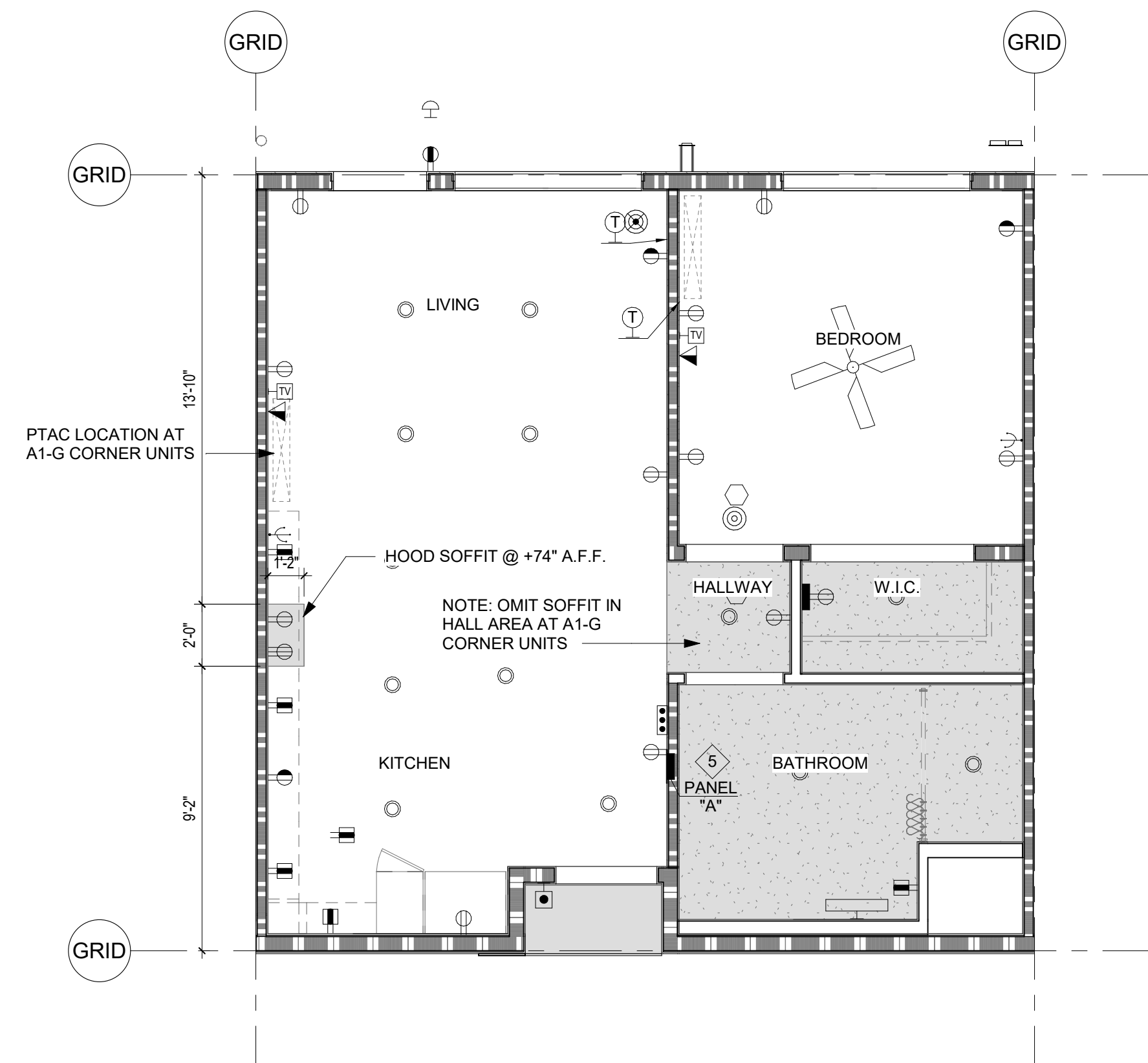


SEAL / SIGNATURE	
JOB NO.	0251.007
DRAWN	Author
CHECK	Checker

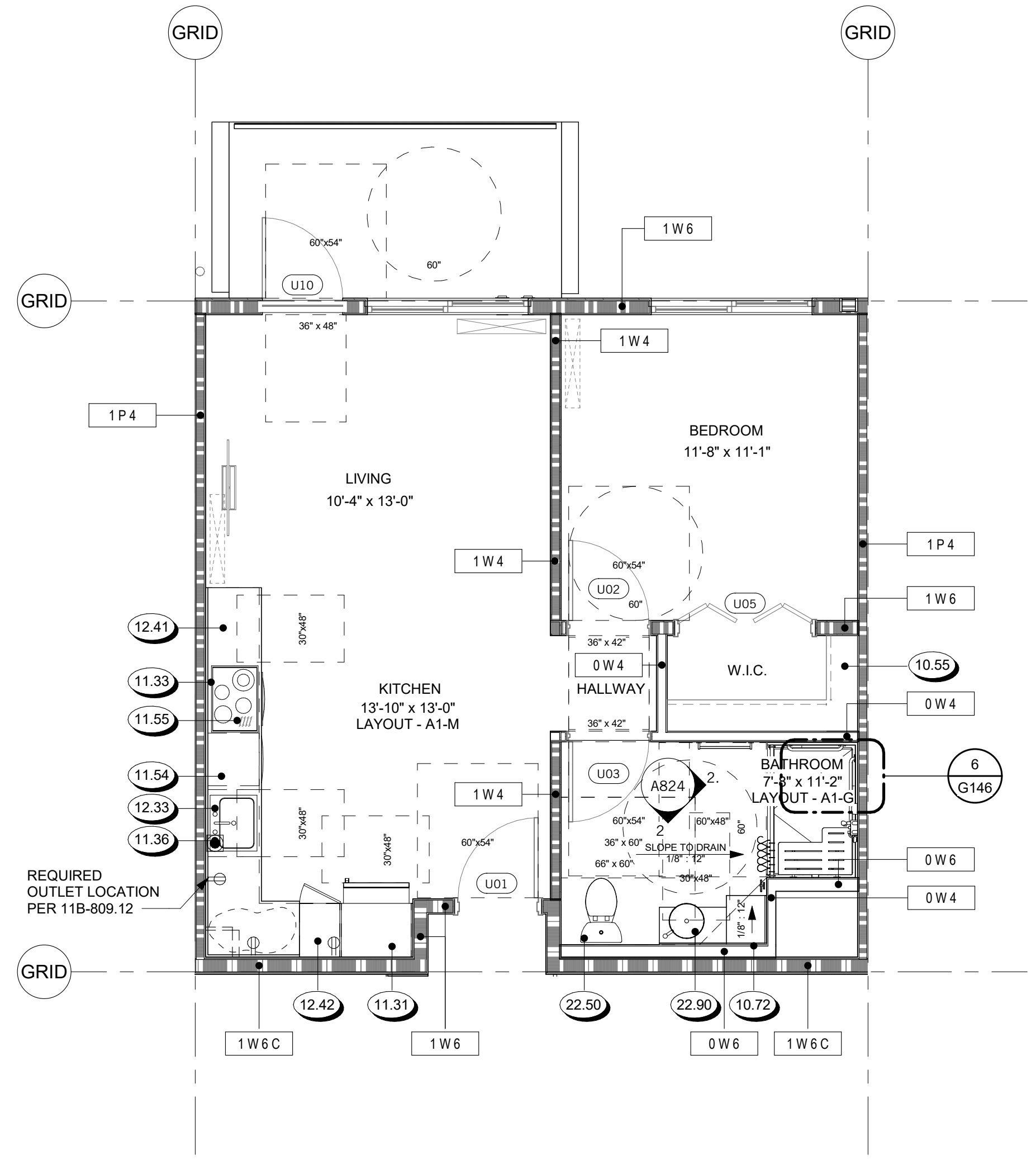
UNIT PLANS - UNIT A1-G

SHEET  
**A412**

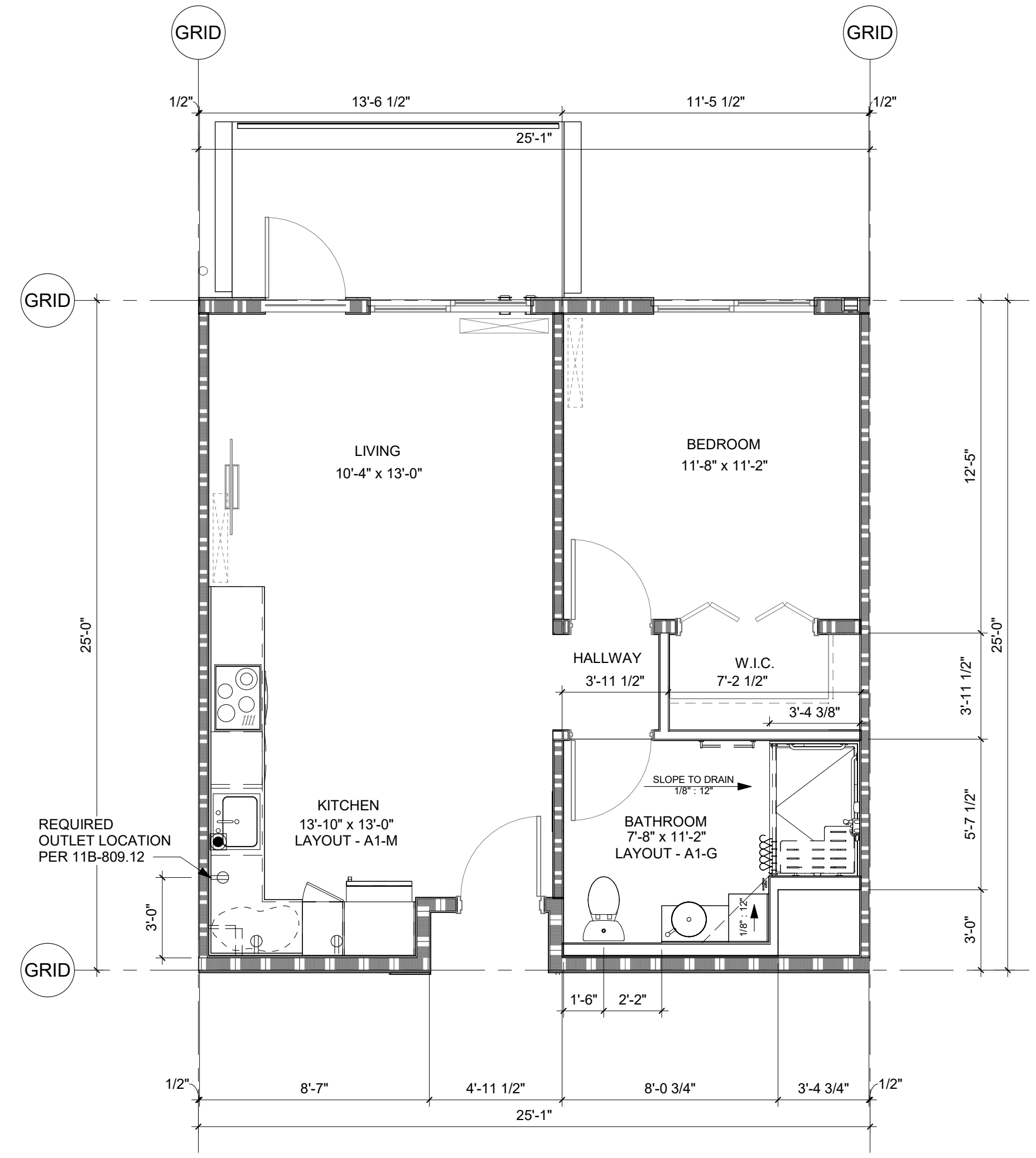
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<p>WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1</p> <p>SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501</p> <p>STRUCTURAL COLUMNS, S.S.D.</p> <p>5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1</p> <p>30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3</p> <p>30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2</p> <p>WALL TYPE - SEE SHEETS A741 &amp; G310</p> <p>WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS</p> <p>DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS</p> <p>ROOM NUMBER</p> <p>RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4</p> <p>SLIDE-IN LINEN CABINET</p> <p>1 SHELF &amp; 1 POLE. SEE DETAIL</p> <p>30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8". SHOWER HEAD AT +78" &amp; PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH</p> <p>WATER CLOSET S.P.D.</p> <p>LAVATORY W/ FAUCET S.P.D.</p> <p>24" TOWEL BAR AT +40" HT. MAXIMUM</p> <p>TOILET PAPER HOLDER AT +24" HT.</p> <p>KITCHEN SINK W/ GARBAGE DISPOSAL &amp; FAUCET, S.P.D.</p> <p>DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL</p> <p>BUILT-IN ELECTRIC COOKTOP W/ HOOD, LIGHT &amp; FAN ABOVE</p> <p>ELECTRIC WALL OVEN</p> <p>RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS</p> <p>REFRIGERATOR</p> <p>DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR</p> <p>WASHER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.</p> <p>STACKED WASHER &amp; DRYER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE SUPPLY &amp; WASTE LINE FOR WASHER. PROVIDE SMOOTH METAL VENT TO EXTERIOR FOR DRYER. PROVIDE GSM W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D. - S.M.D.</p> <p>FLOOR TYPE TRANSITION, SEE A7.3</p> <p>ELECTRICAL PANEL, MAX 48" AFF., S.E.D.</p> <p>42" SIDE AND 36" REAR GRAB BARS</p> <p>PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS</p> <p>80" A.F.F. CLEAR MIN. PTAC UNIT WALL-MOUNTED AT SIDEWALL AT 1 BD UNITS</p> <p>WALL-MOUNTED MINI-SPLIT UNIT AT ALL 2BD &amp; 3BD UNITS</p>	<ol style="list-style-type: none"> <li>ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION (U.O.N.)</li> <li>ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)</li> <li>ALL DIMENSIONS AT WINDOWS &amp; DOORS ARE TO THE CENTERLINE (U.O.N.)</li> <li>ALL ANGLED WALLS SHALL BE 45 DEGREES, U.O.N.</li> <li>ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.</li> <li>DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.</li> <li>ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>WINDOW HEAD HEIGHTS: 5'-0", U.O.N.</li> <li>ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.</li> <li>ALL COUNTERTOPS, TUB DECKS &amp; WALLS AT TUBS &amp; SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +70" MIN. ABOVE DRAIN INLET PER CBC 1210.3</li> <li>VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION</li> <li>FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS</li> <li>FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS</li> <li>FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS</li> <li>FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2 SERIES</li> <li>SEE A7.3.1 FOR UNIT FINISH SCHEDULE</li> <li>FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - UNITS, A7.1 SERIES SHEETS</li> <li>FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 W.D. STUD U.O.N. SEE G3.1.1.</li> <li>REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS</li> <li>SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS. A2.1 SERIES SHEETS</li> <li>11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES</li> <li>REFER TO A753 FOR UNIT INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol>																										
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<p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-0" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 8'-2" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB22 &amp; AB22</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 12'-0" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT. REFER TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAIN PER FINISH SCHEDULE, SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<ol style="list-style-type: none"> <li>CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.</li> <li>EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</li> <li>ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</li> <li>ALL DIMENSIONS TO F.O. STUD. (U.O.N.)</li> <li>FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</li> <li>FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</li> <li>LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</li> <li>FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</li> <li>COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING</li> <li>SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</li> <li>SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</li> <li>STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS IN CONCEALED SPACE ABOVE CEILING ON BOTH SIDES OF 1-HR. RATED WALLS"</li> <li>ALL DROPPED CEILING IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF UON. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF UON.</li> <li>REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol>																										
FIRE RESISTIVE WALL LEGEND	KEYNOTE LEGEND																										
<p>(SEE SHEET SERIES A200 &amp; A400 FOR WALL TAGS.)</p> <p>(SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <p>FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</p> <p>ALL OPENINGS AND PENETRATIONS IN SHAFT ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</p> <p>FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</p> <p><b>NON-RATED ASSEMBLIES:</b></p> <p>UNRATED WALL CONSTRUCTION. SEE (07 / A741) &amp; (0W / A741)</p> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <p>DWELLING UNIT SEPARATION (1P / A741)</p> <p>FIRE PARTITION, PER CBC 420 AND 708.3</p> <p>CORRIDORS (1W / A741)</p> <p>FIRE PARTITION, PER CBC 1020</p> <p>INTERIOR BEARING (1W / A741)</p> <p>FIRE PARTITION, PER CBC 1000 AND 602.1</p> <p>NON-BEARING EXTERIOR (1W / A741)</p> <p>STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</p> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <p>DWELLING UNIT SEPARATION (2P / A741)</p> <p>WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</p> <p>WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</p> <p>WOOD FIRE BARRIER (STAGGERED STUDS) PER 2022 CBC 707. SEE DETAIL (2B / A741)</p> <p>C-H CHANNEL SHAFT ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</p>	<table border="1"> <thead> <tr> <th>Key Value</th> <th>Keynote Text</th> </tr> </thead> <tbody> <tr> <td>10.55</td> <td>SINGLE POLE SHELF; SEE 26/AB21; SID.</td> </tr> <tr> <td>10.72</td> <td>ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-803.3</td> </tr> <tr> <td>11.31</td> <td>REFRIGERATOR, SID.</td> </tr> <tr> <td>11.33</td> <td>RANGE HOOD. SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.</td> </tr> <tr> <td>11.36</td> <td>GARBAGE DISPOSAL</td> </tr> <tr> <td>11.54</td> <td>24" FRONT CONTROL DISHWASHER</td> </tr> <tr> <td>11.55</td> <td>30" ELECTRIC COOKTOP</td> </tr> <tr> <td>12.33</td> <td>REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150. INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY. SPD</td> </tr> <tr> <td>12.41</td> <td>30" MIN. CLEAR WORK SURFACE WITH REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. PER CBC 11B-809.9.4 FOR ADAPTABLE AND 11B-804.3 FOR MOBILITY</td> </tr> <tr> <td>12.42</td> <td>KITCHEN PANTRY</td> </tr> <tr> <td>22.50</td> <td>WATER CLOSET, SPD. WITHIN DWELLING UNITS, PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 301416. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY</td> </tr> <tr> <td>22.90</td> <td>CHATEAU 30" FAUCET WALL-MOUNT BATHROOM SINK</td> </tr> </tbody> </table>	Key Value	Keynote Text	10.55	SINGLE POLE SHELF; SEE 26/AB21; SID.	10.72	ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-803.3	11.31	REFRIGERATOR, SID.	11.33	RANGE HOOD. SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.	11.36	GARBAGE DISPOSAL	11.54	24" FRONT CONTROL DISHWASHER	11.55	30" ELECTRIC COOKTOP	12.33	REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150. INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY. SPD	12.41	30" MIN. CLEAR WORK SURFACE WITH REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. PER CBC 11B-809.9.4 FOR ADAPTABLE AND 11B-804.3 FOR MOBILITY	12.42	KITCHEN PANTRY	22.50	WATER CLOSET, SPD. WITHIN DWELLING UNITS, PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 301416. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY	22.90	CHATEAU 30" FAUCET WALL-MOUNT BATHROOM SINK
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2 UNIT PLAN - A1-G (MOBILITY) REFLECTED CEILING PLAN  
1/4" = 1'-0"



3 UNIT PLAN - A1-G (MOBILITY) ANNOTATION PLAN  
1/4" = 1'-0"



1 UNIT PLAN - A1-G (MOBILITY) DIMENSIONING PLAN  
1/4" = 1'-0"

PERMIT SET	11.20.23
CONSTRUCTION SET	12.20.23
REVISIONS	
B 3RD BLDG PLAN SUB	11.10.23



SEAL / SIGNATURE  
JOB NO. 0251.007  
DRAWN Author  
CHECK Checker

UNIT PLANS - UNIT A1-M

SHEET

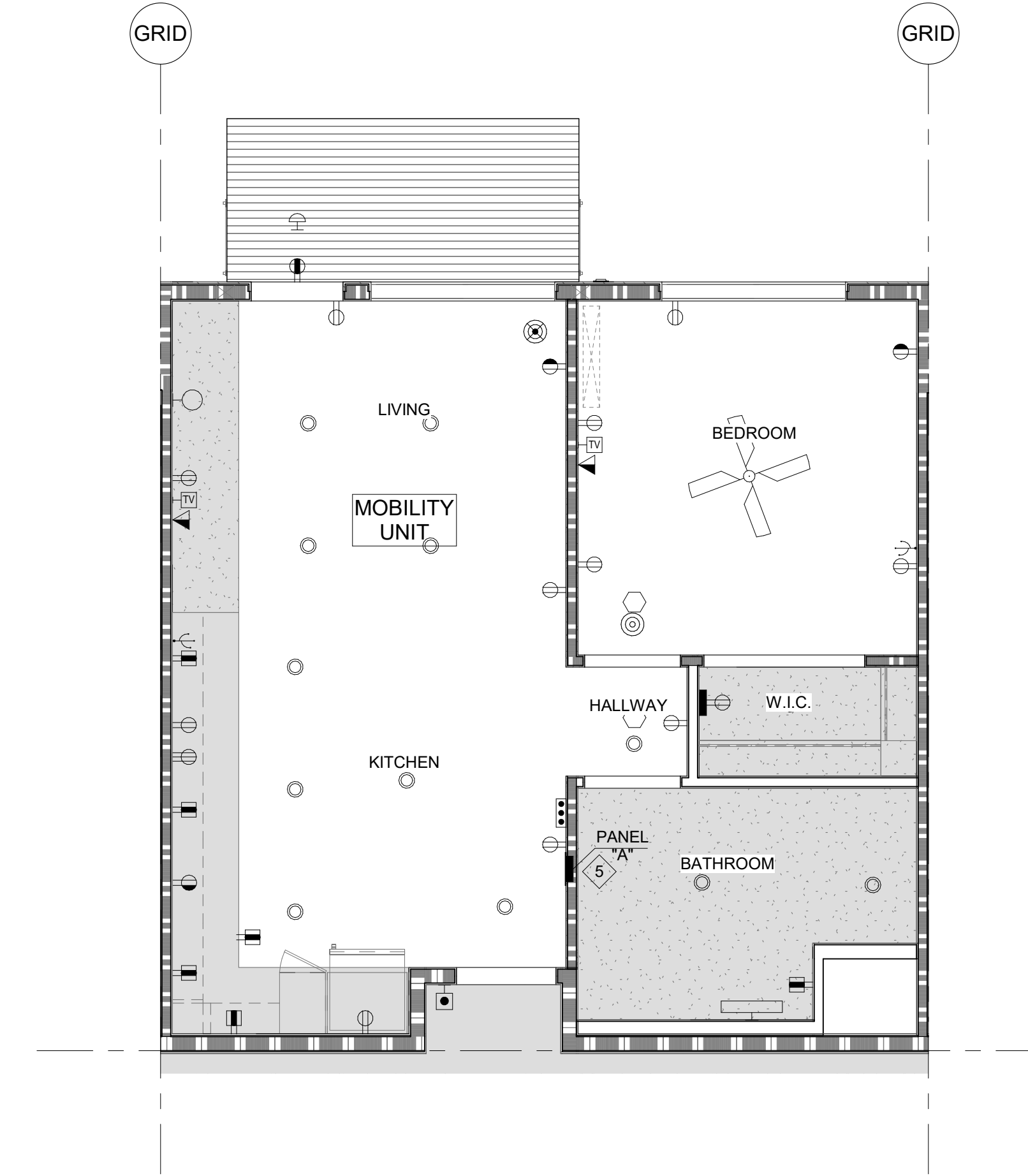
A413

UNIT PLAN SYMBOLS	UNIT PLAN NOTES
WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1	1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION. (U.O.N.)
SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501	2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)
STRUCTURAL COLUMNS, S.S.D.	3. ALL DIMENSIONS AT WINDOWS & DOORS ARE TO THE CENTERLINE. (U.O.N.)
5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1	4. ALL ANGLED WALLS SHALL BE 45 DEGREES. U.O.N.
30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3	5. ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.
30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2	6. DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.
WALL TYPE - SEE SHEETS A741 & G310	7. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.
WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS	8. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.
DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS	9. WINDOW HEAD HEIGHTS: 5'-0" U.O.N.
ROOM NUMBER	10. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.
RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4	11. ALL COUNTERTOP, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +70" MIN. ABOVE DRAIN INLET PER CBC 1210.3
SLIDE-IN LINEN CABINET	12. VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION
1 SHELF & 1 POLE. SEE DETAIL	13. FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS
30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8" SHOWER HEAD AT +78" & PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH	14. FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS
WATER CLOSET S.P.D.	15. FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS
LAVATORY W/ FAUCET S.P.D.	16. FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2 SERIES
24" TOWEL BAR AT +40" HT. MAXIMUM	17. SEE A7.3.1 FOR UNIT FINISH SCHEDULE
TOILET PAPER HOLDER AT +24" HT.	18. FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - UNITS, A7.1 SERIES SHEETS
KITCHEN SINK W/ GARBAGE DISPOSAL & FAUCET, S.P.D.	19. FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS
DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL	20. ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD. ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 WD. STUD. U.O.N. SEE G3.1.1.
BUILT-IN ELECTRIC COOKTOP W/ HOOD, LIGHT & FAN ABOVE	21. REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS
ELECTRIC WALL OVEN	22. SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS. A2.1 SERIES SHEETS
RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS	23. 11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES
REFRIGERATOR	24. REFER TO A753 FOR UNIT INTERIOR MATERIAL & FINISH SCHEDULES.
DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR	
WASHER-PROVIDE HOT & COLD WATER SUPPLY & WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.	
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FLOOR TYPE TRANSITION. SEE A7.3	
ELECTRICAL PANEL, MAX 48" AFF., S.E.D.	
42" SIDE AND 36" REAR GRAB BARS	
PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS	
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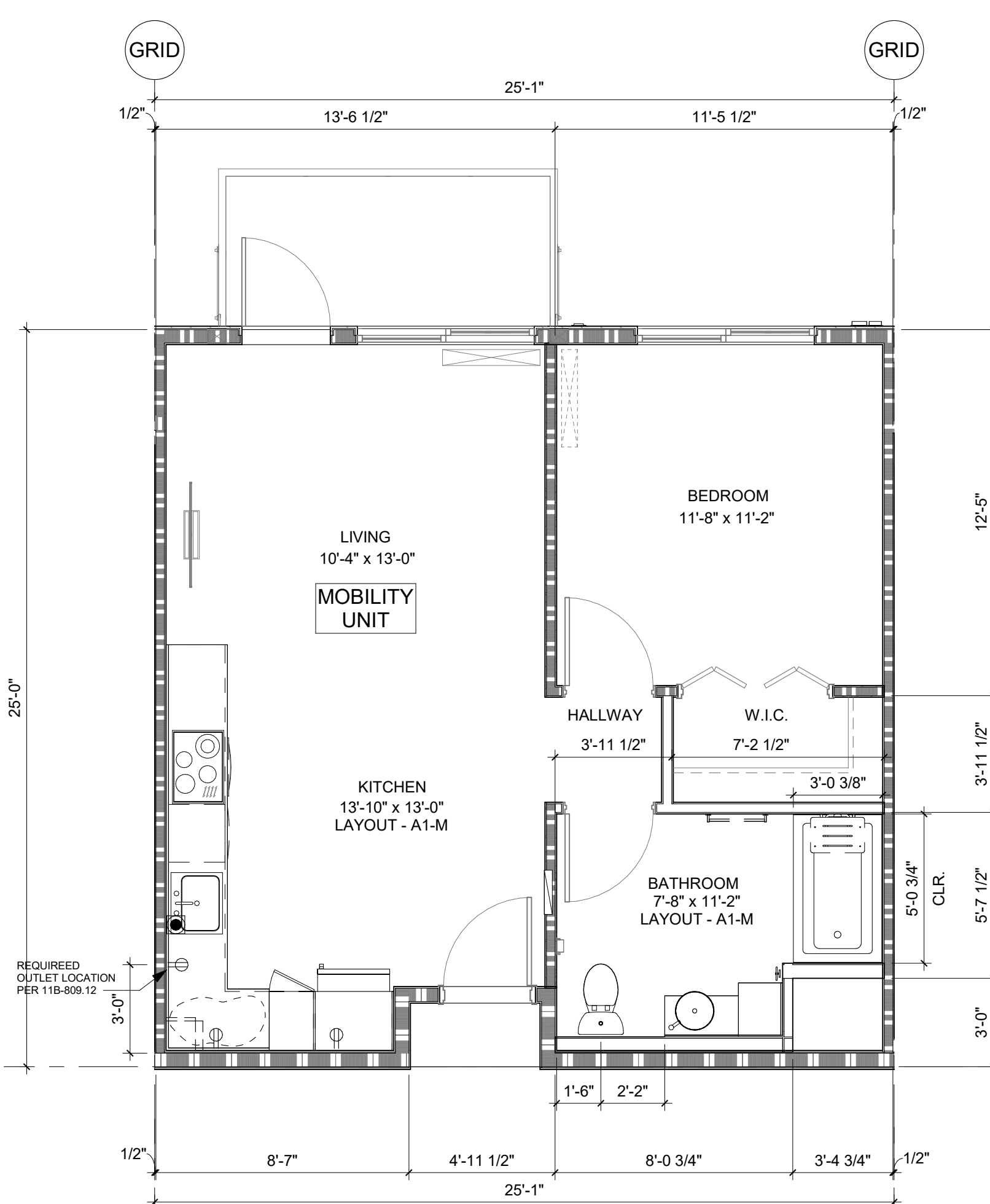
REFLECTED CEILING SYMBOLS	REFLECTED CEILING NOTES
GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS	1. CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.
GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS	2. EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.
GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 8'-0" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS A822 & A822	3. ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.
ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS	4. ALL DIMENSIONS TO F.O. STUD. (U.O.N.)
FIBER CEMENT PANELS WRAP UNDER SOFFIT. REFER TO EXTERIOR ELEVATIONS	5. FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.
SMOKE DETECTOR	6. FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.
CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1	7. LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.
ALIGN	8. FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES & SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.
RANGE HOOD	9. COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING
PAINT PER FINISH SCHEDULE. SEE SHEETS A751 & A753	10. SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.
UNDERSIDE OF PREFABRICATED BALCONY ABOVE	11. SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.

FIRE RESISTIVE WALL LEGEND	FIRE RESISTIVE WALL NOTES
UNRATED ASSEMBLIES: UNRATED WALL CONSTRUCTION. SEE (0F / A741) & (0W / A741)	(SEE SHEET SERIES A200 & A400 FOR WALL TAGS.) (SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)
1-HR. FIRE RATED ASSEMBLIES: DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION), PER CBC 420 AND 708.3	• FOR MORE DETAILS ON WALL TYPES & LOCATIONS, SEE ENLARGED PLANS & "WALL TYPES" SHEET A741
CORRIDORS (1W / A741) (FIRE PARTITION), PER CBC 1020	• ALL OPENINGS AND PENETRATIONS IN SHAFT ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7
INTERIOR BEARING (1W / A741) (FIRE PARTITION), PER CBC 1002 AND 602.1	• FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING & ROOF/CEILING ASSEMBLIES.
NON-BEARING EXTERIOR (1W / A741)	
2-HR. FIRE RATED ASSEMBLIES: 2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (27 / A741)	
2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)	
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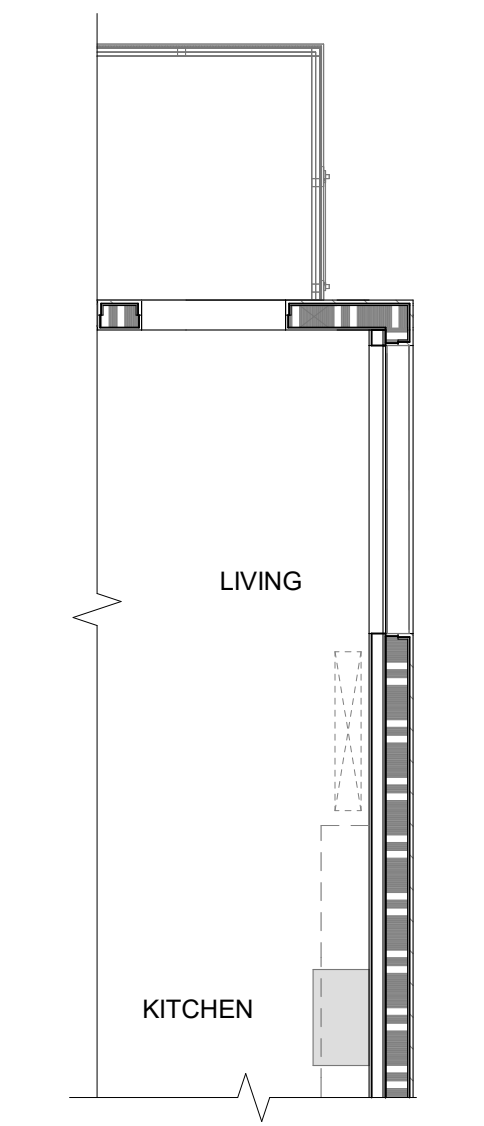
KEYNOTE LEGEND	KEYNOTE TEXT
10.46	TOILET TISSUE DISPENSER
10.55	SINGLE POLE SHELF. SEE 26/A821; SID.
10.72	ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-603.3
11.31	REFRIGERATOR, SID.
11.33	RANGE HOOD. SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.
11.36	GARBAGE DISPOSAL
11.54	24" FRONT CONTROL DISHWASHER
11.55	30" ELECTRIC COOKTOP
12.33	REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150. INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY. SPD
12.41	30" MIN. CLEAR WORK SURFACE WITH REMOVABLE BASE MANUFACTURED CASEWORK. EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. PER CBC 11B-809.9.4 FOR ADAPTABLE AND 11B-804.3 FOR MOBILITY
12.42	KITCHEN PANTRY
22.50	WATER CLOSET, SPD. WITHIN DWELLING UNITS, PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 30/G146. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY
22.90	CHATEAU 30" FAUCET WALL-MOUNT BATHROOM SINK



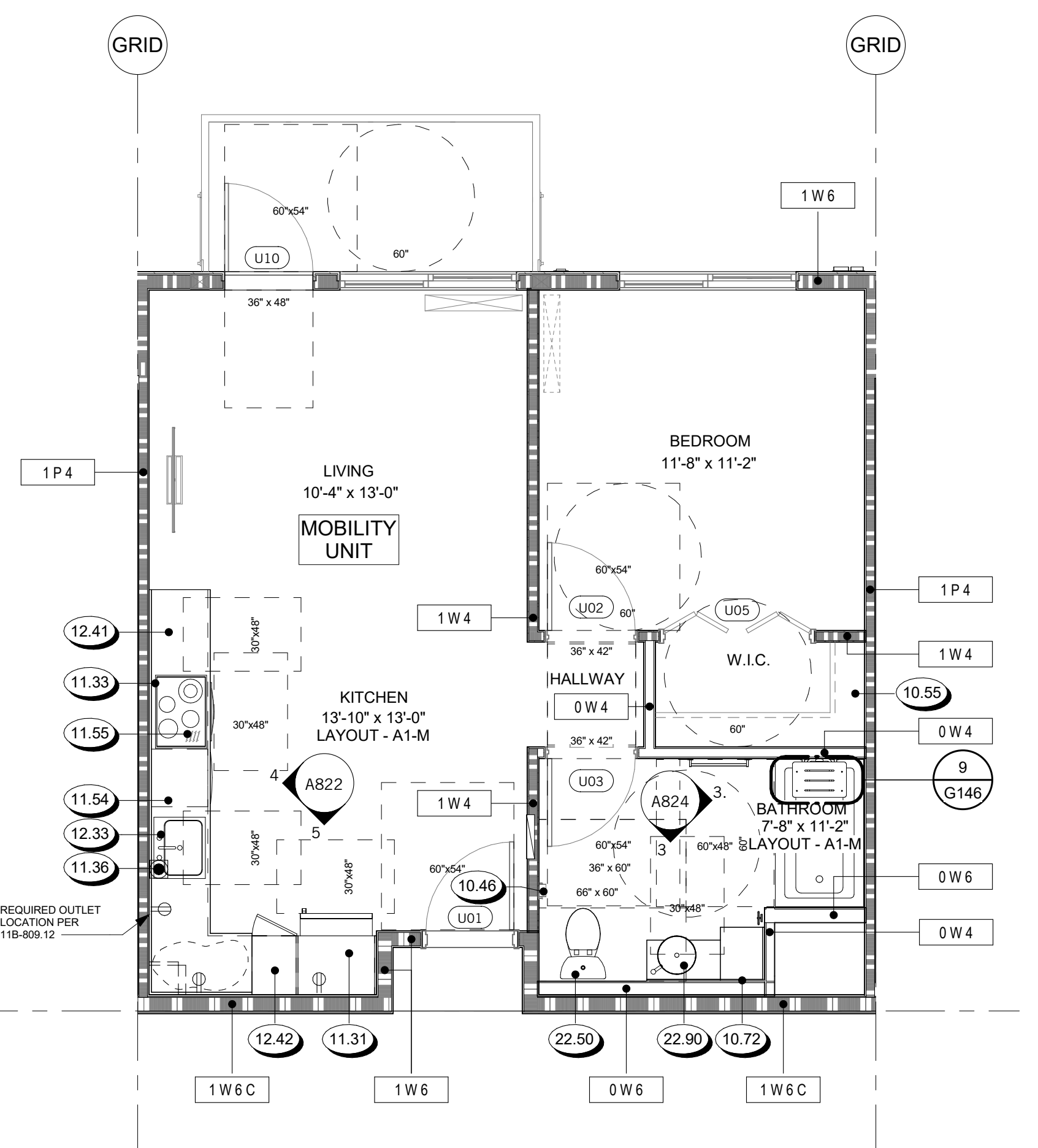
3 UNIT PLAN - A1-M (MOBILITY) REFLECTED CEILING PLAN  
1/4" = 1'-0"



1 UNIT PLAN - A1-M (MOBILITY) DIMENSIONING PLAN  
1/4" = 1'-0"

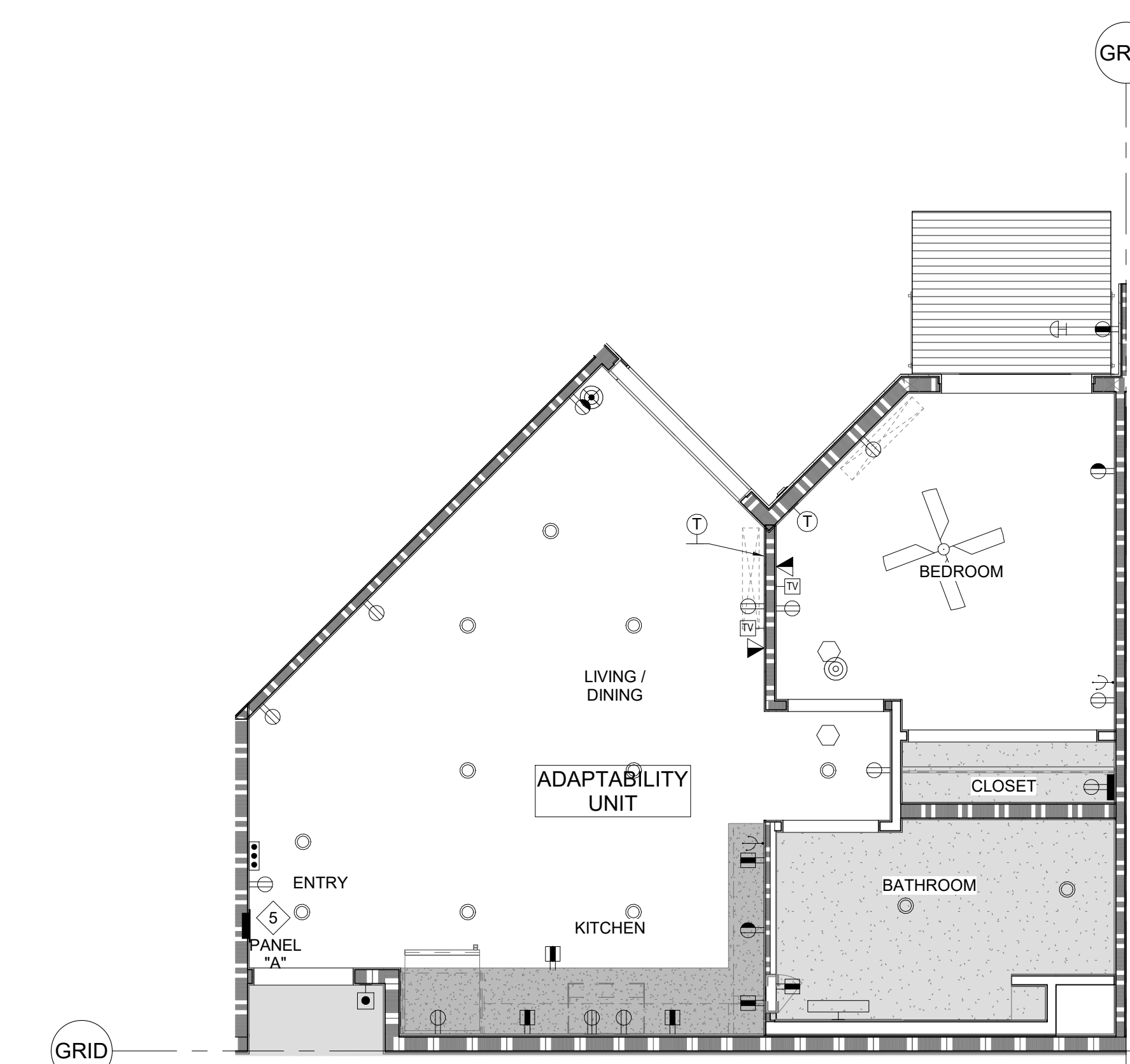


4 UNIT PLAN - A1-M (REVERSE) @ CORNER UNITS - PARTIAL REFLECTED CEILING PLAN  
1/4" = 1'-0"

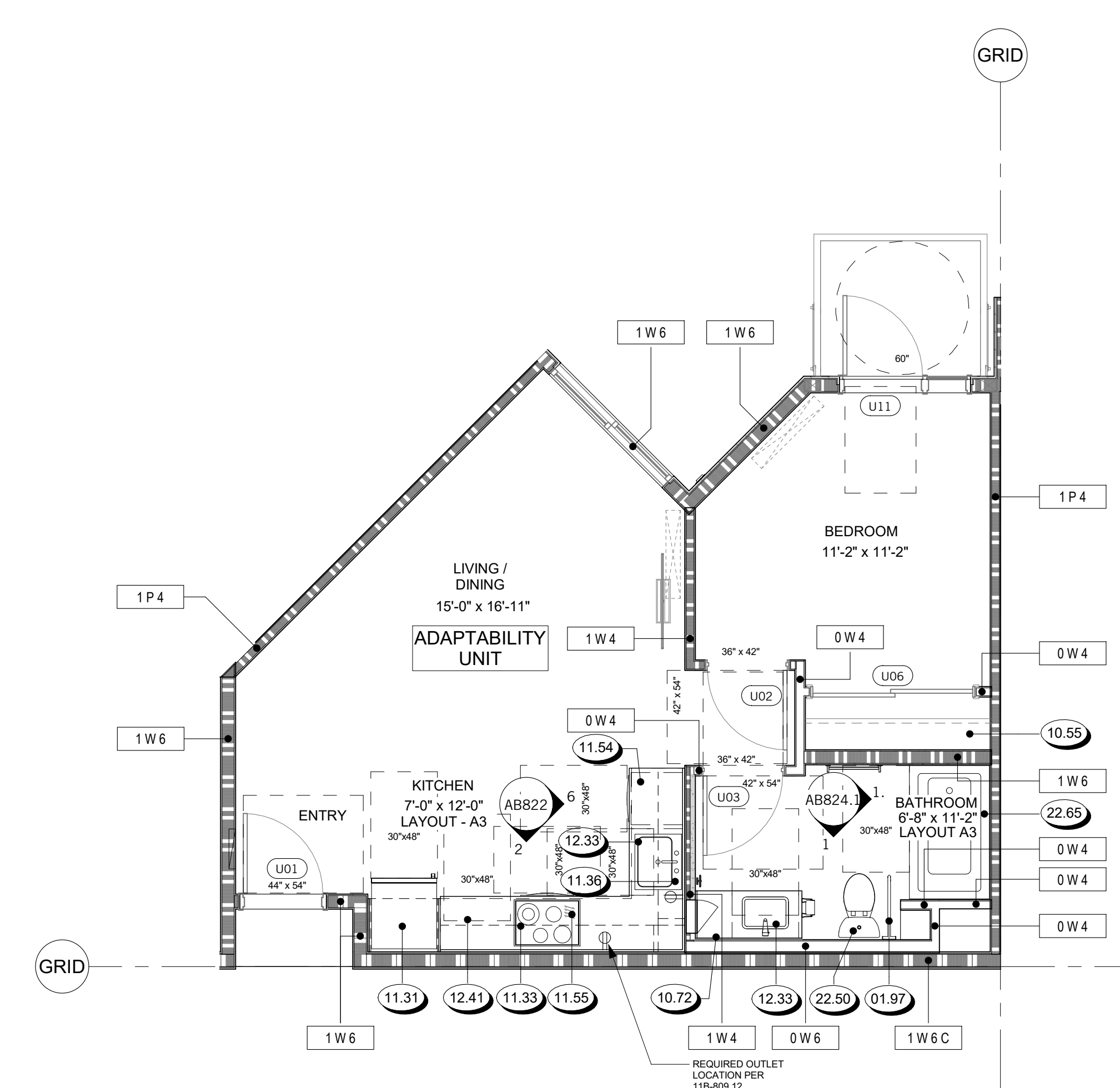


2 UNIT PLAN - A1-M (MOBILITY) ANNOTATION PLAN  
1/4" = 1'-0"

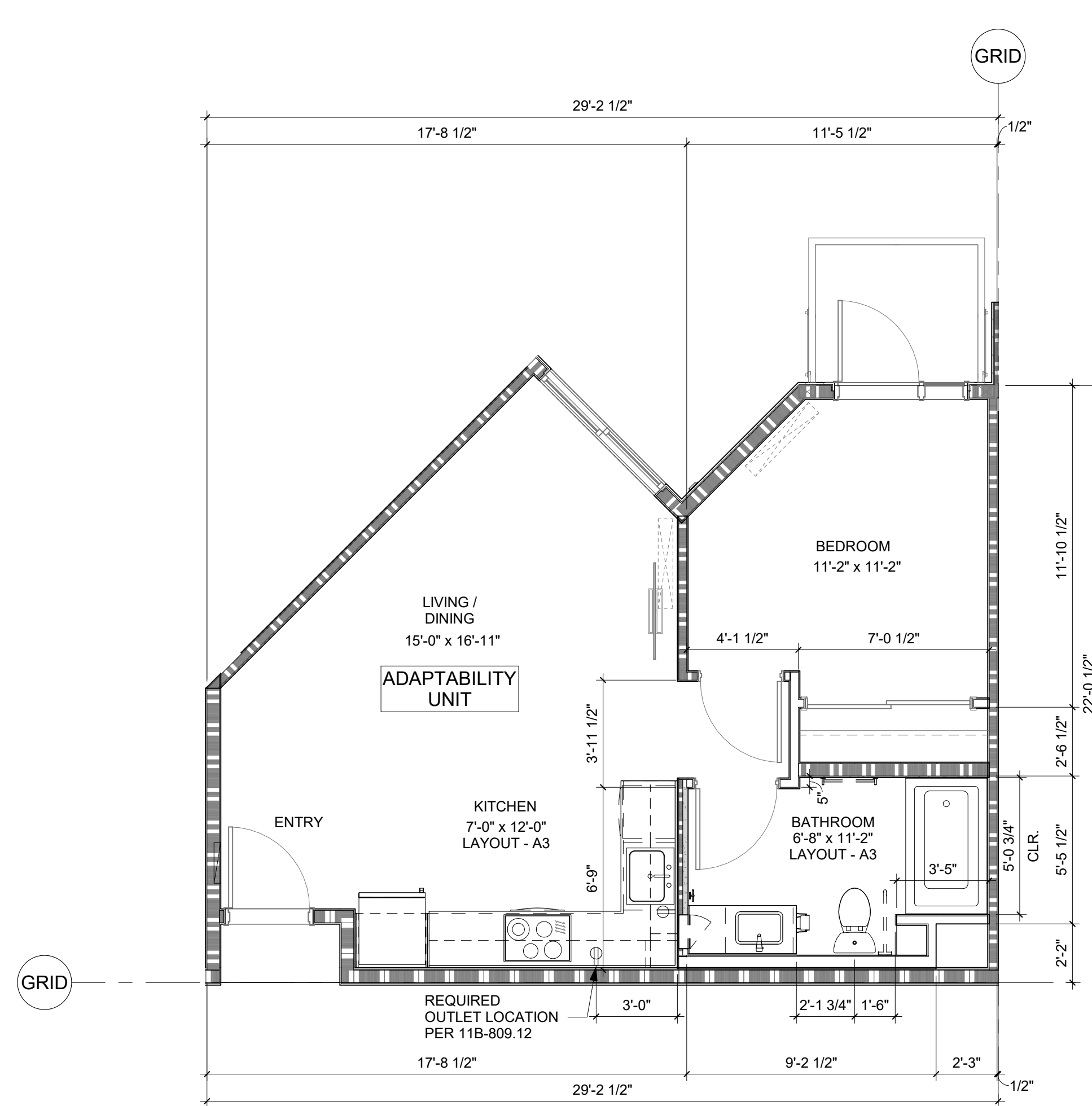
UNIT PLAN SYMBOLS	UNIT PLAN NOTES																										
<p>WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1</p> <p>SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501</p> <p>STRUCTURAL COLUMNS, S.S.D.</p> <p>5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1</p> <p>30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3</p> <p>30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2</p> <p>WALL TYPE - SEE SHEETS A741 &amp; G310</p> <p>WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS</p> <p>DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS</p> <p>ROOM NUMBER</p> <p>RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4</p> <p>SLIDE-IN LINEN CABINET</p> <p>1 SHELF &amp; 1 POLE. SEE DETAIL</p> <p>30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8" SHOWER HEAD AT +78" &amp; PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH</p> <p>WATER CLOSET S.P.D.</p> <p>LAVATORY W/ FAUCET S.P.D.</p> <p>24" TOWEL BAR AT +40" HT. MAXIMUM</p> <p>TOILET PAPER HOLDER AT +24" HT.</p> <p>KITCHEN SINK W/ GARBAGE DISPOSAL &amp; FAUCET, S.P.D.</p> <p>DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL</p> <p>BUILT-IN ELECTRIC COOKTOP W/HOOD, LIGHT &amp; FAN ABOVE</p> <p>ELECTRIC WALL OVEN</p> <p>RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS</p> <p>REFRIGERATOR</p> <p>DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR</p> <p>WASHER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.</p> <p>STACKED WASHER &amp; DRYER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE SUPPLY &amp; WASTE LINE FOR WASHER. PROVIDE SMOOTH METAL VENT TO EXTERIOR FOR DRYER. PROVIDE GSM W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D. - S.M.D.</p> <p>FLOOR TYPE TRANSITION, SEE A7.3</p> <p>ELECTRICAL PANEL, MAX 48" AFF., S.E.D.</p> <p>42" SIDE AND 36" REAR GRAB BARS</p> <p>PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS</p> <p>80" A.F.F. CLEAR MIN. PTAC UNIT WALL-MOUNTED AT SIDEWALL AT 1 BD UNITS</p> <p>WALL-MOUNTED MINI-SPLIT UNIT AT ALL 2BD &amp; 3BD UNITS</p>	<ol style="list-style-type: none"> <li>ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION (U.O.N.)</li> <li>ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)</li> <li>ALL DIMENSIONS AT WINDOWS &amp; DOORS ARE TO THE CENTERLINE (U.O.N.)</li> <li>ALL ANGLED WALLS SHALL BE 45 DEGREES, U.O.N.</li> <li>ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.</li> <li>DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.</li> <li>ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X6 STUDS, U.O.N., S.S.D.</li> <li>ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>WINDOW HEAD HEIGHTS: 5'-0", U.O.N.</li> <li>ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.</li> <li>ALL COUNTERTOP, TUB DECKS &amp; WALLS AT TUBS &amp; SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +70" MIN. ABOVE DRAIN INLET PER CBC 1210.3</li> <li>VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION</li> <li>FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS</li> <li>FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS</li> <li>FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS</li> <li>FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2.2 SERIES</li> <li>SEE A7.3.1 FOR UNIT FINISH SCHEDULE</li> <li>FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 W.D. STUD U.O.N. SEE G3.1.1.</li> <li>REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS</li> <li>SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS, A2.1 SERIES SHEETS</li> <li>11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES</li> <li>REFER TO A753 FOR UNIT INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol>																										
<p>REFLECTED CEILING SYMBOLS</p> <p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-0" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 8'-2" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB22 &amp; AB22.4</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT. REFER TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAINT PER FINISH SCHEDULE, SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<p>CEILING PLAN NOTES</p> <ol style="list-style-type: none"> <li>CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.</li> <li>EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</li> <li>ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</li> <li>ALL DIMENSIONS TO F.O. STUD, (U.O.N.)</li> <li>FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</li> <li>FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</li> <li>LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</li> <li>FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</li> <li>COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING</li> <li>SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</li> <li>SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</li> <li>STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" IN CONCEALED SPACE ABOVE CEILINGS ON BOTH SIDES OF 1-HR. RATED WALLS</li> <li>ALL DROPPED CEILINGS IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF. U.O.N. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF. U.O.N.</li> <li>REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol> <p>FIRE RESISTIVE WALL LEGEND</p> <p>(SEE SHEET SERIES A200 &amp; A400 FOR WALL TAGS.) (SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <ul style="list-style-type: none"> <li>FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</li> <li>ALL OPENINGS AND PENETRATIONS IN SHAFT ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</li> <li>FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</li> </ul> <p><b>NON-RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</li> </ul> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION, PER CBC 420 AND 708.3)</li> <li>CORRIDORS (1W / A741) (FIRE PARTITION, PER CBC 1020)</li> <li>INTERIOR BEARING (1W / A741) (FIRE PARTITION, PER CBC 1020 AND 602.1)</li> <li>NON-BEARING EXTERIOR (1W / A741)</li> <li>STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</li> </ul> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</li> <li>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</li> <li>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS) PER 2022 CBC 707. SEE DETAIL (2B / A741)</li> <li>2-HR. C-H CHANNEL SHAFT ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</li> </ul>																										
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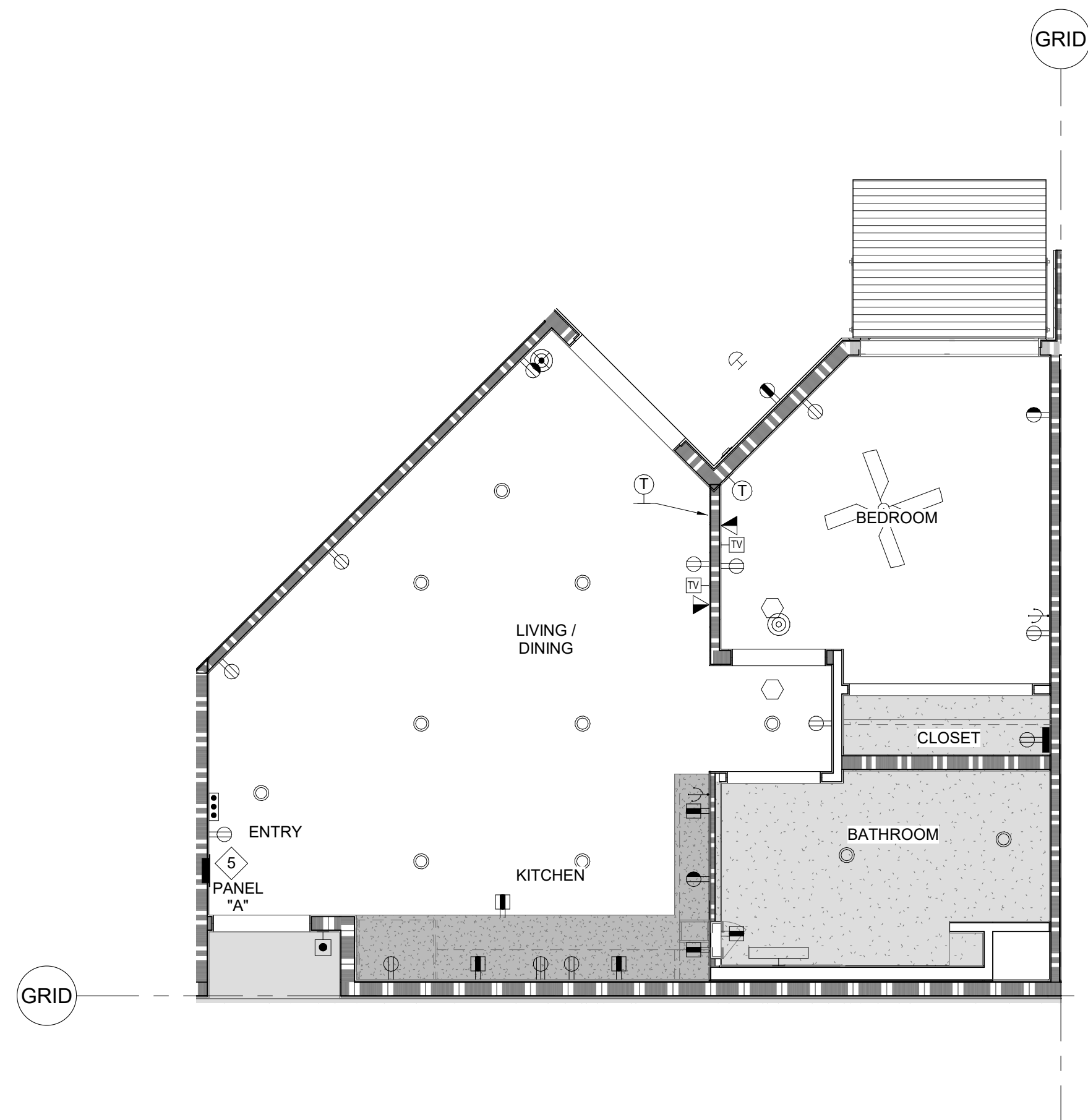
PERMIT SET	11.20.23
CONSTRUCTION SET	12.20.23

REVISIONS

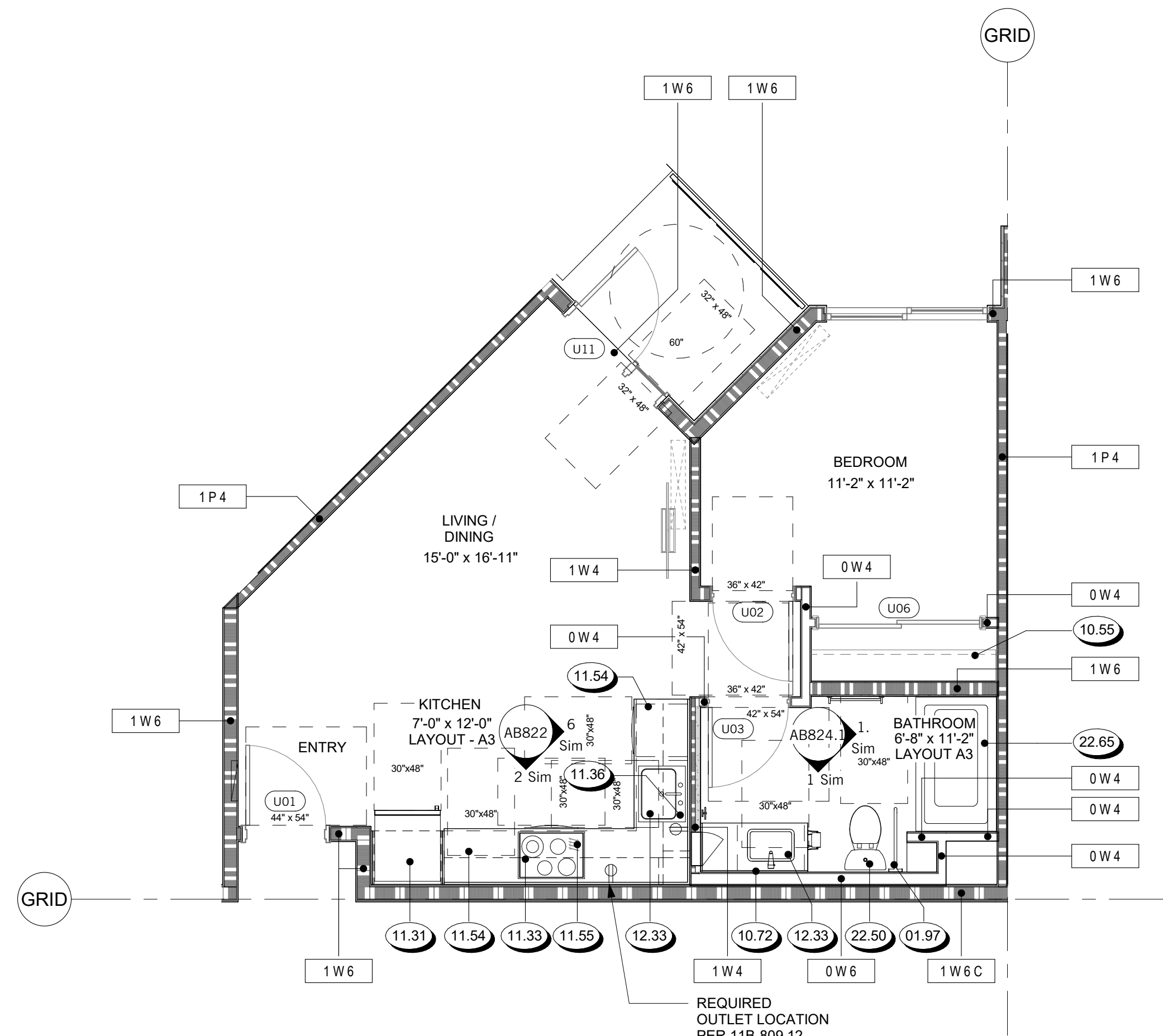


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DRAWN Author  
CHECK Checker  
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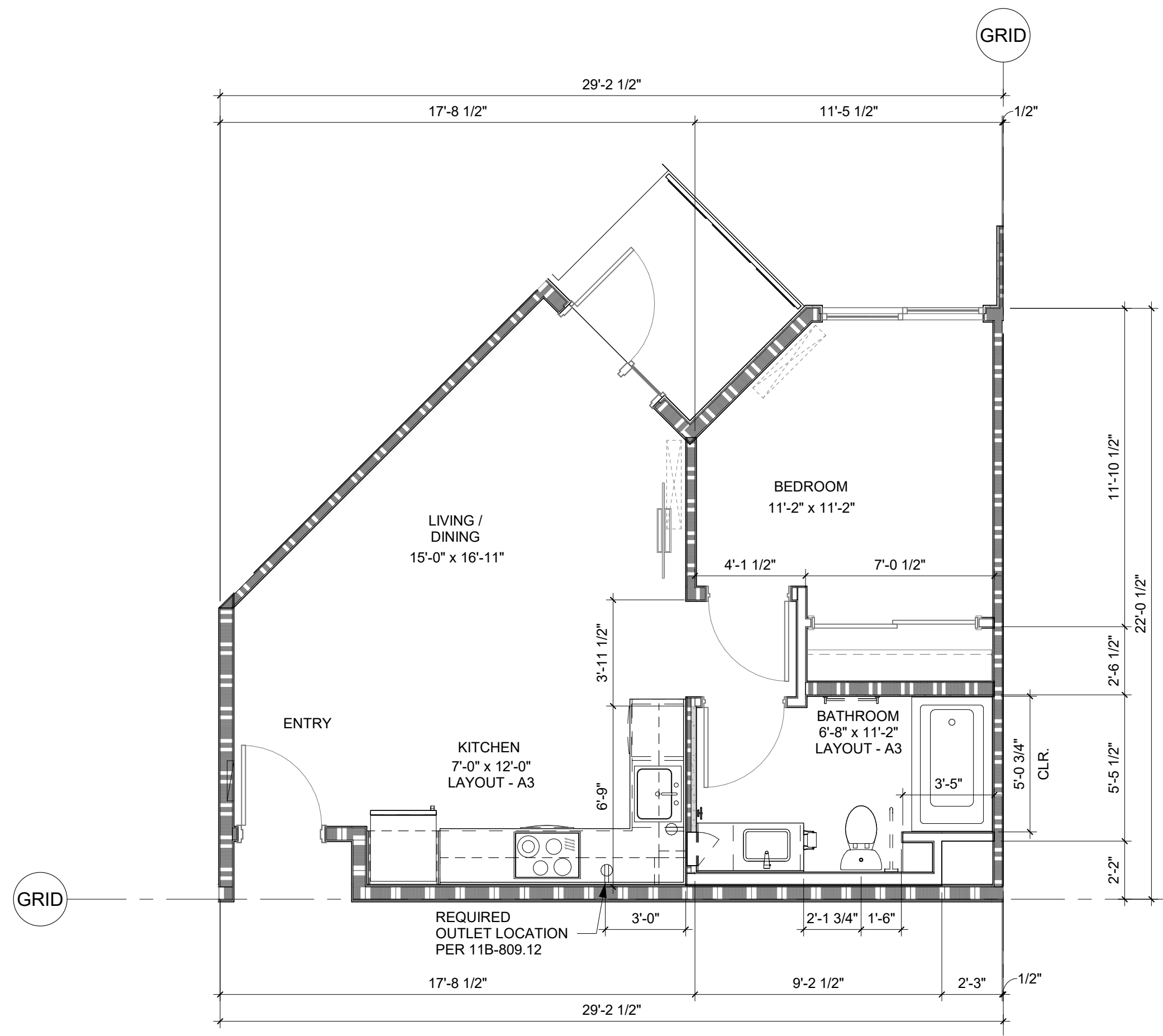
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<p>WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1</p> <p>SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501</p> <p>STRUCTURAL COLUMNS, S.S.D.</p> <p>5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1</p> <p>30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3</p> <p>30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2</p> <p>WALL TYPE - SEE SHEETS A741 &amp; G310</p> <p>WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS</p> <p>DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS</p> <p>ROOM NUMBER</p> <p>RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4</p> <p>SLIDE-IN LINEN CABINET</p> <p>1 SHELF &amp; 1 POLE. SEE DETAIL</p> <p>30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8". SHOWER HEAD AT +78" &amp; PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH</p> <p>WATER CLOSET S.P.D.</p> <p>LAVATORY W/ FAUCET S.P.D.</p> <p>24" TOWEL BAR AT +40" HT. MAXIMUM</p> <p>TOILET PAPER HOLDER AT +24" HT.</p> <p>KITCHEN SINK W/ GARBAGE DISPOSAL &amp; FAUCET, S.P.D.</p> <p>DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL</p> <p>BUILT-IN ELECTRIC COOKTOP W/HOOD, LIGHT &amp; FAN ABOVE</p> <p>ELECTRIC WALL OVEN</p> <p>RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS</p> <p>REFRIGERATOR</p> <p>DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR</p> <p>WASHER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.</p> <p>STACKED WASHER &amp; DRYER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE SUPPLY &amp; WASTE LINE FOR WASHER. PROVIDE SMOOTH METAL VENT TO EXTERIOR FOR DRYER. PROVIDE GSM W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D. S.M.D.</p> <p>FLOOR TYPE TRANSITION. SEE A7.3</p> <p>ELECTRICAL PANEL, MAX 48" AFF., S.E.D.</p> <p>42" SIDE AND 36" REAR GRAB BARS</p> <p>PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS</p> <p>80" A.F.F. CLEAR MIN. PTAC UNIT WALL-MOUNTED AT SIDEWALL AT 1 BD UNITS</p> <p>WALL-MOUNTED MINI-SPLIT UNIT AT ALL 2BD &amp; 3BD UNITS</p>	<p>1. ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION (U.O.N.)</p> <p>2. ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)</p> <p>3. ALL DIMENSIONS AT WINDOWS &amp; DOORS ARE TO THE CENTERLINE (U.O.N.)</p> <p>4. ALL ANGLED WALLS SHALL BE 45 DEGREES, U.O.N.</p> <p>5. ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.</p> <p>6. DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.</p> <p>7. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</p> <p>8. ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</p> <p>9. WINDOW HEAD HEIGHTS: 5'-0" U.O.N.</p> <p>10. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.</p> <p>11. ALL COUNTERS, TUB DECKS &amp; WALLS AT TUBS &amp; SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +70" MIN. ABOVE DRAIN INLET PER CBC 1210.3</p> <p>12. VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION</p> <p>13. FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS</p> <p>14. FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS</p> <p>15. FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS</p> <p>16. FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2.2 SERIES</p> <p>17. SEE A7.3.1 FOR UNIT FINISH SCHEDULE</p> <p>18. FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</p> <p>19. FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</p> <p>20. ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 W.D. STUD U.O.N. SEE G3.1.1.</p> <p>21. REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS</p> <p>22. SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS. A2.1 SERIES SHEETS</p> <p>23. 11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES</p> <p>24. REFER TO A753 FOR UNIT INTERIOR MATERIAL &amp; FINISH SCHEDULES.</p>																								
<p>REFLECTED CEILING SYMBOLS</p> <p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-0" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 9'-2" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB22 &amp; AB22</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT. REFER TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAINT PER FINISH SCHEDULE. SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<p>CEILING PLAN NOTES</p> <p>1. CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.</p> <p>2. EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</p> <p>3. ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</p> <p>4. ALL DIMENSIONS TO F.O. STUD. (U.O.N.)</p> <p>5. FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</p> <p>6. FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</p> <p>7. LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</p> <p>8. FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</p> <p>9. COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING.</p> <p>10. SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</p> <p>11. SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</p> <p>12. STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" IN CONCEALED SPACE ABOVE CEILINGS ON BOTH SIDES OF 1-HR. RATED WALLS</p> <p>13. ALL DROPPED CEILINGS IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF U.O.N. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF U.O.N.</p> <p>14. REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</p>																								
<p>FIRE RESISTIVE WALL LEGEND</p> <p>(SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <p>• FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</p> <p>• ALL OPENINGS AND PENETRATIONS IN SHAF. ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</p> <p>• FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</p> <p><b>NON-RATED ASSEMBLIES:</b></p> <p>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</p> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <p>• DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION), PER CBC 420 AND 708.3</p> <p>• CORRIDORS (1W / A741) (FIRE PARTITION), PER CBC 1020</p> <p>• INTERIOR BEARING (1W / A741) (FIRE PARTITION), PER CBC 1000 AND 602.1</p> <p>• NON-BEARING EXTERIOR (1W / A741)</p> <p>• STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</p> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <p>2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706, SEE (2T / A741)</p> <p>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</p> <p>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS); PER 2022 CBC 707. SEE DETAIL (2B / A741)</p> <p>2-HR. C-H CHANNEL SHAF. ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</p>	<p>KEYNOTE LEGEND</p> <table border="1"> <thead> <tr> <th>Key Value</th> <th>Keynote Text</th> </tr> </thead> <tbody> <tr> <td>01.97</td> <td>INSTALL FOLD-AWAY GRAB BAR OF MOBILITY TOILET CBC 11B-809.10.7.3. #1. PROVIDE REINFORCEMENT. SEE 10/G146</td> </tr> <tr> <td>10.55</td> <td>SINGLE POLE SHELF. SEE 26/A821. SID.</td> </tr> <tr> <td>10.72</td> <td>ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-603.3</td> </tr> <tr> <td>11.31</td> <td>REFRIGERATOR, SID</td> </tr> <tr> <td>11.33</td> <td>RANGE HOOD - SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.</td> </tr> <tr> <td>11.36</td> <td>GARBAGE DISPOSAL</td> </tr> <tr> <td>11.54</td> <td>24" FRONT CONTROL DISHWASHER</td> </tr> <tr> <td>11.55</td> <td>30" ELECTRIC COOKTOP</td> </tr> <tr> <td>12.33</td> <td>REMOVABLE BASE MANUFACTURED CASEWORK. EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150. INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY. SPD</td> </tr> <tr> <td>22.50</td> <td>WATER CLOSET, SPD. WITHIN DWELLING UNITS. PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 3/G146. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY</td> </tr> <tr> <td>22.65</td> <td>STERLING ACCORD 4 PIECE FIBERGLASS TUB AND SURROUND. PROVIDE CONTINUOUS BACKING FOR FUTURE GRAB BARS. SEAT. ADJUSTABLE SHOWER HEAD WITH ADDITIONAL MOUNTING BLOCK.</td> </tr> </tbody> </table>	Key Value	Keynote Text	01.97	INSTALL FOLD-AWAY GRAB BAR OF MOBILITY TOILET CBC 11B-809.10.7.3. #1. PROVIDE REINFORCEMENT. SEE 10/G146	10.55	SINGLE POLE SHELF. SEE 26/A821. SID.	10.72	ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-603.3	11.31	REFRIGERATOR, SID	11.33	RANGE HOOD - SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.	11.36	GARBAGE DISPOSAL	11.54	24" FRONT CONTROL DISHWASHER	11.55	30" ELECTRIC COOKTOP	12.33	REMOVABLE BASE MANUFACTURED CASEWORK. EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150. INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY. SPD	22.50	WATER CLOSET, SPD. WITHIN DWELLING UNITS. PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 3/G146. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY	22.65	STERLING ACCORD 4 PIECE FIBERGLASS TUB AND SURROUND. PROVIDE CONTINUOUS BACKING FOR FUTURE GRAB BARS. SEAT. ADJUSTABLE SHOWER HEAD WITH ADDITIONAL MOUNTING BLOCK.
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1/4" = 1'-0"

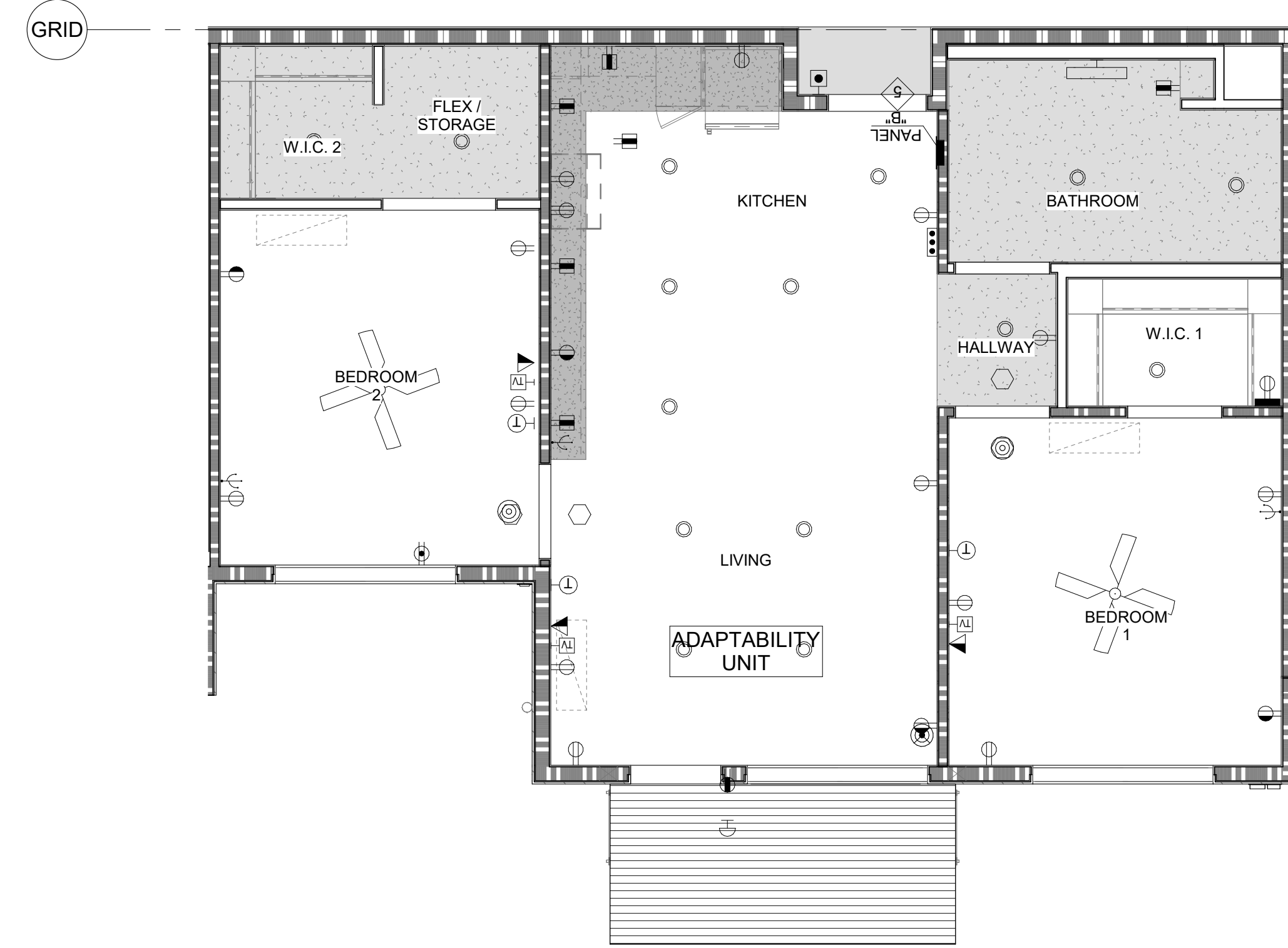


2 UNIT PLAN - A3-G ANNOTATION PLAN  
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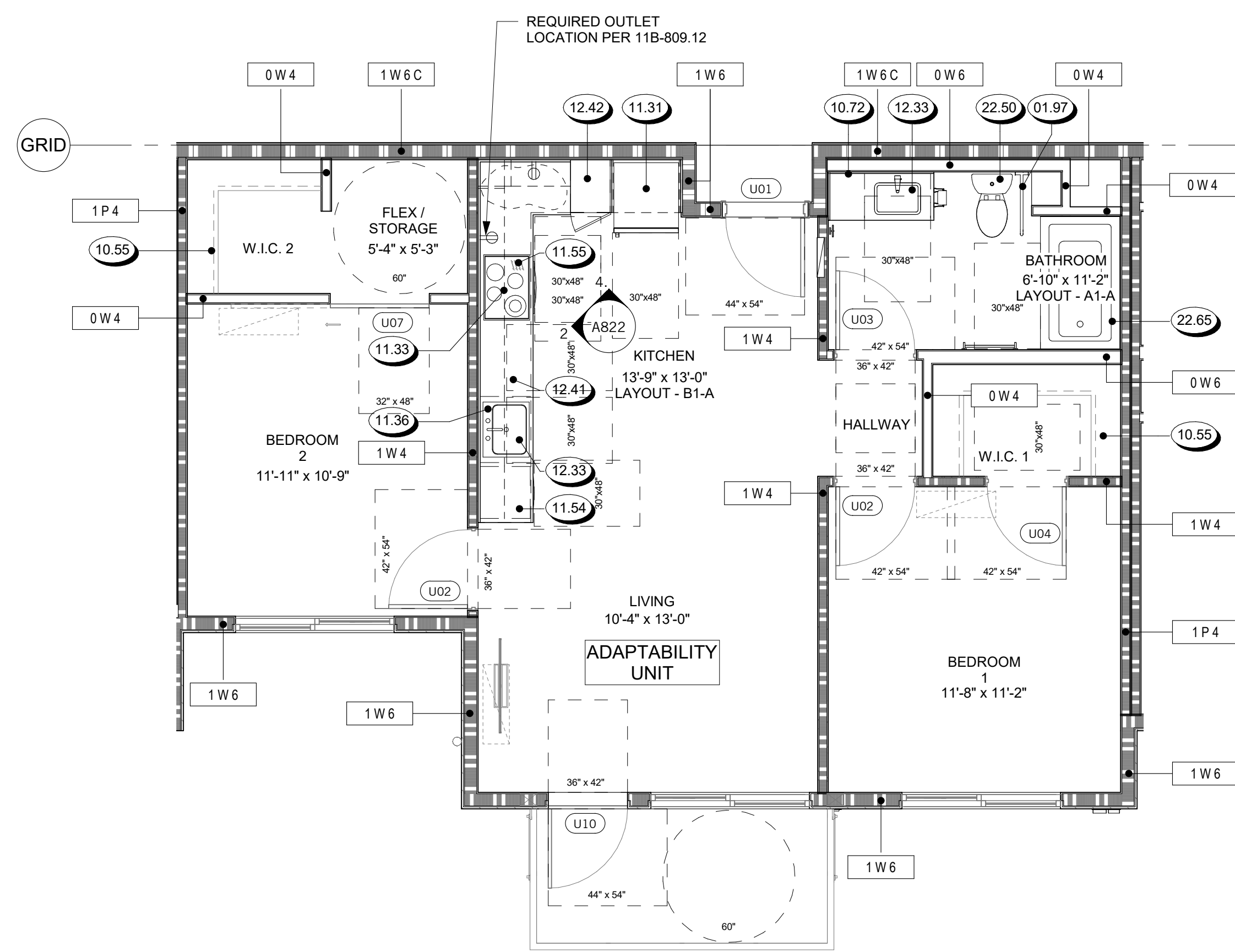


1 UNIT PLAN - A3-G DIMENSIONING PLAN  
1/4" = 1'-0"

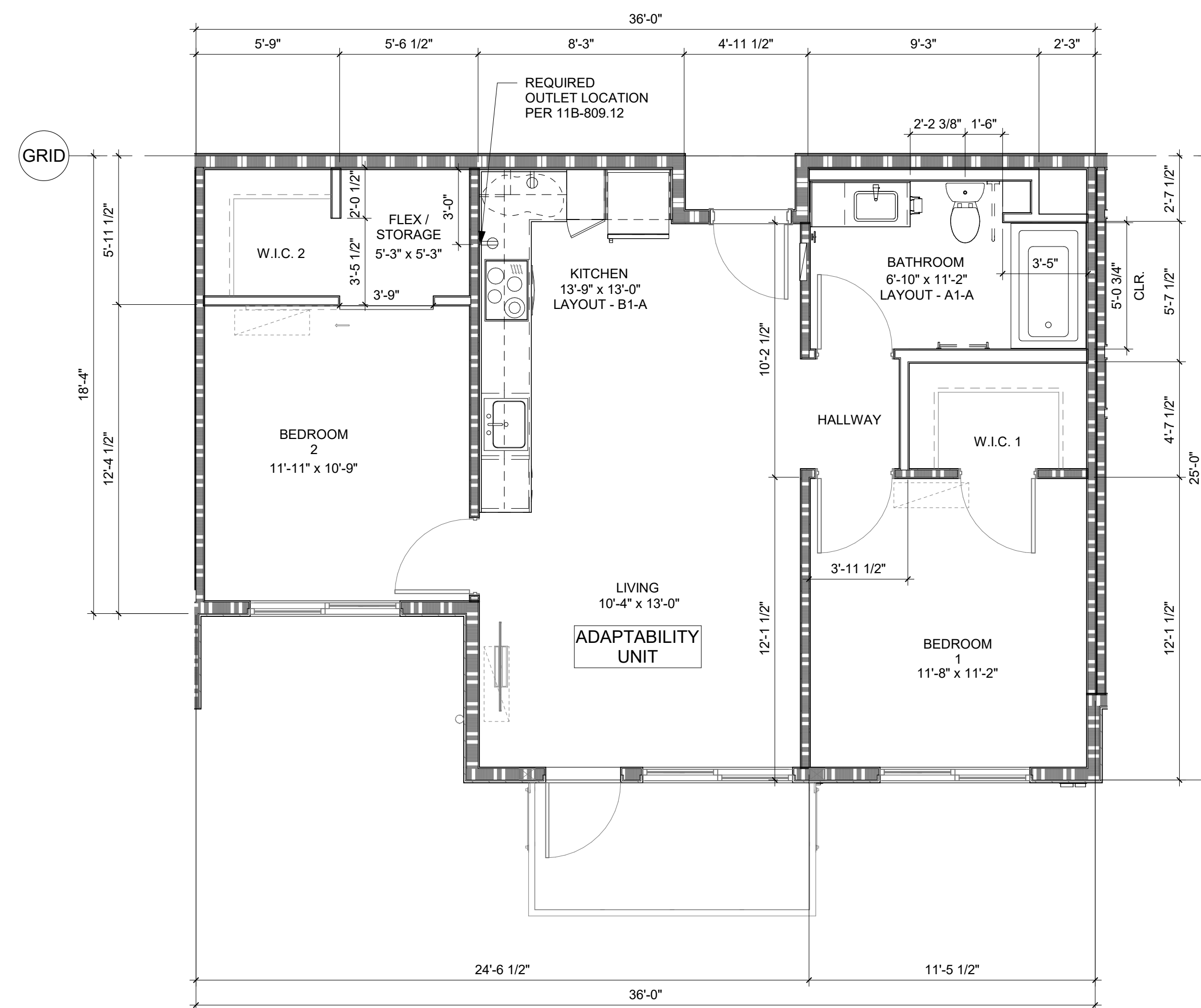
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1/4" = 1'-0"

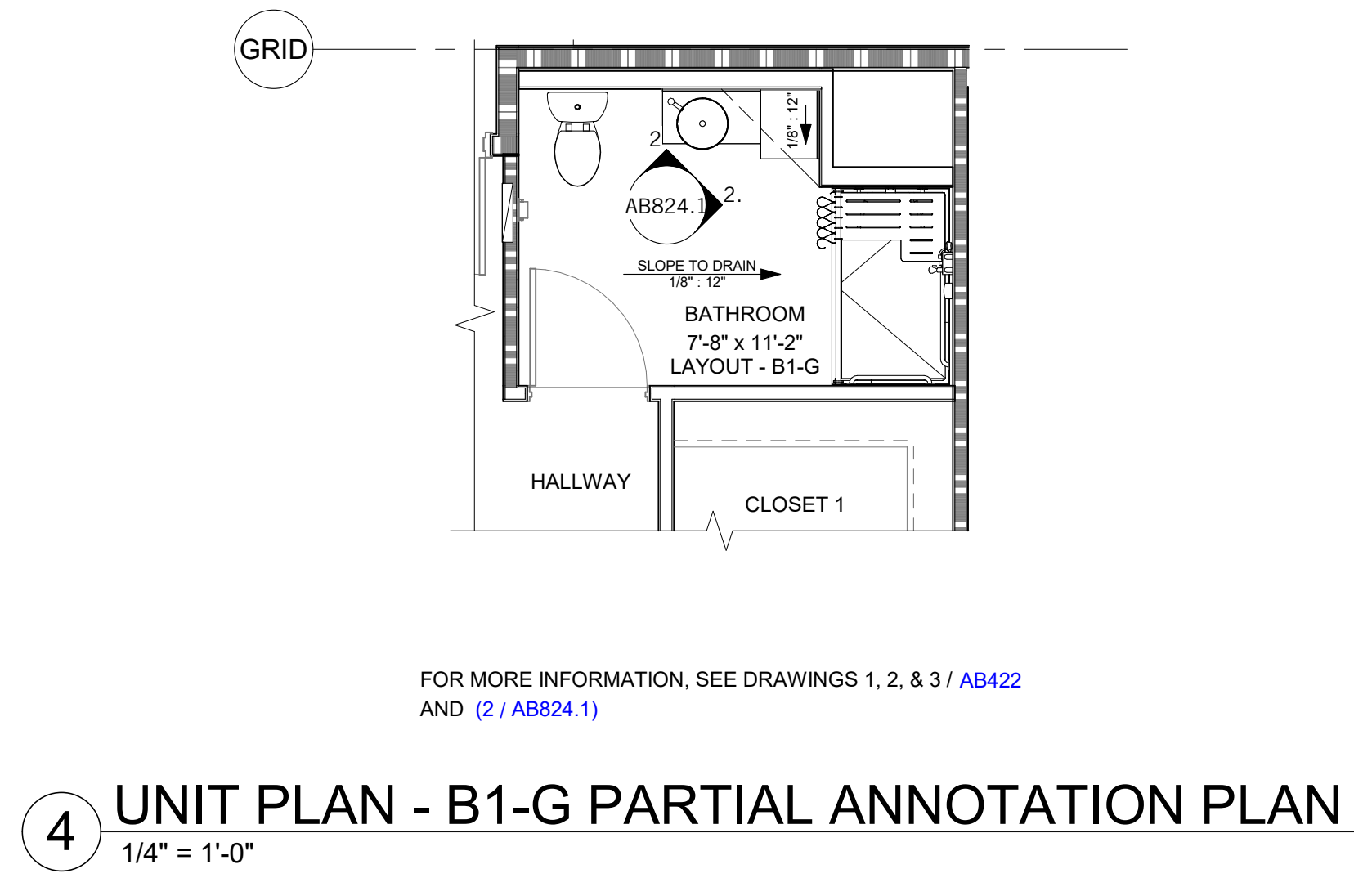


2 UNIT PLAN - B1-A ANNOTATION PLAN  
1/4" = 1'-0"

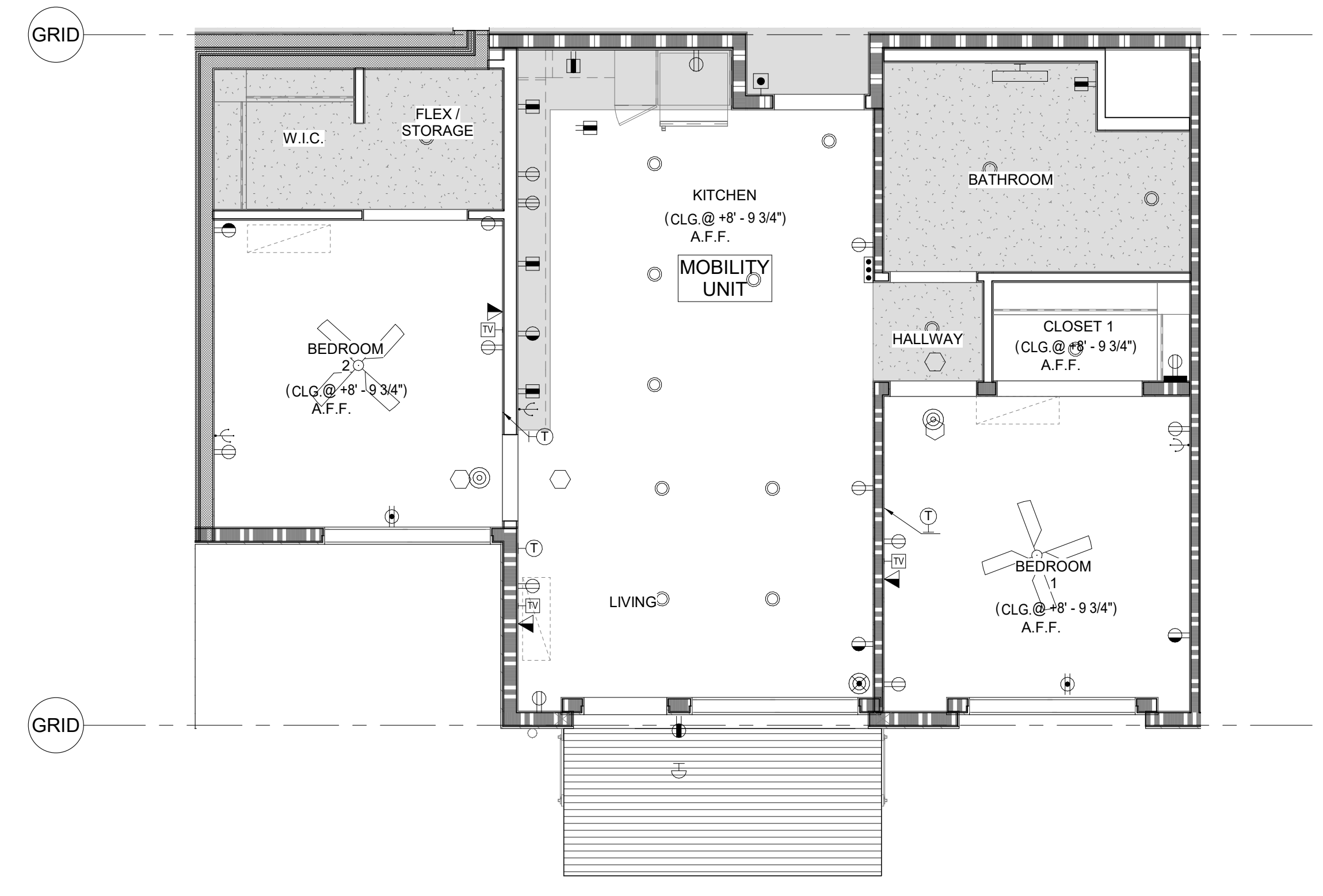


1 UNIT PLAN - B1-A DIMENSIONING PLAN  
1/4" = 1'-0"

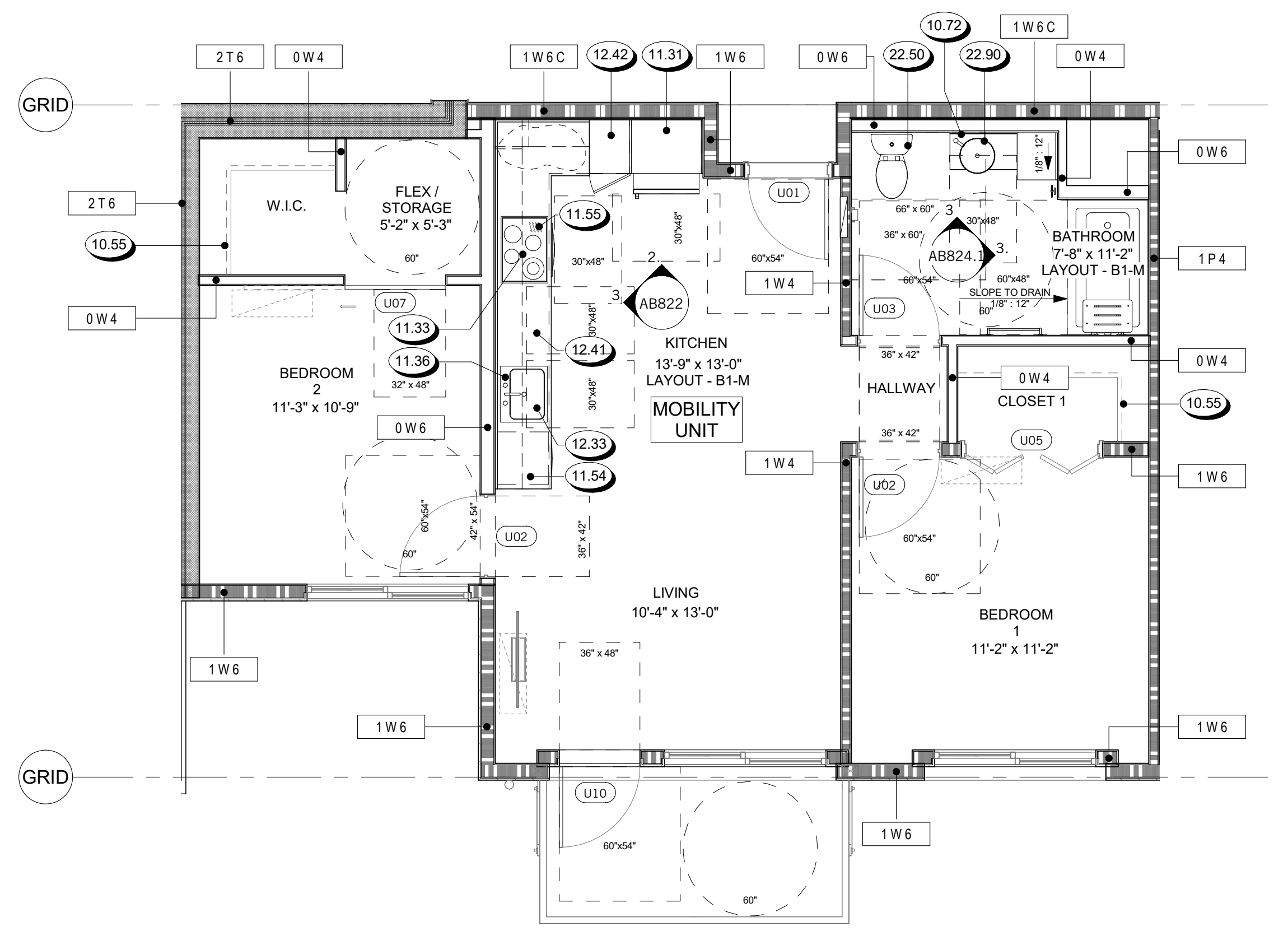
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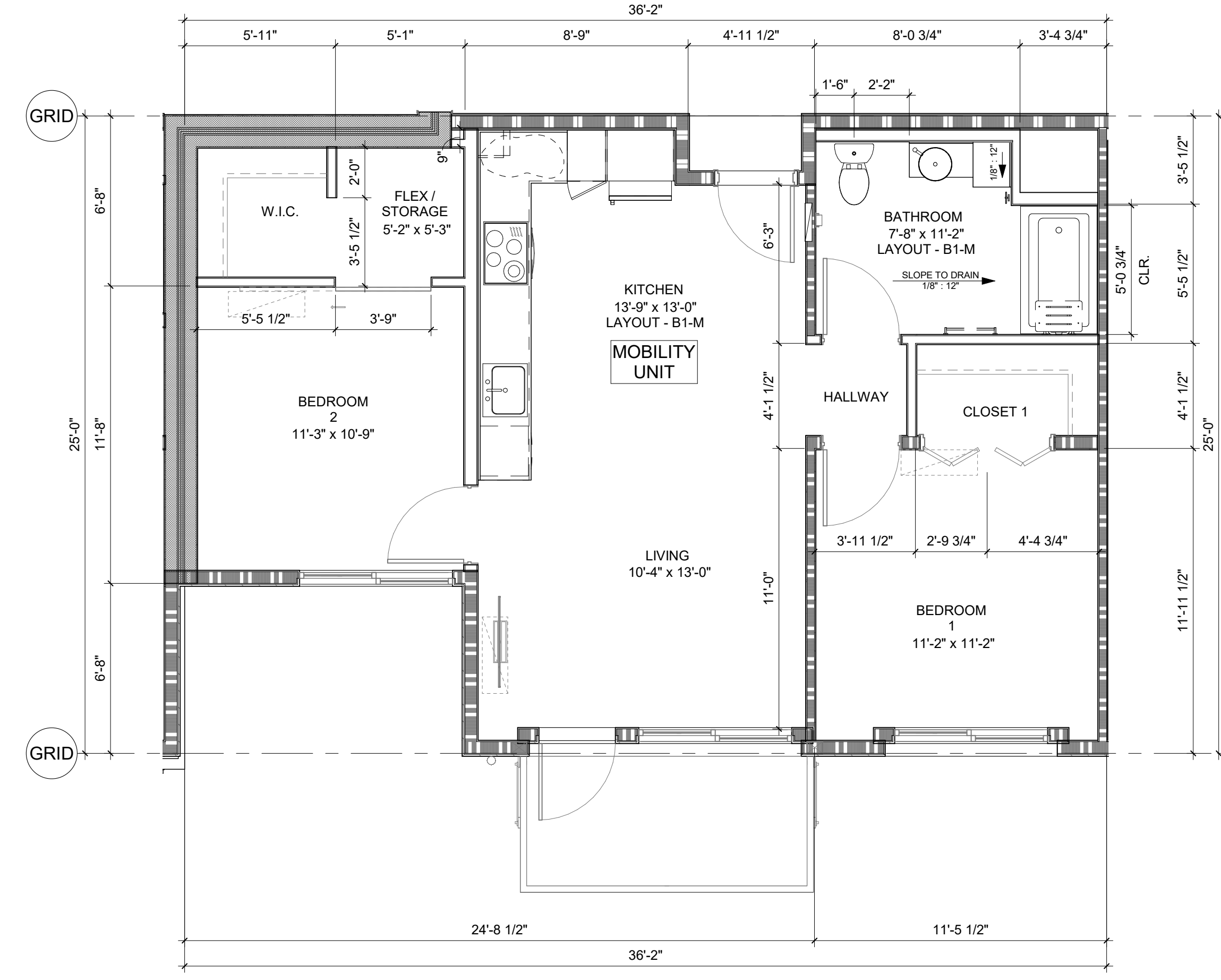
4 UNIT PLAN - B1-G PARTIAL ANNOTATION PLAN  
1/4" = 1'-0"



3 UNIT PLANS - B1-M & B1-G (MOBILITY) REFLECTED CEILING PLAN  
1/4" = 1'-0"

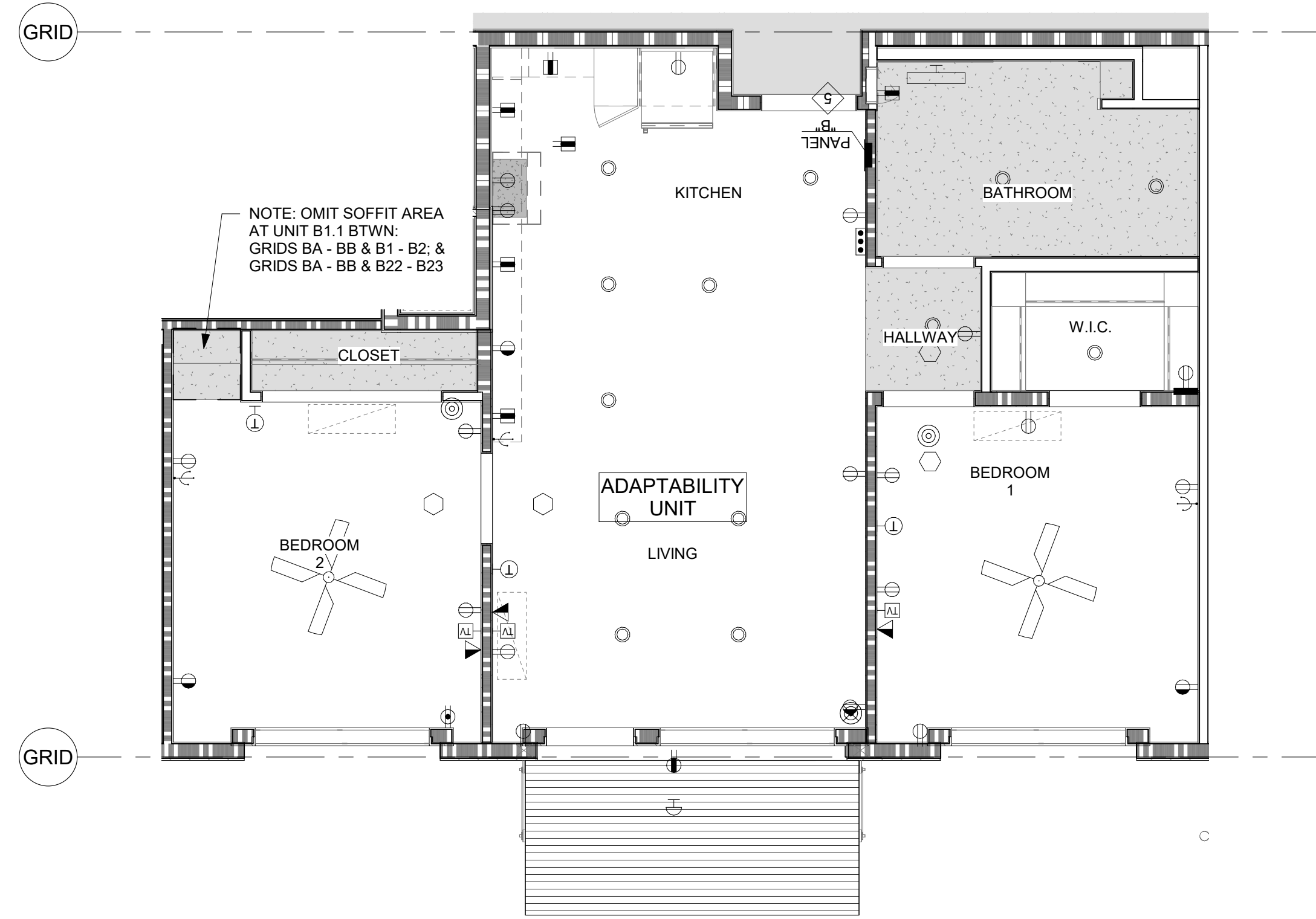


2 UNIT PLAN - B1-M (MOBILITY) ANNOTATION PLAN  
1/4" = 1'-0"

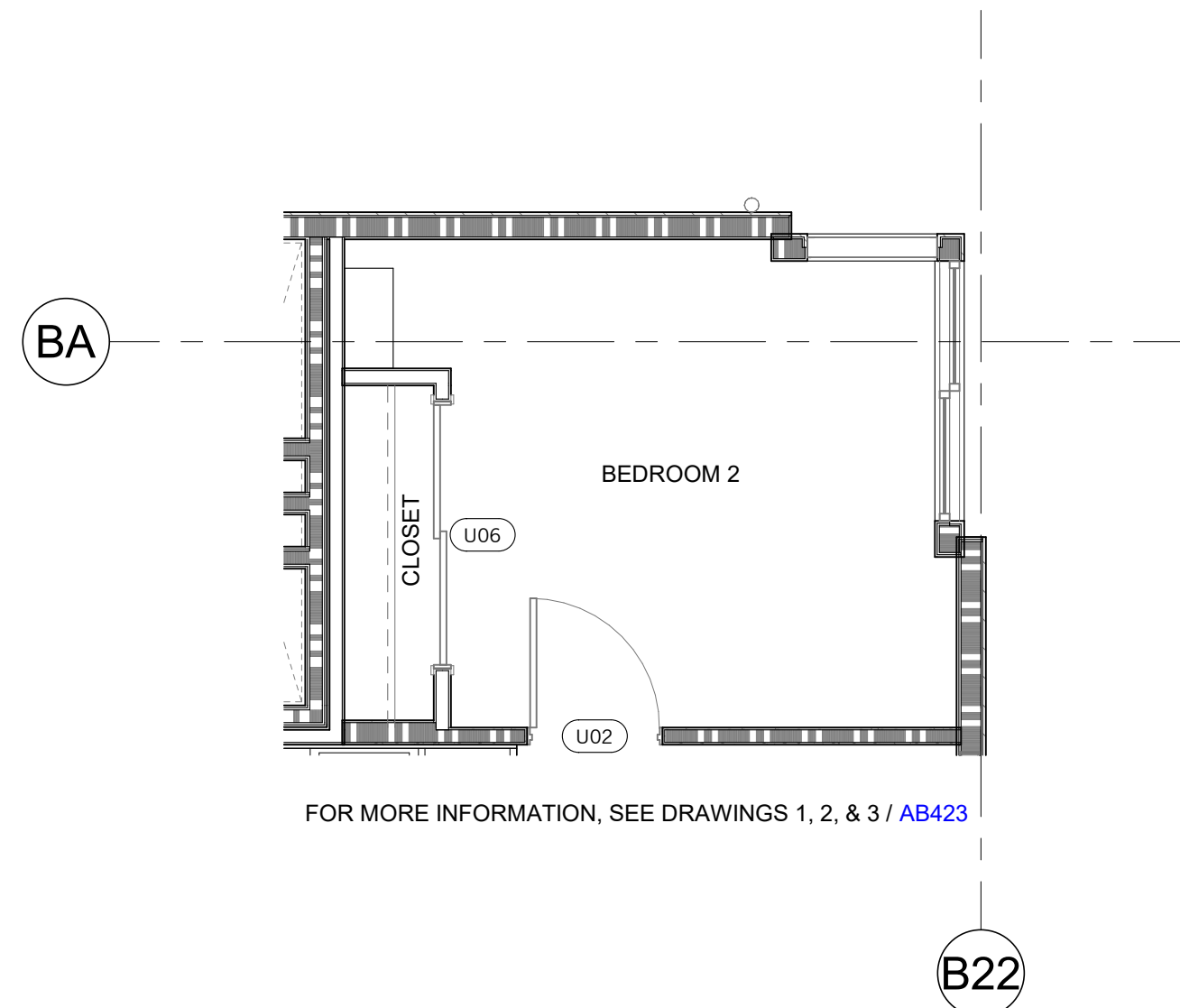


1 UNIT PLAN - B1-M (MOBILITY) DIMENSIONING PLAN  
1/4" = 1'-0"

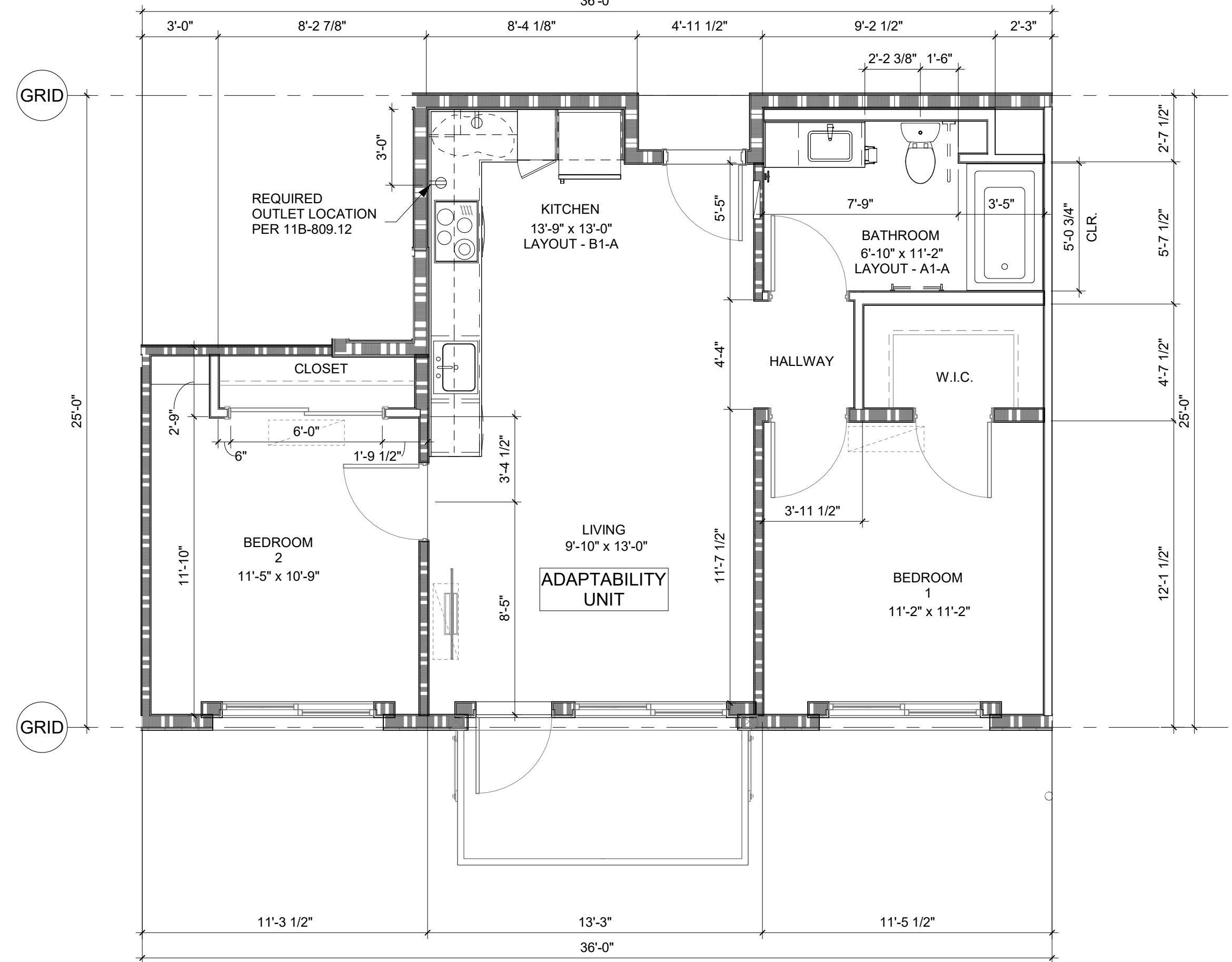
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FINISH FLOOR TO FACE OF CEILING GYP.</li> <li>EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</li> <li>ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</li> <li>ALL DIMENSIONS TO F.O. STUD. (U.O.N.)</li> <li>FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</li> <li>FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</li> <li>LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</li> <li>FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</li> <li>COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING</li> <li>SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</li> <li>SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</li> <li>STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS IN CONCEALED SPACE ABOVE CEILING ON BOTH SIDES OF 1-HR. RATED WALLS"</li> <li>ALL DROPPED CEILING IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF UON. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF UON.</li> <li>REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol> <p>FIRE RESISTIVE WALL LEGEND</p> <p>(SEE SHEET SERIES A200 &amp; A400 FOR WALL TAGS.) (SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <ul style="list-style-type: none"> <li>FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</li> <li>ALL OPENINGS AND PENETRATIONS IN SHAFT ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</li> <li>FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</li> </ul> <p><b>NON-RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</li> <li>1-HR. FIRE RATED ASSEMBLIES:             <ul style="list-style-type: none"> <li>DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION, PER CBC 420 AND 708.3)</li> <li>CORRIDORS (1W / A741) (FIRE PARTITION, PER CBC 1020)</li> <li>INTERIOR BEARING (1W / A741) (FIRE PARTITION, PER CBC 1000 AND 602.1)</li> <li>NON-BEARING INTERIOR (1W / A741)</li> <li>STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</li> </ul> </li> <li>2-HR. FIRE RATED ASSEMBLIES:             <ul style="list-style-type: none"> <li>2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</li> <li>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</li> <li>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS) PER 2022 CBC 707. SEE DETAIL (2B / A741)</li> <li>2-HR. C-H CHANNEL SHAFT ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</li> </ul> </li> </ul> <p><b>KEYNOTE LEGEND</b></p> <table border="1"> <thead> <tr> <th>Key Value</th> <th>Keynote Text</th> </tr> </thead> <tbody> <tr> <td>01.97</td> <td>INSTALL FOLD-AWAY GRAB BAR OF MOBILITY TOILET CBC 11B-809.10.7.3, #1. PROVIDE REINFORCEMENT. SEE 16/G146.</td> </tr> <tr> <td>10.55</td> <td>SINGLE POLE SHELF. SEE 26/A821; S.D.</td> </tr> <tr> <td>10.72</td> <td>ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-803.3</td> </tr> <tr> <td>11.31</td> <td>REFRIGERATOR. S/D</td> </tr> <tr> <td>11.33</td> <td>RANGE HOOD. SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE. 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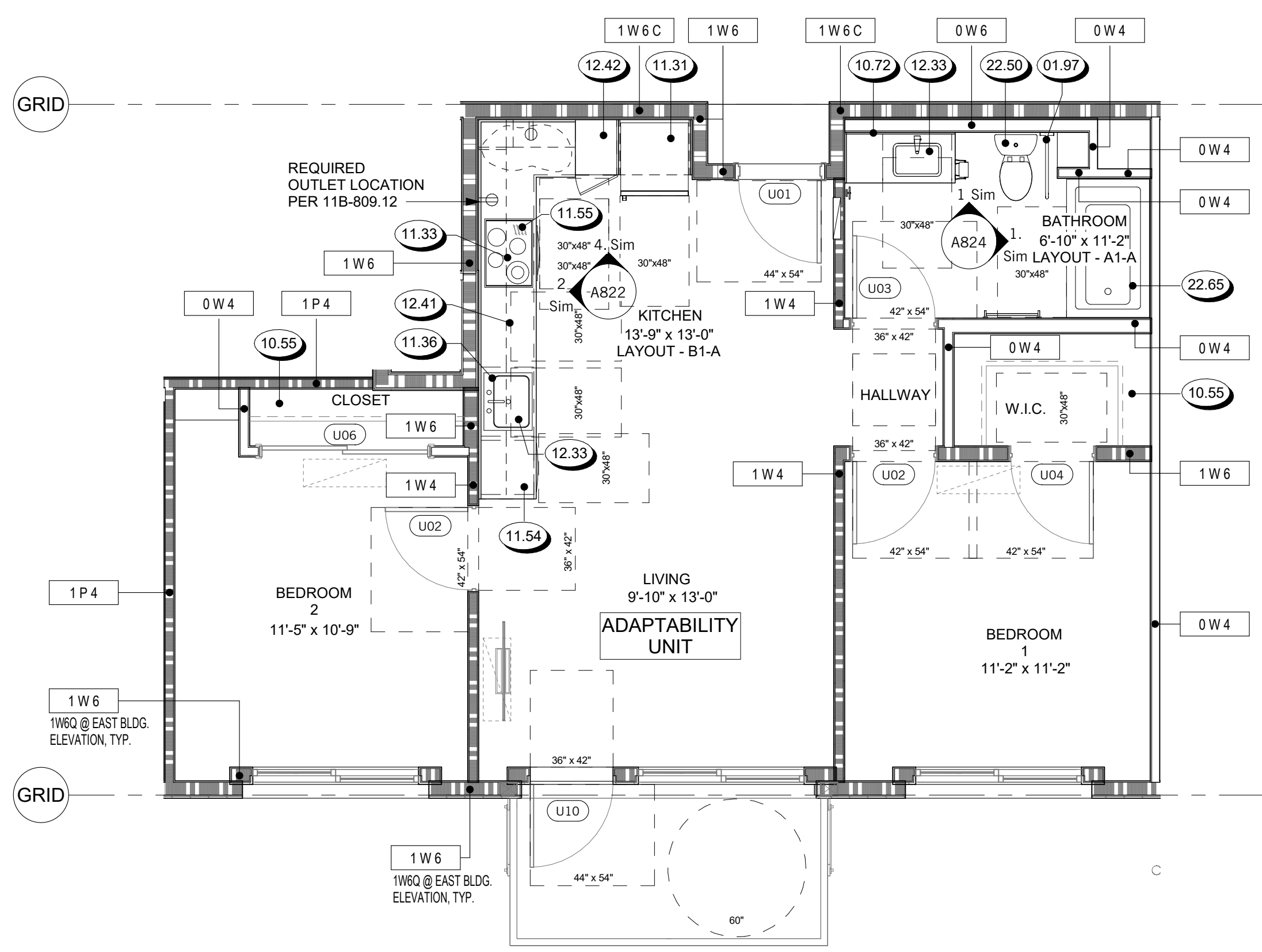
3 UNIT PLAN - B1.1 REFLECTED CEILING PLAN  
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4 UNIT PLAN - B1.1 PARTIAL ANNOTATION PLAN  
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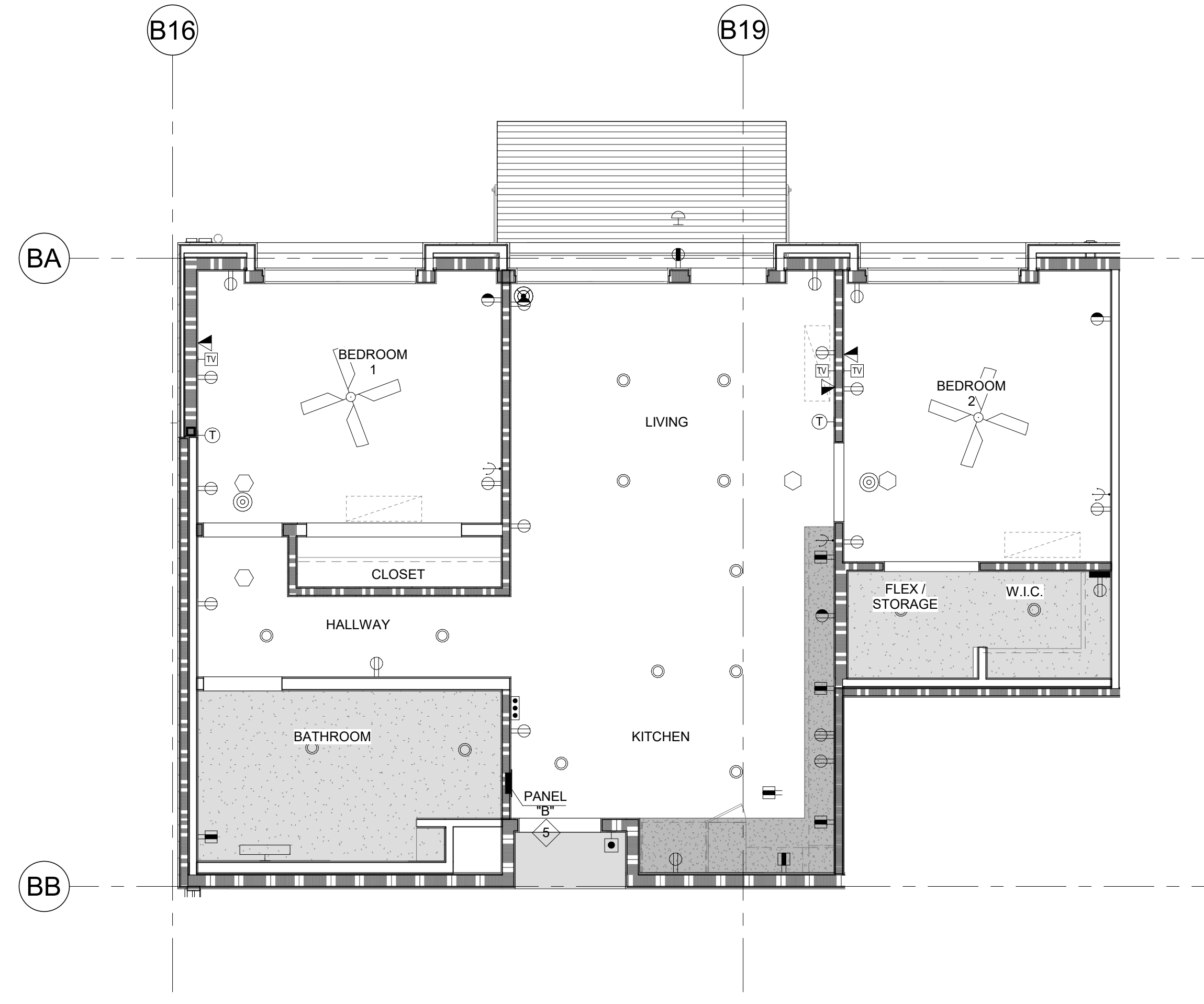


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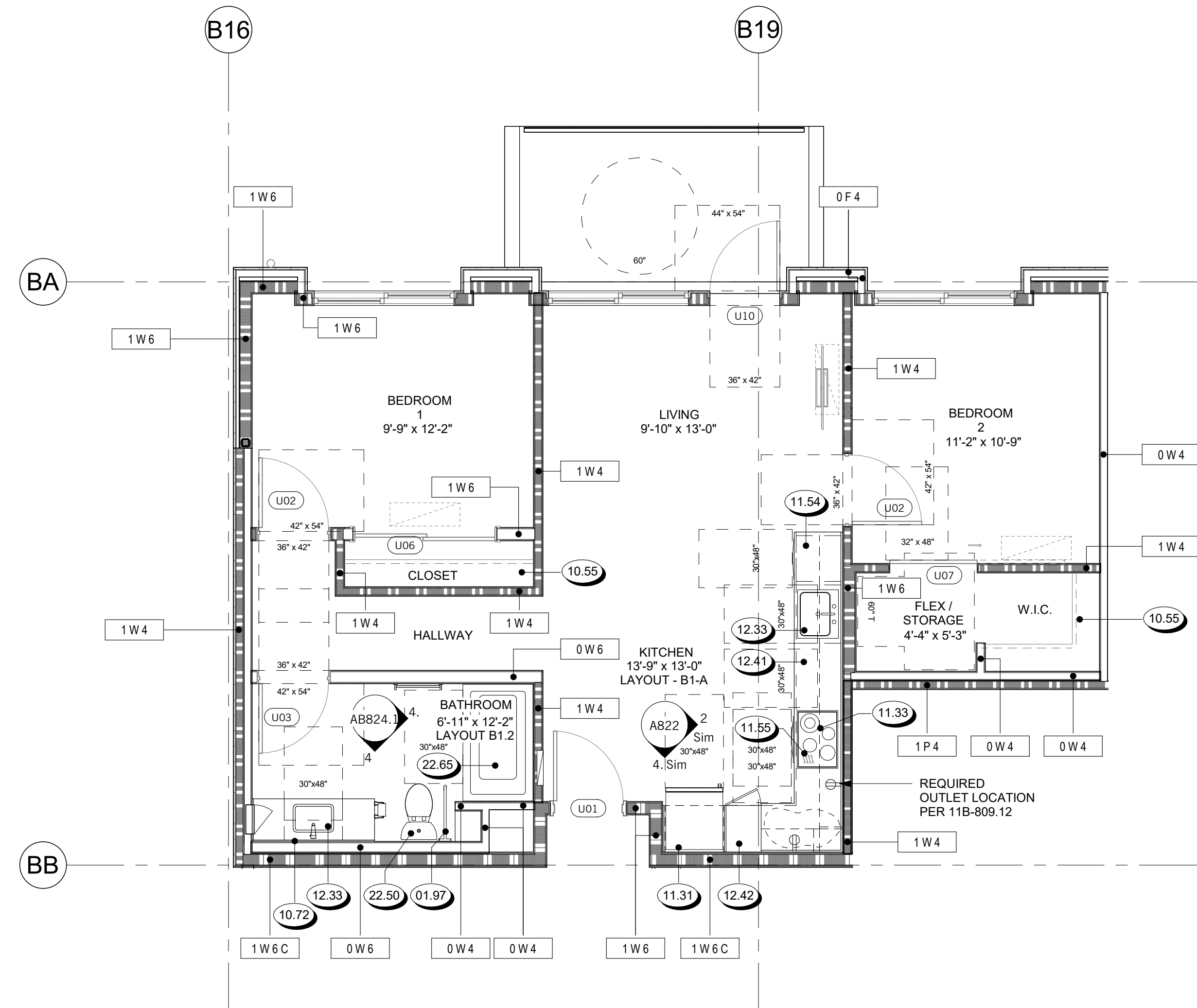


2 UNIT PLAN - B1.1 ANNOTATION PLAN  
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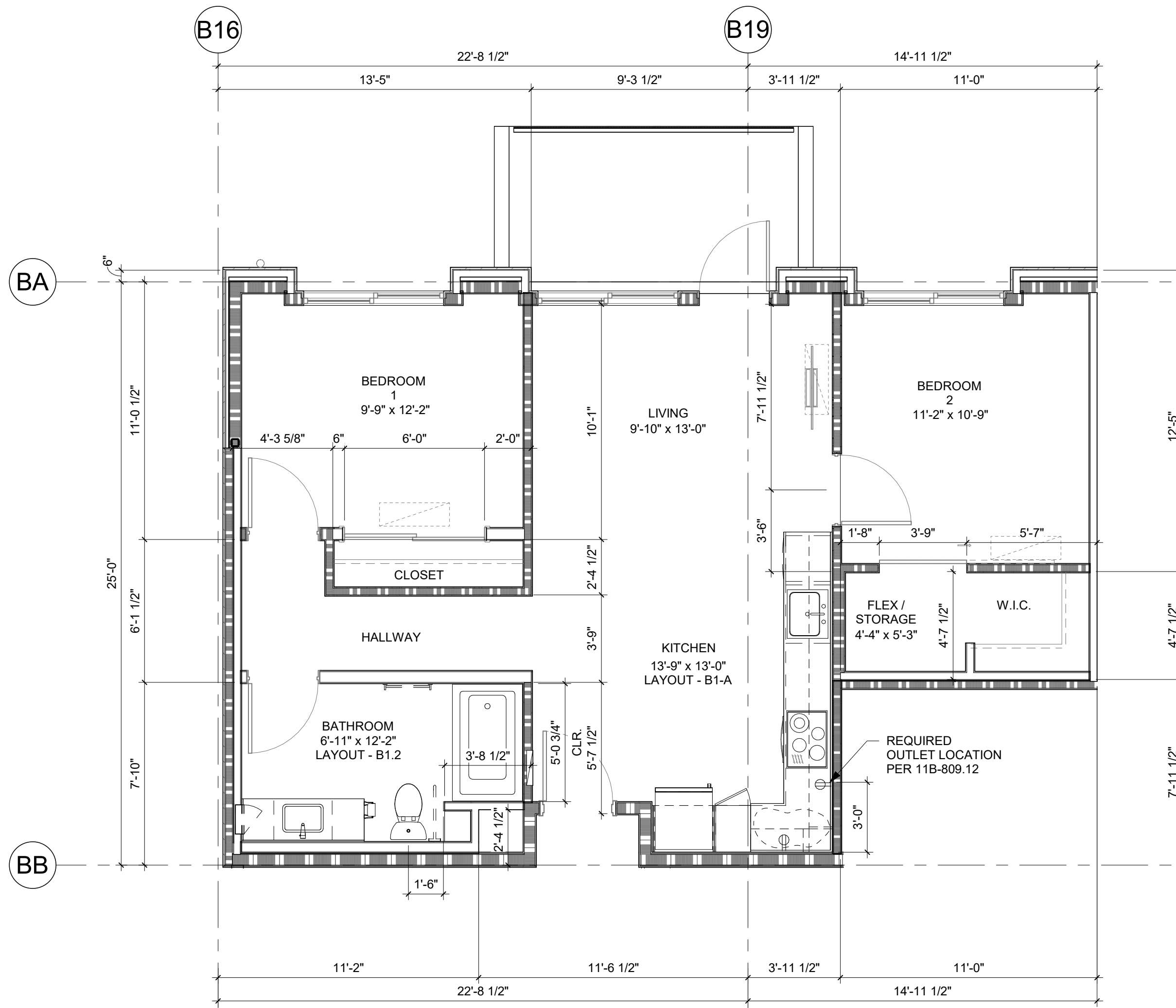
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<p>REFLECTED CEILING SYMBOLS</p> <p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-9" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 6'-2" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB22 &amp; AB22</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT REFERS TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAINT PER FINISH SCHEDULE. SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<p>CEILING PLAN NOTES</p> <ol style="list-style-type: none"> <li>CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.</li> <li>EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</li> <li>ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</li> <li>ALL DIMENSIONS TO F.O. STUD, (U.O.N.)</li> <li>FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</li> <li>FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</li> <li>LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</li> <li>FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</li> <li>COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING</li> <li>SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</li> <li>SOFFIT LOCATIONS VARY PER UNIT. S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</li> <li>STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS IN CONCEALED SPACE ABOVE CEILINGS ON BOTH SIDES OF 1-HR RATED WALLS"</li> <li>ALL DROPPED CEILINGS IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF UON. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF UON.</li> <li>REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol> <p>FIRE RESISTIVE WALL LEGEND</p> <p>(SEE SHEET SERIES A200 &amp; A400 FOR WALL TAGS.) (SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <ul style="list-style-type: none"> <li>FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</li> <li>ALL OPENINGS AND PENETRATIONS IN SHAFTENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</li> <li>FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</li> </ul> <p><b>NON-RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</li> </ul> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION), PER CBC 420 AND 708.3</li> <li>CORRIDORS (1W / A741) (FIRE PARTITION), PER CBC 1020</li> <li>INTERIOR BEARING (1W / A741) (FIRE PARTITION), PER CBC 1002 AND 602.1</li> <li>NON-BEARING EXTERIOR (1W / A741)</li> <li>STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</li> </ul> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <ul style="list-style-type: none"> <li>2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</li> <li>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</li> <li>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS) PER 2022 CBC 707. SEE DETAIL (2B / A741)</li> <li>2-HR. C-H CHANNEL SHAFT ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</li> </ul>																										
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1/4" = 1'-0"

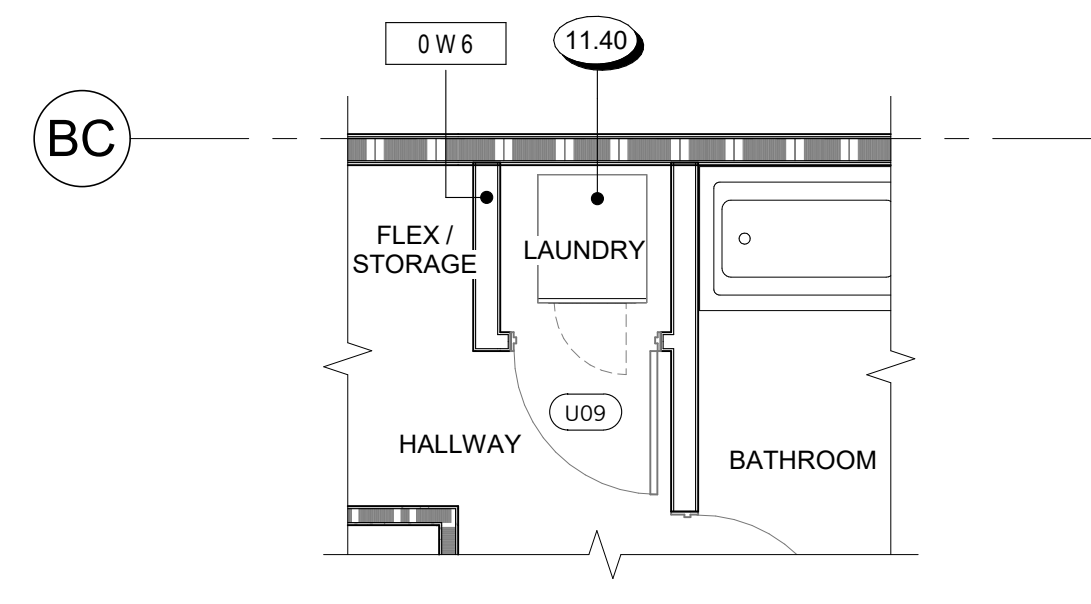


2 UNIT PLAN - B1.2 ANNOTATION PLAN  
1/4" = 1'-0"



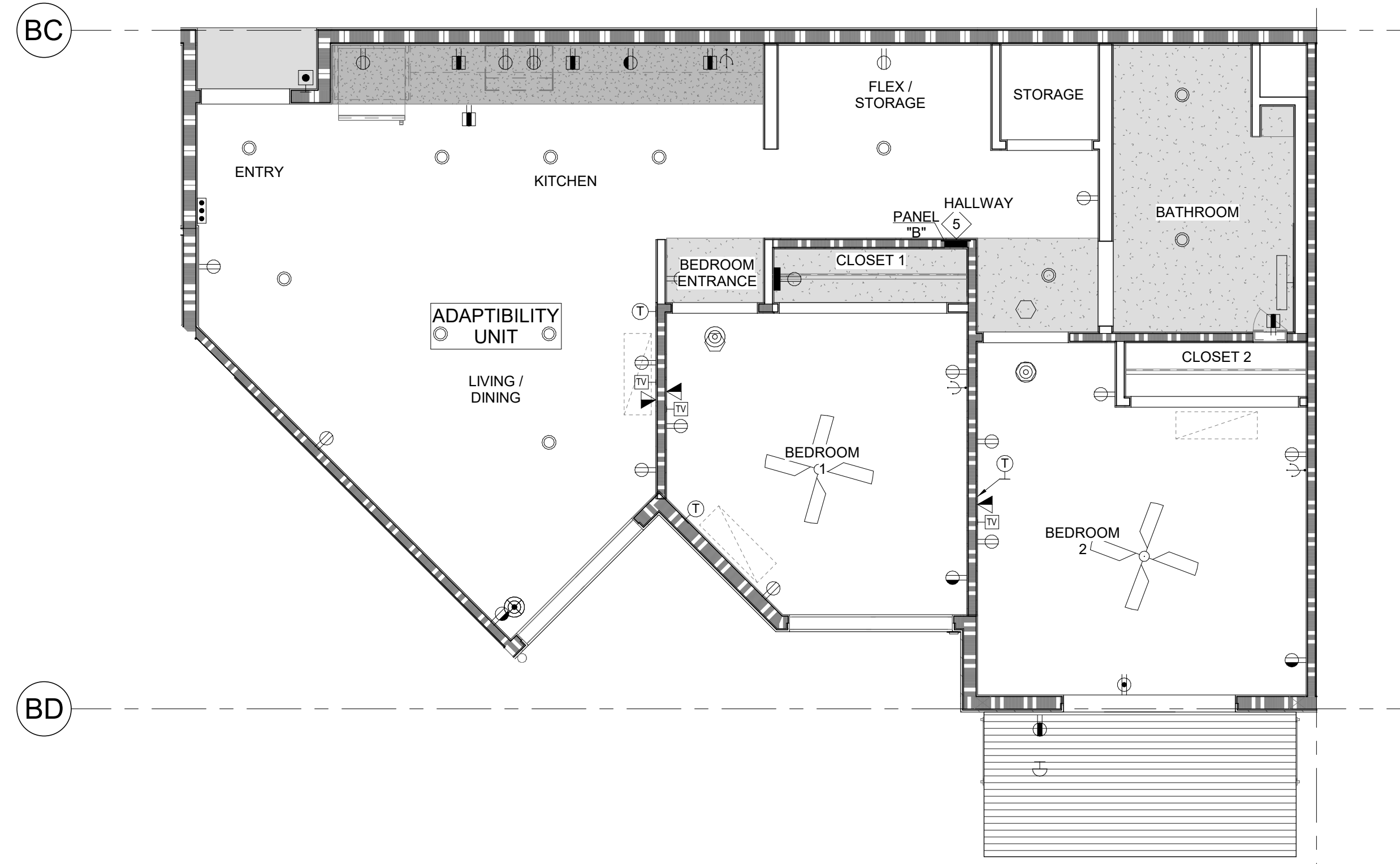
1 UNIT PLAN - B1.2 DIMENSIONING PLAN  
1/4" = 1'-0"



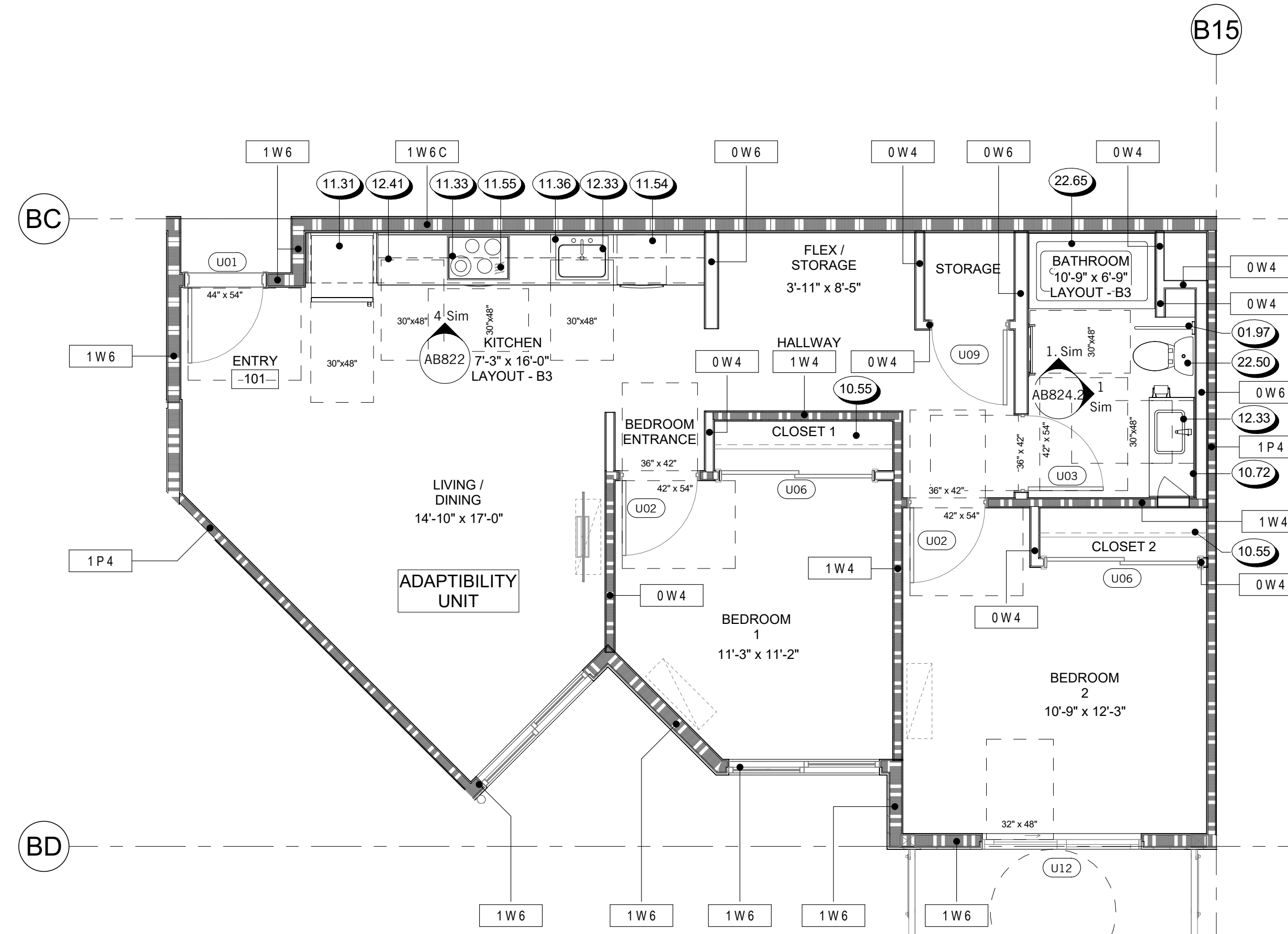


FOR MORE INFORMATION, SEE DRAWINGS 1, 2 & 3 / AB426

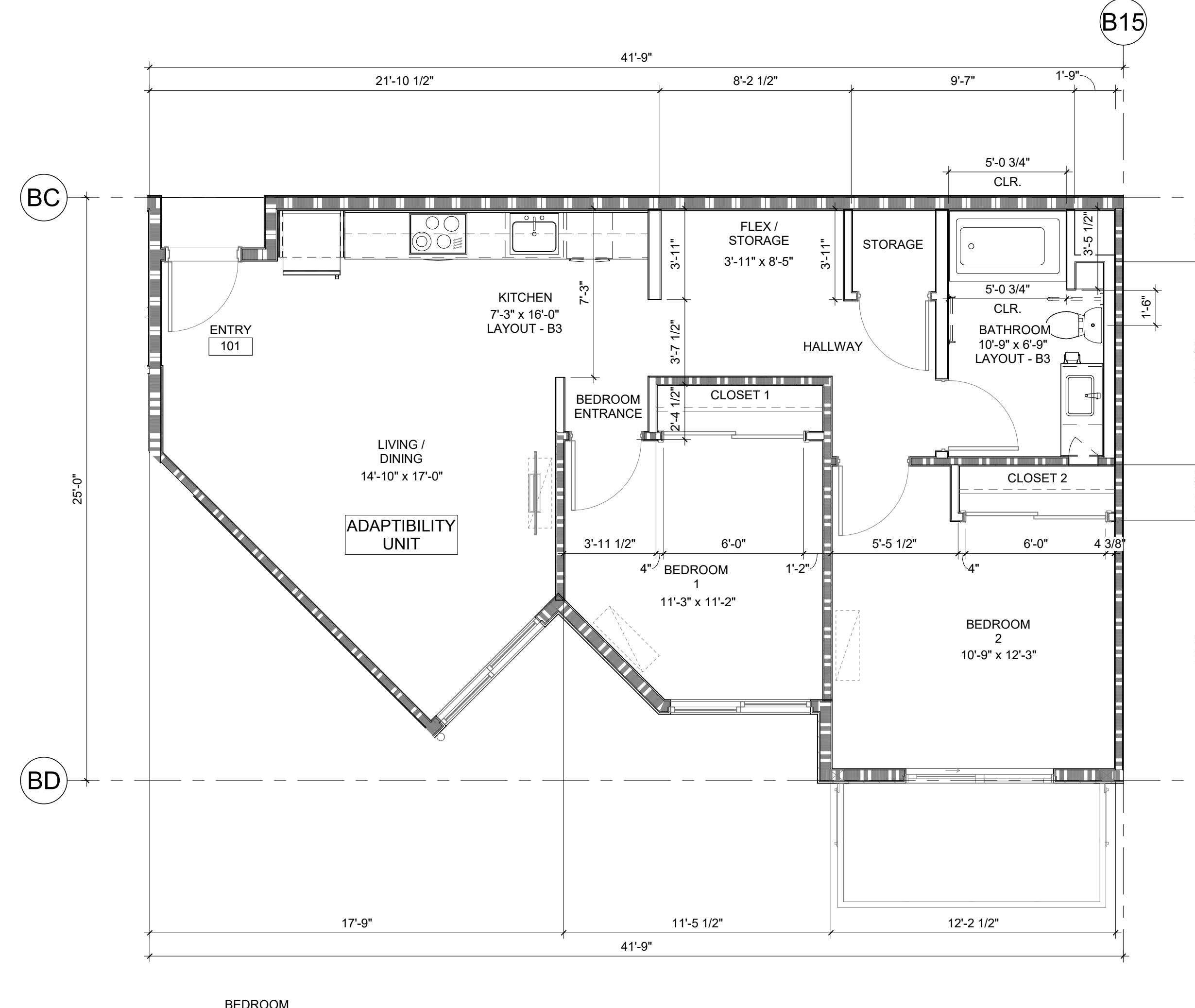
4 UNIT PLAN - B3-MGR PARTIAL ANNOTATION PLAN  
1/4" = 1'-0"



3 UNIT PLAN - B3.1 REFLECTED CEILING PLAN  
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<p>REFLECTED CEILING SYMBOLS</p> <p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-9" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 6'-2" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB822 &amp; AB823</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAINT PER FINISH SCHEDULE, SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<p>CEILING PLAN NOTES</p> <p>1. CEILING HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF CEILING GYP.</p> <p>2. EXTERIOR SOFFIT HEIGHTS FROM T.O. FINISH FLOOR TO FACE OF EXTERIOR SOFFIT MATERIAL.</p> <p>3. ALL EXTERIOR SOFFITS SHALL BE CP-1, U.O.N.</p> <p>4. ALL DIMENSIONS TO F.O. STUD, (U.O.N.)</p> <p>5. FOR CEILING DIFFUSERS, REGISTERS, AND VENTS TYPES, S.M.D.</p> <p>6. FOR FURTHER INFORMATION REGARDING CEILING FIXTURES TYPES, S.E.D.</p> <p>7. LOCATE LIGHTING FIXTURE @ CENTER OF CEILING U.O.N.</p> <p>8. FOR FURTHER INFORMATION REGARDING FIRE SPRINKLERS AND LOCATIONS SEE DESIGN-BUILD SPRINKLER DRAWINGS. ALL SPRINKLER HEADS SHALL BE LOCATED AT THE CENTER OF CEILING TILES &amp; SOFFITS TYP. U.O.N. INSTALLER SHALL COORDINATE INSTALLATION WITH OTHER TRADES TO AVOID CONFLICTS.</p> <p>9. COORDINATE ALL FRAMING AT RECESSED FIXTURE LOCATIONS TO ACCOMMODATE FIXTURE LAYOUT PRIOR TO FRAMING.</p> <p>10. SOFFIT WIDTH DIMENSIONS ARE FROM FACE OF STUD TO OUTER FINISH EDGE OF SOFFIT GYP BOARD.</p> <p>11. SOFFIT LOCATIONS VARY PER UNIT, S.M.D. AND SEE BUILDING PLANS FOR LOCATIONS.</p> <p>12. STENCIL THE FOLLOWING TEXT: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS IN CONCEALED SPACE ABOVE CEILING ON BOTH SIDES OF 1-HR. RATED WALLS"</p> <p>13. ALL DROPPED CEILING IN CLOSETS AND HALLWAYS ARE AT 8'-0" AFF UON. ALL DROPPED SOFFITS IN KITCHENS ARE AT 7'-0" AFF UON.</p> <p>14. REFER TO A751 FOR CEILING FINISHES ON THE INTERIOR MATERIAL &amp; FINISH SCHEDULES.</p>																												
	<p>FIRE RESISTIVE WALL LEGEND</p> <p>(SEE SHEET SERIES A200 &amp; A400 FOR WALL TAGS.) (SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <p>• FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</p> <p>• ALL OPENINGS AND PENETRATIONS IN SHAFT ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</p> <p>• FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</p> <p><b>NON-RATED ASSEMBLIES:</b></p> <p>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</p> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <p>• DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION, PER CBC 420 AND 708.3)</p> <p>• CORRIDORS (1W / A741) (FIRE PARTITION, PER CBC 100)</p> <p>• INTERIOR BEARING (1W / A741) (FIRE PARTITION, PER CBC 100 AND 602.1)</p> <p>• NON-BEARING EXTERIOR (1W / A741)</p> <p>• STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</p> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <p>2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</p> <p>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</p> <p>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS) PER 2022 CBC 707. SEE DETAIL (2B / A741)</p> <p>2-HR. C-H CHANNEL SHAFT ENCLOSURE FIRE BARRIER SEE DETAIL (2S / A741)</p>																												
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REVISIONS	

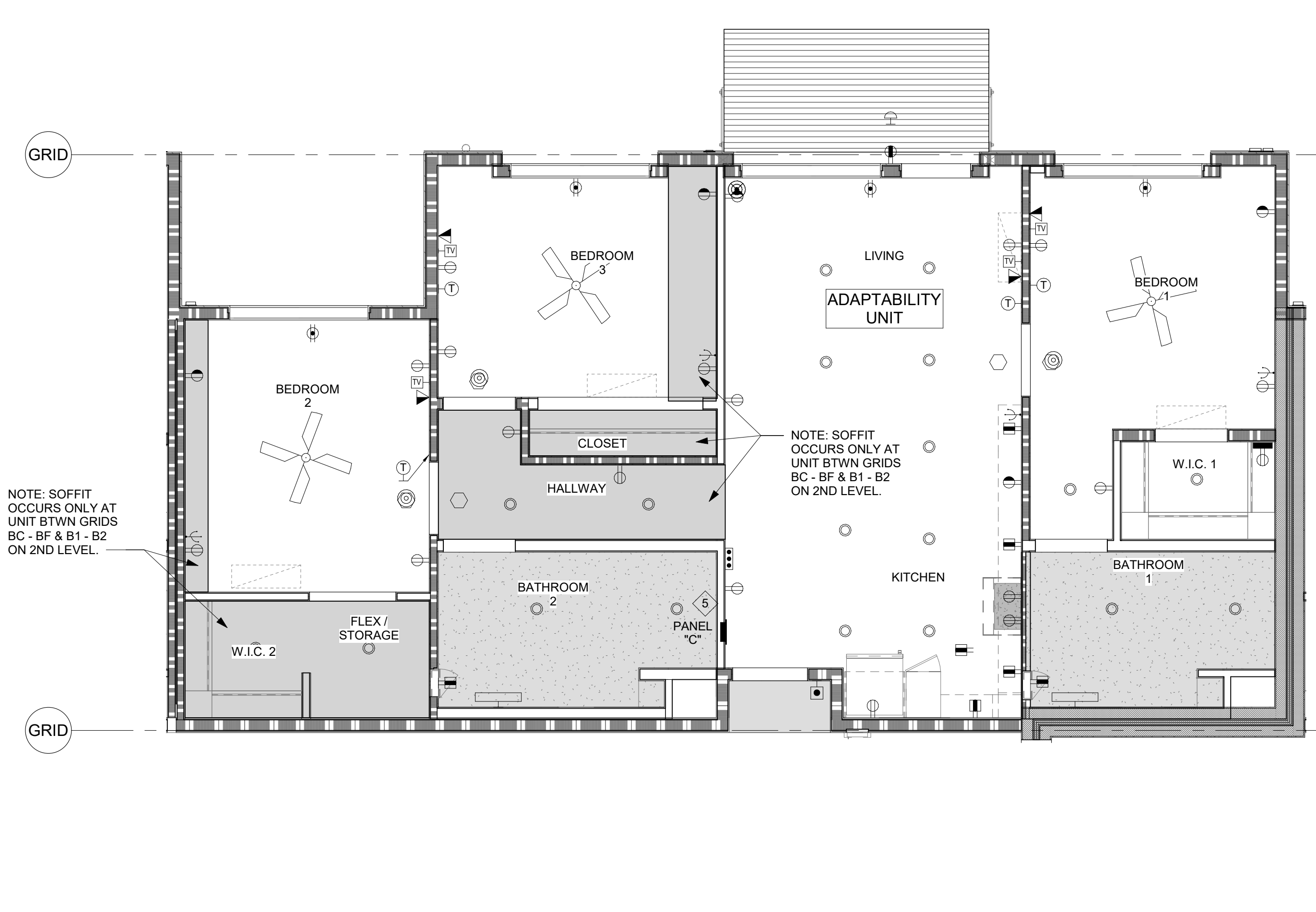


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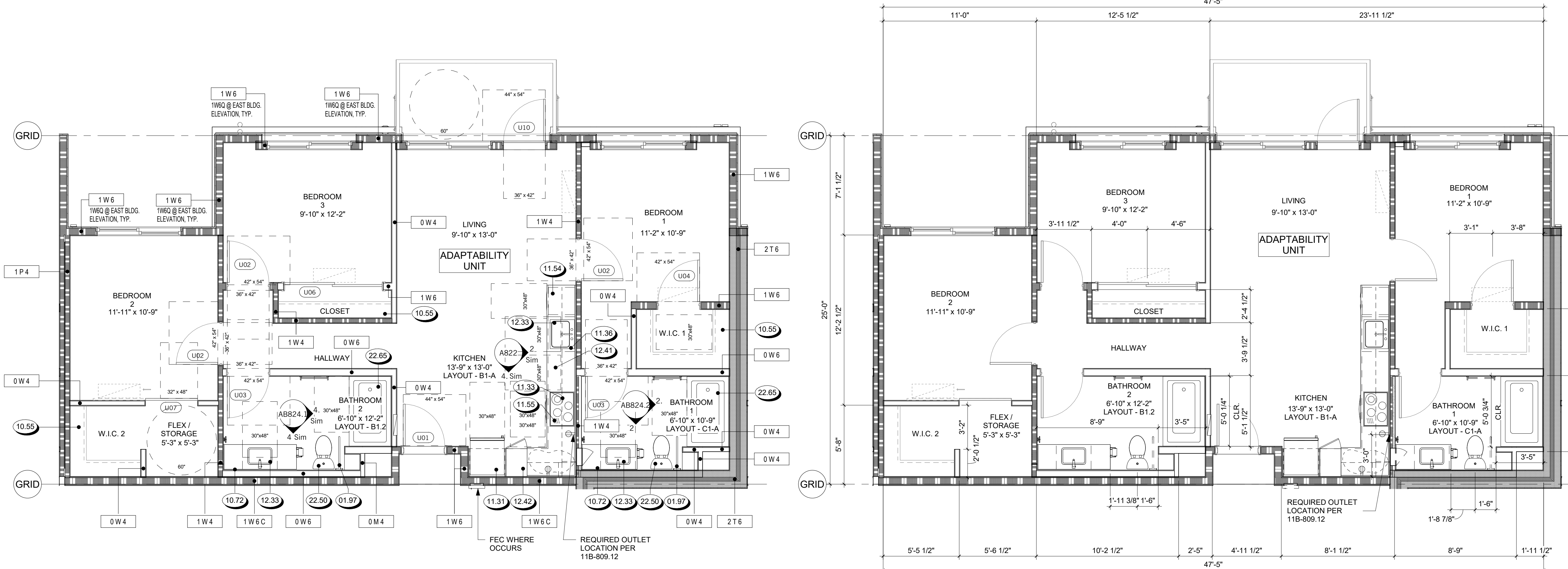
UNIT PLANS - UNIT C1-A

SHEET  
**AB431**

UNIT PLAN SYMBOLS	UNIT PLAN NOTES
	WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1
	SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501
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	WALL TYPE - SEE SHEETS A741 & G310
	WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS
	DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS
	ROOM NUMBER
	RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4
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	WATER CLOSET S.P.D.
	LAVATORY W/ FAUCET S.P.D.
	24" TOWEL BAR AT +40" HT. MAXIMUM
	TOILET PAPER HOLDER AT +24" HT.
	KITCHEN SINK W/ GARBAGE DISPOSAL & FAUCET, S.P.D.
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	BUILT-IN ELECTRIC COOKTOP W/ HOOD, LIGHT & FAN ABOVE
	ELECTRIC WALL OVEN
	RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS
	REFRIGERATOR
	DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR
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	GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS
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	ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS
	FIBER CEMENT PANELS WRAP UNDER SOFFIT REFER TO EXTERIOR ELEVATIONS
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	ALIGN
	RANGE HOOD
	PAINT PER FINISH SCHEDULE, SEE SHEETS A751 & A753
	UNDERSIDE OF PREFABRICATED BALCONY ABOVE.
FIRE RESISTIVE WALL LEGEND	FIRE RESISTIVE WALL NOTES
	UNRATED WALL CONSTRUCTION. SEE (0F / A741) & (0W / A741)
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	• CORRIDORS (1W / A741) (FIRE PARTITION, PER CBC 1020)
	• INTERIOR BEARING (1W / A741) (FIRE PARTITION, PER CBC 1020 AND 602.1)
	• NON-BEARING EXTERIOR (1W / A741)
	2-HR. FIRE RATED ASSEMBLIES: 2-HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601.602 AND 706. SEE (2T / A741)
	2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)
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3 UNIT PLAN - C1-A REFLECTED CEILING PLAN  
1/4" = 1'-0"



2 UNIT PLAN - C1-A ANNOTATION PLAN  
1/4" = 1'-0"

1 UNIT PLAN - C1-A DIMENSIONING PLAN  
1/4" = 1'-0"

12/20/2023 1:00:03 PM

PERMIT SET	11.20.23
CONSTRUCTION SET	12.20.23
REVISIONS	

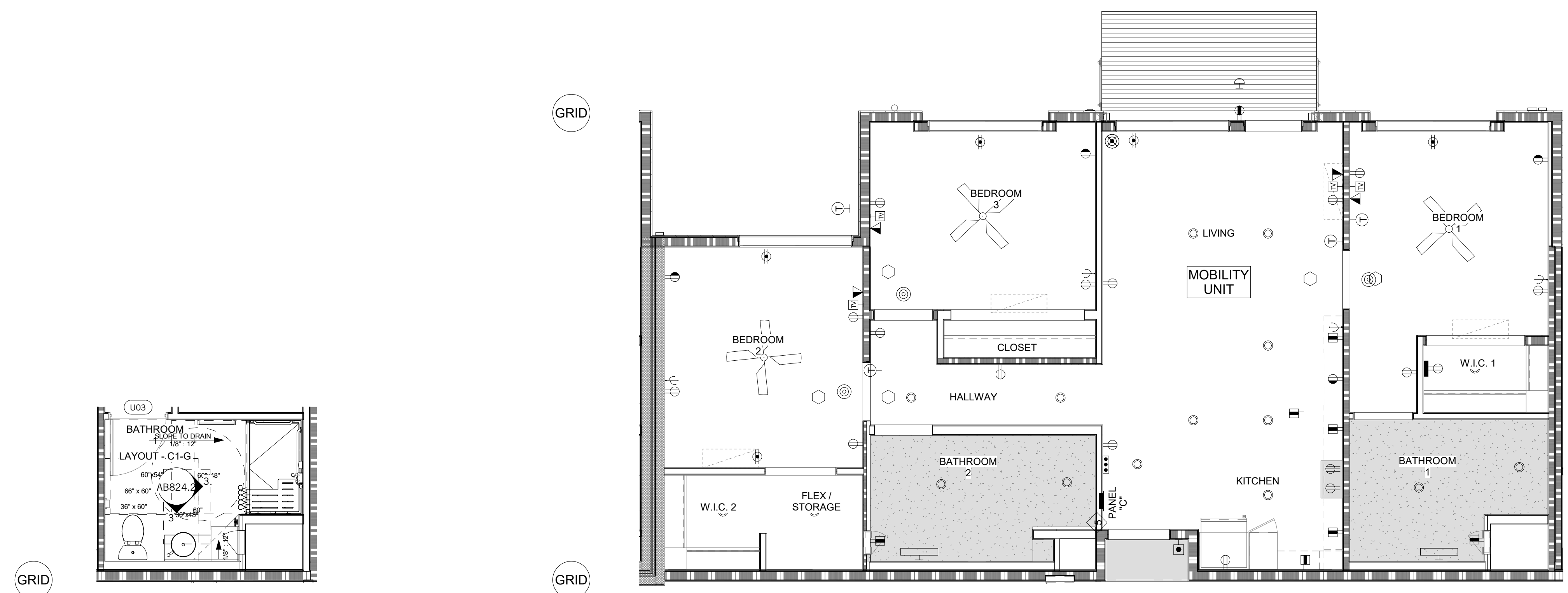


SEAL / SIGNATURE  
JOB NO. 0251.007  
DRAWN Author  
CHECK Checker

UNIT PLANS - UNIT C1-M AND C1-G

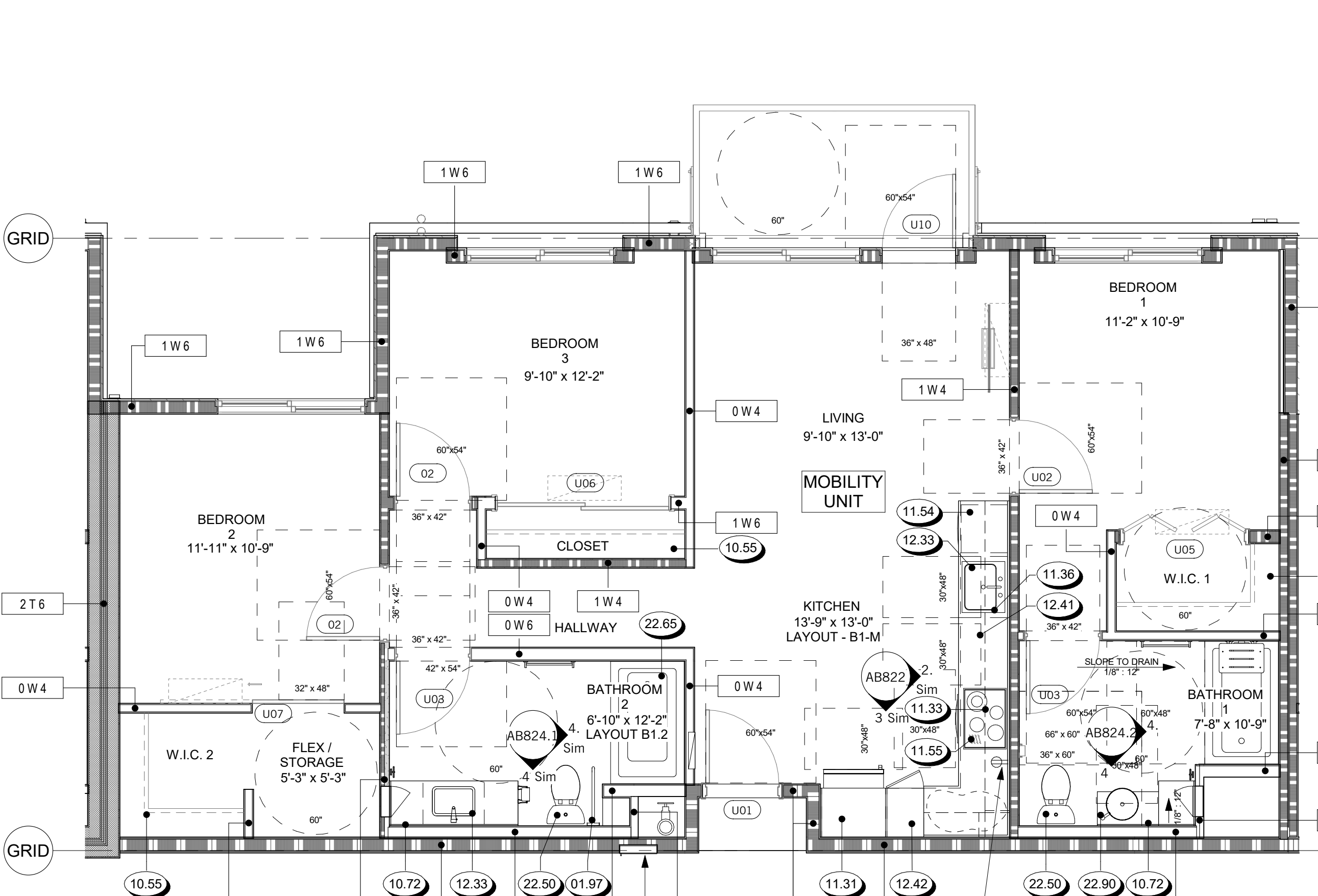
SHEET  
AB432

UNIT PLAN SYMBOLS	UNIT PLAN NOTES
<p>WALL FRAMING. SEE PARTITION SCHEDULE SHEET G3.1.1</p> <p>SEMI RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER. SEE DETAIL 16/G501</p> <p>STRUCTURAL COLUMNS, S.S.D.</p> <p>5'-0" DIA. TURNING SPACE PER CBC 11B-304.3.1</p> <p>30" X 48" CLEAR FLOOR SPACE PER CBC 11B-305.3</p> <p>30" X 60" CLEAR FLOOR SPACE PER CBC 11B-607.2</p> <p>WALL TYPE - SEE SHEETS A741 &amp; G310</p> <p>WINDOW TYPE - SEE WINDOW SCHEDULE A7.2 SERIES SHEETS</p> <p>DOOR TYPE - SEE DOOR SCHEDULE A7.1 SERIES SHEETS</p> <p>ROOM NUMBER</p> <p>RECESSED MEDICINE CABINET W/ BTM USABLE SHELF AT +44" HT. MAXIMUM PER CBC 11B-603.4</p> <p>SLIDE-IN LINEN CABINET</p> <p>1 SHELF &amp; 1 POLE. SEE DETAIL</p> <p>30"X60" TUB/SHOWER W/ SURROUND ON 3 WALLS TO +6'-8". SHOWER HEAD AT +7'-8" &amp; PER CPC 402.1.1 SEE INTERIOR ELEVATIONS AND S.P.D. FOR FINISH</p> <p>WATER CLOSET S.P.D.</p> <p>LAVATORY W/ FAUCET S.P.D.</p> <p>24" TOWEL BAR AT +40" HT. MAXIMUM</p> <p>TOILET PAPER HOLDER AT +24" HT.</p> <p>KITCHEN SINK W/ GARBAGE DISPOSAL &amp; FAUCET, S.P.D.</p> <p>DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL</p> <p>BUILT-IN ELECTRIC COOKTOP W/HOOD, LIGHT &amp; FAN ABOVE</p> <p>ELECTRIC WALL OVEN</p> <p>RANGE HOOD - CONTROLS REQUIRED TO BE WITHIN REACH FOR MOBILITY UNITS</p> <p>REFRIGERATOR</p> <p>DRYER PROVIDE SMOOTH METAL VENT TO EXTERIOR</p> <p>WASHER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE LINE. W/PAN W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D.</p> <p>STACKED WASHER &amp; DRYER-PROVIDE HOT &amp; COLD WATER SUPPLY &amp; WASTE SUPPLY &amp; WASTE LINE FOR WASHER. PROVIDE SMOOTH METAL VENT TO EXTERIOR FOR DRYER. PROVIDE GSM W/DRAIN TO OUTSIDE AT ALL UPPER FLOOR LOCATIONS, S.P.D., S.M.D.</p> <p>FLOOR TYPE TRANSITION, SEE A7.3</p> <p>ELECTRICAL PANEL, MAX 48" AFF., S.E.D.</p> <p>42" SIDE AND 36" REAR GRAB BARS</p> <p>PTAC UNIT LOW WALL-MOUNTED AT 1 BD UNITS</p> <p>80" A.F.F. CLEAR MIN. PTAC UNIT WALL-MOUNTED AT SIDEWALL AT 1 BD UNITS</p> <p>WALL-MOUNTED MINI-SPLIT UNIT AT ALL 2BD &amp; 3BD UNITS</p>	<ol style="list-style-type: none"> <li>ALL EXTERIOR DIMENSIONS TO FACE OF STUD. FACE OF FOUNDATION (U.O.N.)</li> <li>ALL INTERIOR DIMENSIONS TO FACE OF STUD (U.O.N.)</li> <li>ALL DIMENSIONS AT WINDOWS &amp; DOORS ARE TO THE CENTERLINE (U.O.N.)</li> <li>ALL ANGLED WALLS SHALL BE 45 DEGREES, U.O.N.</li> <li>ALL INTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 4" U.O.N. ALL EXTERIOR DOOR JAMBS ON HINGE SIDE SHALL BE 6" U.O.N.</li> <li>DIMENSIONS FOR TYPICAL UNIT FLOOR PLAN APPLY TO OTHER UNIT TYPES EXCEPT WHERE INDICATED ON VARIATION UNIT PLANS. VARIATION UNIT PLANS INDICATE MODIFICATIONS TO TYPICAL UNIT PLAN.</li> <li>ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>ALL INTERIOR WALLS SHALL BE CONSTRUCTED OF 2X4 STUDS, U.O.N., S.S.D.</li> <li>WINDOW HEAD HEIGHTS: 7'-0" U.O.N.</li> <li>ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.3.</li> <li>ALL COUNTERTOPS, TUB DECKS &amp; WALLS AT TUBS &amp; SHOWERS SHALL HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES. FOR SHOWERS TO A HEIGHT OF +7'-0" MIN. ABOVE DRAIN INLET PER CBC 1210.3</li> <li>VERIFY APPLIANCE DIMENSIONS PRIOR TO CABINET FABRICATION</li> <li>FOR TYP. FIRE RATED ASSEMBLY DETAILS SEE G2 SHEETS</li> <li>FOR TYP. FIRE RATED PENETRATION DETAILS SEE G2 SHEETS</li> <li>FOR ACCESSIBILITY DETAILS AND NOTES SEE G3 SHEETS</li> <li>FOR DIMENSIONS TO WINDOW AND DOOR OPENINGS REFER TO BUILDING PLAN SHEETS, A2 SERIES</li> <li>SEE A7.3.1 FOR UNIT FINISH SCHEDULE</li> <li>FOR INTERIOR UNIT DOORS, REFERENCE DOOR SCHEDULE - UNITS, A7.1 SERIES SHEETS</li> <li>FOR ENTRY DOORS AND PATIO DOORS SEE FLOOR PLANS ON A2.1 SERIES SHEETS AND DOOR SCHEDULE - BUILDING, A7.1 SERIES SHEETS</li> <li>ALL INTERIOR WALLS AT PODIUM ARE TO BE 2X4 MTL. STUD. ALL INTERIOR WALLS ABOVE PODIUM TO BE 2X4 WD. STUD U.O.N. SEE G3.1.1.</li> <li>REFERENCE DECK PLANS FOR EXTERIOR DECKS, A2.2 SERIES SHEETS</li> <li>SEE BUILDING PLANS FOR INTERIOR WALL, PARTY WALL, OR CORRIDOR WALL INFORMATION AND DIMENSIONS, A2.1 SERIES SHEETS</li> <li>11B ADAPTABILITY, MOBILITY, AND COMMUNICATION UNITS TO COMPLY WITH CBC 11B-809. SEE G4.2 SERIES CODE COMPLIANCE SHEETS FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL COMMUNICATION FEATURES</li> <li>REFER TO A753 FOR UNIT INTERIOR MATERIAL &amp; FINISH SCHEDULES.</li> </ol>
REFLECTED CEILING SYMBOLS	FIRE RESISTIVE WALL LEGEND
<p>GYP BOARD, PAINTED - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, DROPPED SOFFIT OR CEILING - 8'-9 3/4" A.F.F. U.O.N. AT DWELLING UNITS. SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>GYP BOARD, SOFFIT ABOVE CABINETS - 7'-0" A.F.F. AT ADAPTABILITY UNITS 8'-0" A.F.F. AT MOBILITY UNITS FOR MORE INFO, SEE SHEETS AB22 &amp; AB22</p> <p>ACOUSTIC COMPOUND CEILING TILE @ 10'-2" A.F.F. (U.O.N.). SEE BUILDING RCP PLANS FOR HEIGHTS</p> <p>FIBER CEMENT PANELS WRAP UNDER SOFFIT REFER TO EXTERIOR ELEVATIONS</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE / SMOKE DETECTOR COMBO - NOT REQUIRED WHERE THERE ARE NO FUEL-BURNING APPLIANCES OR FIREPLACES PER 2022 CBC SECTION 915.1</p> <p>ALIGN</p> <p>RANGE HOOD</p> <p>PAIN PER FINISH SCHEDULE, SEE SHEETS A751 &amp; A753</p> <p>UNDERSIDE OF PREFABRICATED BALCONY ABOVE.</p>	<p>(SEE SHEET G310 FOR FIRE RATED ASSEMBLIES.)</p> <p>• FOR MORE DETAILS ON WALL TYPES &amp; LOCATIONS, SEE ENLARGED PLANS &amp; "WALL TYPES" SHEET A741</p> <p>• ALL OPENINGS AND PENETRATIONS IN SHAFI ENCLOSURES MUST COMPLY WITH 2022 CBC CHAP. 7</p> <p>• FIRE BARRIERS SHALL MAINTAIN VERTICAL CONTINUITY THROUGH FLOOR/CEILING &amp; ROOF/CEILING ASSEMBLIES.</p> <p><b>NON-RATED ASSEMBLIES:</b></p> <p>UNRATED WALL CONSTRUCTION. SEE (0F / A741) &amp; (0W / A741)</p> <p><b>1-HR. FIRE RATED ASSEMBLIES:</b></p> <p>• DWELLING UNIT SEPARATION (1P / A741) (FIRE PARTITION, PER CBC 420 AND 708.3)</p> <p>• CORRIDORS (1W / A741) (FIRE PARTITION, PER CBC 1020)</p> <p>• INTERIOR BEARING (1W / A741) (FIRE PARTITION, PER CBC 1020 AND 602.1)</p> <p>• NON-BEARING EXTERIOR (1W / A741)</p> <p>• STAGGERED STUD DOUBLE SHEAR CORRIDOR FIRE PARTITION (1B / A741)</p> <p><b>2-HR. FIRE RATED ASSEMBLIES:</b></p> <p>2HR. WOOD STUD FIRE WALL PER CBC SECTIONS 601, 602 AND 706. SEE (2T / A741)</p> <p>2-HR. WOOD FIRE BARRIER PER 2022 CBC 707. SEE DETAIL (2W / A741)</p> <p>2-HR. WOOD FIRE BARRIER (STAGGERED STUDS) - PER 2022 CBC 707. SEE DETAIL (2B / A741)</p> <p>2-HR. C-H CHANNEL SHEAR ENCLOSURE FIRE BARRIER - SEE DETAIL (2S / A741)</p>
KEYNOTE LEGEND	
<p>000 Key Value</p> <p>01.97 INSTALL FOLD-AWAY GRAB BAR OF MOBILITY TOILET CBC 11B-809.10.7.3.#1. PROVIDE REINFORCEMENT. SEE 10/G146.</p> <p>10.55 SINGLE POLE SHELF. SEE 26/A821. SID.</p> <p>10.72 ACCESSIBLE MIRROR COMPLYING WITH CBC 11B-603.3</p> <p>11.31 REFRIGERATOR, SID</p> <p>11.33 RANGE HOOD - SWITCH FOR HOOD LIGHT AND FAN TO BE INSTALLED WITHIN REACH RANGE, S.E.D.</p> <p>11.36 GARBAGE DISPOSAL</p> <p>11.54 24" FRONT CONTROL DISHWASHER</p> <p>11.55 30" ELECTRIC COOKTOP</p> <p>12.33 REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. SEE DETAIL 10/G150, INSULATE EXPOSED PLUMBING PIPES UNDER SINK/LAVATORY; SPD</p> <p>12.41 30" MIN. CLEAR WORK SURFACE WITH REMOVABLE BASE MANUFACTURED CASEWORK, EXTEND FLOOR FINISH AND FLOOR BASE BELOW COUNTERTOP. PER CBC 11B-809.9.4 FOR ADAPTABLE AND 11B-804.3 FOR MOBILITY</p> <p>12.42 KITCHEN PANTRY</p> <p>22.50 WATER CLOSET, SPD - WITHIN DWELLING UNITS. PROVIDE REINFORCEMENT FOR FUTURE SIDE AND REAR GRAB BARS PER 3/G146. INSTALL GRAB BARS IN SIDE AND REAR WALLS AT MOBILITY UNITS ONLY</p> <p>22.85 STERLING ACCORD 4 PIECE FIBERGLASS TUB AND SURROUND, PROVIDE CONTINUOUS BACKING FOR FUTURE GRAB BARS. SEAT, ADJUSTABLE SHOWER HEAD WITH ADDITIONAL MOUNTING BLOCK</p> <p>22.90 CHATEAU 30" FAUCET WALL-MOUNT BATHROOM SINK</p>	

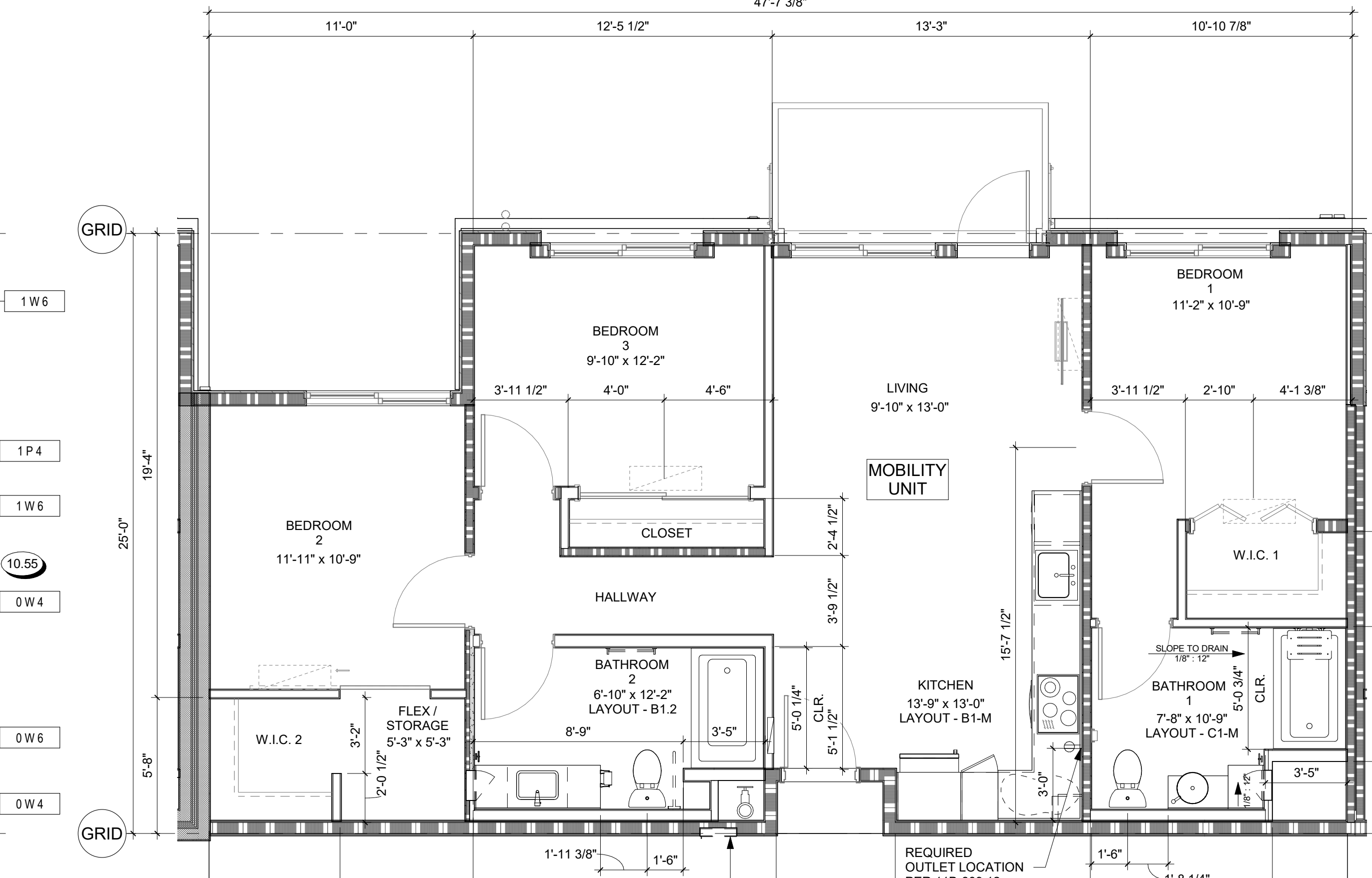


3 UNIT PLAN - C1-M (MOBILITY) REFLECTED CEILING PLAN  
1/4" = 1'-0"

4 UNIT PLAN - C1-G PARTIAL ANNOTATION PLAN  
1/4" = 1'-0"



2 UNIT PLAN - C1-M (MOBILITY) ANNOTATION PLAN  
1/4" = 1'-0"



1 UNIT PLAN - C1-M (MOBILITY) DIMENSIONING PLAN  
1/4" = 1'-0"

# **Exhibit C**

Description of Housing

**Exhibit C**  
**Description of Housing**  
 Mulberry Gardens Family Apartments

**1. Project site:**

2560 Mulberry St, Riverside, CA 92501

**2. Total number of units in project covered by this Agreement: 150**

**3. Locations of contract units on site:**

All units are contract units on the project site.

**4. Number of contract units by area (size) and number of bedrooms and bathrooms:**

Bedroom	Bathrooms	AMI	Count	Area Size (sqft)
1 Bd	1	30%	27	522
1 Bd	1	40%	6	522
1 Bd	1	50%	40	522
2Bd	1	30%	12	749
2Bd	1	40%	3	749
2Bd	1	60%	23	749
2Bd (Manager's Unit)	1	-	1	805
3Bd	2	30%	12	1034
3Bd	2	40%	0	1034
3Bd	2	50%	18	1034
3Bd	2	60%	8	1034
<b>Total</b>			<b>150</b>	

**5. Services, maintenance, or equipment to be supplied by the owner without charges in addition to the rent to owner:**

Equipment: electric range, range hood, refrigerator, garbage disposal

Services: Water, electric water heating, trash

**6. Utilities available to the contract units, including a specification of utility:**

Electricity (heating, cooking, air conditioning), Other Electric, Sewer, Monthly Electric Charges from local municipality;

Utility Services paid by tenant (1-bedroom units):

Electric (heating, cooking, air conditioning) - \$37,

Other Electric: \$25

Sewer - \$34,

Monthly Electric Charges from local municipality - \$42

**7. Estimated initial rent to owner for the contract units.**

1 Bedroom @ 30% AMI - \$438

2 Bedroom @ 30% AMI - \$531

3 Bedroom @ 30% AMI - \$617

1 Bedroom @ 40% AMI - \$631

2 Bedroom @ 40% AMI - \$762

1 Bedroom @ 50% AMI - \$823

3 Bedroom @ 50% AMI - \$1,150

2 Bedroom @ 60% AMI - \$1,223

3 Bedroom @ 60% AMI - \$1,417



# HOUSING AUTHORITY of the County of Riverside

Main Office  
5555 Arlington Avenue  
Riverside, CA 92504-2506  
(951) 351-0700  
FAX (951)354-6324  
TDD (951) 351-9844

March 15, 2025 (initial)

Eden Housing, Inc.  
Attn: Jared Kandry  
22645 Grand St.  
Hayward, CA 94542

Indio Office  
44-199 Monroe, Ste. B  
Indio, CA 92201  
(760) 863-2828  
(760) 863-2838 FAX  
TDD (760) 863-2830

Website: [harivco.org](http://harivco.org)

RE: Initial Rent Study – HCV Project-Based Vouchers  
Mulberry Gardens Apartments  
2560 Mulberry St., Riverside, CA 92501

Dear Jared Kandry,

The Housing Authority of the County of Riverside in accordance with 24 Code of Federal Regulation (CFR) 983.301 has completed a rent comparability analysis to determine the estimated initial rents for the Project-Based Vouchers that will be utilized for the Mulberry Gardens Family Apartments in Riverside. The FMR Rent Cap, estimated initial contract rent, current applicable utility allowance and gross contract rent are as follows:

**PBV Contract Rent Determination**

<b>Bedroom Size</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
Rent Requested by Owner	\$1,899	\$2,377	\$3,205
Reasonable Rent	\$1,899 per AffordableHousing.com	\$2,377 per AffordableHousing.com	\$2,689 per AffordableHousing.com
110% of 2025 FMR eff 10/1/24	\$2,037 (\$1,852 + \$185)	\$2,536 (\$2,306 + \$230)	\$3,386 (\$3,079 + \$307)
less Utility Allowance eff 7/1/24	\$138	\$160	\$182
FMR Rent Cap	\$1,899	\$2,376	\$3,204
<b>The PBV Contract Rent is determined according to 24 CFR 983.301(b) and is set at the lowest of: (1) the Reasonable Rent, (2) the rent requested by the owner, or (3) the Fair Market Rent (FMR) cap minus the Utility Allowance.</b>	<b>\$1,899</b>	<b>\$2,376</b>	<b>\$2,689</b>

Actual rents will be determined prior to execution of the Project-Based Voucher Program Housing Assistance Payment (HAP) Contract. If you have any questions, please feel free to contact me at (951) 343-5434.

Sincerely,

*Erlan Gonzalez*

Erlan Gonzalez  
Principal Development Specialist

#### **24 Code of Federal Regulations (CFR) 983.301 Determining the rent to owner.**

(a) *Initial and redetermined rents.* (1) The amount of the initial and redetermined rent to owner is determined in accordance with this section and § 983.302.

(b) *Amount of rent to owner.* Except for certain tax credit units as provided in paragraph (c) of this section, **the rent to owner must not exceed the lowest of:**

(1) An amount determined by the PHA, not to exceed 110 percent of the applicable fair market rent (or any exception payment standard approved by the Secretary) for the unit bedroom size minus any utility allowance; (2) The reasonable rent; or (3) The rent requested by the owner.

(c) *Rent to owner for certain tax credit units.* (1) This paragraph (c) applies if: (i) A contract unit receives a low-income housing tax credit under the Internal Revenue Code of 1986 (see 26 U.S.C. 42); (ii) The contract unit is not located in a qualified census tract; (iii) In the same building, there are comparable tax credit units of the same unit bedroom size as the contract unit and the comparable tax credit units do not have any form of rental assistance other than the tax credit; and (iv) The tax credit rent exceeds the applicable fair market rental (or any exception payment standard) as determined in accordance with paragraph (b) of this section. (2) In the case of a contract unit described in paragraph (c)(1) of this section, the rent to owner must not exceed the lowest of: (i) The tax credit rent minus any utility allowance; (ii) The reasonable rent; or (iii) The rent requested by the owner. (3) The “tax credit rent” is the rent charged for comparable units of the same bedroom size in the building that also receive the low-income housing tax credit but do not have any additional rental assistance (e.g., additional assistance such as tenant-based voucher assistance). (4) A “qualified census tract” is any census tract (or equivalent geographic area defined by the Bureau of the Census) in which: (i) At least 50 percent of households have an income of less than 60 percent of Area Median Gross Income (AMGI); or (ii) Where the poverty rate is at least 25 percent and where the census tract is designated as a qualified census tract by HUD.

(d) *Rent to owner for other tax credit units.* Except in the case of a tax-credit unit described in paragraph (c)(1) of this section, the rent to owner for all other tax credit units may be determined by the PHA pursuant to paragraph (b) of this section.

(e) *Reasonable rent.* The PHA shall determine the reasonable rent in accordance with § 983.303. The rent to the owner for each contract unit may at no time exceed the reasonable rent, except in cases where, the PHA has elected within the HAP contract not to reduce rents below the initial rent to owner and, upon redetermination of the rent to owner, the reasonable rent would result in a rent below the initial rent. If the PHA has not elected within the HAP contract to establish the initial rent to owner as the rent floor, the rent to owner shall not at any time exceed the reasonable rent.

(ii) *Redetermination of rent to owner.* When redetermining the rent to owner, the PHA shall use the most recently published FMR and the PHA utility allowance schedule in effect at the time of redetermination. At its discretion, the PHA may use the amounts in effect at any time during the 30-day period immediately before the redetermination date.

***Note: Mulberry Gardens Family Apts, located in Census Tract 301.03, is not in a Qualified Census Tract (QCT). Per 24 CFR 983.301(c), LIHTC rent limits apply, and rent cannot exceed the lowest of LIHTC rent, 110% FMR (or exception standard), reasonable rent, or the rent requested by the owner.***

#### **24 CFR 983.302 Redetermination of rent to owner.**

(a) The PHA must redetermine the rent to owner:

(1) Upon the owner’s request; or (2) When there is a 10 percent decrease in the published FMR.

(b) *Rent increase.* (1) The PHA may not make any rent increase other than an increase in the rent to owner as determined pursuant to § 983.301. (Provisions for special adjustments of contract rent pursuant to 42 U.S.C. 1437f(b)(2)(B) do not apply to the voucher program.)

(2) The owner must request an increase in the rent to owner at the annual anniversary of the HAP contract by written notice to the PHA. The length of the required notice period of the owner request for a rent increase at the annual anniversary may be established by the PHA. The request must be submitted in the form and manner required by the PHA.

*[Refer to 24 CFR 983.1, 983.2, 982.308(g)(4) The owner must notify the PHA of any changes in the amount of the rent to owner at least sixty days before any such changes go into effect, and any such changes shall be subject to rent reasonableness requirements.]*

(3) The PHA may not approve, and the owner may not receive any increase of rent to owner until and unless the owner has complied with all requirements of the HAP contract, including compliance with the HQS. The owner may not receive any retroactive increase of rent for any period of noncompliance.

(c) *Rent decrease.* (1) If there is a decrease in the rent to owner, as established in accordance with § 983.301, the rent to owner must be decreased, regardless of whether the owner requested a rent adjustment. (2) If the PHA has elected within the HAP contract to not reduce rents below the initial rent to owner, the rent to owner shall not be reduced below the initial rent to owner for dwelling units under the initial HAP contract, except: (i) To correct errors in calculations in accordance with HUD requirements; (ii) If additional housing assistance has been combined with PBV assistance after the execution of the initial HAP contract and a rent decrease is required pursuant to § 983.55; or (iii) If a decrease in rent to owner is required based on changes in the allocation of responsibility for utilities between the owner and the tenant.

(d) *Notice of rent redetermination.* Rent to owner is redetermined by written notice by the PHA to the owner specifying the amount of the redetermined rent (as determined in accordance with 24 CFR 983.301 and 983.302). The PHA notice of the rent adjustment constitutes an amendment of the rent to owner specified in the HAP contract.

(e) *Contract year and annual anniversary of the HAP contract.* (1) The contract year is the period of 12 calendar months preceding each annual anniversary of the HAP contract during the HAP contract term. The initial contract year is calculated from the first day of the first calendar month of the HAP contract term. (2) The annual anniversary of the HAP contract is the first day of the first calendar month after the end of the preceding contract year. The adjusted rent to owner amount applies for the period of 12 calendar months from the annual anniversary of the HAP contract.

(3) See § 983.207(c) for information on the annual anniversary of the HAP contract for contract units completed in stages.

**24 CFR 983.207(c) Staged completion of contract units.** Even if contract units are placed under the HAP contract in stages commencing on different dates, there is a single annual anniversary for all contract units under the HAP contract. The annual anniversary for all contract units is the annual anniversary date for the first contract units placed under the HAP contract. The expiration of the HAP contract for all the contract units completed in stages must be concurrent with the end of the HAP contract term for the units originally placed under HAP contract.

# Utility Allowance Schedule

See Public Reporting and Instructions on back.

U.S. Department of Housing and Urban  
Development

Office of Public and Indian Housing

OMB Approval No. 2577-0169  
(exp. 04/30/2026)

The following allowances are used to determine the total cost of tenant-furnished utilities and appliances.

Locality/PHA <b>Housing Authority of the County of Riverside, CA</b>		Unit Type: <b>Multi-Family (Apartment)</b>				Date (mm/dd/yyyy) <b>7-1-2024</b>		
Utility of Service (Energy Efficient)	Fuel Type	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Heating	Natural Gas	\$16.00	\$19.00	\$20.00	\$22.00	\$23.00	\$25.00	\$27.00
	Bottle Gas	\$50.00	\$60.00	\$64.00	\$69.00	\$73.00	\$78.00	\$87.00
	Electric (avg)	\$13.00	\$15.00	\$19.00	\$23.00	\$26.00	\$30.00	\$32.00
	Fuel Oil							
Cooking	Natural Gas	\$3.00	\$5.00	\$6.00	\$8.00	\$9.00	\$13.00	\$14.00
	Bottle Gas	\$9.00	\$14.00	\$18.00	\$23.00	\$32.00	\$41.00	\$46.00
	Electric (avg)	\$7.00	\$8.00	\$12.00	\$15.00	\$19.00	\$23.00	\$24.00
Other Electric	<b>Non-SCE (avg)</b>	\$21.00	\$25.00	\$34.00	\$44.00	\$54.00	\$63.00	\$69.00
Other Electric	<b>SCE (Monthly Credit)</b>	\$22.00	\$28.00	\$45.00	\$61.00	\$78.00	\$94.00	\$103.00
Air Conditioning		\$12.00	\$14.00	\$19.00	\$24.00	\$29.00	\$35.00	\$37.00
Water Heating	Natural Gas	\$8.00	\$9.00	\$13.00	\$17.00	\$20.00	\$25.00	\$27.00
	Bottle Gas	\$23.00	\$32.00	\$41.00	\$55.00	\$64.00	\$78.00	\$87.00
	Electric (avg)	\$16.00	\$18.00	\$23.00	\$28.00	\$34.00	\$38.00	\$42.00
	Fuel Oil							
Water	(avg)(MF)	\$27.00	\$28.00	\$30.00	\$32.00	\$35.00	\$38.00	\$40.00
Sewer	(avg)(MF)	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00
Trash Collection	(avg)	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00
<b>Other specify: Electric Charge \$25.83 (Non SCE/Non-Rev Public Monthly)</b>		\$26.00	\$26.00	\$26.00	\$26.00	\$26.00	\$26.00	\$26.00
<b>Other specify: Natural Gas Charge \$5.10</b>		\$5.00	\$5.00	\$5.00	\$5.00	\$5.00	\$5.00	\$5.00
<b>Other specify: Electric Charge \$41.79 (Monthly (Riverside Public Utilities))</b>		\$42.00	\$42.00	\$42.00	\$42.00	\$42.00	\$42.00	\$42.00
Range/Microwave		\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00
Refrigerator		\$12.00	\$12.00	\$12.00	\$12.00	\$12.00	\$12.00	\$12.00
<b>Actual Family Allowances</b> -May be used by the family to compute allowance while searching for a unit.					Utility/Service/Appliance		Allowance	
Head of Household Name <b>Mulberry Gardens Family Apartments</b>					Heating			
					Cooking			
Unit Address <b>2560 Mulberry St., Riverside, CA 92501</b>					Other Electric			
					Air Conditioning			
Number of Bedrooms <b>UA: 1 BR \$138 2 BR: \$160; 3 BR \$ 182</b>					Water Heating			
					Water			
					Sewer			
					Trash Collection			
					Other			
					Range/Microwave			
					Refrigerator			
					Total			



adapted from form HUD-52667  
(04/2023)



# FY 2025 FAIR MARKET RENT DOCUMENTATION SYSTEM

The FY 2025 Riverside-San Bernardino-Ontario, CA MSA FMRs for All Bedroom Sizes

Final FY 2025 & Final FY 2024 FMRs By Unit Bedrooms					
Year	Efficiency	One-Bedroom	Two-Bedroom	Three-Bedroom	Four-Bedroom
FY 2025 FMR	\$1,776	\$1,852	\$2,306	\$3,079	\$3,745

The Riverside-San Bernardino-Ontario, CA MSA consists of the following counties: Riverside County, CA; and San Bernardino County, CA. All information here applies to the entirety of the Riverside-San Bernardino-Ontario, CA MSA.

## FY 2025 FMR EFFECTIVE 10/1/2024 THROUGH 9/30/2025

[https://www.huduser.gov/portal/datasets/fmr/fmrs/FY2025\\_code/2025summary.odn](https://www.huduser.gov/portal/datasets/fmr/fmrs/FY2025_code/2025summary.odn)

The FMRs for unit sizes larger than four bedrooms are calculated by adding 15 percent to the four bedroom FMR, for each extra bedroom. For example, the FMR for a five bedroom unit is 1.15 times the four bedroom FMR, and the FMR for a six bedroom unit is 1.30 times the four bedroom FMR. FMRs for single-room occupancy units are 0.75 times the zero bedroom (efficiency) FMR.

0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
\$1,776	\$1,852	\$2,306	\$3,079	\$3,745	\$4,306	\$4,868	\$5,430

## CALCULATE 110% OF FMR BY BEDROOM SIZE (MUST ROUND DOWN)

	0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
100% FMR	\$1,776	\$1,852	\$2,306	\$3,079	\$3,745	\$4,306	\$4,868	\$5,430
10% FMR	177	185	230	307	374	430	486	543
110% FMR	\$1,953	\$2,037	\$2,536	\$3,386	\$4,119	\$4,736	\$5,354	\$5,973

## Proceed to next step of deducting utility allowance from 110% of FMR to determine FMR RENT CAP

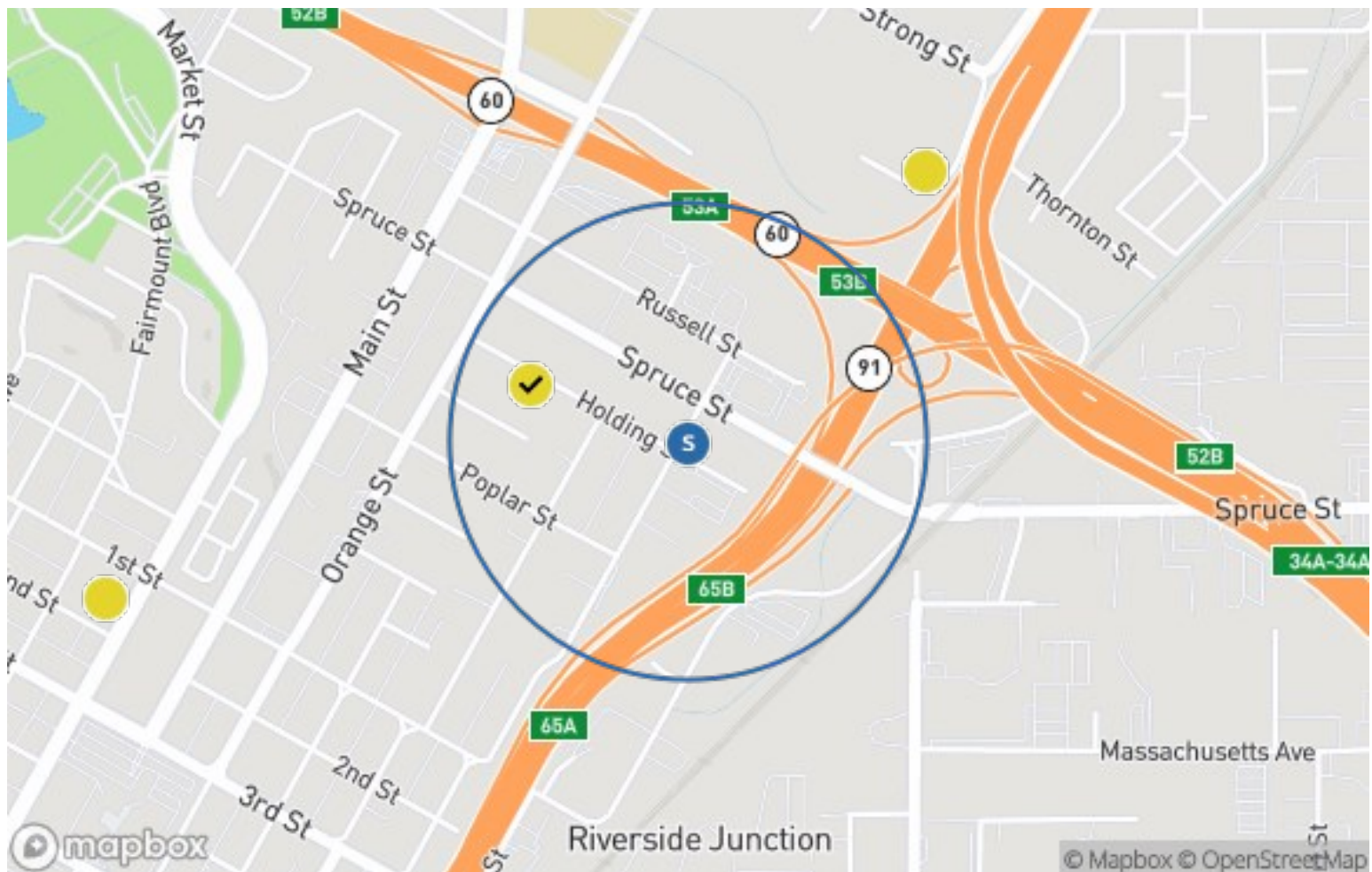
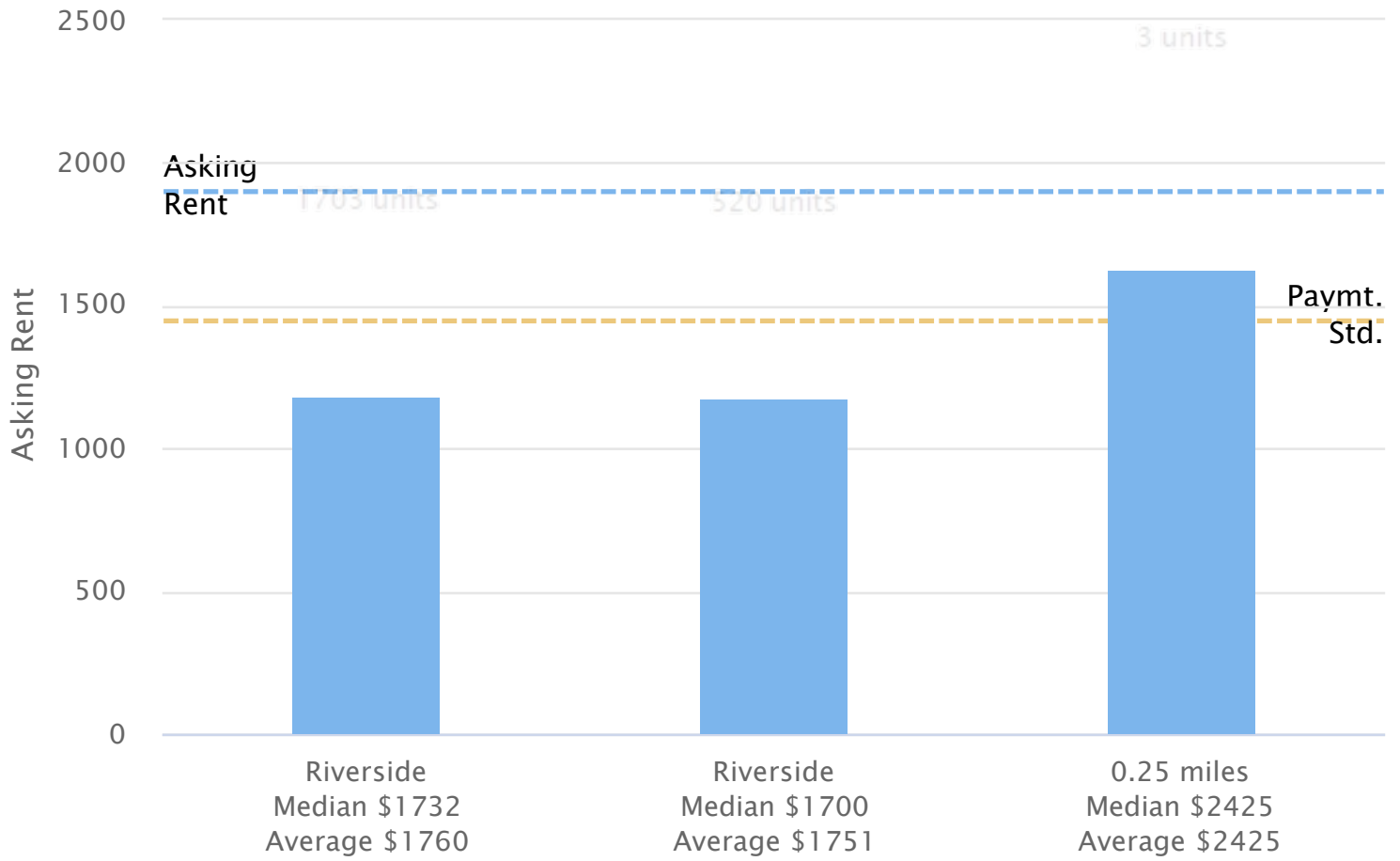
	0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
110% FMR	\$1,953	\$2,037	\$2,536	\$3,386	\$4,119	\$4,736	\$5,354	\$5,973
Minus Utility Allowance		\$138	\$160	\$182				
<b>FMR RENT CAP</b>		\$1899	\$2376	\$3204				

Attach Utility Allowance Calculation for each BR Size

# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3461 W La Cadena Dr 6319	3461 W La Cadena Dr 6313	3461 W La Cadena Dr 6317
Model		1/1/0/746	1/1/0/746	1/1/0/746
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92501
LOCATION				
Subdivision				
Proximity to Subject		0.17	0.17	0.17
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	1/1/0	1/1/0	1/1/0	1/1/0
Sq. Ft.	522	746	746	746
Adjustment		Superior / Adj: -\$40.32	Superior / Adj: -\$40.32	Superior / Adj: -\$40.32
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$242.50	Inferior / Adj: \$242.50	Inferior / Adj: \$242.50
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$18.00	Inferior / Adj: \$18.00	Inferior / Adj: \$18.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace
AC	Central	Central	Central	Central
Heat	Central	Unknown	Unknown	Unknown
Parking	Open	None	None	None
Exterior Features	Balcony			
Lot Size				
Adjustment		Superior / Adj: -\$10.00	Superior / Adj: -\$10.00	Superior / Adj: -\$10.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	Internet Listing
Date Listed		12/24/2024	12/24/2024	12/24/2024
Date Rented				
Listing Status		Rented	Rented	Rented
Asking Rent	\$1,899.00	\$2,425.00	\$2,425.00	\$2,425.00
Actual Rent				
Adjustment		\$210.18	\$210.18	\$210.18
Adjusted Monthly Rent		\$2,635.18	\$2,635.18	\$2,635.18
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
1,703 Similar 1 bedroom comparables in Riverside County				
520 Similar 1 bedroom comparables in the City of Riverside				
3 Within 0.25 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,635.18.				
The adjusted reasonable rent range is \$2,635.18 to \$2,635.18.				
Requested Rent Amount: \$1,899.00 Rent Approved: \$1,899.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$1,899.00 IS reasonable, and the approved rent of \$1,899.00 IS reasonable.				
			Certification ID <a href="#">A255667F-1AAA-4971-B909-B548CC1E6885</a> Certification Date 2025-3-15 Version AVM 6.1, RRC 7.0, RW5 Client Reference Voucher Bedroom 1 Family Name Mulberry Gardens Housing Authority Housing Authority of the County of Riverside Certifier Erlan Gonzalez Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE Page 1 of 1 excluding appendices.	

# Local Market Analysis



The adjusted reasonable rent range is \$2,635.18 to \$2,635.18.

Comparable 1:	<b>\$2,635.18</b>	89.39% Somewhat Similar
Comparable 2:	<b>\$2,635.18</b>	89.39% Somewhat Similar
Comparable 3:	<b>\$2,635.18</b>	89.39% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

**Comparable 2:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

**Comparable 3:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

This rent reasonable certification is based on information provided by others and/or obtained from outside sources. No opinion, warranty, or guarantee of the reliability of the data relied upon is implied or expressed by the use of that data herein, and GOsection8.com does not warrant the correctness of the data. All Data should be verified by the RR Certifier for accuracy.

# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3461 W La Cadena Dr 3204	3461 W La Cadena Dr 3202	3461 W La Cadena Dr 7308
Model		2/2/0/1046	2/2/0/1046	2/2/0/1046
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92501
LOCATION				
Subdivision				
Proximity to Subject		0.17	0.17	0.17
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	2/1/0	2/2/0	2/2/0	2/2/0
Sq. Ft.	749	1046	1046	1046
Adjustment		Superior / Adj: -\$98.46	Superior / Adj: -\$98.46	Superior / Adj: -\$98.46
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$296.00	Inferior / Adj: \$296.00	Inferior / Adj: \$296.00
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$23.00	Inferior / Adj: \$23.00	Inferior / Adj: \$23.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace
AC	Central	Central	Central	Central
Heat	Central	Unknown	Unknown	Unknown
Parking	Open	None	None	None
Exterior Features	Balcony			
Lot Size				
Adjustment		Superior / Adj: -\$10.00	Superior / Adj: -\$10.00	Superior / Adj: -\$10.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	Internet Listing
Date Listed		12/24/2024	12/24/2024	12/24/2024
Date Rented				
Listing Status		Rented	Rented	Rented
Asking Rent	\$2,377.00	\$2,960.00	\$2,960.00	\$2,960.00
Actual Rent				
Adjustment		\$210.54	\$210.54	\$210.54
Adjusted Monthly Rent		\$3,170.54	\$3,170.54	\$3,170.54
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
3,278 Similar 2 bedroom comparables in Riverside County				
582 Similar 2 bedroom comparables in the City of Riverside				
3 Within 0.25 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$3,170.54.				
The adjusted reasonable rent range is \$3,170.54 to \$3,170.54.				
Requested Rent Amount: \$2,377.00 Rent Approved: \$2,377.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$2,377.00 IS reasonable, and the approved rent of \$2,377.00 IS reasonable.				

Certification ID [99F1A38D-EDAC-4393-B671-F02C61DDDB72](#)

Certification Date 2025-3-15

Version AVM 6.1, RRC 7.0, RW5

Client Reference

Voucher Bedroom 2

Family Name Mulberry Gardens

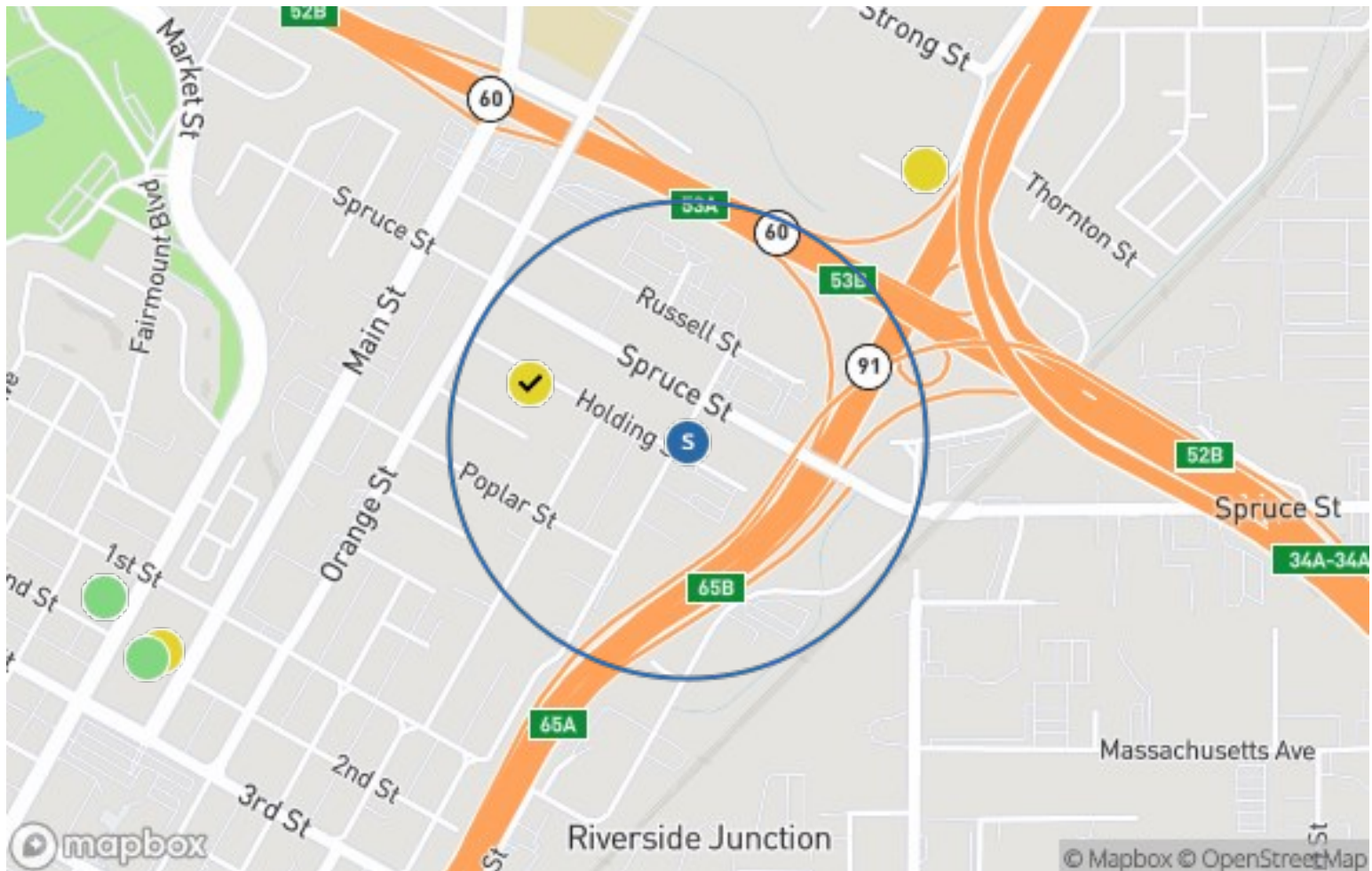
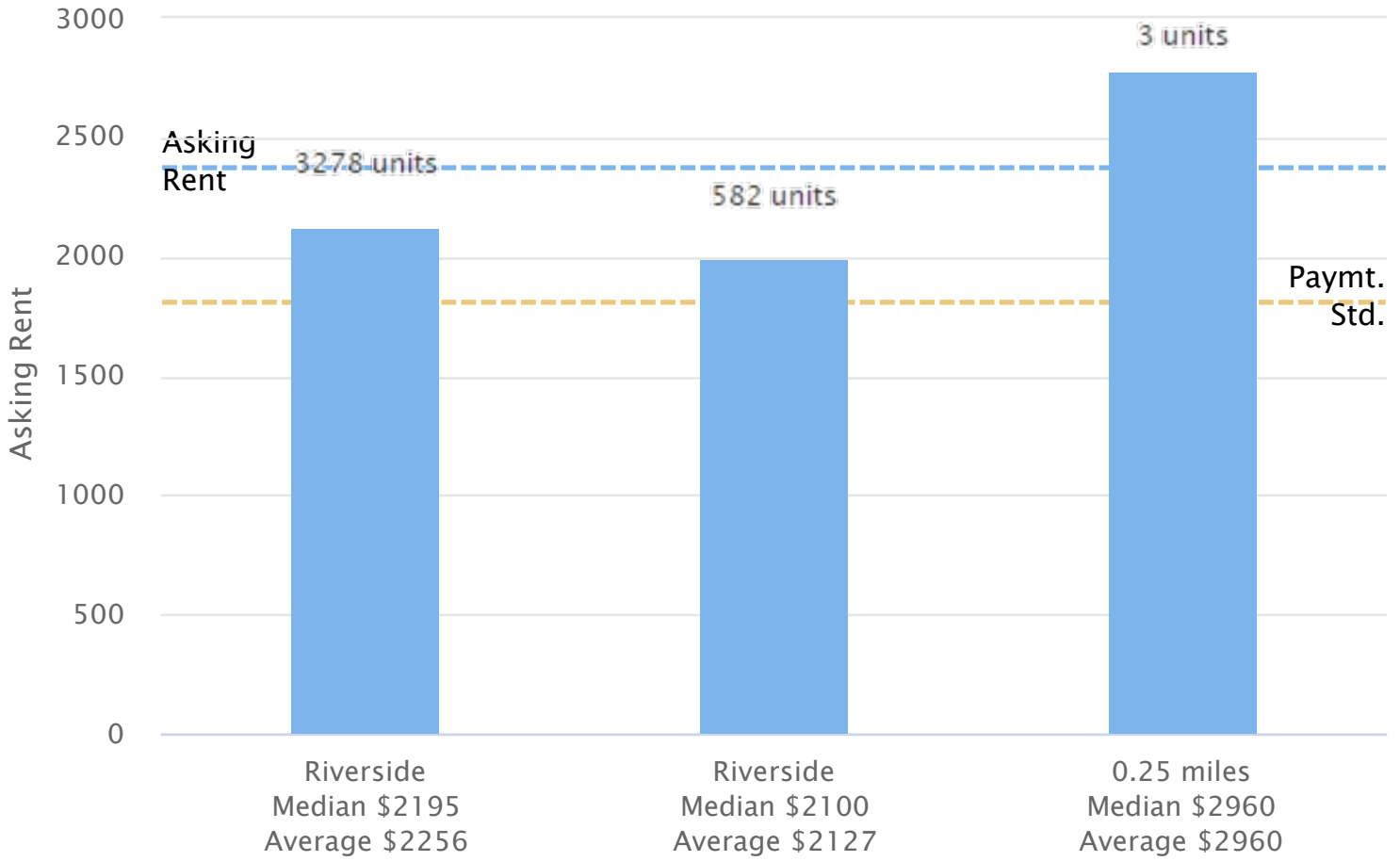
Housing Authority Housing Authority of the County of Riverside

Certifier Erlan Gonzalez

Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE

Page 1 of 1 excluding appendices.

# Local Market Analysis



The adjusted reasonable rent range is \$3,170.54 to \$3,170.54.

Comparable 1:	<b>\$3,170.54</b>	89.91% Somewhat Similar
Comparable 2:	<b>\$3,170.54</b>	89.91% Somewhat Similar
Comparable 3:	<b>\$3,170.54</b>	89.91% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

**Comparable 2:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

**Comparable 3:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

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# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3985 Chestnut St A	2644 Lime St	1144 Tripoli St 4
Model		3/2/0/1400	3/1/0/1300	3/2/0/0
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92507
LOCATION				
Subdivision				
Proximity to Subject		1.22	0.14	1.62
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	3/2/0	3/2/0	3/1/0	3/2/0
Sq. Ft.	1034	1400	1300	0
Adjustment		Superior / Adj: -\$65.88	Superior / Adj: -\$2.88	Similar / Adj: \$0.00
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$229.50	Inferior / Adj: \$240.00	Inferior / Adj: \$269.50
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Owner	Public Sewer / Owner
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$28.00	Superior / Adj: -\$6.00	Superior / Adj: -\$6.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Inferior / Adj: \$10.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Stove	Garbage Disposal, W/D Hookups, Microwave, Refrigerator, Stove
AC	Central	Central	Window / Wall	Central
Heat	Central	Unknown	Unknown	Central
Parking	Unassigned	Unknown	1 - Carport	Unknown
Exterior Features	Balcony			
Lot Size				
Adjustment		Inferior / Adj: \$30.00	Inferior / Adj: \$55.00	Inferior / Adj: \$25.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	HA Added
Date Listed		11/27/2024	5/18/2024	6/26/2024
Date Rented				6/26/2024
Listing Status		Rented	Rented	Rented
Asking Rent	\$3,205.00	\$2,295.00	\$2,400.00	\$2,695.00
Actual Rent				
Adjustment		\$221.62	\$286.12	\$298.50
Adjusted Monthly Rent		\$2,516.62	\$2,686.12	\$2,993.50
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
1,426 Similar 3 bedroom comparables in Riverside County				
129 Similar 3 bedroom comparables in the City of Riverside				
36 Within 1.75 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,689.47.				
The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.				
Requested Rent Amount: \$3,205.00 Rent Approved: \$2,689.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$3,205.00 IS NOT reasonable, and the approved rent of \$2,689.00 IS reasonable.				

Certification ID [4045D819-71BC-47D4-B8F1-41DCF7F9979C](#)

Certification Date 2025-3-15  
 Version AVM 6.1, RRC 7.0, RW5  
 Client Reference  
 Voucher Bedroom 3  
 Family Name Mulberry Gardens  
 Housing Authority Housing Authority of the County of Riverside  
 Certifier Erlan Gonzalez  
 Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE  
 Page 1 of 2 excluding appendices.

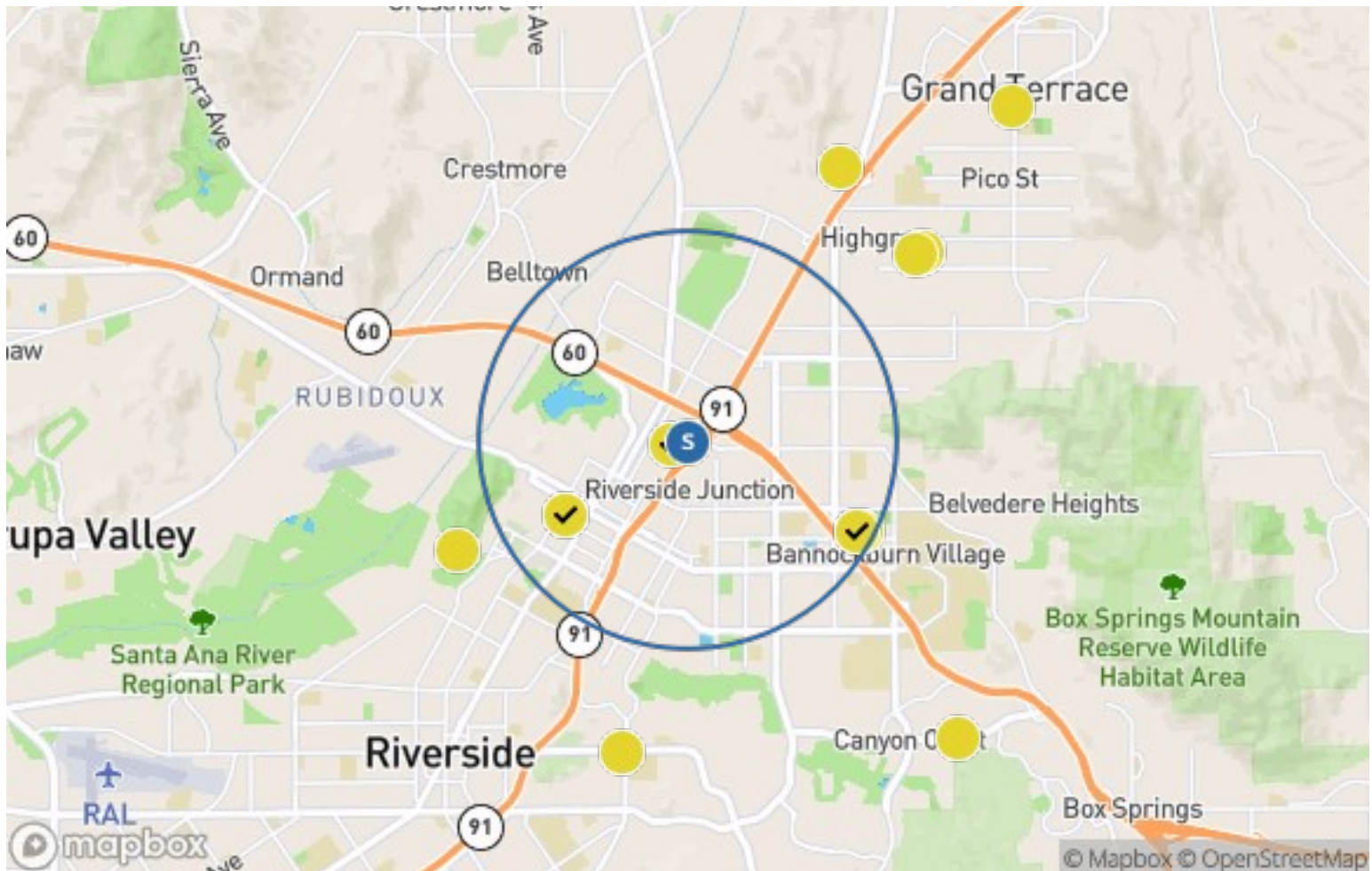
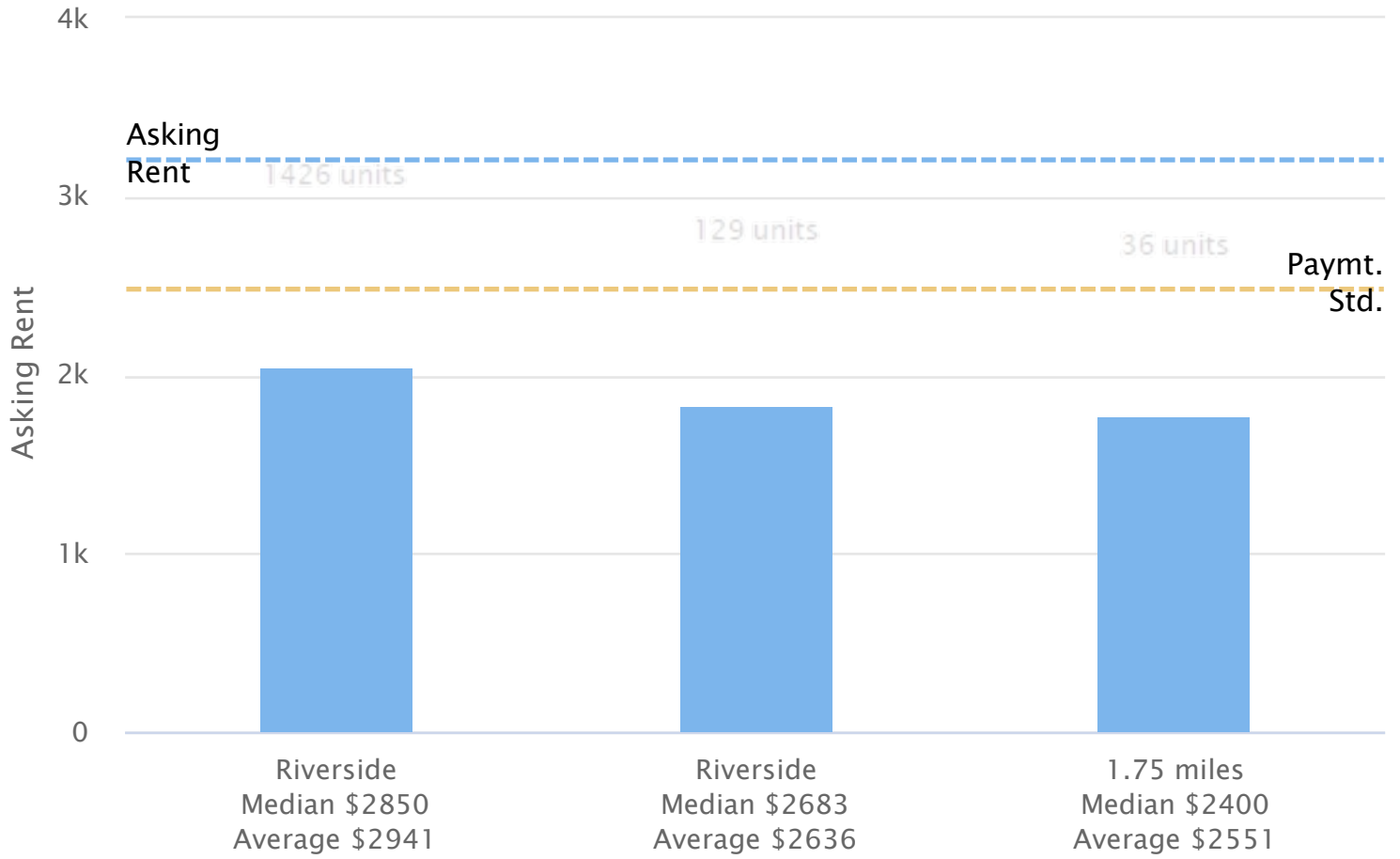
# Rent Reasonable Valuation

	Subject	Comparable 4		
Address	2560 Mulberry St	3985 Chestnut St B		
Model		3/1/0/1400		
City	Riverside 92501	Riverside 92501		
<b>LOCATION</b>				
Subdivision				
Proximity to Subject		1.22		
Adjustment		Similar / Adj: \$0.00		
<b>Size</b>				
Beds/Baths/Half Baths	3/2/0	3/1/0		
Sq. Ft.	1034	1400		
Adjustment		Superior / Adj: -\$20.88		
<b>TYPE</b>				
Property Type	apartment	apartment		
Adjustment		Similar / Adj: \$0.00		
<b>AGE</b>				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00		
<b>CONDITION &amp; QUALITY</b>				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$229.50		
<b>UTILITIES</b>				
Heat	Electric / Tenant	Natural Gas / Tenant		
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant		
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant		
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant		
Water Type / Paid By	City Water / Owner	City Water / Owner		
Lights / Other Electric	Tenant	Tenant		
Adjustment		Inferior / Adj: \$28.00		
<b>MAINTENANCE</b>				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash		
Adjustment		Similar / Adj: \$0.00		
<b>AMENITIES</b>				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Refrigerator, Stove		
AC	Central	Central		
Heat	Central	Unknown		
Parking	Unassigned	Unknown		
Exterior Features	Balcony			
Lot Size				
Adjustment		Inferior / Adj: \$30.00		
<b>RENT ADJUSTMENTS</b>				
Data Source		Internet Listing		
Date Listed		11/27/2024		
Date Rented				
Listing Status		Rented		
Asking Rent	\$3,205.00	\$2,295.00		
Actual Rent				
Adjustment		\$266.62		
Adjusted Monthly Rent		\$2,561.62		
<b>COMPARABLE BREAKDOWN</b>				
15,977 Recent comparables in jurisdiction				
1,426 Similar 3 bedroom comparables in Riverside County				
129 Similar 3 bedroom comparables in the City of Riverside				
36 Within 1.75 miles				
<b>CERTIFICATION</b>				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,689.47.				
The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.				
Requested Rent Amount: \$3,205.00 Rent Approved: \$2,689.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$3,205.00 IS NOT reasonable, and the approved rent of \$2,689.00 IS reasonable.				

Certification ID [4045D819-71BC-47D4-B8F1-41DCF7F9979C](#)

Certification Date 2025-3-15  
 Version AVM 6.1, RRC 7.0, RW5  
 Client Reference  
 Voucher Bedroom 3  
 Family Name Mulberry Gardens  
 Housing Authority Housing Authority of the County of Riverside  
 Certifier Erlan Gonzalez  
 Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE  
 Page 2 of 2 excluding appendices.

# Local Market Analysis



The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.

Comparable 1:	<b>\$2,516.62</b>	88.70% Somewhat Similar
Comparable 2:	<b>\$2,686.12</b>	84.92% Somewhat Similar
Comparable 3:	<b>\$2,993.50</b>	88.34% Somewhat Similar
Comparable 4:	<b>\$2,561.62</b>	86.61% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$65.88 adjustment)  
Quality for comparable is inferior to subject (\$229.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$221.62)

**Comparable 2:**

Living area for comparable is superior to subject (-\$47.88 adjustment)  
Quality for comparable is inferior to subject (\$240.00 adjustment)  
Full bath count for comparable is inferior to subject (\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Refrigerator for comparable is inferior to subject (\$25.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Cooling system for comparable is inferior to subject (\$15.00 adjustment)  
Parking for comparable is superior to subject (-\$15.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Sewer utility for comparable is superior to subject (-\$34.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$286.12)

**Comparable 3:**

Quality for comparable is inferior to subject (\$269.50 adjustment)  
Pest service for comparable is inferior to subject (\$10.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Sewer utility for comparable is superior to subject (-\$34.00 adjustment)  
Total adjustment for this property is (\$298.50)

**Comparable 4:**

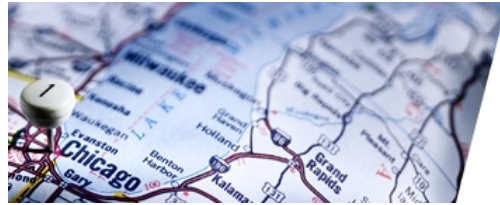
Living area for comparable is superior to subject (-\$65.88 adjustment)  
Quality for comparable is inferior to subject (\$229.50 adjustment)  
Full bath count for comparable is inferior to subject (\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$266.62)

This rent reasonable certification is based on information provided by others and/or obtained from outside sources. No opinion, warranty, or guarantee of the reliability of the data relied upon is implied or expressed by the use of that data herein, and GOsection8.com does not warrant the correctness of

the data. All Data should be verified by the RR Certifier for accuracy.



MENU



## 2024 and 2025 Small DDAs and QCTs

### Overview of 2024 and 2025 Small DDAs and QCTs

The 2025 Qualified Census Tracts (QCTs) and Difficult Development Areas (DDAs) are effective January 1, 2025. The 2025 QCT designations use tract boundaries from the 2020 Decennial census. The 2025 metro DDAs use ZIP Code Tabulation Area (ZCTA) boundaries from the 2020 Decennial census. The designation methodology is explained in the [Federal Register notice](#) published September 9, 2024.

Current zoom: 14

Select Year:

2025  2024

Select Layer(s):

LIHTC Projects (Zoom 11+)

FMR Outlines (Zoom 4+)

Difficult Development Areas (Zoom 7+)

Non-Metro Difficult Development Areas

Small Difficult Development Areas

Color QCT Qualified Tracts (Zoom 7+)

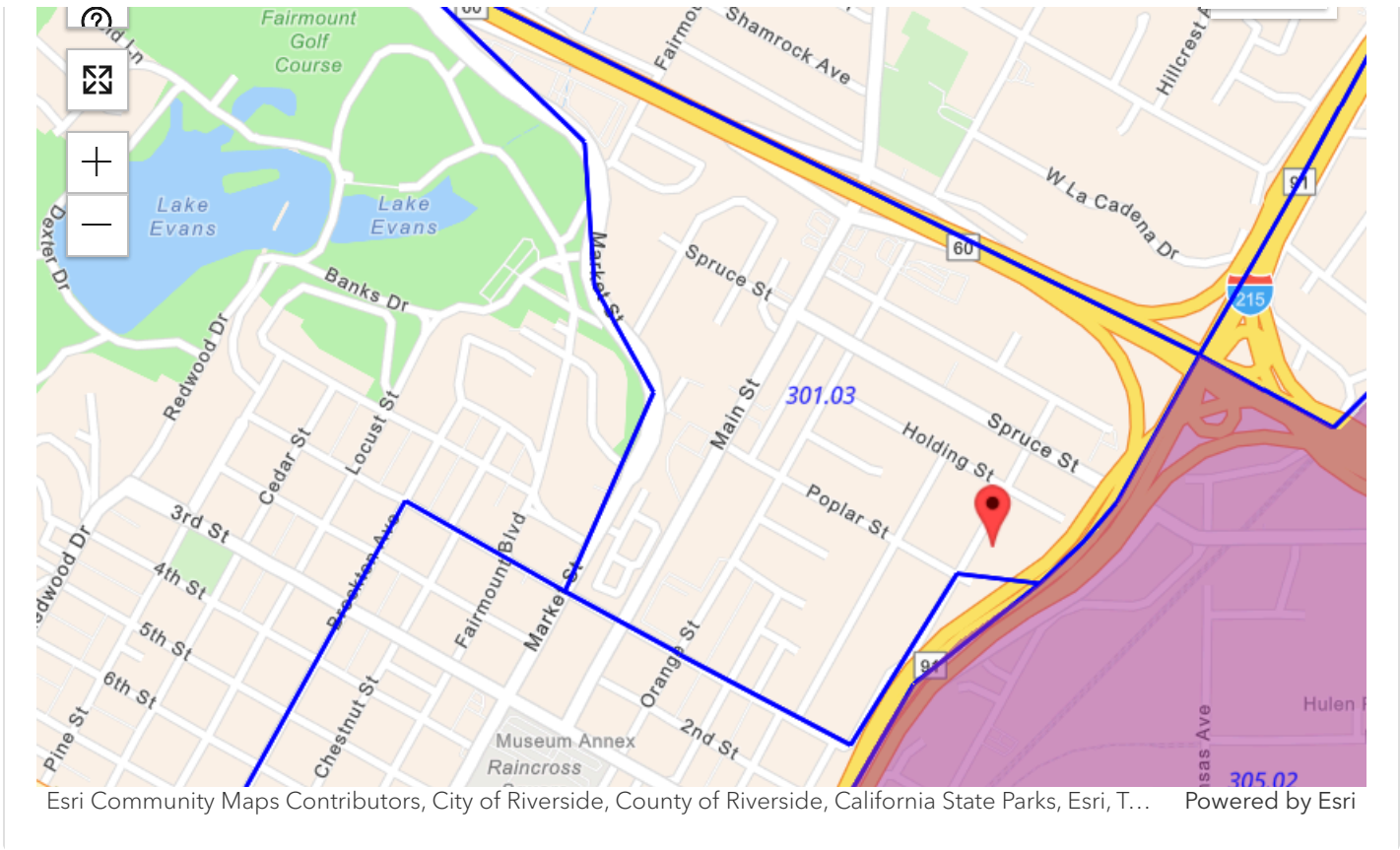


Tracts Outline (Zoom 11+)



2560 Mulberry St, Riversic





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- [Organization Chart](#)
- [PD&R Events](#)
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**HUD USER**

P.O. Box 23268, Washington, DC 20026-3268

**Toll Free:** 1-800-245-2691

**TDD:** 1-800-927-7589

**Local:** 1-703-964-0670 **Fax:** 1-202-708-9981





## Request for Reasonable Rent Study

Developer Name: Eden Housing Inc.  
Developer Address: 22645 Grand St, Hayward, CA 94541  
Developer Contact: Jared Kadry  
Developer Phone: 619-830-5433 Developer Email: jared.kadry@edenhousing.org  
Project Name: Mulberry Gardens Family Apartments  
Project Address: 2560 Mulberry St, Riverside, CA 92501

New Construction or Existing: New Construction

Standard Utility Allowance or Energy Efficient? Energy Efficient

If energy efficient (EE), must attach proof that you have been approved to use the EE allowance by the Housing Authority.

Number of units: 150 Number of Project Based Vouchers: 37

Rent Requested by Owner:

One BR: \$ 1,899  
Two BR: \$ 2,377  
Three BR: \$ 3,205  
Four BR: \$ \_\_\_\_\_  
Other: \_\_\_\_\_ : \$ \_\_\_\_\_

Square Footage of Units and number of bathrooms (full/half):

One BR: <u>522</u>	SQ FT	# Bathrooms <u>1</u>	Half or Full: <u>Full</u>
Two BR: <u>749</u>	SQ FT	# Bathrooms <u>1</u>	Half or Full: <u>Full</u>
Three BR: <u>1034</u>	SQ FT	# Bathrooms <u>2</u>	Half or Full: <u>Full</u>
Four BR: _____	SQ FT	# Bathrooms _____	Half or Full: _____
Other: _____	SQ FT	# Bathrooms _____	Half or Full: _____

Utilities and who responsible (Owner or Tenant):

Electric Service Provider: SCE or non-SCE? Non-SCE Who pays? Owner or Tenant? Tenant  
Is heating gas or electric? Electric Who pays? Owner or Tenant? Tenant  
Is the unit heated by Hydronic Heat? No  
Is water heating gas or electric? Electric Who pays? Owner or Tenant? Owner  
Is Stove gas or electric? Electric Who pays? Owner or Tenant? Tenant  
Who provides the Stove? Owner Who provides the Refrigerator? Owner Is a microwave provided? No  
Who pays for Water? Owner  
Who pays for Sewer? Tenant  
Who pays for Trash? Owner

Amenities:

Is there a garbage disposal? Yes Does/Will the unit have a dishwasher? Yes  
Does/Will the unit have ceiling fans? Yes, in bedrooms.



Does/Will the units have washer and dryer hookups? No Is a washer or dryer provided? No

Does/Will the property have an on-site laundry room? Yes

Does/Will the units have a covered parking space? No Is the property gated? No

Does/Will the property have a swimming pool? No Does Owner provide Pest Control? Yes Lawn Care? Yes

Any other amenities? If so, please list? BBQ pits and picnic areas, bocce ball court, community room, computer lab, outdoor gym

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Developer Signature: Jared Kadry Date: 3/10/25

# **Exhibit D**

Form of PBV Housing Assistance Payments (HAP) Contract

**U.S. Department of Housing and Urban Development  
Office of Public and Indian Housing**

**SECTION 8 PROJECT-BASED VOUCHER PROGRAM  
HOUSING ASSISTANCE PAYMENTS CONTRACT**

**NEW CONSTRUCTION OR REHABILITATION**

**PART 1 OF HAP CONTRACT**

**OMB Burden Statement.** The public reporting burden for this collection of information is estimated to average 1 hour, including the time for collecting, reviewing and reporting the data. This form is required to establish terms between a PHA and owner to provide housing assistance. This contract allows a PHA to enter into a HAP contract with the owner to provide housing assistance payments for eligible families. Assurances of confidentiality are not provided under this collection. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions to reduce this burden, to the Office of Public and Indian Housing, US. Department of Housing and Urban Development, Washington, DC 20410. HUD may not conduct and sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid control number.

**Privacy Notice.** The Department of Housing and Urban Development (HUD) is authorized to collect the information required on this form by 24 CFR § 983.202. The information sets forth the PHA and owner's agreement to provide housing under the project-based component of the Housing Choice Voucher Program. The Personally Identifiable Information (PII) data collected on this form are not stored or retrieved within a system of record.

**1. CONTRACT INFORMATION**

**a. Parties**

This housing assistance payments (HAP) contract is entered into between:

\_\_\_\_\_ (PHA) and

\_\_\_\_\_ (owner).

**b. Contents of contract**

The HAP contract consists of Part 1, Part 2, and the contract exhibits listed in paragraph c.

**c. Contract exhibits**

The HAP contract includes the following exhibits:

---

**Project-Based Voucher Program  
HAP Contract for New Construction/Rehab**

Previous editions are obsolete

**HUD 52530A Page - 1 of Part 1  
(04/2023)**

EXHIBIT A: TOTAL NUMBER OF UNITS IN PROJECT COVERED BY THIS HAP CONTRACT; INITIAL RENT TO OWNER; AND DESCRIPTION OF THE CONTRACT UNITS. (See 24 CFR 983.203 for required items.) If this is a multi-stage project, this exhibit must include a description of the units in each completed phase.

EXHIBIT B: SERVICES, MAINTENANCE AND EQUIPMENT TO BE PROVIDED BY THE OWNER WITHOUT CHARGES IN ADDITION TO RENT TO OWNER

EXHIBIT C: UTILITIES AVAILABLE IN THE CONTRACT UNITS, INCLUDING A LISTING OF UTILITY SERVICES TO BE PAID BY THE OWNER (WITHOUT CHARGES IN ADDITION TO RENT TO OWNER) AND UTILITIES TO BE PAID BY THE TENANTS

EXHIBIT D: FEATURES PROVIDED TO COMPLY WITH PROGRAM ACCESSIBILITY FEATURES OF SECTION 504 OF THE REHABILITATION ACT OF 1973 AND IMPLEMENTING REGULATIONS AT 24 CFR PART 8

ADDITIONAL EXHIBITS

**d. Single-Stage and Multi-Stage Contracts (place a check mark in front of the applicable project description).**

**Single-Stage Project**

This is a single-stage project. For all contract units, the effective date of the HAP contract is:

\_\_\_\_\_.

**Multi-Stage Project**

This is a multi-stage project. The units in each completed stage are designated in Exhibit A.

The PHA enters the effective date for each stage after completion and PHA acceptance of all units in that stage. The PHA enters the effective date for each stage in the "Execution of HAP contract for contract units completed and accepted in stages" (starting on page 9).

The annual anniversary date of the HAP contract for all contract units in this multi-stage project is the anniversary of the effective date of the HAP contract for the contract units included in the first stage. The expiration date of the HAP contract for all of the contract units completed in stages must be concurrent with the end of the HAP contract term for the units included in the first stage (see 24 CFR 983.207(c)).

**e. Term of the HAP contract**

**1. Beginning of term**

The PHA may not enter into a HAP contract for any contract unit until the PHA (or an independent entity, as applicable) has determined that the unit meets PBV inspection requirements. The term of the HAP contract for any unit begins on the effective date of the HAP contract.

**2. Length of initial term**

a. Subject to paragraph 2.b, the initial term of the HAP contract for any contract units is:

\_\_\_\_\_.

b. The initial term of the HAP contract for any unit may not be less than one year, nor more than twenty years.

**3. Extension of term**

The PHA and owner may agree to enter into an extension of the HAP contract at the time of initial HAP contract execution, or any time prior to expiration of the contract. Any extension, including the term of such extension, must be in accordance with HUD requirements. A PHA must determine that any extension is appropriate to achieve long-term affordability of the housing or expand housing opportunities.

**4. Requirement for sufficient appropriated funding**

a. The length of the initial term and any extension term shall be subject to availability, as determined by HUD, or by the PHA in accordance with HUD requirements, of sufficient appropriated funding (budget authority), as provided in appropriations acts and in the PHA's annual contributions contract (ACC) with HUD, to make full payment of housing assistance payments due to the

owner for any contract year in accordance with the HAP contract.

- b. The availability of sufficient funding must be determined by HUD or by the PHA in accordance with HUD requirements. If it is determined that there may not be sufficient funding to continue housing assistance payments for all contract units and for the full term of the HAP contract, the PHA has the right to terminate the HAP contract by notice to the owner for all or any of the contract units. Such action by the PHA shall be implemented in accordance with HUD requirements.

**f. Occupancy and payment**

**1. Payment for occupied unit**

During the term of the HAP contract, the PHA shall make housing assistance payments to the owner for the months during which a contract unit is leased to and occupied by an eligible family. If an assisted family moves out of a contract unit, the owner may keep the housing assistance payment for the calendar month when the family moves out (“move-out month”). However, the owner may not keep the payment if the PHA determines that the vacancy is the owner’s fault.

**2. Vacancy payment**

THE PHA HAS DISCRETION WHETHER TO INCLUDE THE VACANCY PAYMENT PROVISION (PARAGRAPH f.2), OR TO STRIKE THIS PROVISION FROM THE HAP CONTRACT FORM.

- a. If an assisted family moves out of a contract unit, the PHA may provide vacancy payments to the owner for a PHA-determined vacancy period extending from the beginning of the first calendar month after the move-out month for a period not exceeding two full months following the move-out month.
- b. The vacancy payment to the owner for each month of the maximum two-month period will be determined by the PHA, and cannot exceed the monthly rent to owner under the assisted lease, minus any portion of the rental payment received by the owner (including amounts available from the tenant’s security deposit). Any vacancy payment may cover only the period the unit remains vacant.

- c. The PHA may make vacancy payments to the owner only if:
  - 1. The owner gives the PHA prompt, written notice certifying that the family has vacated the unit and the date when the family moved out (to the best of the owner's knowledge and belief);
  - 2. The owner certifies that the vacancy is not the fault of the owner and that the unit was vacant during the period for which payment is claimed;
  - 3. The owner certifies that it has taken every reasonable action to minimize the likelihood and length of vacancy; and
  - 4. The owner provides any additional information required and requested by the PHA to verify that the owner is entitled to the vacancy payment.
- d. The PHA must take every reasonable action to minimize the likelihood and length of vacancy.
- e. The owner may refer families to the PHA for placement on the PBV waiting list.
- f. The owner must submit a request for vacancy payments in the form and manner required by the PHA and must provide any information or substantiation required by the PHA to determine the amount of any vacancy payments.

**3. PHA is not responsible for family damage or debt to owner**

Except as provided in this paragraph f (Occupancy and Payment), the PHA will not make any other payment to the owner under the HAP contract. The PHA will not make any payment to the owner for any damages to the unit, or for any other amounts owed by a family under the family's lease.

**g. Income-mixing requirement**

- 1. Except as provided in paragraphs g.2 through g.5 below, the PHA will not make housing assistance payments under the HAP contract for more than

the greater of 25 units or 25 percent of the total number of dwelling units (assisted or unassisted) in any project. The term “project” means a single building, multiple contiguous buildings, or multiple buildings on contiguous parcels of land assisted under this HAP contract.

2. The limitation in paragraph g.1 does not apply to single-family buildings.
3. In referring eligible families to the owner for admission to the number of contract units in any project exceeding the 25 unit or 25 percent limitation under paragraph g.1, the PHA shall give preference to the applicable families as listed in g.8 below, for the number of contract units exclusively made available for occupancy by such families. The owner shall rent that number of contract units to such families referred by the PHA from the PHA waiting list.
4. Up to the greater of 25 units or 40 percent of units (instead of the greater of 25 units or 25 percent of units) in a project may be project-based if the project is located in a census tract with a poverty rate of 20 percent or less.
5. Units that were previously subject to certain federal rent restrictions or receiving another type of long-term housing subsidy provided by HUD do not count toward the income-mixing requirement if, in the five years prior to issuance of the Request for Proposal or notice of owner selection (for projects selected based on a prior competition or without competition), the unit received one of the forms of HUD assistance or was under a federal rent restriction as described in g.6 and g.7, below.
6. The following specifies the number of contract units (if any) that received one of the following forms of HUD assistance:
  - \_\_\_ Public Housing or Operating Funds;
  - \_\_\_ Project-Based Rental Assistance (including Mod Rehab and Mod Rehab Single-Room Occupancy);
  - \_\_\_ Housing for the Elderly (Section 202 or the Housing Act of 1959);
  - \_\_\_ Housing for Persons with Disabilities (Section 811 of the Cranston-Gonzalez Affordable Housing Act);
  - \_\_\_ Rent Supplement Program;
  - \_\_\_ Rental Assistance Program;

\_\_\_ Flexible Subsidy Program.

Place a check mark in front of the form of assistance received by any of the contract units. The following total number of contract units received a form of HUD assistance listed above:

\_\_\_\_\_.

If all of the units in the project received such assistance, then skip number g.8, below.

7. The following specifies the number of contract units (if any) that were under any of the following federal rent restrictions:

\_\_\_ Section 236;

\_\_\_ Section 221(d)(3) or (d)(4) BMIR (below-market interest rate);

\_\_\_ Housing for the Elderly (Section 202 or the Housing Act of 1959);

\_\_\_ Housing for Persons with Disabilities (Section 811 of the Cranston-Gonzalez Affordable Housing Act);

\_\_\_ Flexible Subsidy Program.

Place a check mark in front of the type of federal rent restriction that applied to any of the contract units. The following total number of contract units were subject to a federal rent restriction listed above:

\_\_\_\_\_.

If all of the units in the project were subject to a federal rent restriction, then skip number g.8, below.

8. The following specifies the number of contract units (if any) exclusively made available to elderly families, families eligible for supportive services, or eligible youth receiving Family Unification Program or Foster Youth to Independence (FUP/FYI) assistance:

- a Place a check mark here \_\_\_ if any contract units are exclusively made available for occupancy by elderly families; The following number of contract units shall be rented to elderly families:

\_\_\_\_\_.

b. Place a check mark here \_\_\_ if any contract units are exclusively made available for occupancy by families eligible for supportive services. The following number of contract units shall be rented to families eligible for supportive services:

\_\_\_\_\_.

c. Place a check mark here \_\_\_ if any contract units are exclusively made available for occupancy by eligible youth receiving FUP/FYI assistance. The following number of contract units shall be rented to eligible youth receiving FUP/FYI assistance:

\_\_\_\_\_.

9. The PHA and owner must comply with all HUD requirements regarding income mixing.

**EXECUTION OF HAP CONTRACT FOR SINGLE-STAGE PROJECT**

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct.  
WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§ 287, 1001, 1010, 1012; 31 U.S.C. §3729, 3802).

<b>PUBLIC HOUSING AGENCY (PHA)</b> <b>Name of PHA (Print)</b>
By: Signature of authorized representative
Name and official title (Print)
Date
<b>OWNER</b> <b>Name of Owner (Print)</b>
By: Signature of authorized representative
Name and official title (Print)
Date

**ACKNOWLEDGED AND AGREED AS OF THE DATE FIRST SET FORTH ABOVE:**

**OWNER:**

MULBERRY GARDENS FAMILY, L.P.,  
a California limited partnership

By: Mulberry Gardens Family LLC,  
a California limited liability company,  
its General Partner

By: Eden Housing, Inc.,  
a California nonprofit public benefit corporation,  
its Sole Member/Manager

By: \_\_\_\_\_  
Aruna Doddapaneni  
Senior Vice President of Development

**EXECUTION OF HAP CONTRACT FOR CONTRACT UNITS COMPLETED  
AND ACCEPTED IN STAGES**

(For multi-stage projects, at acceptance of each stage, the PHA and the owner sign the HAP contract execution for the completed stage.)

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct.  
WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§ 287, 1001, 1010, 1012; 31 U.S.C. §3729, 3802).

<b>STAGE NO. 1:</b> The Contract is hereby executed for the contract units in this stage.
<b>STAGE EFFECTIVE DATE:</b> The effective date of the Contract for this stage is:
Date
<b>PUBLIC HOUSING AGENCY (PHA)</b>
<b>Name of PHA (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date
<b>OWNER</b>
<b>Name of Owner (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date

<b>STAGE NO. 2:</b> The Contract is hereby executed for the contract units in this stage. <b>STAGE EFFECTIVE DATE:</b> The effective date of the Contract for this stage is:
Date
<b>PUBLIC HOUSING AGENCY (PHA)</b> <b>Name of PHA (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date
<b>OWNER</b> <b>Name of Owner (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date

<b>STAGE NO. 3:</b> The Contract is hereby executed for the contract units in this stage. <b>STAGE EFFECTIVE DATE:</b> The effective date of the Contract for this stage is:
Date
<b>PUBLIC HOUSING AGENCY (PHA)</b> <b>Name of PHA (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date
<b>OWNER</b> <b>Name of Owner (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date

<b>STAGE NO. __:</b> The Contract is hereby executed for the contract units in this stage. <b>STAGE EFFECTIVE DATE:</b> The effective date of the Contract for this stage is:
Date
<b>PUBLIC HOUSING AGENCY (PHA)</b> <b>Name of PHA (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date
<b>OWNER</b> <b>Name of Owner (Print)</b>
By:
Signature of authorized representative
Name and official title (Print)
Date

# Exhibit A of HAP





# HOUSING AUTHORITY of the County of Riverside

Main Office  
5555 Arlington Avenue  
Riverside, CA 92504-2506  
(951) 351-0700  
FAX (951)354-6324  
TDD (951) 351-9844

March 15, 2025 (initial)

Eden Housing, Inc.  
Attn: Jared Kandry  
22645 Grand St.  
Hayward, CA 94542

Indio Office  
44-199 Monroe, Ste. B  
Indio, CA 92201  
(760) 863-2828  
(760) 863-2838 FAX  
TDD (760) 863-2830

Website: [harivco.org](http://harivco.org)

RE: Initial Rent Study – HCV Project-Based Vouchers  
Mulberry Gardens Apartments  
2560 Mulberry St., Riverside, CA 92501

Dear Jared Kandry,

The Housing Authority of the County of Riverside in accordance with 24 Code of Federal Regulation (CFR) 983.301 has completed a rent comparability analysis to determine the estimated initial rents for the Project-Based Vouchers that will be utilized for the Mulberry Gardens Family Apartments in Riverside. The FMR Rent Cap, estimated initial contract rent, current applicable utility allowance and gross contract rent are as follows:

**PBV Contract Rent Determination**

<b>Bedroom Size</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>
Rent Requested by Owner	\$1,899	\$2,377	\$3,205
Reasonable Rent	\$1,899 per AffordableHousing.com	\$2,377 per AffordableHousing.com	\$2,689 per AffordableHousing.com
110% of 2025 FMR eff 10/1/24	\$2,037 (\$1,852 + \$185)	\$2,536 (\$2,306 + \$230)	\$3,386 (\$3,079 + \$307)
less Utility Allowance eff 7/1/24	\$138	\$160	\$182
FMR Rent Cap	\$1,899	\$2,376	\$3,204
<b>The PBV Contract Rent is determined according to 24 CFR 983.301(b) and is set at the lowest of: (1) the Reasonable Rent, (2) the rent requested by the owner, or (3) the Fair Market Rent (FMR) cap minus the Utility Allowance.</b>	<b>\$1,899</b>	<b>\$2,376</b>	<b>\$2,689</b>

Actual rents will be determined prior to execution of the Project-Based Voucher Program Housing Assistance Payment (HAP) Contract. If you have any questions, please feel free to contact me at (951) 343-5434.

Sincerely,

*Erlan Gonzalez*

Erlan Gonzalez  
Principal Development Specialist

#### **24 Code of Federal Regulations (CFR) 983.301 Determining the rent to owner.**

(a) *Initial and redetermined rents.* (1) The amount of the initial and redetermined rent to owner is determined in accordance with this section and § 983.302.

(b) *Amount of rent to owner.* Except for certain tax credit units as provided in paragraph (c) of this section, **the rent to owner must not exceed the lowest of:**

(1) An amount determined by the PHA, not to exceed 110 percent of the applicable fair market rent (or any exception payment standard approved by the Secretary) for the unit bedroom size minus any utility allowance; (2) The reasonable rent; or (3) The rent requested by the owner.

(c) *Rent to owner for certain tax credit units.* (1) This paragraph (c) applies if: (i) A contract unit receives a low-income housing tax credit under the Internal Revenue Code of 1986 (see 26 U.S.C. 42); (ii) The contract unit is not located in a qualified census tract; (iii) In the same building, there are comparable tax credit units of the same unit bedroom size as the contract unit and the comparable tax credit units do not have any form of rental assistance other than the tax credit; and (iv) The tax credit rent exceeds the applicable fair market rental (or any exception payment standard) as determined in accordance with paragraph (b) of this section. (2) In the case of a contract unit described in paragraph (c)(1) of this section, the rent to owner must not exceed the lowest of: (i) The tax credit rent minus any utility allowance; (ii) The reasonable rent; or (iii) The rent requested by the owner. (3) The “tax credit rent” is the rent charged for comparable units of the same bedroom size in the building that also receive the low-income housing tax credit but do not have any additional rental assistance (e.g., additional assistance such as tenant-based voucher assistance). (4) A “qualified census tract” is any census tract (or equivalent geographic area defined by the Bureau of the Census) in which: (i) At least 50 percent of households have an income of less than 60 percent of Area Median Gross Income (AMGI); or (ii) Where the poverty rate is at least 25 percent and where the census tract is designated as a qualified census tract by HUD.

(d) *Rent to owner for other tax credit units.* Except in the case of a tax-credit unit described in paragraph (c)(1) of this section, the rent to owner for all other tax credit units may be determined by the PHA pursuant to paragraph (b) of this section.

(e) *Reasonable rent.* The PHA shall determine the reasonable rent in accordance with § 983.303. The rent to the owner for each contract unit may at no time exceed the reasonable rent, except in cases where, the PHA has elected within the HAP contract not to reduce rents below the initial rent to owner and, upon redetermination of the rent to owner, the reasonable rent would result in a rent below the initial rent. If the PHA has not elected within the HAP contract to establish the initial rent to owner as the rent floor, the rent to owner shall not at any time exceed the reasonable rent.

(ii) *Redetermination of rent to owner.* When redetermining the rent to owner, the PHA shall use the most recently published FMR and the PHA utility allowance schedule in effect at the time of redetermination. At its discretion, the PHA may use the amounts in effect at any time during the 30-day period immediately before the redetermination date.

**Note: Mulberry Gardens Family Apts, located in Census Tract 301.03, is not in a Qualified Census Tract (QCT). Per 24 CFR 983.301(c), LIHTC rent limits apply, and rent cannot exceed the lowest of LIHTC rent, 110% FMR (or exception standard), reasonable rent, or the rent requested by the owner.**

#### **24 CFR 983.302 Redetermination of rent to owner.**

(a) The PHA must redetermine the rent to owner:

(1) Upon the owner’s request; or (2) When there is a 10 percent decrease in the published FMR.

(b) *Rent increase.* (1) The PHA may not make any rent increase other than an increase in the rent to owner as determined pursuant to § 983.301. (Provisions for special adjustments of contract rent pursuant to 42 U.S.C. 1437f(b)(2)(B) do not apply to the voucher program.)

(2) The owner must request an increase in the rent to owner at the annual anniversary of the HAP contract by written notice to the PHA. The length of the required notice period of the owner request for a rent increase at the annual anniversary may be established by the PHA. The request must be submitted in the form and manner required by the PHA.

*[Refer to 24 CFR 983.1, 983.2, 982.308(g)(4) The owner must notify the PHA of any changes in the amount of the rent to owner at least sixty days before any such changes go into effect, and any such changes shall be subject to rent reasonableness requirements.]*

(3) The PHA may not approve, and the owner may not receive any increase of rent to owner until and unless the owner has complied with all requirements of the HAP contract, including compliance with the HQS. The owner may not receive any retroactive increase of rent for any period of noncompliance.

(c) *Rent decrease.* (1) If there is a decrease in the rent to owner, as established in accordance with § 983.301, the rent to owner must be decreased, regardless of whether the owner requested a rent adjustment. (2) If the PHA has elected within the HAP contract to not reduce rents below the initial rent to owner, the rent to owner shall not be reduced below the initial rent to owner for dwelling units under the initial HAP contract, except: (i) To correct errors in calculations in accordance with HUD requirements; (ii) If additional housing assistance has been combined with PBV assistance after the execution of the initial HAP contract and a rent decrease is required pursuant to § 983.55; or (iii) If a decrease in rent to owner is required based on changes in the allocation of responsibility for utilities between the owner and the tenant.

(d) *Notice of rent redetermination.* Rent to owner is redetermined by written notice by the PHA to the owner specifying the amount of the redetermined rent (as determined in accordance with 24 CFR 983.301 and 983.302). The PHA notice of the rent adjustment constitutes an amendment of the rent to owner specified in the HAP contract.

(e) *Contract year and annual anniversary of the HAP contract.* (1) The contract year is the period of 12 calendar months preceding each annual anniversary of the HAP contract during the HAP contract term. The initial contract year is calculated from the first day of the first calendar month of the HAP contract term. (2) The annual anniversary of the HAP contract is the first day of the first calendar month after the end of the preceding contract year. The adjusted rent to owner amount applies for the period of 12 calendar months from the annual anniversary of the HAP contract.

(3) See § 983.207(c) for information on the annual anniversary of the HAP contract for contract units completed in stages.

**24 CFR 983.207(c) Staged completion of contract units.** Even if contract units are placed under the HAP contract in stages commencing on different dates, there is a single annual anniversary for all contract units under the HAP contract. The annual anniversary for all contract units is the annual anniversary date for the first contract units placed under the HAP contract. The expiration of the HAP contract for all the contract units completed in stages must be concurrent with the end of the HAP contract term for the units originally placed under HAP contract.

# Utility Allowance Schedule

See Public Reporting and Instructions on back.

U.S. Department of Housing and Urban  
Development

Office of Public and Indian Housing

OMB Approval No. 2577-0169  
(exp. 04/30/2026)

The following allowances are used to determine the total cost of tenant-furnished utilities and appliances.

Locality/PHA <b>Housing Authority of the County of Riverside, CA</b>		Unit Type: <b>Multi-Family (Apartment)</b>				Date (mm/dd/yyyy) <b>7-1-2024</b>		
Utility of Service (Energy Efficient)	Fuel Type	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Heating	Natural Gas	\$16.00	\$19.00	\$20.00	\$22.00	\$23.00	\$25.00	\$27.00
	Bottle Gas	\$50.00	\$60.00	\$64.00	\$69.00	\$73.00	\$78.00	\$87.00
	Electric (avg)	\$13.00	\$15.00	\$19.00	\$23.00	\$26.00	\$30.00	\$32.00
	Fuel Oil							
Cooking	Natural Gas	\$3.00	\$5.00	\$6.00	\$8.00	\$9.00	\$13.00	\$14.00
	Bottle Gas	\$9.00	\$14.00	\$18.00	\$23.00	\$32.00	\$41.00	\$46.00
	Electric (avg)	\$7.00	\$8.00	\$12.00	\$15.00	\$19.00	\$23.00	\$24.00
Other Electric	<b>Non-SCE (avg)</b>	\$21.00	\$25.00	\$34.00	\$44.00	\$54.00	\$63.00	\$69.00
Other Electric	<b>SCE (Monthly Credit)</b>	\$22.00	\$28.00	\$45.00	\$61.00	\$78.00	\$94.00	\$103.00
Air Conditioning		\$12.00	\$14.00	\$19.00	\$24.00	\$29.00	\$35.00	\$37.00
Water Heating	Natural Gas	\$8.00	\$9.00	\$13.00	\$17.00	\$20.00	\$25.00	\$27.00
	Bottle Gas	\$23.00	\$32.00	\$41.00	\$55.00	\$64.00	\$78.00	\$87.00
	Electric (avg)	\$16.00	\$18.00	\$23.00	\$28.00	\$34.00	\$38.00	\$42.00
	Fuel Oil							
Water	(avg)(MF)	\$27.00	\$28.00	\$30.00	\$32.00	\$35.00	\$38.00	\$40.00
Sewer	(avg)(MF)	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00	\$34.00
Trash Collection	(avg)	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00	\$32.00
<b>Other specify: Electric Charge \$25.83 (Non SCE/Non-Rev Public Monthly)</b>		\$26.00	\$26.00	\$26.00	\$26.00	\$26.00	\$26.00	\$26.00
<b>Other specify: Natural Gas Charge \$5.10</b>		\$5.00	\$5.00	\$5.00	\$5.00	\$5.00	\$5.00	\$5.00
<b>Other specify: Electric Charge \$41.79 (Monthly (Riverside Public Utilities))</b>		\$42.00	\$42.00	\$42.00	\$42.00	\$42.00	\$42.00	\$42.00
Range/Microwave		\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00
Refrigerator		\$12.00	\$12.00	\$12.00	\$12.00	\$12.00	\$12.00	\$12.00
<b>Actual Family Allowances</b> -May be used by the family to compute allowance while searching for a unit.					Utility/Service/Appliance		Allowance	
Head of Household Name					Heating			
<b>Mulberry Gardens Family Apartments</b>					Cooking			
					Other Electric			
Unit Address					Air Conditioning			
					Water Heating			
2560 Mulberry St., Riverside, CA 92501					Water			
					Sewer			
Number of Bedrooms					Trash Collection			
					Other			
UA: 1 BR \$138 2 BR: \$160; 3 BR \$ 182					Range/Microwave			
					Refrigerator			
					Total			



adapted from form HUD-52667  
(04/2023)



# FY 2025 FAIR MARKET RENT DOCUMENTATION SYSTEM

The FY 2025 Riverside-San Bernardino-Ontario, CA MSA FMRs for All Bedroom Sizes

Final FY 2025 & Final FY 2024 FMRs By Unit Bedrooms					
Year	Efficiency	One-Bedroom	Two-Bedroom	Three-Bedroom	Four-Bedroom
FY 2025 FMR	\$1,776	\$1,852	\$2,306	\$3,079	\$3,745

The Riverside-San Bernardino-Ontario, CA MSA consists of the following counties: Riverside County, CA; and San Bernardino County, CA. All information here applies to the entirety of the Riverside-San Bernardino-Ontario, CA MSA.

## FY 2025 FMR EFFECTIVE 10/1/2024 THROUGH 9/30/2025

[https://www.huduser.gov/portal/datasets/fmr/fmrs/FY2025\\_code/2025summary.odn](https://www.huduser.gov/portal/datasets/fmr/fmrs/FY2025_code/2025summary.odn)

The FMRs for unit sizes larger than four bedrooms are calculated by adding 15 percent to the four bedroom FMR, for each extra bedroom. For example, the FMR for a five bedroom unit is 1.15 times the four bedroom FMR, and the FMR for a six bedroom unit is 1.30 times the four bedroom FMR. FMRs for single-room occupancy units are 0.75 times the zero bedroom (efficiency) FMR.

0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
\$1,776	\$1,852	\$2,306	\$3,079	\$3,745	\$4,306	\$4,868	\$5,430

## CALCULATE 110% OF FMR BY BEDROOM SIZE (MUST ROUND DOWN)

	0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
100% FMR	\$1,776	\$1,852	\$2,306	\$3,079	\$3,745	\$4,306	\$4,868	\$5,430
10% FMR	177	185	230	307	374	430	486	543
110% FMR	\$1,953	\$2,037	\$2,536	\$3,386	\$4,119	\$4,736	\$5,354	\$5,973

## Proceed to next step of deducting utility allowance from 110% of FMR to determine FMR RENT CAP

	0 Bedroom (Efficiency)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	5 Bedroom	6 Bedroom	7 Bedroom
110% FMR	\$1,953	\$2,037	\$2,536	\$3,386	\$4,119	\$4,736	\$5,354	\$5,973
Minus Utility Allowance		\$138	\$160	\$182				
<b>FMR RENT CAP</b>		\$1899	\$2376	\$3204				

Attach Utility Allowance Calculation for each BR Size

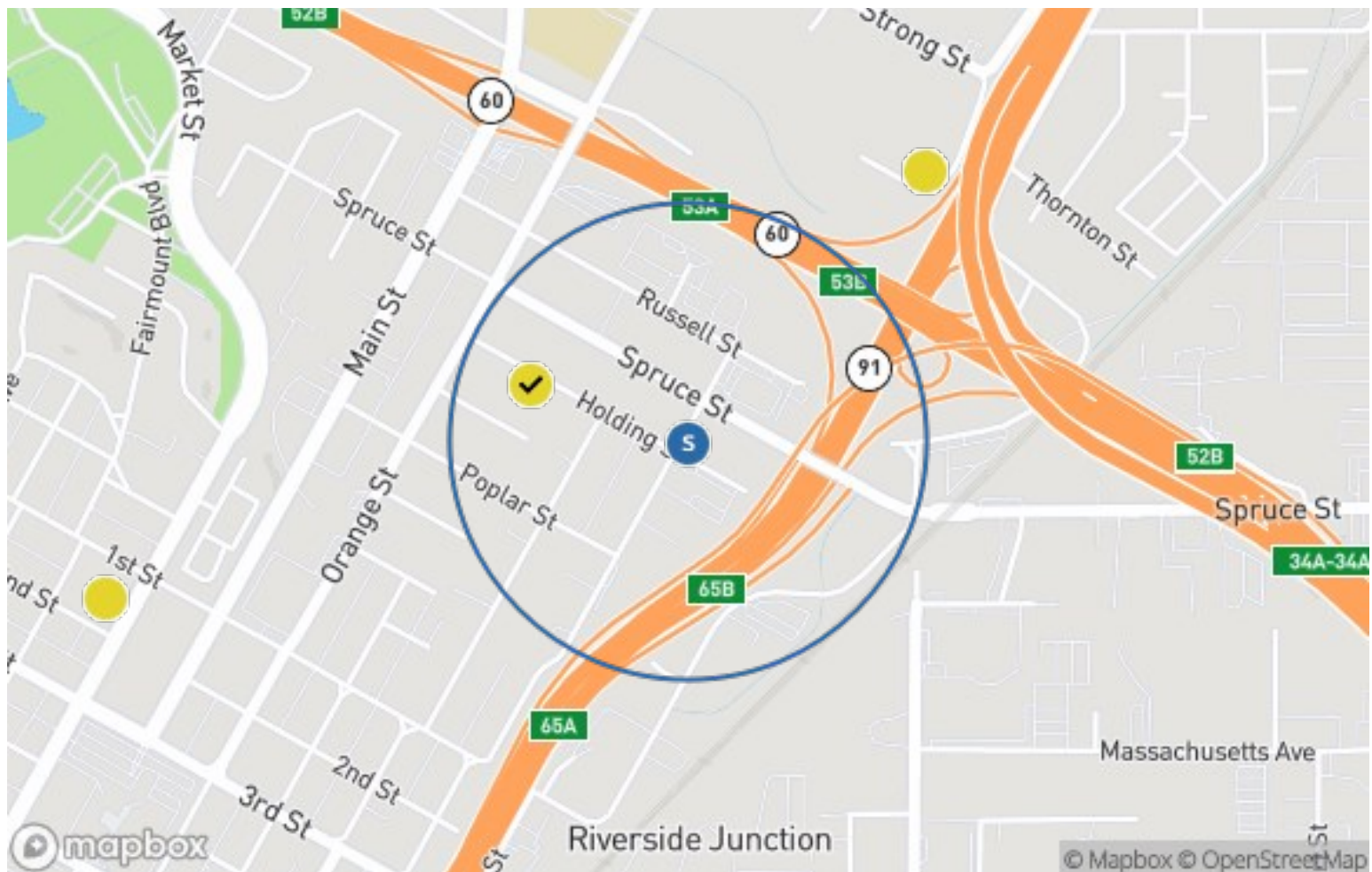
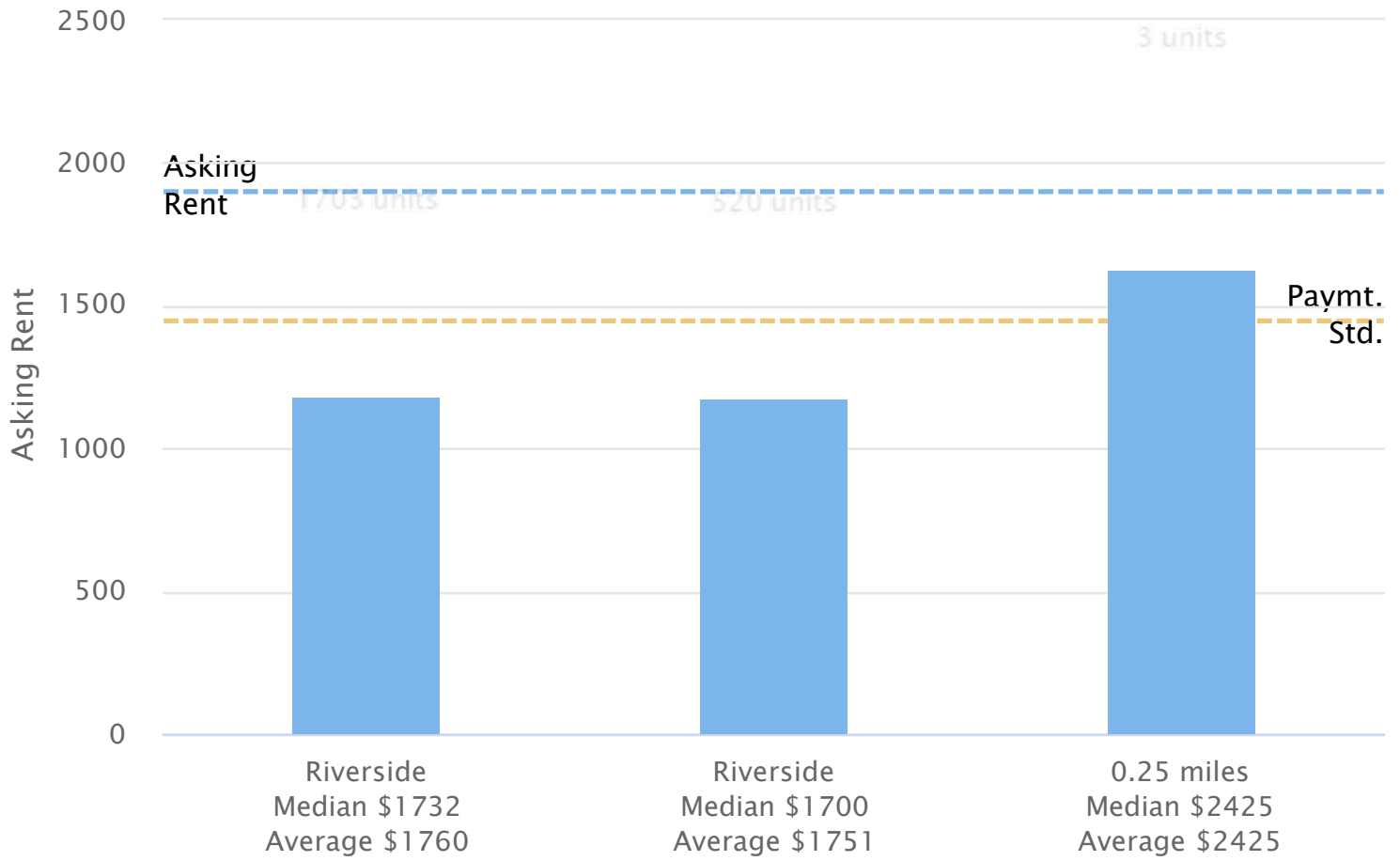
# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3461 W La Cadena Dr 6319	3461 W La Cadena Dr 6313	3461 W La Cadena Dr 6317
Model		1/1/0/746	1/1/0/746	1/1/0/746
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92501
LOCATION				
Subdivision				
Proximity to Subject		0.17	0.17	0.17
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	1/1/0	1/1/0	1/1/0	1/1/0
Sq. Ft.	522	746	746	746
Adjustment		Superior / Adj: -\$40.32	Superior / Adj: -\$40.32	Superior / Adj: -\$40.32
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$242.50	Inferior / Adj: \$242.50	Inferior / Adj: \$242.50
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$18.00	Inferior / Adj: \$18.00	Inferior / Adj: \$18.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace
AC	Central	Central	Central	Central
Heat	Central	Unknown	Unknown	Unknown
Parking	Open	None	None	None
Exterior Features	Balcony			
Lot Size				
Adjustment		Superior / Adj: -\$10.00	Superior / Adj: -\$10.00	Superior / Adj: -\$10.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	Internet Listing
Date Listed		12/24/2024	12/24/2024	12/24/2024
Date Rented				
Listing Status		Rented	Rented	Rented
Asking Rent	\$1,899.00	\$2,425.00	\$2,425.00	\$2,425.00
Actual Rent				
Adjustment		\$210.18	\$210.18	\$210.18
Adjusted Monthly Rent		\$2,635.18	\$2,635.18	\$2,635.18
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
1,703 Similar 1 bedroom comparables in Riverside County				
520 Similar 1 bedroom comparables in the City of Riverside				
3 Within 0.25 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,635.18.				
The adjusted reasonable rent range is \$2,635.18 to \$2,635.18.				
Requested Rent Amount: \$1,899.00 Rent Approved: \$1,899.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$1,899.00 IS reasonable, and the approved rent of \$1,899.00 IS reasonable.				

Certification ID [A255667F-1AAA-4971-B909-B548CC1E6885](#)

Certification Date 2025-3-15  
Version AVM 6.1, RRC 7.0, RW5  
Client Reference  
Voucher Bedroom 1  
Family Name Mulberry Gardens  
Housing Authority Housing Authority of the County of Riverside  
Certifier Erlan Gonzalez  
Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE  
Page 1 of 1 excluding appendices.

# Local Market Analysis



The adjusted reasonable rent range is \$2,635.18 to \$2,635.18.

Comparable 1:	<b>\$2,635.18</b>	89.39% Somewhat Similar
Comparable 2:	<b>\$2,635.18</b>	89.39% Somewhat Similar
Comparable 3:	<b>\$2,635.18</b>	89.39% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

**Comparable 2:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

**Comparable 3:**

Living area for comparable is superior to subject (-\$40.32 adjustment)  
Quality for comparable is inferior to subject (\$242.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$18.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.18)

This rent reasonable certification is based on information provided by others and/or obtained from outside sources. No opinion, warranty, or guarantee of the reliability of the data relied upon is implied or expressed by the use of that data herein, and GOsection8.com does not warrant the correctness of the data. All Data should be verified by the RR Certifier for accuracy.

# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3461 W La Cadena Dr 3204	3461 W La Cadena Dr 3202	3461 W La Cadena Dr 7308
Model		2/2/0/1046	2/2/0/1046	2/2/0/1046
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92501
LOCATION				
Subdivision				
Proximity to Subject		0.17	0.17	0.17
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	2/1/0	2/2/0	2/2/0	2/2/0
Sq. Ft.	749	1046	1046	1046
Adjustment		Superior / Adj: -\$98.46	Superior / Adj: -\$98.46	Superior / Adj: -\$98.46
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$296.00	Inferior / Adj: \$296.00	Inferior / Adj: \$296.00
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Tenant
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$23.00	Inferior / Adj: \$23.00	Inferior / Adj: \$23.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace	Dishwasher, Garbage Disposal, W/D Hookups, Pool, Refrigerator, Stove, Fireplace
AC	Central	Central	Central	Central
Heat	Central	Unknown	Unknown	Unknown
Parking	Open	None	None	None
Exterior Features	Balcony			
Lot Size				
Adjustment		Superior / Adj: -\$10.00	Superior / Adj: -\$10.00	Superior / Adj: -\$10.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	Internet Listing
Date Listed		12/24/2024	12/24/2024	12/24/2024
Date Rented				
Listing Status		Rented	Rented	Rented
Asking Rent	\$2,377.00	\$2,960.00	\$2,960.00	\$2,960.00
Actual Rent				
Adjustment		\$210.54	\$210.54	\$210.54
Adjusted Monthly Rent		\$3,170.54	\$3,170.54	\$3,170.54
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
3,278 Similar 2 bedroom comparables in Riverside County				
582 Similar 2 bedroom comparables in the City of Riverside				
3 Within 0.25 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$3,170.54.				
The adjusted reasonable rent range is \$3,170.54 to \$3,170.54.				
Requested Rent Amount: \$2,377.00 Rent Approved: \$2,377.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$2,377.00 IS reasonable, and the approved rent of \$2,377.00 IS reasonable.				

Certification ID [99F1A38D-EDAC-4393-B671-F02C61DDDB72](#)

Certification Date 2025-3-15

Version AVM 6.1, RRC 7.0, RW5

Client Reference

Voucher Bedroom 2

Family Name Mulberry Gardens

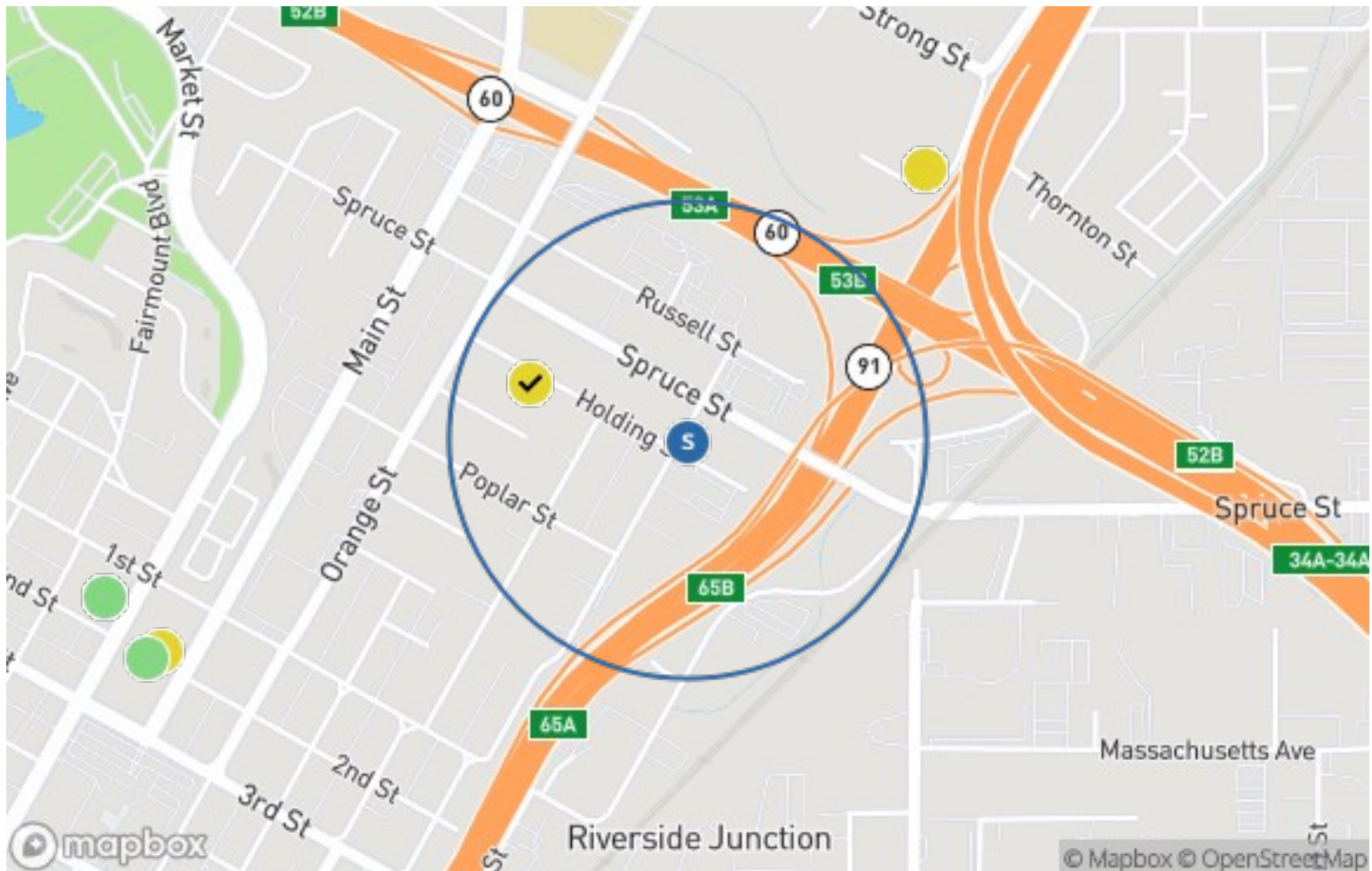
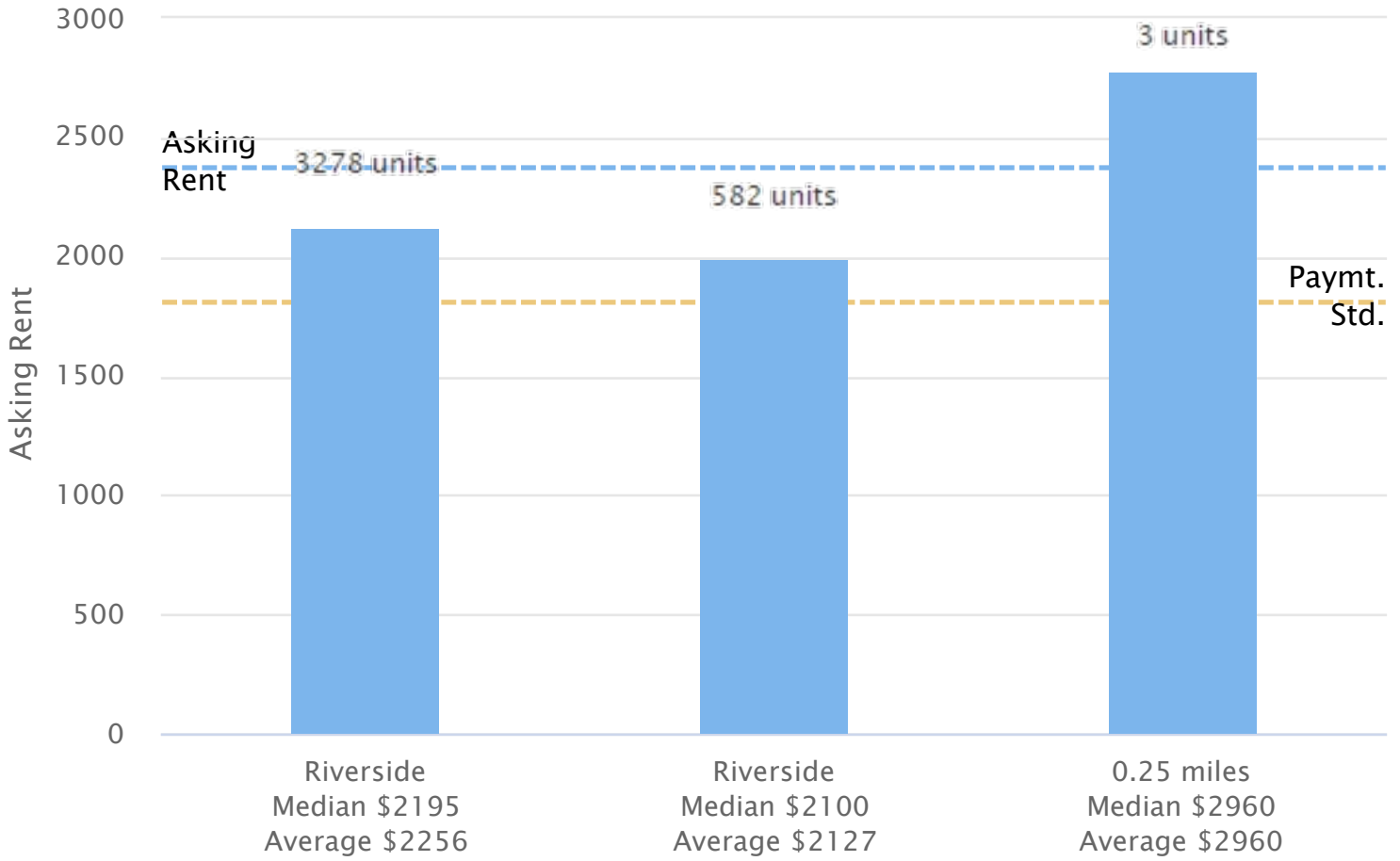
Housing Authority Housing Authority of the County of Riverside

Certifier Erlan Gonzalez

Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE

Page 1 of 1 excluding appendices.

# Local Market Analysis



The adjusted reasonable rent range is \$3,170.54 to \$3,170.54.

Comparable 1:	<b>\$3,170.54</b>	89.91% Somewhat Similar
Comparable 2:	<b>\$3,170.54</b>	89.91% Somewhat Similar
Comparable 3:	<b>\$3,170.54</b>	89.91% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

**Comparable 2:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

**Comparable 3:**

Living area for comparable is superior to subject (-\$53.46 adjustment)  
Quality for comparable is inferior to subject (\$296.00 adjustment)  
Full bath count for comparable is superior to subject (-\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Pool for comparable is superior to subject (-\$25.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$23.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$210.54)

This rent reasonable certification is based on information provided by others and/or obtained from outside sources. No opinion, warranty, or guarantee of the reliability of the data relied upon is implied or expressed by the use of that data herein, and GOsection8.com does not warrant the correctness of the data. All Data should be verified by the RR Certifier for accuracy.

# Rent Reasonable Valuation

	Subject	Comparable 1	Comparable 2	Comparable 3
Address	2560 Mulberry St	3985 Chestnut St A	2644 Lime St	1144 Tripoli St 4
Model		3/2/0/1400	3/1/0/1300	3/2/0/0
City	Riverside 92501	Riverside 92501	Riverside 92501	Riverside 92507
LOCATION				
Subdivision				
Proximity to Subject		1.22	0.14	1.62
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
Size				
Beds/Baths/Half Baths	3/2/0	3/2/0	3/1/0	3/2/0
Sq. Ft.	1034	1400	1300	0
Adjustment		Superior / Adj: -\$65.88	Superior / Adj: -\$2.88	Similar / Adj: \$0.00
TYPE				
Property Type	apartment	apartment	apartment	apartment
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
AGE				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Similar / Adj: \$0.00
CONDITION & QUALITY				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$229.50	Inferior / Adj: \$240.00	Inferior / Adj: \$269.50
UTILITIES				
Heat	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant	Natural Gas / Tenant	Natural Gas / Tenant
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant	Public Sewer / Owner	Public Sewer / Owner
Water Type / Paid By	City Water / Owner	City Water / Owner	City Water / Owner	City Water / Owner
Lights / Other Electric	Tenant	Tenant	Tenant	Tenant
Adjustment		Inferior / Adj: \$28.00	Superior / Adj: -\$6.00	Superior / Adj: -\$6.00
MAINTENANCE				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash	Lawn, Pest, Trash	Trash
Adjustment		Similar / Adj: \$0.00	Similar / Adj: \$0.00	Inferior / Adj: \$10.00
AMENITIES				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Stove	Garbage Disposal, W/D Hookups, Microwave, Refrigerator, Stove
AC	Central	Central	Window / Wall	Central
Heat	Central	Unknown	Unknown	Central
Parking	Unassigned	Unknown	1 - Carport	Unknown
Exterior Features	Balcony			
Lot Size				
Adjustment		Inferior / Adj: \$30.00	Inferior / Adj: \$55.00	Inferior / Adj: \$25.00
RENT ADJUSTMENTS				
Data Source		Internet Listing	Internet Listing	HA Added
Date Listed		11/27/2024	5/18/2024	6/26/2024
Date Rented				6/26/2024
Listing Status		Rented	Rented	Rented
Asking Rent	\$3,205.00	\$2,295.00	\$2,400.00	\$2,695.00
Actual Rent				
Adjustment		\$221.62	\$286.12	\$298.50
Adjusted Monthly Rent		\$2,516.62	\$2,686.12	\$2,993.50
COMPARABLE BREAKDOWN				
15,977 Recent comparables in jurisdiction				
1,426 Similar 3 bedroom comparables in Riverside County				
129 Similar 3 bedroom comparables in the City of Riverside				
36 Within 1.75 miles				
CERTIFICATION				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,689.47.				
The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.				
Requested Rent Amount: \$3,205.00 Rent Approved: \$2,689.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$3,205.00 IS NOT reasonable, and the approved rent of \$2,689.00 IS reasonable.				

Certification ID [4045D819-71BC-47D4-B8F1-41DCF7F9979C](#)

Certification Date 2025-3-15  
 Version AVM 6.1, RRC 7.0, RW5  
 Client Reference  
 Voucher Bedroom 3  
 Family Name Mulberry Gardens  
 Housing Authority Housing Authority of the County of Riverside  
 Certifier Erlan Gonzalez  
 Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE  
 Page 1 of 2 excluding appendices.

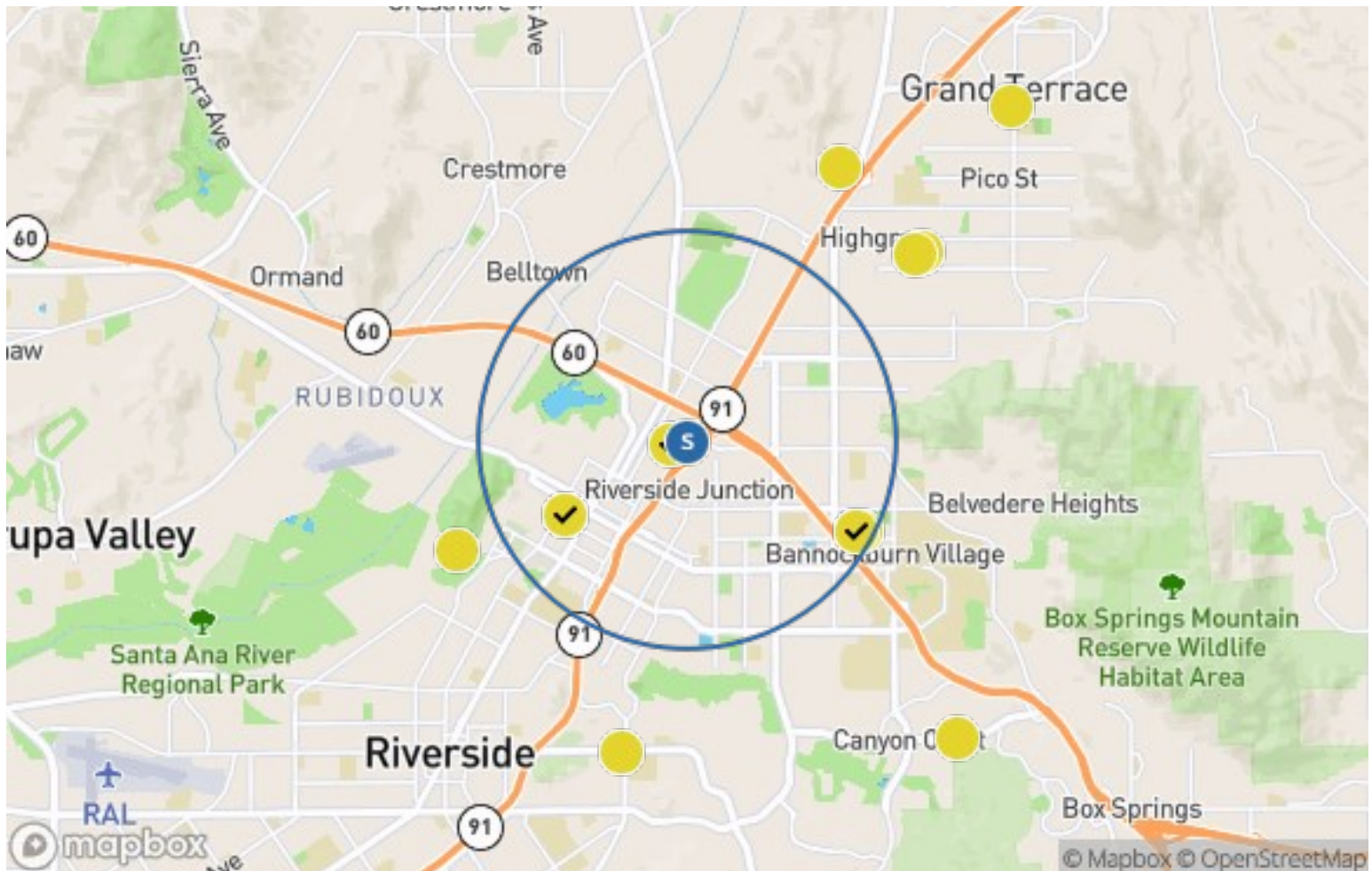
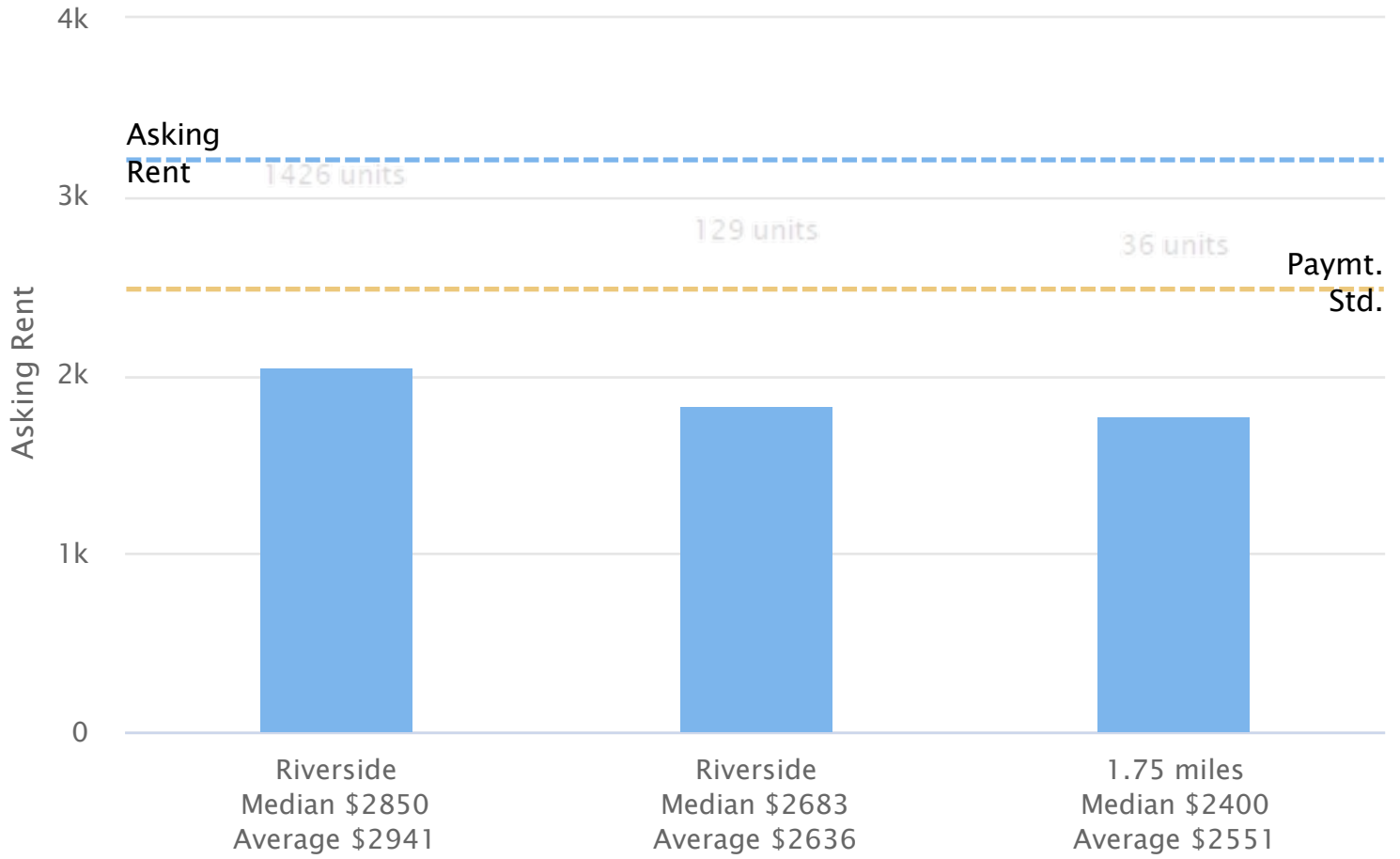
# Rent Reasonable Valuation

	Subject	Comparable 4		
Address	2560 Mulberry St	3985 Chestnut St B		
Model		3/1/0/1400		
City	Riverside 92501	Riverside 92501		
<b>LOCATION</b>				
Subdivision				
Proximity to Subject		1.22		
Adjustment		Similar / Adj: \$0.00		
<b>Size</b>				
Beds/Baths/Half Baths	3/2/0	3/1/0		
Sq. Ft.	1034	1400		
Adjustment		Superior / Adj: -\$20.88		
<b>TYPE</b>				
Property Type	apartment	apartment		
Adjustment		Similar / Adj: \$0.00		
<b>AGE</b>				
Year Built	2025			
Adjustment		Similar / Adj: \$0.00		
<b>CONDITION &amp; QUALITY</b>				
Rating	Excellent	Average	Average	Average
Adjustment		Inferior / Adj: \$229.50		
<b>UTILITIES</b>				
Heat	Electric / Tenant	Natural Gas / Tenant		
Hot Water / Paid By	Electric / Owner	Natural Gas / Tenant		
Cooking / Paid By	Electric / Tenant	Natural Gas / Tenant		
Sewer Type / Paid By	Public Sewer / Tenant	Public Sewer / Tenant		
Water Type / Paid By	City Water / Owner	City Water / Owner		
Lights / Other Electric	Tenant	Tenant		
Adjustment		Inferior / Adj: \$28.00		
<b>MAINTENANCE</b>				
Maintenance	Lawn, Pest, Trash	Lawn, Pest, Trash		
Adjustment		Similar / Adj: \$0.00		
<b>AMENITIES</b>				
Amenities	Ceiling Fans, Dishwasher, Garbage Disposal, Onsite Laundry, Microwave, Refrigerator, Stove	Garbage Disposal, W/D Hookups, Refrigerator, Stove		
AC	Central	Central		
Heat	Central	Unknown		
Parking	Unassigned	Unknown		
Exterior Features	Balcony			
Lot Size				
Adjustment		Inferior / Adj: \$30.00		
<b>RENT ADJUSTMENTS</b>				
Data Source		Internet Listing		
Date Listed		11/27/2024		
Date Rented				
Listing Status		Rented		
Asking Rent	\$3,205.00	\$2,295.00		
Actual Rent				
Adjustment		\$266.62		
Adjusted Monthly Rent		\$2,561.62		
<b>COMPARABLE BREAKDOWN</b>				
15,977 Recent comparables in jurisdiction				
1,426 Similar 3 bedroom comparables in Riverside County				
129 Similar 3 bedroom comparables in the City of Riverside				
36 Within 1.75 miles				
<b>CERTIFICATION</b>				
I (we) estimate the monthly market rent of the subject as of 03/15/2025 to be \$2,689.47.				
The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.				
Requested Rent Amount: \$3,205.00 Rent Approved: \$2,689.00.				
RR Certifier Signature: <u>Erlan Gonzalez</u>				
QC Certifier Signature: _____				
In accordance with 24 CFR 982.4, 982.54 (d) (15), 982.158(f)(7) and 982.507, I certify that based on the information provided to the Housing Authority of the County of Riverside, the requested rent of \$3,205.00 IS NOT reasonable, and the approved rent of \$2,689.00 IS reasonable.				

Certification ID [4045D819-71BC-47D4-B8F1-41DCF7F9979C](#)

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 Client Reference  
 Voucher Bedroom 3  
 Family Name Mulberry Gardens  
 Housing Authority Housing Authority of the County of Riverside  
 Certifier Erlan Gonzalez  
 Utility Schedule 7/24 Riverside / Multi- Family/ Energy Efficient/ Non-SCE  
 Page 2 of 2 excluding appendices.

# Local Market Analysis



The adjusted reasonable rent range is \$2,516.62 to \$2,993.50.

Comparable 1:	<b>\$2,516.62</b>	88.70% Somewhat Similar
Comparable 2:	<b>\$2,686.12</b>	84.92% Somewhat Similar
Comparable 3:	<b>\$2,993.50</b>	88.34% Somewhat Similar
Comparable 4:	<b>\$2,561.62</b>	86.61% Somewhat Similar

Comments on market data, property condition, recent improvements, general market conditions, final reconciliation of market rent, or any rent concessions:

**Comparable 1:**

Living area for comparable is superior to subject (-\$65.88 adjustment)  
Quality for comparable is inferior to subject (\$229.50 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$221.62)

**Comparable 2:**

Living area for comparable is superior to subject (-\$47.88 adjustment)  
Quality for comparable is inferior to subject (\$240.00 adjustment)  
Full bath count for comparable is inferior to subject (\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Refrigerator for comparable is inferior to subject (\$25.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Cooling system for comparable is inferior to subject (\$15.00 adjustment)  
Parking for comparable is superior to subject (-\$15.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Sewer utility for comparable is superior to subject (-\$34.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$286.12)

**Comparable 3:**

Quality for comparable is inferior to subject (\$269.50 adjustment)  
Pest service for comparable is inferior to subject (\$10.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Sewer utility for comparable is superior to subject (-\$34.00 adjustment)  
Total adjustment for this property is (\$298.50)

**Comparable 4:**

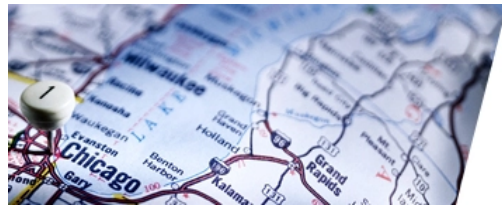
Living area for comparable is superior to subject (-\$65.88 adjustment)  
Quality for comparable is inferior to subject (\$229.50 adjustment)  
Full bath count for comparable is inferior to subject (\$45.00 adjustment)  
Microwave for comparable is inferior to subject (\$5.00 adjustment)  
Dish washer for comparable is inferior to subject (\$15.00 adjustment)  
Ceiling fan for comparable is inferior to subject (\$10.00 adjustment)  
Hot water utility for comparable is inferior to subject (\$28.00 adjustment)  
Gated community for comparable is unknown (\$0 adjustment)  
Pool for comparable is unknown (\$0 adjustment)  
Total adjustment for this property is (\$266.62)

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the data. All Data should be verified by the RR Certifier for accuracy.



MENU



## 2024 and 2025 Small DDAs and QCTs

### Overview of 2024 and 2025 Small DDAs and QCTs

The 2025 Qualified Census Tracts (QCTs) and Difficult Development Areas (DDAs) are effective January 1, 2025. The 2025 QCT designations use tract boundaries from the 2020 Decennial census. The 2025 metro DDAs use ZIP Code Tabulation Area (ZCTA) boundaries from the 2020 Decennial census. The designation methodology is explained in the [Federal Register notice](#) published September 9, 2024.

Current zoom: 14

Select Year:

2025  2024

Select Layer(s):

LIHTC Projects (Zoom 11+)

FMR Outlines (Zoom 4+)

Difficult Development Areas (Zoom 7+)

Non-Metro Difficult Development Areas

Small Difficult Development Areas

Color QCT Qualified Tracts (Zoom 7+)

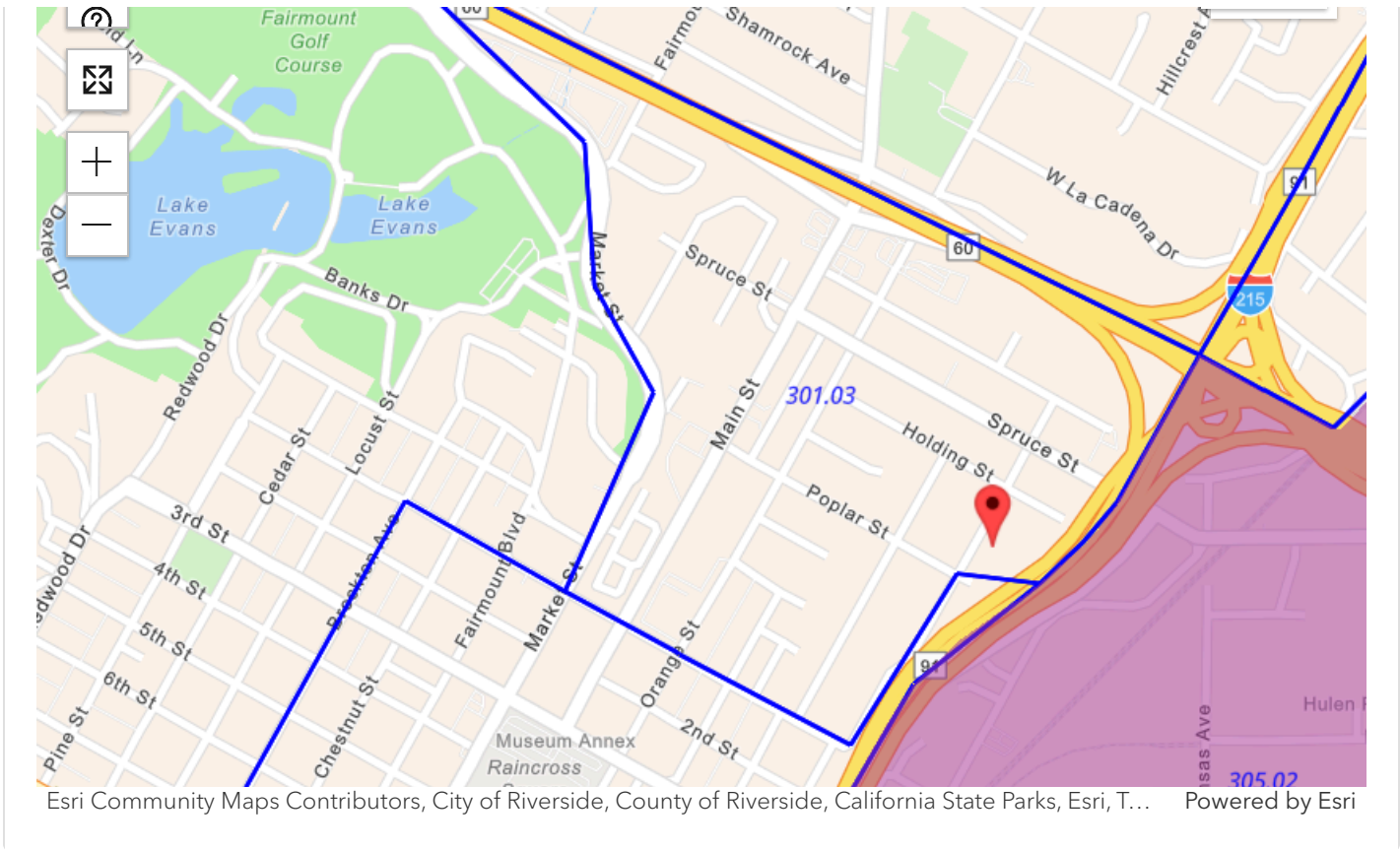


Tracts Outline (Zoom 11+)



2560 Mulberry St, Riversic





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**Note:** Guidance documents, except when based on statutory or regulatory authority or law, do not have the force and effect of law and are not meant to bind the public in any way. Guidance documents are intended only to provide clarity to the public regarding existing requirements under the law or agency policies.

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**HUD USER**

P.O. Box 23268, Washington, DC 20026-3268

**Toll Free:** 1-800-245-2691

**TDD:** 1-800-927-7589

**Local:** 1-703-964-0670 **Fax:** 1-202-708-9981





## Request for Reasonable Rent Study

Developer Name: Eden Housing Inc.  
Developer Address: 22645 Grand St, Hayward, CA 94541  
Developer Contact: Jared Kadry  
Developer Phone: 619-830-5433 Developer Email: jared.kadry@edenhousing.org  
Project Name: Mulberry Gardens Family Apartments  
Project Address: 2560 Mulberry St, Riverside, CA 92501

New Construction or Existing: New Construction

Standard Utility Allowance or Energy Efficient? Energy Efficient

If energy efficient (EE), must attach proof that you have been approved to use the EE allowance by the Housing Authority.

Number of units: 150 Number of Project Based Vouchers: 37

Rent Requested by Owner:

One BR: \$ 1,899  
Two BR: \$ 2,377  
Three BR: \$ 3,205  
Four BR: \$ \_\_\_\_\_  
Other: \_\_\_\_\_ : \$ \_\_\_\_\_

Square Footage of Units and number of bathrooms (full/half):

One BR: <u>522</u>	SQ FT	# Bathrooms <u>1</u>	Half or Full: <u>Full</u>
Two BR: <u>749</u>	SQ FT	# Bathrooms <u>1</u>	Half or Full: <u>Full</u>
Three BR: <u>1034</u>	SQ FT	# Bathrooms <u>2</u>	Half or Full: <u>Full</u>
Four BR: _____	SQ FT	# Bathrooms _____	Half or Full: _____
Other: _____	SQ FT	# Bathrooms _____	Half or Full: _____

Utilities and who responsible (Owner or Tenant):

Electric Service Provider: SCE or non-SCE? Non-SCE Who pays? Owner or Tenant? Tenant  
Is heating gas or electric? Electric Who pays? Owner or Tenant? Tenant  
Is the unit heated by Hydronic Heat? No  
Is water heating gas or electric? Electric Who pays? Owner or Tenant? Owner  
Is Stove gas or electric? Electric Who pays? Owner or Tenant? Tenant  
Who provides the Stove? Owner Who provides the Refrigerator? Owner Is a microwave provided? No  
Who pays for Water? Owner  
Who pays for Sewer? Tenant  
Who pays for Trash? Owner

Amenities:

Is there a garbage disposal? Yes Does/Will the unit have a dishwasher? Yes  
Does/Will the unit have ceiling fans? Yes, in bedrooms.



Does/Will the units have washer and dryer hookups? No Is a washer or dryer provided? No

Does/Will the property have an on-site laundry room? Yes

Does/Will the units have a covered parking space? No Is the property gated? No

Does/Will the property have a swimming pool? No Does Owner provide Pest Control? Yes Lawn Care? Yes

Any other amenities? If so, please list? BBQ pits and picnic areas, bocce ball court, community room, computer lab, outdoor gym

---

Developer Signature: Jared Kadry Date: 3/10/25

# Exhibit B of HAP

## HAP EXHIBIT B

### **Services, Maintenance, and Equipment to be Provided by the Owner Without Charges in Addition to Rent to Owner:**

#### Building

- Maintenance of building exterior, interior, and site areas
- Common area recreational space, interior and exterior
- On-site surface parking
- Furnished community room and lobby

#### Laundry

- Common laundry machines – machines purchased and maintained by Owner; Residents pay per use

#### Kitchen Appliances

- Stove/Oven
- Garbage Disposal
- Refrigerator
- Dishwasher

#### Services

- 0.6 FTE Resident Service Coordinator
- 1 FTE After School Program Lead
- Adult education, health and wellness, or skill building classes. Includes but is not limited to financial literacy, computer training, home-buyer education, GED, resume building, ESL, nutrition, exercise, health information/awareness, art, parenting, on-site food cultivation and preparation, and smoking cessation classes. Minimum of 84 hours of instruction per year
- After School Childcare. This includes but is not limited to: homework assistance, organized group activities, supervised open play, etc. Minimum of 15 hours of instruction each week during the school year.

# Exhibit C of HAP

## HAP EXHIBIT C

### **Utilities**

- Sewer
- Electric (heating/air conditioning, cooking, other, monthly electric charges from local municipality)
- Water
- Trash

### **Utilities paid by Owner:**

Water, trash, electric water heating

### **Utilities paid by Residents:**

Electric heating/air conditioning, sewer, electric cooking, Other Electric, Monthly Electric Charges from local municipality

# Exhibit D of HAP

# HAP Exhibit D

## **Features Provided to Comply with Program Accessibility Features of Section 504 of the Rehabilitation Act of 1973**

### At Section 504 Accessible Units

Building:

Units: B132, B137, B107, B123, B120, B114, B201, B207, B214, B220, B223, B232, B237, B301, B307, B314, B320, B323, B332, B337, B401, B414, B420, B423, B432

- Ground floor units
- Accessible path to unit entrance
- Accessible path within the unit to all rooms
- Kitchens - countertops at 34" height
- Kitchens - upper cabinets at 46" max to lower shelf
- Kitchens – 30" long accessible work counter space
- Kitchens - Adaptable cabinets (removable base and doors)
- Kitchens - sink depth 6" or less
- Bathrooms - appropriate toilet clearances, grab bars; vanity height and faucet clearances; grab bars as required
- Bathrooms – appropriate tub/shower clearances

### At Units for Visually or Hearing Impaired

Building:

Units: B132, B137, B123, B131, B112, B212, B223, B231, B232, B237, B312, B323, B331, B332, B337, B412, B423, B431

- Five Ground Floor Units
- Visual/flashing doorbell
- Additional audible/visual fire alarms

**U.S. Department of Housing and Urban Development  
Office of Public and Indian Housing**

**SECTION 8 PROJECT-BASED VOUCHER PROGRAM**

**HOUSING ASSISTANCE PAYMENTS CONTRACT  
NEW CONSTRUCTION OR REHABILITATION**

**PART 2 OF HAP CONTRACT**

**OMB Burden Statement.** The public reporting burden for this collection of information is estimated to average 1 hour. This form is required to establish terms between a PHA and owner to provide housing assistance. This contract allows a PHA to enter into a HAP contract with the owner to provide housing assistance payments for eligible families. Assurances of confidentiality are not provided under this collection. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions to reduce this burden, to the Office of Public and Indian Housing, US. Department of Housing and Urban Development, Washington, DC 20410. HUD may not conduct and sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid control number.

**2. DEFINITIONS**

**Agreement.** Agreement to enter into HAP Contract between the owner and the PHA. The HAP contract was entered into following new construction or rehabilitation of the contract units by the owner pursuant to an Agreement.

**Contract units.** The housing units covered by this HAP contract. The contract units are described in Exhibit A.

**Controlling interest.** In the context of PHA-owned units (see definition below), controlling interest means:

- (a) Holding more than 50 percent of the stock of any corporation; or
- (b) Having the power to appoint more than 50 percent of the members of the board of directors of a non-stock corporation (such as a non-profit corporation); or
- (c) Where more than 50 percent of the members of the board of directors of any corporation also serve as directors, officers, or employees of the PHA; or
- (d) Holding more than 50 percent of all managing member interests in an LLC; or
- (e) Holding more than 50 percent of all general partner interests in a partnership;  
or

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**Project-Based Voucher Program  
HAP Contract for New Construction/Rehab**

Previous editions are obsolete

**HUD 52530A Page - 1 of Part 2  
(04/2023)**

(f) Having equivalent levels of control in other ownership structures.

**Family.** The persons approved by the PHA to reside in a contract unit with assistance under the program.

**HAP contract.** This housing assistance payments contract between the PHA and the owner. The contract consists of Part 1, Part 2, and the contract exhibits (listed in section 1.c of the HAP contract).

**Household.** The family and any PHA-approved live-in aide.

**Housing assistance payment.** The monthly assistance payment by the PHA for a contract unit, which includes: (1) a payment to the owner for rent to the owner under the family's lease minus the tenant rent; and (2) an additional payment to or on behalf of the family if the utility allowance exceeds total tenant payment.

**Housing quality standards (HQS).** The HUD minimum quality standards for dwelling units occupied by families receiving project-based voucher program assistance.

**HUD.** U.S. Department of Housing and Urban Development.

**HUD requirements.** HUD requirements which apply to the project-based voucher program. HUD requirements are issued by HUD headquarters, as regulations, Federal Register notices or other binding program directives.

**Newly constructed housing.** Housing units that do not exist on the proposal selection date and are developed after the date of selection pursuant to an Agreement between the PHA and owner for use under the project-based voucher program.

**Owner.** Any person or entity who has the legal right to lease or sublease a unit to a participant.

**PHA.** Public Housing Agency. The agency that has entered into the HAP contract with the owner. The agency is a public housing agency as defined in the United States Housing Act of 1937 (42 U.S.C. 1437a(b)(6)).

**PHA-owned units.** A unit is "owned by a PHA" if the unit is in a project that is:

(a) Owned by the PHA (which includes a PHA having a "controlling interest" in the entity that owns the unit; see definition above);

(b) Owned by an entity wholly controlled by the PHA; or

(c) Owned by a limited liability company (LLC) or limited partnership in which the PHA (or an entity wholly controlled by the PHA) holds a controlling interest in the managing member or general partner.

**Premises.** The building or complex in which a contract unit is located, including common areas or grounds.

**Principal or interested party.** This term includes a management agent and other persons or entities participating in project management, and the officers and principal members, shareholders, investors, and other parties having a substantial interest in the HAP contract, or in any proceeds or benefits arising from the HAP contract.

**Program.** The project-based voucher program (see authorization for project-based assistance at 42 U.S.C. 1437f(o)(13)).

**Proposal selection date.** The date the PHA gives written notice of proposal selection to the owner whose proposal is selected in accordance with the criteria established in the PHA's administrative plan.

**Rehabilitated housing.** Housing units that exist on the proposal selection date but do not substantially comply with the HQS on that date and are developed pursuant to an Agreement between the PHA and owner for use under the project-based voucher program.

**Rent to owner.** The total monthly rent payable to the owner under the lease for a contract unit. Rent to owner includes payment for any housing services, maintenance and utilities to be provided by the owner in accordance with the lease.

**Tenant.** The person or persons (other than a live-in aide) who executes the lease as a lessee of the dwelling unit.

**Tenant rent.** The portion of the rent to owner payable by the family, as determined by the PHA in accordance with HUD requirements. The PHA is not responsible for paying any part of the tenant rent.

### 3. **PURPOSE**

- a. This is a HAP contract between the PHA and the owner.
  - b. The purpose of the HAP contract is to provide housing assistance payments for eligible families who lease contract units that comply with
-

the HUD HQS from the owner.

- c. The PHA must make housing assistance payments to the owner in accordance with the HAP contract for contract units leased and occupied by eligible families during the HAP contract term. HUD provides funds to the PHA to make housing assistance payments to owners for eligible families.

#### **4. RENT TO OWNER; HOUSING ASSISTANCE PAYMENTS**

##### **a. Amount of initial rent to owner**

The initial rent to owner for each contract unit is stated in Exhibit A, which is attached to and made a part of the HAP contract. At the beginning of the HAP contract term, and until rent to owner is adjusted in accordance with section 5 of the HAP contract, the rent to owner for each bedroom size (number of bedrooms) shall be the initial rent to owner amount listed in Exhibit A.

Place a check mark here \_\_\_ if the PHA has elected not to reduce rents below the initial rent to owner.

##### **b. HUD rent requirements**

Notwithstanding any other provision of the HAP contract, the rent to owner may in no event exceed the amount authorized in accordance with HUD requirements. The PHA has the right to reduce the rent to owner, at any time, to correct any errors in establishing or adjusting the rent to owner in accordance with HUD requirements. The PHA may recover any overpayment from the owner.

##### **c. PHA payment to owner**

1. Each month the PHA must make a housing assistance payment to the owner for a unit under lease to and occupied by an eligible family in accordance with the HAP contract.
  2. The monthly housing assistance payment to the owner for a contract unit is equal to the amount by which the rent to owner exceeds the tenant rent.
  3. Payment of the tenant rent is the responsibility of the family. The PHA is not responsible for paying any part of the tenant rent, or for paying any other claim by the owner against a family. The PHA is responsible only for making housing assistance payments to the
-

owner on behalf of a family in accordance with the HAP contract.

4. The owner will be paid the housing assistance payment under the HAP contract on or about the first day of the month for which payment is due, unless the owner and the PHA agree on a later date.
5. To receive housing assistance payments in accordance with the HAP contract, the owner must comply with all the provisions of the HAP contract. Unless the owner complies with all the provisions of the HAP contract, the owner does not have a right to receive housing assistance payments.
6. If the PHA determines that the owner is not entitled to the payment or any part of it, the PHA, in addition to other remedies, may deduct the amount of the overpayment from any amounts due the owner, including amounts due under any other housing assistance payments contract.
7. The owner will notify the PHA promptly of any change of circumstances that would affect the amount of the monthly housing assistance payment, and will return any payment that does not conform to the changed circumstances.

**d. Termination of assistance for family**

The PHA may terminate housing assistance for a family under the HAP contract in accordance with HUD requirements. The PHA must notify the owner in writing of its decision to terminate housing assistance for the family in such case.

**5. ADJUSTMENT OF RENT TO OWNER**

**a. PHA determination of adjusted rent**

1. At each annual anniversary during the term of the HAP contract, the PHA shall adjust the amount of rent to owner, upon request to the PHA by the owner, in accordance with law and HUD requirements. In addition, the PHA shall adjust the rent to owner when there is a ten percent decrease in the published, applicable Fair Market Rent in accordance with 24 CFR 983.302. However, if the PHA has elected within the HAP contract not to reduce rents

below the initial rent to owner, the rent to owner shall not be reduced below the initial rent to owner except in those cases described in 24 CFR 983.302(c)(2).

2. The adjustment of rent to owner shall always be determined in accordance with all HUD requirements. The amount of the rent to owner may be adjusted up or down, in the amount defined by the PHA in accordance with HUD requirements.

**b. Reasonable rent**

The rent to owner for each contract unit, as adjusted by the PHA in accordance with 24 CFR 983.303, may at no time exceed the reasonable rent charged for comparable units in the private unassisted market, except in cases where the PHA has elected within the HAP contract not to reduce rents below the initial rent to owner. The reasonable rent shall be determined by the PHA in accordance with HUD requirements.

**c. No special adjustments**

The PHA will not make any special adjustments of the rent to owner.

**d. Owner compliance with HAP contract**

The PHA shall not approve, and the owner shall not receive, any increase of rent to owner unless all contract units are in accordance with the HQS, and the owner has complied with the terms of the assisted leases and the HAP contract.

**e. Notice of rent adjustment**

Rent to owner shall be adjusted by written notice by the PHA to the owner in accordance with this section. Such notice constitutes an amendment of the rents specified in Exhibit A.

**6. OWNER RESPONSIBILITY**

The owner is responsible for:

- a. Performing all management and rental functions for the contract units.
- b. Maintaining the units in accordance with HQS.
- c. Complying with equal opportunity requirements.

- d. Enforcing tenant obligations under the lease.
- e. Paying for utilities and housing services (unless paid by the family under the lease).
- f. Collecting from the tenant:
  - 1. Any security deposit;
  - 2. The tenant rent; and
  - 3. Any charge for unit damage by the family.

**7. OWNER CERTIFICATION**

The owner certifies that at all times during the term of the HAP contract:

- a. All contract units are in good and tenantable condition. The owner is maintaining the premises and all contract units in accordance with the HQS.
- b. The owner is providing all the services, maintenance and utilities as agreed to under the HAP contract and the leases with assisted families.
- c. Each contract unit for which the owner is receiving housing assistance payments is leased to an eligible family referred by the PHA, and the lease is in accordance with the HAP contract and HUD requirements.
- d. To the best of the owner's knowledge, the members of the family reside in each contract unit for which the owner is receiving housing assistance payments, and the unit is the family's only residence.
- e. The owner (including a principal or other interested party) is not the parent, child, grandparent, grandchild, sister, or brother of any member of a family residing in a contract unit unless the PHA has determined that approving leasing of the unit would provide a reasonable accommodation for a family member who is a person with disabilities.
- f. The amount of the housing assistance payment is the correct amount due under the HAP contract.
- g. The rent to owner for each contract unit does not exceed rents charged by the owner for other comparable unassisted units.
- h. Except for the housing assistance payment and the tenant rent as provided

under the HAP contract, the owner has not received and will not receive any payments or other consideration (from the family, the PHA, HUD, or any other public or private source) for rental of the contract unit.

- i. The family does not own, or have any interest in the contract unit. If the owner is a cooperative, the family may be a member of the cooperative.

## **8. CONDITION OF UNITS**

### **a. Owner maintenance and operation**

The owner must maintain and operate the contract units and premises to provide decent, safe and sanitary housing in accordance with the HQS, including performance of ordinary and extraordinary maintenance. The owner must provide all the services, maintenance and utilities set forth in Exhibits B and C, and in the lease with each assisted family.

### **b. PHA inspections**

1. The PHA must inspect each contract unit before execution of the HAP contract. The PHA may not enter into a HAP contract covering a unit until the unit fully complies with the HQS.
2. Before providing assistance to a new family in a contract unit, the PHA must inspect the unit. The PHA may not provide assistance on behalf of the family until the unit fully complies with the HQS.
3. At least biennially during the term of the HAP contract, the PHA must inspect a random sample, consisting of at least 20 percent of the contract units in each building, to determine if the contract units and the premises are maintained in accordance with the HQS. Turnover inspections pursuant to paragraph 2 of this section are not counted toward meeting this biennial inspection requirement.
4. If more than 20 percent of the sample of inspected contract units in a building fail the initial inspection, the PHA must reinspect 100 percent of the contract units in the building.
5. The PHA must inspect contract units whenever needed to determine that the contract units comply with the HQS and that the owner is providing maintenance, utilities, and other services in accordance with the HAP contract. The PHA must take into account complaints and any other information that comes to its attention in scheduling inspections.

**c. Violation of the housing quality standards**

1. If the PHA determines a contract unit is not in accordance with the HQS, the PHA may exercise any of its remedies under the HAP contract for all or any contract units. Such remedies include termination, suspension or reduction of housing assistance payments, and termination of the HAP contract.
2. The PHA may exercise any such contractual remedy respecting a contract unit even if the family continues to occupy the unit.
3. The PHA shall not make any housing assistance for a dwelling unit that fails to meet the HQS, unless the owner corrects the defect within the period specified by the PHA and the PHA verifies the correction. If a defect is life threatening, the owner must correct the defect within no more than 24 hours. For other defects, the owner must correct the defect within no more than 30 calendar days (or any PHA-approved extension).

**d. Maintenance and replacement—owner’s standard practice**

Maintenance and replacement (including redecoration) must be in accordance with the standard practice for the building concerned as established by the owner.

**9. LEASING CONTRACT UNITS**

**a. Selection of tenants**

1. During the term of the HAP contract, the owner must lease all contract units to eligible families selected and referred by the PHA from the PHA waiting list. (See 24 CFR 983.251.)
2. The owner is responsible for adopting written tenant selection procedures that are consistent with the purpose of improving housing opportunities for very low-income families and reasonably related to program eligibility and an applicant’s ability to perform the lease obligations.
3. Consistent with HUD requirements, and Federal civil rights and fair housing requirements, the owner may apply its own nondiscriminatory tenant selection procedures in determining whether to admit a family referred by the PHA for occupancy of a

contract unit. The owner may refer families to the PHA for placement on the PBV waiting list.

4. The owner must promptly notify in writing any rejected applicant of the grounds for rejection.
5. The PHA must determine family eligibility in accordance with HUD requirements.
6. The contract unit leased to each family must be appropriate for the size of the family under the PHA's subsidy standards.
7. If a contract unit was occupied by an eligible family at the time the unit was selected by the PHA, or is so occupied on the effective date of the HAP contract, the owner must offer the family the opportunity to lease the same or another appropriately-sized contract unit with assistance under the HAP contract.
8. The owner is responsible for screening and selecting tenants from the families referred by the PHA from its waiting list.

**b. Vacancies**

1. The owner must promptly notify the PHA of any vacancy in a contract unit. After receiving the owner notice, the PHA shall make every reasonable effort to refer a sufficient number of families for owner to fill the vacancy..
2. The owner must rent vacant contract units to eligible families on the PHA waiting list referred by the PHA.
3. The PHA and the owner must make reasonable, good faith efforts to minimize the likelihood and length of any vacancy.
4. If any contract units have been vacant for a period of 120 or more days since owner notice of vacancy (and notwithstanding the reasonable good faith efforts of the PHA to fill such vacancies), the PHA may give notice to the owner amending the HAP contract to reduce the number of contract units by subtracting the number of contract units (by number of bedrooms) that have been vacant for such period.

## **10. TENANCY**

### **a. Lease**

The lease between the owner and each assisted family must be in accordance with HUD requirements. In all cases, the lease must include the HUD-required tenancy addendum. The tenancy addendum must include, word-for-word, all provisions required by HUD.

### **b. Termination of tenancy**

1. The owner may only terminate the tenancy in accordance with the lease and HUD requirements.
2. The owner must give the PHA a copy of any owner eviction notice to the tenant at the same time that the owner gives notice to the tenant. Owner eviction notice means a notice to vacate, or a complaint or other initial pleading used to commence an eviction action under State or local law.

### **c. Family payment**

1. The portion of the monthly rent to owner payable by the family (“tenant rent”) will be determined by the PHA in accordance with HUD requirements. The amount of the tenant rent is subject to change during the term of the HAP contract. Any changes in the amount of the tenant rent will be effective on the date stated in a notice by the PHA to the family and the owner.
2. The amount of the tenant rent as determined by the PHA is the maximum amount the owner may charge the family for rent of a contract unit, including all housing services, maintenance and utilities to be provided by the owner in accordance with the HAP contract and the lease.
3. The owner may not demand or accept any rent payment from the tenant in excess of the tenant rent as determined by the PHA. The owner must immediately return any excess rent payment to the tenant.
4. The family is not responsible for payment of the portion of the contract rent covered by the housing assistance payment under the HAP contract. The owner may not terminate the tenancy of an

assisted family for nonpayment of the PHA housing assistance payment.

5. The PHA is responsible only for making the housing assistance payments to the owner on behalf of the family in accordance with the HAP contract. The PHA is not responsible for paying the tenant rent, or any other claim by the owner.

**d. Other owner charges**

1. Except as provided in paragraph 2, the owner may not require the tenant or family members to pay charges for meals or supportive services. Nonpayment of such charges is not grounds for termination of tenancy.
2. In assisted living developments receiving project-based voucher assistance, owners may charge tenants, family members, or both for meals or supportive services. These charges may not be included in the rent to owner, nor may the value of meals and supportive services be included in the calculation of reasonable rent. Non-payment of such charges is grounds for termination of the lease by the owner in an assisted living development.
3. The owner may not charge the tenant or family members extra amounts for items customarily included in rent in the locality or provided at no additional cost to the unsubsidized tenant in the premises.

**e. Security deposit**

1. The owner may collect a security deposit from the family.
2. The owner must comply with HUD and PHA requirements, which may change from time to time, regarding security deposits from a tenant.
3. The PHA may prohibit security deposits in excess of private market practice, or in excess of amounts charged by the owner to unassisted families.
4. When the family moves out of the contract unit, the owner, subject to State and local law, may use the security deposit, including any interest on the deposit, in accordance with the lease, as reimbursement for any unpaid tenant rent, damages to the unit or

other amounts which the family owes under the lease. The owner must give the family a written list of all items charged against the security deposit and the amount of each item. After deducting the amount used as reimbursement to the owner, the owner must promptly refund the full amount of the balance to the family.

5. If the security deposit is not sufficient to cover amounts the family owes under the lease, the owner may seek to collect the balance from the family. However, the PHA has no liability or responsibility for payment of any amount owed by the family to the owner.

## **11. FAMILY RIGHT TO MOVE**

- a. The family may terminate its lease at any time after the first year of occupancy. The family must give the owner advance written notice of intent to vacate (with a copy to the PHA) in accordance with the lease. If the family has elected to terminate the lease in this manner, the PHA must offer the family the opportunity for tenant-based rental assistance in accordance with HUD requirements.
- b. Before providing notice to terminate the lease under paragraph a, the family must first contact the PHA to request tenant-based rental assistance if the family wishes to move with continued assistance. If tenant-based rental assistance is not immediately available upon lease termination, the PHA shall give the family priority to receive the next available opportunity for tenant-based rental assistance.

## **12. OVERCROWDED, UNDER-OCCUPIED, AND ACCESSIBLE UNITS**

The PHA subsidy standards determine the appropriate unit size for the family size and composition. The PHA and owner must comply with the requirements in 24 CFR 983.260. If the PHA determines that a family is occupying a wrong-size unit, or a unit with accessibility features that the family does not require, and the unit is needed by a family that requires the accessibility features, the PHA must promptly notify the family and the owner of this determination, and of the PHA's offer of continued assistance in another unit. 24 CFR 983.260(a).

## **13. PROHIBITION OF DISCRIMINATION**

- a. The owner may not refuse to lease contract units to, or otherwise discriminate against any person or family in leasing of a contract unit, because of race, color, religion, sex (including sexual orientation and gender identity), national origin, disability, age or familial status.

- b. The owner must comply with the following requirements: The Fair Housing Act (42 U.S.C. 3601-19) and implementing regulations at 24 CFR part 100 *et seq.*; Executive Order 11063, as amended by Executive Order 12259 (3 CFR, 1959-1963 Comp., p. 652 and 3 CFR, 1980 Comp., p. 307) (Equal Opportunity in Housing Programs) and implementing regulations at 24 CFR part 107; title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d-2000d-4) (Nondiscrimination in Federally Assisted Programs) and implementing regulations at 24 CFR part 1; the Age Discrimination Act of 1975 (42 U.S.C. 6101-6107) and implementing regulations at 24 CFR part 146; section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and implementing regulations at 24 CFR part 8; title II of the Americans with Disabilities Act, 42 U.S.C. 12101 *et seq.*; 28 CFR part 35; Executive Order 11246, as amended by Executive Orders 11375, 11478, 12086, and 12107 (3 CFR, 1964-1965 Comp., p. 339; 3 CFR, 1966-1970 Comp., p. 684; 3 CFR, 1966-1970 Comp., p. 803; 3 CFR, 1978 Comp., p. 230; and 3 CFR, 1978 Comp., p. 264, respectively) (Equal Employment Opportunity Programs) and implementing regulations at 41 CFR chapter 60; Executive Order 11625, as amended by Executive Order 12007 (3 CFR, 1971-1975 Comp., p. 616 and 3 CFR, 1977 Comp., p. 139) (Minority Business Enterprises); Executive Order 12432 (3 CFR, 1983 Comp., p. 198) (Minority Business Enterprise Development); and Executive Order 12138, as amended by Executive Order 12608 (3 CFR, 1977 Comp., p. 393 and 3 CFR, 1987 Comp., p. 245) (Women's Business Enterprise).
- c. The owner must comply with HUD's Equal Access to HUD-assisted or -insured housing rule (24 CFR 5.105(a)(2)).
- d. The owner must comply with the Violence Against Women Act, as amended, and HUD's implementing regulation at 24 CFR part 5, Subpart L, and program regulations.
- e. The PHA and the owner must cooperate with HUD in the conducting of compliance reviews and complaint investigations pursuant to all applicable civil rights statutes, Executive Orders, and all related rules and regulations.

#### **14. PHA DEFAULT AND HUD REMEDIES**

If HUD determines that the PHA has failed to comply with the HAP contract, or has failed to take appropriate action to HUD's satisfaction or as directed by HUD, for enforcement of the PHA's rights under the HAP contract, HUD may assume

the PHA's rights and obligations under the HAP contract, and may perform the obligations and enforce the rights of the PHA under the HAP contract.

**15. OWNER DEFAULT AND PHA REMEDIES**

**a. Owner default**

Any of the following is a default by the owner under the HAP contract:

1. The owner has failed to comply with any obligation under the HAP contract, including the owner's obligations to maintain all contract units in accordance with the housing quality standards.
2. The owner has violated any obligation under any other housing assistance payments contract under Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f).
3. The owner has committed any fraud or made any false statement to the PHA or HUD in connection with the HAP contract.
4. The owner has committed fraud, bribery or any other corrupt or criminal act in connection with any Federal housing assistance program.
5. If the property where the contract units are located is subject to a lien or security interest securing a HUD loan or a mortgage insured by HUD and:
  - i. The owner has failed to comply with the regulations for the applicable mortgage insurance or loan program, with the mortgage or mortgage note, or with the regulatory agreement; or
  - ii. The owner has committed fraud, bribery or any other corrupt or criminal act in connection with the HUD loan or HUD-insured mortgage.
6. The owner has engaged in any drug-related criminal activity or any violent criminal activity.

**b. PHA remedies**

1. If the PHA determines that a breach has occurred, the PHA may exercise any of its rights or remedies under the HAP contract.

2. The PHA must notify the owner in writing of such determination. The notice by the PHA to the owner may require the owner to take corrective action (as verified by the PHA) by a time prescribed in the notice.
3. The PHA's rights and remedies under the HAP contract include recovery of overpayments, termination or reduction of housing assistance payments, and termination of the HAP contract.

**c. PHA remedy is not waived**

The PHA's exercise or non-exercise of any remedy for owner breach of the HAP contract is not a waiver of the right to exercise that remedy or any other right or remedy at any time.

**16. OWNER DUTY TO PROVIDE INFORMATION AND ACCESS REQUIRED BY HUD OR PHA**

**a. Required information**

The owner must prepare and furnish any information pertinent to the HAP contract as may reasonably be required from time to time by the PHA or HUD. The owner shall furnish such information in the form and manner required by the PHA or HUD.

**b. PHA and HUD access to premises**

The owner must permit the PHA or HUD or any of their authorized representatives to have access to the premises during normal business hours and, for the purpose of audit and examination, to have access to any books, documents, papers and records of the owner to the extent necessary to determine compliance with the HAP contract, including the verification of information pertinent to the housing assistance payments or the HAP contract.

**17. PHA AND OWNER RELATION TO THIRD PARTIES**

**a. Injury because of owner action or failure to act**

The PHA has no responsibility for or liability to any person injured as a result of the owner's action or failure to act in connection with the implementation of the HAP contract, or as a result of any other action or failure to act by the owner.

**b. Legal relationship**

The owner is not the agent of the PHA. The HAP contract does not create or affect any relationship between the PHA and any lender to the owner or any suppliers, employees, contractors or subcontractors used by the owner in connection with the implementation of the HAP contract.

**c. Exclusion of third-party claims**

Nothing in the HAP contract shall be construed as creating any right of a family or other third party (other than HUD) to enforce any provision of the HAP contract, or to assert any claim against HUD, the PHA or the owner under the HAP contract.

**d. Exclusion of owner claims against HUD**

Nothing in the HAP contract shall be construed as creating any right of the owner to assert any claim against HUD.

**18. PHA-OWNED UNITS**

Notwithstanding Section 17 of this HAP contract, a PHA may own units assisted under the project-based voucher program, subject to the special requirements in 24 CFR 983.59 regarding PHA-owned units.

**19. CONFLICT OF INTEREST**

**a. Interest of members, officers, or employees of PHA, members of local governing body, or other public officials**

1. No present or former member or officer of the PHA (except tenant-commissioners), no employee of the PHA who formulates policy or influences decisions with respect to the housing choice voucher program or project-based voucher program, and no public official or member of a governing body or State or local legislator who exercises functions or responsibilities with respect to these programs, shall have any direct or indirect interest, during his or her tenure or for one year thereafter, in the HAP contract.
2. HUD may waive this provision for good cause.

**b. Disclosure**

The owner has disclosed to the PHA any interest that would be a violation of the HAP contract. The owner must fully and promptly update such

disclosures.

**c. Interest of member of or delegate to Congress**

No member of or delegate to the Congress of the United States of America or resident-commissioner shall be admitted to any share or part of this HAP Contract or to any benefits arising from the contract.

**20. EXCLUSION FROM FEDERAL PROGRAMS**

**a. Federal requirements**

The owner must comply with and is subject to requirements of 2 CFR part 2424.

**b. Disclosure**

The owner certifies that:

1. The owner has disclosed to the PHA the identity of the owner and any principal or interested party.
2. Neither the owner nor any principal or interested party is listed on the U.S. General Services Administration list of parties excluded from Federal procurement and nonprocurement programs; and none of such parties are debarred, suspended, subject to a limited denial of participation or otherwise excluded under 2 CFR part 2424.

**21. TRANSFER OF THE CONTRACT OR PROPERTY**

**a. When consent is required**

1. The owner agrees that neither the HAP contract nor the property may be transferred without the advance written consent of the PHA in accordance with HUD requirements.
2. "Transfer" includes:
  - a. Any sale or assignment or other transfer of ownership, in any form, of the HAP contract or the property;
  - b. The transfer of any right to receive housing assistance payments that may be payable pursuant to the HAP contract;

- c. The creation of a security interest in the HAP contract or the property;
  - d. Foreclosure or other execution on a security interest; or
  - e. A creditor's lien, or transfer in bankruptcy.
3. If the owner is a corporation, partnership, trust or joint venture, the owner is not required to obtain advance consent of the PHA pursuant to paragraph a for transfer of a passive and non-controlling interest in the ownership entity (such as a stock transfer or transfer of the interest of a limited partner), if any interests so transferred cumulatively represent less than half the beneficial interest in the HAP contract or the property. The owner must obtain advance consent pursuant to paragraph a for transfer of any interest of a general partner.

**b. Transferee assumption of HAP contract**

No transferee (including the holder of a security interest, the security holder's transferee or successor in interest, or the transferee upon exercise of a security interest) shall have any right to receive any payment of housing assistance payments pursuant to the HAP contract, or to exercise any rights or remedies under the HAP contract, unless the PHA has consented in advance, in writing to such transfer, and the transferee has agreed in writing, in a form acceptable to the PHA in accordance with HUD requirements, to assume the obligations of the owner under the HAP contract, and to comply with all the terms of the HAP contract.

**c. Effect of consent to transfer**

1. The creation or transfer of any security interest in the HAP contract is limited to amounts payable under the HAP contract in accordance with the terms of the HAP contract.
2. The PHA's consent to transfer of the HAP contract or the property does not to change the terms of the HAP contract in any way, and does not change the rights or obligations of the PHA or the owner under the HAP contract.
3. The PHA's consent to transfer of the HAP contract or the property to any transferee does not constitute consent to any further transfers of the HAP contract or the property, including further transfers to any successors or assigns of an approved transferee.

**d. When transfer is prohibited**

The PHA will not consent to the transfer if any transferee, or any principal or interested party is debarred, suspended subject to a limited denial of participation, or otherwise excluded under 2 CFR part 2424, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or nonprocurement programs.

**22. SUBSIDY LAYERING**

**a. Owner disclosure**

The owner must disclose to the PHA, in accordance with HUD requirements, information regarding any related assistance from the Federal Government, a State, or a unit of general local government, or any agency or instrumentality thereof, that is made available or is expected to be made available with respect to the contract units. Such related assistance includes, but is not limited to, any loan, grant, guarantee, insurance, payment, rebate, subsidy, credit, tax benefit, or any other form of direct or indirect assistance.

**b. Limit of payments**

Housing assistance payments under the HAP contract must be no more than is necessary, as determined in accordance with HUD requirements, to provide affordable housing after taking account of such related assistance. The PHA will adjust in accordance with HUD requirements the amount of the housing assistance payments to the owner to compensate in whole or in part for such related assistance.

**23. OWNER LOBBYING CERTIFICATIONS**

**a. The owner certifies, to the best of owner's knowledge and belief, that:**

1. No Federally appropriated funds have been paid or will be paid, by or on behalf of the owner, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of the HAP contract, or the extension, continuation, renewal, amendment, or modification of the HAP contract.
2. If any funds other than Federally appropriated funds have been paid or will be paid to any person for influencing or attempting to

influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the HAP contract, the owner must complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.

- b. This certification by the owner is a prerequisite for making or entering into this transaction imposed by 31 U.S.C. 1352.

**24. TERMINATION OF HAP CONTRACT FOR WRONGFUL SELECTION OF CONTRACT UNITS**

The HAP contract may be terminated upon at least 30 days notice to the owner by the PHA or HUD if the PHA or HUD determines that the contract units were not eligible for selection in conformity with HUD requirements.

**25. NOTICES AND OWNER CERTIFICATIONS**

- a. Where the owner is required to give any notice to the PHA pursuant to the HAP contract or any other provision of law, such notice must be in writing and must be given in the form and manner required by the PHA.
- b. Any certification or warranty by the owner pursuant to the HAP contract shall be deemed a material representation of fact upon which reliance was placed when this transaction was made or entered into.

**26. NOTICE OF TERMINATION OR EXPIRATION WITHOUT EXTENSION**

- a. An owner must provide notice to the PHA, and to the affected tenants, not less than 1 year prior to the termination or expiration without extension of a HAP contract.
- b. An owner who fails to provide such notice must permit tenants to remain in their units for the required notice period with no increase in the tenant portion of the rent. During this time period, an owner may not evict a tenant as a result of the owner's inability to collect an increased tenant portion of rent. With PHA agreement, an owner may extend the terminating contract for a period of time sufficient to give tenants 1 years' advance notice.

**27. FAMILY'S RIGHT TO REMAIN**

Upon termination or expiration of the contract without extension, each family assisted under the contract may elect to use its assistance to remain in the project

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if the family's unit complies with the inspection requirements under section 8(o)(8) (42 U.S.C. 1437f(o)(8) of the U.S. Housing Act of 1937 ("the 1937 Act")), the rent for the unit is reasonable as required by section 8(o)(10)(A) of the 1937 Act, and the family pays its required share of the rent and the amount, if any, by which the unit rent (including the amount allowed for tenant-paid utilities) exceeds the applicable payment standard.

**28. ENTIRE AGREEMENT; INTERPRETATION**

- a. The HAP contract, including the exhibits, is the entire agreement between the PHA and the owner.
- b. The HAP contract must be interpreted and implemented in accordance with all statutory requirements, and with all HUD requirements, including amendments or changes in HUD requirements during the term of the HAP contract. The owner agrees to comply with all such laws and HUD requirements. Any regulatory citation specifically included in this HAP contract is subject to any subsequent revision of such citation.

**Tenancy Addendum  
Section 8 Project-Based  
Voucher Program**  
(to be attached to the lease)

**U.S. Department of Housing  
and Urban Development**  
Office of Public and Indian Housing

OMB Approval No. 2577-0169  
(exp. 07/31/2022)

Public reporting burden for this collection of information is estimated to average 0.25 hours. This includes the time for collecting, reviewing and reporting the data. The information is being collected as required by 24 CFR 983.256(b)(3), under which the lease between the owner and the tenant must include a HUD-required tenancy addendum. This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless that collection displays a valid OMB control number. Assurances of confidentiality are not provided under this collection.

Privacy Act Statement. The Department of Housing and Urban Development (HUD) is authorized to collect the information required on this form by Section 8 of the U.S. Housing Act of 1937 (42 U.S.C. 1437f). Collection of the family members' names, unit address, and owner name is mandatory. The information is used to provide Section 8 PBV assistance in the form of housing assistance payments. The information also specifies what utilities and appliances are to be supplied by the owner and the tenant. HUD may disclose this information to Federal, State, and local agencies when relevant to civil, criminal, or regulatory investigations and prosecutions. It will not be otherwise disclosed or released outside of HUD, except as permitted or required by law. Failure to provide any of the information may result in delay or rejection of family or owner participation in the PBV program.

**Instructions for use of Tenancy Addendum:**

This tenancy addendum is used in the Section 8 project-based voucher (PBV) program. Under the program, HUD provides funds to a public housing agency (PHA) for rent subsidy on behalf of eligible families. The main regulation for this program is 24 Code of Federal Regulations Part 983.

The tenancy addendum has two parts:

Part A: Tenancy Addendum Information (fill-ins). See section by section instructions.

Part B: Tenancy addendum (no information is entered in this part).

**How to fill in Part A - Section by Section Instructions:**

**Section 2: Tenant**

Enter full name of tenant.

**Section 3. Contract Unit**

Enter address of unit, including apartment number, if any.

**Section 4. Household Members**

Enter full names of all PHA-approved household members. Specify if any such person is a live-in aide, which is a person approved by the PHA to reside in the unit to provide supportive services for a family member who is a person with disabilities.

**Section 5. Initial Lease Term**

Enter first date and last date of initial lease term. The initial lease term must be for at least one year. 24 CFR § 983.256(f).

**Section 6. Initial Rent to Owner**

Enter the amount of the monthly rent to owner during the initial lease term.

**Section 7. Initial Tenant Rent**

Enter the initial monthly amount of tenant rent.

**Section 8. Housing Assistance Payment**

Enter the initial amount of the monthly housing assistance payment.

**Section 9. Utilities and Appliances**

The lease must specify what utilities and appliances are to be supplied by the owner, and what utilities and appliances are to be supplied by the tenant. Fill in section 9 to show who is responsible to provide or pay for utilities and appliances.

**Part A of the Tenancy Addendum**

(Fill out all of the information in Part A.)

1. **Contents of Tenancy Addendum**

This Tenancy Addendum has two parts:

Part A: Tenancy Addendum Information

Part B: Tenancy Addendum

2. **Tenant**

3. **Contract Unit**

4. **Household**

The following persons may reside in the unit. Other persons may not be added to the household without prior written approval of the owner and the PHA.

5. **Initial Lease Term**

The initial lease term begins on (mm/dd/yyyy): \_\_\_\_\_

The initial lease term ends on (mm/dd/yyyy): \_\_\_\_\_

6. **Initial Rent to Owner**

The initial rent to owner is: \$ \_\_\_\_\_

7. **Initial Tenant Rent**

The initial tenant rent is: \$ \_\_\_\_\_ per month. The amount of the tenant rent is subject to change by the PHA during the term of the lease in accordance with HUD requirements.

8. **Initial Housing Assistance Payment**

At the beginning of the Housing Assistance Payments (HAP) contract term, the amount of the housing assistance payment by the PHA to the owner is \$ \_\_\_\_\_ per month. The amount of the monthly housing assistance payment by the PHA to the owner is subject to change during the HAP contract term in accordance with HUD requirements.

**9. Utilities and Appliances**

The owner shall provide or pay for the utilities and appliances indicated below by an “O”. The tenant shall provide or pay for the utilities and appliances indicated below by a “T”. Unless otherwise specified below, the owner shall pay for all utilities and appliances provided by the owner.

Item	Specify fuel type			Provided by	Paid by	
Heating	<input type="checkbox"/> Natural gas	<input type="checkbox"/> Bottle gas <input type="checkbox"/> Oil or Electric	<input type="checkbox"/> Coal or Other			
Cooking	<input type="checkbox"/> Natural gas	<input type="checkbox"/> Bottle gas <input type="checkbox"/> Oil or Electric	<input type="checkbox"/> Coal or Other			
Water Heating	<input type="checkbox"/> Natural gas	<input type="checkbox"/> Bottle gas <input type="checkbox"/> Oil or Electric	<input type="checkbox"/> Coal or Other			
Other Electric						
Water						
Sewer						
Trash Collection						
Air Conditioning						
						Provided by
Refrigerator						
Range/Microwave						
Other (specify)						

**Signatures:  
Owner**

**Tenant**

\_\_\_\_\_  
Print or Type Name of Owner

\_\_\_\_\_  
Print or Type Name of Family Representative

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print or Type Name and Title of Signatory

\_\_\_\_\_  
Print or Type Name of Family Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

## **Part B of the Tenancy Addendum**

### **1. Section 8 Project-Based Voucher (PBV) Program**

- a. The owner is leasing the contract unit to the tenant for occupancy by the tenant's family with assistance for a tenancy under the Section 8 PBV program of the United States Department of Housing and Urban Development (HUD).
- b. The owner has entered into a Housing Assistance Payments Contract (HAP contract) with the public housing agency (PHA) under the PBV program. Under the HAP contract, the PHA will make housing assistance payments to the owner to assist the tenant in leasing the unit from the owner.

### **2. Lease**

- a. The owner has given the PHA a copy of the lease, including any revisions agreed to by the owner and the tenant. The owner certifies that the terms of the lease are in accordance with HUD requirements and the lease includes the tenancy addendum.
- b. The tenant shall have the right to enforce the tenancy addendum against the owner. If there is any conflict between the tenancy addendum and any other provisions of the lease, the language of the tenancy addendum shall control.

### **3. Use of Contract Unit**

- a. During the lease term, the family will reside in the contract unit with assistance under the PBV program.
- b. The composition of the household must be approved by the PHA. The family must promptly inform the PHA of the birth, adoption or court-awarded custody of a child. Other persons may not be added to the household without prior written approval of the owner and the PHA.
- c. The contract unit may be used for residence only by the PHA-approved household members. The unit must be the family's only residence. Members of the household may engage in legal profit-making activities incidental to primary use of the unit for residence by members of the family.
- d. The tenant may not sublease or let the unit.
- e. The tenant may not assign the lease or transfer the unit.

### **4. Rent to Owner**

- a. The initial and redetermined rent to owner are established in accordance with HUD requirements.
- b. During the term of the lease (including the initial term of the lease and any extension term), the rent to owner may at no time exceed:
  - (1) The reasonable rent for the unit as most recently determined or redetermined by the PHA in accordance with HUD requirements, or
  - (2) Rent charged by the owner for comparable unassisted units in the premises.

## **5. Family Payment to Owner**

- a. The tenant rent is the portion of the monthly rent to owner paid by the family. The PHA determines the tenant rent in accordance with HUD requirements. Any changes in the amount of the tenant rent will be effective on the date stated in a notice by the PHA to the family and the owner.
- b. Each month, the PHA will make a housing assistance payment to the owner on behalf of the family in accordance with the HAP contract. The amount of the monthly housing assistance payment will be determined by the PHA in accordance with HUD requirements for a tenancy under the Section 8 PBV program.
- c. The monthly housing assistance payment shall be credited against the monthly rent to owner for the contract unit.
- d. The tenant is not responsible for paying the portion of rent to owner covered by the PHA housing assistance payment under the HAP contract between the owner and the PHA. A PHA failure to pay the housing assistance payment to the owner is not a violation of the lease. The owner may not terminate the tenancy for nonpayment of the PHA housing assistance payment.
- e. The owner may not charge or accept, from the family or from any other source, any payment for rent of the unit in addition to the rent to owner. The rent to owner includes all housing services, maintenance, utilities and appliances to be provided and paid by the owner in accordance with the lease. The rent to owner does not include charges for non-housing services such as food, furniture or supportive services provided by the owner.
- f. The owner must immediately return any excess rent payment to the tenant.

## **6. Other Fees and Charges**

- a. With the exception of families receiving PBV assistance in assisted living developments (see paragraph b. below), the owner may not require the tenant or family members to pay charges for any meals or supportive services which may be provided by the owner. Nonpayment of any such charges is not grounds for termination of tenancy.
- b. In assisted living developments receiving project-based assistance, the owner may charge tenants, family members, or both for meals or supportive services. Any such charges must be specified in the lease. These charges may not be included in the rent to owner, nor may the value of meals and supportive services be included in the calculation of the reasonable rent. Non-payment of such charges is grounds for termination of the lease by the owner in assisted living developments.
- c. The owner may not charge the tenant extra amounts for items customarily included in rent to owner in the locality, or provided at no additional cost to unsubsidized tenants in the premises.

## **7. Maintenance, Utilities, and Other Services**

### **a. Maintenance**

- (1) The owner must maintain the unit and premises in accordance with the HQS.
- (2) Maintenance and replacement (including redecoration) must be in accordance with the standard practice for the building concerned as established by the owner.

### **b. Utilities and Appliances**

- (1) The owner must provide all utilities needed to comply with the HQS.

(2) The owner is not responsible for a breach of the HQS caused by the tenant's failure to:

(a) Pay for any utilities that are to be paid by the tenant.

(b) Provide and maintain any appliances that are to be provided by the tenant.

c. Family Damage. The owner is not responsible for a breach of the HQS because of damages beyond normal wear and tear caused by any member of the household or by a guest.

d. Housing Services. The owner must provide all housing services as agreed to in the lease.

## **8. Termination of Tenancy by Owner**

a. Requirements. The owner may terminate the tenancy only in accordance with the lease and HUD requirements.

b. Grounds. During the term of the lease (the initial term of the lease or any extension term), the owner may terminate the tenancy only because of:

(1) Serious or repeated violation of the lease;

(2) Violation of Federal, State, or local law that imposes obligations on the tenant in connection with the occupancy or use of the unit and the premises;

(3) Criminal activity or alcohol abuse (as provided in paragraph c); or

(4) Other good cause (as provided in paragraph d).

c. Criminal Activity or Alcohol Abuse

(1) The owner may terminate the tenancy during the term of the lease if any member of the household, a guest or another person under a resident's control commits any of the following types of criminal activity:

(a) Any criminal activity that threatens the health or safety of, or the right to peaceful enjoyment of the premises by, other residents (including property management staff residing on the premises);

(b) Any criminal activity that threatens the health or safety of, or the right to peaceful enjoyment of their residences by, persons residing in the immediate vicinity of the premises;

(c) Any violent criminal activity on or near the premises; or

(d) Any drug-related criminal activity on or near the premises.

(2) The owner may terminate the tenancy during the term of the lease if any member of the household is:

(a) Fleeing to avoid prosecution, or custody or confinement after conviction, for a crime, or attempt to commit a crime, that is a felony under the laws of the place from which the individual flees, or that, in the case of the State of New Jersey, is a high misdemeanor; or

(b) Violating a condition of probation or parole under Federal or State law.

(3) The owner may terminate the tenancy for criminal activity by a household member in accordance with this section if the owner determines that the household member has committed the criminal activity, regardless of whether the household member has been arrested or convicted for such activity.

(4) The owner may terminate the tenancy during the term of the lease if any member of the household has engaged in abuse of alcohol that threatens the health, safety or right to peaceful enjoyment of the premises by other residents.

d. Other Good Cause for Termination of Tenancy

(1) During the initial lease term, other good cause for termination of tenancy must be something the family did or failed to do.

(2) During the initial lease term or during any extension term, other good cause includes:

(a) Disturbance of neighbors,

(b) Destruction of property, or

(c) Living or housekeeping habits that cause damage to the unit or premises.

(3) After the initial lease term, such good cause includes the tenant's failure to accept the owner's offer of a new lease or revision.

e. Automatic Renewal of the Lease

Although the lease automatically renews (for successive definite terms or for an indefinite extension of the term, as provided for in the lease), an owner may terminate the lease for good cause.

f. Protections for Victims of Domestic Violence, Dating Violence, Sexual Assault, or Stalking.

(1) Purpose: This section incorporates the protections for victims of domestic violence, dating violence, sexual assault, or stalking in accordance with subtitle N of the Violence Against Women Act of 1994, as amended (codified as amended at 42 U.S.C. 14043e et seq.) (VAWA) and implementing regulations at 24 CFR part 5, subpart L.

(2) Conflict with other Provisions: In the event of any conflict between this provision and any other provisions included in Part C of the HAP contract, this provision shall prevail.

(3) Effect on Other Protections: Nothing in this section shall be construed to supersede any provision of any Federal, State, or local law that provides greater protection than this section for victims of domestic violence, dating violence, sexual assault or stalking.

(4) Definition: As used in this section, the terms "actual and imminent threat," "affiliated individual," "bifurcate," "dating violence," "domestic violence," "sexual assault," and "stalking" are defined in HUD's regulations at 24 CFR part 5, subpart L. The terms "Household" and "Other Person Under the Tenant's Control" are defined at 24 CFR part 5, subpart A.

(5) VAWA Notice and Certification Form: The PHA shall provide the tenant with the "Notice of Occupancy Rights under VAWA" and the certification form described under 24 CFR 5.2005(a)(1) and (2).

(6) Protection for victims of Domestic Violence, Dating Violence, Sexual Assault, or Stalking:

(a) The landlord or the PHA will not deny admission to, deny assistance under, terminate from participation in, or evict the tenant on the basis of or as a direct result of the fact that the tenant is or has been a victim of domestic violence, dating violence, sexual assault, or stalking, if the tenant otherwise qualifies for admission, assistance, participation, or occupancy. 24 CFR 5.2005(b)(1).

(b) The tenant shall not be denied tenancy or occupancy rights solely on the basis of criminal activity engaged in by a member of the tenant's household or any guest or other person under the tenant's control, if the criminal activity is directly related to domestic violence, dating violence, sexual assault, or stalking, and the tenant or an affiliated individual of the tenant is the victim or the threatened victim of domestic violence, dating violence, sexual assault, or stalking. 24 CFR 5.2005(b)(2).

(c) An incident or incidents of actual or threatened domestic violence, dating violence, sexual assault, or stalking will not be construed as serious or repeated violations of the lease by the victim or threatened victim of the incident. Nor shall such incident or incidents be construed as other "good cause" for termination of the lease, tenancy, or occupancy rights of such a victim or threatened victim. 24 CFR 5.2005(c)(1) and (c)(2).

(7) Compliance with Court Orders: Nothing in this Addendum will limit the authority of the landlord, when notified by a court order, to comply with the court order with respect to the rights of access or control of property (including civil protection orders issued to protect a victim of domestic violence, dating violence, sexual assault, or stalking) or with respect to the distribution or possession of property among members of the tenant's household. 24 CFR 5.2005(d)(1).

(8) Violations Not Premised on Domestic Violence, Dating Violence, Sexual Assault, or Stalking: Nothing in this section shall be construed to limit any otherwise available authority of the landlord to evict or the public housing authority to terminate the assistance of a tenant for any violation not premised on an act of domestic violence, dating violence, sexual assault, or stalking that is in question against the tenant or an affiliated individual of the tenant. However, the landlord or the PHA will not subject the tenant, who is or has been a victim of domestic violence, dating violence, sexual assault, or stalking, to a more demanding standard than other tenants in determining whether to evict or terminate assistance. 24 CFR 5.2005(d)(2).

(9) Actual and Imminent Threats:

(a) Nothing in this section will be construed to limit the authority of the landlord to evict the tenant if the landlord can demonstrate that an "actual and imminent threat" to other tenants or those employed at or providing service to the property would be present if the tenant or lawful occupant is not evicted. In this context, words, gestures, actions, or other indicators will be construed as an actual and imminent threat if they meet the following standards for an actual and imminent threat: "Actual and imminent threat" refers to a physical danger that is real, would occur within an immediate time frame, and could result in death or serious bodily harm. In determining whether an individual would pose an actual and imminent threat, the factors to be considered include: the duration of the risk, the nature and severity of the potential harm, the likelihood that the potential harm will occur, and the length of time before the potential harm would occur. 24 CFR 5.2005(d)(3).

(b) If an actual and imminent threat is demonstrated, eviction should be used only when there are no other actions that could be taken to reduce or eliminate the threat, including, but not limited to, transferring the victim to a different unit, barring the perpetrator from the property, contacting law enforcement to increase police presence, developing other plans to keep the property safe, or seeking other legal remedies to prevent the perpetrator from acting on a threat. Restrictions predicated on public safety cannot be based on stereotypes, but must be tailored to particularized concerns about individual residents. 24 CFR 5.2005(d)(4).

(10) Emergency Transfer: A tenant who is a victim of domestic violence, dating violence, sexual assault, or stalking may request an emergency transfer in accordance with the PHA's emergency transfer plan. 24 CFR 5.2005(e). The PHA's emergency transfer plan, which must be made available upon request, must:

(a) Incorporate strict confidentiality measures to ensure that the PHA does not disclose a tenant's dwelling unit location to a person who committed or threatened to commit an act of domestic violence, dating violence, sexual assault, or stalking against the tenant;

(b) Give the victim priority to receive the next available opportunity for continued tenant-based rental assistance if they have been living in the PBV unit for one year or more. 24 CFR 983.261;

(c) Describe policies or efforts a PHA will take when the victim has been living in a unit for less than one year, or the victim seeks to move sooner than a tenant-based voucher will be available.

(d) For transfers in which the tenant would not be considered a new applicant, the PHA must ensure that a request for an emergency transfer receives, at a minimum, any applicable additional priority that is already provided to other types of emergency transfer requests. For transfers in which the tenant would be considered a new applicant, the plan must include policies for assisting a tenant with this transfer.

(11) Bifurcation: Subject to any lease termination requirements or procedures prescribed by Federal, State, or local law, if any member of the tenant's household engages in criminal activity directly relating to domestic violence, dating violence, sexual assault, or stalking, the landlord may "bifurcate" the lease, or remove that household member from the lease, without regard to whether that household member is a signatory to the lease, in order to evict, remove, or terminate the occupancy rights of that household member without evicting, removing, or otherwise penalizing the victim of the criminal activity who is also a tenant or lawful occupant. Such eviction, removal, termination of occupancy rights, or termination of assistance shall be effected in accordance with the procedures prescribed by Federal, State, and local law for the termination of leases or assistance under the Housing Choice Voucher program. 24 CFR 5.2009(a). If the Landlord bifurcates the Lease to evict, remove, or terminate assistance to a household member, and that household member is the sole tenant eligible to receive assistance, the landlord shall provide any remaining tenants or residents a period of 30 calendar days from the date of bifurcation of the lease to:

(a) Establish eligibility for the same covered housing program under which the evicted or terminated tenant was the recipient of assistance at the time of bifurcation of the lease;

(b) Establish eligibility under another covered housing program; or;

(c) Find alternative housing.

(12) Family Break-up: If the family break-up results from an occurrence of domestic violence, dating violence, sexual assault, or stalking, the PHA may offer the victim the opportunity for continued tenant-based rental assistance.

(13) Move with Continued Assistance: The public housing agency may not terminate assistance to a family or member of the family that moves out of a unit in violation of the lease, with or without prior notification to the public housing agency, if:

(a) The move was needed to protect the health or safety of the family or family member who is or has been a victim of domestic violence, dating violence, sexual assault, or stalking; and

(b) The family or member of the family reasonably believes that he or she was threatened with imminent harm from further violence if he or she remained in the dwelling unit. However, any family member that has been the victim of a sexual assault that occurred on the premises during the 90-calendar day period preceding the family's move or request to move is not required to believe that he or she was threatened with imminent harm from further violence if he or she remained in the dwelling unit. 24 CFR 983.261.

(14) Confidentiality:

- (a) The Landlord shall maintain in strict confidence any information the Tenant (or someone acting on behalf of the Tenant) submits to the Landlord concerning incidents of domestic violence, dating violence, sexual assault or stalking, including the fact that the tenant is a victim of domestic violence, dating violence, sexual assault, or stalking.
- (b) The Landlord shall not allow any individual administering assistance on its behalf, or any persons within its employ, to have access to confidential information unless explicitly authorized by the Landlord for reasons that specifically call for these individuals to have access to the information pursuant to applicable Federal, State, or local law.
- (c) The Landlord shall not enter confidential information into any shared database or disclose such information to any other entity or individual, except to the extent that the disclosure is requested or consented to in writing by the individual in a time-limited release; required for use in an eviction proceeding; or is required by applicable law.

g. Eviction by Court Action. The owner may evict the tenant only by a court action.

h. Owner Notice of Grounds

- (1) At or before the beginning of a court action to evict the tenant, the owner must give the tenant a notice that specifies the grounds for termination of tenancy. The notice may be included in or combined with any owner eviction notice.
- (2) The owner must give the PHA a copy of any owner eviction notice at the same time the owner notifies the tenant.
- (3) Eviction notice means a notice to vacate, or a complaint or other initial pleading used to begin an eviction action under State or local law.

## 9. PHA Termination of Assistance

The PHA may terminate program assistance for the family for any grounds authorized in accordance with HUD requirements. If the PHA terminates program assistance for the family, the lease terminates automatically.

## 10. Lease: Relation to HAP Contract

If the HAP contract terminates for any reason, the lease terminates automatically.

Upon termination or expiration of the HAP contract without extension, each family assisted under the contract may elect to use its assistance to remain in the same project if the family's unit complies with the inspection requirements, the rent for the unit is reasonable, and the family pays its required share of the rent and the amount, if any, by which the unit rent (including the amount for tenant-based utilities) exceeds the applicable payment standard.

## 11. Family Right to Move

- a. The family may terminate its lease at any time after the first year of occupancy. The family must give the owner advance written notice of intent to vacate (with a copy to the PHA) in accordance with the lease. If the family has elected to terminate the lease in this manner, the PHA must offer the family the opportunity for tenant-based rental assistance in accordance with HUD requirements.

- b. Before providing notice to terminate the lease under paragraph a, the family must first contact the PHA to request tenant-based rental assistance if the family wishes to move with continued assistance. If tenant-based rental assistance is not immediately available upon lease termination, the PHA shall give the family priority to receive the next available opportunity for tenant-based rental assistance.

## **12. Security Deposit**

- a. The owner may collect a security deposit from the tenant. (However, the PHA may prohibit the owner from collecting a security deposit in excess of private market practice, or in excess of amounts charged by the owner to unassisted tenants.)
- b. When the family moves out of the contract unit, the owner, subject to State and local law, may use the security deposit, including any interest on the deposit, as reimbursement for any unpaid rent payable by the tenant, any damages to the unit or any other amounts that the tenant owes under the lease.
- c. The owner must give the tenant a list of all items charged against the security deposit, and the amount of each item. After deducting the amount, if any, used to reimburse the owner, the owner must promptly refund the full amount of the unused balance to the tenant.
- d. If the security deposit is not sufficient to cover amounts the tenant owes under the lease, the owner may collect the balance from the tenant.

## **13. Prohibition of Discrimination**

In accordance with applicable equal opportunity statutes, Executive Orders, and regulations, the owner must not discriminate against any person because of race, color, religion, sex, national origin, age, familial status, or disability in connection with the lease. Eligibility for HUD's programs must be made without regard to actual or perceived sexual orientation, gender identity, or marital status.

## **14. Conflict with Other Provisions of Lease**

- a. The terms of the tenancy addendum are prescribed by HUD in accordance with Federal law and regulation, as a condition for Federal assistance to the tenant and tenant's family under the Section 8 PBV program.
- b. In case of any conflict between the provisions of the tenancy addendum as required by HUD, and any other provisions of the lease or any other agreement between the owner and the tenant, the requirements of the HUD-required tenancy addendum shall control.

## **15. Changes in Lease and Rent**

- a. The tenant and the owner may not make any change in the tenancy addendum. However, if the tenant and the owner agree to any other changes in the lease, such changes must be in writing, and the owner must immediately give the PHA a copy of such changes. The lease, including any changes, must be in accordance with the requirements of the tenancy addendum.
- b. The owner must notify the PHA in advance of any proposed change in lease requirements governing the allocation of tenant and owner responsibilities for utilities. Such changes may be made only if approved by the PHA and if in accordance with the terms of the lease relating to its amendment. The PHA must redetermine reasonable rent in accordance with HUD requirements, based on any changes in the allocation of responsibility for utilities between the owner and tenant, and the redetermined reasonable rent shall be used in the calculation of the rent to owner from the effective date of the change.

## 16. Written Notices

Any notice under the lease by the tenant to the owner or by the owner to the tenant must be in writing.

## 17. Definitions

**Contract unit.** The housing unit rented by the tenant with assistance under the program.

**Excepted Unit.** A contract unit in a multifamily building not counted against the per-building cap on PBV assistance (25 units or 25 percent of the units in the project, whichever is greater) (see 24 CFR § 983.56(b)).

**Family.** The persons who may reside in the unit with assistance under the program.

**HAP contract.** The housing assistance payments contract between the PHA and the owner. The PHA pays housing assistance payments to the owner in accordance with the HAP contract.

**Household.** The persons who may reside in the contract unit. The household consists of the family and any PHA-approved live-in aide. (A live-in aide is a person who resides in the unit to provide necessary supportive services for a member of the family who is a person with disabilities.)

**Housing quality standards (HQS).** The HUD minimum quality standards for housing assisted under the Section 8 PBV program.

**HUD.** The U.S. Department of Housing and Urban Development.

**HUD requirements.** HUD requirements for the Section 8 PBV program. HUD requirements are issued by HUD headquarters as regulations, Federal Register notices or other binding program directives. The Lease Addendum shall be interpreted and implemented in accordance with HUD requirements.

**Lease.** The written agreement between the owner and the tenant for the lease of the contract unit to the tenant. The lease includes the tenancy addendum prescribed by HUD.

**PHA.** Public Housing Agency.

**Premises.** The building or complex in which the contract unit is located, including common areas and grounds.

**Program.** The Section 8 project-based voucher program.

**Rent to owner.** The total monthly rent payable to the owner for the contract unit. The rent to owner is the sum of the portion of rent payable by the tenant plus the PHA housing assistance payment to the owner.

**Section 8.** Section 8 of the United States Housing Act of 1937 (42 United States Code 1437f).

**Tenant.** The family member (or members) who leases the unit from the owner.

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**U.S. Department of Housing and Urban Development (HUD)  
Project-based Section 8 Contract Administration**

**CONSENT TO ASSIGNMENT  
OF AHAP CONTRACT  
AS SECURITY FOR FINANCING**

**I. IDENTIFICATION OF ACC AND HAP CONTRACT**

**Annual Contributions Contract Number:** \_\_\_\_\_

**Section 8 HAP Contract Number:** \_\_\_\_\_

**Section 8 Project Number:** \_\_\_\_\_

**Project Name:** Mulberry Gardens Family Apartments

**Project Location:**

2560 Mulberry Street

Riverside, California 92501

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## II. NAMES

**Contract Administrator (PHA):** Housing Authority of the County of Riverside

**Contract Administrator (PHA) address:**

Housing Authority of the County of Riverside

555 Arlington Avenue

Riverside, California 92504-2506

**Owner:** Mulberry Gardens Family, L.P., a California limited partnership

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**Owner address**

c/o Eden Housing, Inc.

22645 Grand Street

Hayward, California 94541

**Lender** Wells Fargo Bank, National Association, and its successor and/or assigns

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**Lender address**

550 S. Tryon Street, 23<sup>rd</sup> Floor

MAC # D10860236

Charlotte, North Carolina 28202-4200

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### **III. DEFINITIONS**

**ACC.** Annual Contributions Contract.

**AHAP CONTRACT.** The Agreement To Enter Into Housing Assistance Payments Contract (the “AHAP”) for the Project pursuant to which PHA agrees to enter into a HAP Contract pursuant to the terms and conditions set forth therein.

**ASSIGNMENT AS SECURITY.** The creation of a security interest in the owner’s interest pursuant to the AHAP Contract and HAP Contract, and a transfer of such security interest to a successor secured party.

**CONTRACT ADMINISTRATOR.** HUD or a PHA acting as contract administrator under an ACC with HUD.

**FULL ASSIGNMENT.** An assignment of the AHAP Contract or the HAP Contract other than an assignment as security. “Full Assignment” includes a sale, conveyance or other transfer of the AHAP Contract or the HAP Contract, voluntary or involuntary, to a successor in interest.

**HAP CONTRACT.** The Housing Assistance Payments Contract for units in the project. The HAP Contract shall be entered between the owner and the contract administrator pursuant to Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f) and the terms and conditions set forth in the AHAP Contract.

**PHA.** Public Housing Agency.

**PROJECT.** The project identified in section I of the consent to assignment.

**SECURED PARTY.** A party that holds a security interest in the owner’s interest pursuant to the AHAP Contract or the HAP Contract, including the lender, and successors to the lender’s security interest.

**SUCCESSOR.** The term “successor” includes an assignee.

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#### **IV. BACKGROUND**

Pursuant to the terms of the AHAP Contract, neither the AHAP Contract nor the HAP Contract (including any interest in the HAP Contract or any payments under the HAP Contract) may be assigned without the prior written consent of the contract administrator.

The owner has advised the contract administrator that the owner wants to grant the lender a security interest in the AHAP Contract and the HAP Contract, as security for a loan by the lender to the owner with respect to the project.

#### **V. CONSENT TO ASSIGNMENT AS SECURITY**

By execution of this consent to assignment as security, the contract administrator consents to the assignment as security of the AHAP Contract and the HAP Contract, once executed, by the owner to the lender as security for a loan by the lender to the owner with respect to the project.

The contract administrator consents to transfer of the lender's security interest to successor secured parties.

#### **VI. EFFECT OF CONSENT TO ASSIGNMENT**

The contract administrator is not a party to the loan or the loan documents, or to any assignment of the AHAP Contract or the HAP Contract by the owner to the lender as security for the loan, nor to any transfer of the AHAP Contract or the HAP Contract or the loan by the lender. Issuance of the consent to assignment does not signify that HUD or the contract administrator has reviewed, approved or agreed to the terms of any financing or refinancing; to any term of the loan documents; or to the terms of any assignment of the AHAP Contract or the HAP Contract by the owner to the lender as security for the loan, or by the lender to any transferee of the loan.

The consent to assignment of the AHAP Contract and the HAP Contract as security for the loan does not change the terms of the AHAP Contract in any way, and does not change the rights or obligations of HUD, the contract administrator or the owner under the AHAP Contract or the HAP Contract.

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## **VII. EXERCISE OF SECURITY INTEREST – ASSIGNEE ASSUMPTION OF HAP CONTRACT OBLIGATIONS**

Notwithstanding contract administrator's grant of consent to assignment by the owner of a security interest in the AHAP Contract and HAP Contract to the lender as security for the loan, and to further transfer of such security interest to successor secured parties, contract administrator's execution of this consent does not constitute consent to a full assignment of the AHAP Contract to any entity, including the lender or any successor secured party.

A secured party may not exercise any rights or remedies against the contract administrator or HUD under the AHAP Contract or the HAP Contract, and shall not have any right to receive housing assistance payments that may be payable to the owner under the HAP Contract, until and unless:

- The contract administrator has approved the secured party as successor to the owner pursuant to the AHAP Contract, and
- The secured party seeking to exercise such rights or remedies, or to receive such payments, has executed and delivered, in a form acceptable to PHA in accordance with HUD requirements, an agreement by the assignee to comply with all the terms of the AHAP Contract and the HAP Contract, and to assume all obligations of the owner under the AHAP Contract and the HAP Contract.

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## **VIII. PAYMENT TO SECURED PARTY**

When a secured party notifies the contract administrator, in writing, that housing assistance payments payable pursuant to the HAP Contract should be directed to the secured party (in accordance with paragraph VII above), the contract administrator may make such payments to the secured party instead of the owner. In making such payments, the contract administrator is not required to consider or make any inquiry as to the existence of a default under the loan documents, but may rely on notice by the secured party; and any payments by the contract administrator to the secured party shall be credited against amounts payable by the contract administrator to the owner pursuant to the HAP Contract.

## **IX. WHEN ASSIGNMENT IS PROHIBITED**

The consent to assignment as security shall be void ab initio if HUD determines that any assignee, or any principal or interested party of the assignee, is debarred, suspended or subject to a limited denial of participation under 24 CFR part 24, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or non-procurement programs.

**CONTRACT ADMINISTRATOR:**

**HOUSING AUTHORITY OF THE COUNTY OF RIVERSIDE**

By: \_\_\_\_\_

Name: Heidi Marshall

Title: Executive Director

Date: \_\_\_\_\_, 2025

FORM APPROVED COUNTY COUNSEL

BY: [Signature] 7/1/2025  
AMRIT S. DHILLON DATE

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## **OWNER AGREEMENT TO ASSIGNMENT AS SECURITY**

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The owner has read the terms of contract administrator's consent to assignment by the owner of a security interest in the AHAP Contract and the HAP Contract to the lender as security for the loan, and to further transfer of such security interest to successor secured parties. In consideration for contract administrator's grant of such consent to assignment, the owner agrees to all the terms of the consent to assignment, and agrees that any assignment by the owner is subject to all such terms.

### **OWNER:**

MULBERRY GARDENS FAMILY, L.P.,  
a California limited partnership

By: Mulberry Gardens Family LLC,  
a California limited liability company,  
its general partner

By: Eden Housing, Inc.,  
a California nonprofit public benefit corporation,  
its sole member/manager

By: \_\_\_\_\_  
Aruna Doddapaneni  
Senior Vice President of Development

Date: \_\_\_\_\_, 2025

PUBLIC HOUSING AGENCY  
OFFICE OF MULTIFAMILY HOUSING PROGRAMS  
PROJECT-BASED SECTION 8 CONTRACT  
ADMINISTRATION  
CONSENT TO ASSIGNMENT OF PBV HAP CONTRACT AS  
SECURITY FOR FREDDIE MAC FINANCING

This form is used when the Owner of a project assisted under a Section 8 Housing Assistance Payments Contract wishes to grant a security interest in the Contract to a lender as security for a loan made by the lender to the Owner of the project, when the lender will assign the loan to Freddie Mac. The public reporting burden for completing this form is estimated to average 30 minutes per response, including the time for reviewing instructions, searching existing data sources, and gathering and maintaining the data needed. The information collected is required to obtain benefits. HUD may disclose certain information to Federal, State, or local agencies when relevant to civil, criminal, or regulatory investigations and prosecutions. Information collected will not otherwise be disclosed or released outside of HUD, except as required and permitted by law. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

**1. Identification of ACC and PBV HAP Contract**

Annual Contributions Contract Number: \_\_\_\_\_

Section 8 HAP Contract Number: \_\_\_\_\_

Section 8 Project Number: \_\_\_\_\_

Project Name: Mulberry Gardens Family Apartments

Project Location: 2560 Mulberry Street, Riverside, CA 92501

**2. Names**

Public Housing Agency: Housing Authority of the County of Riverside

Public Housing Agency's address: 555 Arlington Avenue, Riverside, CA 92504

Owner: Mulberry Gardens Family, L.P.

Owner address: c/o Eden Housing, Inc., 22645 Grand Street, Hayward, CA 64541

Lender: Wells Fargo Bank, National Association

Lender address: 1751 Pinnacle Drive, 8<sup>th</sup> Floor, McLean, VA 22102

**3. Definitions**

**Contract Administrator.** PHA acting as contract administrator with HUD.

**Freddie Mac.** The Federal Home Loan Mortgage Corporation (Freddie Mac).

**HAP Contract.** The Project Based Voucher Housing Assistance Payments Contract for units in the project. The PBV HAP Contract was entered between the owner and the Contract Administrator pursuant to Section 8 of the United States Housing Act of 1937 (42 U.S.C. 1437f).

**Project.** The project identified in section I of the consent to assignment.

**PHA.** Public Housing Agency

#### **4. Assignment of PBV HAP Contract**

The PBV HAP Contract (including any interest in the PBV HAP Contract or any payments under the PBV HAP Contract) may not be assigned without the prior written consent of the contract administrator. Assignment includes the creation of a security interest in the PBV HAP Contract, or any sale, conveyance or other transfer of the PBV HAP Contract, voluntary or involuntary, to any assignee, transferee or successor in interest.

The owner has advised the contract administrator that the owner wants to assign the owner's interest in the PBV HAP Contract to the lender, as security for a loan by the lender to the owner, and that the lender will assign the loan to Freddie Mac.

The contract administrator consents to the assignment of the PBV HAP Contract by the owner to the lender as security for the loan, and consents that the lender may assign its security interest in the PBV HAP Contract to Freddie Mac. The consent to assignment is not consent for any other or further assignment of the PBV HAP Contract (including any interest in the PBV HAP Contract or any payments under the PBV HAP Contract) by the owner, lender or Freddie Mac, to any other assignee, transferee or successor in interest.

#### **5. Effect of Consent to Assignment**

The contract administrator is not a party to the loan or the loan documents, nor to any assignment of the PBV HAP Contract by the owner to the lender, nor to any assignment of the PBV HAP Contract or the loan to Freddie Mac. Issuance of the consent to assignment does not signify that the contract administrator has reviewed, approved or agreed to the terms of any financing or refinancing; to any term of the loan documents; or to the terms of any assignment by the owner to the lender, or by the lender to Freddie Mac.

The consent to assignment of the PBV HAP Contract does not change the terms of the HAP Contract in any way, and does not change the rights or obligations of the contract administrator or the owner under the PBV HAP Contract.

The creation or transfer of any security interest in the PBV HAP Contract is limited to amounts payable under the PBV HAP Contract in accordance with the terms of the PBV HAP Contract.

The grant of consent by contract administrator to assignment of the PBV HAP Contract by the owner to the lender, and the grant of consent by the contract administrator of the PBV HAP Contract by the lender to Freddie Mac, does not constitute consent to any further assignment or other transfer of the PBV HAP Contract or of any interest in the property, including any further assignment or transfer to any assignee, transferee or successor in interest.

**6. Exercise of Security Interest: Assignee Assumption of PBV HAP Contract Obligations**

Notwithstanding the contract administrator's grant of consent to assignment by the owner of a security interest in the PBV HAP Contract to the lender, and to further assignment of such security interest by the lender to Freddie Mac, the assignee (lender or Freddie Mac) may not exercise any rights or remedies against the contract administrator under the PBV HAP Contract, and shall not have any right to receive housing assistance payments that may be payable to the owner under the PBV HAP Contract, until and unless the assignee seeking to exercise such rights or remedies, or to receive such payments, has executed and delivered, in a form acceptable to contract administrator in accordance with HUD requirements, an agreement by the assignee to comply with all the terms of the PBV HAP Contract, and to assume all obligations of the owner under the PBV HAP Contract.

**7. Payment to Assignee**

When the assignee (lender or Freddie Mac) notifies the contract administrator, in writing, that housing assistance payments payable pursuant to the PBV HAP Contract should be directed to the assignee, the contract administrator may make such payments to the assignee instead of the owner. In making such payments, the contract administrator is not required to consider or make any inquiry as to the existence of a default under the loan documents, but may rely on notice by the assignee; and any payments by the contract administrator to the assignee shall be credited against amounts payable by the contract administrator to the owner pursuant to the PBV HAP Contract.

**8. When Assignment is Prohibited**

The consent to assignment shall be void ab initio if HUD and/or contract administrator determines that any assignee, or any principal or interested party of the assignee, is debarred, suspended or subject to a limited denial of participation under 24 CFR part 24, or is listed on the U.S. General Services Administration list of parties excluded from Federal procurement or nonprocurement programs.

**SIGNATURES**

**PUBLIC HOUSING AGENCY**

Heidi Marshall

Name of Authorized Representative (print or type)

By: \_\_\_\_\_

Signature of authorized representative

Executive Director, Housing Authority of the County of Riverside

Name and official title (print or type)

\_\_\_\_\_  
Date (mm/dd/yyyy)

FORM APPROVED COUNTY COUNSEL  
BY: AMR 7/1/2025  
AMR P. HILLON DATE

**FORM**

## Owner Agreement

The owner has read the terms of the contractor administrator's consent to assignment of the PBV HAP Contract by the owner to the lender, and by the lender to Freddie Mac. In consideration for the contract administrator's grant of such consent to assignment, the owner agrees to all the terms of the consent to assignment, and agrees that any assignment by the owner is subject to all such terms.

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Owner

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Name of Owner (print or type)

By \_\_\_\_\_  
Signature of authorized representative

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Name and title (print or type)

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Date (mm/dd/yyyy)

**FORM**